



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 1214 Temkin Ave

Name of Owner: Karen M. Paulus

Address of Owner (if different than above): _____

Daytime Phone: (608) 232-0027 Evening Phone: same

Email Address: Karen.paulus1@gmail.com

Name of Applicant (Owner's Representative): owner

Address of Applicant: _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Description of Requested Variance: I am requesting a side
variance to add a 1-car
attached garage to my house

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: \$300.00
Receipt: 104698.0003
Filing Date: 9-16-2020
Received By: NJK
Parcel Number: 0709.183.04084
Zoning District: SR-C2
Alder District: 19-FURMAN

Hearing Date: 10-15-2020
Published Date: 10-8-2020
Appeal Number: LNBYAR-2020-00007
GQ: OK
Code Section(s): 28.036 (2)

Standards for Variance

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

My house, a Cape Cod style, was built in 1952. It was repaired and remodeled after a kitchen fire, I think around 1992. (Based on the age of the air conditioner, furnace, etc.) The remodel involved bumping out the back wall of the house eight feet and raising the back roofline. Approximately six to seven feet beyond the back foundation of the house the yard begins to slope. Running across this slope —from south west to northeast and parallel with the back of the house is a well established forty five foot rock (ie. boulder) garden filled with hostas. I did not add the boulders but I have certainly planted plenty of hostas! In addition, just past the hostas, approximately twenty five feet from the foundation and seventeen feet from the north edge of the property is an established cherry tree. The base of the tree is a good five-foot drop compared to the house foundation. This slope in my yard is the problem. My back yard neighbor has a similar low spot near the fence and it may be related to Kettle Pond, a natural marshy area and a Dane County Conservation Park, which adjoins his property.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The variance I am seeking is the minimum possible to add an attached garage with some storage space to the side of my house. The allowed set back is seven feet and I have seventeen feet to work with. However the legal parking space in the city of Madison is eight feet by eighteen feet. I also need a three-foot landing in front of my side door. The outside wall of the garage needs to be an eight-inch wide frost wall. This means I asking for the absolute minimum of an eleven-foot eight - inch wide garage. So, instead of a seven-foot setback I would have five foot four inch setback.

3. For an area (setbacks, etc.) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

I need a variance to build a garage due to the slope in my backyard.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

My house, like the rest of the neighborhood is post-war housing, sited in the middle of the lot. Many people have added garages, attached as well as unattached.

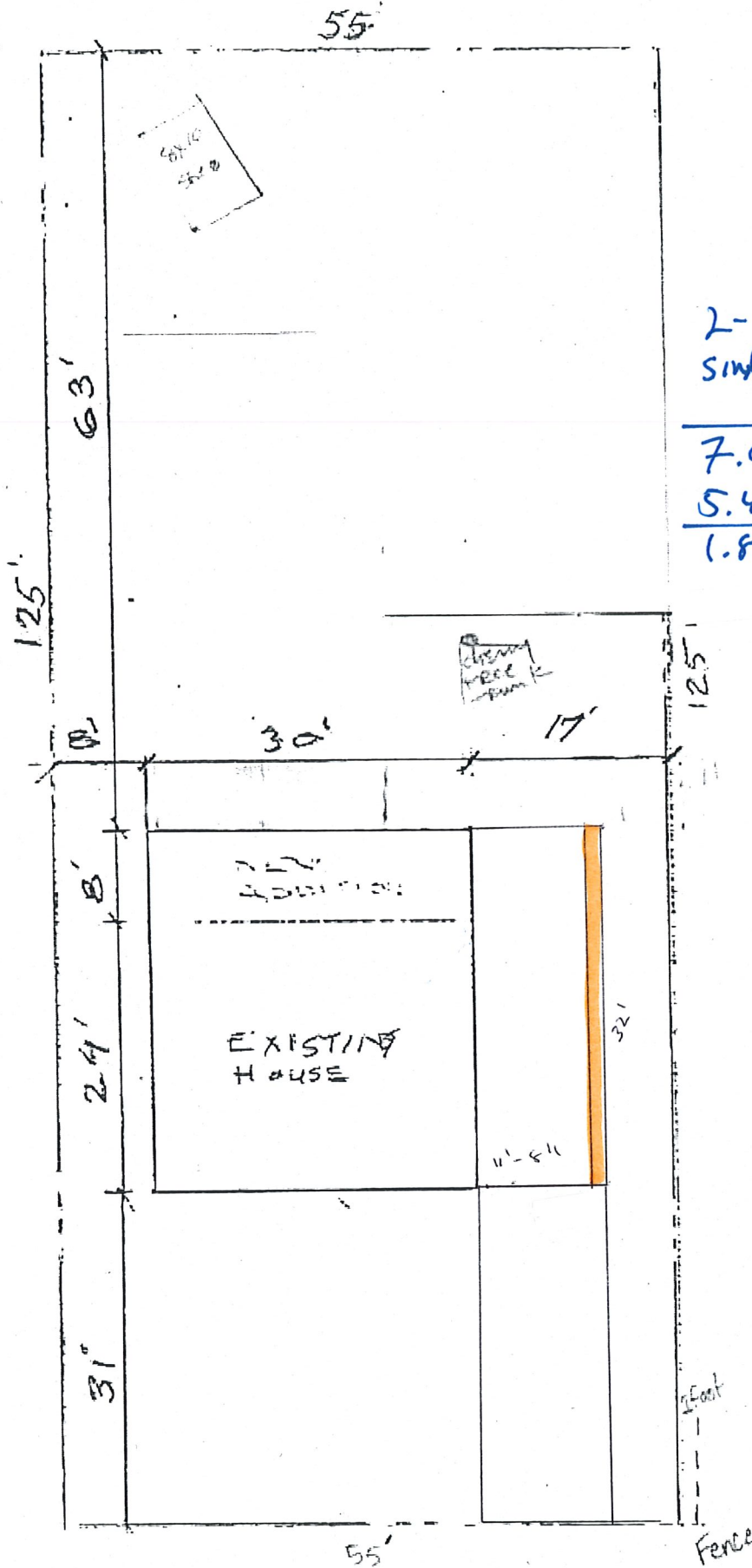
5. The proposed variance shall not create substantial detriment to adjacent property.

The garage will not block substantial air and light and I will make sure drainage runs down my slope and not over to my neighbor.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The design of the garage will be consistent in materials with my house. As mentioned earlier, a one car attached garage is fairly typical in the neighborhood. In fact the design I am choosing is very similar to the garage built by my neighbor Dave at 1205 Temkin Ave.

Proposed

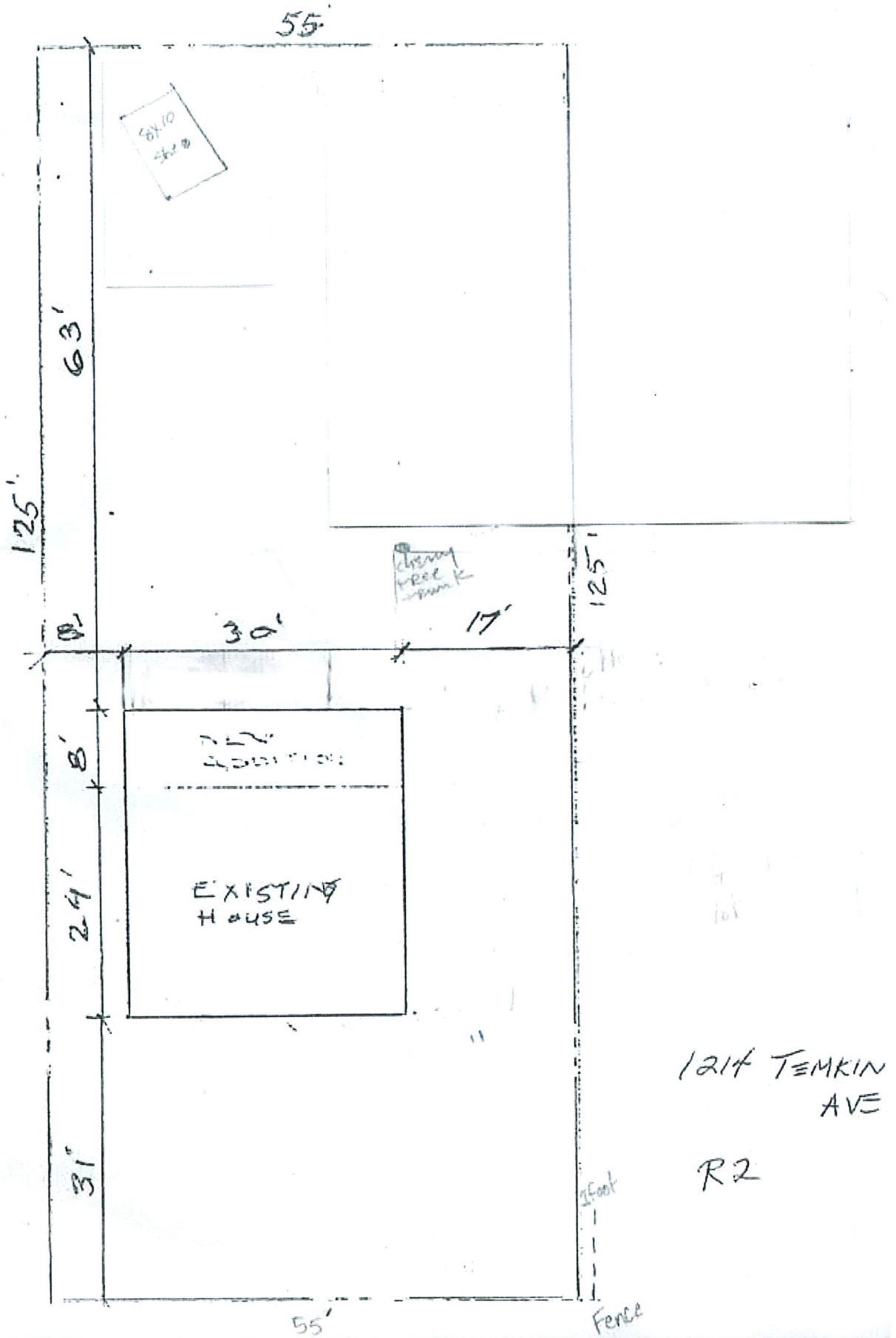


2-Story Single-Family Dwelling
Single-Story Att. Garage Addition
Side Yard

7.0' Required
5.4' Provided
1.8' VARIANCE

1217 TEMKIN
AVE

Existing



GARAGE ADDITION FLOOR PLAN

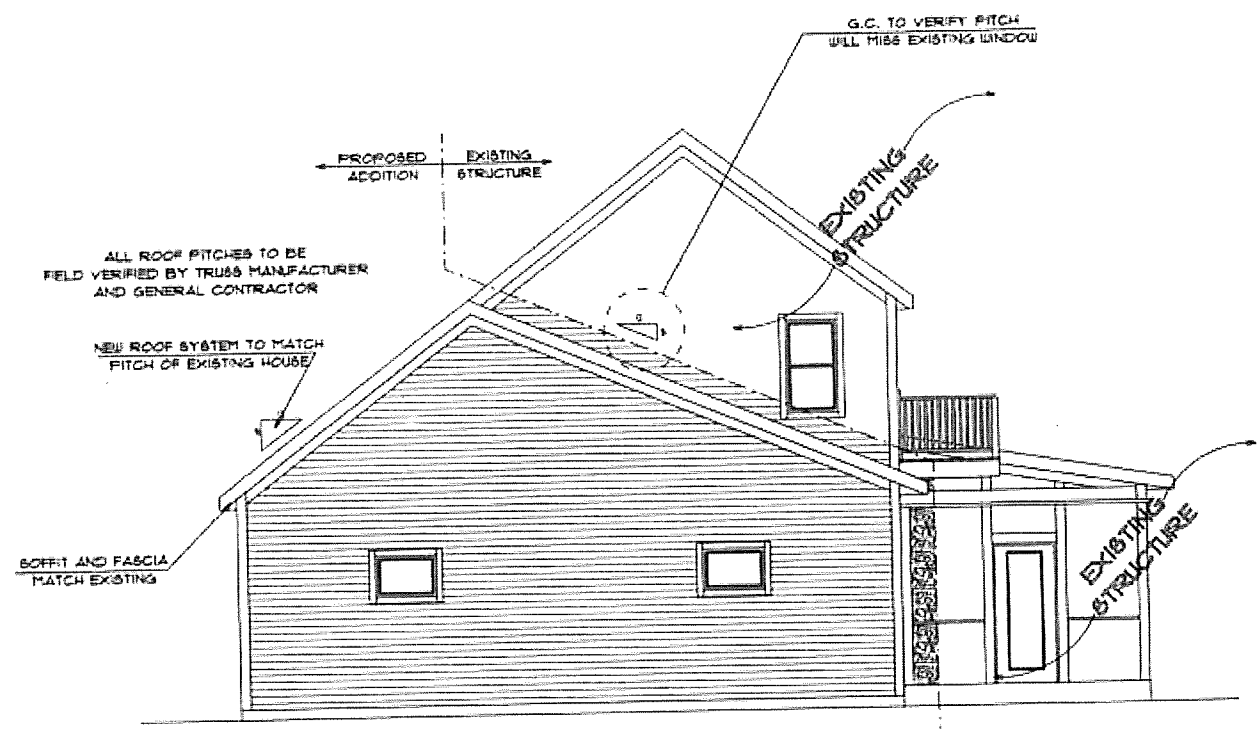
SCALE: 1/4" = 1'

PLAN START DATE: 05/11/11

AMERICAN DESIGN CONCEPTS

GARAGE ADDITION

PAULUS RESIDENCE - 1214 TEMKIN AVE



ALL ROOF PITCHES TO BE FIELD VERIFIED BY TRUSS MANUFACTURER AND GENERAL CONTRACTOR

NEW ROOF SYSTEM TO MATCH FITCH OF EXISTING HOUSE

SOFFIT AND FASCIA MATCH EXISTING

G.C. TO VERIFY FITCH WILL MISS EXISTING WINDOW

EXPOSURE PER GENERAL CONTRACTOR SITE VERIFIED

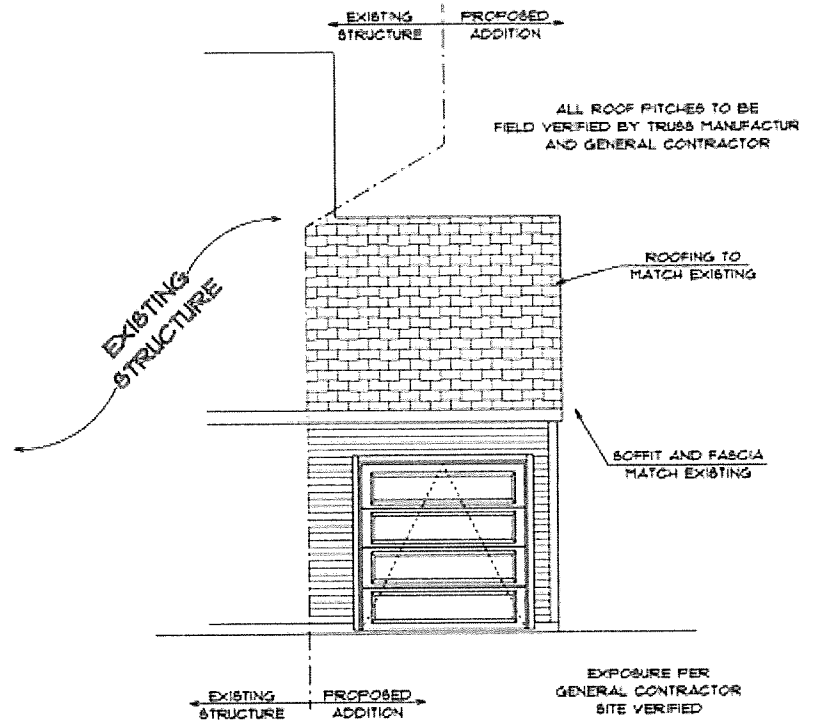
RIGHT ELEVATION
SCALE: 1/4" = 1'

VIEW

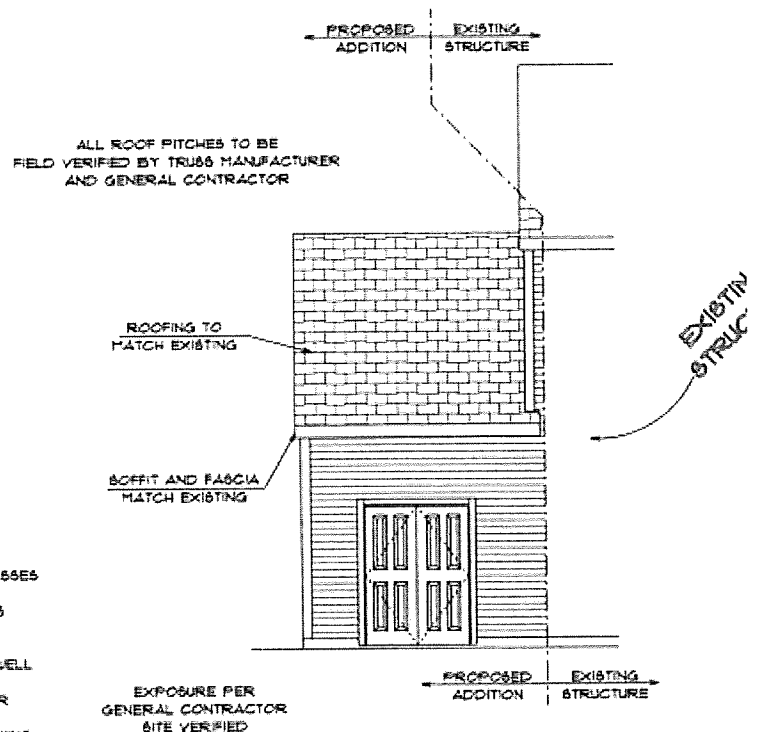
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AMERICAN DESIGN CONCEPTS LLC.
 DESIGNED BY 1324 APPLEGATE MADISON
 608.723.0710
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PROJECT SCOPE:
GARAGE ADDITION PER PLAN.
G.C. TO MOVE MECHANICALS AS NEEDED.



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

THIS PLAN WAS CREATED AS A DRAFTING SERVICE ONLY. THE DESIGNER IN NO WAY EXPRESSES OR ASSUMES ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS IN ANY FORM.
 THE HOME OWNER SUPPLIED & VERIFIED ALL SITE AND EXISTING STRUCTURE INFORMATION AS WELL AS ALL DESIGN PARAMETERS.
 IT IS THE G.C. RESPONSIBILITY TO CONFIRM OR CHANGE THESE PLANS AS REQUIRED.
 ACTUAL SITE CONDITIONS MAY VARY FROM DRAWING.

ALL ROOF PITCHES TO BE FIELD VERIFIED BY TRUSS MANUFACTURER AND GENERAL CONTRACTOR

SOFFIT AND FASCIA MATCH EXISTING

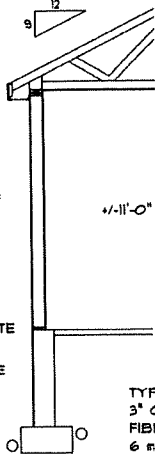
EAVE O.H.
GABLE END O.H.
TO MATCH EXISTING

TYPICAL 2x4 SIDING EXT. WALL:
TYVEK
1/16" OSB SHEATHING
2x4 STUDS @ 16" o.c.
R13 BIB INSULATION
6 mil POLY V.B.
1/2" DRYWALL

2x4 PT PLATE

8" POURED CONCRETE FOUNDATION WALL

4" DRAIN TILE
W/ CRUSHED STONE



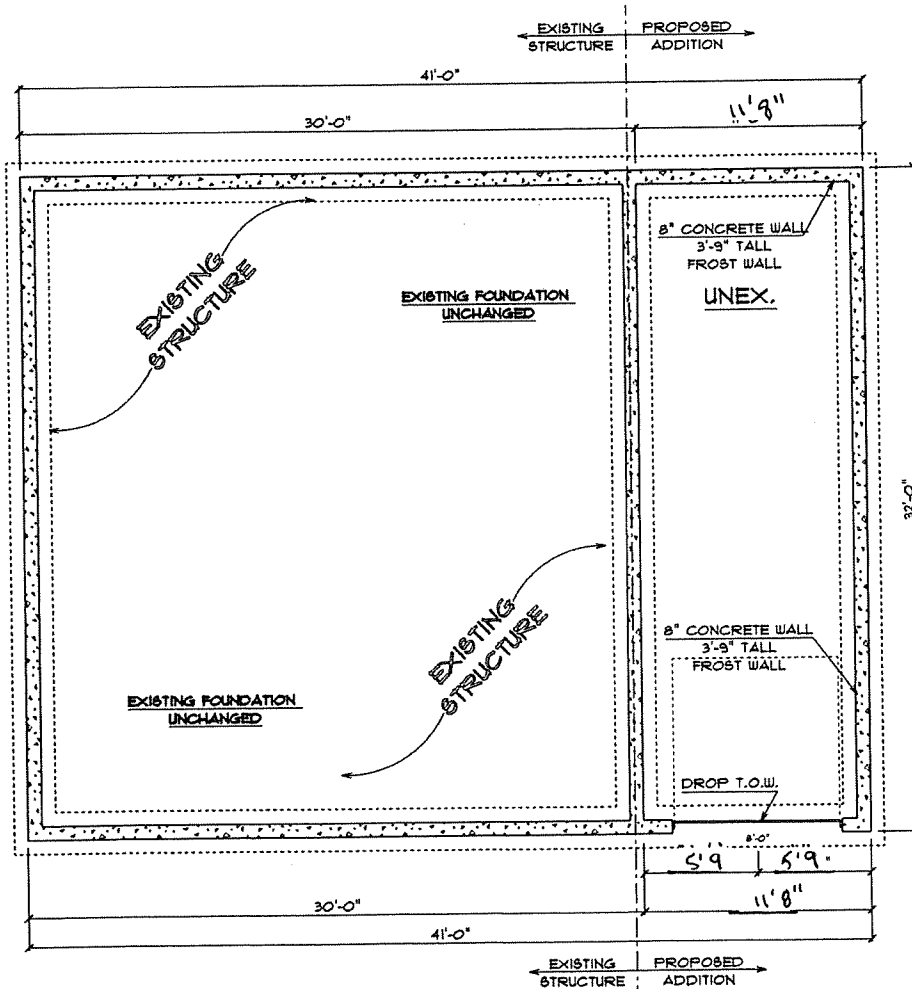
TYPICAL TRUSS ROOF:
ARCHITECTURAL SHINGLES
1/2" OSB ROOF SHEATHING W/H CLIPS
PRE-ENGINEERED TRUSSES @ 24" o.c.
ENERGY HEEL AS REQ.
2x4 TRUSS BRACING
R40 BLOWN INSULATION
6 mil POLY V.B.
5/8" CEILING BOARD
TAPED & SANDED

4'-11"-0" TALL WALLS

TYPICAL GARAGE FLOOR:
3" CONCRETE SLAB c/w
FIBRE MESH REINFORCEMENT
6 mil POLY VAPOR BARRIER
COMPACTED GRANULAR FILL

SECTION THROUGH

NO SCALE



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

GARAGE ADDITION FLOOR PLAN

SCALE: 1/4" = 1'

PLAN START DATE 08/18/18

AMERICAN DESIGN CONCEPTS

GARAGE ADDITION

PAULUS RESIDENCE - 1214 TEMKIN AVE

AMERICAN DESIGN CONCEPTS LLC.

DESIGNED BY 1334 APRILEGATE

HADISON

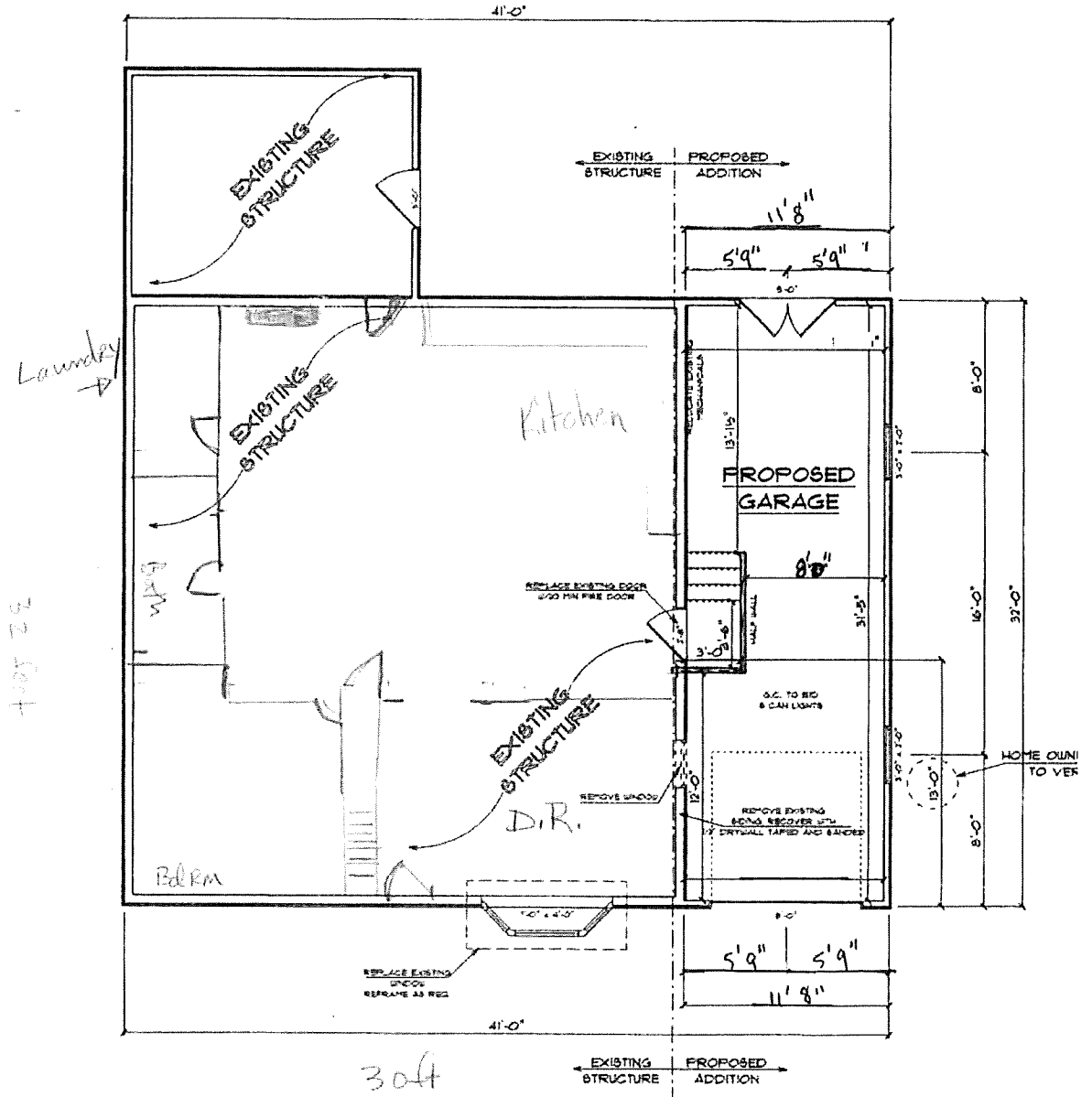
(608) 713-0110

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A2

PROJECT SCOPE:
GARAGE ADDITION PER PLAN.
G.C. TO MOVE MECHANICALS AS NEEDED.



1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
TO REMAIN UNCHANGED

