

Area Plan / Site Location



Image 1 - Monroe Street from NW



Image 2 - From Corner of Oakland & Monroe



Image 3 - From Corner of Alley & Oakland



Image 4 - Alley from SE

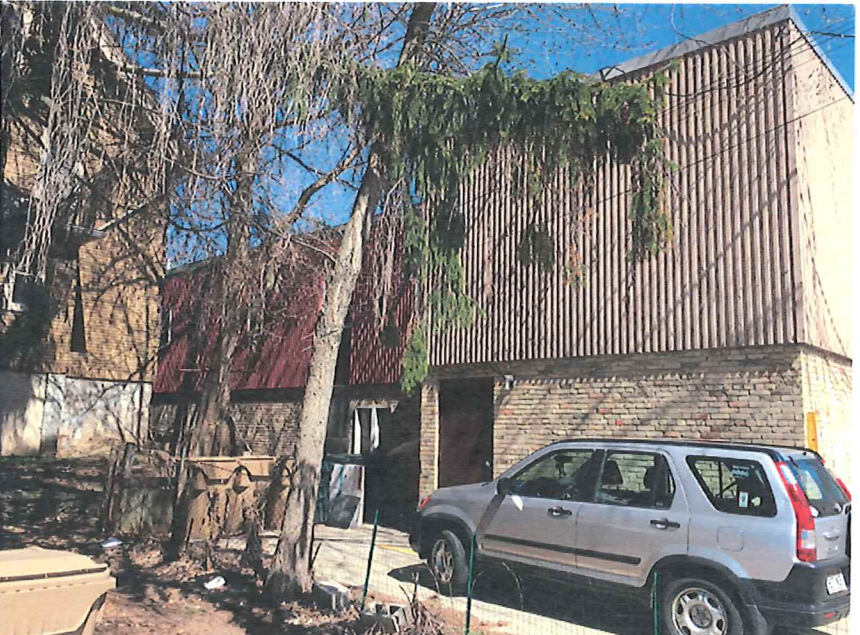


Image 5 - SW Elevation from Alley

15002.00 **Site Location & Images of Existing**

Sixteen O Three Monroe
Scale: NTS

April 13, 2016 (Plan Commission Submittal) November 21, 2016 (Plan Commission Re-Submittal for Major Alteration)

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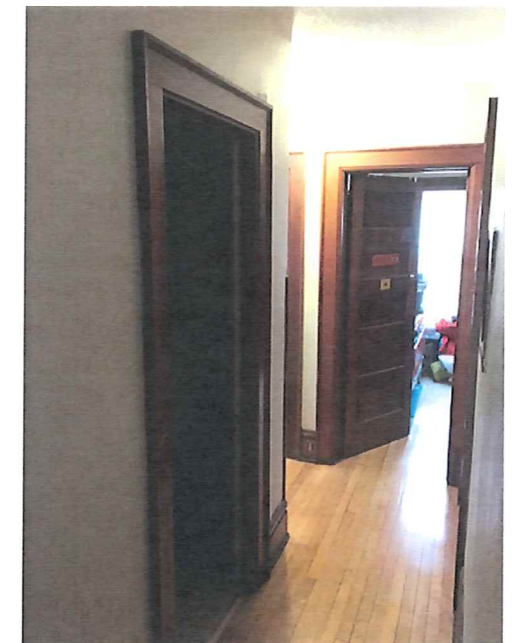
Image 6 - SW Elevation of House



Image 7 - Front & SW Elevation of House



Image 8 - Front & NE Elev. of House



House - Upstairs Corridor



House - Entry & Stairs



House - Living & Dining



House - Kitchen

15002.00 **Images of Existing**

Sixteen O Three Monroe
Scale: NTS

April 13, 2016 (Plan Commission Submittal) November 21, 2016 (Plan Commission Re-Submittal for Major Alteration)

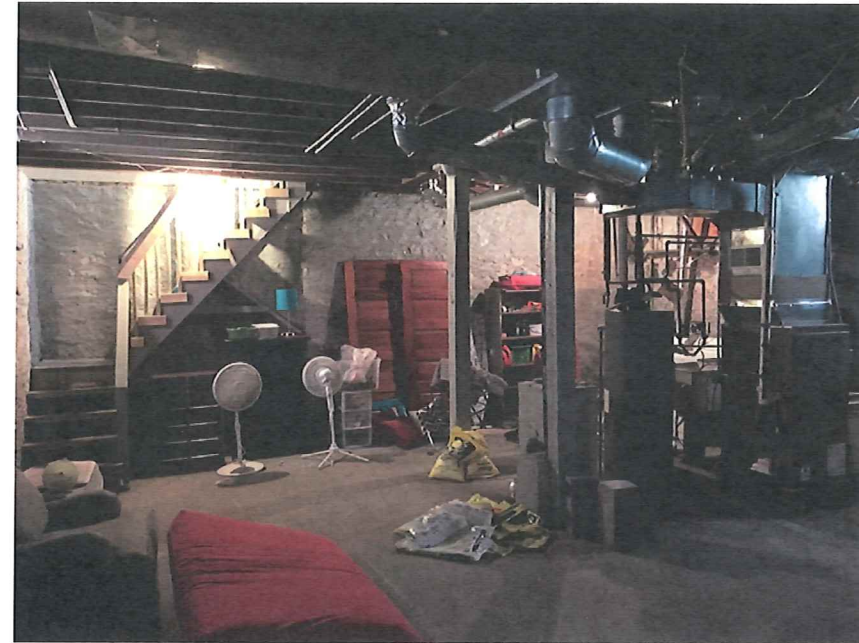
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House - Typical Bedroom



House - Bathroom



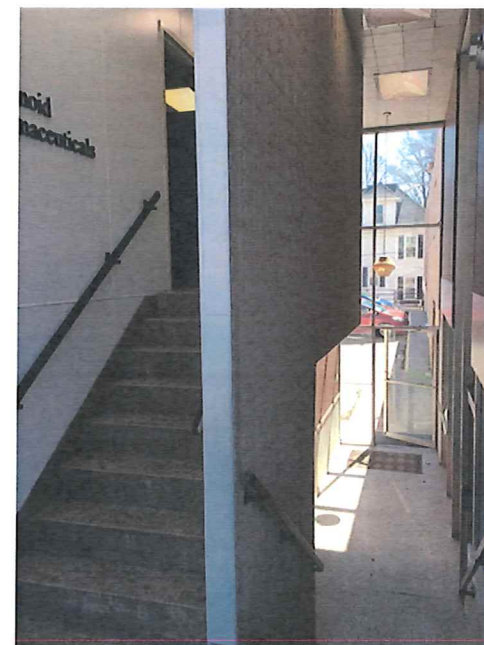
House - Basement



Office - Main Street Entry & Stairs



Office - Back Entry & Stairs



Office - 2nd Street Entry & Stairs



Office - Typical Corridor

15002.00 Images of Existing

Sixteen O Three Monroe
Scale: NTS

April 13, 2016 (Plan Commission Submittal) November 21, 2016 (Plan Commission Re-Submittal for Major Alteration)

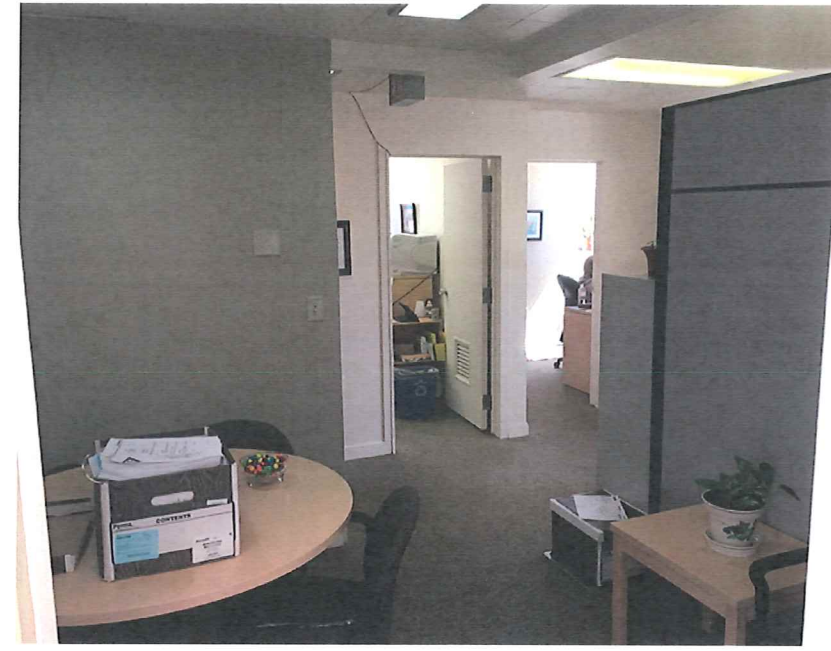
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Office - Bathroom



Office - Lounge



Office - Tenant Space



Office - Kitchenette



Office - Tenant Entry & Space



Office - Tenant Space

15002.00 Images of Existing

Sixteen O Three Monroe
Scale: NTS

April 13, 2016 (Plan Commission Submittal) November 21, 2016 (Plan Commission Re-Submittal for Major Alteration)

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View from Intersection of Monroe & Regent



View from Park (North)



View from Breese Terrace



View from Monroe Street to East

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Proposed Building Images

Sixteen O Three Monroe
Scale: NTS

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View from Intersection of Monroe & Breese



View from Monroe Street to Entry



View from South (Bird's Eye)



View from Alley (South)

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Proposed Building Images

Sixteen O Three Monroe
Scale: NTS

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Bird's -eye View from East



View from Oakland & Alley to West



View from Oakland to North

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Proposed Building Images

Sixteen O Three Monroe
Scale: NTS

April 13, 2016 (Plan Commission Submittal) November 21, 2016 Plan Commission Re-submittal - Major Alteration

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1603 Monroe Street

1603 - 1609 Monroe Street, Madison, WI 53711

Plan Commission Re-Submittal - Major Alteration

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303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt. NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	2-28-2018
2	Plan Commission Submittal	4-13-2018
3	Preliminary Pricing Set	6-28-2018
4	Plan Commission Resubmittal - Major Alteration	11-21-2018

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Title Sheet

G001

NOT FOR CONSTRUCTION

Noted: 01/11/2018 10:00 AM - 1603 Monroe St - Change 15002_G001_PC Major Alt_15_1121.dwg

Project Name: 1603 Monroe
Project #: 15002.00

Civil	Landscape	Architectural
Burse Surveying & Engineering 2801 International Lane, Ste. 101 Madison, WI 53704 ph 608-280-9266	Ken Saiki Design 303 S. Paterson Street, Ste. 1 Madison, WI 53703 ph 608-251-3600	CaS Architecture, LLC 303 S. Paterson Street, Ste. 1 Madison, WI 53703 ph 608-709-1250

C100 Existing Conditions	L100 Site Planting Plan	G001 Title Sheet
C200 Site Plan	L101 Green Roof Planting Plans	G100 Fire Department Access Plan
C300 Grading & Erosion Control Plan	L102 Details & Plant Schedules	
C400 Utility Plan		D100 Demolition Plan
C500 Details & Notes		A100 Level P1 Floor Plan
		A101 Level L1 Floor Plan
		A102 Level L2 Floor Plan
		A103 Level L3 Floor Plan
		A104 Level L4 Floor Plan
		A105 Roof Plan
		A200 Exterior Elevations
		A201 Exterior Elevations
		E001 Luminaire Schedule & Exterior Photometrics - Grade Level
		E002 Exterior Photometrics - Level 2
		E003 Exterior Photometrics - Levels 3 & 4
		E004 Interior Photometrics - Parking Level

PROJECT INFORMATION

Site Area: 16,786 sf

Building Footprint: 15,870 sf

SQUARE FOOTAGE BY USE:

Use	Gross Square Feet
Parking and Storage (S-2)	16,053
Commercial and Core (A-2 and/or B)	5,353
Residential and Core (R-2)	39,965

BUILDING SUMMARY

Building Type: Apartment House
Occupancy Classification: R-2 over A-2, B and S-2
(3 hour separation at second floor line)

Construction Type: Type 1A up to 2nd

Level, VA above

Maximum Allowable Area: 36,000 gsf/floor

Maximum Allowable Stories: 4 over 2nd level separation

Total Occupancy Load: 200 occupants

Residential (R-2) (39,965 gsf / 200 gsf per occ.)

Commercial Space (A-2) (3,817 nsf / 15 nsf per occ.)

Business (B) (1,436 gsf / 200 gsf per occ.)

Parking (S-2) (16,053 gsf / 200 gsf per occ.)

TOTAL 544 occupants

BUILDING TOTALS

Level	Gross Square Feet
Level P1	15,870
Level 1 (Grade)	13,012
Level 2	10,864
Level 3	10,864
Level 4	10,762
TOTAL	61,371

ZONING (City of Madison)

District: Traditional Shopping Street (TSS)

Setbacks: None Required for this site

Max. Lot Coverage: 85%

2,578 sf Green Roof + 153 sf

@ Grade = 2,731 / 16,786 sf = 83.7%

Maximum Height: 3 stories / 40 feet

Additional Height: Allowed with Conditional Use Approval

Usable Open Space: None Required

Maximum Size: 10,000 GSF for Individual Establishment

25,000 GSF for Mixed-Use/Multi-Tennat

Exceeding limits allowed with Conditional

Use Approval

PARKING COUNTS

AUTOMOBILE PARKING

Interior
Residential - Rental 27
2 Handicap Stalls provided (7.4%)

Public/Shared Use 16
1 Handicap Stalls provided (6.2%)

Surface Parking 0

TOTAL ONSITE PARKING 43

MOPED PARKING

Interior - Residential 0

Interior - Public Use 0

Exterior 0

TOTAL ONSITE PARKING 0

BIKE PARKING - REQUIRED

44 Units (1/per 1 & 2 bedroom units) 44

Guests (44 units * .1 stalls/unit) 5

Commercial (1 per 2,000 sf) 3

TOTAL REQUIRED 52

BIKE PARKING - PROVIDED ONSITE

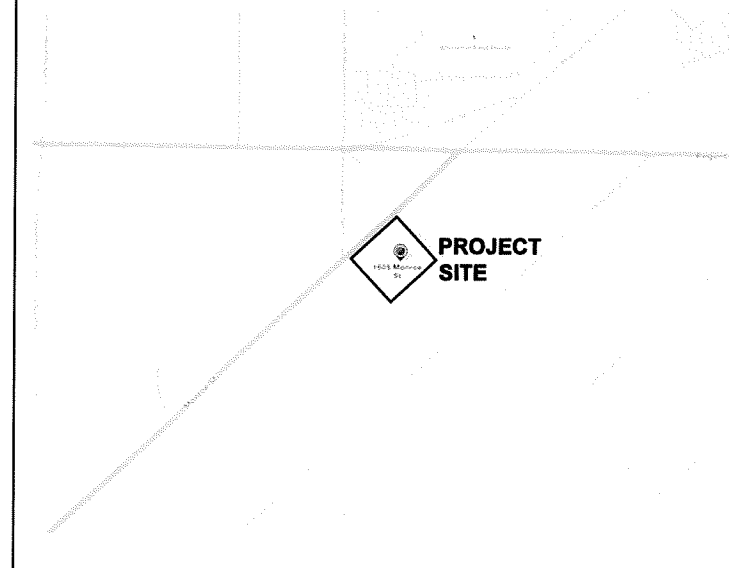
Interior - Residential & Commercial 46

Interior - Public Use 0

Exterior - Public Use 12

TOTAL PROVIDED ONSITE 58

PROJECT LOCATION MAP



Project Name: 1603 Monroe
Project #: 15002.00

ALL OF LOTS 1 AND 2 AND PART OF LOT 3, BLOCK 2, OAKLAND HEIGHTS AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 30, AS DOCUMENT NUMBER 211232, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

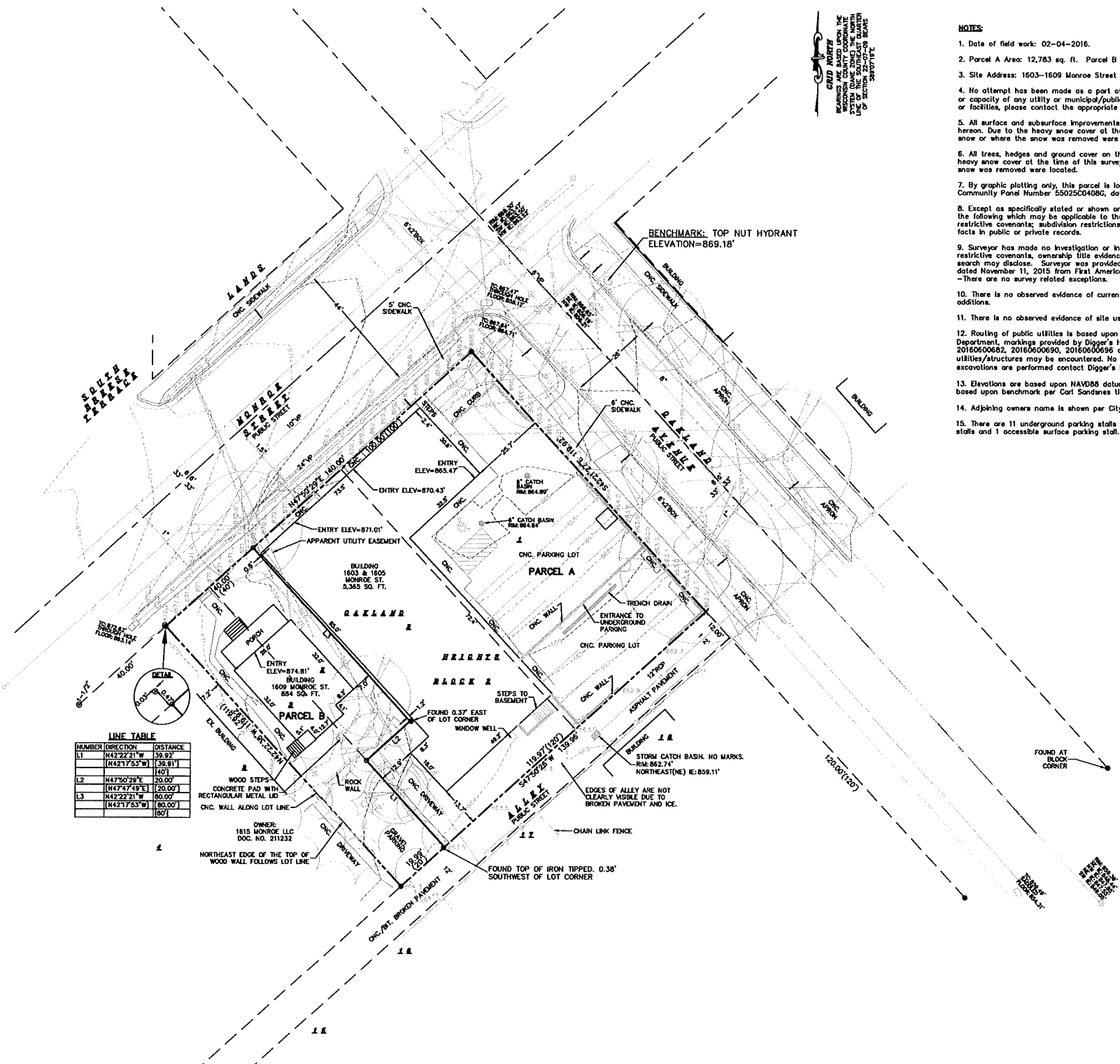
- MAG NAIL SET IN FLAT ROCK 0.1' BELOW SURFACE
- 3/4" SOLID IRON ROD FOUND
- ⊙ 1" IRON PIPE FOUND UNLESS NOTED
- X SET X CUT IN CONCRETE
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- SPOT ELEVATION
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED FIBER OPTIC
- WATER VALVE
- GAS METER
- AIR CONDITIONER
- UTILITY POLE
- LIGHT POLE
- FIRE HYDRANT
- SIGN
- GUY WIRE
- CLOTHES LINE POST
- STORM SEWER INLET
- TELEPHONE MANHOLE
- STORM SEWER MANHOLE
- ROUND CATCH BASIN
- STORM SEWER STRUCTURE
- RECTANGLE CATCH BASIN
- SANITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- () INDICATES RECORDED AS PER PLAT
- [] INDICATES RECORDED AS PER PLAT OF SURVEY W/2483
- |] INDICATES RECORDED AS PER RECORD DEED
- PARKING METER
- BOLLARD
- WOOD FENCE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.



CLERK OF COURT
DANE COUNTY
RECORDS AND CLERK
1000 BANKERS BUILDING
STATE STREET
MADISON, WI 53703
TEL: 608-261-1000

- NOTES**
- Date of field work: 02-04-2016.
 - Parcel A Area: 12,783 sq. ft. Parcel B Area: 4,004 sq. ft.
 - Site Address: 1603-1609 Monroe Street
 - No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon. Due to the heavy snow cover at the time of this survey, only visible improvements above the snow or where the snow was removed were located.
 - All trees, hedges and ground cover on the site may not necessarily be shown hereon. Due to the heavy snow cover at the time of this survey, only visible ground cover above the snow or where the snow was removed were located.
 - By graphic plotting only, this parcel is located in Zone X per the Flood Insurance Rate Map Community Panel Number 55025C04080, dated JANUARY 02, 2009.
 - Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts in public or private records.
 - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number NCS-763740-MAD dated November 11, 2015 from First American Title Insurance Company, which references the following: -There are no survey related exceptions.
 - There is no observed evidence of current earth moving work, building construction or building additions.
 - There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
 - Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 2016060672, 2016060677, 2016060682, 2016060690, 2016060696 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 - Elevations are based upon NAVD83 datum. The brass cap monument has an elevation of 877.47' based upon benchmark per Carl Sandness sheet dated February 16, 2004.
 - Adjoining owners name is shown per City of Madison Assessor's website.
 - There are 11 underground parking stalls on site. There are 16 regular visible surface parking stalls and 1 accessible surface parking stall.



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303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Burse
Surveying and Engineering, Inc.

Landscape Architecture:

1603 Monroe
1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

**Plan Comm. Major Alt
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	02-28-2016
2	Plan Commission Submittal	04-13-2016
3	Preliminary Pricing Set	06-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: BSEI
Checked by: CoS4 Architecture

Existing Conditions

C-100

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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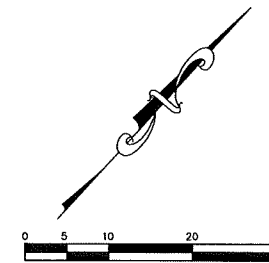
Project Name: 1603 Monroe
Project #: 15002.00

Structural Engineering:

Civil Engineering:



Landscape Architecture:



MONROE STREET

66' R/W

N47°50'29"E 140.00'

8 BIKE STALLS

NOTES:
REPLACE ALL DAMAGED SIDEWALK AND CURB AND GUTTER PER CITY OF MADISON STANDARD SPECIFICATIONS.

1603 Monroe

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Project #: 15002.00

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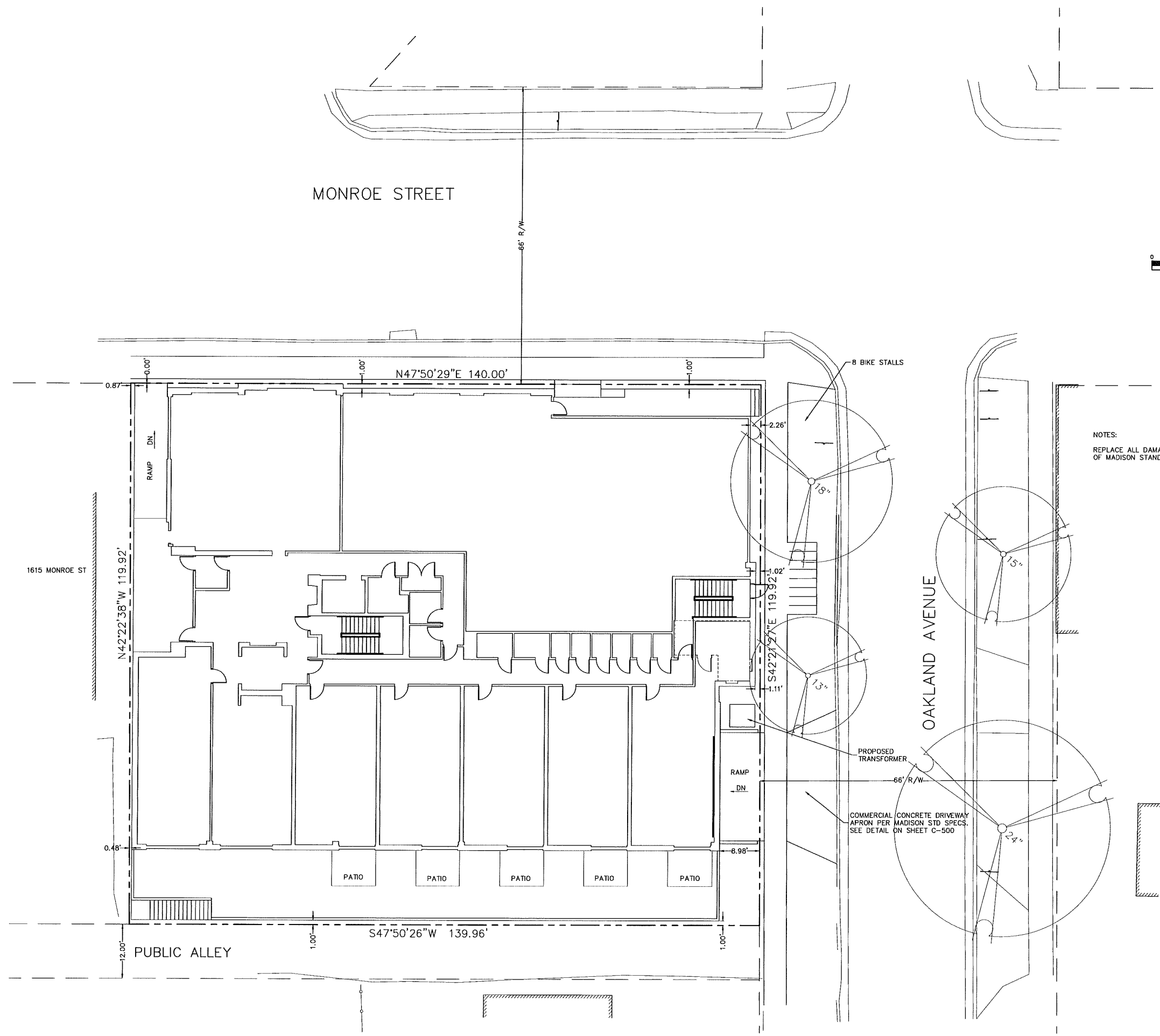
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Drawn by: BSEI
Checked by: CoS4 Architecture

Site Plan

C-200

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Structural Engineering:

Civil Engineering:



Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

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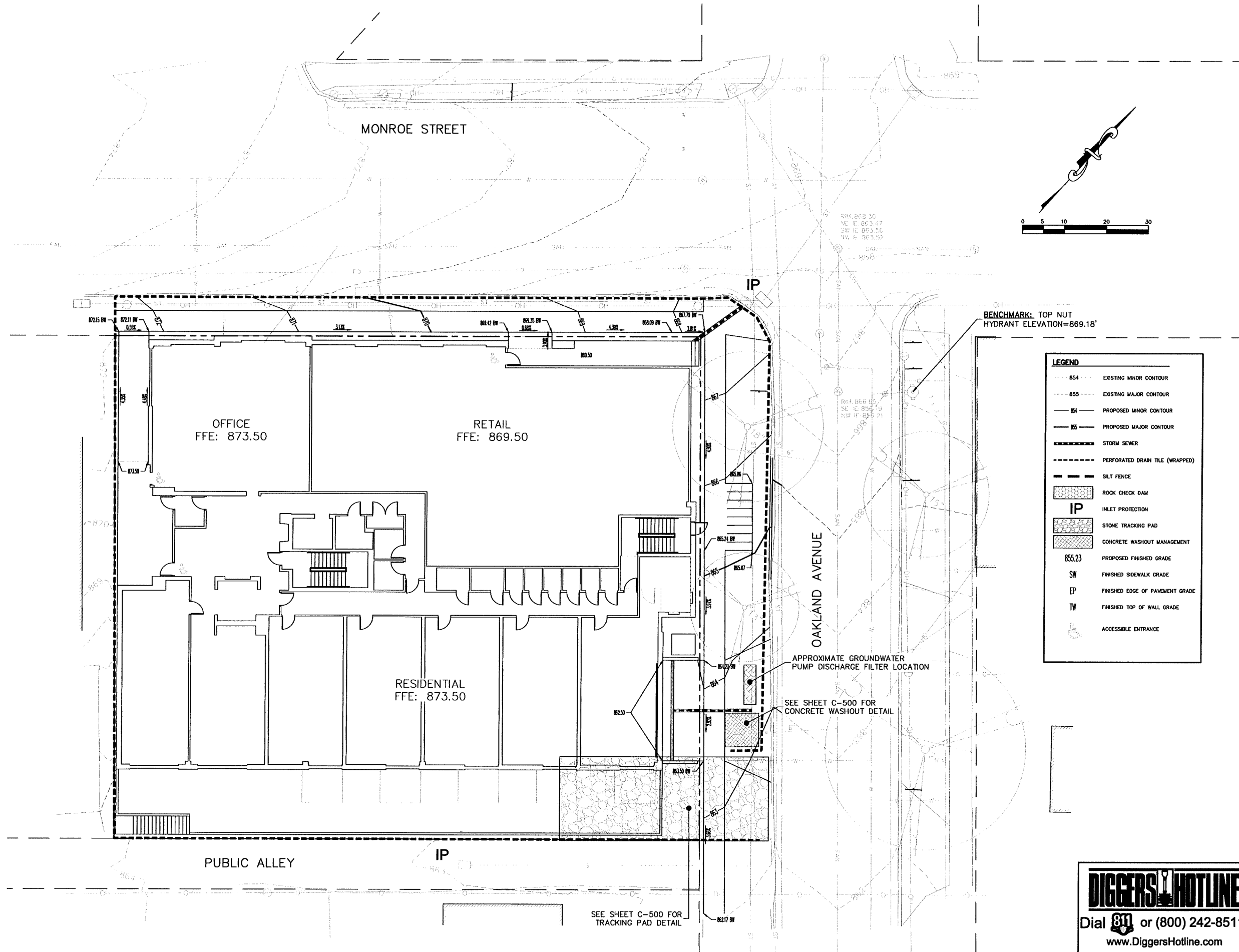
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Drawn by: BSEI
Checked by: CaS4 Architecture

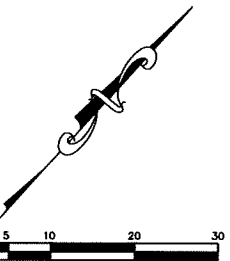
Grading and
Erosion Control Plan

C-300



LEGEND

- 854 --- EXISTING MINOR CONTOUR
- 855 --- EXISTING MAJOR CONTOUR
- 854 --- PROPOSED MINOR CONTOUR
- 855 --- PROPOSED MAJOR CONTOUR
- --- STORM SEWER
- --- PERFORATED DRAIN TILE (WRAPPED)
- --- SILT FENCE
- --- ROCK CHECK DAM
- IP --- INLET PROTECTION
- --- STONE TRACKING PAD
- --- CONCRETE WASHOUT MANAGEMENT
- 855.23 --- PROPOSED FINISHED GRADE
- SW --- FINISHED SIDEWALK GRADE
- EP --- FINISHED EDGE OF PAVEMENT GRADE
- TW --- FINISHED TOP OF WALL GRADE
- --- ACCESSIBLE ENTRANCE



BENCHMARK: TOP NUT
HYDRANT ELEVATION=869.18'

OAKLAND AVENUE

OFFICE
FFE: 873.50

RETAIL
FFE: 869.50

RESIDENTIAL
FFE: 873.50

PUBLIC ALLEY

SEE SHEET C-500 FOR
TRACKING PAD DETAIL

APPROXIMATE GROUNDWATER
PUMP DISCHARGE FILTER LOCATION

SEE SHEET C-500 FOR
CONCRETE WASHOUT DETAIL

DIGGERS HOTLINE
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www.DiggersHotline.com

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Structural Engineering:

Civil Engineering:



Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt NOT FOR CONSTRUCTION

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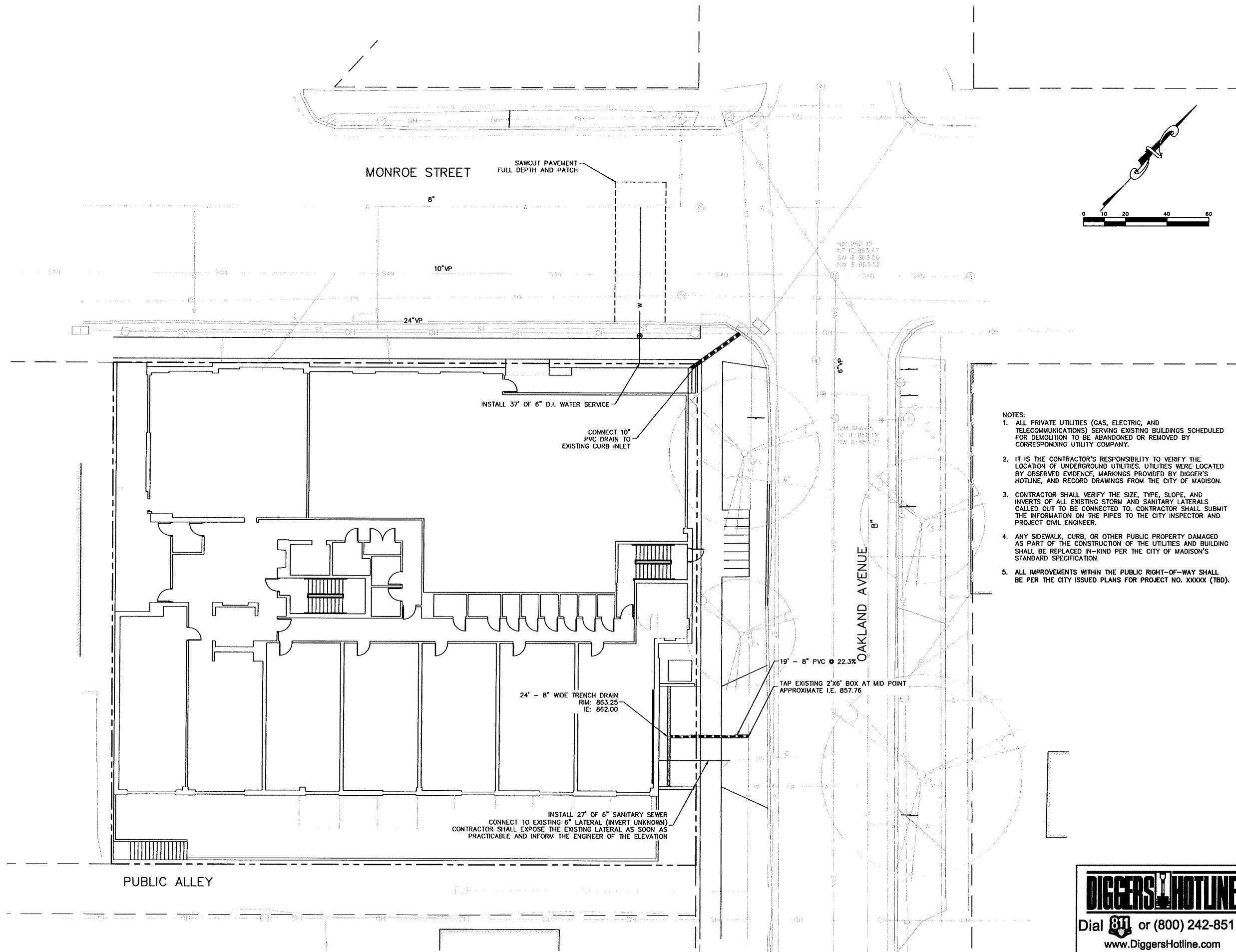
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Drawn by: BSEI
Checked by: CoS4 Architecture

Utility Plan

C-400

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www.DiggersHotline.com

Project Name: 1603 Monroe Project #: 15002.00

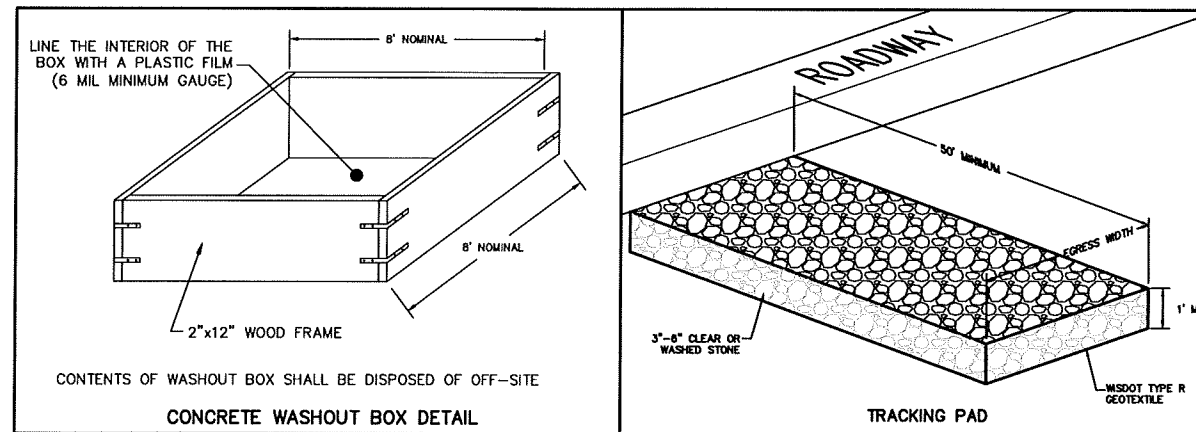
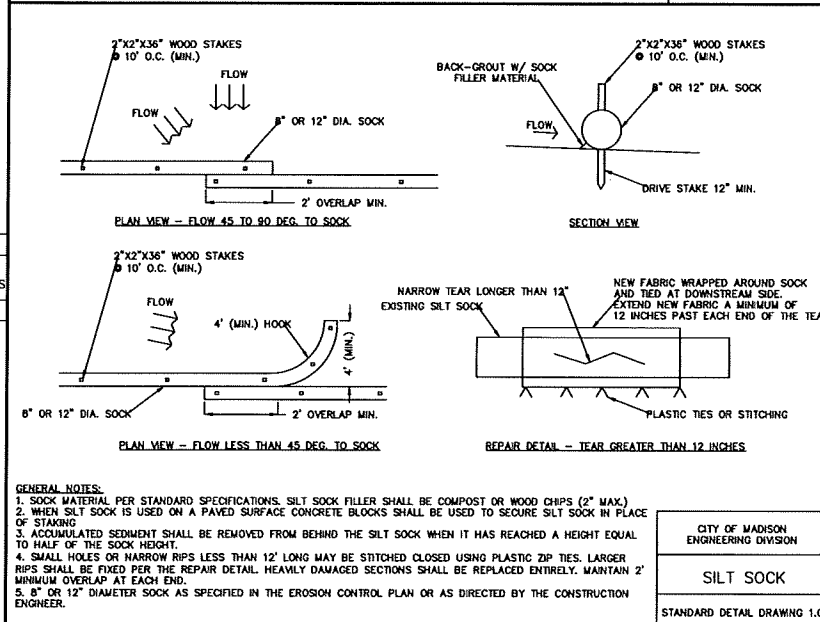
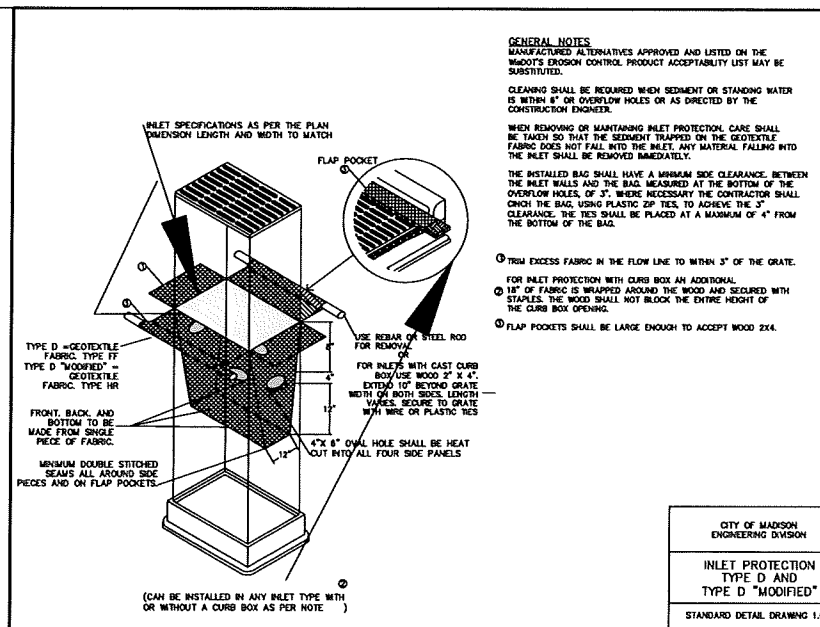
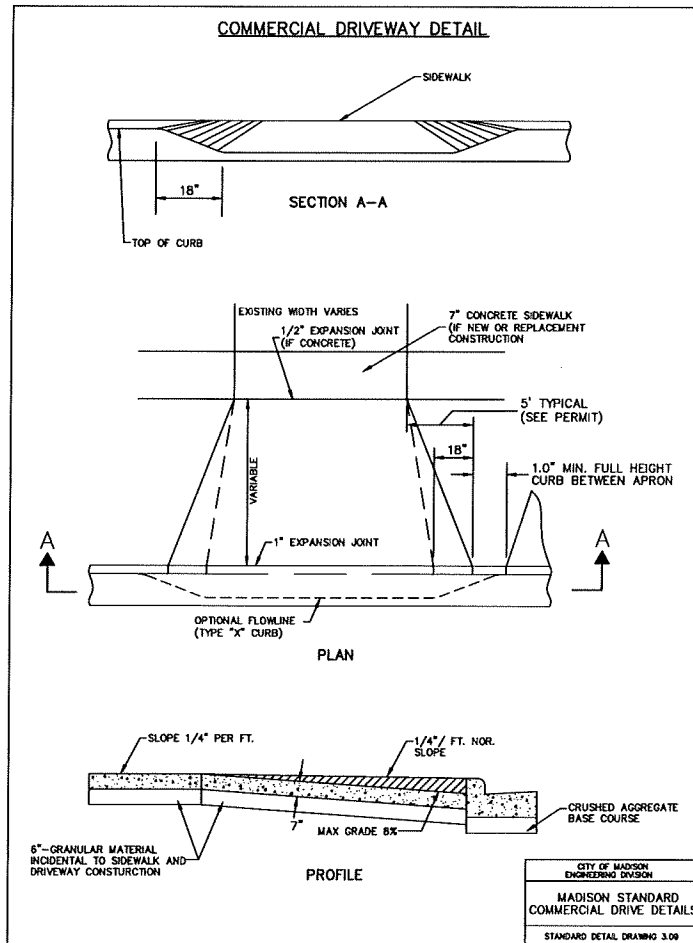
Erosion Control Notes/Specifications:

- Erosion control devices and/or structures shall be installed prior to demolition operations. These shall be properly maintained for maximum effectiveness until the site is completely stabilized.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057.
- Dewatering - Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size a bag required for a given erosion pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type I Bag Size (sq-ft)
50	25
100	50
150	75
- Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until site stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site. Contractor shall prepare a concrete management plan.
- All disturbed areas shall be seeded, sodded, or otherwise restored immediately after grading activities have been completed per the approved landscape plan.

Schedule:

April 15, 2017	Install perimeter erosion control items. Begin site demolition.
May 15, 2017	Begin foundation excavation/building construction.
April 1, 2018	Building and site work substantially complete.
May 1, 2018	Install/complete final restoration and landscaping.
July 1, 2018	Vegetation established.



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ph 608-709-1250

Structural Engineering:

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Drawn by: BSEI
Checked by: CaS4 Architecture

Details & Notes

C-500

NOT FOR CONSTRUCTION

Plant List - Green Roof Mixes			
Key	Botanical Name	Quantity	Comments
Green Roof, Type One (Sun)			
	<i>Sedum acre</i> 'Aurea'	3,144 SF	Provide pre-grown sedum mats, tiles or trays that provide an immediate vegetative cover with minimum 95% coverage upon installation.
	<i>Sedum album</i> 'Coral Carpet'		
	<i>Sedum kamtschaticum</i> 'Weihenstephaner Gold'		
	<i>Sedum kamtschaticum</i> 'Variegatum'		
	<i>Sedum reflexum</i> 'Blue Spruce'		
	<i>Sedum rupestre</i> 'Angelina'		
	<i>Sedum spurium</i> 'John Creech'		
	<i>Sedum spurium</i> 'Red Carpet'		

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303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:



303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

1603 Monroe

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Madison, WI 53703

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Drawn by: CaS4 Architecture
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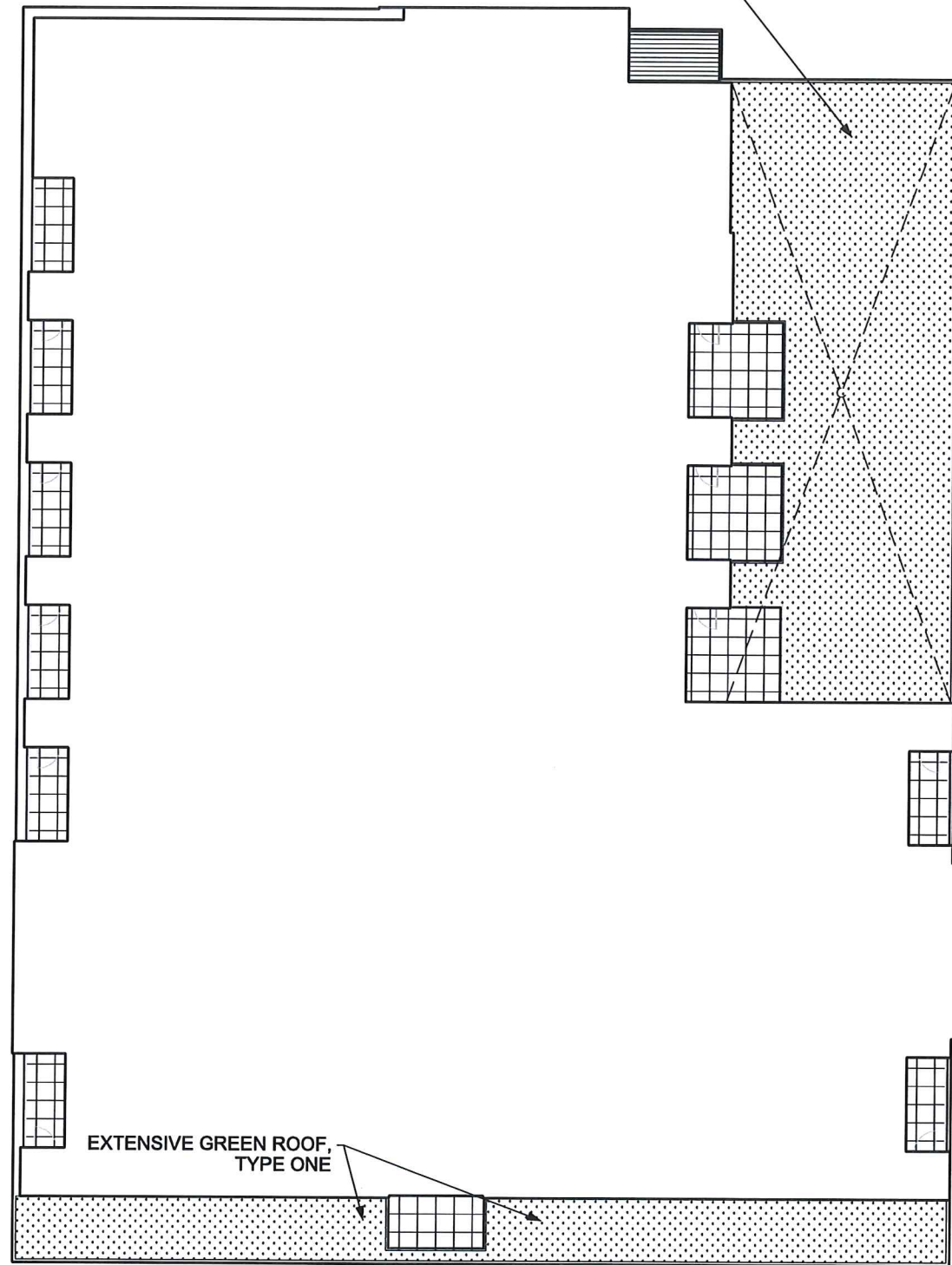
**Green Roof
Planting Plans**

L101

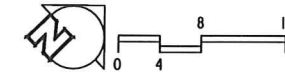
NOT FOR CONSTRUCTION

Project Name: 1603 Monroe
Project #: 15002.00

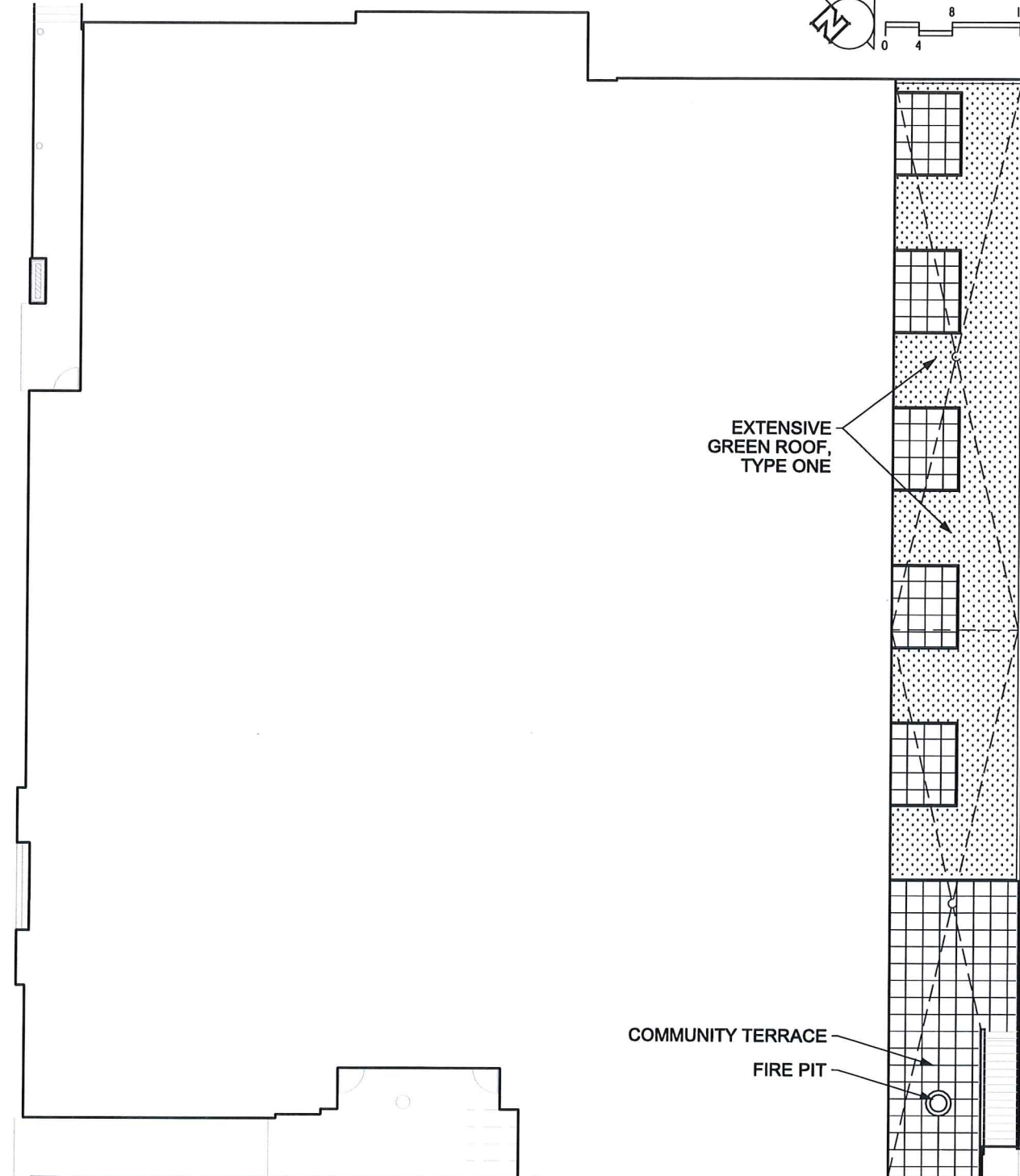
EXTENSIVE GREEN ROOF, TYPE ONE



1 GREEN ROOF PLAN - SECOND FLOOR
1/8" = 1'-0"



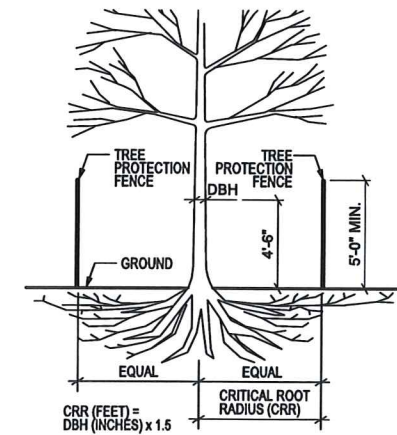
EXTENSIVE GREEN ROOF, TYPE ONE



2 GREEN ROOF PLAN - FIRST FLOOR
1/8" = 1'-0"

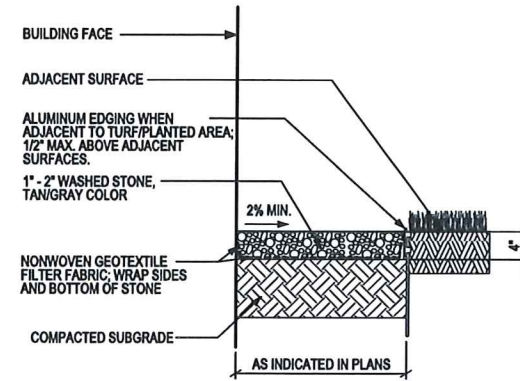
COMMUNITY TERRACE

FIRE PIT

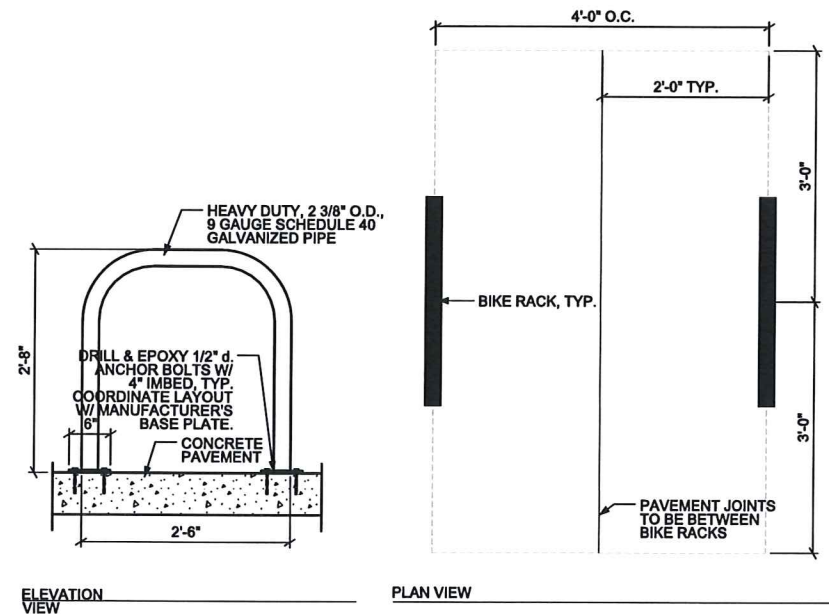


- NOTES:**
1. ALL TREES INDICATED TO BE RETAINED ON THE PLANS SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING CONFORMING TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION), SECTION 107.13 "TREE PROTECTION SPECIFICATION".
 2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE DEMOLITION OR PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES MAY BE STORED IN THE TREE PROTECTION AREA.
 3. PLACE PROTECTION FENCE AT THE BACK OF CURB AND EDGE OF SIDEWALK AND A MINIMUM OF 5'-0" ON EITHER SIDE OF THE TRUNK WITHIN THE TERRACE, OR AS INDICATED BY A CITY OF MADISON REPRESENTATIVE.
 5. PLACE TREE PROTECTION FENCE STAKES AT 5'-0" O.C. MAX.

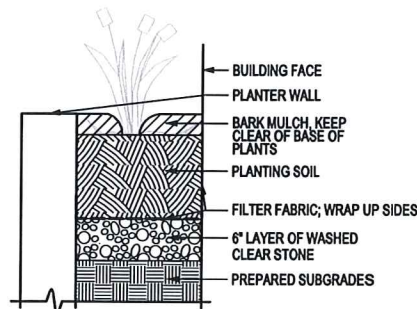
1 TREE PROTECTION
NOT TO SCALE



4 MAINTENANCE EDGE
NOT TO SCALE



2 BICYCLE PARKING
NOT TO SCALE



3 PLANTING
NOT TO SCALE

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303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:



303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt.
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Issued for:

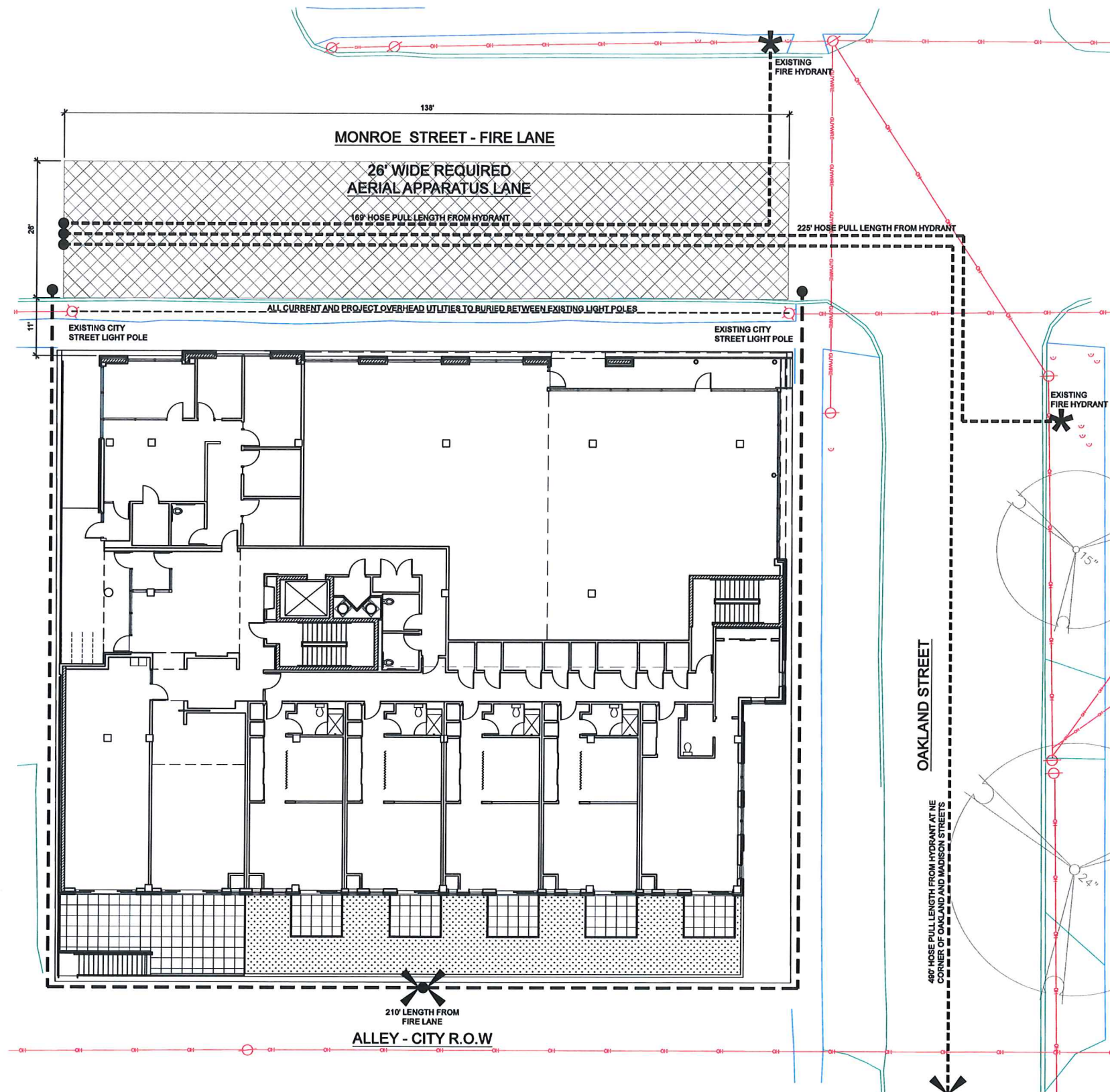
No.	Description	Date
1	Preliminary Contractor Set	2-26-2016
2	Plan Commission Submittal	4-13-2016
3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Details and Plant
Schedules

L102

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1 FIRE DEPARTMENT ACCESS PLAN
 G100 SCALE: 1/8"=1'-0"



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 Madison, WI 53703
 ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
 Madison, WI 53703

Project #: 15002.00

**Plan Comm. Major Alt.
 NOT FOR CONSTRUCTION**

Issued for:

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Drawn by: CaS4 Architecture
 Checked by: CaS4 Architecture

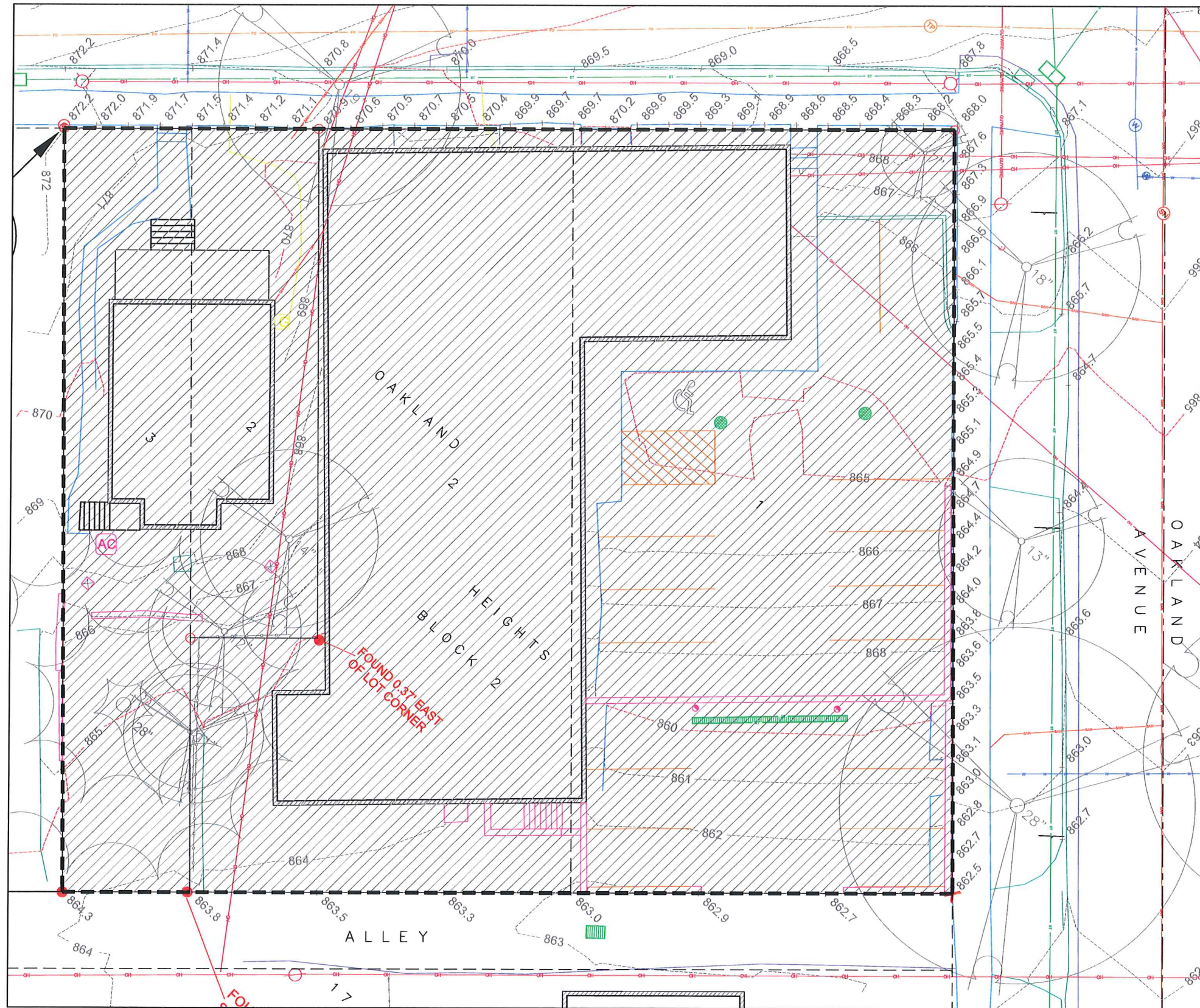
Fire Department
 Access Plan

G100

NOT FOR CONSTRUCTION

/Volumes/01/Project/15002.00 - 1603 Monroe/02 Drawings/15002_AFP_L1.dwg

Project Name: 1603 Monroe
 Project #: 15002.00



1 DEMOLITION PLAN
D100 SCALE: 1/8"=1'-0"



DEMOLITION NOTES

DEMOLISH AND REMOVE ALL MATERIALS ON THE SITE AND BOUND BY THE HATCHED AREA.

SEE CIVIL AND LANDSCAPE DRAWINGS FOR PROTECTION AND EROSION CONTROL MEASURES.

SEE CIVIL UTILITIES FOR UTILITY DEMOLITION AND TEMPORARY ABANDONMENT.

COORDINATE WITH APPROPRIATE UTILITIES AND MUNICIPAL SERVICES.

SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL AND PROTECTION.

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ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

**Plan Comm. Major Alt.
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Issued for:

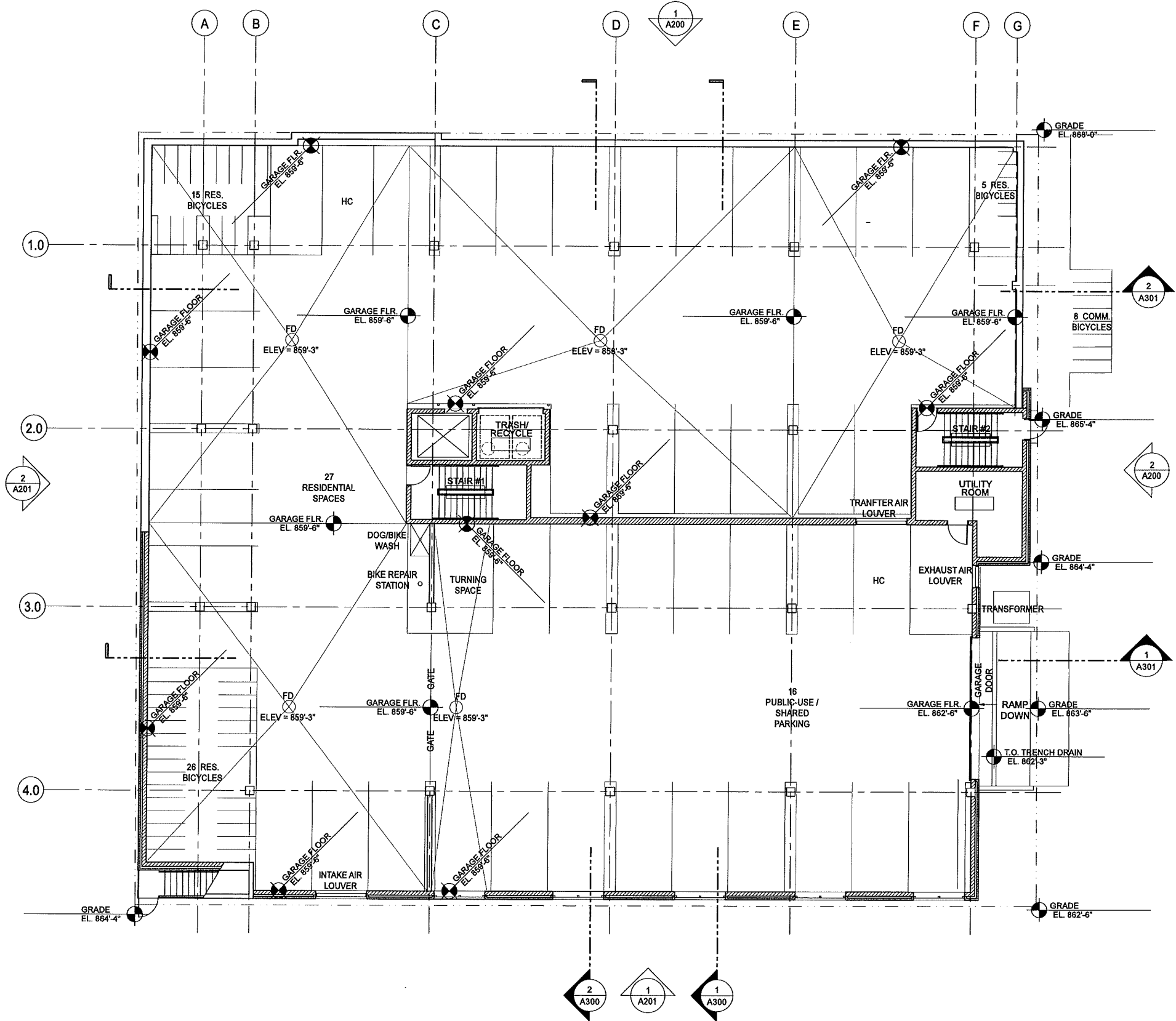
No.	Description	Date
1	Preliminary Contractor Set	2-26-2016
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4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Demolition Plan

D100

NOT FOR CONSTRUCTION



1 LEVEL P1 FLOOR PLAN
SCALE: 1/8"=1'-0"

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

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Madison, WI 53703

Project #: 15002.00

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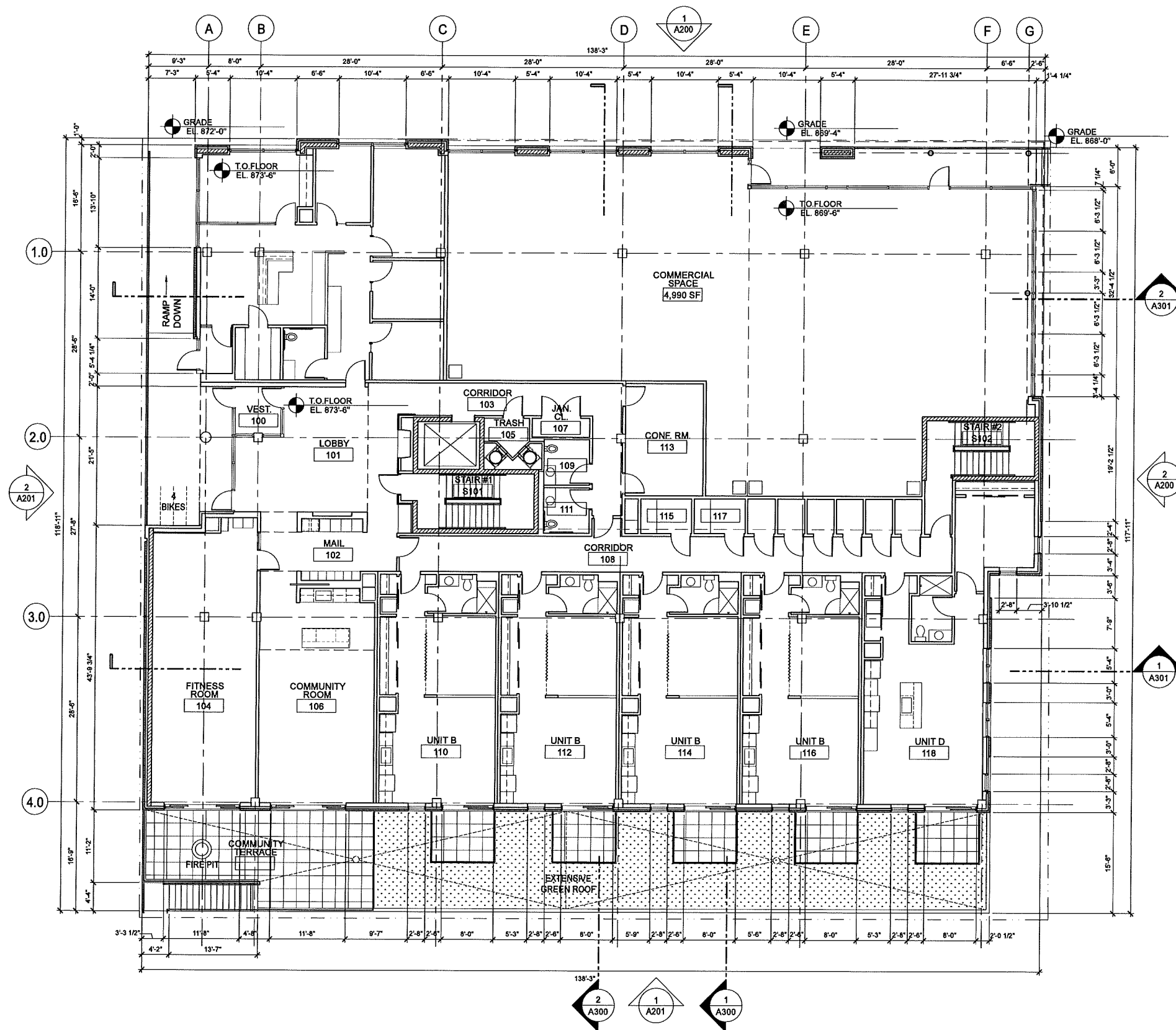
No.	Description	Date
1	Preliminary Contractor Set	2-28-2016
2	Plan Commission Submittal	4-13-2016
3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Level P1 Floor Plan

A100

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1 LEVEL 1 FLOOR PLAN
A101 SCALE: 1/8"=1'-0"

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Structural Engineering:

Civil Engineering:

Landscape Architecture:

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Project #: 15002.00

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Checked by: CaS4 Architecture

Level 1 Floor Plan

A101

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Project Name: 1603 Monroe
Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

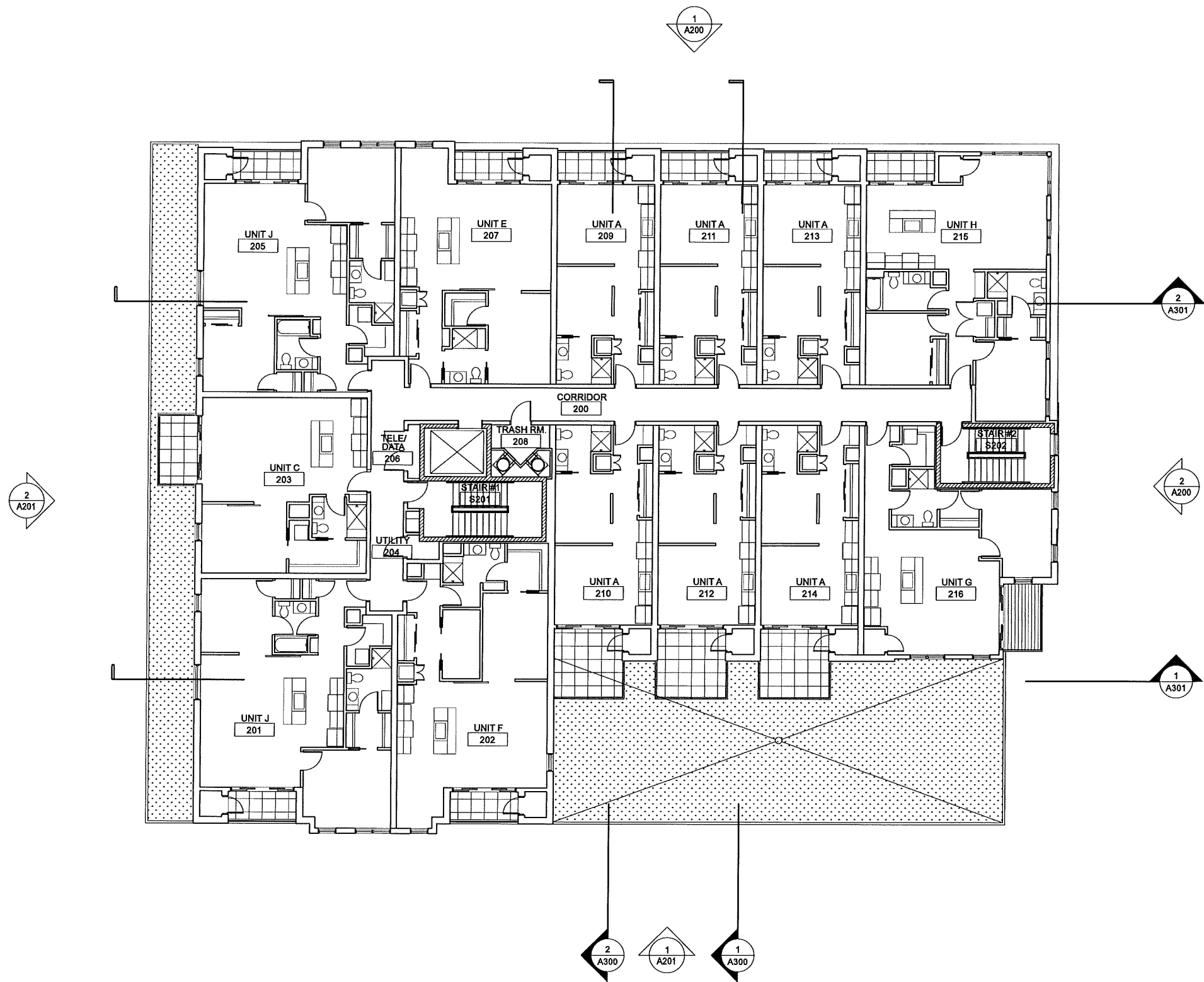
Level 2 Floor Plan

A102

NOT FOR CONSTRUCTION

1603 Monroe.dwg - 11/21/2016 10:00 AM

Project Name: 1603 Monroe
Project #: 15002.00



1 LEVEL 2 FLOOR PLAN
A102 SCALE: 1/8"=1'-0"

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe
1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt.
NOT FOR CONSTRUCTION

Issued for:

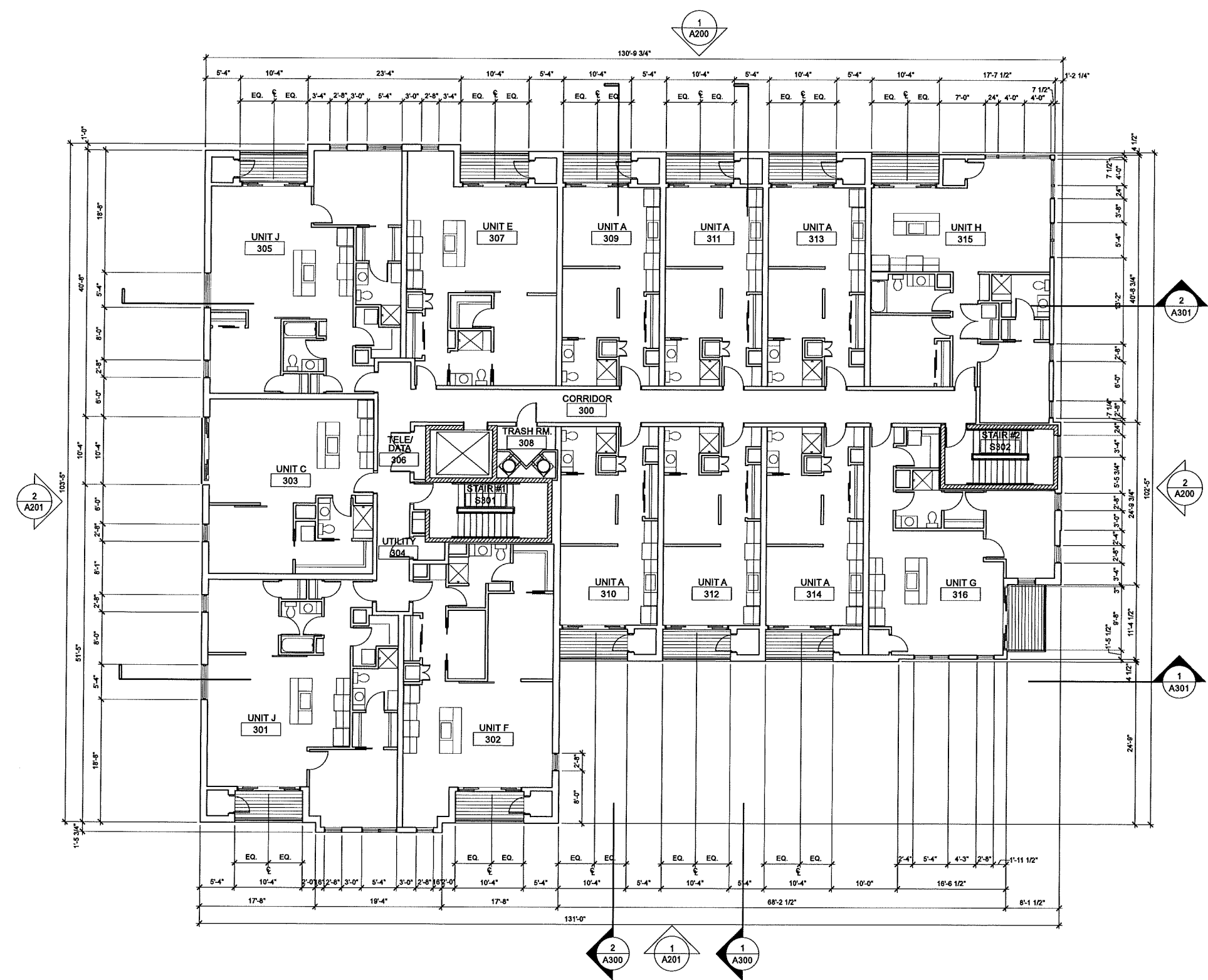
No.	Description	Date
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3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Level 3 Floor Plan

A103

NOT FOR CONSTRUCTION



LEVEL 3 FLOOR PLAN
SCALE: 1/8"=1'-0"

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt. NOT FOR CONSTRUCTION

Issued for:

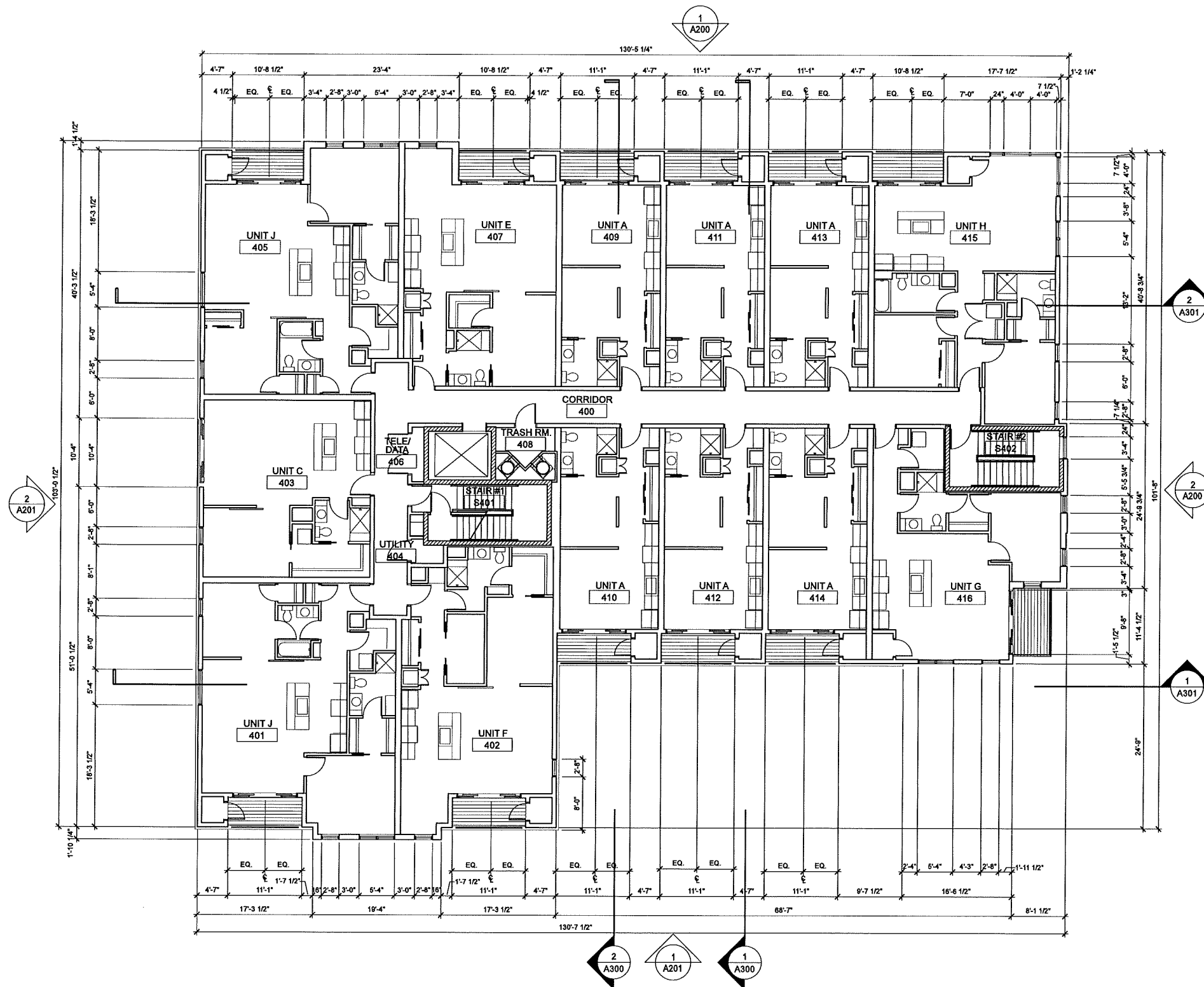
No.	Description	Date
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3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Level 4 Floor Plan

A104

NOT FOR CONSTRUCTION



1 LEVEL 4 FLOOR PLAN
A104 SCALE: 1/8"=1'-0"

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt. NOT FOR CONSTRUCTION

Issued for:

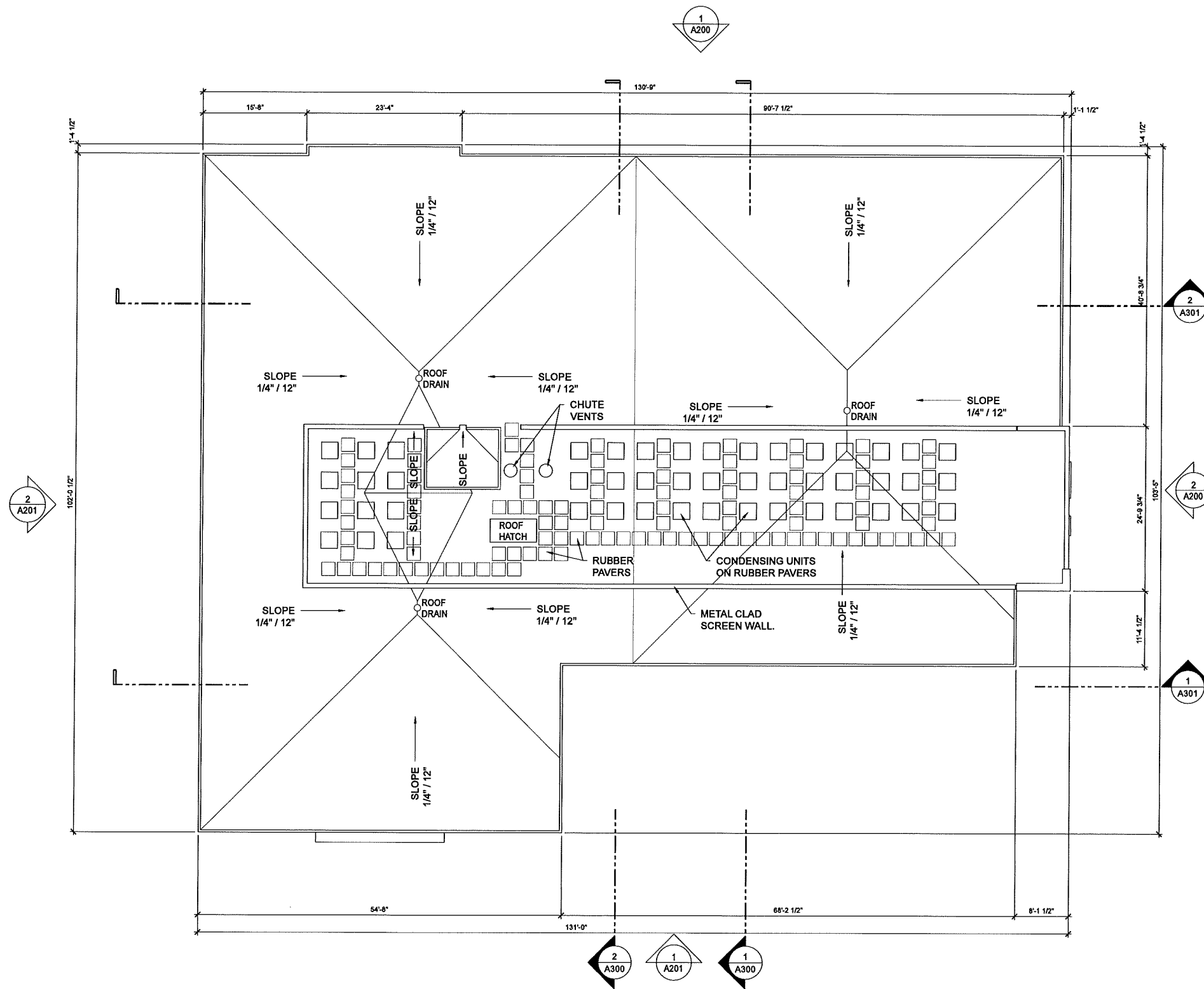
No.	Description	Date
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3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Roof Plan

A105

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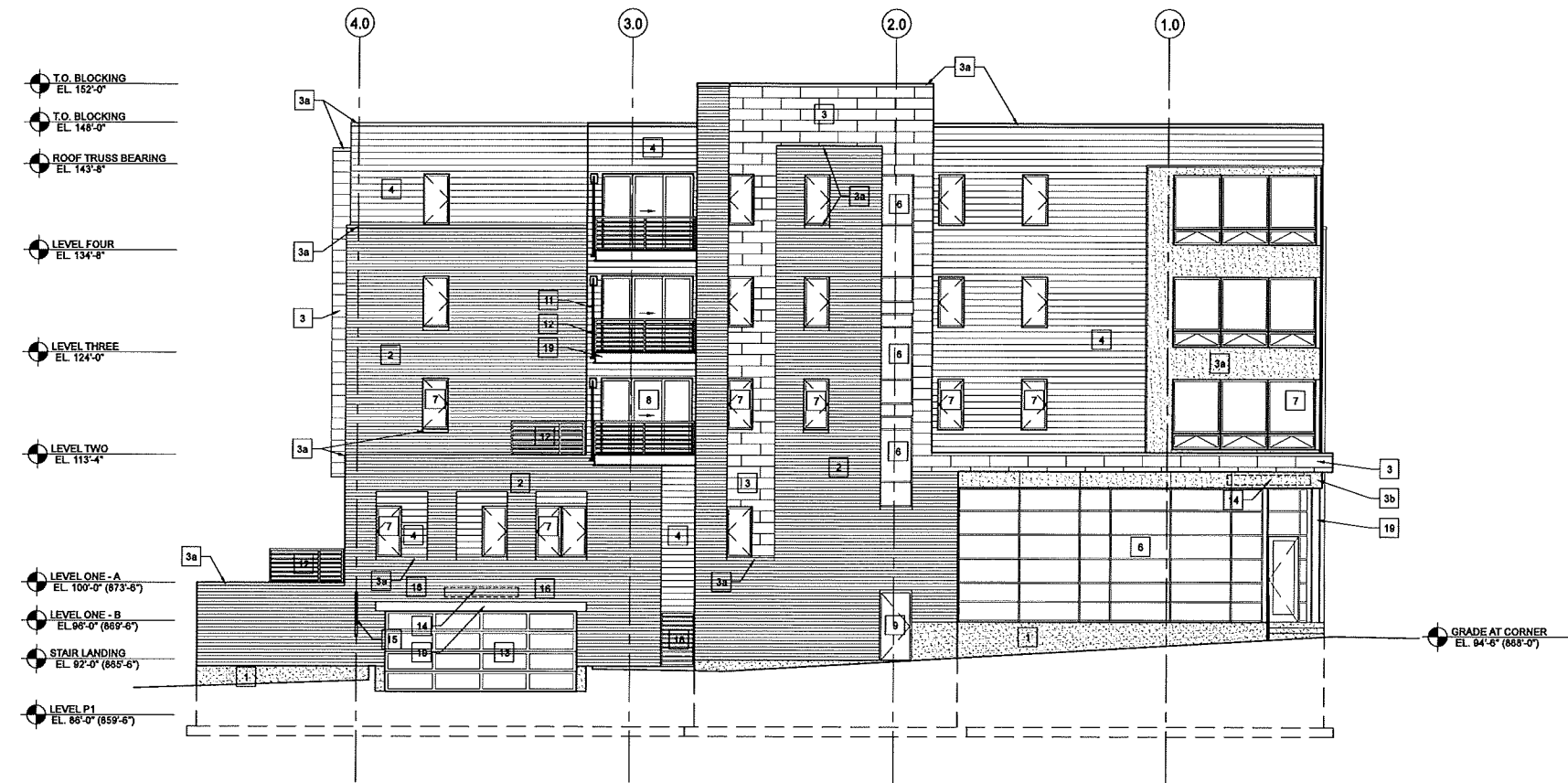


1 ROOF PLAN
A105 SCALE: 1/8" = 1'-0"



1 NORTH (MONROE STREET) ELEVATION
SCALE: 1/8"=1'-0"

- ELEVATION KEYNOTE LEGEND**
- 1 SANDBLASTED CAST IN PLACE CONCRETE
 - 2 BRICK VENEER
 - 2a BRICK VENEER RETURNS AT BALCONY
 - 3 HOOK & STRAP FLAT SEAM METAL PANEL
 - 3a PRE-FINISHED METAL COPING & SILL
 - 3b EXTERIOR PLASTER SYSTEM
 - 4 COMPOSITE LAP SIDING - 6" EXPOSURE
 - 4a COMPOSITE LAP SIDING RETURNS AT BALCONY
 - 5 TONGUE AND GROOVE WOOD SIDING
 - 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
 - 7 FIBERGLASS WINDOWS WITH CLEAR INSULATED GLAZING
 - 8 FIBERGLASS SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
 - 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STOREFRONT
 - 10 ALUMINUM WINDOW FRAME WITH INSULATED TRANSLUCENT GLAZING
 - 11 PAINTED STEEL BALCONY SUPPORTS
 - 12 PREFINISHED ALUMINUM RAILING SYSTEM
 - 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
 - 14 1/2" ALUMINUM PLATE SIGNAGE
 - 15 ALUMINUM PLATE BLADE SIGNAGE
 - 16 EXTERIOR ACCENT LIGHTING
 - 17 ALUMINUM LOUVER TO MATCH ALUMINUM STOREFRONT SYSTEM
 - 18 ALUMINUM LOUVER FINISHED TO MATCH ADJACENT WALL FINISH
 - 19 GALVANIZED STEEL STRUCTURE
 - 20 METAL MESH SCREEN WALL/GUARD & SECURE GATE



2 EAST (OAKLAND STREET) ELEVATION
SCALE: 1/8"=1'-0"

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Madison, WI 53703
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Structural Engineering:

Civil Engineering:

Landscape Architecture:

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Madison, WI 53703

Project #: 15002.00

**Plan Comm. Major Alt.
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Issued for:

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3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

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Checked by: CaS4 Architecture

BUILDING ELEVATIONS

A200

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Project Name: 1603 Monroe
Project #: 15002.00



1 SOUTH (ALLEY) ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEYNOTE LEGEND

- 1 SANDBLASTED CAST IN PLACE CONCRETE
- 2 BRICK VENEER
- 2a BRICK VENEER RETURNS AT BALCONY
- 3 HOOK & STRAP FLAT SEAM METAL PANEL
- 3a PRE-FINISHED METAL COPING & SILL
- 3b EXTERIOR PLASTER SYSTEM
- 4 COMPOSITE LAP SIDING - 8" EXPOSURE
- 4a COMPOSITE LAP SIDING RETURNS AT BALCONY
- 5 TONGUE AND GROOVE WOOD SIDING
- 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
- 7 FIBERGLASS WINDOWS WITH CLEAR INSULATED GLAZING
- 8 FIBERGLASS SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
- 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STOREFRONT
- 10 ALUMINUM WINDOW FRAME WITH INSULATED TRANSLUCENT GLAZING
- 11 PAINTED STEEL BALCONY SUPPORTS
- 12 PREFINISHED ALUMINUM RAILING SYSTEM
- 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
- 14 1/2" ALUMINUM PLATE SIGNAGE
- 15 ALUMINUM PLATE BLADE SIGNAGE
- 16 EXTERIOR ACCENT LIGHTING
- 17 ALUMINUM LOUVER TO MATCH ALUMINUM STOREFRONT SYSTEM
- 18 ALUMINUM LOUVER FINISHED TO MATCH ADJACENT WALL FINISH
- 19 GALVANIZED STEEL STRUCTURE
- 20 METAL MESH SCREEN WALL/GUARD & SECURE GATE



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

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303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

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Madison, WI 53703

Project #: 15002.00

**Plan Comm. Major Alt.
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Issued for:

No.	Description	Date
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3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

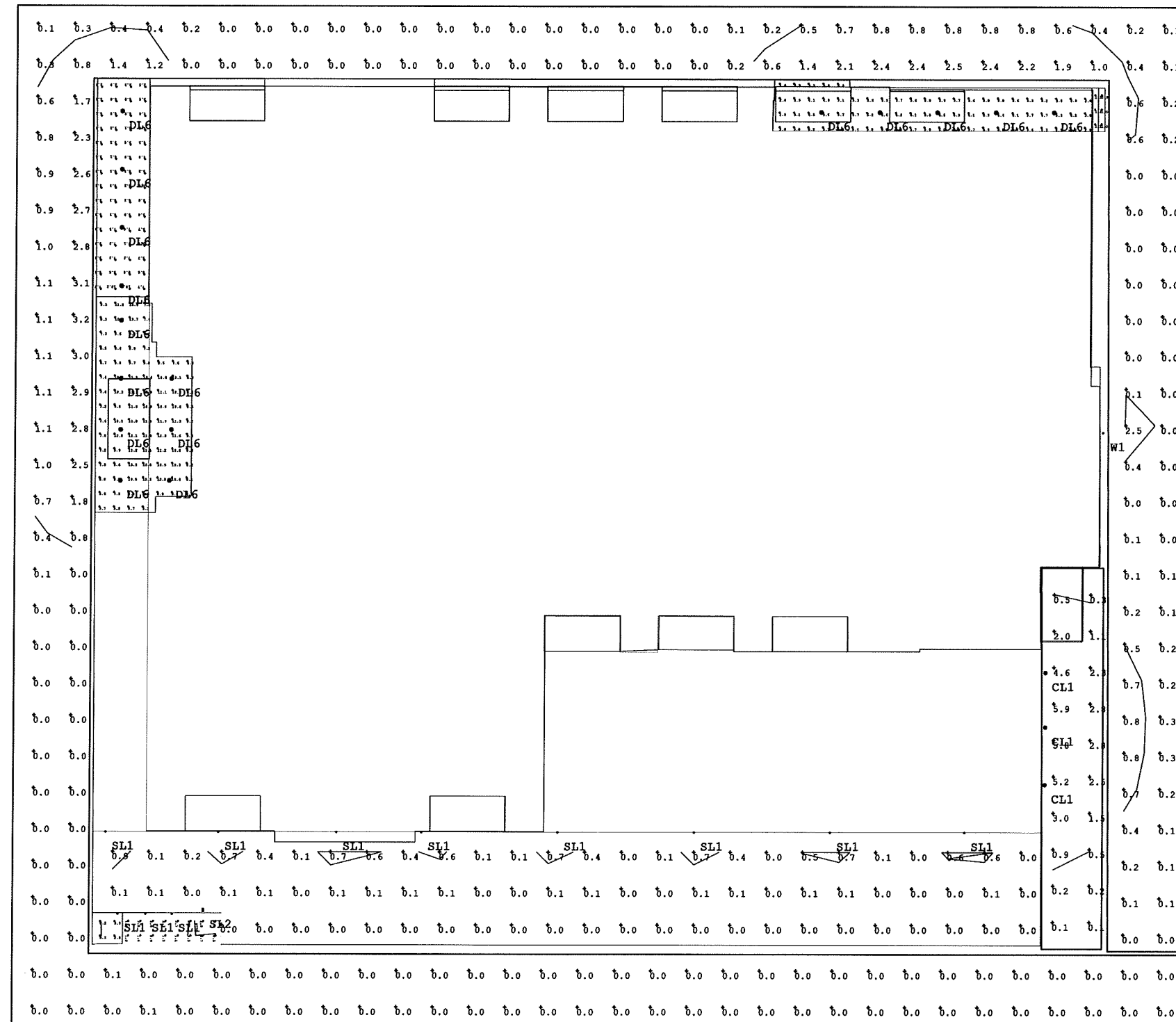
BUILDING ELEVATIONS

A201

NOT FOR CONSTRUCTION

Luminaire Schedule						
Symbol	Qty	Tag	Label	Description	Lum. Watts	LLF
⊙	3	CL1	C1 HALO SLD606835WH	SURFACE MOUNT DOWNLIGHT	12.2	0.900
⊙	16	DL6	DL6 ML5606835-692H	RECESSED DOWNLIGHT	9	0.900
⊙	11	SL1	SL1 FCSL550-LED	RECESSED STEPLIGHT	6	0.900
⊙	1	SL2	SL2 COLE 1392D L11136307	RAIL MOUNTED STEPLIGHT	2.61	0.900
⊙	1	W1	W1 904-10LED3041-12-BK	10LED3041	9.3	0.900

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
1ST FLOOR LANDING Top	Illuminance	Fc	9.24	12.1	3.7	2.50
1ST FLOOR PATIO Top	Illuminance	Fc	0.15	0.9	0.0	N.A.
1ST FLOOR RAMP 1 Side 3	Illuminance	Fc	5.71	10.2	2.5	2.28
ALLEY STEPS Side 3	Illuminance	Fc	1.43	3.7	0.3	4.77
BUILDING FIRST FLOOR NE STOOP 1	Illuminance	Fc	1.30	1.4	1.2	1.08
BUILDING FIRST FLOOR NE STOOP 2	Illuminance	Fc	0.97	1.0	0.9	1.08
BUILDING FIRST FLOOR NE STOOP 3	Illuminance	Fc	5.01	6.5	1.6	3.13
EGRESS STAIR LANDING Planar	Illuminance	Fc	1.60	3.9	0.2	8.00
GARAGE ENTRY	Illuminance	Fc	2.12	5.9	0.1	21.20
OUTSIDE PROPERTY LINES	Illuminance	Fc	0.39	3.2	0.0	N.A.



EXTERIOR PHOTOMETRICS - GRADE LEVEL
SCALE: 1/8"=1'-0"

Cas4

architecture, llc

303 S. Paterson Street, Ste. 1
Madison, WI 53703
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe
1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

Plan Comm. Major Alt.
NOT FOR CONSTRUCTION

Issued for:

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2	Plan Commission Submittal	4-13-2016
3	Preliminary Pricing Set	6-28-2016
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Drawn by: Cas4 Architecture
Checked by: Cas4 Architecture

Exterior Photometrics
Grade Level

E001

NOT FOR CONSTRUCTION

 Project Name: 1603 Monroe
Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

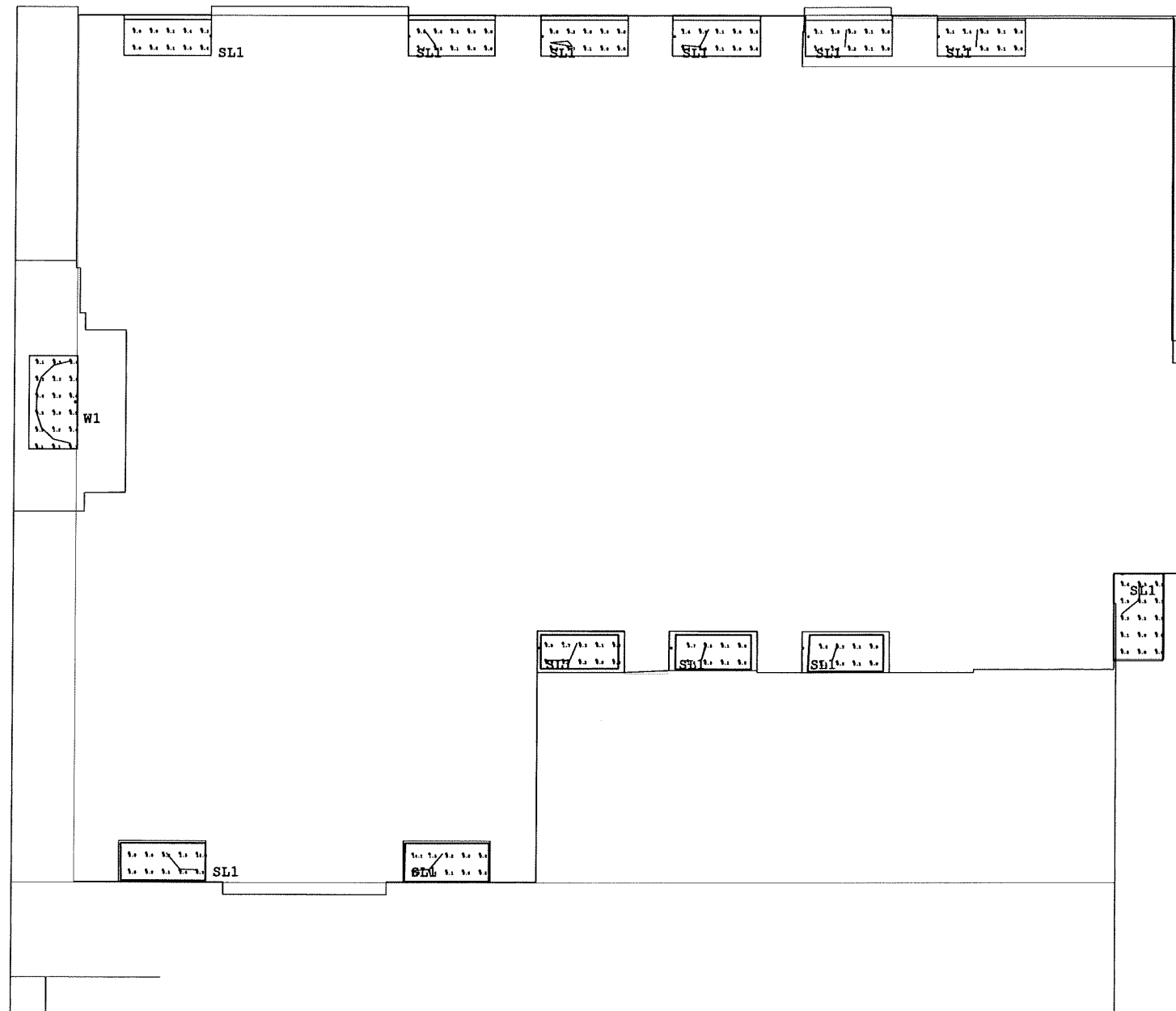
Exterior Photometrics
Level 2

E002

NOT FOR CONSTRUCTION

1603 Monroe St - 15002.00 - 1603 Monroe St Drawing E002_00.dwg

Project Name: 1603 Monroe
Project #: 15002.00



1 EXTERIOR PHOTOMETRICS - LEVEL 2
E002 SCALE: 1/8"=1'-0"



Structural Engineering:

Civil Engineering:

Landscape Architecture:

1603 Monroe

1603 Monroe Street
Madison, WI 53703

Project #: 15002.00

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

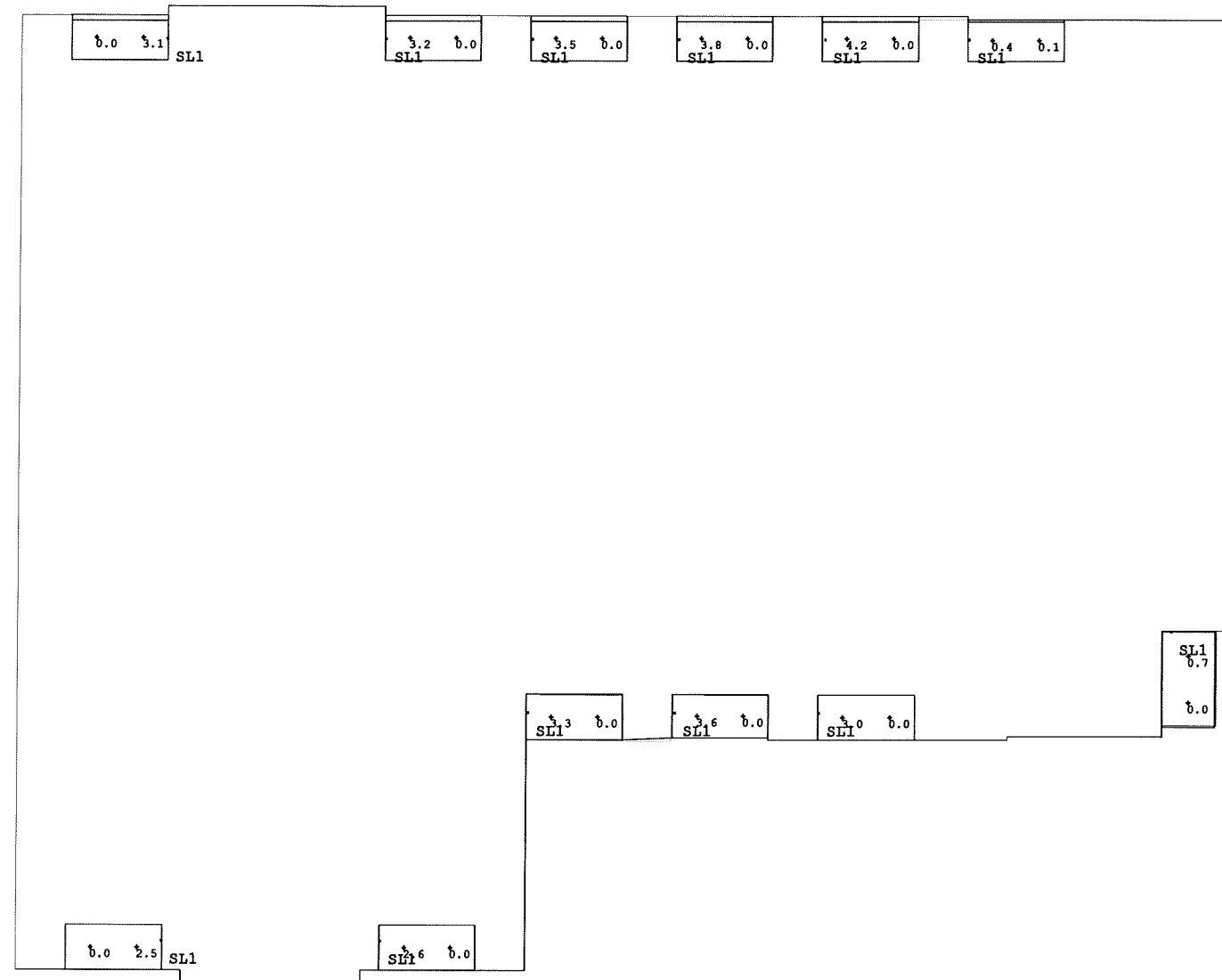
Exterior Photometrics
Levels 3 & 4

E003

NOT FOR CONSTRUCTION

M:\main\01 Project Files\15002.00 - 1603 Monroe\22 Drawing\1502_E003.dwg

Project Name: 1603 Monroe
Project #: 15002.00



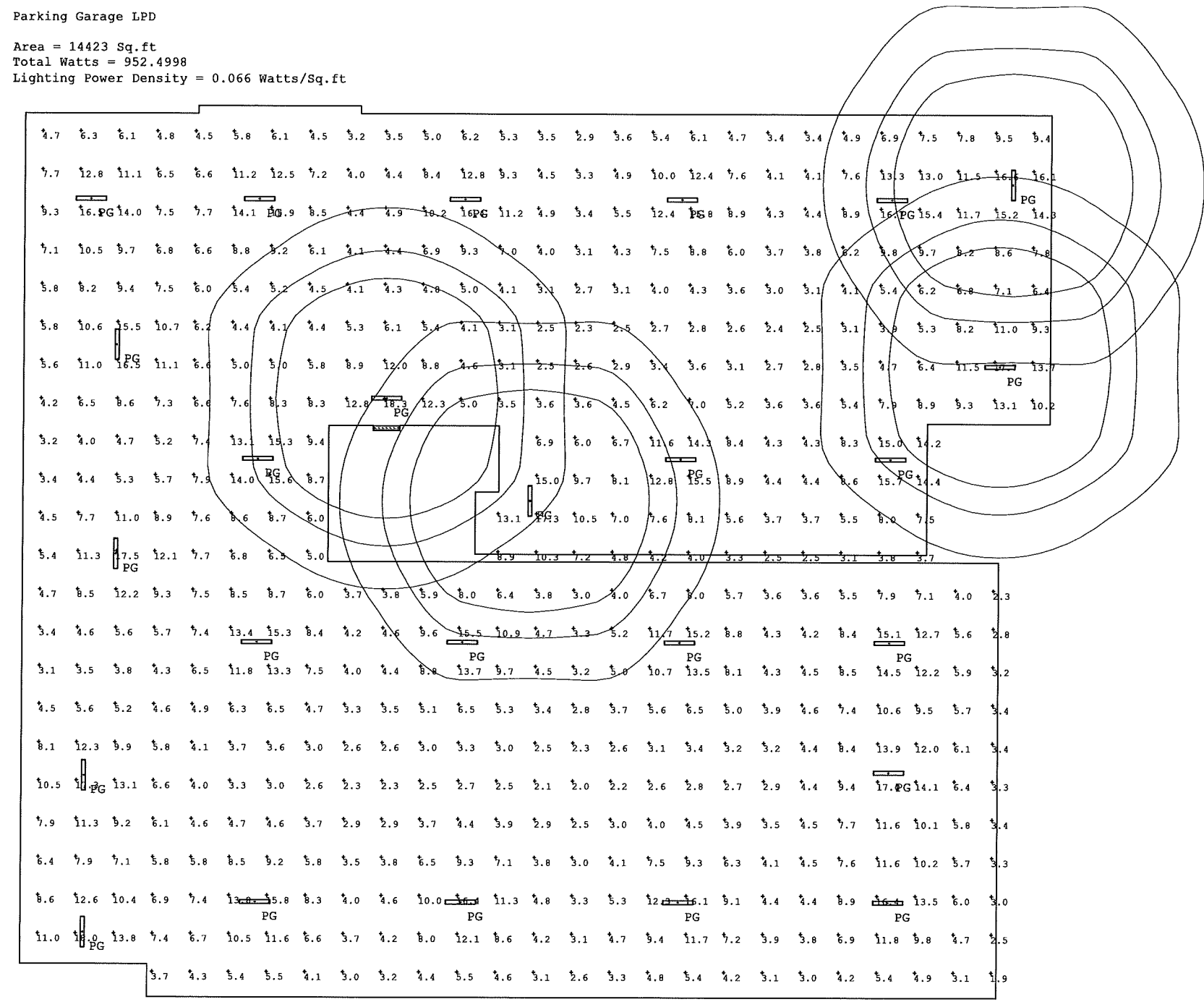
1 EXTERIOR PHOTOMETRICS - LEVELS 3 & 4
E003 SCALE: 1/8"=1'-0"



Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Total Lamp Lumens	Lum. Watts	LLF
☐	25	PG	PG Metalux 4VT2-LD4-4-DR	SURFACE MOUNT VAPORTIGHT	N.A.	38.1	0.900

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	
ELEVATOR THRESHOLD	Illuminance	Fc	14.79	15.1	14.4	1.03	
PARKING GARAGE Floor	Illuminance	Fc	6.91	18.3	1.9	3.64	

Parking Garage LPD
 Area = 14423 Sq.ft
 Total Watts = 952.4998
 Lighting Power Density = 0.066 Watts/Sq.ft



Structural Engineering:

 Civil Engineering:

 Landscape Architecture:

1603 Monroe
 1603 Monroe Street
 Madison, WI 53703

Project #: 16002.00

Plan Comm. Major Alt.
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Drawn by: Cas4 Architecture
 Checked by: Cas4 Architecture

Interior Photometrics
 Parking Level

E004

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