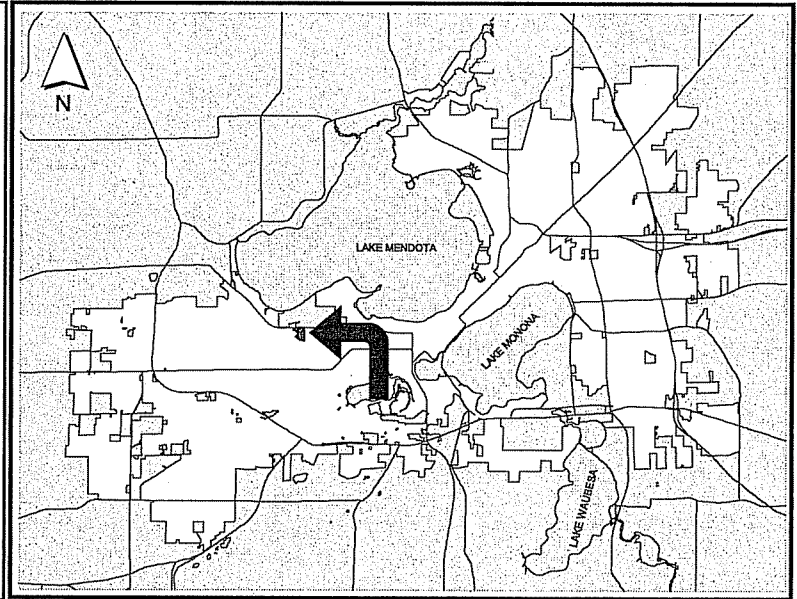


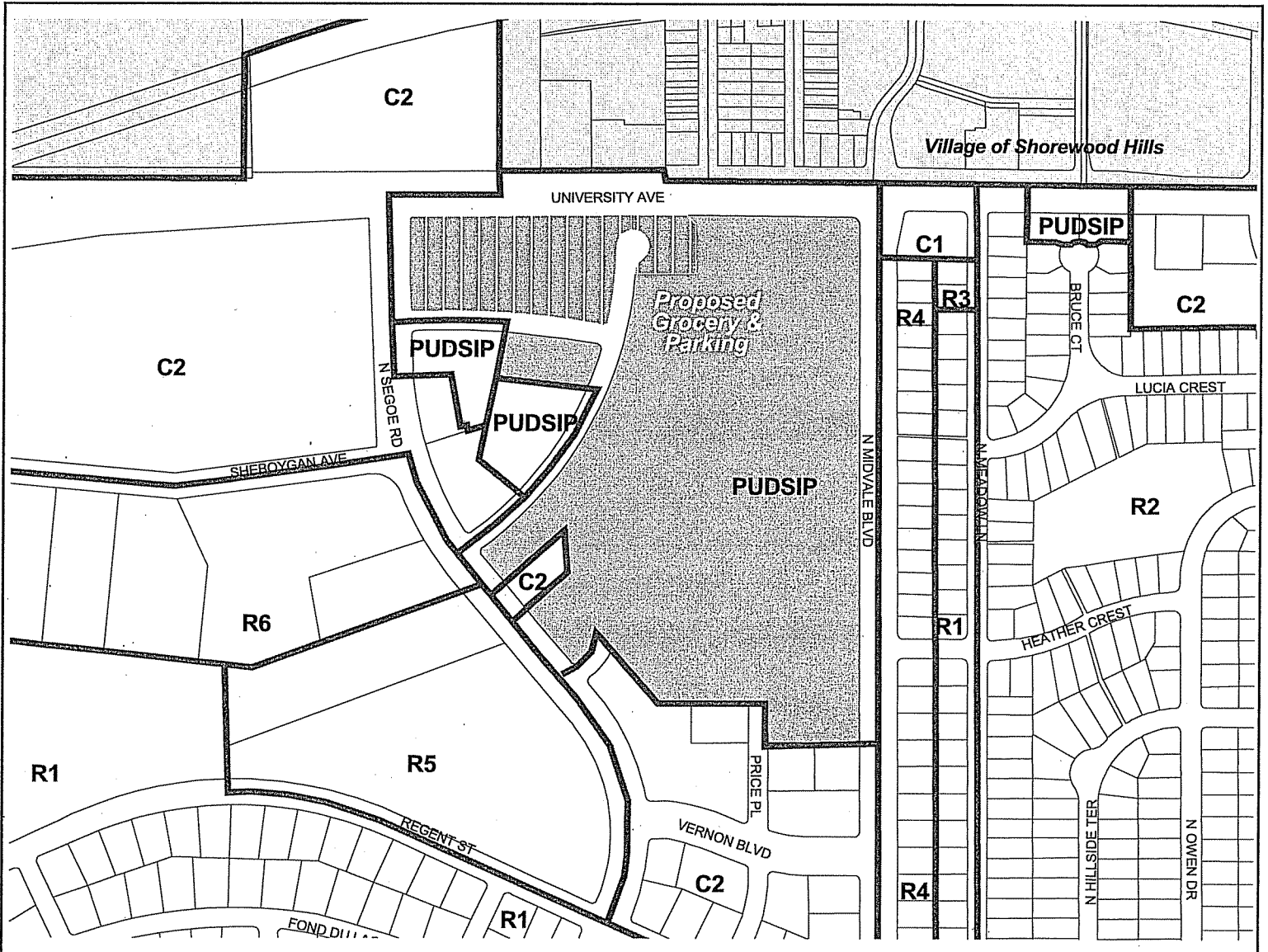
CITY OF MADISON

Proposed Demolition & Rezoning

Location: 702 North Midvale Boulevard
Applicant: Hilldale Land Company/Dennis Harder -
Joseph Freed & Associates
From PUD(SIP) District(s)
To Amended PUD(GDP-SIP) District(s)
Existing Use: Office Building and Parking
Proposed Use: Demolish Office Building & Build
50,000 sf Grocery Store
File No. _____
Public Hearing Dates:
Plan Commission 20 March 2006
Common Council 04 April 2006



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

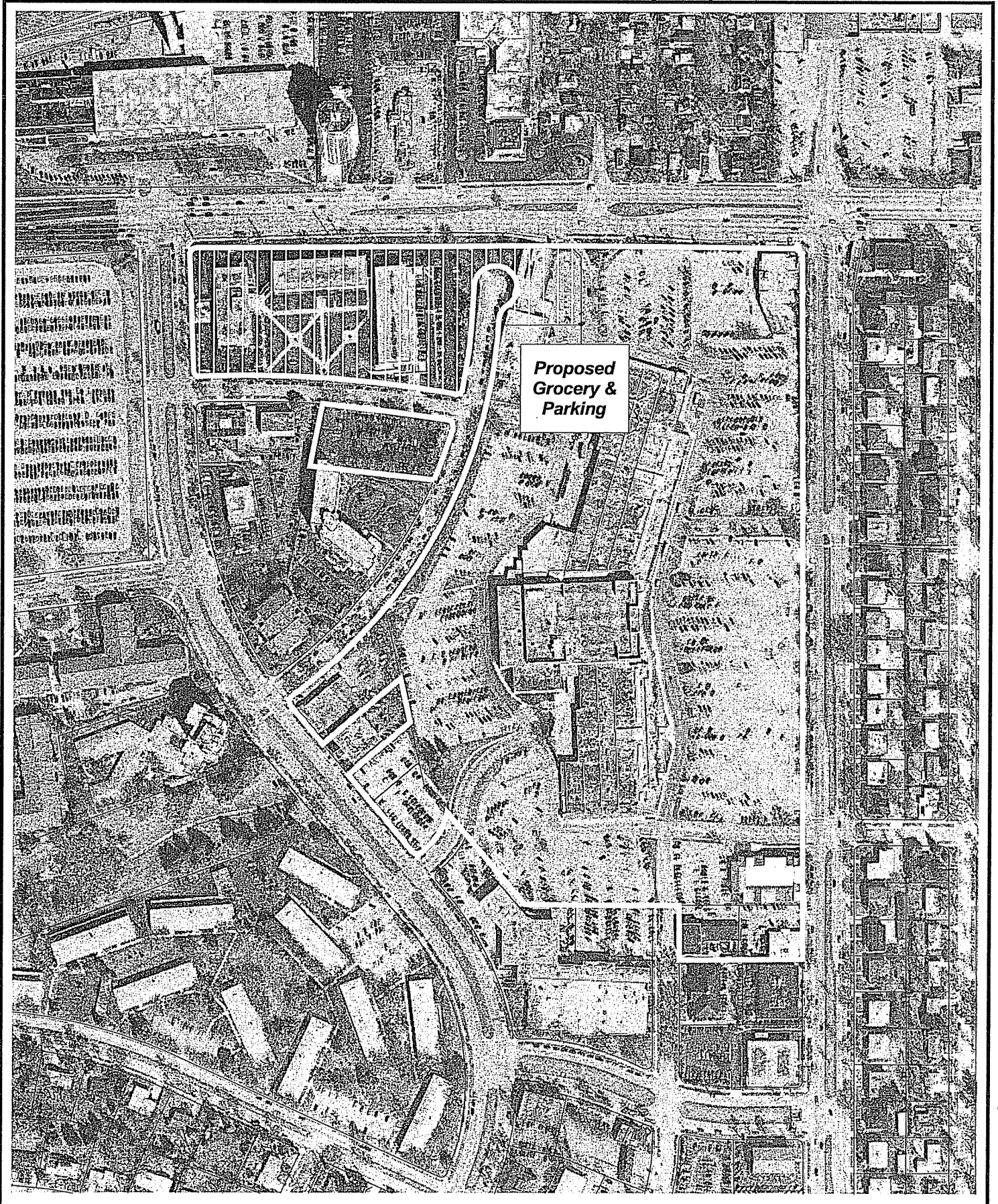


702 North Midvale Boulevard

0 100 Feet



Date of Aerial Photography - April 2000



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
 Date Received _____
 Received By _____
 Parcel No. _____
 Aldermanic District _____
 GQ _____
 Zoning District _____

For Complete Submittal

Application _____ Letter of Intent _____
 IDUP _____ Legal Descript. _____
 Plan Sets _____ Zoning Text _____
 Alder Notification _____ Waiver _____
 Ngrhd. Assn Not. _____ Waiver _____
 Date Sign Issued _____

1. **Project Address:** 702 N. Midvale Blvd. **Project Area in Acres:** 37.00

Project Title (if any): Hilldale Center

2. **This is an application for:** (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>PUD: GDP/SIP</u> to <u>PUD: GDP/SIP (Amended)</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Dennis Harder Company: Joseph Freed & Associates
 Street Address: 220 N. Smith Street City/State: Palatine, IL Zip: 60067
 Telephone: (847) 215-5430 Fax: (847) 215-5282 Email: dlannie@jfreed.com

Project Contact Person: Domenic Lanni Company: Joseph Freed & Associates
 Street Address: 220 N. Smith Street City/State: Palatine, IL Zip: 60067
 Telephone: (847) 215-5430 Fax: (847) 215-5282 Email: dlannie@jfreed.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Redevelopment of a six acre portion of the property for a 50,000 square foot Whole Foods.

Development Schedule: Commencement July/2006 Completion April/2007

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ _____ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of HILDALE PUD Plan, which recommends:

Commercial and/or Residential use for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Tim Gruber (11) on 6/16/05 and Michael Lawton (Hill Farms Neighborhood) on 6/16/05

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 3/6/06 | Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Domenic Lanni Date 3/10/06

Signature [Signature] Relation to Property Owner _____

Authorizing Signature of Property Owner [Signature] Date 3/10/06

JOSEPH FREED AND ASSOCIATES LLC

March 10, 2006

Mr. Bradley J. Murphy
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Drive
Madison, WI 53710

Attention: Timothy Parks

RE: Revisions to Hilldale PUD:GDP/SIP - SIP #2

Dear Mr. Murphy:

Enclosed please find the following Hilldale Center SIP #2 revised materials submitted for final review:

PUD: GDP-SIP Amendment Application

Please find the following attachments:

- Revised EX201 – General Development Plan
- Various Revised Site Detail, Landscaping, and Signage Exhibits as used with the Urban Design Commission.

This letter provides the revised Zoning Text for the PUD: GDP/SIP.

General Development Plan

Early in 2005 the PUD: GDP-SIP for the 37-acre Hilldale Site was approved and recorded. The Developer – Joseph Freed and Associates LLC – as agent for the owner is proposing to amend the PUD: GDP/SIP to permit the following:

Redevelopment of the approximately six-acre portion of the Hilldale Site generally bounded by University/Sawyer/Frey/Segoe on which vacant office buildings currently sit. This redevelopment proposal includes retail and parking uses as described in detail below as SIP #2. EX 201 shows the proposed GDP. A revised parking table for the entire site is also attached with this letter.

SIP #2: University/Sawyer/Frey/Segoe Portion of the Hilldale Site

The Developer is proposing a Specific Implementation Plan (SIP #2) for the Hilldale Site with the following characteristics:

GROCERY STORE SITE:

- A new approximately 50,000 SF grocery store structure will be constructed at Segoe and University. Whole Foods Market has signed a lease to occupy this building.
- Outdoor paved and landscaped areas have been provided along the east face of the grocery store to accommodate opportunities for selected store departments (café, produce, bakery, et al) to move out-of-doors.
- Facilities for pedestrians and bicycles have been provided on-site and in adjacent rights-of-way. New pathways and sidewalks have been connected to existing ones at all safe, convenient and logical locations.
- Bicycle parking facilities have been provided.
- An appropriately landscaped surface parking lot with capacity for 242 automobiles has been located adjacent to and east of the grocery store. Because most of this lot will be at a higher elevation than the adjacent rights-of way of Frey Street and University Avenue, views into the lot from those streets will be limited: from most locations, the view toward the lot will be of slopes, small portions of retaining walls and landscaping.
- A terraced pedestrian stairway has been introduced at the southeast corner of the Whole Foods parking lot to provide an enhanced appearance to the retaining wall and facilitate pedestrian movement through this area.
- A new right-in/right-out access to the parking lot has been located on University Avenue. The radii of the entrance and exit drives have been reduced as much as current design standards will allow.
- The north elevation of the grocery store includes a variety of textures, reveals, and trellises. This store has been designed to comply with all of the city big box ordinances. An outdoor pedestrian plaza has been provided at the northeast corner of the building with a store entrance to facilitate pedestrian movement from University Avenue in and out of the store.
- The loading dock has been covered and screened to enhance the surrounding neighborhood ambiance.
- The sidewalk along University at the right-in/right-out will be located in conjunction with Traffic Engineering recommendations.
- The intersections at University and Segoe, and Segoe and Frey, will be designed in accordance with Traffic Engineering recommendations.
- Landscaping along the right-of-way and on-site will be intense, potentially including ornamental trees and both perennial and annual flower planters on the sloped areas.
- Retaining walls on the north side, the south side and the east end of the parking lot will be tiered and heavily landscaped.

- Various Storm-water features have been incorporated into the site design including a green roof, permeable pavers, infiltration islands, roof drain irrigation tile and underground detention. Storm-water detention facilities in the form of pipes or vaults will be placed below the east end of the parking lot behind the retaining walls.
- Locations for signage are shown on the plans.

DEMOLITION OF EXISTING BUILDINGS:

- Office space should be a part of the mixed-use rebirth of Hilldale because it provides a much-needed daytime population that instills certain vibrancy throughout the project. The existing office complex is to be demolished to accommodate this SIP. When the developer purchased this property the office market was stagnant and the three building complex was vacant. The Developer embarked on an unsuccessful 12-month effort to lease the 100,000 square feet of office space. After much time, effort and money, the Developer performed an internal feasibility and highest and best use study that revealed a strong market for retail uses to drive traffic, create energy and continue the momentum for the Hilldale Mall redevelopment. Future office uses will be looked at in other locations throughout the project site and adjacent sites when market conditions improve to make it economically feasible. The Developer will investigate opportunities to build office space as part of the Project Master Plan process.

PROJECT MASTER PLAN:

- The Developer has embarked on a Project Master Plan to satisfy the City, Community Neighborhood Groups and various constituents of the project.
- This process has begun and will include meetings with City Staff, Community Organizations, surrounding landowners and various professionals to assist in the overall Project Master Planning effort.

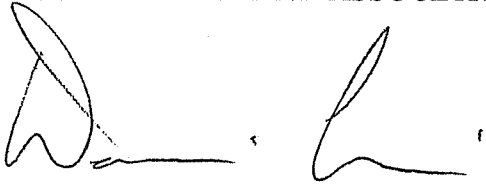
Discussion and Input

The Developer has met with Alderman, City Staff and Community Organizations and the Urban Design Commission through the second half of 2005 and first quarter of 2006 to discuss various aspects of this proposal. Meetings have been held with, among others:

- Alders Gruber (11), Radomski (19) and Golden (10)
- Staff from Planning, Traffic Engineering, Engineering, Metro Transit
- Hill Farms Neighborhood Association

If there are questions concerning these materials, please contact me.

JOSEPH FREED AND ASSOCIATES LLC

A handwritten signature in black ink, appearing to read 'Domenic Lanni'. The signature is written in a cursive style with a large initial 'D' and a long horizontal stroke.

Domenic Lanni
Development Manager

HILLDALE - SIP CHANGES: PARKING AND FLOOR AREA

GROSS FLOOR AREA (SF)	EXISTING	ADDED	REMOVED	NET
Core	329,462	0	0	329,462
Firestone	0	0	0	0
Bank	0	0	0	0
Theater	11,054	0	0	11,054
Banquet Hall	28,506	0	0	28,506
Post Office	9,386	0	0	9,386
Humana	97,430	0	(97,430)	0
Restaurants (N)	10,000	0	0	10,000
Retail	51,190	0	0	51,190
Restaurants (S)	10,000	0	0	10,000
Resid. - Midvale	42,000	0	0	42,000
New Grocery	0	50,000	0	50,000
New Residential	0	0	0	0
TOTAL	589,028	50,000	(97,430)	541,598
PARKING				
Surface Retail	1,104	0	0	1,104
Surface Resid.	24	0	0	24
Structure	649	0	0	649
Garage-Resid.	28	0	0	28
Humana	320	0	(236)	84
New Grocery - Surface	0	242	0	242
New Surface Residential	0	0	0	0
New Garage Residential	0	0	0	0
TOTAL	2,125	242	(236)	2,131

Urban Design Commission
 Hilldale Mall Redevelopment - Whole Foods Market

3. Facades & Exterior Walls

A. Facades greater than 75' in length shall incorporate projections or recesses having a depth of at least 3% of the total length of the façade. No façade shall exceed 75' in length.

	East Façade	North Façade	West Façade	South Façade
Length in Feet:	269	212	269	212
3% of Façade:	8.07	6.36	8.07	6.36
Provided:	22' of projections	8' of projections	10' of projections	44' of projections

B. Ground floor facades that face or abut public streets with pedestrian and vehicular access shall incorporate the following types of features along no less than 60% of their horizontal length in a manner determined sufficient by the Plan Commission

	(1) Arcades	(2) Windows for Vision, display or daylighting	(3) Customer entrances	(4) Awnings, canopies or porticos	(5) Outdoor Patios or community
East Façade		X	X	X	X
North Façade		X	X	X	X
West Façade		X		X	X
South Façade		X		X	X

C. Facades shall have repeating features with no less than 3 of the elements below. 24" minimum change in plane.

	[C] Color	[T] Texture	[M] Material/ module	[E] Expression of Architecture/ structure
East Façade	X	X	X	X
North Façade	X	X	X	X
West Façade	X	X	X	X
South Façade	X	X	X	X

D. At least one of the above must repeat horizontally. All elements must repeat at 30' max. See elevations for 3a

City of Madison, Urban Design Commission Requirements

Whole Foods Market – Hilldale

<p>1. Large Retail Developments</p>	<p><u>Comments</u></p>
<p>Applies to retail 40,000 sf or greater</p>	<p>50,000 sf retail footprint</p>
<p>2. Maximum Building Footprint</p>	<p>Less than Maximum allowed</p>
<p>Max footprint size 100,000 GSF</p>	<p><i>North & South Facades: 220' long</i> <i>3% of 220' = 6'7" required</i></p>
<p>3. Facades and Exterior Walls</p>	<p>North: 8'-0" provided</p>
<p>a. Facades greater than 75' in length shall incorporate projections or recesses having a depth of at least 3% of the total length of the facade. No facade shall exceed 75' in length.</p> <p>b. Ground floor facades that face or abut public streets with pedestrian and vehicular access shall incorporate the following features along 60% of their length: Arcades, windows (vision, display, or day lighting), entrances, awnings, canopies, porticos, outdoor patios, community features.</p>	<p>South: 44'-0" provided <i>East & West Facades: 265' long</i> <i>3% of 265' = 7'-11" required</i> East: 32'-0" provided West: 10'-0" provided</p>
<p>c. Facades shall have repeating features with no less than 3 of the following elements: color change, texture change, material/module change, expression of architectural or structural bay through 24" minimum change in plane</p>	<p>No facade element is longer than 50'</p>
<p>d. At least one of the above must repeat horizontally. All elements must repeat at 30' max.</p>	<p>Color, texture, material & expression all repeat</p> <p>All elements repeat at less than 30'</p>

4. Roofs

- a. Varies with change in height every 75' max
- b. No less than 2 of the following
 - i. Parapets to conceal RTU's with 3 dimensional cornice treatment
 - ii. Overhanging eaves that extend no less than 3' past the walls
 - iii. 3 or more roof slope planes with varying lengths and designs.

Varies – Max. 50'
 Parapets on all walls
 Overhangs at entry towers
 Multiple slope roof planes provided

5. Materials and Colors

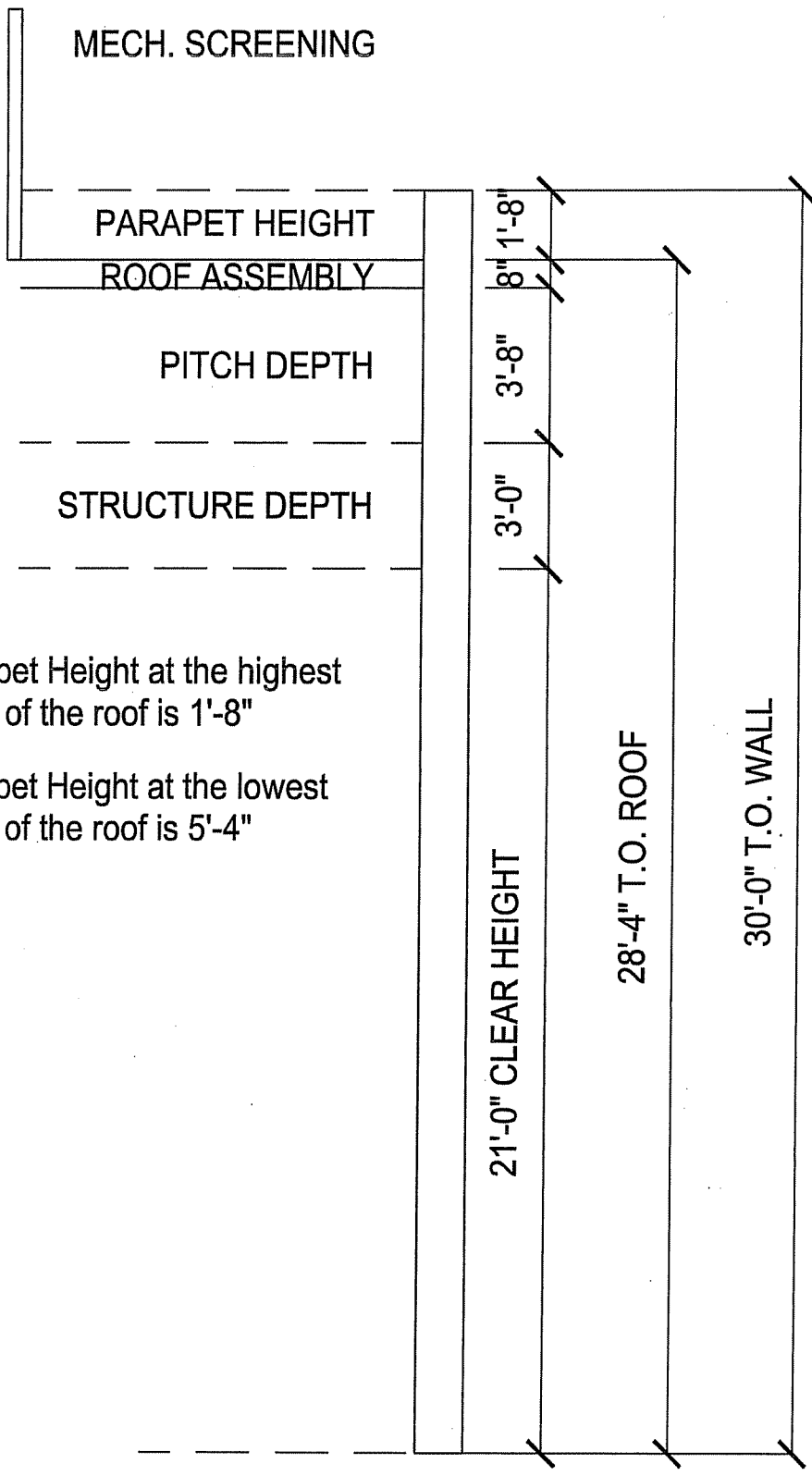
Facades directly visible from public streets must use high quality materials and may not have E.I.F.S. below 3' above grade.

Architectural precast walls with multiple colors, textures, and patterns provided. No E.I.F.S. specified.

6. Customer Entrances

- a. Defined, highly visible entrance with no fewer than 3 of the following: Canopies or porticos, overhangs, recess/projections, display windows, architectural details, arcades.
- b. All sides that directly abut R.O.W. which provides vehicular access to the site shall feature 1 customer entrance. May use entry portico or plaza. If abuts 2 or more R.O.W.'s shall apply to the side with the most traffic.

Well defined customer entrance on East facade with pedestrian access via highly visible public-plaza and arcade. Integrated into this scheme is the café and product market.



MECH. SCREENING

PARAPET HEIGHT

ROOF ASSEMBLY

PITCH DEPTH

STRUCTURE DEPTH

1'-8"

8"

3'-8"

3'-0"

Parapet Height at the highest point of the roof is 1'-8"

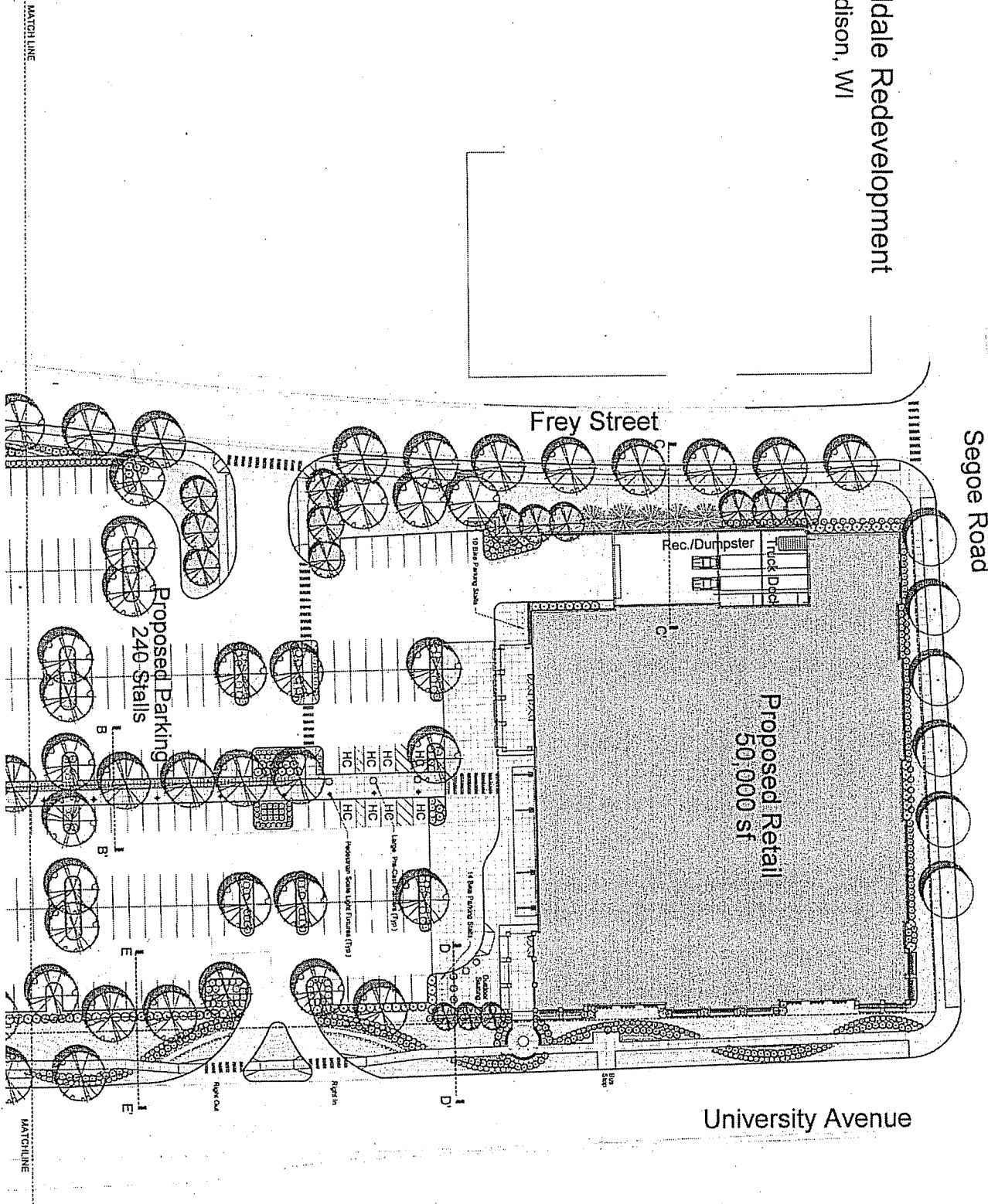
Parapet Height at the lowest point of the roof is 5'-4"

21'-0" CLEAR HEIGHT

28'-4" T.O. ROOF

30'-0" T.O. WALL


Hilldale Redevelopment
Madison, WI



University Avenue

HILLDALE SHOPPING CENTER

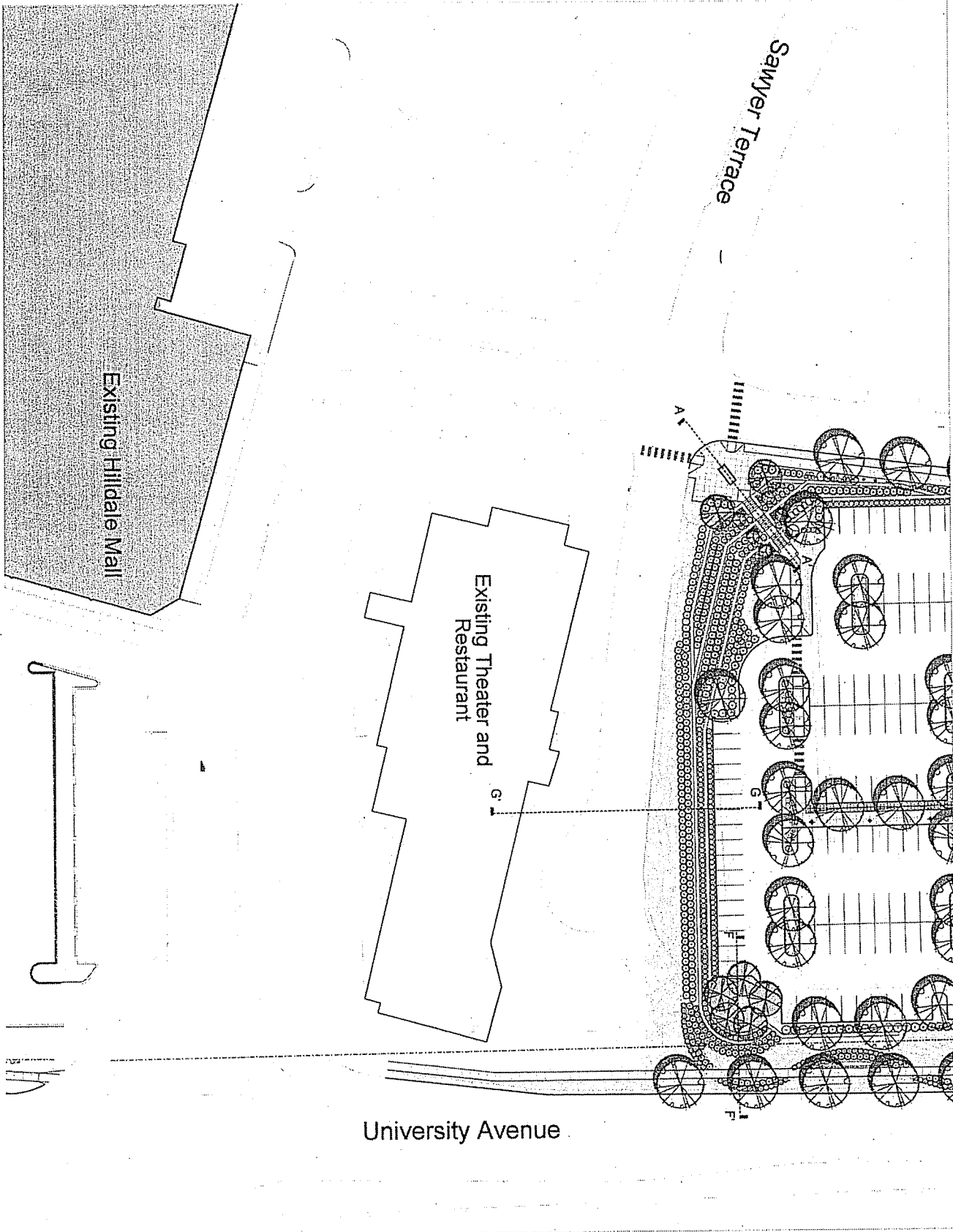
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC



 KIMBERLY ARCHER
 ARCHITECTS
 201 S. PARKTON
 MADISON, WI 53702
 PHONE: 608.261.5000
 FAX: 608.261.5001
 WWW.KIMBERLYARCHER.COM

Site Plan - West

Project Number	145
Client	Hilldale Building Company LLC
Scale	1/8" = 1'-0"
Date	10/15/10
Drawn By	JK
Checked By	JK
Project Name	Hilldale Shopping Center
Sheet Title	Site Plan - West
Sheet Number	EX301



Project Title Hilldale Shopping Center Site Plan - East	
Project Number 101	Revision 01
Drawn By JH	Checked By JH
Date 11/11/01	Scale 1/8" = 1'-0"
Sheet Number EX-109	Total Sheets 11

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

KENSINGTON
 DESIGN INC.
 LANDSCAPE ARCHITECTS
 1000 W. PARKWAY
 SUITE 200
 MADISON, WI 53704
 TEL: 608.261.1111
 FAX: 608.261.1112

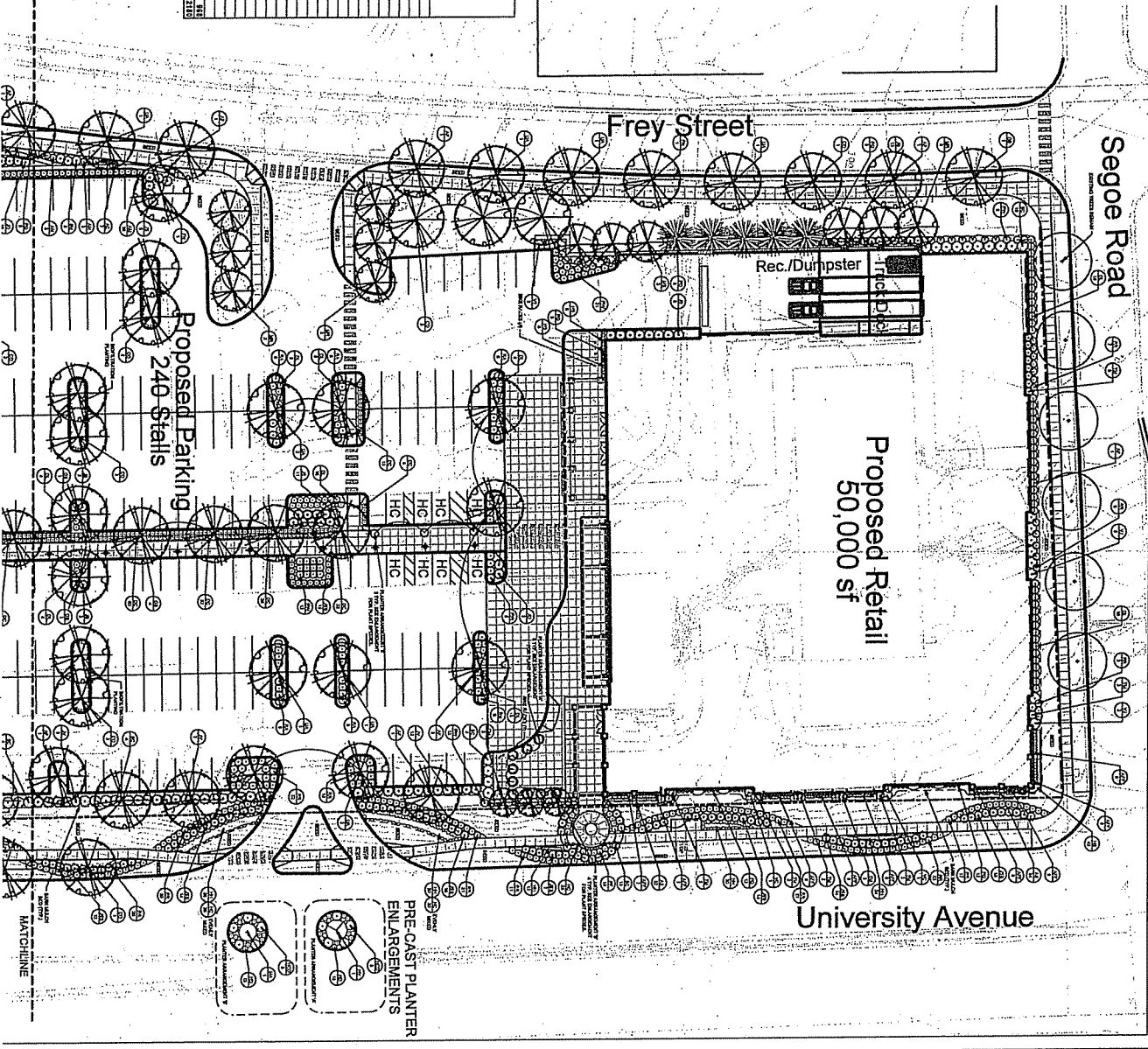


PLANTING PLAN - WEST

Scale 1" = 20'

PLANT	QTY	NOTES
...

LANDSCAPE ITEM	QTY	NOTES
...



PROJECT NAME
HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI 53703
HILLDALE BUILDING COMPANY LLC

DATE: 01-09-06
DRAWN BY: LS
CHECKED BY: JS

PROJECT NUMBER
SHEET 1
PLANTING PLAN - WEST

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

DATE: 01-09-06
DRAWN BY: LS
CHECKED BY: JS

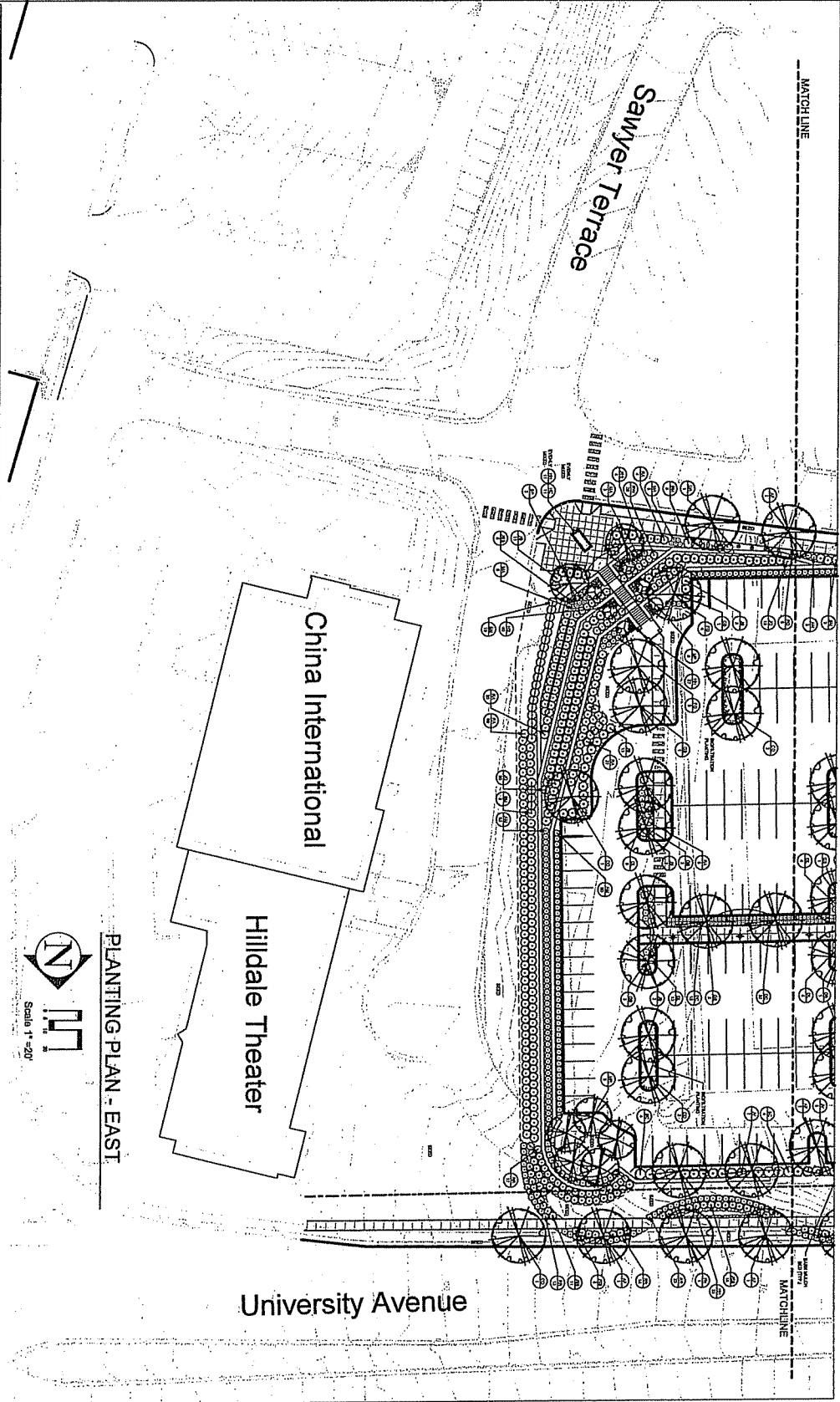
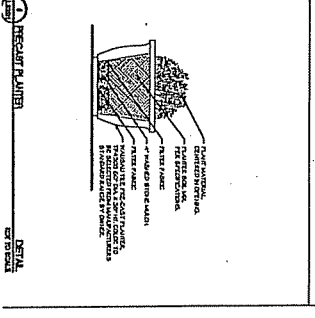
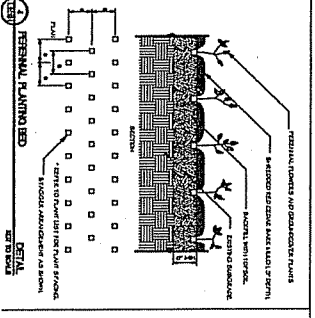
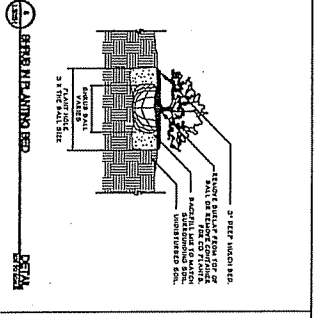
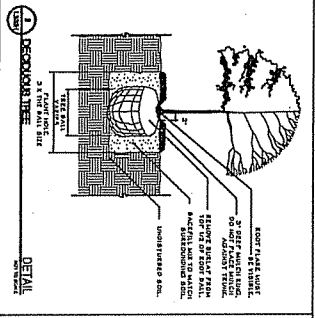
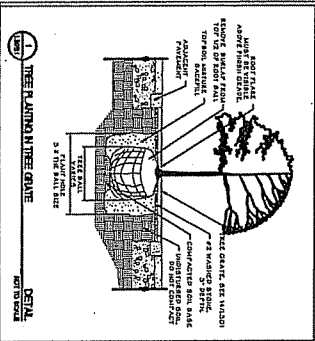
PROJECT NAME
HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI 53703
HILLDALE BUILDING COMPANY LLC

DATE: 01-09-06
DRAWN BY: LS
CHECKED BY: JS

PROJECT NAME
HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI 53703
HILLDALE BUILDING COMPANY LLC

DATE: 01-09-06
DRAWN BY: LS
CHECKED BY: JS

PROJECT NAME
HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI 53703
HILLDALE BUILDING COMPANY LLC



PROJECT INFORMATION

Project Name	HILLDALE SHOPPING CENTER
Project Number	145
Sheet Number	145
Date	01-09-08
Scale	1/8" = 1'

REVISIONS

No.	Description

PROJECT TEAM

Client	HILLDALE BUILDING COMPANY LLC
Architect	KEN SAKAMURA ARCHITECTS
Engineer	
Interior Designer	
Landscaper	

PROJECT LOCATION

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

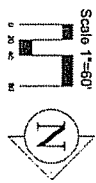
HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

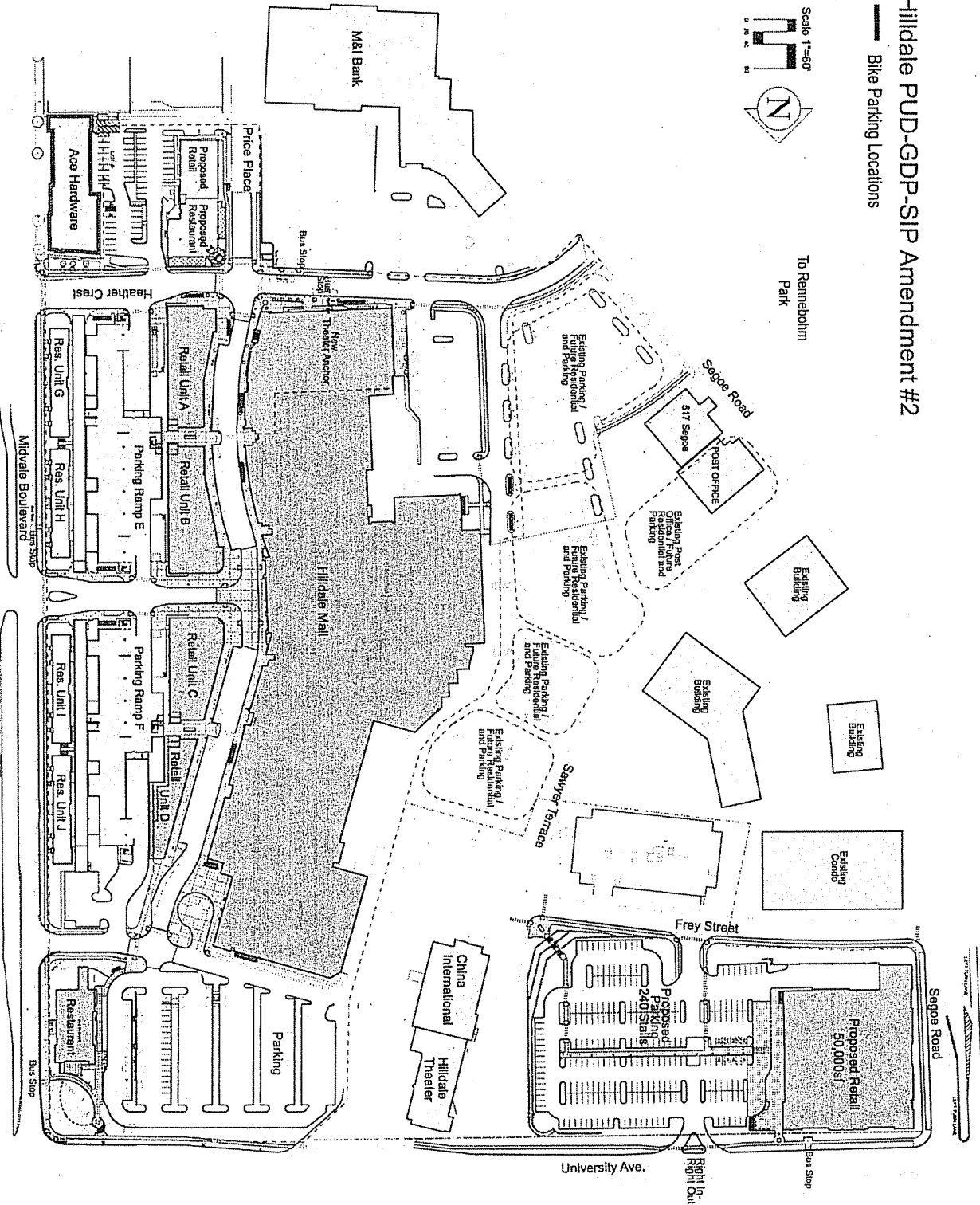
KEN SAKAMURA ARCHITECTS
 201 S. PARKWAY
 MADISON, WISCONSIN
 PHONE: 608.261.5200
 WWW.KENSAKAMURA.COM

Hilldale PUD-GDP-SIP Amendment #2

— Bike Parking Locations



To Remerbohm Park



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE BUILDING COMPANY LLC

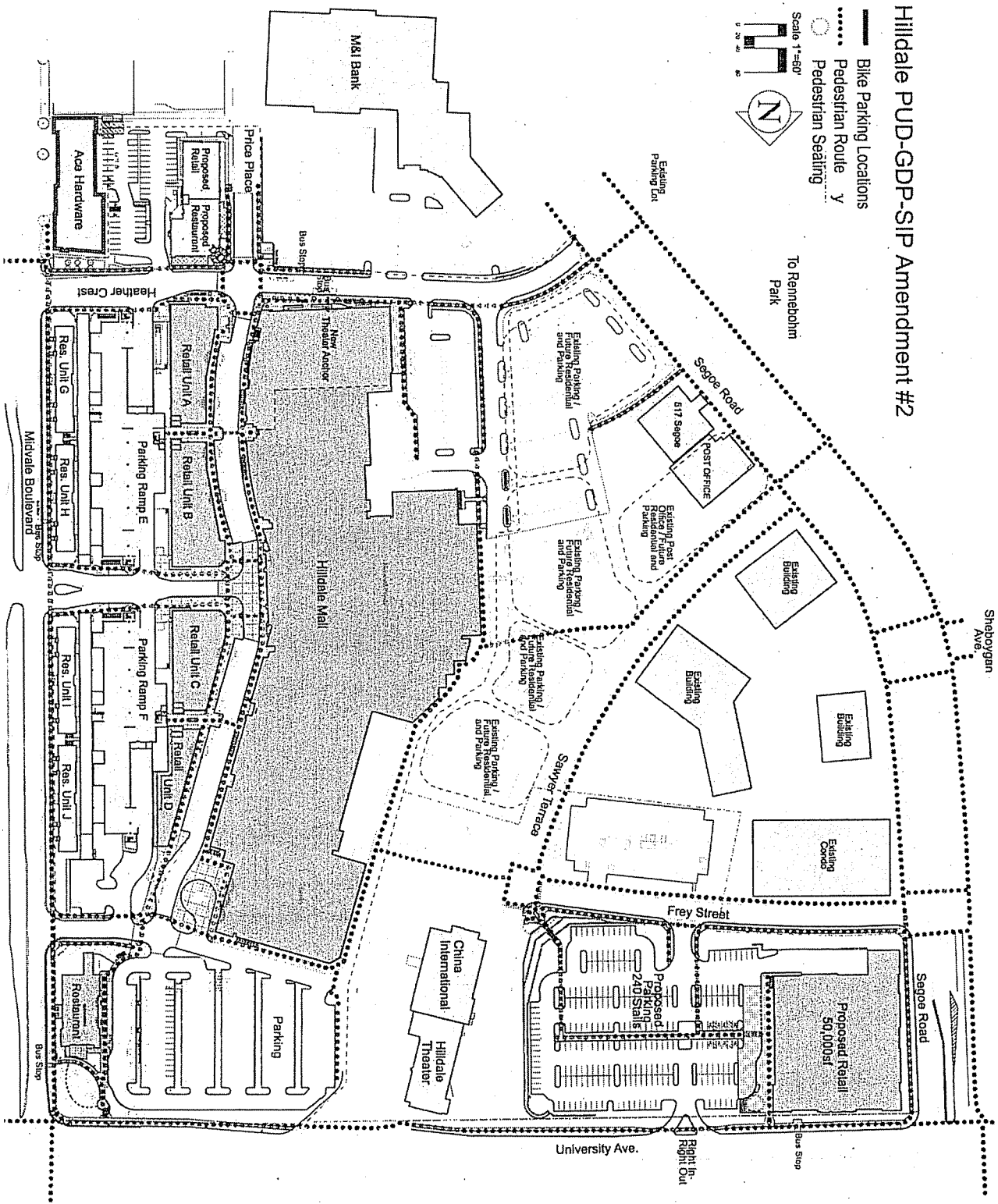
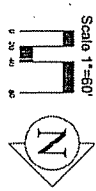


Overall Site Plan

EX201

Hilldale PUD-GDP-SIP Amendment #2

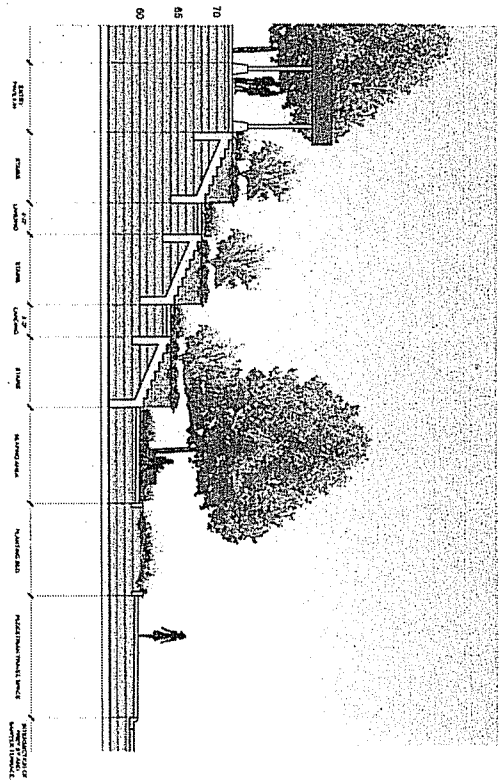
- Bike Parking Locations
- Pedestrian Route
- Pedestrian Seating



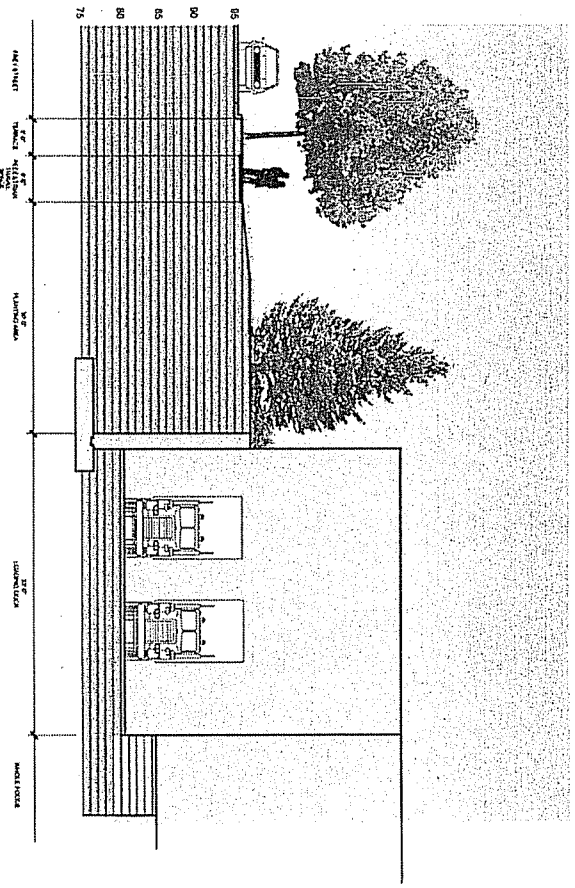
Overall Site	15
Pedestrian Circulation	45
EX-202	

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

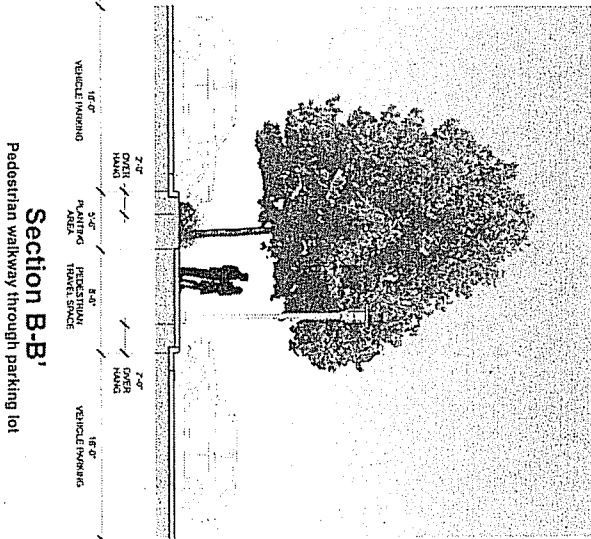
KNS S&M
 KNS S&M DESIGN INC.
 1425 S. KANISKA AVE.
 MADISON, WI 53704
 TEL: 608.261.1234
 FAX: 608.261.1235
 WWW.KNSANDSM.COM



Section A-A'
Sawyer Terrace to parking lot



Section C-C'
Fray Street to Whole Foods loading dock



Section B-B'
Pedestrian walkway through parking lot

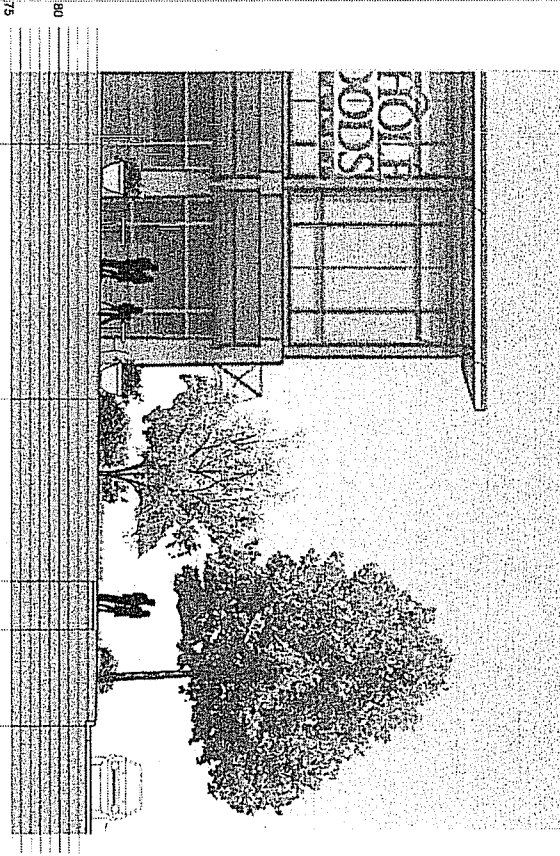
KENSALIK
DESIGN INC.
14 N. S. 4th St.
COLUMBIANA, OH
43084-1000
TEL: 614.885.1111
WWW.KENSALIKDESIGN.COM

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

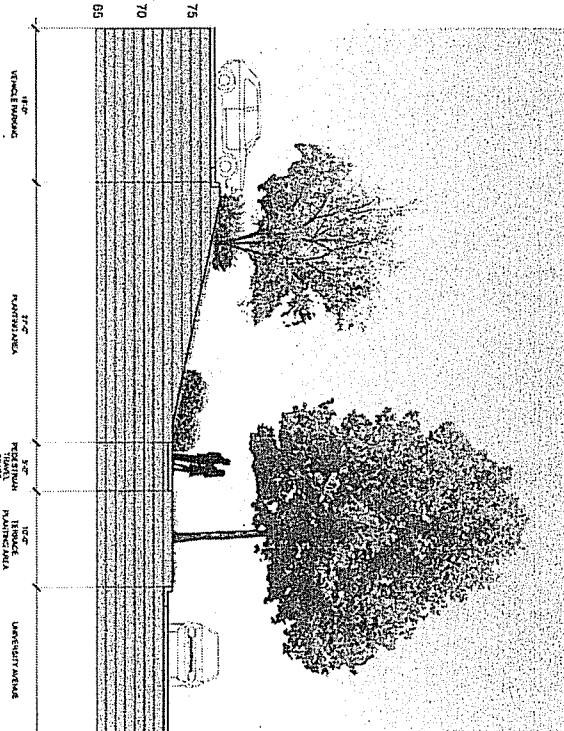
Site Sections

MS	MS
KS	KS

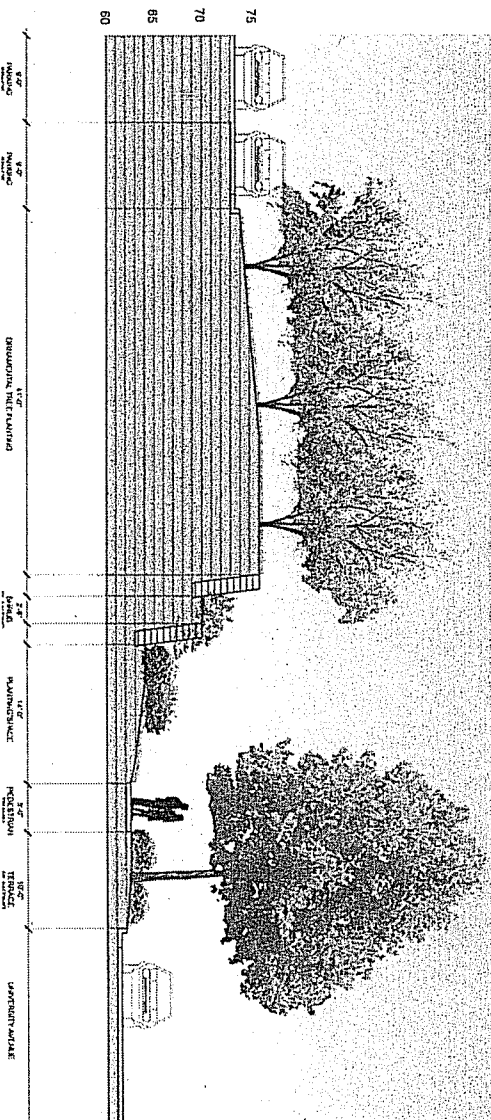
EX501




Section D-D'
Outdoor cafe through University Avenue

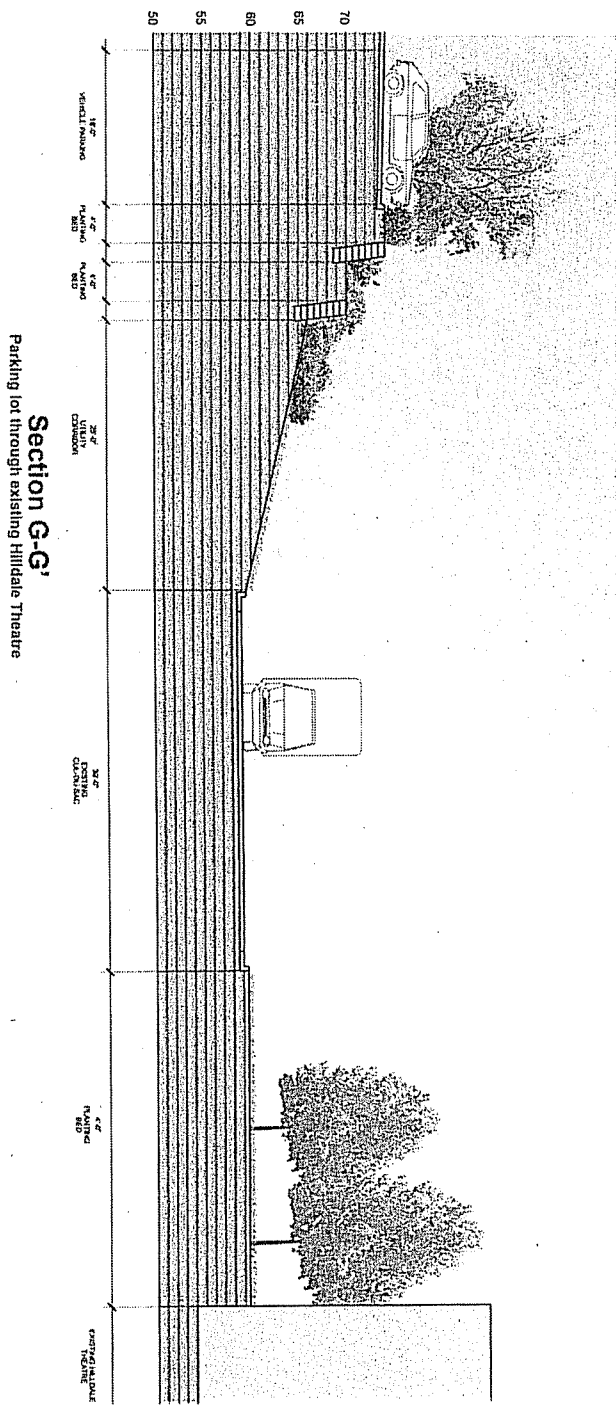


Section E-E'
Parking lot through University Avenue



Section F-F'
Parking lot through University Avenue

<p>EVAN? _____</p> <p>US _____</p> <p>NS _____</p>	<p>HILLDALE SHOPPING CENTER</p> <p>702 N. MIDVALE BOULEVARD</p> <p>MADISON, WI</p> <p>HILLDALE BUILDING COMPANY LLC</p>	 <p>RESEARCH AND DESIGN SERVICES FOR THE HILLDALE SHOPPING CENTER MADISON, WI</p>
<p>Site Sections</p>		



Section G-G'
 Parking lot through existing Hilldale Theatre

Site Sections

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI

HILLDALE BUILDING COMPANY LLC

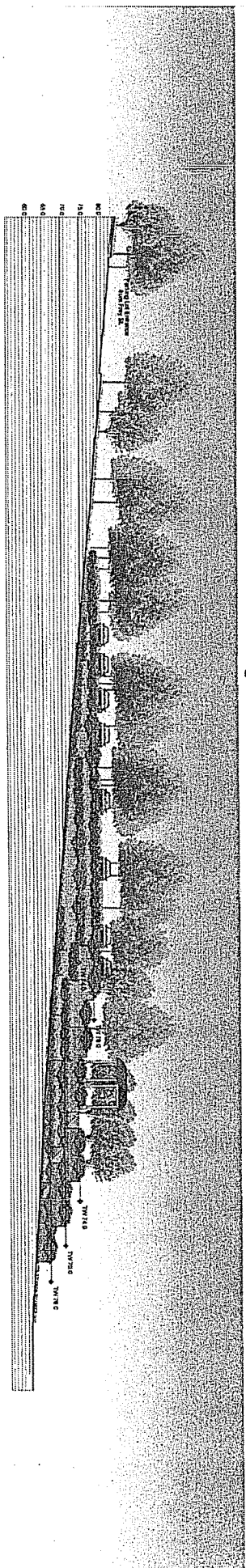


EX503

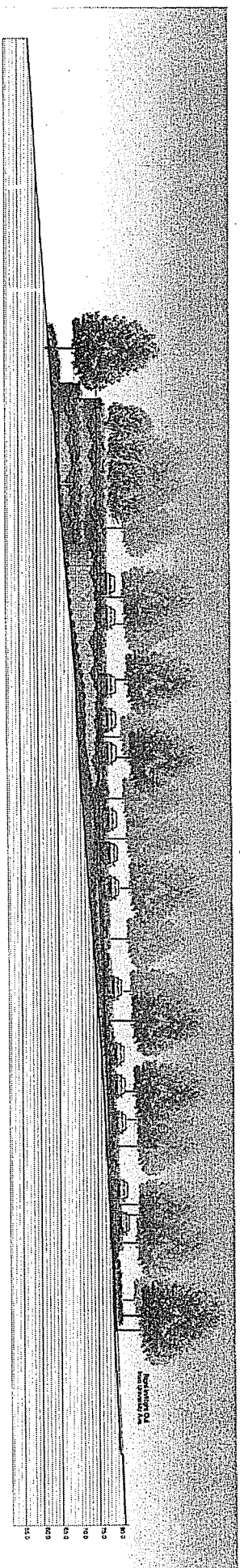
5	5
4	4



Retaining Wall Elevation
Facing West from 30K Retail



Retaining Wall Elevation
Facing North from Frey Street



Retaining Wall Elevation
Facing South from University Ave.

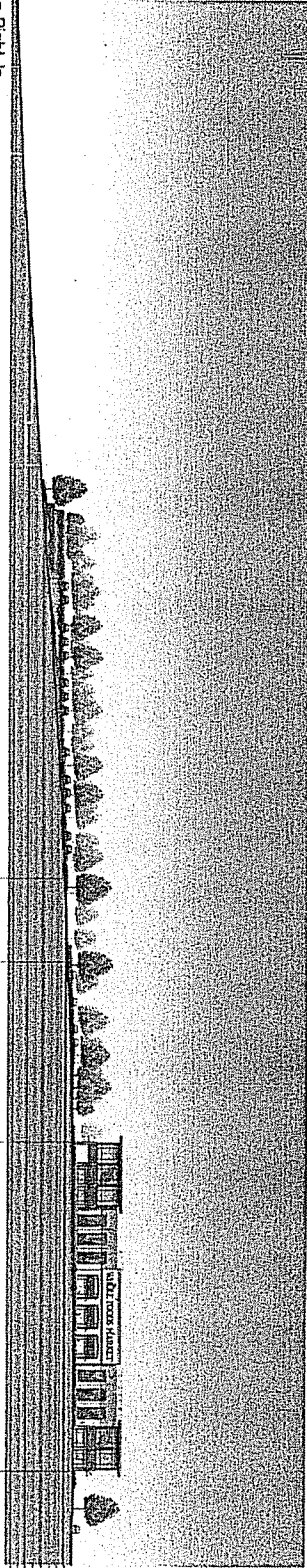
Existing Right-In
Right-Out

Proposed Right-In
Right-Out

Proposed
50K Retail

Segoe Rd.

Site Section facing South
from University Ave.

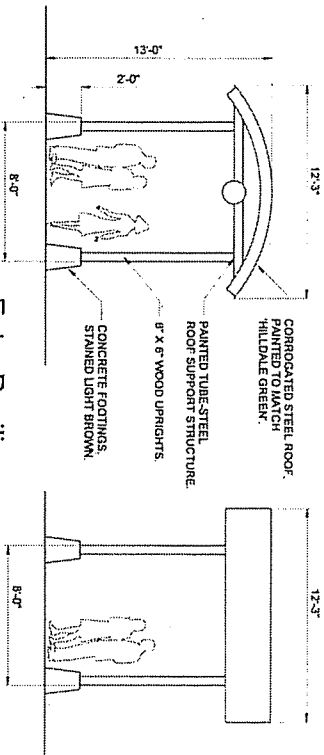
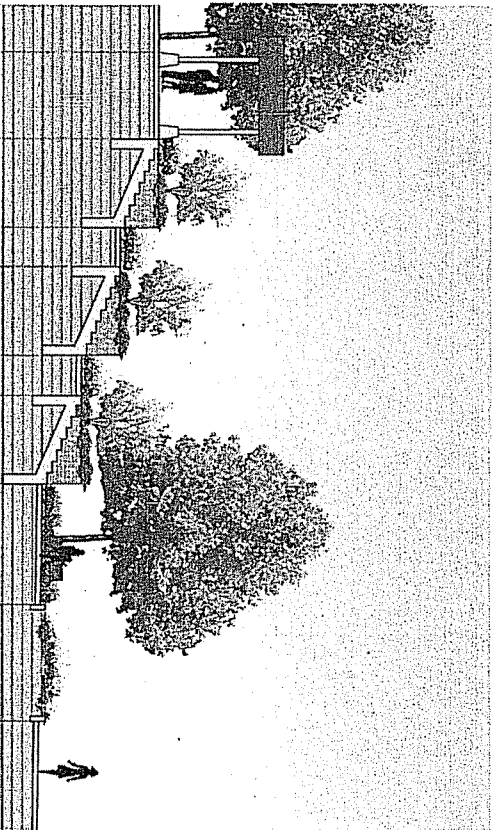
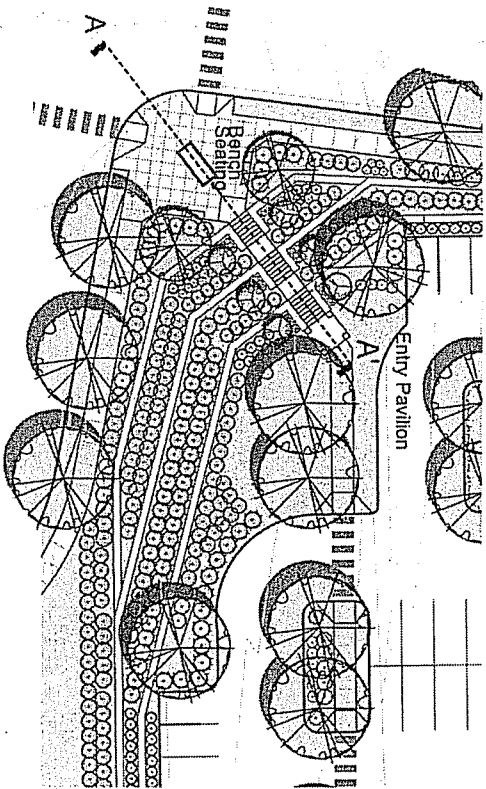


HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

ARISTON
ARCHITECTURAL
DESIGN
INC.
1000 W. CENTER ST.
MADISON, WI 53703
TEL: 608.261.1000
WWW.ARISTONARCHITECT.COM

Project Name	Hilldale Shopping Center
Project Number	EX505
Scale	As Shown
Date	10/15/10
Drawn By	ARISTON
Checked By	ARISTON
Approved By	ARISTON
Scale	As Shown
Date	10/15/10
Drawn By	ARISTON
Checked By	ARISTON
Approved By	ARISTON



HILLDALE SHOPPING CENTER

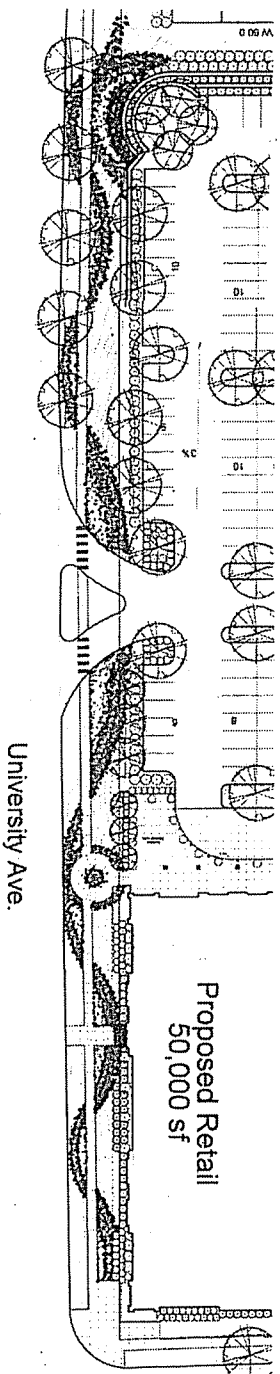
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE
BUILDING COMPANY
LLC
3031 N. MONROE
MADISON, WI 53705
PHONE 608-272-7100
WWW.HDL.COM

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10/15/10	EV	EV
2	REVISED PER COMMENTS	10/20/10	EV	EV
3	REVISED PER COMMENTS	10/25/10	EV	EV
4	REVISED PER COMMENTS	10/30/10	EV	EV
5	REVISED PER COMMENTS	11/05/10	EV	EV
6	REVISED PER COMMENTS	11/10/10	EV	EV
7	REVISED PER COMMENTS	11/15/10	EV	EV
8	REVISED PER COMMENTS	11/20/10	EV	EV
9	REVISED PER COMMENTS	11/25/10	EV	EV
10	REVISED PER COMMENTS	12/01/10	EV	EV
11	REVISED PER COMMENTS	12/05/10	EV	EV
12	REVISED PER COMMENTS	12/10/10	EV	EV
13	REVISED PER COMMENTS	12/15/10	EV	EV
14	REVISED PER COMMENTS	12/20/10	EV	EV
15	REVISED PER COMMENTS	12/25/10	EV	EV

Project No. 105
Sheet No. 15

EVENG



Enhanced Landscape Design Along University Ave.



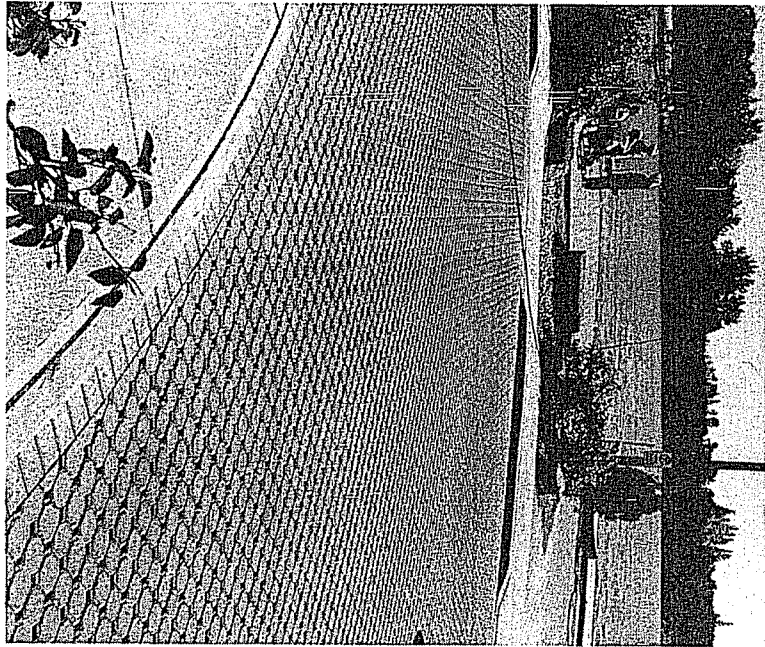
HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

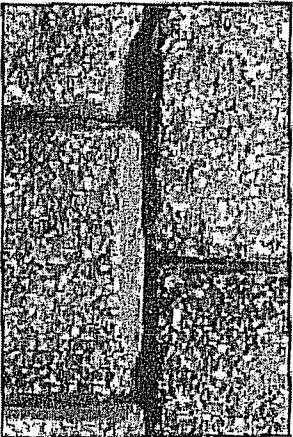
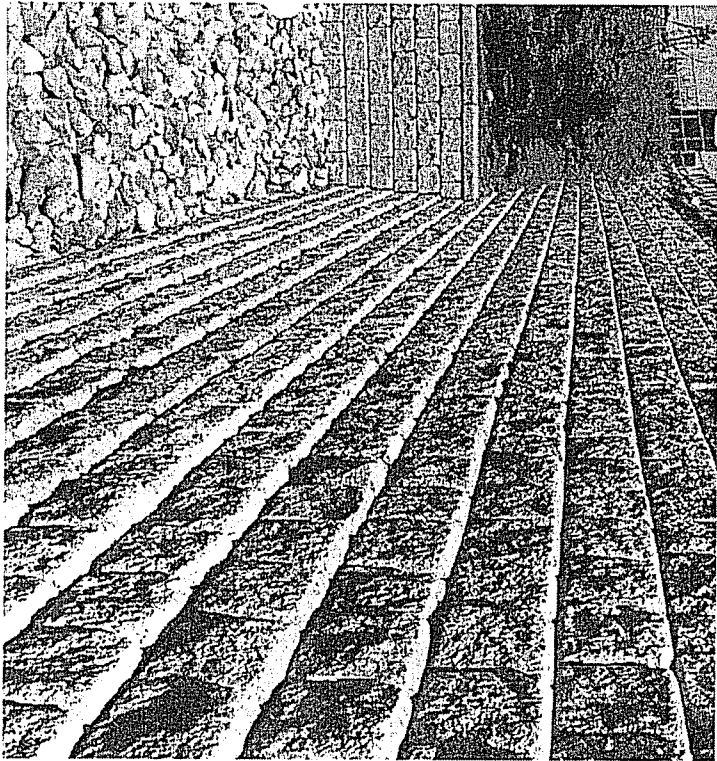
Project Title: Enhanced
University Ave.
Landscape Design

Project Number:	01-14-02
Client:	Hilldale Building Company LLC
Scale:	1/4" = 1'-0"
Date:	01-14-02
Drawn By:	NTS
Checked By:	
Project No.:	
Scale:	
Date:	
Drawn By:	
Checked By:	
Project No.:	
Scale:	
Date:	
Drawn By:	
Checked By:	

EX601



Permeable Pavers



Precast Unit Retaining Wall

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC



Project Number	01-10-10
Sheet Number	EX-602
Scale	AS SHOWN
Author	
Checked	
Approved	
Date	

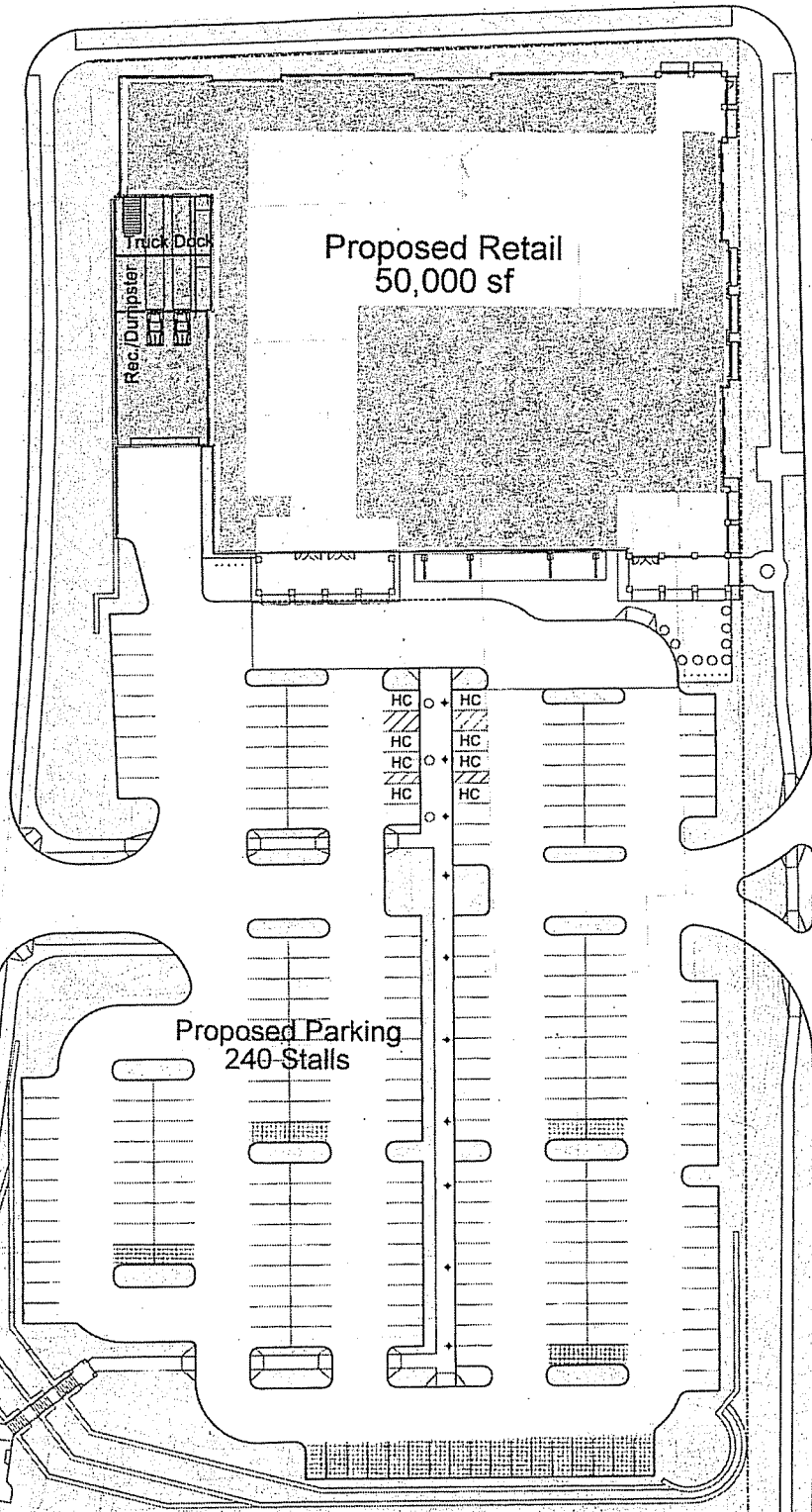
Hilldale SIP Amendment #2 EX 701



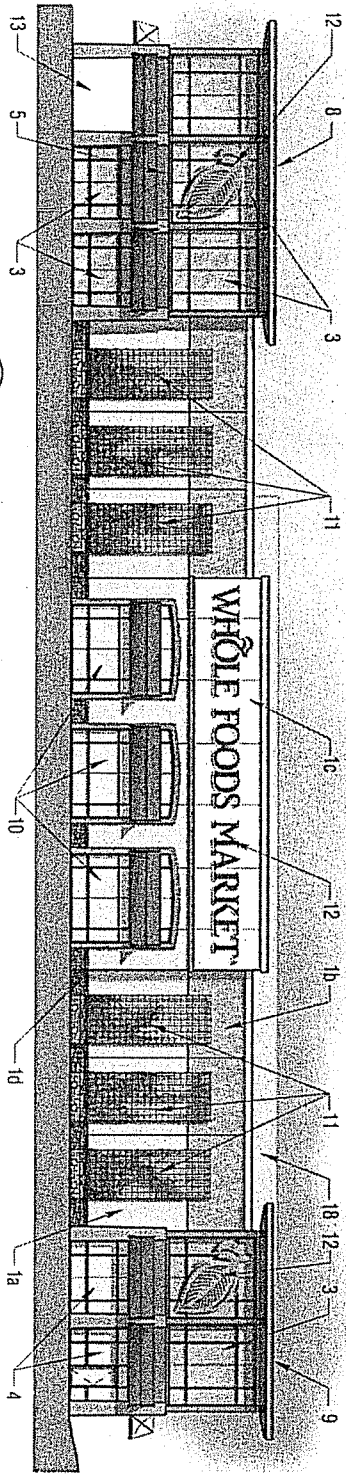
- Green Space
- Green Roofs
- Impervious Surface Area
- Public Open Space 9,700
- Porous Pavers

Segoe Road

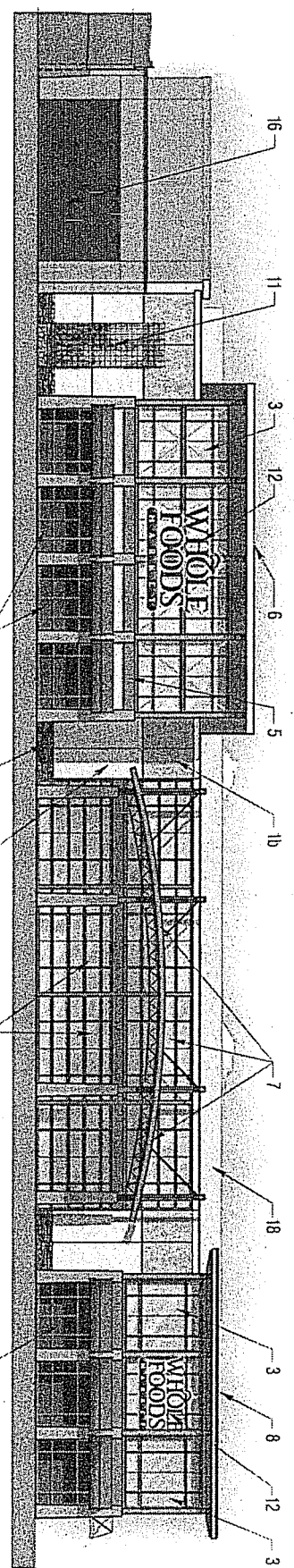
Frey Street



terrace



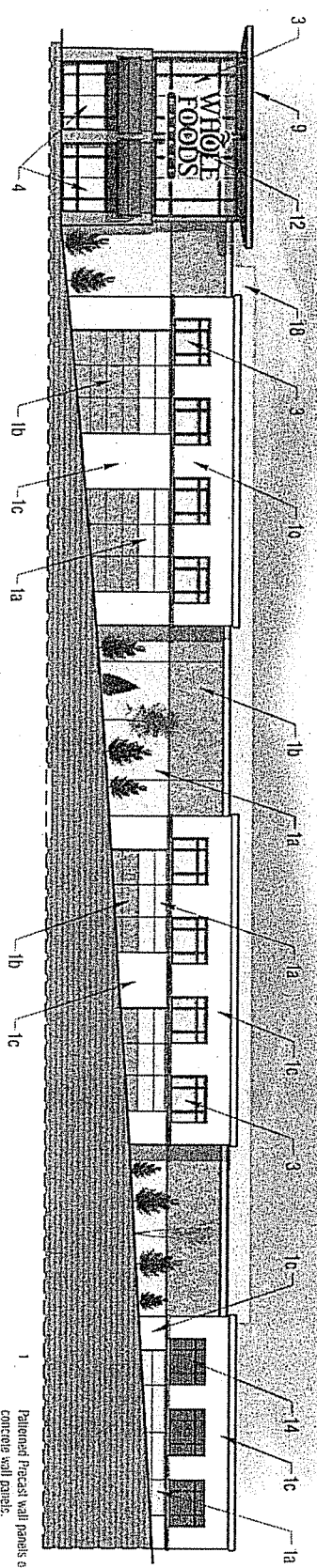
1 NORTH ELEVATION
T = 20'-0"



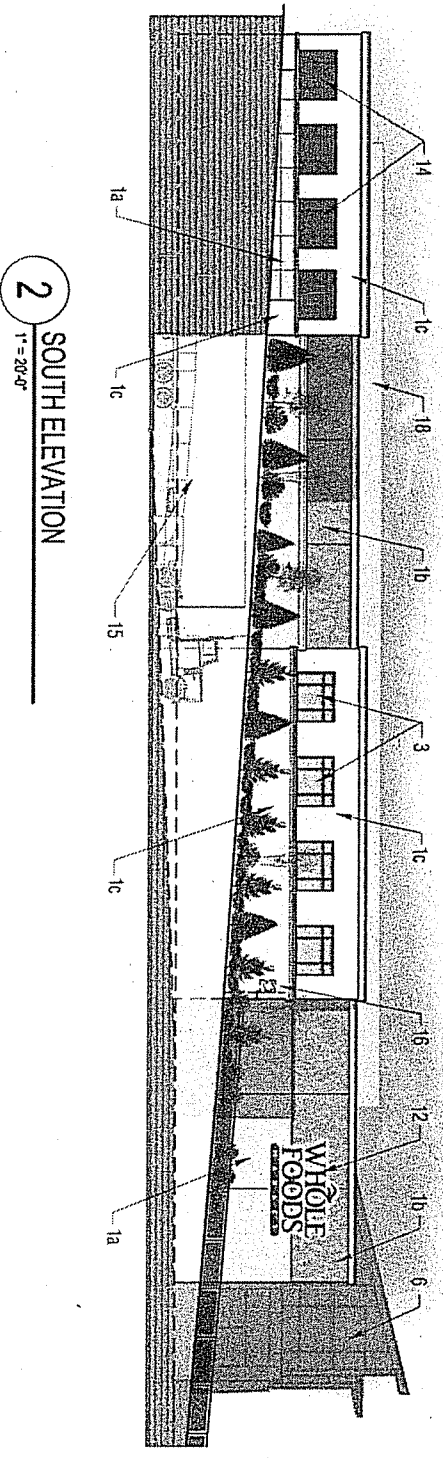
2 EAST ELEVATION
T = 20'-0"

- 1 Patterned Precast wall panels or patterned cast-in-place concrete wall panels
- 2 Powder concrete pipe, light sand blast
- 3 Vitrion glass - clear insulator unit, bronze anodized aluminum frame with thermal break
- 4 Patterned glass - insulated unit, no system, same light transmittance. Bronze anodized aluminum frame with thermal break.
- 5 Glu-lam timber framing.
- 6 Entrance tower. Single entry, roof with two story space. Underpinning of roof is an exposed wood tongue & groove ceiling over glu-lam framing. Curtain wall system is arched canopy. Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top parapet panels.
- 7 University Avenue structure. Two story tower on University Avenue, glu-lam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.
- 8 Signage roof structure. Two story tower with glu-lam framing, powder concrete piers, vision glass above and patterned glass below.
- 9 Wood clad projections with steel framed fabric awnings and patterned glass windows
- 10 Vitrion covered metal walls screen with base plane.
- 11 "Whole Foods Market" signographic graphic. Barclite, individually cut metal signage.
- 12 Pedestrian plaza.
- 13 Architectural metal leaves.
- 14 Recessed truck dock, cantably screened by existing site conditions.
- 15 Precast panel wall with 6" slim return and 30" wide ceiling over-head floor to screen loading dock.
- 16 Automatic sliding doors
- 17 Roof Screen (beyond)
- 18



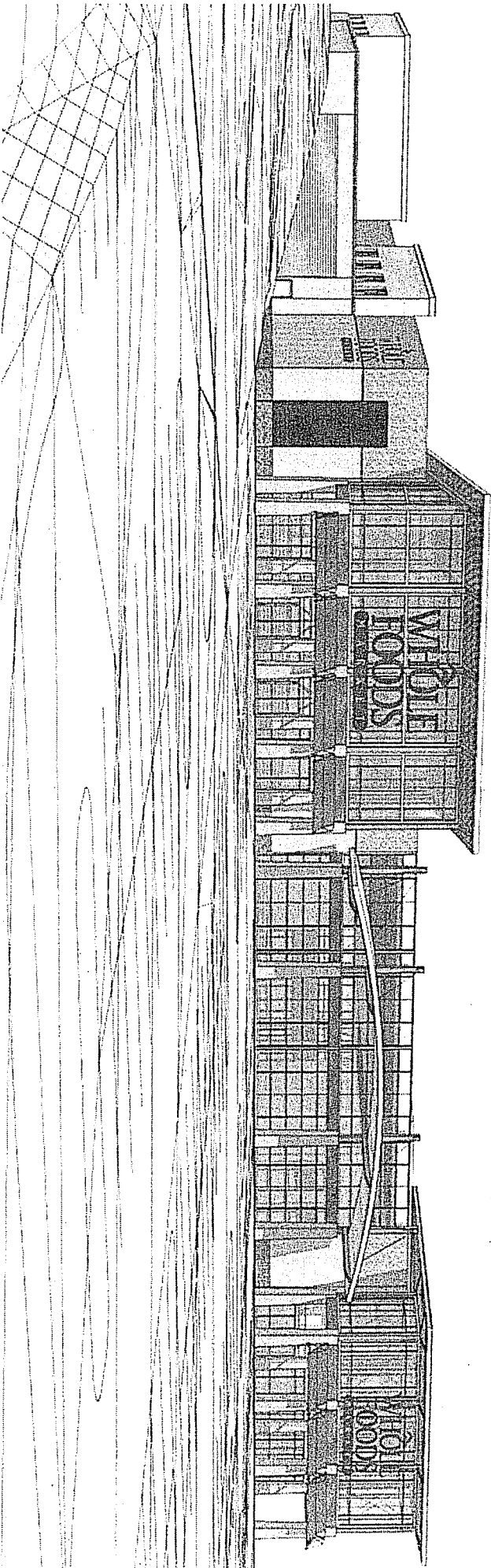


1 WEST ELEVATION
1" = 20'-0"

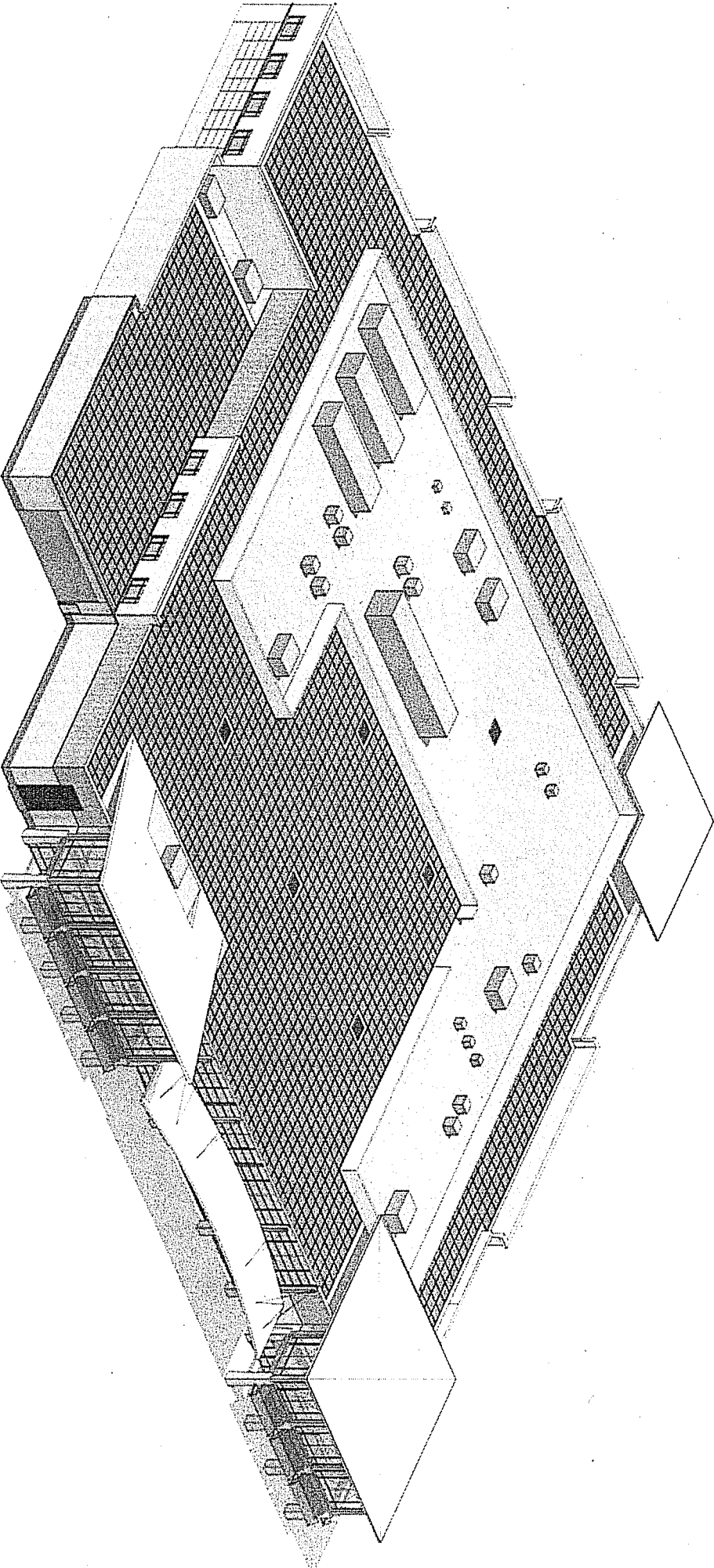


2 SOUTH ELEVATION
1" = 20'-0"

- 1 Patterned Precast wall panels or patterned cast-in-place concrete wall panels.
- 1a Field material - Tan concrete mix, light acid wash finish.
- 1b Accent band - Tan concrete mix, deep sand blast, exposed brown aggregate.
- 1c Accent band - Tan concrete mix, light sand blast, partially exposed brown aggregate.
- 1d Base accent - Sierra Drystack precast terracotta, field stained.
- 2 Polished concrete piers, light sand blast.
- 3 Vision glass - clear, unadorned unit. Bronze anodized aluminum frame with thermal break.
- 4 Patterned glass - insulated unit, no vision, some light transmittance.
- 5 Bronze anodized aluminum frame with thermal break.
- 6 Gun-tan louver, hanging.
- 7 Entrance louver. Slipping entry roof with two story space. Unobscure of roof is an exposed wood tongue & groove ceiling over glis-tan hanging.
- 8 Curtain wall system & attached canopy. Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top panelled panels.
- 9 University Avenue structure - two story tower on University Avenue, glis-tan hanging, vision glass. Pedestrian connection to public transportation and city sidewalk.
- 10 Scape board structure - two story tower with glis-tan hanging, poured concrete piers, vision glass stone and patterned glass below, vision clad projections with steel framed lamp armings and patterned glass windows.
- 11 Vene covered metal helix screen with base panel.
- 12 "Whole Foods Market" sign/pedagogo graphic. Backlit, individually cut metal signage.
- 13 Pedestrian plaza.
- 14 Architectural metal louvers.
- 15 Recessed brick work, naturally screened by existing site conditions.
- 16 Precast panel rail with 6" side return and 30" wide ceiling over-head door to screen loading dock.
- 17 Automatic sliding doors.
- 18 Roof Sprock (bayroof).



Southeast view of the proposed Whole Foods Market at Hilldale.



Isometric view of the proposed Whole Foods Market and green roof assembly.