



7933 TREE LANE MADISON, WI

HEARTLAND ALLIANCE HOUSING
LAND USE SUBMISSION

10/22/2015 11:46:05 AM

PROJECT NAME
**HEARTLAND
ALLIANCE**

PROJECT ADDRESS
MADISON, WI



ARCHITECT
VALERIO DEWALT TRAIN ASSOCIATES, INC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
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www.buildordie.com

PROJECT TEAM ARCHITECT STAMP

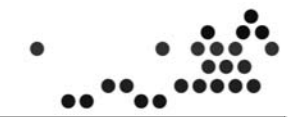
VDTA PROJECT NUMBER
15010.00

CONSULTANT
**AYRES
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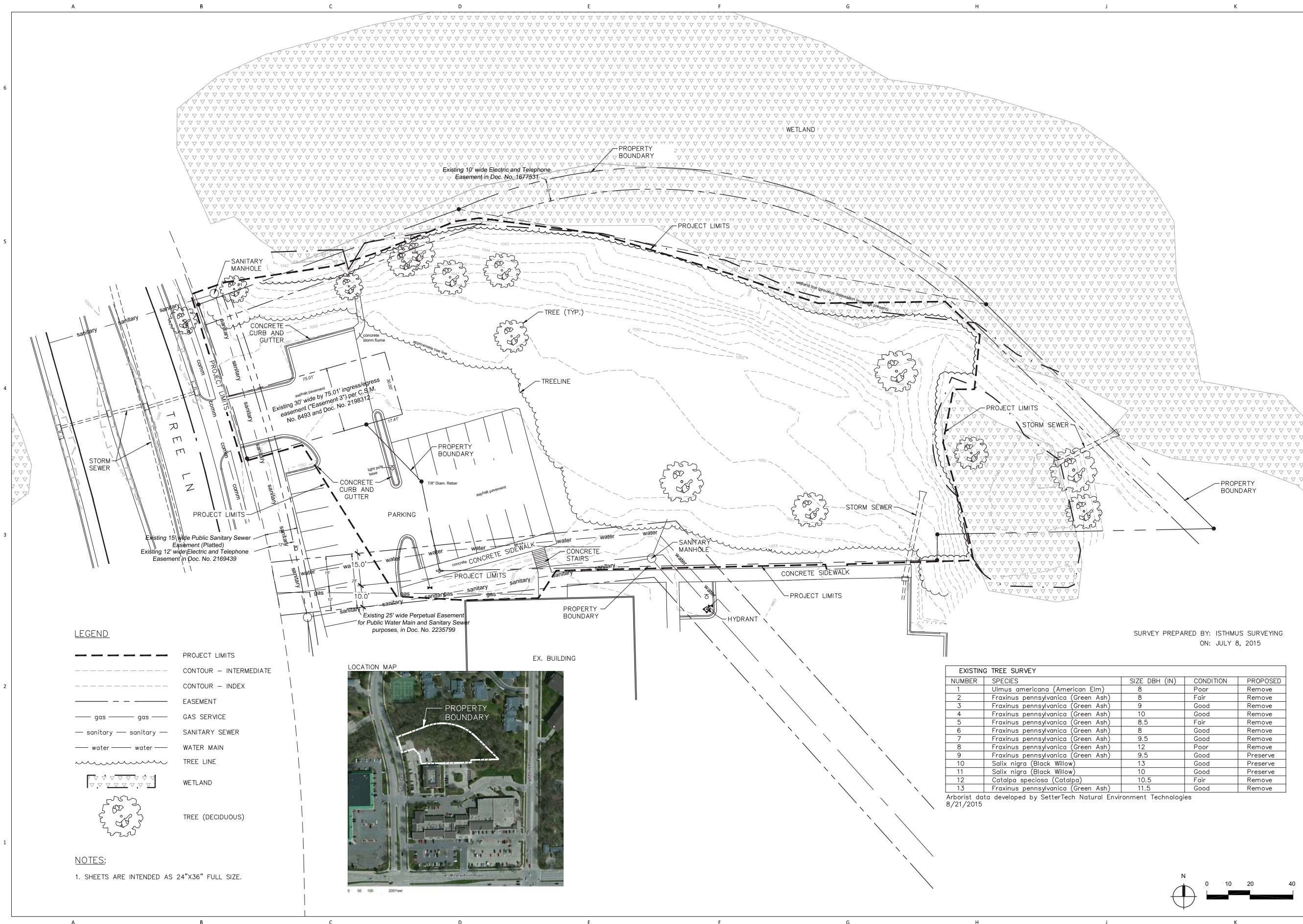
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ISSUE		
NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

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SHEET TITLE
COVER SHEET



SHEET NUMBER



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
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PROJECT TEAM ARCHITECT STAMP

VDTA PROJECT NUMBER

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CONSULTANT PROJECT NUMBER
 27-1019

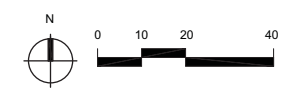
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SHEET TITLE
Existing Conditions

SHEET NUMBER
C-001

SURVEY PREPARED BY: ISTHMUS SURVEYING
 ON: JULY 8, 2015





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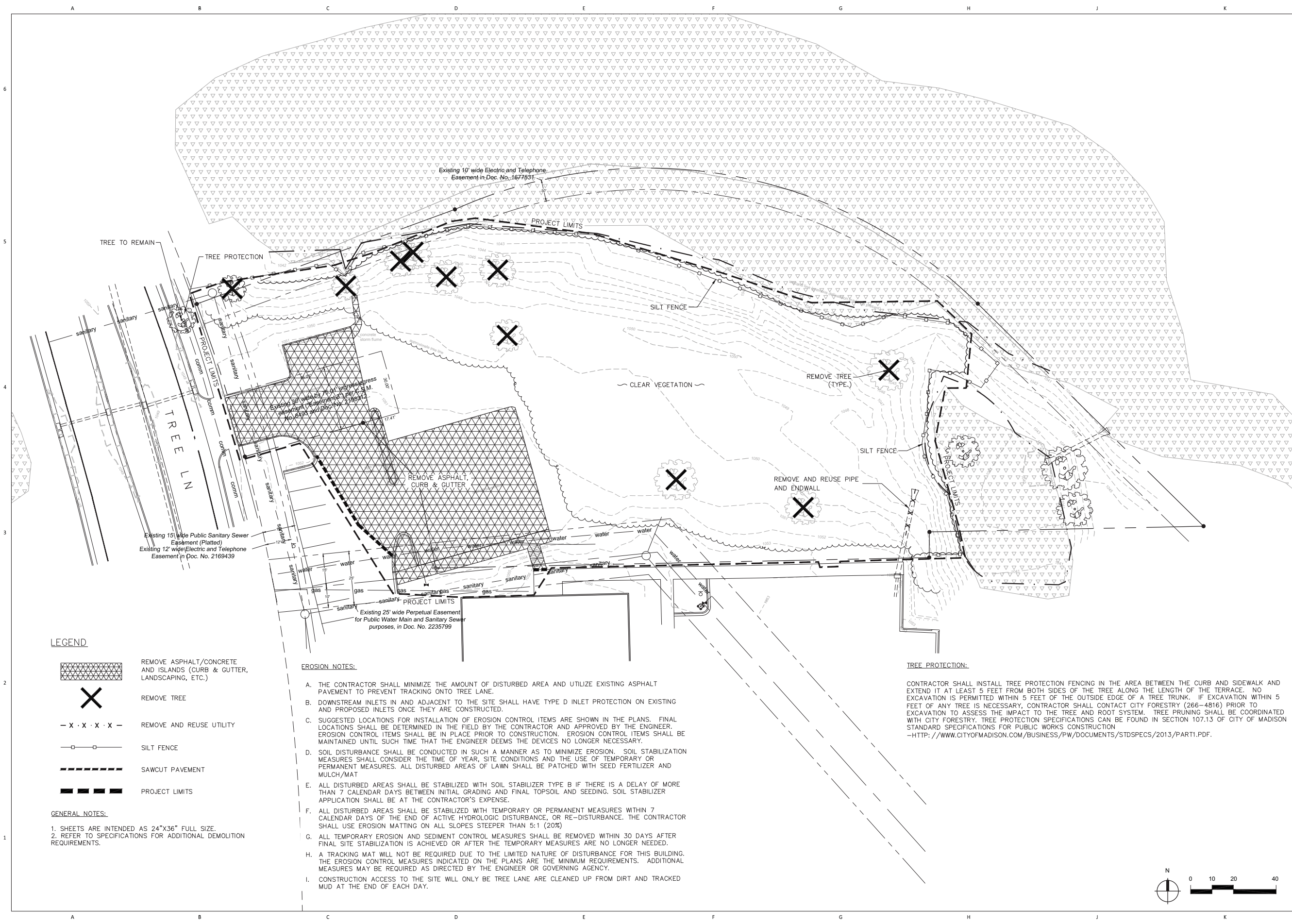
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 SHEET TITLE

Demolition and Erosion Control



LEGEND

- REMOVE ASPHALT/CONCRETE AND ISLANDS (CURB & GUTTER, LANDSCAPING, ETC.)
- REMOVE TREE
- REMOVE AND REUSE UTILITY
- SILT FENCE
- SAWCUT PAVEMENT
- PROJECT LIMITS

GENERAL NOTES:

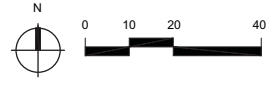
1. SHEETS ARE INTENDED AS 24"X36" FULL SIZE.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

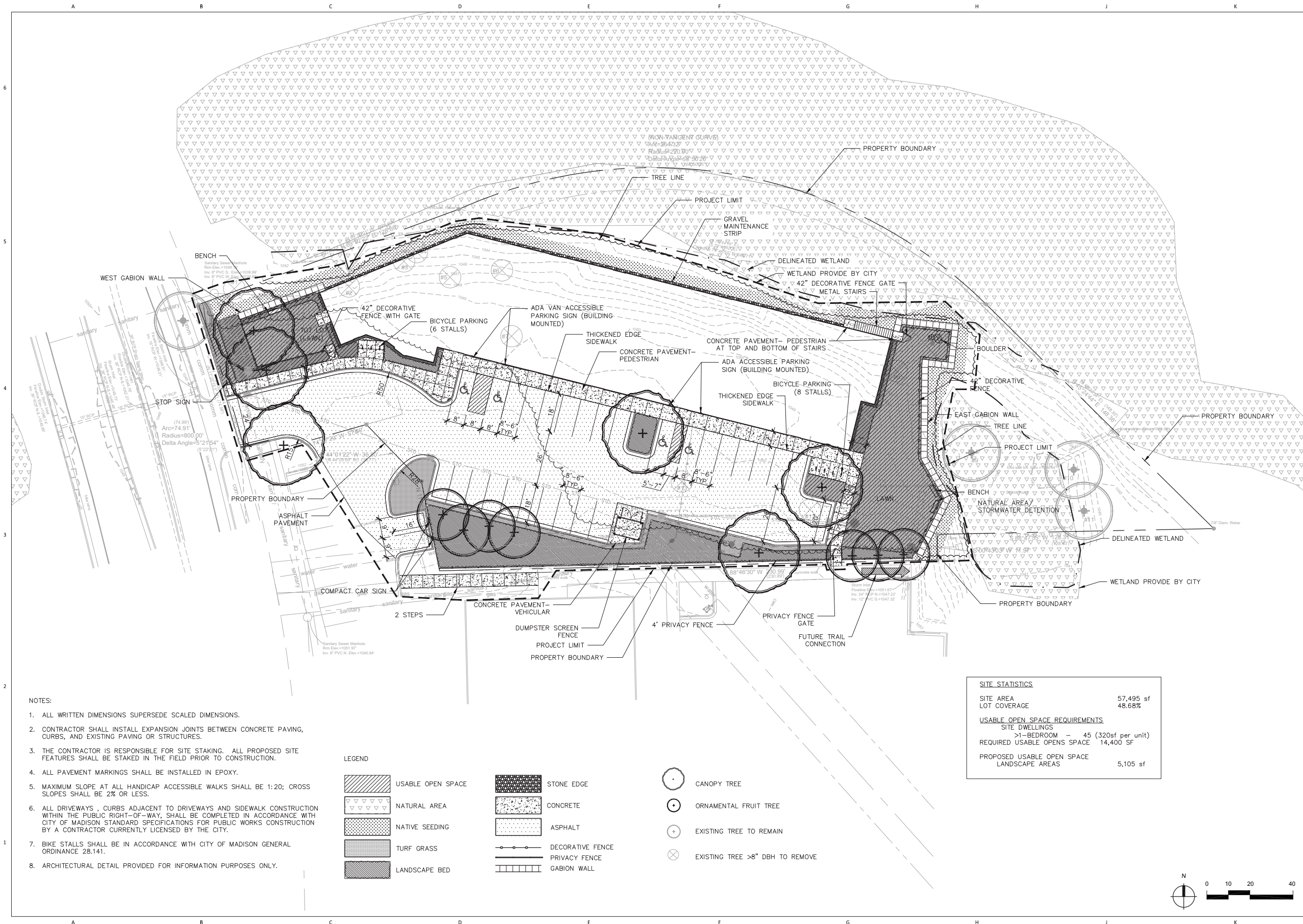
EROSION NOTES:

- A. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND UTILIZE EXISTING ASPHALT PAVEMENT TO PREVENT TRACKING ONTO TREE LANE.
- B. DOWNSTREAM INLETS IN AND ADJACENT TO THE SITE SHALL HAVE TYPE D INLET PROTECTION ON EXISTING AND PROPOSED INLETS ONCE THEY ARE CONSTRUCTED.
- C. SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
- D. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS OF LAWN SHALL BE PATCHED WITH SEED FERTILIZER AND MULCH/MAT
- E. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- F. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR RE-DISTURBANCE. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%)
- G. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- H. A TRACKING MAT WILL NOT BE REQUIRED DUE TO THE LIMITED NATURE OF DISTURBANCE FOR THIS BUILDING. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- I. CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE TREE LANE ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.

TREE PROTECTION:

CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
 -HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF.





- NOTES:
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
 2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
 4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
 5. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
 6. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
 7. BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.141.
 8. ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.

LEGEND

	USABLE OPEN SPACE		STONE EDGE		CANOPY TREE
	NATURAL AREA		CONCRETE		ORNAMENTAL FRUIT TREE
	NATIVE SEEDING		ASPHALT		EXISTING TREE TO REMAIN
	TURF GRASS		DECORATIVE FENCE		EXISTING TREE >8" DBH TO REMOVE
	LANDSCAPE BED		PRIVACY FENCE		
			GABION WALL		

SITE STATISTICS

SITE AREA	57,495 sf
LOT COVERAGE	48.68%
USABLE OPEN SPACE REQUIREMENTS	
SITE DWELLINGS	
3+ BEDROOM	45 (320sf per unit)
REQUIRED USABLE OPENS SPACE	14,400 SF
PROPOSED USABLE OPEN SPACE	5,105 sf

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PROJECT TEAM ARCHITECT STAMP

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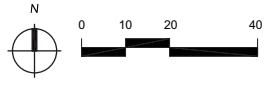
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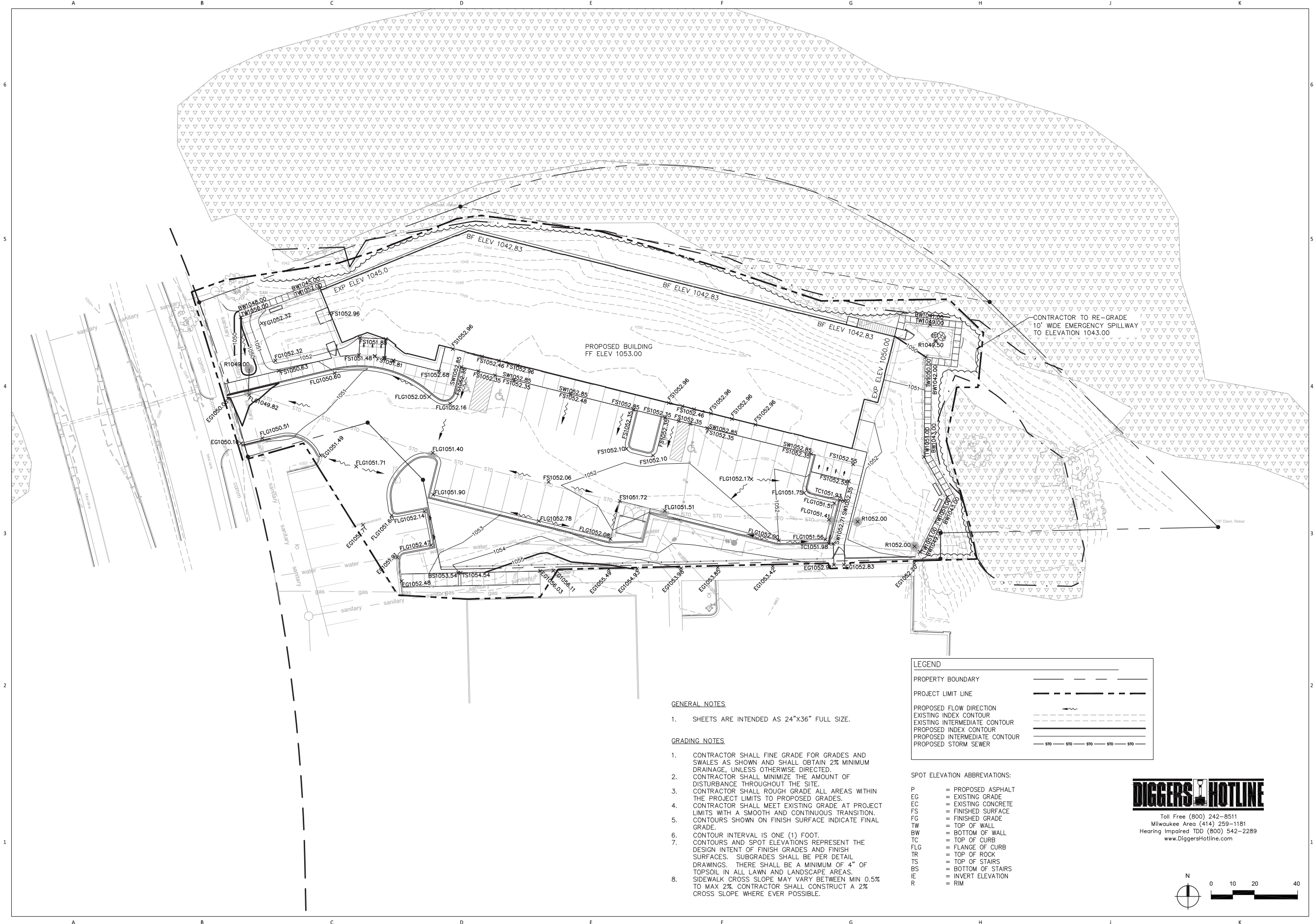
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SHEET TITLE
Site Plan



SHEET NUMBER
C-200





GENERAL NOTES

1. SHEETS ARE INTENDED AS 24"x36" FULL SIZE.

GRADING NOTES

1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBANCE THROUGHOUT THE SITE.
3. CONTRACTOR SHALL ROUGH GRADE ALL AREAS WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
4. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
5. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
6. CONTOUR INTERVAL IS ONE (1) FOOT.
7. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 4" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS.
8. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.

LEGEND

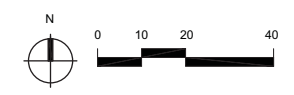
PROPERTY BOUNDARY	---
PROJECT LIMIT LINE	---
PROPOSED FLOW DIRECTION	---
EXISTING INDEX CONTOUR	---
EXISTING INTERMEDIATE CONTOUR	---
PROPOSED INDEX CONTOUR	---
PROPOSED INTERMEDIATE CONTOUR	---
PROPOSED STORM SEWER	---

SPOT ELEVATION ABBREVIATIONS:

P	= PROPOSED ASPHALT
EG	= EXISTING GRADE
EC	= EXISTING CONCRETE
FS	= FINISHED SURFACE
FG	= FINISHED GRADE
TW	= TOP OF WALL
BW	= BOTTOM OF WALL
TC	= TOP OF CURB
FLG	= FLANGE OF CURB
TR	= TOP OF ROCK
TS	= TOP OF STAIRS
BS	= BOTTOM OF STAIRS
IE	= INVERT ELEVATION
R	= RIM

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com



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HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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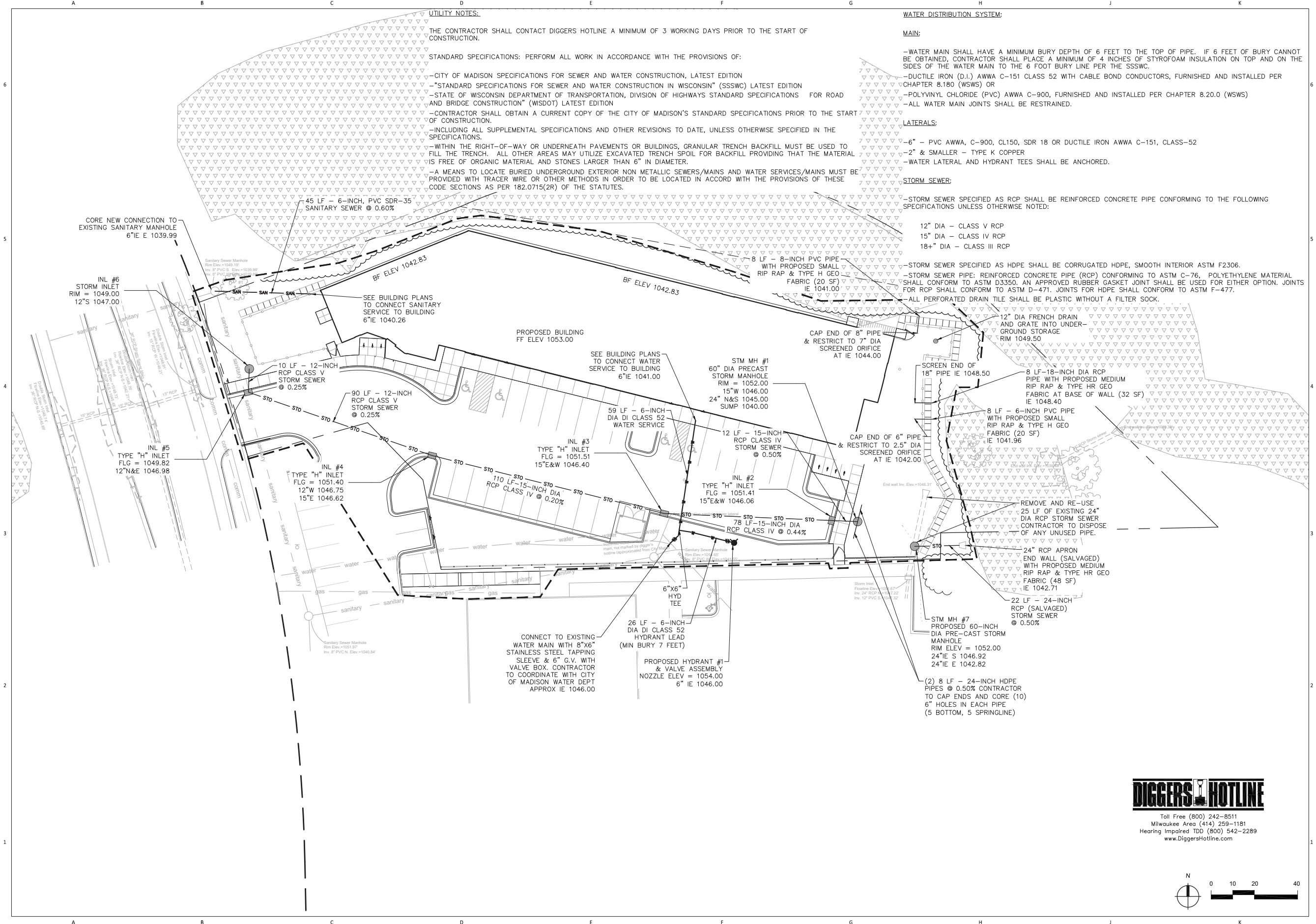
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 SHEET TITLE

Site Grading & Drainage Plan



SHEET NUMBER
C-300



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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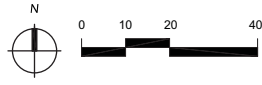
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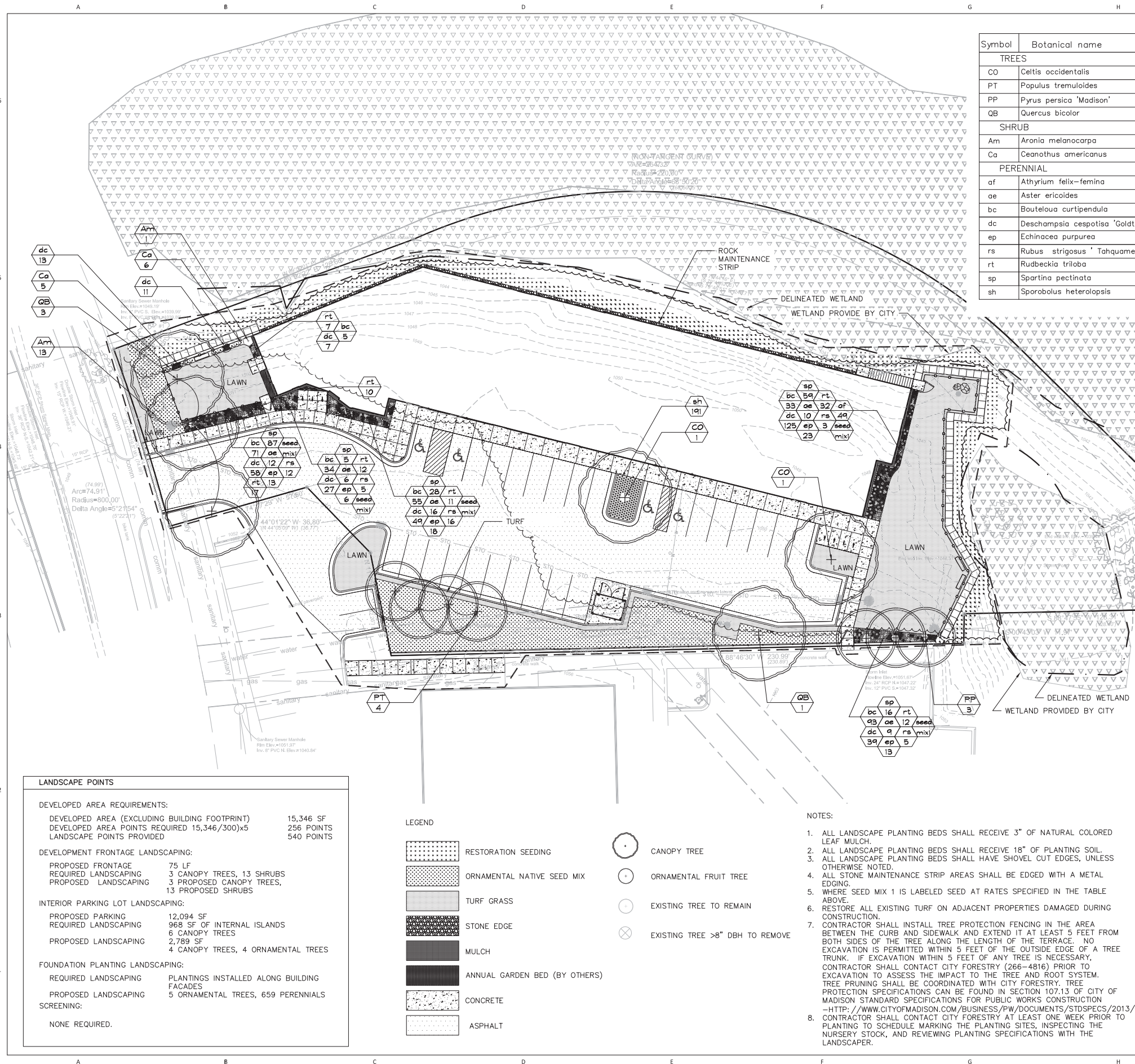
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Site Utility Plan

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SHEET NUMBER
C-400



Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
TREES						
CO	Celtis occidentalis	Common Hackberry	2-1/2"	B&B	2	na
PT	Populus tremuloides	Quaking Aspen	#10	B&B	3	na
PP	Pyrus persica 'Madison'	Madison Peach	#10	B&B	3	na
QB	Quercus bicolor	Swamp White Oak	2-1/2"	Cont.	4	na
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	#3	Cont.	14	3'-6"
Ca	Ceanothus americanus	New Jersey Tea	#3	Cont.	11	3'
PERENNIAL						
af	Athyrium filix-femina	Lady Fern	Quart	Cont.	49	12"
ae	Aster ericoides	Heath Aster	2" Plug	Cont.	53	10"
bc	Bouteloua curtipendula	Side Oats Grama	2" Plug	Cont.	291	10"
dc	Deschampsia cespitosa 'Goldtau'	Goldtau Tufted Hairgrass	Quart	Cont.	305	12"
ep	Echinacea purpurea	Purple coneflower	Quart	Cont.	73	10"
rs	Rubus strigosus 'Tahquamenon'	Tahquamenon Red Raspberry	Quart	Cont.	41	10"
rt	Rudbeckia triloba	Brown-eyed Susan	2" Plug	Cont.	101	10"
sp	Spartina pectinata	Prairie Cord Grass	2" Plug	Cont.	195	10"
sh	Sporobolus heterolopsis	Prairie Dropseed	Quart	Cont.	191	12"

	Botanical Name	Common Name	Pounds /AC	% of Mix
SEED MIX				
MIX 1				
	Monarda fistulosa	Wild Bergamot	0.2	40.0%
	Tradescantia ohiesis	Ohio spiderwort	0.3	60.0%
RESTORATION SEEDING MIX				
	Boltonia asteroides	White Doll's Daisy	6.3	18.0%
	Elymus virginicus	Virginia Wild Rye	1.4	4.0%
	Lobelia cardinalis	Cardinal Flower	0.4	1.0%
	Lobelia siphilitica	Great Blue Lobelia	0.3	1.0%
	Monarda fistulosa	Wild Bergamot	3.5	10.0%
	Panicum virgatum	Switch Grass	10.5	30.0%
	Pycnanthemum tenuifolium	Slender Mountain Mint	0.3	1.0%
	Rudbeckia triloba	Brown-eyed Susan	1.8	5.0%
	Schizachyrium scoparium	Little Bluestem	10.5	30.0%
MEADOW MIX				
	Andropogon gerardii	Big Bluestem	5.8	16.5%
	Boltonia asteroides	White Doll's Daisy	2.8	8.0%
	Bouteloua curtipendula	Sideoats Gramma	1.3	3.7%
	Carex bebbii	Bebb's Sedge	1.3	3.7%
	Carex bicknellii	Bicknell's Sedge	0.3	1.0%
	Koeleria cristata	June Grass	5.0	14.3%
	Monarda fistulosa	Wild Bergamot	0.3	1.0%
	Pycnanthemum virginianum	American Mountain Mint	0.7	2.0%
	Rudbeckia laciniata	Cut-leaf Coneflower	0.2	0.5%
	Rudbeckia triloba	Brown-eyed Susan	1.0	3.0%
	Schizachyrium scoparium	Little Bluestem	5.0	14.3%
	Sorghastrum nutans	Indian Grass	10.0	28.5%
	Symphotrichum novae-angliae	New England Aster	0.7	2.0%
	Symphotrichum ericoides	Heath Aster	0.4	1.0%
	Tradescantia ohiensis	Ohio Spiderwort	0.2	0.5%
TURF MIX: WI DOT MIX 40				
	Festuca spp	Fine perennial ryegrass	4.18	25.0%
	Festuca ovina	Hard fescue	3.35	20.0%
	Festuca rubra	Red fescue	3.35	20.0%
	Poa pratensis	Kentucky bluegrass	5.86	35.0%

LANDSCAPE POINTS	
DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	15,346 SF
DEVELOPED AREA POINTS REQUIRED 15,346/300)x5	256 POINTS
LANDSCAPE POINTS PROVIDED	540 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	75 LF
REQUIRED LANDSCAPING	3 CANOPY TREES, 13 SHRUBS
PROPOSED LANDSCAPING	6 CANOPY TREES, 3 PROPOSED CANOPY TREES, 13 PROPOSED SHRUBS
INTERIOR PARKING LOT LANDSCAPING:	
PROPOSED PARKING	12,094 SF
REQUIRED LANDSCAPING	968 SF OF INTERNAL ISLANDS
	6 CANOPY TREES
PROPOSED LANDSCAPING	2,789 SF
	4 CANOPY TREES, 4 ORNAMENTAL TREES
FOUNDATION PLANTING LANDSCAPING:	
REQUIRED LANDSCAPING	PLANTINGS INSTALLED ALONG BUILDING FACADES
PROPOSED LANDSCAPING	5 ORNAMENTAL TREES, 659 PERENNIALS
SCREENING:	
	NONE REQUIRED.

LEGEND	
	RESTORATION SEEDING
	ORNAMENTAL NATIVE SEED MIX
	TURF GRASS
	STONE EDGE
	MULCH
	ANNUAL GARDEN BED (BY OTHERS)
	CONCRETE
	ASPHALT
	CANOPY TREE
	ORNAMENTAL FRUIT TREE
	EXISTING TREE TO REMAIN
	EXISTING TREE >8" DBH TO REMOVE

- NOTES:**
- ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 3" OF NATURAL COLORED LEAF MULCH.
 - ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 18" OF PLANTING SOIL.
 - ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES, UNLESS OTHERWISE NOTED.
 - ALL STONE MAINTENANCE STRIP AREAS SHALL BE EDGED WITH A METAL EDGING.
 - WHERE SEED MIX 1 IS LABELED SEED AT RATES SPECIFIED IN THE TABLE ABOVE.
 - RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF)
 - CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITES, INSPECTING THE NURSERY STOOK, AND REVIEWING PLANTING SPECIFICATIONS WITH THE LANDSCAPER.



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Landscape Plan

SHEET NUMBER
C-500



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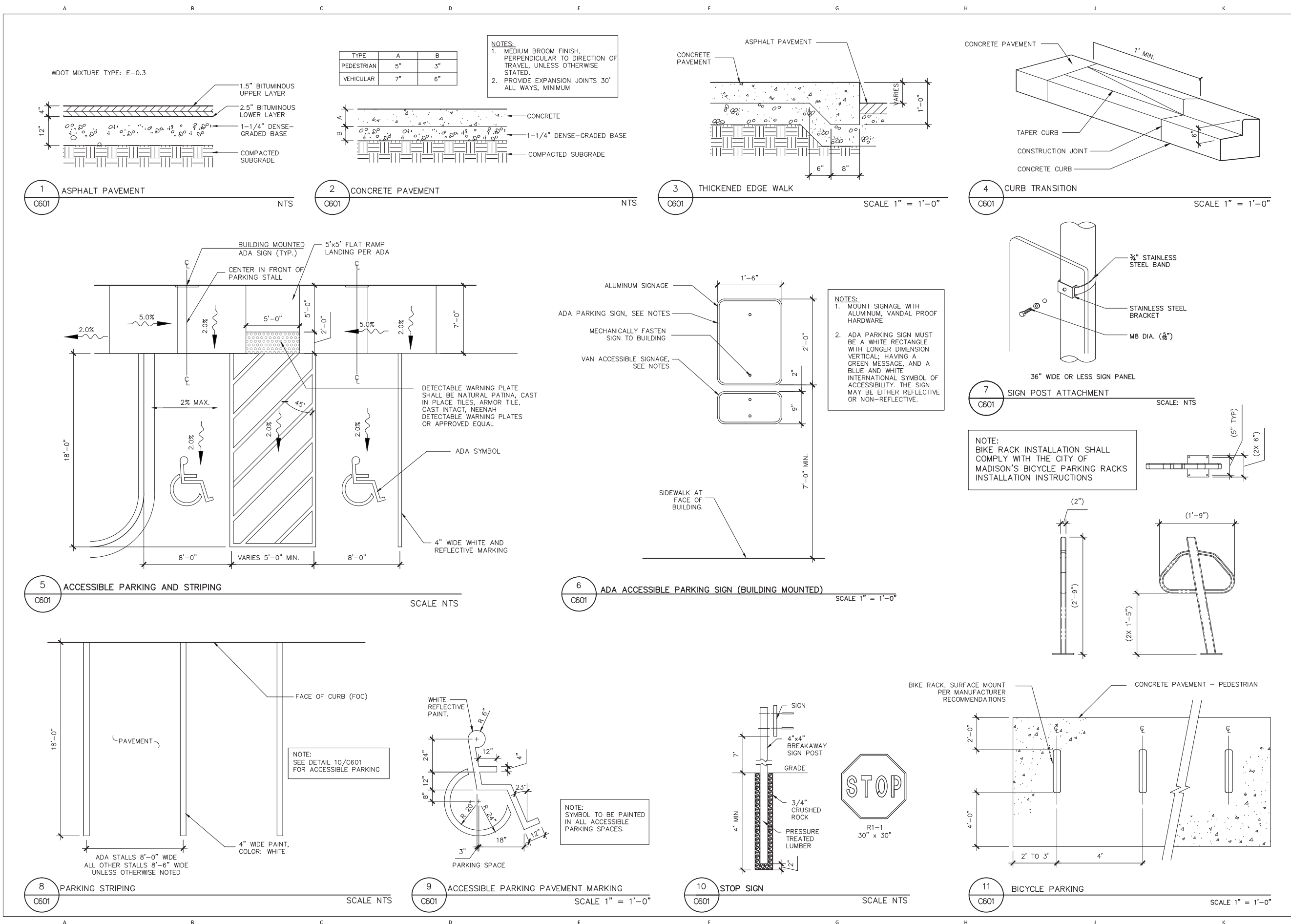
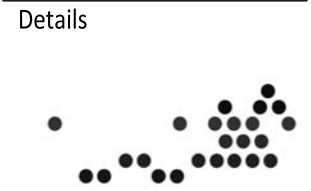
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TYPE	A	B
PEDESTRIAN	5"	3"
VEHICULAR	7"	6"

NOTES:
 1. MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED.
 2. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM

NOTES:
 1. MOUNT SIGNAGE WITH ALUMINUM, VANDAL PROOF HARDWARE
 2. ADA PARKING SIGN MUST BE A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL; HAVING A GREEN MESSAGE, AND A BLUE AND WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN MAY BE EITHER REFLECTIVE OR NON-REFLECTIVE.

NOTE:
 BIKE RACK INSTALLATION SHALL COMPLY WITH THE CITY OF MADISON'S BICYCLE PARKING RACKS INSTALLATION INSTRUCTIONS

NOTE:
 SYMBOL TO BE PAINTED IN ALL ACCESSIBLE PARKING SPACES.

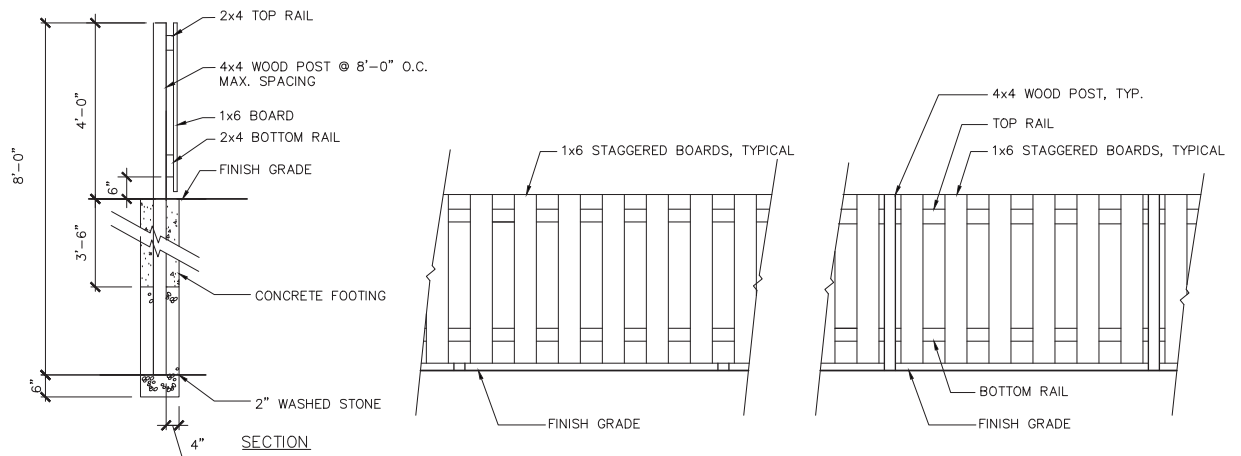
NOTE:
 SEE DETAIL 10/C601 FOR ACCESSIBLE PARKING



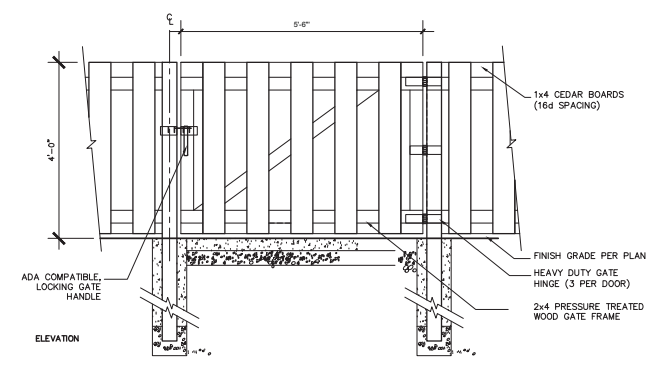
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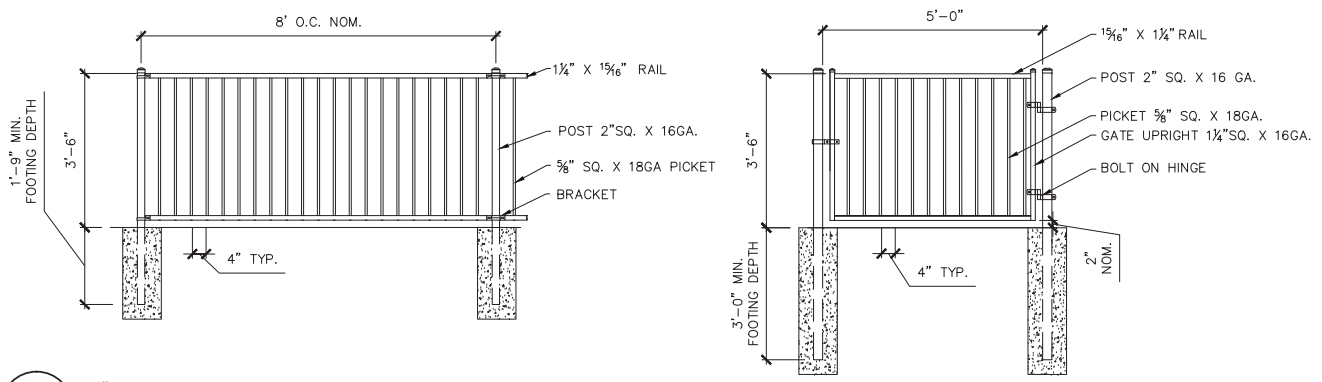
- NOTES:
 1. ALL WOOD TO BE STAINED
 2. ALL FASTENERS TO BE NON-CORROSIVE, CONCEALED AND SHALL BE INCLUDED WITH FENCE
 3. STEP FENCE TO FOLLOW GRADE



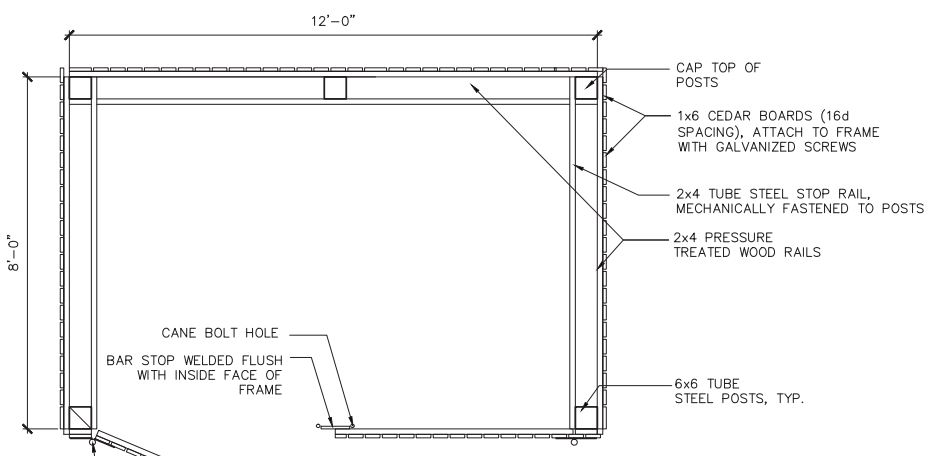
1 4' PRIVACY FENCE
 C602 SCALE 1/2"=1'-0"



2 4' PRIVACY FENCE GATE
 C602 SCALE 1/2"=1'-0"

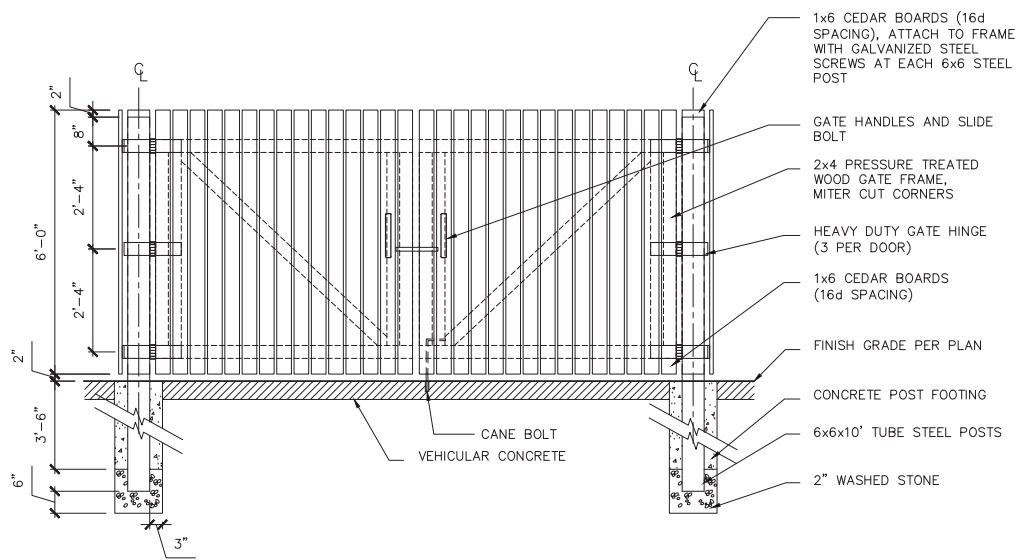


3 42" DECORATIVE FENCE AND GATE
 C602 SCALE 1/2"=1'-0"



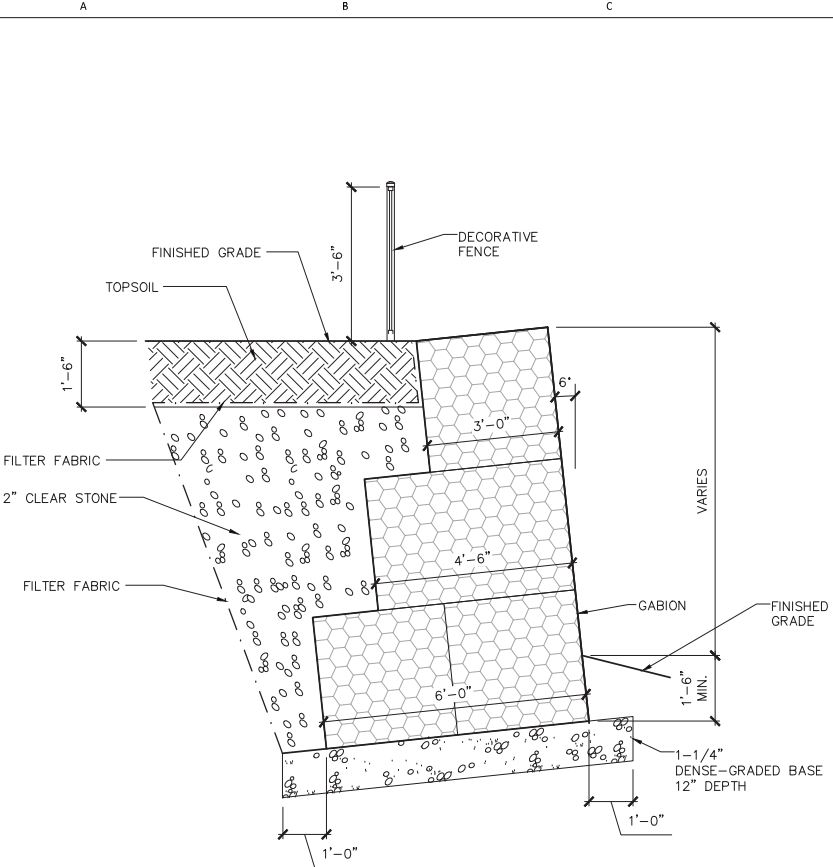
- NOTE:
 1. MATERIAL SIZES SHOWN AS NOMINAL.
 2. ALL STEEL SHALL BE GALVANIZED.
 3. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS
 4. ANY MECHANICAL CONNECTIONS SHALL BE VANDAL AND CORROSION RESISTANT HARDWARE.
 5. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GROUND STRUCTURES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE DEFINED IN THE DETAIL OR LESS THAN 3' O.C.

4 DUMPSTER SCREEN FENCE
 C602 SCALE: 1/2" = 1'-0"

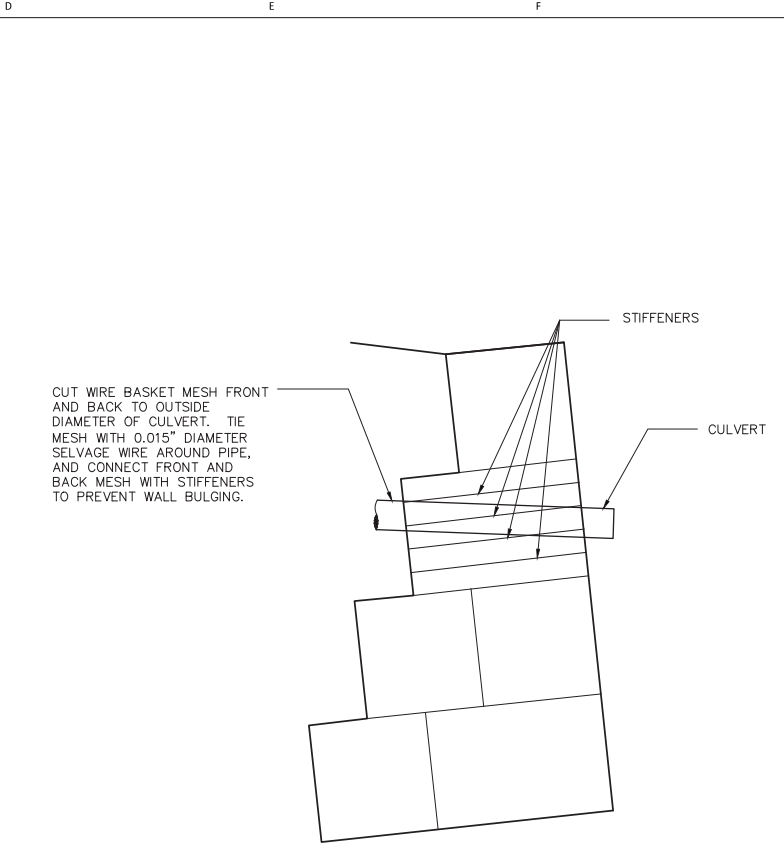




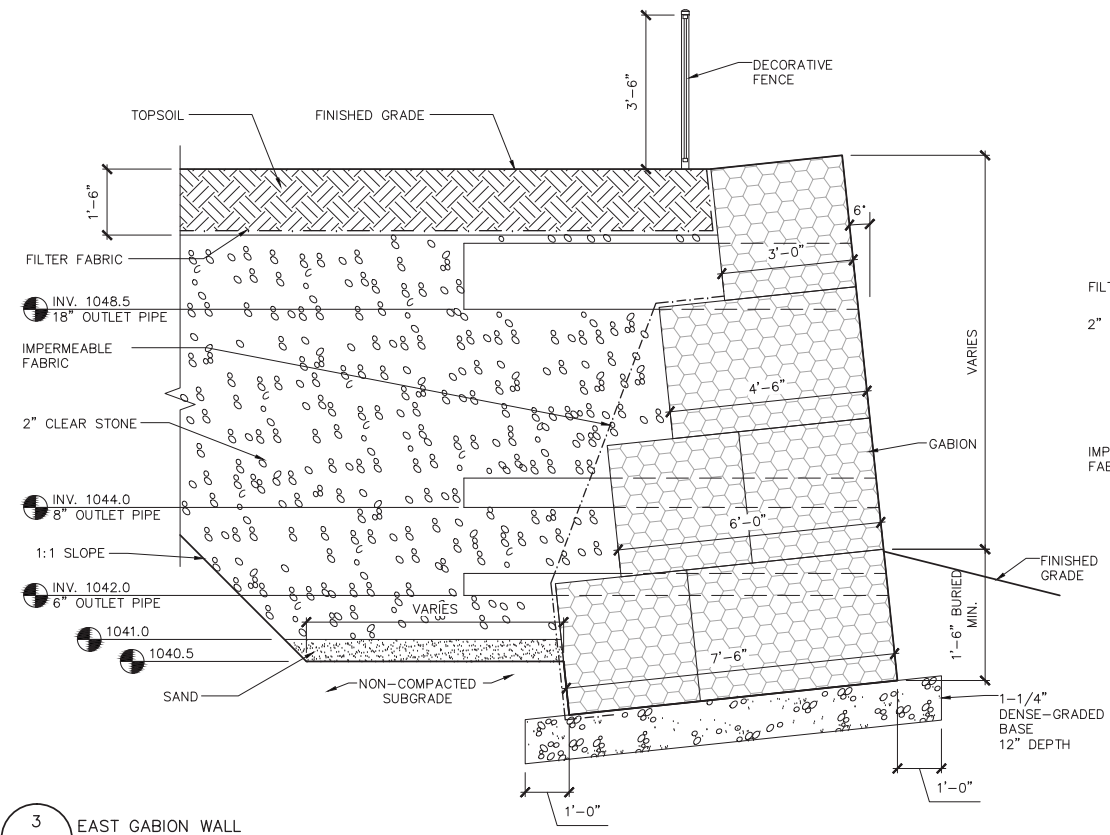
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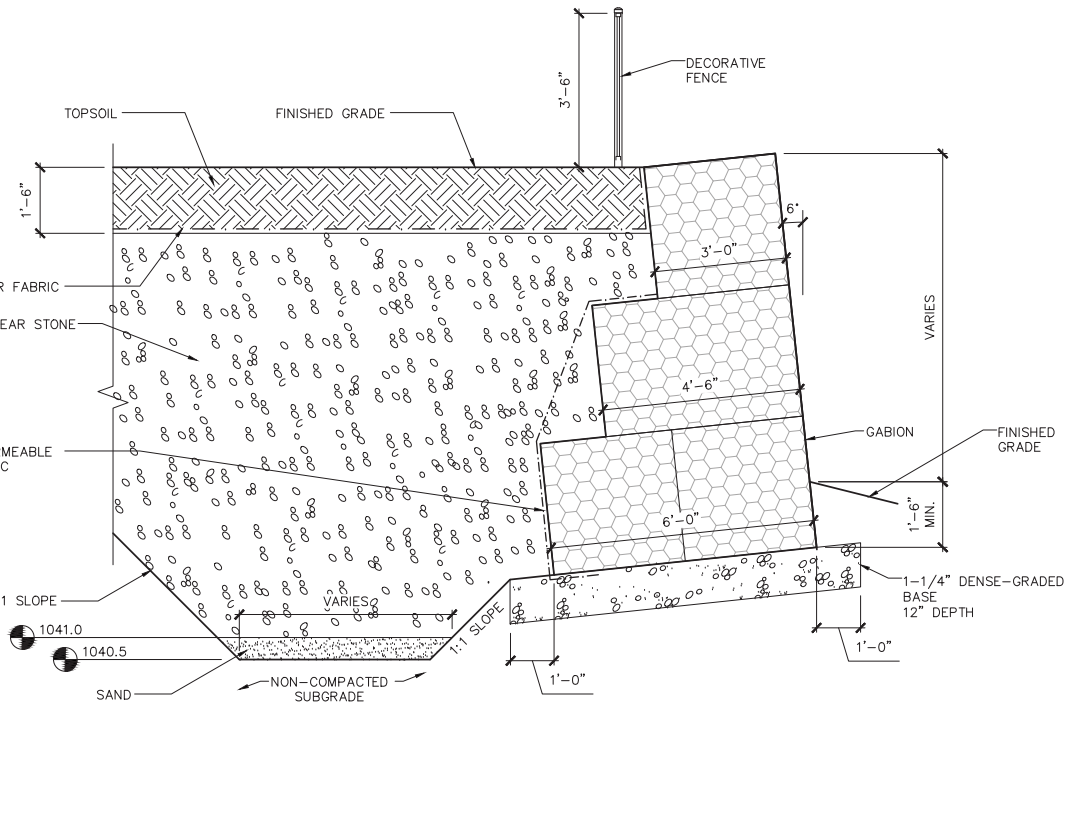
1 WEST GABION WALL
 C603 SCALE 1/2" - 1'-0"



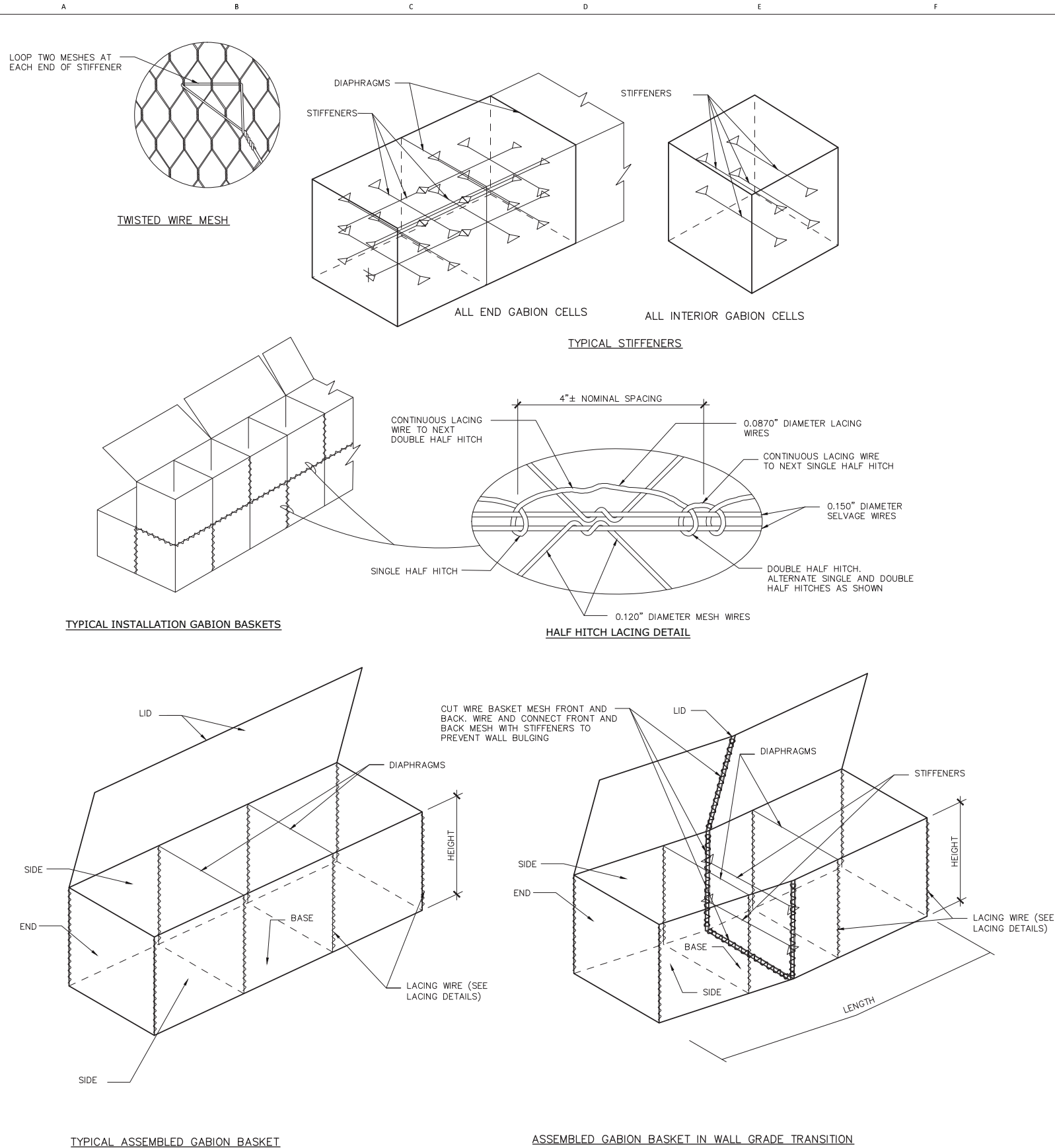
2 TYPICAL CULVERT INSTALLATION THROUGH GABION WALL
 C603 NTS



3 EAST GABION WALL
 C603 SCALE 1/2" - 1'-0"



SCALE 1/2" - 1'-0"



1 GABION BASKET - INSTALLATION
C604

SCALE NTS

2 WALL MOUNTED LIGHT
C604

SCALE NTS

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (± 270K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 500mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TFC polyester powder coat paint. 2.2 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete section.

Warranty
Five-year warranty.

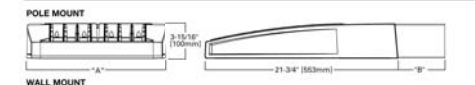
McGraw-Edison

Catalog #	Type
Comments	Date
Issued by	



GLEON GALLEON LED
1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

DIMENSIONS



DIMENSION DATA

Number of Light Squares	1A" Width	1B" Standard Arm Length	1B" Optional Arm Length	Weight with Arm (lbs.)	EPA within 1' (lm/ft²)
1-4	15-1/2" (393mm)	7' (213mm)	10' (3048mm)	33 (15.0 kg)	0.38
5-6	21-5/8" (549mm)	7' (213mm)	10' (3048mm)	44 (20.0 kg)	1.08
7-8	27-5/8" (702mm)	7' (213mm)	10' (3048mm)	54 (24.5 kg)	1.51
9-10	33-3/4" (858mm)	7' (213mm)	10' (3048mm)	63 (28.6 kg)	1.11

CERTIFICATION DATA
UL-cUL5: Wet Location Listed
ISO 9001
LM79-0: LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified

ENERGY DATA
Electronic LED Driver
0.5 Power Factor
-20% Total Harmonic Distortion
120V-277V (50/60Hz)
347V & 480V (60Hz)
40°C Max. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

NOTES: 1 Enclosed arm color may be specified when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table (R16) for additional arm length options.
EATON
www.designlights.org
TD600026EN
2015-10-02 11:48:13

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
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www.buildordie.com

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608.255.0800
www.AyresAssociates.com
CONSULTANT PROJECT NUMBER
27-1019

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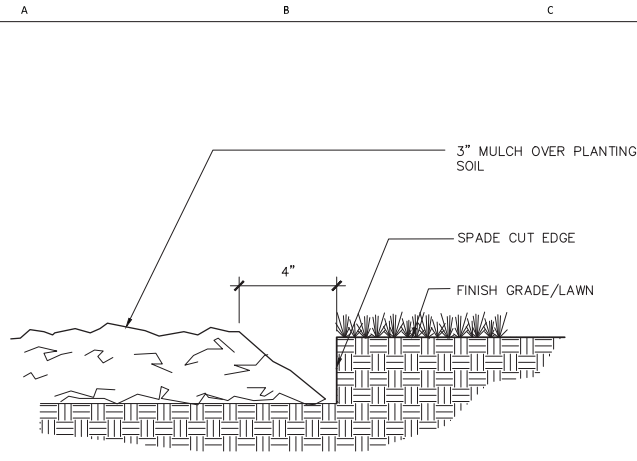
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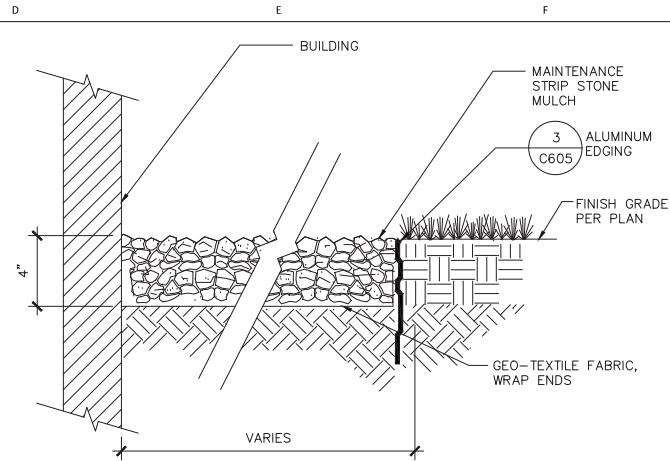
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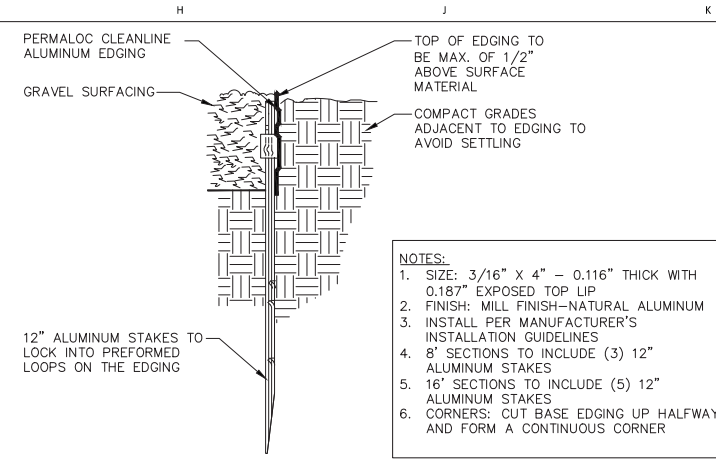
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C-604



1 SHOVEL CUT EDGE
C605 NTS

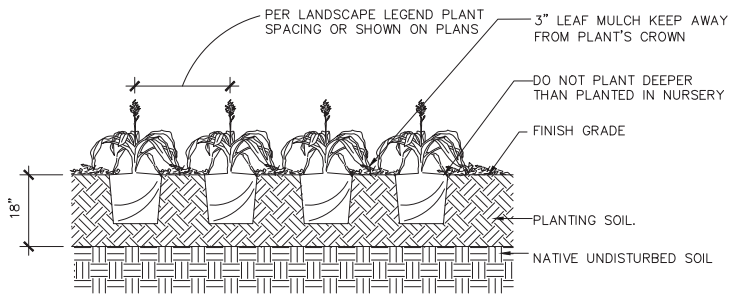


2 GRAVEL SURFACING
C605 NTS

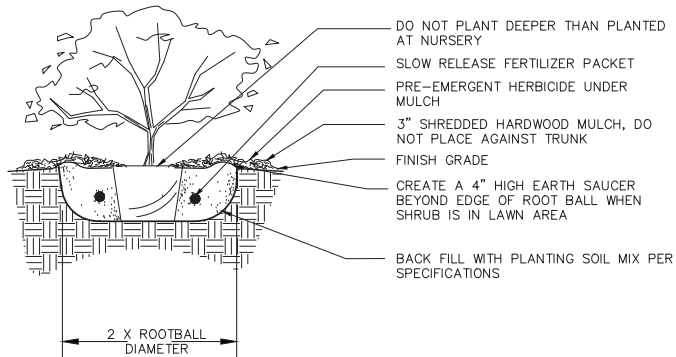


3 ALUMINUM EDGING
C605

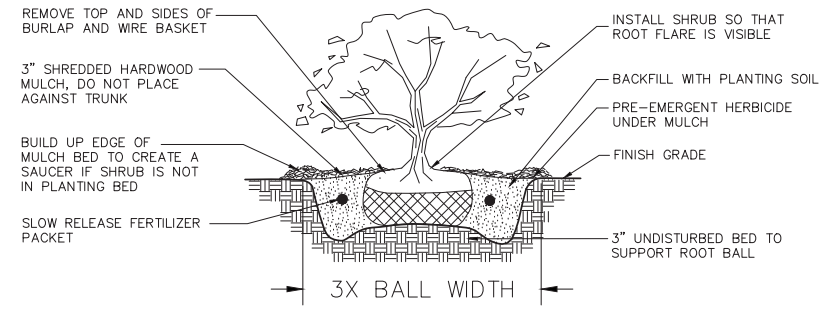
NOTES:
 1. SIZE: 3/16" X 4" - 0.116" THICK WITH 0.187" EXPOSED TOP LIP
 2. FINISH: MILL FINISH-NATURAL ALUMINUM
 3. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES
 4. 8' SECTIONS TO INCLUDE (3) 12" ALUMINUM STAKES
 5. 16' SECTIONS TO INCLUDE (5) 12" ALUMINUM STAKES
 6. CORNERS: CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER



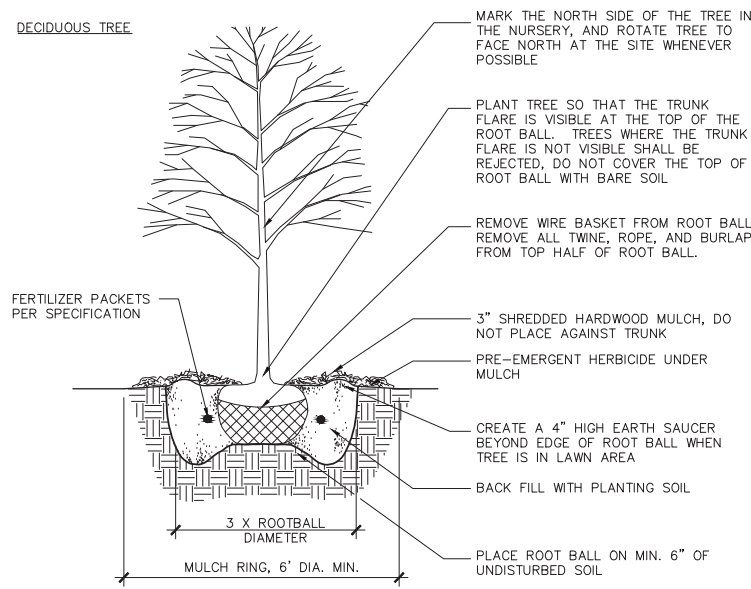
4 GROUND COVER/PERENNIAL/BULB PLANTING DETAIL
C605 NTS



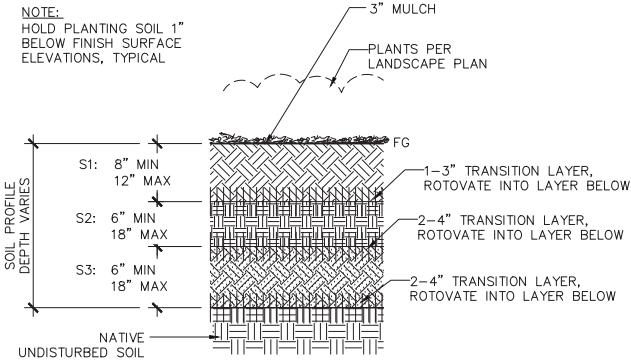
5 CONTAINER SHRUB PLANTING DETAIL
C605 NTS



6 B&B SHRUB PLANTING DETAIL
C605 NTS



7 B&B TREE PLANTING DETAILS
C605 NTS



- S1 LAYER:**
- 40-70% SAND, BY DRY WEIGHT
 - 20-40% SILTY, BY DRY WEIGHT
 - 10-30% CLAY, BY DRY WEIGHT
 - 8-10% ORGANIC MATTER BY DRY WEIGHT*
 - TOTAL POROSITY: 55% MIN. AT MAX COMPACTION RATE OF 70-80% PROCTOR DENSITY
 - BULK DENSITY: 1.0-1.3 g/cu cm AT MAX COMPACTION RATE OF 70% PROCTOR DENSITY
 - C:N RATION OF 11-12:1
 - pH OF 6-8
- S2 LAYER:**
- 50-75% SAND, BY DRY WEIGHT
 - 10-20% VERY COARSE SAND - USDA PARTICLE SIZE
 - 10-20% COARSE SAND - USDA PARTICLE SIZE
 - 10-20% SILTY, BY DRY WEIGHT
 - 20-30% CLAY, BY DRY WEIGHT
 - 3-5% ORGANIC MATTER BY DRY WEIGHT
 - TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
 - BULK DENSITY: 1.0-1.5 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
 - pH OF 6-8
- S3 LAYER:**
- 60-85% SAND, BY DRY WEIGHT
 - 10-20% VERY COARSE SAND - USDA PARTICLE SIZE
 - 10-20% COARSE SAND - USDA PARTICLE SIZE
 - 5-10% SILTY, BY DRY WEIGHT
 - 10-20% CLAY, BY DRY WEIGHT
 - 1-3% ORGANIC MATTER BY DRY WEIGHT
 - TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
 - BULK DENSITY: 1.3-1.6 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
 - pH OF 6-8

8 PLANTING SOIL
C605 SCALE NTS

PROJECT NAME
HEARTLAND ALLIANCE
 PROJECT ADDRESS
MADISON, WI



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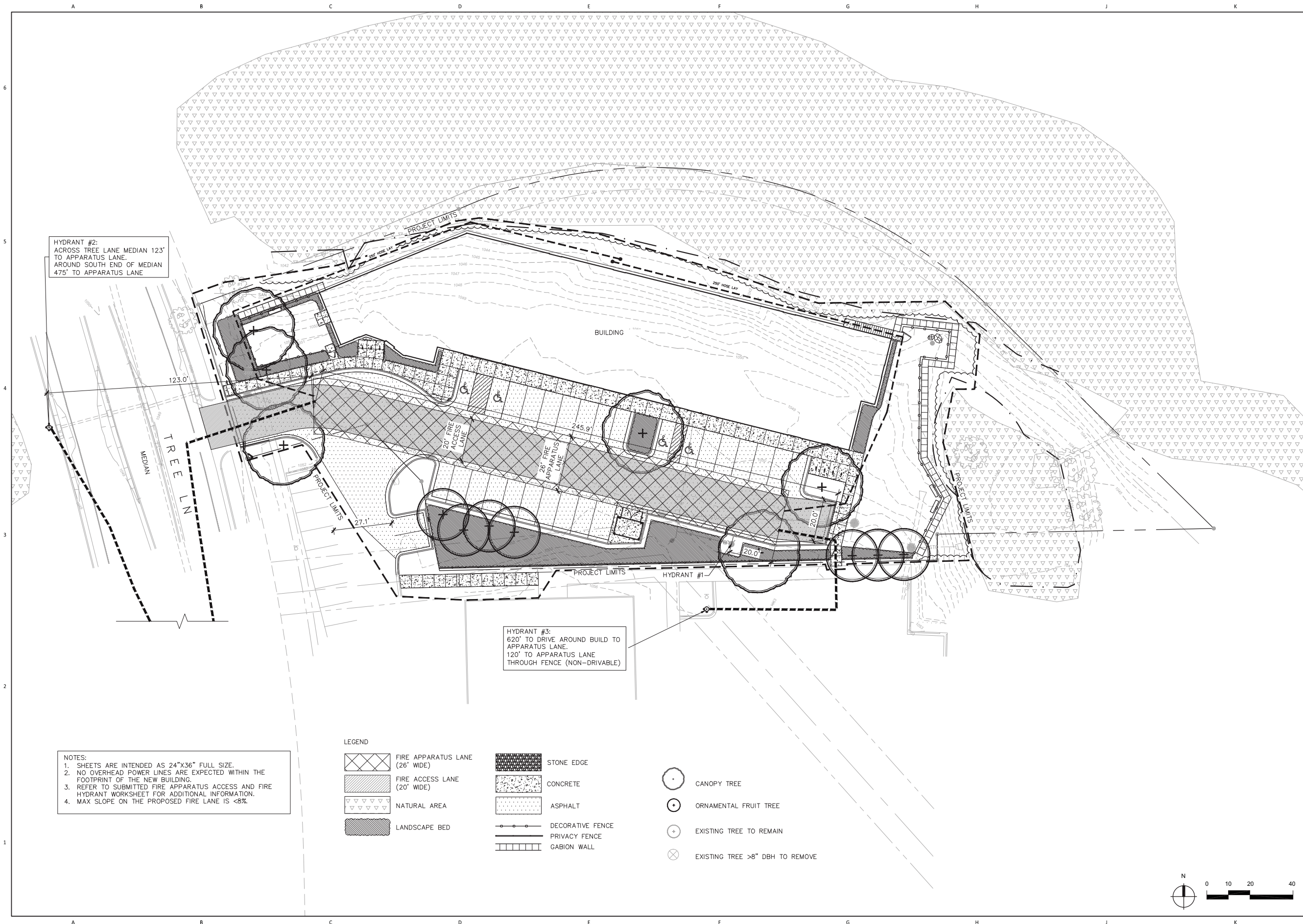
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C-605

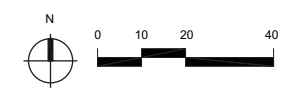


HYDRANT #2:
ACROSS TREE LANE MEDIAN 123'
TO APPARATUS LANE.
AROUND SOUTH END OF MEDIAN
475' TO APPARATUS LANE

HYDRANT #3:
620' TO DRIVE AROUND BUILD TO
APPARATUS LANE.
120' TO APPARATUS LANE
THROUGH FENCE (NON-DRIVABLE)

NOTES:
1. SHEETS ARE INTENDED AS 24"X36" FULL SIZE.
2. NO OVERHEAD POWER LINES ARE EXPECTED WITHIN THE FOOTPRINT OF THE NEW BUILDING.
3. REFER TO SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
4. MAX SLOPE ON THE PROPOSED FIRE LANE IS <8%.

- LEGEND
- FIRE APPARATUS LANE (26' WIDE)
 - CONCRETE
 - CANOPY TREE
 - FIRE ACCESS LANE (20' WIDE)
 - ASPHALT
 - ORNAMENTAL FRUIT TREE
 - NATURAL AREA
 - DECORATIVE FENCE
 - EXISTING TREE TO REMAIN
 - LANDSCAPE BED
 - PRIVACY FENCE
 - EXISTING TREE >8" DBH TO REMOVE
 - GABION WALL



PROJECT NAME
HEARTLAND ALLIANCE

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MADISON, WI



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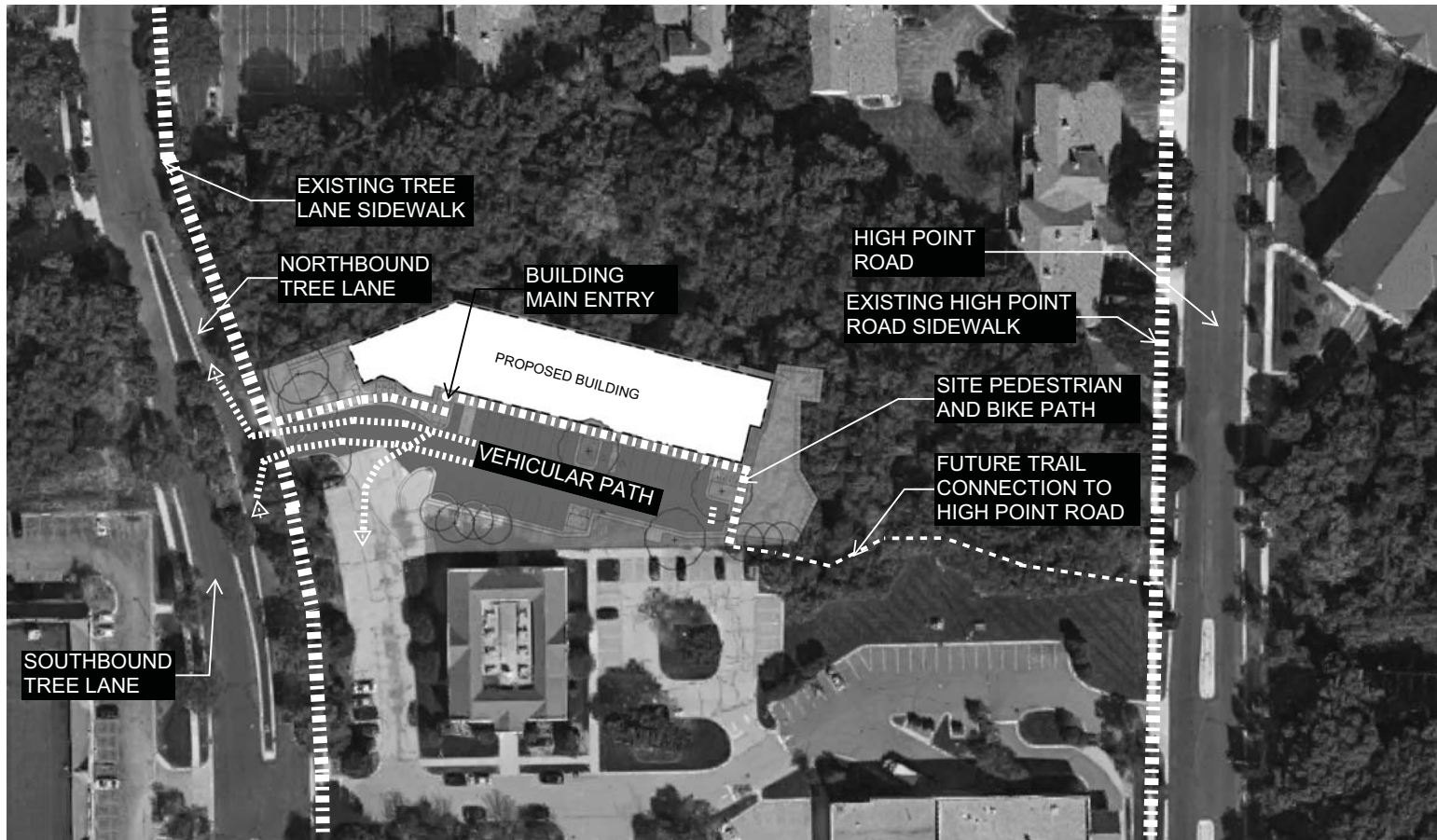
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SHEET TITLE
FIRE ACCESS PLAN



SHEET NUMBER
C-700



SITE CIRCULATION DIAGRAM



CITY OF MADISON FIRE DEPARTMENT

Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: 7933 Tree Lane, Madison, WI 53714
 Contact Name & Phone #: Jacob Blue, PLA Ayres Associates Inc 608-441-3564

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?
 If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?
 If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?

2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?
 a) Is the fire lane a minimum unobstructed width of at least 20-feet?
 b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet?
 c) Is the minimum inside turning radius of the fire lane at least 28-feet?
 d) Is the grade of the fire lane not more than a slope of 8%?
 e) Is the fire lane posted as fire lane?
 a. Is a detail of the signage included on the site plan?
 f) Is a roll-able curb used as part of the fire lane?
 a. Is a detail of the curb included on the site plan?
 g) Is part of a sidewalk used as part of the required fire lane?
 a. Is the sidewalk constructed to withstand 85,000-lbs?

3. Is the fire lane obstructed by security gates or barricades? If yes:
 a) Is the gate a minimum of 20-foot clear opening?
 b) Is an approved means of emergency operations installed, key vault, padlock or key switch?

4. Is the fire lane dead-ended with a length greater than 150-feet?
 If yes, is the area for turning around fire apparatus provided by:
 a) A cul-de-sac with a minimum inside diameter of 70-feet?
 b) A 45-degree wye with a minimum length of 60-feet per side?
 c) A 90-degree tee with a minimum length of 60-feet per side?

5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23?
 If yes, see IFC 2306.6 for further requirements.

6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access?
 If yes, answer the following questions:
 a) Is the aerial apparatus fire lane parallel to one entire side of the building?
 b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?
 c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?
 d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?

7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?
 Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.
 a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?
 b) Is there at least 40' between a hydrant and the building?
 c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?
 d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb?
 e) Are there no obstructions, including but not limited to power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant?
 Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 4/2011



**CITY OF MADISON
 LANDSCAPE WORKSHEET**

Section 28.142 Madison General Ordinance

Project Location / Address 7933 Tree Lane
 Name of Project Madison Supportive Housing
 Owner/Contact Jacob Blue, PLA, Ayres Associates Inc.
 Contact Phone 608-441-3564 Contact Email BlueJ@AyresAssociates.com

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 15,346 sf
 Total landscape points required 256

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area _____
 Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
 Total landscape points required _____

10/2013

1

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			6	210
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			7	105
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			14	42
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.				183
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						540

Total Number of Points Provided 540

* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013

2

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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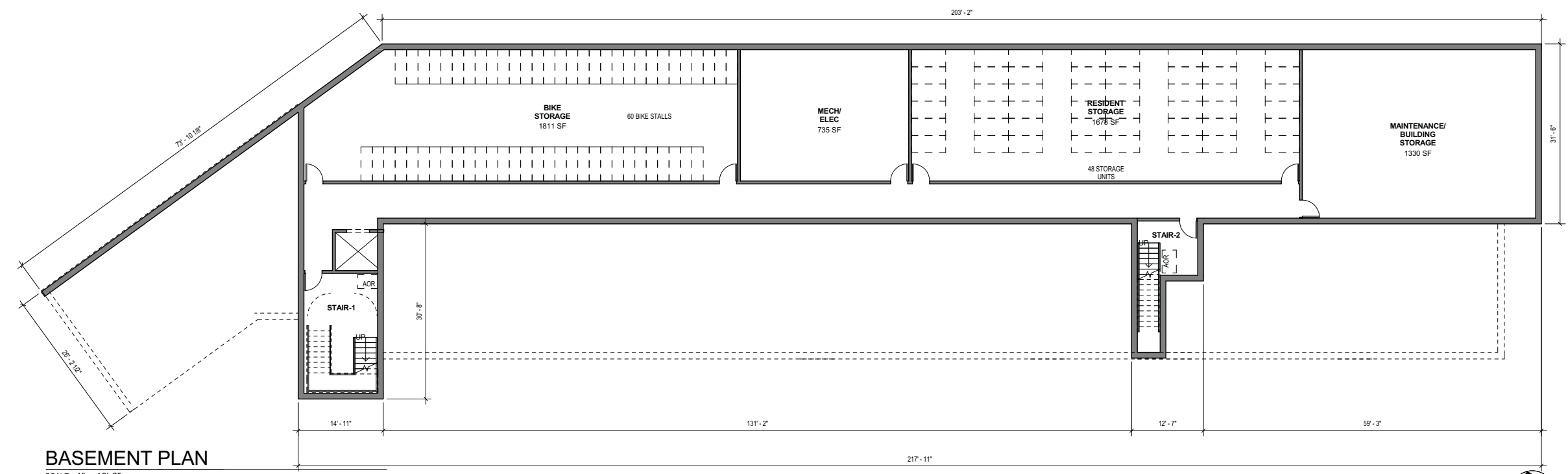
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 SHEET TITLE



SHEET NUMBER



FIRST FLOOR PLAN
 SCALE: 1" = 10'-0" FIRST FLOOR GROSS SF: 13,208



BASEMENT PLAN
 SCALE: 1" = 10'-0" BASEMENT GROSS SF: 7,451

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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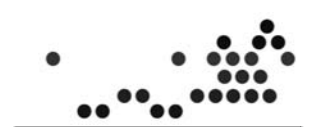
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CONSULTANT

CONSULTANT PROJECT NUMBER

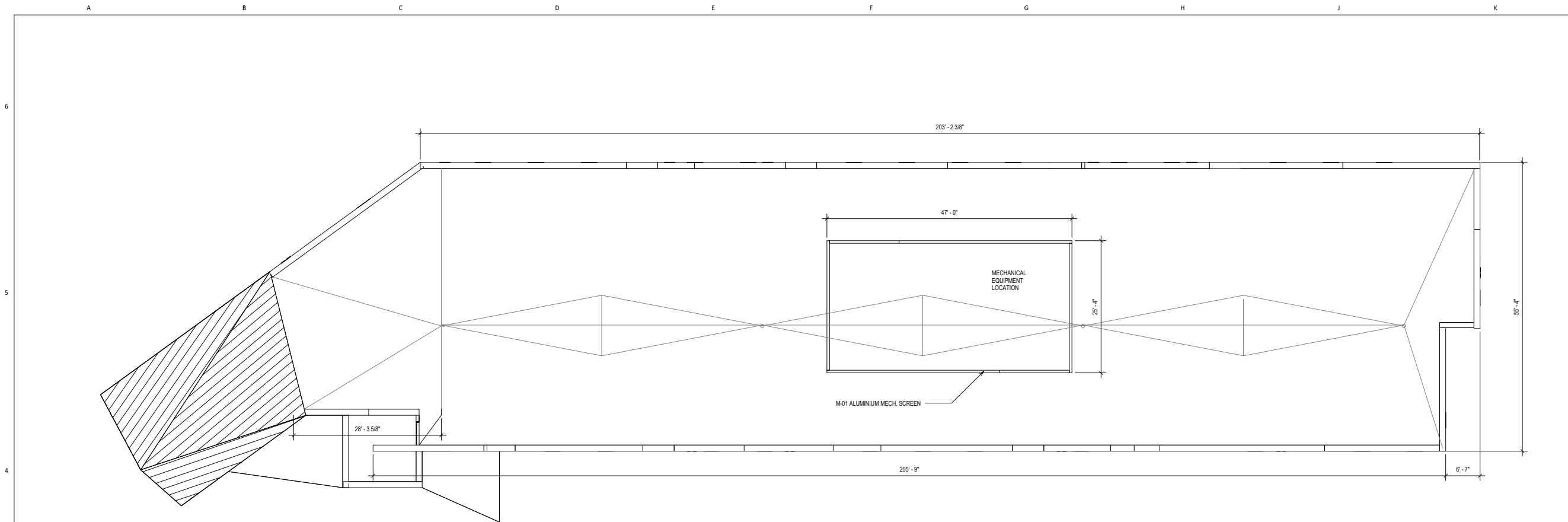
ISSUE		
NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

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 SHEET TITLE
FLOOR PLANS

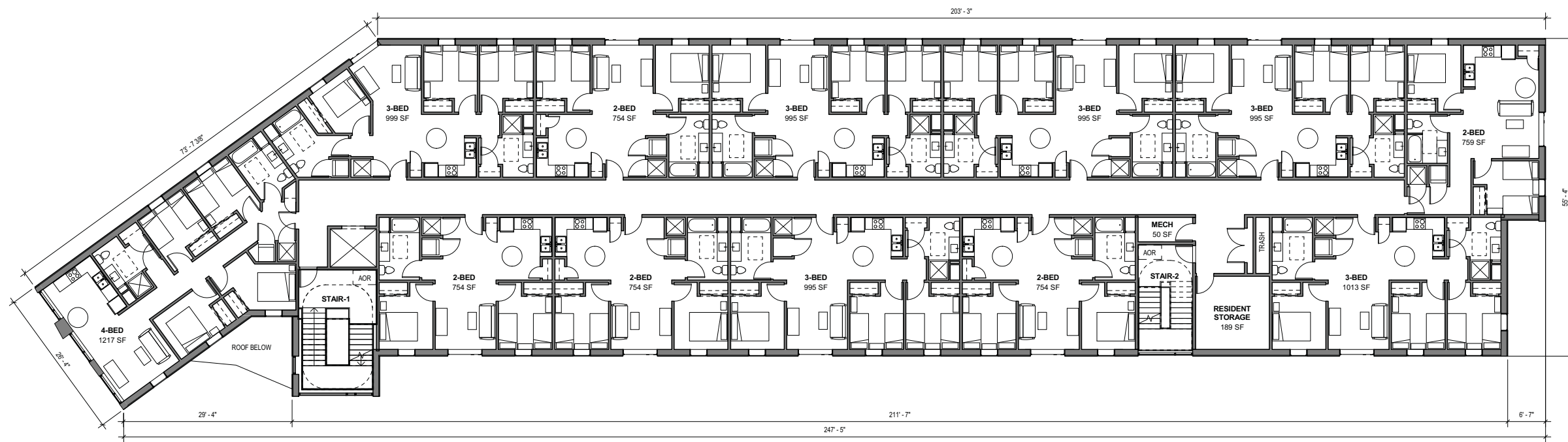


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A-33

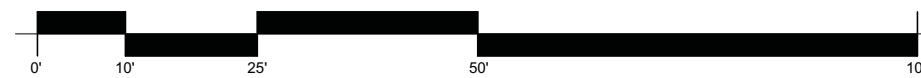
10/6/2015 8:39:55 AM



ROOF PLAN
SCALE: 1" = 10'-0"



TYPICAL RESIDENTIAL FLOOR PLAN
SCALE: 1" = 10'-0"
2ND, 3RD, 4TH FLOOR GROSS SF: 13,169



PROJECT NAME
**HEARTLAND
ALLIANCE**

PROJECT ADDRESS
MADISON, WI



ARCHITECT
VALERIO DEWALT TRAIN ASSOCIATES, INC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.buildordie.com

PROJECT TEAM ARCHITECT STAMP

VDTA PROJECT NUMBER
15010.00

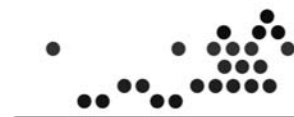
CONSULTANT

CONSULTANT PROJECT NUMBER

ISSUE		
NO.	REVISION DESCRIPTION	DATE
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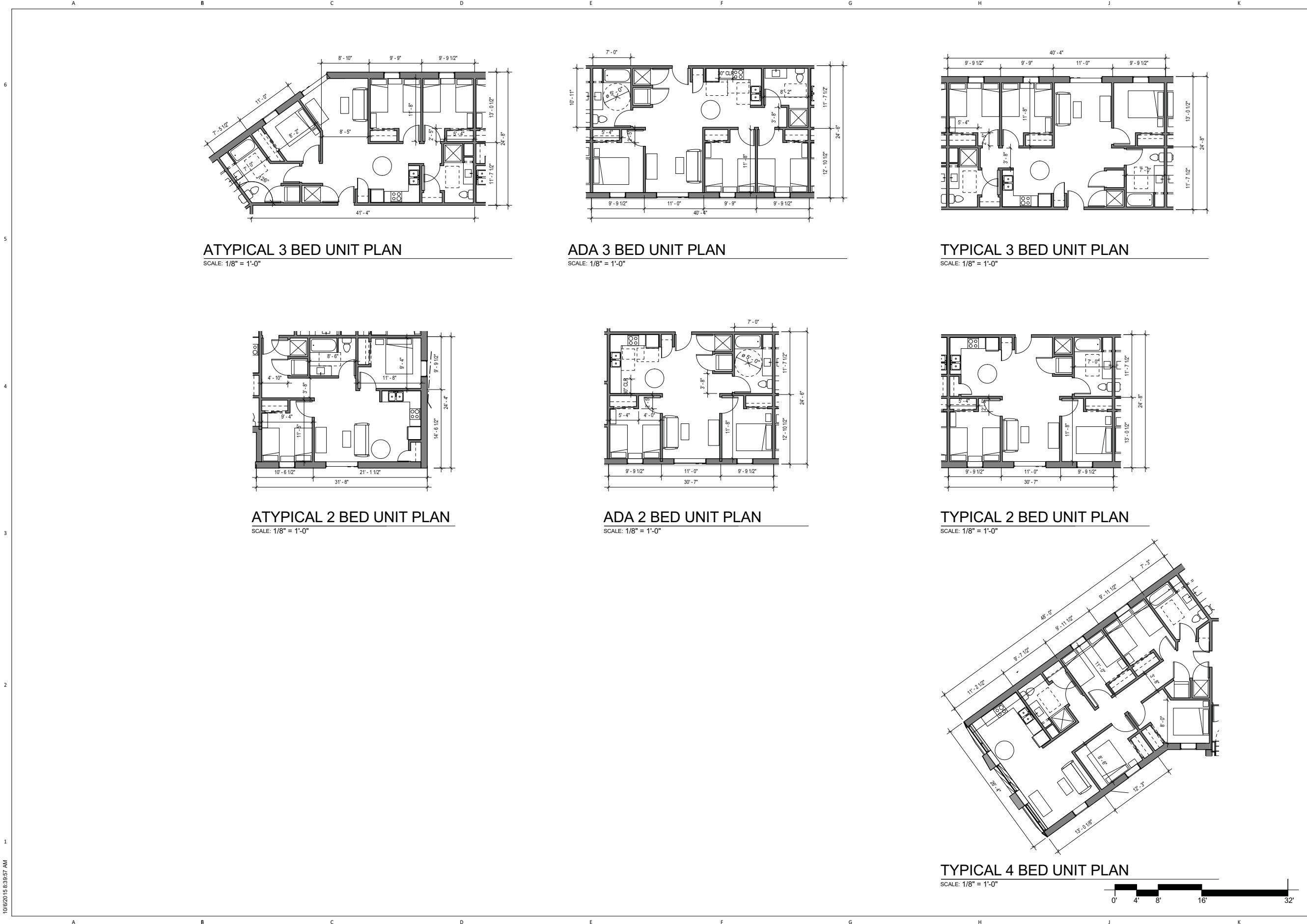
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SHEET TITLE
**TYPICAL RESIDENTIAL
FLOOR PLAN**



SHEET NUMBER
A-34

10/6/2015 8:39:56 AM



ATYPICAL 3 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

ADA 3 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

TYPICAL 3 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

ATYPICAL 2 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

ADA 2 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

TYPICAL 2 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

TYPICAL 4 BED UNIT PLAN

SCALE: 1/8" = 1'-0"

PROJECT NAME
**HEARTLAND
 ALLIANCE**
 PROJECT ADDRESS
MADISON, WI



ARCHITECT
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PROJECT TEAM ARCHITECT STAMP

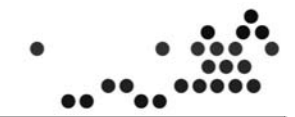
VDTA PROJECT NUMBER
 15010.00

CONSULTANT

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ISSUE		
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 SHEET TITLE
ENLARGED UNIT PLANS



SHEET NUMBER
A-35

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EXTERIOR FINISH SCHEDULE	
MARK	DESCRIPTION
H-01	HARDIPANEL WITH BATTENS
H-02	HARDIPLANK SIDING
H-03	COLORED TRESPA PANEL
G-01	ALUMINIUM WINDOWWALL / ALUMINIUM STOREFRONT
G-02	OPERABLE VINYL WINDOWS - TRIPLE GLAZED
G-03	OPERABLE WINDOWS - TRIPLE GLAZED
C-01	CONCRETE FOUNDATION WALL
M-01	ALUMINIUM MECHANICAL SCREEN



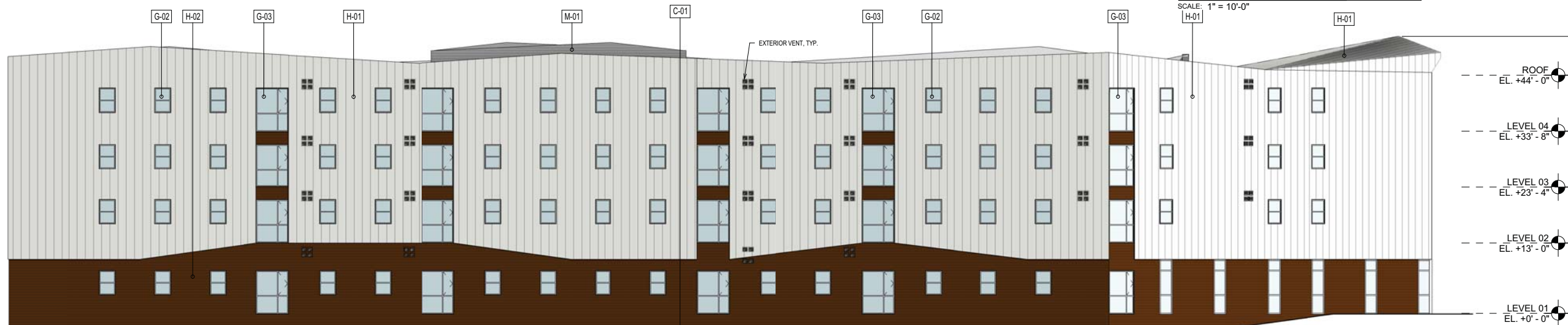
EAST ELEVATION
SCALE: 1" = 10'-0"



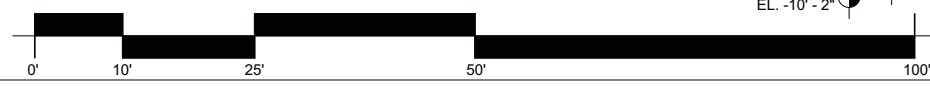
WEST ELEVATION
SCALE: 1" = 10'-0"



SOUTH ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



PROJECT NAME
HEARTLAND ALLIANCE
PROJECT ADDRESS
MADISON, WI



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PROJECT TEAM ARCHITECT STAMP

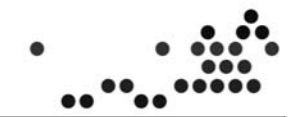
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SHEET TITLE
ELEVATIONS



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