

Redevelopment for Smart Stay ApartHotel LLC

owner:

Smart Stay ApartHotel LLC

1 Sunfish Ct. Apt 4
Madison WI 53713
608-640-9618
Contact: Amir Katif

architect:

Bouril Design Studio LLC

579 D'Onofrio Dr Suite 16
Madison WI 53719
608-833-3400
Contact: Robert Lackore

civil engineer:

Burse Surveying and
Engineering Inc

2801 International Ln Suite 101
Madison WI 53704
608-250-9263
Contact: Brian Beaulieu

landscape architect

Paul Skidmore

13 Red Maple Trl
Madison WI 53717
608-826-0032
Contact: Paul Skidmore

drawing sheet index

civil drawings

C001	civil details and notes
C100	existing conditions
C101	removals plan
C200	site plan
C300	grading plan
C400	erosion control plan
EX-1	truck turning movement exhibit
EX-2	usable open space exhibit

landscape drawings

L1	landscape plan
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architectural drawings

- A1.0 title page
- A1.1 perspective reference images

architectural drawings, cont.

- A1.2 lot plans
- A1.3 lot lighting plan
- A1.4 lot lighting cut sheets
- A1.5 shed and dumpster plans
- A4.0 basement floor plan
- A4.1 first floor plan
- A4.2 second floor plan
- A4.3 roof plan
- A5.0 exterior elevations
- A5.1 exterior elevations

project summary

parcel data

property address: 6302 Odana Rd, Madison, WI, 53719
parcel number: 070825101119
zoning district: SE Suburban Employment
aldermanic district: 19, Kristen Slack

existing design standards

occupancy classification: Business Group B
use: professional offices
construction classification: Type YB, unsprinklered

proposed design standards

occupancy classification: Residential Group R-1
use: hotel
construction classification: Type VB, fully sprinklered
classification of work: Alteration Level 3, Change of Occupancy

land use summary

building footprint: 3,825 square feet (sf)
building area: 12,015 sf, including balconies
suites: 14 Type B, 1 Accessible, from 369 sf to 552 sf
lot area: 25,030 sf (as surveyed)
lot coverage: 13,553 sf, or 54% (75% max)
paved area: 10,833 sf, includes all asphalt and concrete
landscaped area: 12,006 sf, excludes the north and east
drainage swale
usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)



street view



vicinity plan

project cover sheet

no scale

print date: 8/4/2023
size: ARCH D 24x36

P1

33002 Smart Stay-Now 8/4/2023 - 10:36:02 AM

Plan Commission Review

NOT FOR CONSTRUCTION

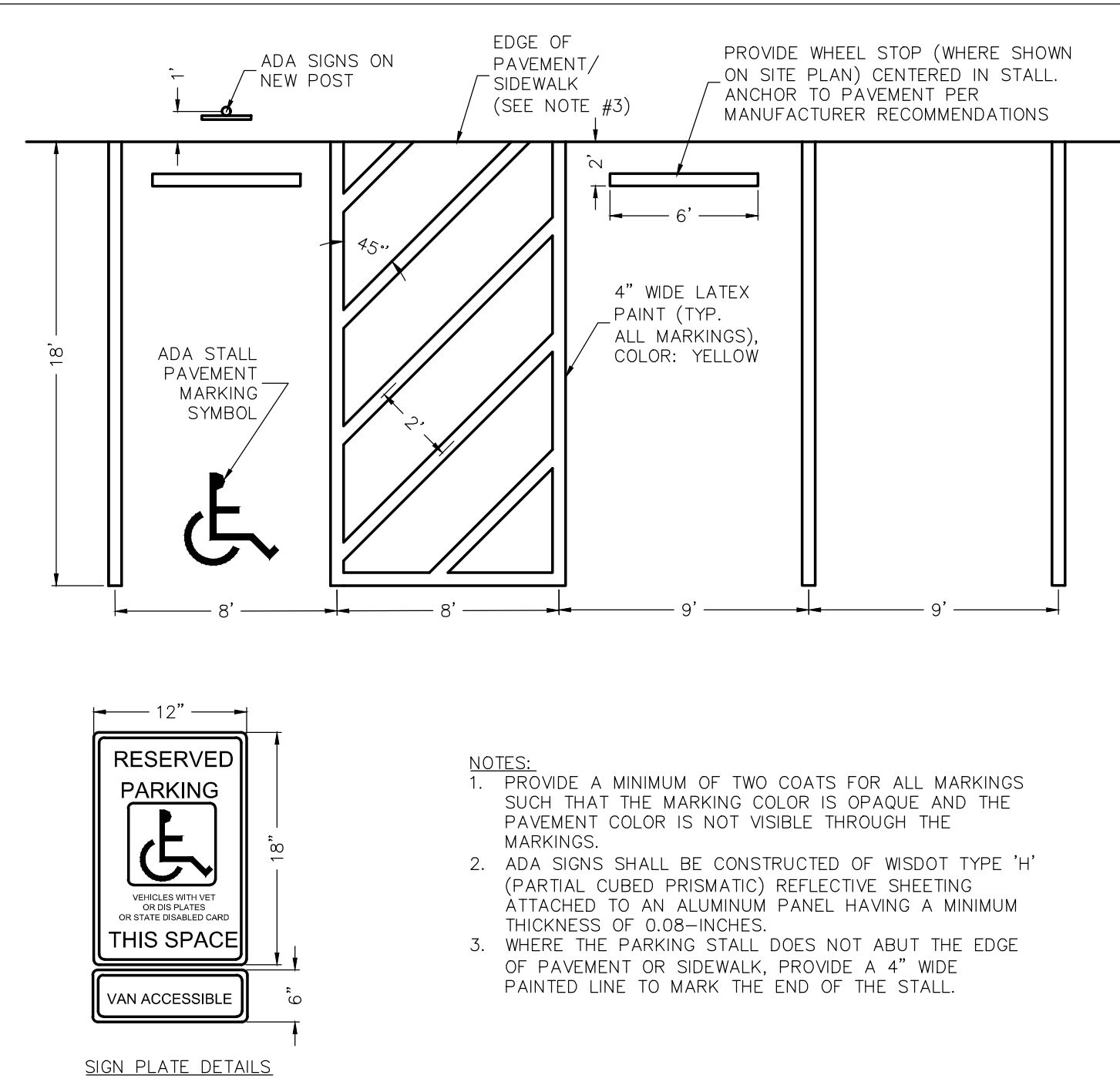
EROSION CONTROL NOTES/SPECIFICATIONS:

- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE.
 - CONSTRUCTION ENTRANCES – PROVIDE A TRACKOUT CONTROL PRACTICE AT EACH POINT OF ACCESS IF CONSTRUCTION VEHICLE TIRES WILL COME INTO CONTACT WITH THE SUBGRADE MATERIAL. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
 - SOIL STOCKPILES – A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
 - DEWATERING – WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html). THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.
- | PUMP SIZE (MAX GPM) | TYPE I BAG SIZE (SQ-FT) |
|---------------------|-------------------------|
| 50 | 25 |
| 100 | 50 |
| 150 | 75 |
- STORM SEWER INLETS – PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSERV/PAL.HTM](http://www.dot.wisconsin.gov/business/engrserve/pal.htm). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.
 - BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
 - NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
 - EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDs.HTM](http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
 - ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
 - ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
 - ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.
 - ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html). SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
 - FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT
AMIR KATIR
(608) 640-9618

ESTIMATED SCHEDULE:

OCTOBER 9, 2023	INSTALL PERIMETER EROSION CONTROLS AND CONSTRUCTION ENTRANCE.
OCTOBER 10, 2023	BEGIN DISTURBANCE OF SITE GROUND COVER.
MAY 15, 2024	BASE COURSE INSTALLED. APPLY SEED AND MULCH TO ALL DISTURBED AREAS.
JULY 15, 2024	VEGETATION ESTABLISHED.



PARKING STALL DETAILS

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
- ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf>. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

SITE PLAN NOTES:

- PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATIONS OF THE MOST RECENT VERSION OF THE WISCONSIN ASPHALT PAVEMENT ASSOCIATION DESIGN GUIDE.
- TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
- NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

GRADING PLAN NOTES:

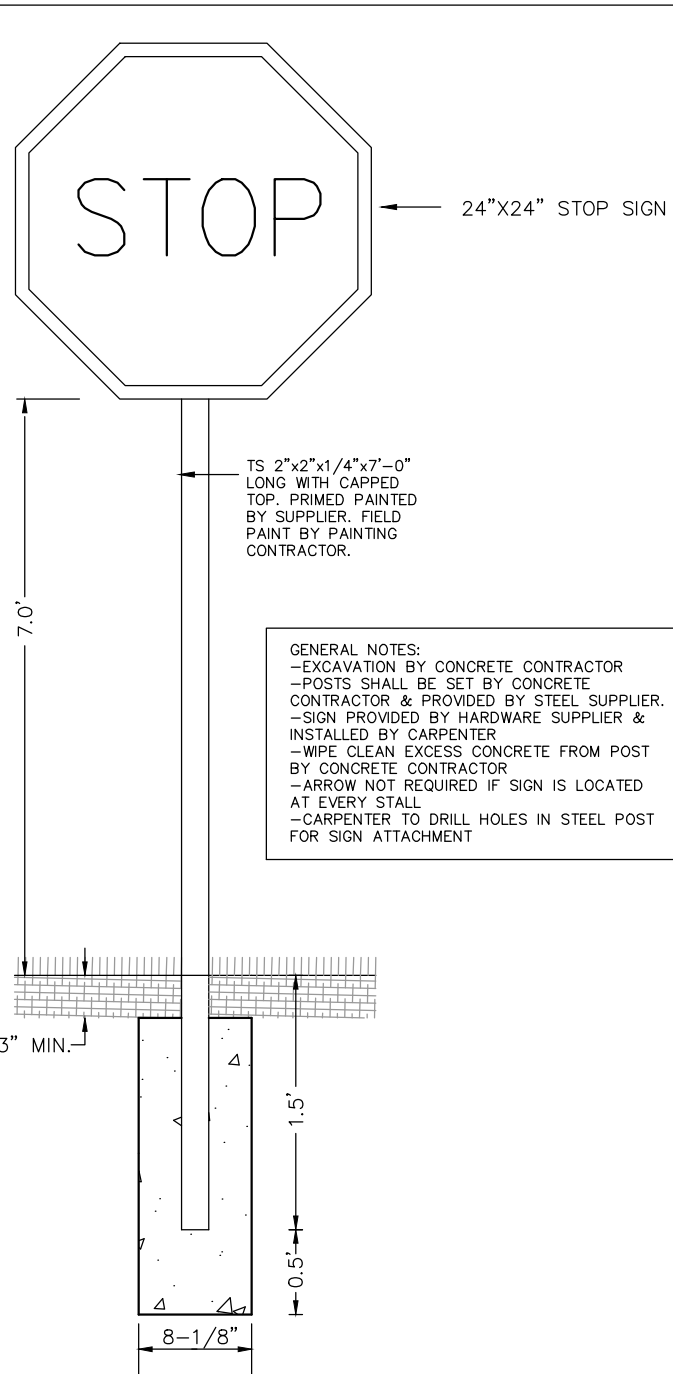
- ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

UTILITY PLAN NOTES:

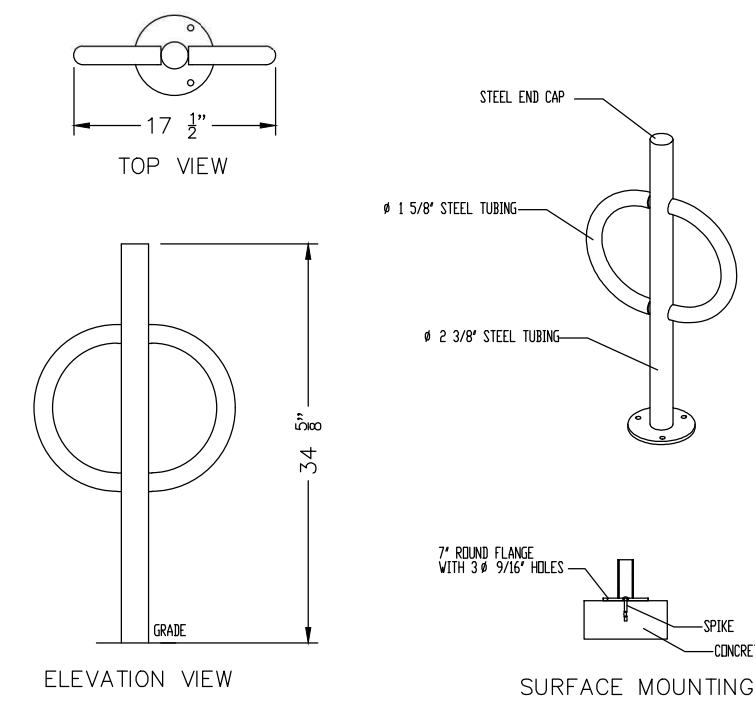
- ALL WORK WITHIN THE CITY RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.
- UTILITY INSTALLATION SHALL BE COORDINATED WITH ENGINEER AT LEAST 4 WEEKS PRIOR TO INSTALLATION TO ENSURE BUILDING INSPECTION APPROVAL IS OBTAINED.

DEMOLITION NOTES:

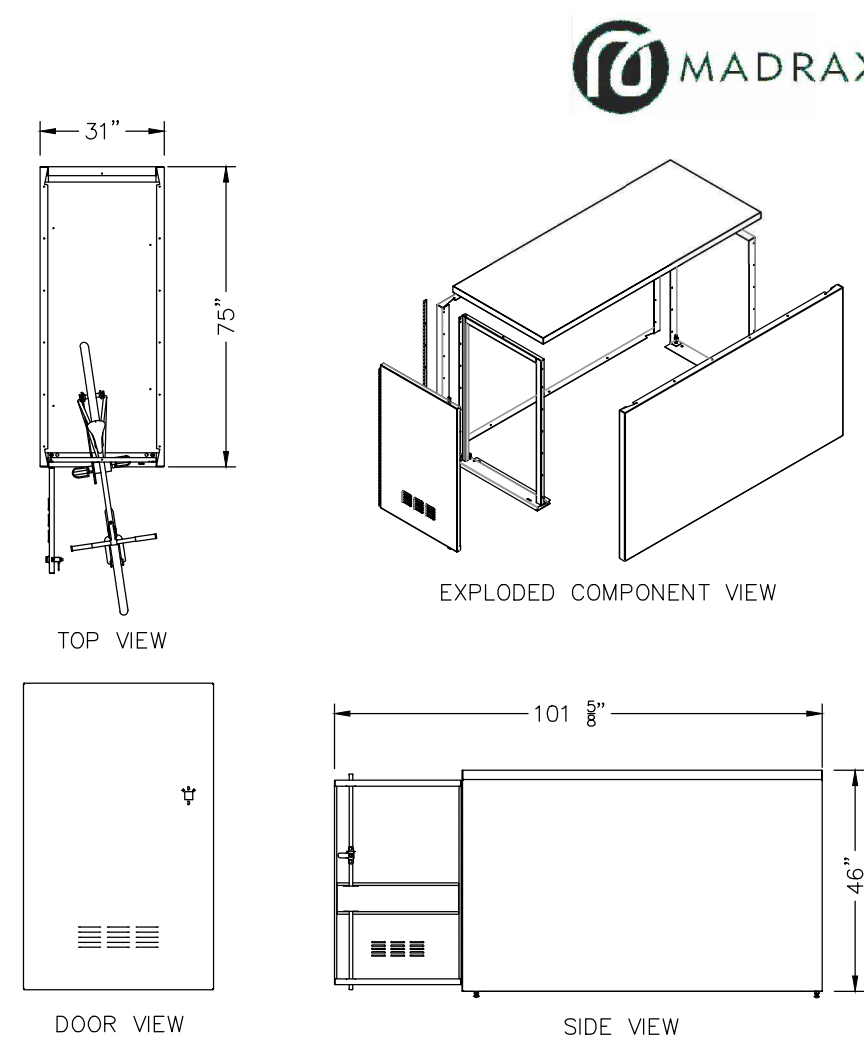
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDINGS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
- PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.



STOP SIGN & POST DETAIL

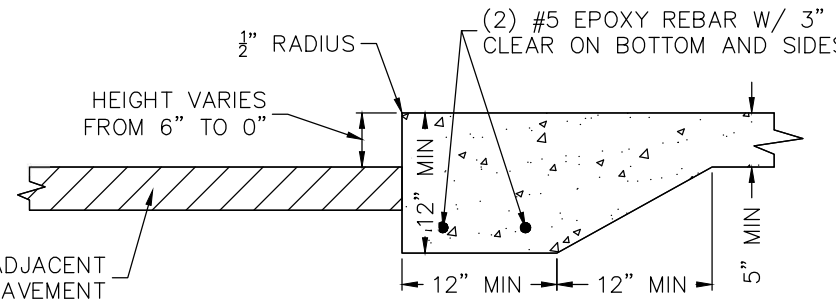


BIKE RACK DETAIL



BIKE LOCKER DETAIL

LEGEND/ ABBREVIATIONS	
---	ACCESSIBLE ROUTE
---	EXISTING EASEMENT
---	PROPERTY BOUNDARY
#	PARKING STALL COUNT
L.S.	LANDSCAPED AREA
BIT.	BITUMINOUS PAVEMENT
CONC.	CONCRETE PAVEMENT
1041.02	SPOT GRADE
FG	FINISH GRADE
EG	EXISTING GRADE
EC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
FL	FLOW LINE
LP	LOW POINT
HP	HIGH POINT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
BOW	BACK OF WALK
FOW	FRONT OF WALK
EXP	EXPOSURE
SAN	PROPOSED SANITARY SEWER
ST	PROPOSED STORM SEWER
W	PROPOSED WATER LATERAL
X	UTILITY LINE DEMOLITION
1041	TREE REMOVAL
1041	EXISTING MINOR CONTOUR
1040	EXISTING MAJOR CONTOUR
1041	PROPOSED MINOR CONTOUR
1040	PROPOSED MAJOR CONTOUR
---	PROPOSED RIDGE LINE
---	PROPOSED SWALE/DITCH
▲	ACCESSIBLE PARKING SIGN
▲	VISION TRIANGLE (NO VISUAL OBSTRUCTIONS BETWEEN HEIGHTS OF 30" AND 10')
▲	RIPRAP
▲	CONSTRUCTION ENTRANCE
---	SAW CUT / REMOVAL LIMITS
---	DISTURBANCE LIMITS
---	SILT FENCE
---	CHECK DAM
---	DIVERSION BERM
+	INLET PROTECTION
---	USLE FLOW PATH



THICKENED EDGE CONCRETE DETAIL



CIVIL SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C001	CIVIL NOTES & DETAILS
C100	EXISTING CONDITIONS
C101	REMOVALS PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	EROSION CONTROL PLAN
EX-1	TRUCK TURNING MOVEMENT EXHIBIT
EX-2	USABLE OPEN SPACE EXHIBIT



APPROVALS	PROJECT ENG	DRH/BJB	DESIGNED BY	DRH/BJB	CHECKED BY	DRH/BJB	APPROVED	MLB
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Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719

Bourli Design Studio, LLC
579 D'Oroff Drive
Madison, WI 53719

PROJECT #: BSE2708
PLOT DATE: 08/03/2023

REVISION DATES:

ISSUE DATES:

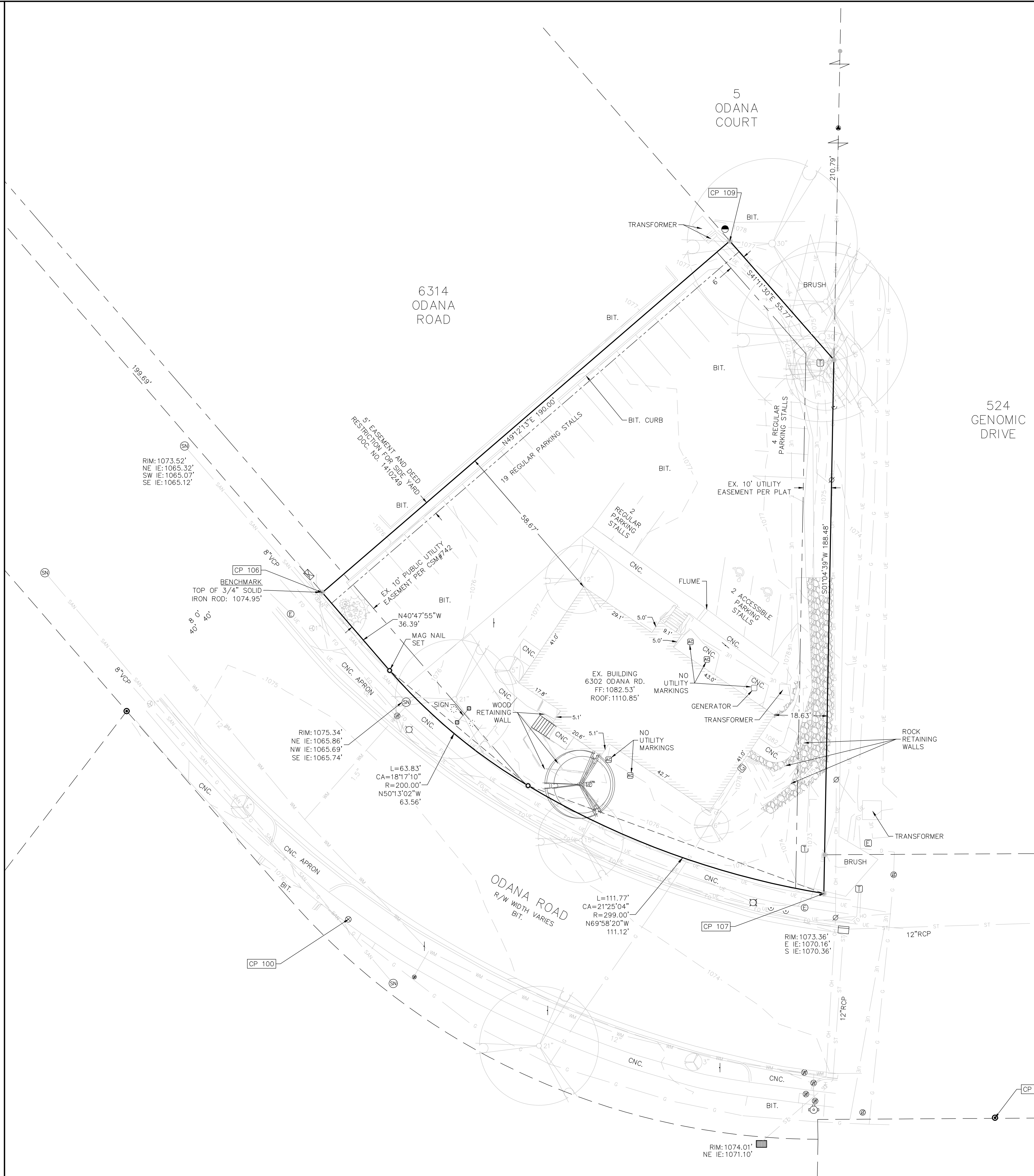
CIVIL DETAILS AND NOTES

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






















DRAWING NUMBER

C001

NOT FOR CONSTRUCTION



LEGEND

- | | | | |
|---|---|---|--------------------------|
|  | 1.25" IRON PIPE FOUND |  | AIR CONDITIONER |
|  | 3/4" SOLID IRON ROD FOUND |  | TV PEDESTAL |
|  | 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft. |  | ELECTRIC PEDESTAL |
|  | MAG NAIL FOUND |  | UTILITY POLE |
|  | 1.25" SOLID IRON ROD FOUND |  | LIGHT POLE |
|  | SPOT ELEVATION |  | GROUND LIGHT |
|  | OVERHEAD UTILITY WIRE |  | TELEPHONE PEDESTAL |
|  | BURIED GAS LINE |  | FIRE HYDRANT |
|  | WATER MAIN |  | SIGN |
|  | SANITARY SEWER |  | GUY WIRE |
|  | STORM SEWER |  | MAILBOX |
|  | BURIED TELEPHONE |  | BOLLARD |
|  | BURIED ELECTRIC |  | STORM SEWER INLET |
|  | BURIED CABLE ACCESS TELEVISION LINE |  | ELECTRIC MANHOLE |
|  | BURIED FIBER OPTIC |  | TELEPHONE MANHOLE |
|  | WATER VALVE |  | STORM SEWER MANHOLE |
|  | GAS VALVE |  | ROUND CATCH BASIN |
|  | GAS METER |  | STORM SEWER STRUCTURE |
|  | DECIDUOUS TREE (DBH IN INCHES) |  | SANITARY SEWER MANHOLE |
|  | CONIFEROUS TREE (DBH IN INCHES) |  | BIT. BITUMINOUS PAVEMENT |
|  | ROCK RETAINING WALL |  | CONC. CONCRETE PAVEMENT |
| | |  | INDICATES RECORDED AS |
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

NOTES:

3. Except as specifically stated shown on this map, this survey does not purport to reflect any one of the following which may be applicable to the subject real estate: easements, building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
4. No attempt has been made as a part of this survey to obtain or show data concerning depth, condition, capacity, or location of an utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agency. A private utility locator was not utilized for this survey.
5. Date of field work: March 08 & 09, 2023
6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
7. All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown herein.
8. All trees, hedges and ground cover on the site may not necessarily be shown herein.
9. Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Number 20231002536 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
10. Total parcel area = 25,029 square feet
11. Elevations are based upon NAVD88 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WSCORS Network. W GEOID 12B
12. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number 1402.06 dated 8/30/2022 from First American Title Insurance Company, which references the following (numbers in parenthesis match items in Schedule B of Commitment):
 - (7) Reservations for easements, building setback lines and other matters shown on Plat of Odana Office Park recorded at Vol. 38, Page 32, as Document No. 1324361.
 - (8) Declaration of Covenants, Conditions and Restrictions of 6300 Odana Office Park recorded at Vol. 362, Page 109, as Document No. 1334118.
 - (9) Easement and Deed Restriction recorded September 18, 1974, at Vol. 534, Page 268, as Document No. 1410249.
 - (10) Right of Way Grant Underground recorded December 17, 1971, at Vol. 306, Page 210, as Document No. 1312691. [Does not impact parcel]

DESCRIPTION FURNISHED:

Lot Eleven (11), 6300 Odana Office Park Plat,
in the City of Madison, Dane County, Wisconsin.
Excepting therefrom the land described in
Warranty Deed to City of Madison, recorded
October 29, 1990, as Document No. 2231287.

CONTROL POINTS:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
100	475174.510	793225.086	1075.94	CHISEL X
102	475104.433	793453.349	1073.06	1.25" IRON PIP
106	475289.900	793215.892	1074.95	0.75" IRON RO
107	475183.623	793392.916	1073.75	0.75" IRON RO
108	475181.801	793483.104	1072.66	0.75" IRON RO
109	475414.046	793359.723	1076.63	0.75" IRON RO

 **Burse**
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APPROVALS
PROJECT ENG:
DR/H/BJB
DESIGNED BY:
DR/H/BJB
DRAWN BY:
DR/H/BJB
CHECKED BY:
BJB
APPROVED:
MLB

Smart Stay ApartHotel

6302 Odana Road

Bouril Design Studio, LLC

579 D'Onofrio Drive
Madison, WI 53719

PROJECT #: BSE2708

PLOT DATE: 08/03/2023

REVISION DATES

[illegible]

ISSUE DATES:

[illegible]

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DRAWING NUMBER

C100

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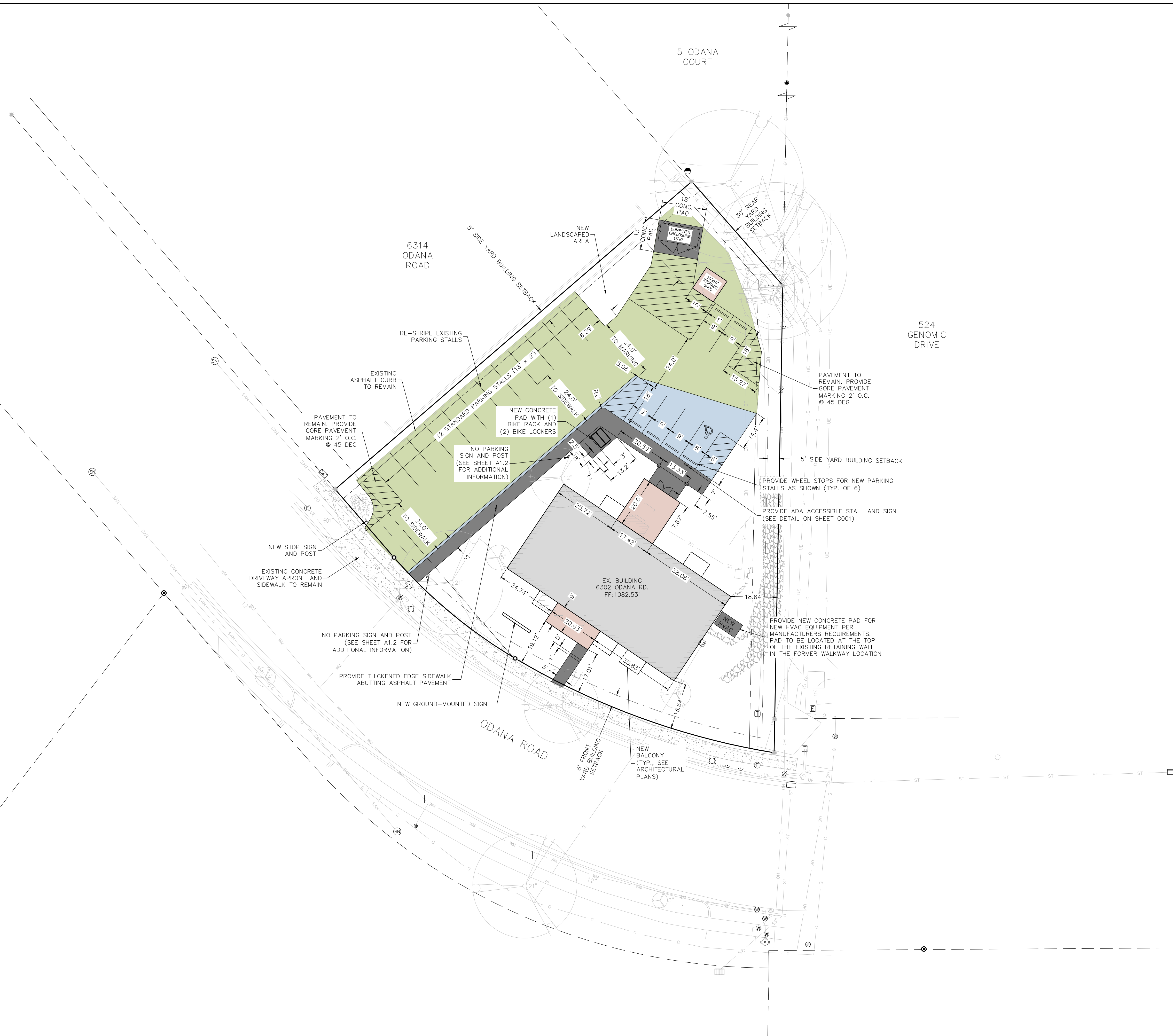
LEGEND

- REMOVE ASPHALT PAVEMENT (PROVIDE FULL-DEPTH SANCUT ALONG ALL REMOVAL EDGES)
- REMOVE CONCRETE SIDEWALK
- DEMOLISH BUILDING
- DISTURBED TURF/LANDSCAPE AREA
- EXISTING ASPHALT (TO REMAIN)
- TREE AND STUMP REMOVAL

Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mburse@BSE-INC.net
www.bursesurveyengr.com

APPROVALS	PROJECT ENG: DRH/BJB	DESIGNED BY: DRH/BJB	DRAWN BY: DRH/BJB	CHECKED BY: BJB	APPROVED: MLB
Smart Stay ApartHotel 6302 Odana Road Madison, WI 53719					
Bouril Design Studio, LLC 579 D'Oncio Drive Madison, WI 53719					
PROJECT #: BSE2708					
PLOT DATE: 08/03/2023					
REVISION DATES:					
ISSUE DATES:					
REMOVALS PLAN					
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DRAWING NUMBER					
C101					

NOT FOR CONSTRUCTION



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APPROVALS
PROJECT ENG:
DRH/BJB
DESIGNED BY:
DRH/BJB
DRAWN BY:
DRH/BJB
CHECKED BY:
BJB
APPROVED:
MLB

Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719

Bouril Design Studio, LLC
579 D'Oncofrio Drive
Madison, WI 53719

PROJECT #: BSE2708
PLOT DATE: 08/03/2023

[illegible][illegible]

SITE PLAN

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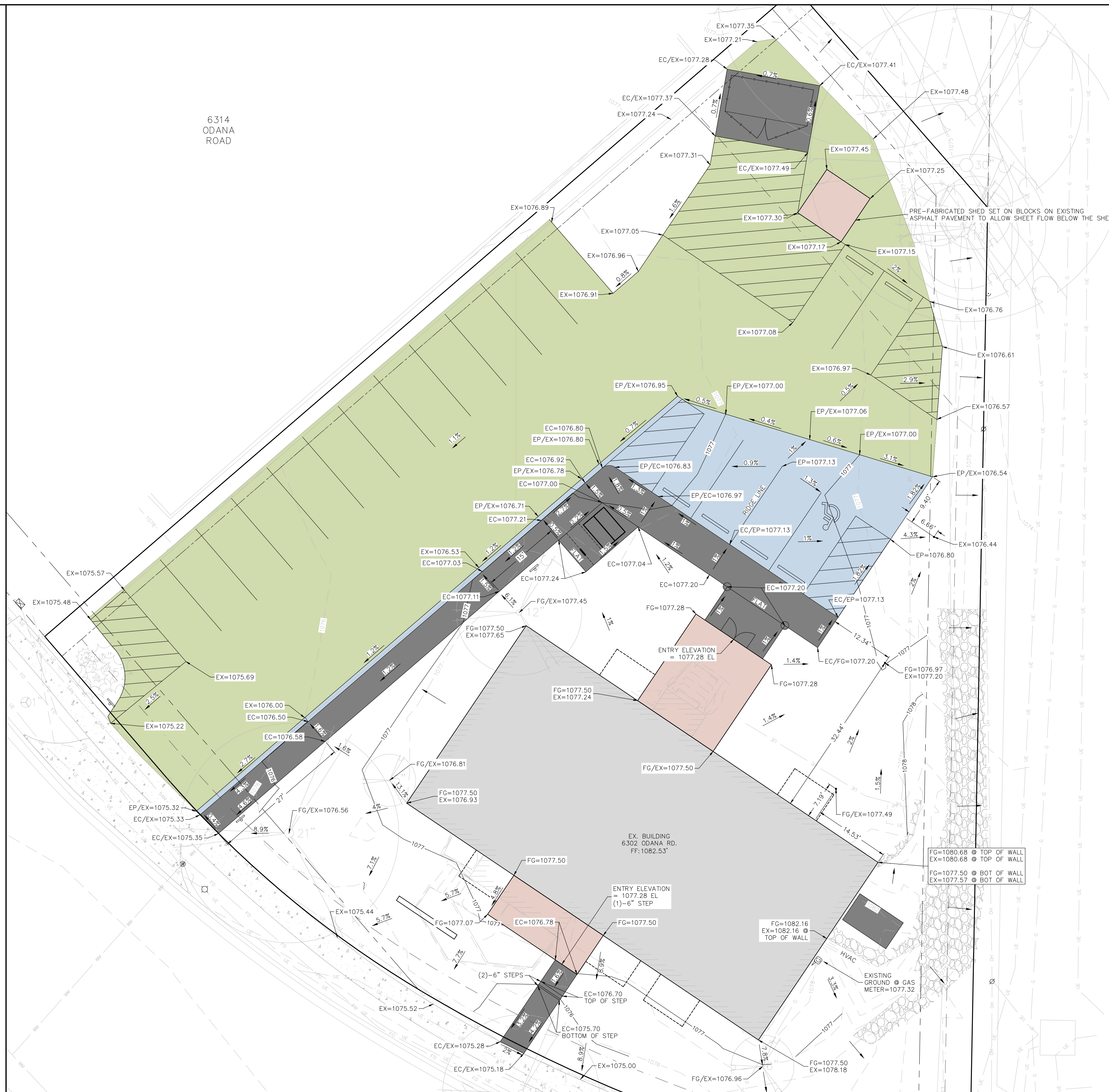
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C200







Printed: Aug 03, 2023 - 11:41am Printed By: engr

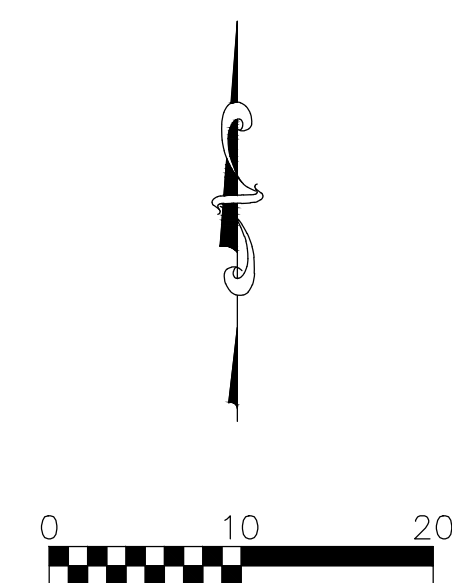
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NOT FOR CONSTRUCTION

524
GENOMIC
DRIVE

LEGEND

	NEW ASPHALT PAVEMENT
	NEW CONCRETE PAVEMENT/SIDEWALK
	NEW BUILDING
	EXISTING BUILDING
	EXISTING ASPHALT (TO REMAIN)
	EXISTING CONCRETE (TO REMAIN)



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APPROVALS
PROJECT ENG: DRH/BJB
DESIGNED BY: DRH/BJB
DRAWN BY: DRH/BJB
CHECKED BY: BJB
APPROVED: MLB

Smart Stay ApartHotel 6302 Odana Road Madison, WI 53719	Bouril Design Studio, LLC 579 D'Oncifrio Drive Madison, WI 53719
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PROJECT #:	BSE2708
PLOT DATE:	08/03/2023

REVISION DATES:

ISSUE DATES:

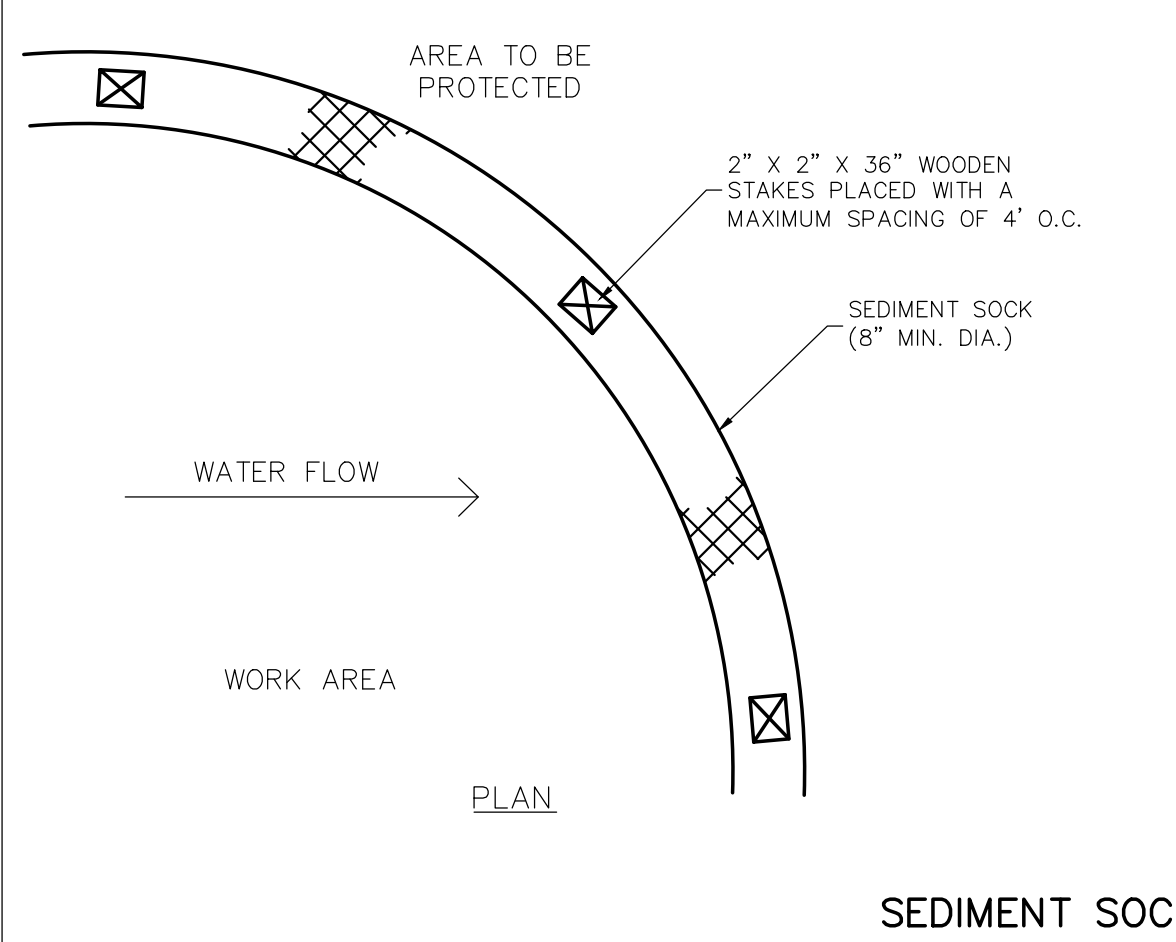
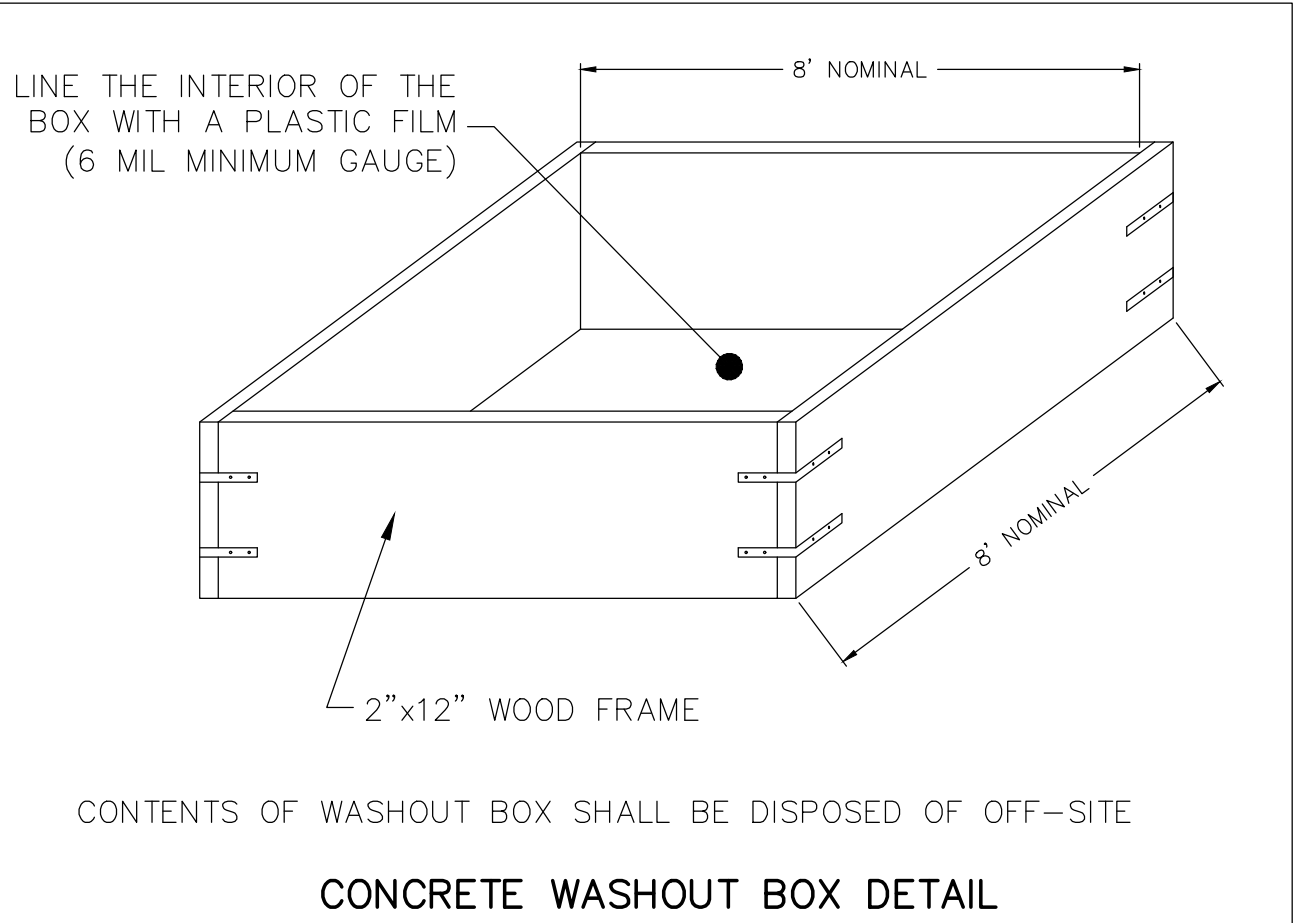
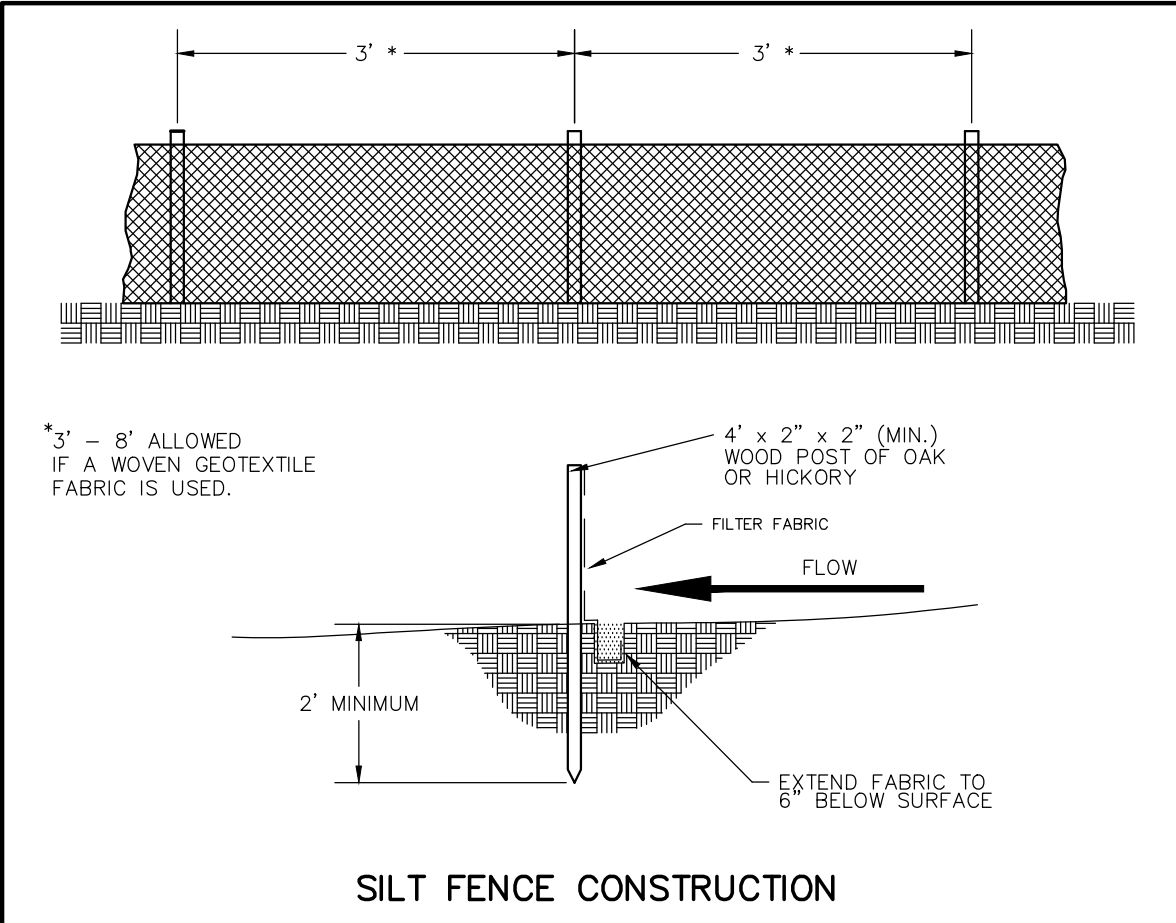
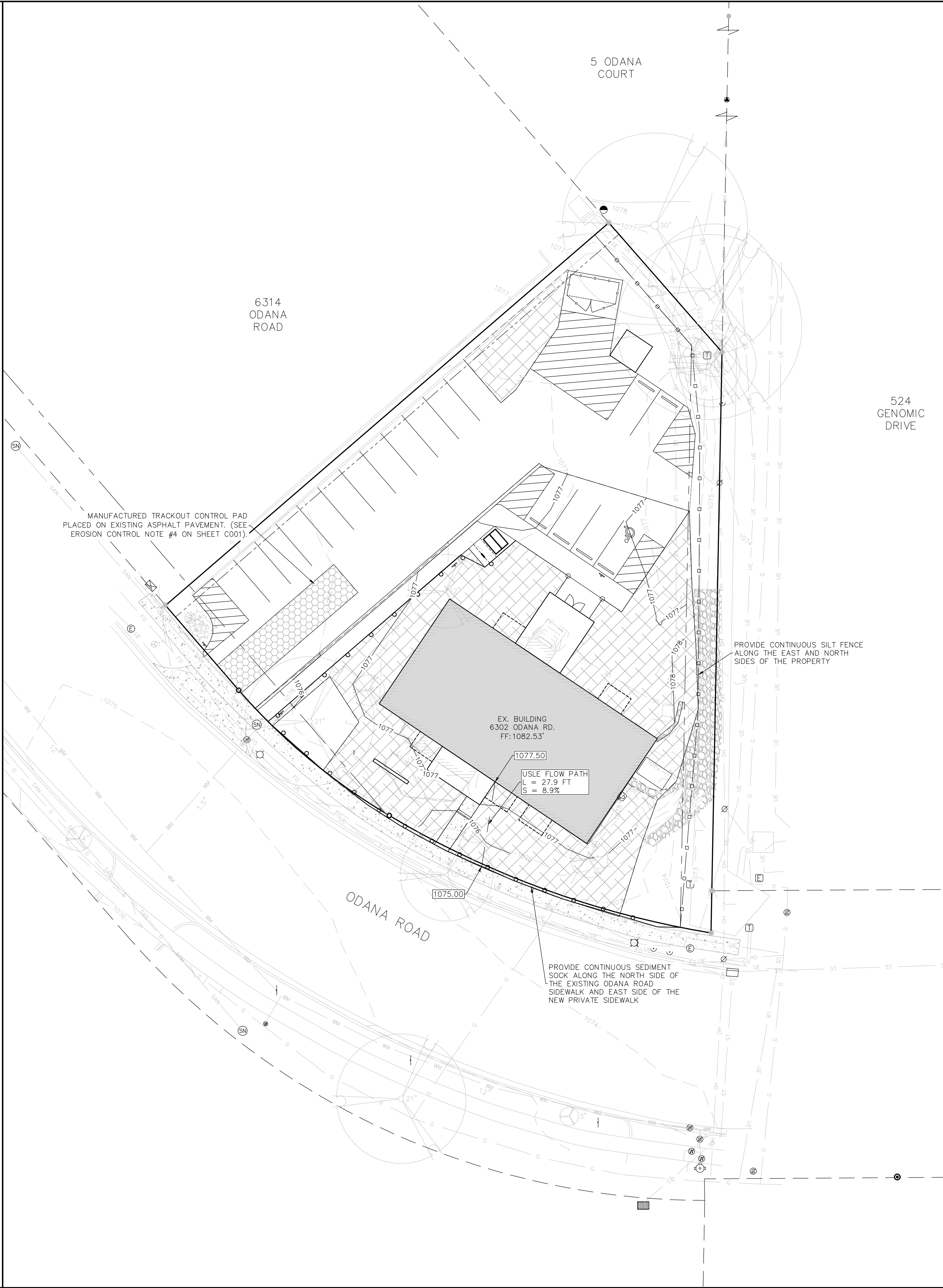
GRADING PLAN

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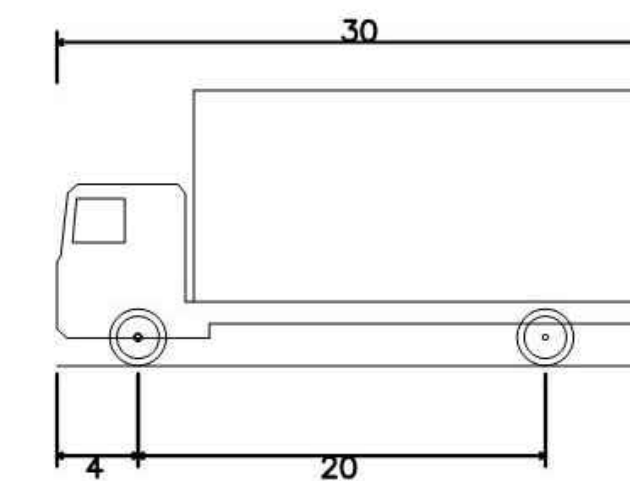
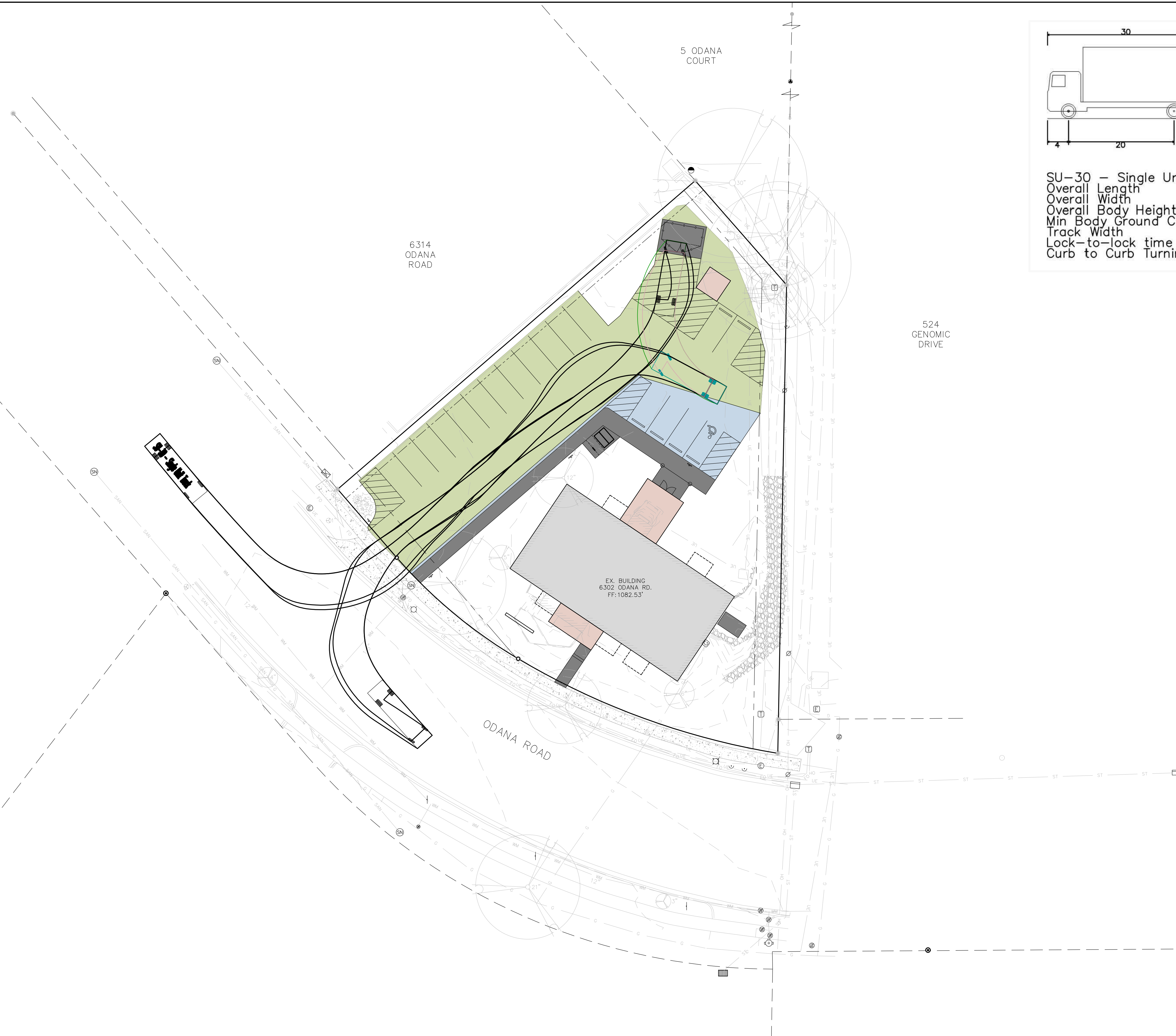
DRAWING NUMBER

C300

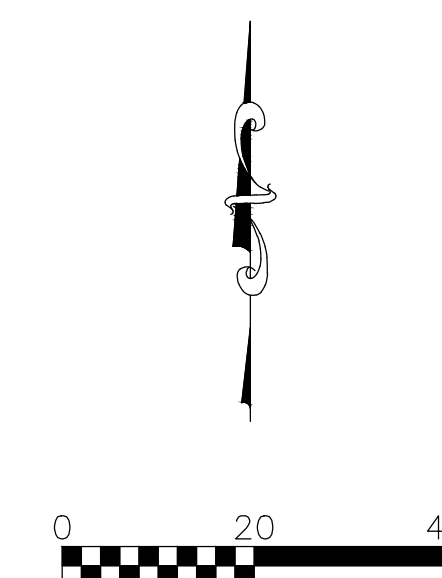
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



SU-30 - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	41.800ft



APPROVALS
PROJECT ENG:
DRH/BJB
DESIGNED BY:
DRH/BJB
DRAWN BY:
DRH/BJB
CHECKED BY:
BJB
APPROVED:
MLB

Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719

Bouril Design Studio, LLC
579 D'Onofrio Drive
Madison, WI 53719

[illegible][illegible]TRUCK TURNING
MOVEMENT EXHIBIT








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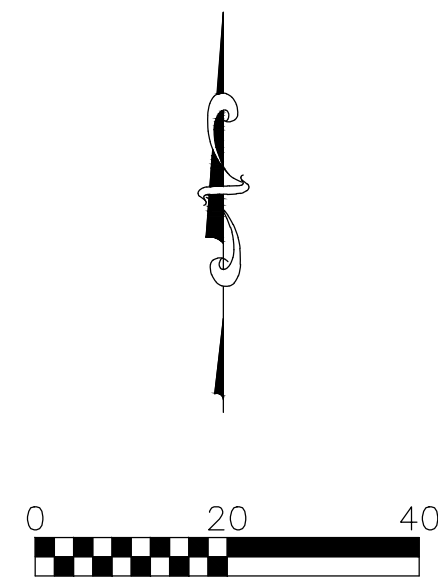
EX-1

NOT FOR CONSTRUCTION



LEGEND	
	NEW ASPHALT PAVEMENT
	NEW CONCRETE PAVEMENT/SIDEWALK
	NEW BUILDING
	EXISTING BUILDING
	EXISTING ASPHALT (TO REMAIN)
	EXISTING CONCRETE (TO REMAIN)
	USABLE OPEN SPACE PER SECTION 28.140 OF THE CITY ZONING CODE

USABLE OPEN SPACE SUMMARY	
ZONING DISTRICT:	SUBURBAN EMPLOYMENT
NUMBER OF UNITS:	15
MIN USABLE SPACE RATIO:	400 SF/UNIT
BALCONY SPACE (1st FLOOR):	265 SF
BALCONY SPACE (2nd FLOOR):	265 SF
AT-GRADE SPACE:	5,785 SF
TOTAL USABLE SPACE:	6,315 SF (421 SF/UNIT)



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DRH/BJB
DRAWN BY:
DRH/BJB
CHECKED BY:
BJB
APPROVED:
MLB

Smart Stay ApartHotel 6302 Odana Road Madison, WI 53719	Bouril Design Studio, LLC 579 D'Oncifrio Drive Madison, WI 53719
--	---

PROJECT #: BSE2708
PLOT DATE: 08/03/2023

[illegible][illegible]USABLE OPEN SPACE
EXHIBIT

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DRAWING NUMBER

EX-2

1. Related Specificity Divisions: 31-Earth Work; 32-Erosion Improvements; 33-Utilities;
2. Contractor to verify with the owner and the utility companies the locations and elevations of all utilities prior to the start of work.
3. Stockpile excavated material in locations to provide proper drainage and to minimize erosion. Coordinate use of silt fences.
4. Uniformly grade areas to achieve a smooth finished surface with uniform levels or slopes between existing and new grades. Existing grades outside the area of land disturbing activity shall be maintained and repaired if damaged.
5. Use of silt fences and other erosion control measures shall be as specified in the plans.
6. Examine final surface grades, topology, quality and depth of planting substrate. Do not begin work until unsatisfactory conditions have been corrected.
7. Erosion trees must be protected during construction activity, including preventing root cutting, bark abrasion, and soil compaction. Coordinate with the City of Madison Forestry.

Over story trees supplied	<u>5 trees</u>
Ornamental trees supplied	<u>4 trees</u>
Shrubs supplied	<u>35 shrubs</u>

TAG	KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
<hr/>						
	(7)			<u>Canopy Trees</u>		
A	EHL	1	21"	Existing Honeylocust	Gleditsia Tricanthos	EX
B	EP	2	2 1/2"	Exclamation Planetree	Platanus Occidentalis	BB
C	ES-A	1	12"	Ash (Street Tree)	Fraxinus	EX
D	ES-K	1	1 1/2"	Coffee Tree (Street Tree)	Gynocladus	EX
E	SHL	2	2 1/2"	Skyline Honeylocust	Gleditsia Tricanthos 'Skyline'	BB
<hr/>						
	(7)			<u>Ornamental Trees</u>		
F	ACH	1	2"	Amur Chokecherry	Prunus Americana	BB
G	EF3	3	6" +	Existing Flowering Crab	Malus	EX
H	TSC	3	2"	Tina Sargent Crab	Malus Sargentii 'Tina'	BB
<hr/>						
	(1)			<u>Evergreen Trees</u>		
J	BHS	1	5"	Black Hills Spruce	Picea Glauca 'Densata'	BB
<hr/>						
	(27)			<u>Deciduous Shrubs</u>		
K	AVB	1	4'	Arrowood Viburnum	Viburnum Dentatum	Pot
L	DBH	7	18"	Dwarf Bush Honeysuckle	Diervilla Lonicera	Pot
M	GDP	5	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
N	LDN	8	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
P	LOFH	6	24"	Little Quick Fire Hydrangea	Hydrangea P 'Little Quick Fire'	Pot
<hr/>						
	(27)			<u>Evergreen Shrubs</u>		
Q	KCJ	16	18"	Kallay Compact Juniper	Juniperus P "Kallay Compact"	Con
R	BCJ	5	15"	Blue Chip Juniper	Juniperus H 'Blue Chip'	Con
S	BRJ	6	18"	Blue Rug Juniper	Juniperus Horizontalis	Con
<hr/>						
	(12)			<u>Perennials</u>		
T	SWD	12	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con

- 1) New lawn areas and existing lawn areas disturbed by construction to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mat.
- 2) Foundation planting beds to be mulched with 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
- 4) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.

L1

print date: 8/4/2023
full size: ARCH D 24x36

project #: 23002
contact: Robert Lackore
robl@bourlidesign.com
608-833-3400

Redevelopment for
Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719

$$\begin{array}{c} \mathfrak{S} \\ + \\ \mathfrak{D} \\ + \\ \mathfrak{S} \end{array}$$

Paul Skidmore, Landscape Architect LLC
13 Red Maple Trail (608) 826-0032
Madison, WI 53717 (608) 335-1529

Plan Commission Review not for construction

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exterior perspective notes

1. These perspective images are intended to assist the contractor in visualizing the architectural design intent, including material types and transitions, window and door placement, exterior elements such as downspouts and light fixtures, etc.
2. Material colors and patterns are approximate. Refer to the exterior elevations for material specifications and other important information. The information presented in the rest of the drawing set takes precedent over these images, though gross discrepancies should be brought to the attention of the architect for clarification.
3. Hatching is simplified. Locations of landscape features, e.g. mulch, plantings, etc. are approximate. Plant species, habit, and growth are approximate. Refer to the landscape plan for species identification and specifications.
4. Location of utility and service equipment must be coordinated with the utility provider and the relevant trades.

material and finish key

- A. horizontal siding: Viewwest, Bellara formed metal wall panels, Deep Walnut finish
B. horizontal siding, accent: Viewwest, T18 corrugated exposed fastener formed metal wall panel, Espresso finish
C. vertical siding: Viewwest AD 300 formed metal wall panel, Cambridge White finish
D. adhered stone veneer: Eldorado Stone, Vantage30 style, White Elm blend
E. roof shingles: Certainteed, Landmark asphalt shingles, Burnt Sienna color
F. architecturally exposed structural steel: Thémec, Endurastone acrylic polymer top coat, Black 35GR color

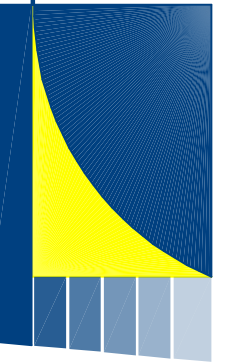
special note

for clarity, trees which obscure the view of the building are not shown

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Plan Commission Review

not for construction



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579 D'Onofrio Drive, Suite 16, Madison, Wisconsin
53719
608-833-3400 www.bourildesign.com

Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719

6302 Odana Rd, Madison, WI, 53719

[illegible]

Project #: 23002
Contact: Robert Lackore
Email: @bourlidesign.com
Phone: 833-3400

A1.1

print date: 8/4/2023
size: ARCH D 24x36

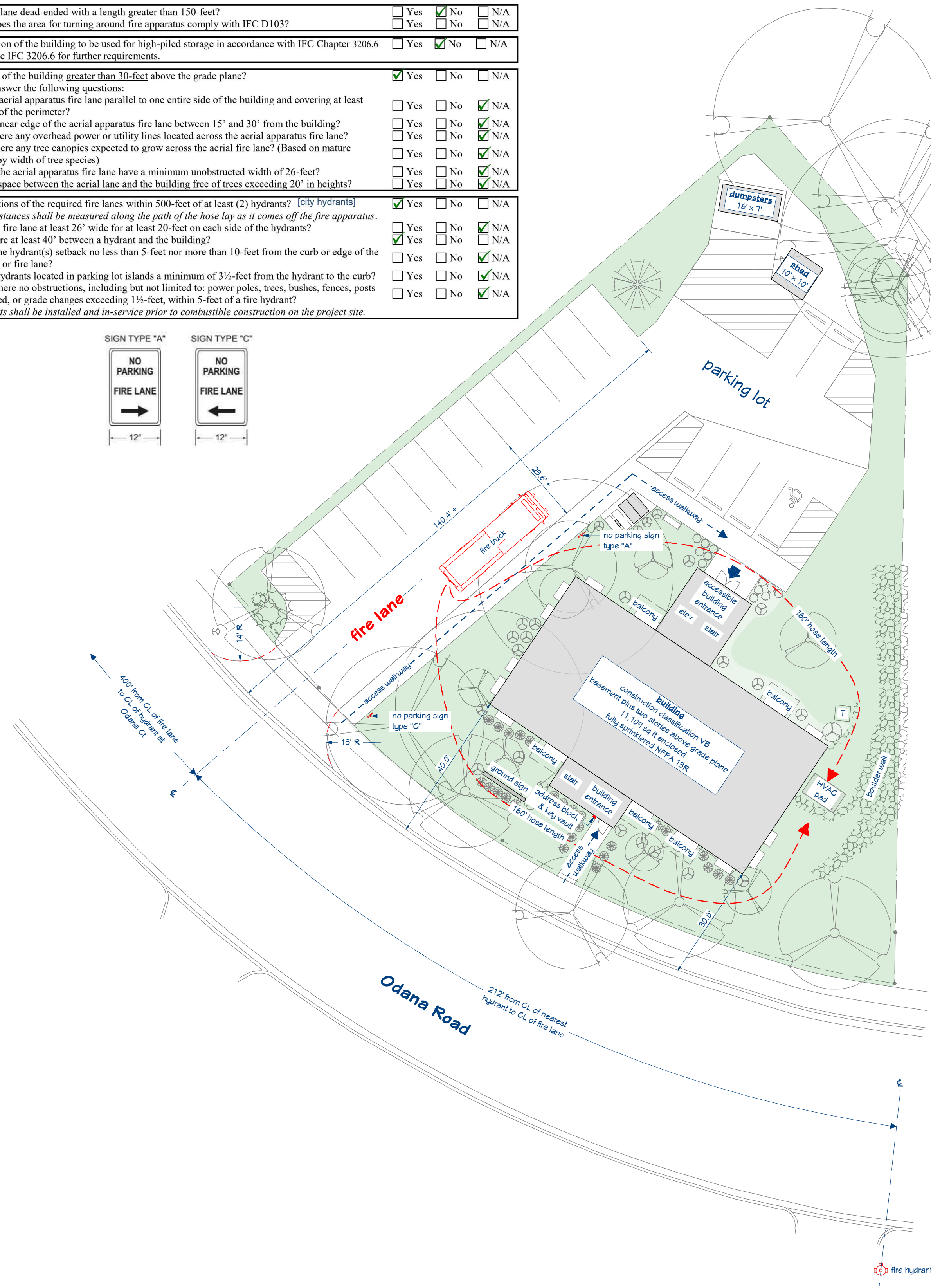
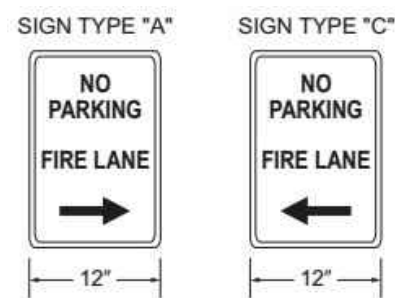
perspective reference images

no scale

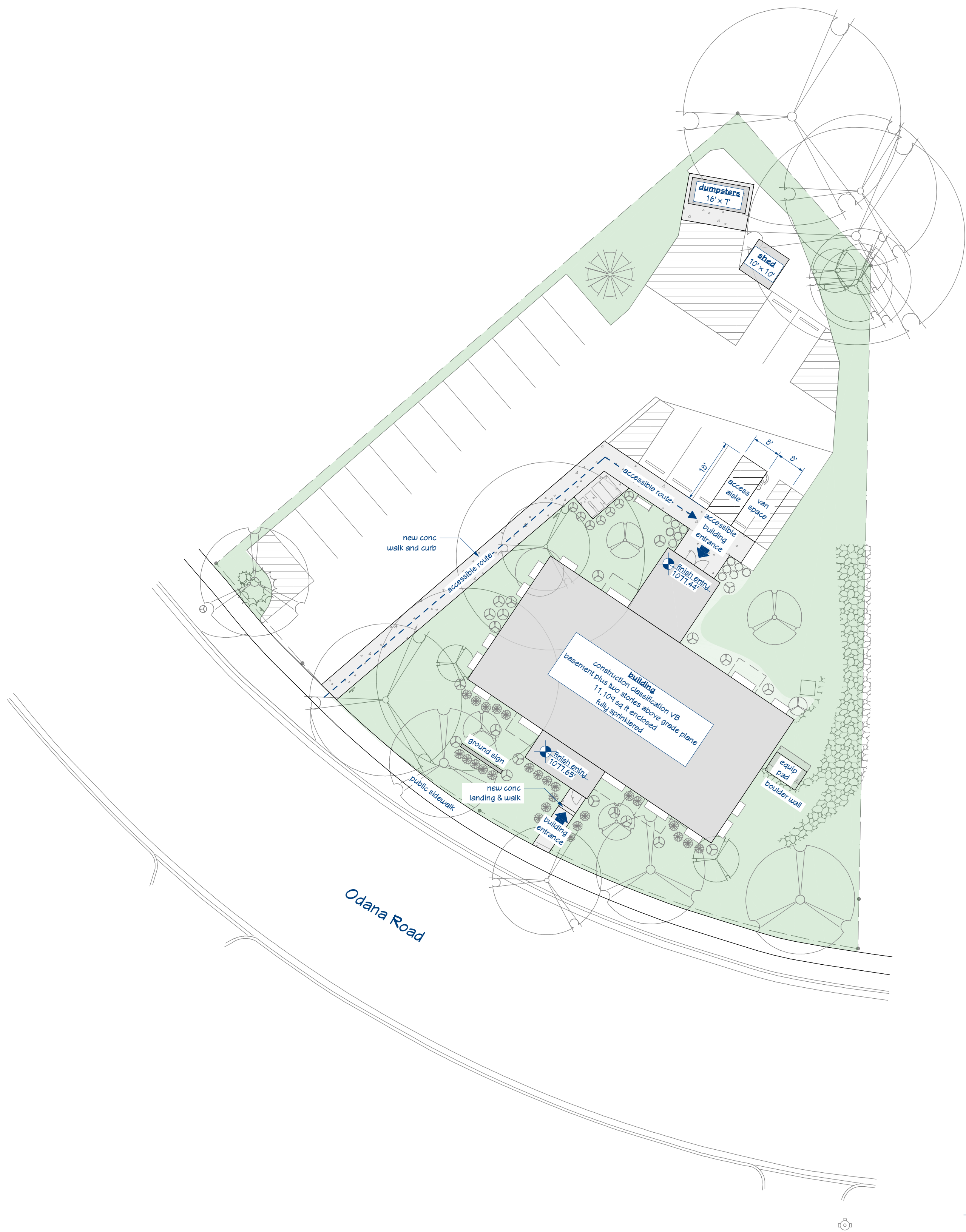


Contact Name & Phone #: Amir Katif, Real Estate Vision LLC, 608-640-9618

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-side curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least 2 (hydrants) (only hydrants)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 200-feet on each side of the hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			



1. Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse Surveying and Engineering.
2. Van parking spaces shall be marked to define the width. Access aisles shall be marked with diagonal striping. Van parking spaces shall be identified with a sign that includes the International Symbol of Accessibility with the designation "van accessible".
3. The running slope of the accessible route walking surface shall not be steeper than 1:20, and the cross slope shall not be steeper than 1:48.



0 20 40 60 80 100 scale: 1" = 20'-0"

**Plan Commission
Review**
not for construction



Redevelopment for
Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719

[illegible]

project #: 23002
contact: Robert Lackore
robl@bourilldesign.com
608-833-3400

A1.2

print date: 8/4/2023
full size: ARCH D 24x



1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner.
2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

site fixture schedule

- A. bollard path light
 - Lithonia KBP0 LED
 - photoelectric cell control
 - Dark Bronze finish
- B. wall pack
 - Lithonia WPFK1 LED
 - emergency battery backup and photoelectric cell control
 - Dark Bronze finish
 - mounting height is measured above the adjacent walking surface or door landing
- C. wall pack
 - Lithonia WPFK0 LED
 - Dark Bronze finish
 - mounting height is measured above the balcony surface; center on the balcony width, not on the patio door

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**Plan Commission
Review**
not for construction




Redevelopment for
Smart Stay Aparthotel LLC
6302 Odana Rd Madison WI 53719

[illegible]

project #: 23002
contact: Robert Lackore
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A1.3

print date: 8/4/2023
full size: ARCH D 24x

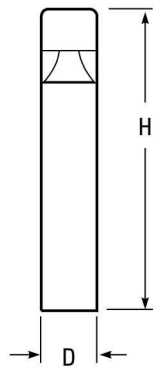


Specifications

8" Round
(20.3 cm)

Height:
42"
(106.7 cm)

Weight
(max):
27lbs
(12.25 kg)



Ordering Information

EXAMPLE: KBD8 LED 16C 700 40K SYM MVOLT DDBXD

Catalog Number

A-KBD8 LED 12C 350 30K ASY MVOLT

Notes

four (4) total fixtures

Type

asymmetrical full cut-off path light

Not the full size or view on this page to see all interactive elements.

Introduction

The KBD8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBD8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Accessories

Order and shipping separately.

MRB-U

Anchor bolts for KBD8 LED¹

NOTES

1 Only available in the 12C, ASY version.
2 Only available in the 16C, SYM version.
3 Only available with 450 AMB-LW version.
4 Not available with ELWC.
5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SE, DP options), or photocell (PE option).
6 Not available with MVOLT. Not available with fusing. Not available with 450 AMB-LW.
7 Single-fuse (SE) requires 120, 277, or 347-voltage option. Double fuse (DP) requires 208 or 240-voltage option.
8 MRB-U not available with LAMB option.



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WPX LED

Rev. 03/06/22

Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120V-480V +/- 10%.

Light Type	Drive Current	System Watt	3500K					4000K					5000K					Limited Beamwidth				
			Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	lm/W	T	U	C	
Asymmetric 3 fixtures (12 LEDs)	350	16	641	40	1	1	1	889	51	1	1	1	876	54	1	1	1					
	530	22	947	43	1	1	1	1,191	54	1	1	1	1,282	58	1	1	1					
	700	31	1,214	40	1	1	1	1,527	51	1	1	1	1,646	55	1	1	1					
Asymmetric 4 fixtures (16 LEDs)	450	16	888	44	1	0	0	1,116	56	1	0	0	1,203	60	1	0	0					
	530	28	1,254	45	1	0	0	1,590	57	1	0	0	1,719	61	1	0	0					
	700	39	1,606	41	1	0	0	2,022	52	1	0	0	2,180	56	2	0	0					
Asymmetric 5 fixtures (20 LEDs)	450	20															324	20	0	1	0	

Note:

Available with photocell-controlled amber LEDs (Incorporate AMB-CL). These LEDs produce light with 97 +/- 3% >330 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platform noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LM, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.98	0.97	0.95

Electrical Load

Light Engines

Drive Current

System Watt

120

208

240

277

347

Light Type	12C	16C
3500K	350 10W 0.158 0.118 0.114 0.109 0.105	350 22W 0.217 0.164 0.158 0.158 0.118
4000K	700 11W 0.206 0.181 0.188 0.193 0.139	700 11W 0.301 0.320 0.315 0.310 0.106
5000K	350 20W 0.197 0.137 0.128 0.121 0.114	350 20W 0.432 0.178 0.162 0.168 0.105
Asymmetric	700 39W 0.385 0.231 0.207 0.185 0.163	700 39W 0.589 0.139 0.138 0.133 0.116

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KBD8 Bollard homepage](#).

Isocandela plots for the KB LED Bollards. Distances are in units of mounting height (H).

LEGEND

0.1 ft

0.2 ft

0.5 ft

1.0 ft

3.0 ft

6.0 ft

12C 700 40K ASY

12C 700 40K SYM

FEATURES & SPECIFICATIONS

INTENDED USE

The rugged construction and clean lines of the KBA bollard is ideal for illuminating building entrances, walking paths, and pedestrian plazas, as well as any other location requiring a low mounting height light source with fully cutoff illumination.

CONSTRUCTION

One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast aluminum mounting ring allows for easy leveling even in sloped locations and a full 360-degree rotation for precise alignment during installation. Three 5/16" x 11" anchor bolts with double nuts and washers and 3 3/4" bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-inflated super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and color. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two fully cutoff optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000 K (1-70 CRI) or optional 3000 K (1-90 CRI) or 5000 K (67 CRI). Limited wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.


BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America's government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/resources/buy-american](#) for additional information.


WARRANTY

Five-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResource/Terms_and_conditions.aspx](#).

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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KBD8 LED

Rev. 11/21/22



Specifications

Front View

Side View

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Catalog Number

WPX1 LED P1 30K MVOLT

Notes

two (2) fixtures, one at each entry

Type

full cut-off wall pack

Not the full size or view on this page to see all interactive elements.

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Accessories

Order and shipping separately.

MRB-U


Anchor bolts for KBD8 LED¹

NOTES

1 Only available in the 12C, ASY version.
2 Only available in the 16C, SYM version.
3 Only available with 450 AMB-LW version.
4 Not available with ELWC.
5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SE, DP options), or photocell (PE option).
6 Not available with MVOLT. Not available with fusing. Not available with 450 AMB-LW.
7 Single-fuse (SE) requires 120, 277, or 347-voltage option. Double fuse (DP) requires 208 or 240-voltage option.
8 MRB-U not available with LAMB option.



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WPX LED

Rev. 03/06/22

Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120V-480V +/- 10%.

Light Type	Drive Current	System Watt	3500K					4000K					5000K					Limited Beamwidth				
			Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	lm/W	T	U	C	
Asymmetric 3 fixtures (12 LEDs)	350	16	641	40	1	1	1	889	51	1	1	1	876	54	1	1	1					
	530	22	947	43	1	1	1	1,191	54	1	1	1	1,282	58	1	1	1					
	700	31	1,214	40	1	1	1	1,527	51	1	1	1	1,646	55	1	1	1					
Asymmetric 4 fixtures (16 LEDs)	450	16	888	44	1	0	0	1,116	56	1	0	0	1,203	60	1	0	0					
	530	28	1,254	45	1	0	0	1,590	57	1	0	0	1,719	61	1	0	0					
	700	39	1,606	41	1	0	0	2,022	52	1	0	0	2,180	56	2	0	0					
Asymmetric 5 fixtures (20 LEDs)	450	20															324	20	0	1	0	

Note:

Available with photocell-controlled amber LEDs (Incorporate AMB-CL). These LEDs produce light with 97 +/- 3% >330 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED homepage](#). Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

0.1 ft

0.2 ft

0.5 ft

1.0 ft

3.0 ft

6.0 ft

WPX1 LED P1

WPX1 LED P2

WPX2 LED

WPX3 LED

Mounting Height = 12 Feet.

FEATURES & SPECIFICATIONS

INTENDED USE

The rugged construction and clean lines of the KBA bollard is ideal for illuminating building entrances, walking paths, and pedestrian plazas, as well as any other location requiring a low mounting height light source with fully cutoff illumination.

CONSTRUCTION

One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast aluminum mounting ring allows for easy leveling even in sloped locations and a full 360-degree rotation for precise alignment during installation. Three 5/16" x 11" anchor bolts with double nuts and washers and 3 3/4" bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-inflated super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and color. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two fully cutoff optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000 K (1-70 CRI) or optional 3000 K (1-90 CRI) or 5000 K (67 CRI). Limited wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

BUY AMERICAN ACT

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WARRANTY

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WPX LED

Rev. 03/06/22



Specifications

Depth (D): 2"

Height (H): 5.75"

Width (W): 5.5"

Weight: 2.5lbs

Ordering Information

EXAMPLE: WPX0 LED ALO-1 30K MVOLT

Catalog Number

WPX0 LED ALO-1 30K MVOLT

Notes

ten (10) fixtures, one above each suite patio door

Type

full cut-off wall pack

Not the full size or view on this page to see all interactive elements.

Introduction

The WPX0 LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPX0 family delivers 850 to 9,200 lumens with a wide, uniform distribution.

The WPX0 full cut-off wall pack is an excellent above the door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALO), color switching and switchable photocell make WPX0 ideal for any application.

Accessories

Order and shipping separately.

MRB-U

Anchor bolts for KBD8 LED¹

NOTES

1 Only available in the 12C, ASY version.
2 Only available in the 16C, SYM version.
3 Only available with 450 AMB-LW version.
4 Not available with ELWC.
5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SE, DP options), or photocell (PE option).
6 Not available with MVOLT. Not available with fusing. Not available with 450 AMB-LW.
7 Single-fuse (SE) requires 120, 277, or 347-voltage option. Double fuse (DP) requires 208 or 240-voltage option.
8 MRB-U not available with LAMB option.



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WPX0 LED

Rev. 10/31/22

Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120V-480V +/- 10%.

Light Type	Drive Current	System Watt	3500K					4000K					5000K					Limited Beamwidth				
			Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	Lumens	lm/W	T	U	C	lm/W	T	U	C	
Asymmetric 3 fixtures (12 LEDs)	350	16	641	40	1	1	1	889	51	1	1	1	876	54	1	1	1					
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	700	31	1,214	40	1	1	1	1,527	51	1	1	1	1,646	55	1	1	1					
Asymmetric 4 fixtures (16 LEDs)	450	16	888	44	1	0	0	1,116	56	1	0	0	1,203	60	1	0	0					
	530	28	1,254	45	1	0	0	1,590	57	1	0	0	1,719	61	1	0	0					
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Asymmetric 5 fixtures (20 LEDs)	450	20															324	20	0	1	0	

Note:

Available with photocell-controlled amber LEDs (Incorporate AMB-CL). These LEDs produce light with 97 +/- 3% >330 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED homepage](#). Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

0.1 ft

0.2 ft

0.5 ft

1.0 ft

3.0 ft

6.0 ft

WPX0 LED ALO4

Switchable Features

The rugged construction and clean lines of the KBA bollard is ideal for illuminating building entrances, walking paths, and pedestrian plazas, as well as any other location requiring a low mounting height light source with fully cutoff illumination.

CONSTRUCTION

One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast aluminum mounting ring allows for easy leveling even in sloped locations and a full 360-degree rotation for precise alignment during installation. Three 5/16" x 11" anchor bolts with double nuts and washers and 3 3/4" bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-inflated super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and color. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two fully cutoff optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000 K (1-70 CRI) or optional 3000 K (1-90 CRI) or 5000 K (67 CRI). Limited wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.


BUY AMERICAN ACT

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WPX0 LED

Rev. 10/31/22

site lighting plan notes

1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner.
2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

electrical symbol schedule

symbol	description	typical notations and modifiers
luminaire	wall fixture (surface mounted) pole fixture (arm mounted) pole fixture (top mounted) bollard fixture	enclosure and mounting +12" mounting height in inches fixture information A fixture type (uppercase)

site fixture schedule

A bollard path light

• Lithonia KBD8 LED

• photoelectric cell control

• Dark Bronze finish

B. wall pack

• Lithonia WPX1 LED

• emergency battery backup and photoelectric cell control

• Dark Bronze finish

• mounting height is measured above the adjacent walking surface or door landing

C. wall pack

• Lithonia WPX0 LED

• Dark Bronze finish

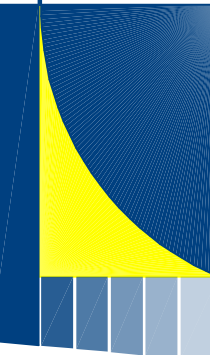
• mounting height is measured above the balcony surface; center on the balcony width, not on the patio door

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Plan Commission
Review
not for construction



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6302 Odana Rd, Madison, WI, 53719

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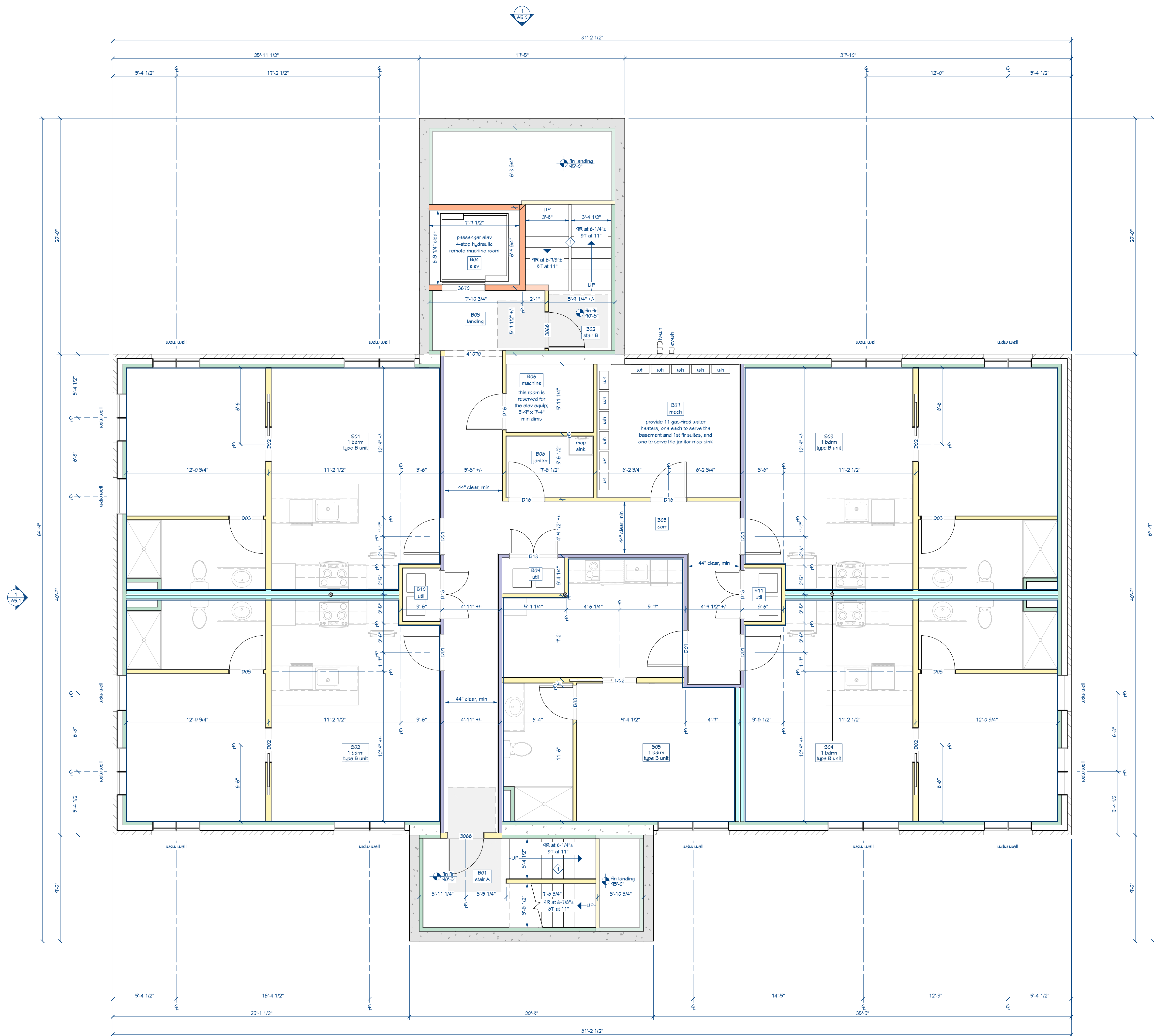


3. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
4. Related Specification Divisions: 09-Concrete, 08-Metal, 06-Woods, Plastics and Composites, 07-Thermal and Moisture Protection, 03-Opening.
5. Dimensions do not reference sheathing or other finish items unless noted otherwise.
6. Verify rough opening requirements for all framed openings.
7. All connections made with concrete, steel, or the elements shall be pressure treated. All connectors and fasteners in contact with concrete, metal, or the elements shall be stainless steel, galvanized girth or equal.
8. Connections not specified will be in accordance with applicable codes and best engineering practices, including but not limited to the following:
 - a. All structural members shall be fully supported by the structure below.
 - b. Supported member bearing shall be full depth of the supporting member or connector seat.
 - c. Provide solid wood blocking at all connections to ensure installations are secure and tied to adjacent framing. Provide solid blocking in all multi-span applications.
 - d. Solid wood blocking shall be equal to or greater than the bearing area and capacity of the supporting member above.
 - e. Fasteners through blocking shall be of sufficient length to provide full embedment in connected members as specified by the manufacturer or as required by the installation.
9. Footing foundations are designed assuming a minimum bearing capacity of 2000 psc and a weight of 130 pcf.
10. All concrete shall conform to the concrete design mix schedule.

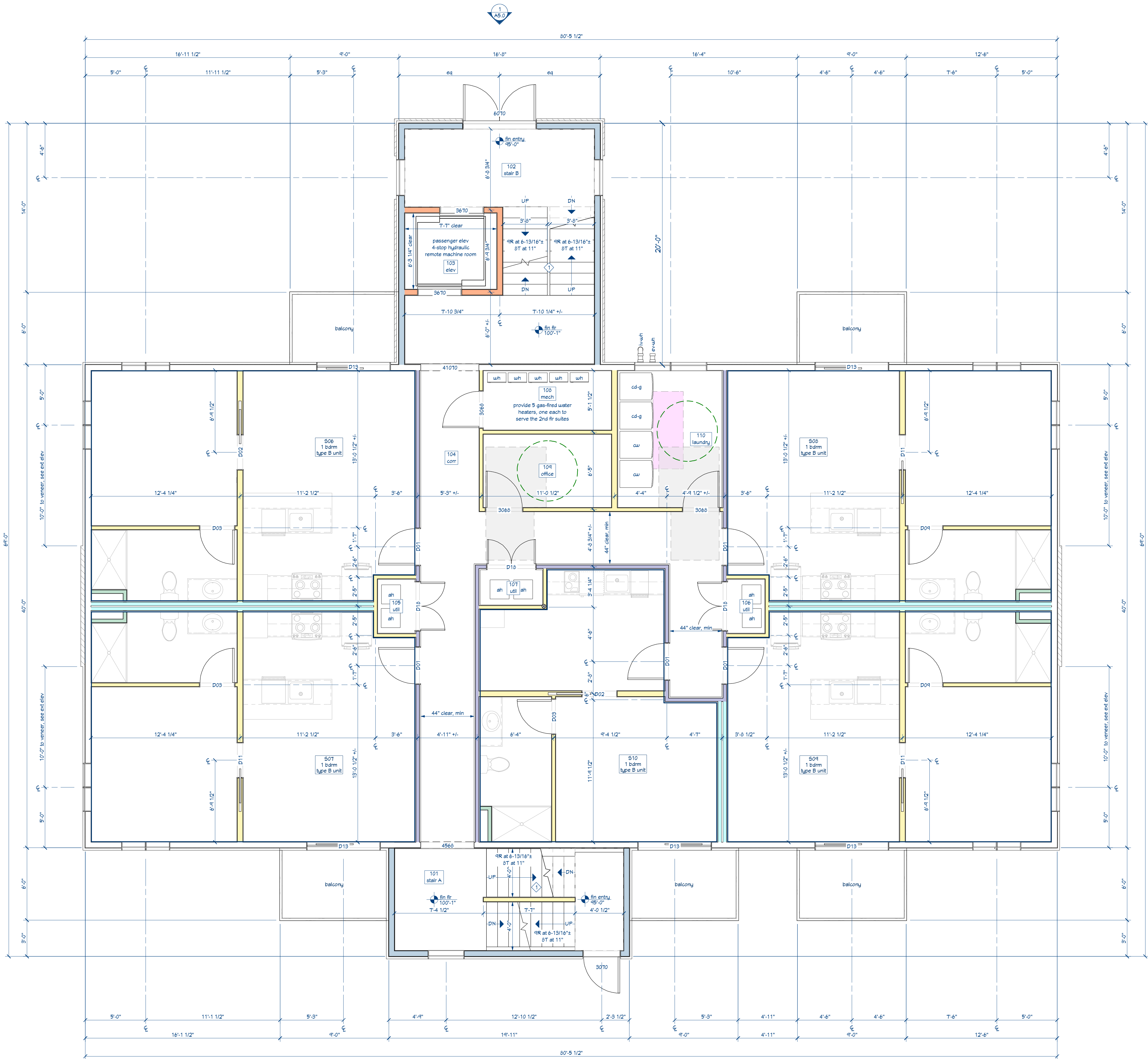
1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
2. Related Specification Divisions: 03-Concrete; 05-Metal; 31-Earth Work; 32-External Improvements.
3. Dimensions do not reference sheathing or other finish items unless noted otherwise.
4. All fasteners in contact with concrete shall be stainless steel.
5. All concrete shall conform to the concrete design mix schedule.

A. dumpster enclosure: CityScapes, CovrIt enclosure system with Toughgate swing gates and T.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish





print date: 8/4/2023
full size: ARCH D 24x36



floor plan notes

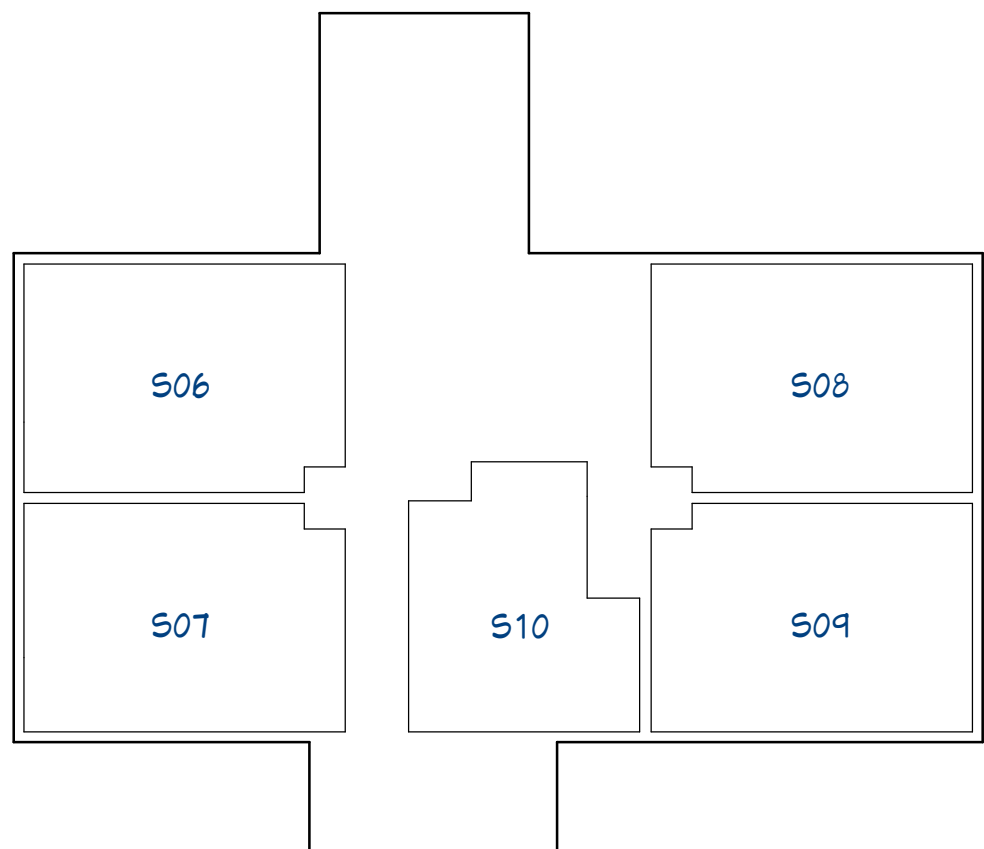
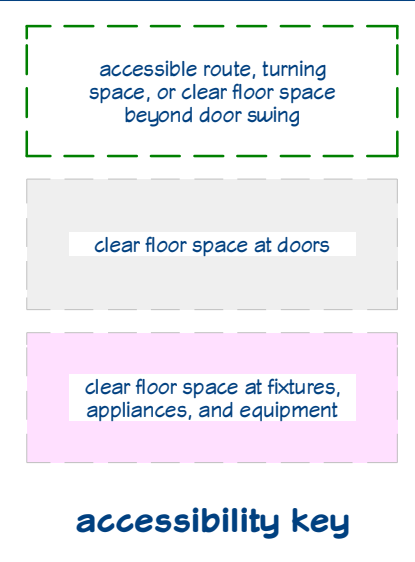
- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
- Related Specification Divisions: 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-Openings; 0A-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
- All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise. Dimensions annotated as +/- can be adjusted to maintain the dimensions between adjacent elements.
- Verify rough opening requirements for all framed openings. The rough opening for doors and casings shall be located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
- All wood in contact with concrete shall be preservative treated.
- Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.

Interior partition insulation and finishing notes

- Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 0A-Finishes.
- Refer to the plan view wall and partition key on the title page for other identifiers.
- Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant gub (green board). Partitions scheduled for a hard-surface finish such as stone, ceramic tile, fip, or a similar product shall receive tile backer board.
- Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demise a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gub, on both sides, with acoustical damping compound sandwiched between the panel layers.
- All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/or sealant. Bottom plates will receive sound control sealant.
- All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

floor plan keyed note schedule

1 this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1011.9 this stairway is not required to be a shaft enclosure



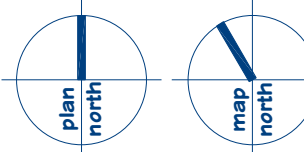
conditioned area summary			
area	basement	first floor	second floor
enclosed	5,825 sf	3,713 sf	3,713 sf
conditioned	3,444 sf	3,566 sf	3,566 sf

notes:

- enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes unenclosed areas
- conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

first floor guest suite schedule			
suite	type	area, sf	accessibility
506	1 bdrm full	302	type B unit
507	1 bdrm full	302	type B unit
508	1 bdrm full	302	type B unit
509	1 bdrm full	302	type B unit
510	1 bdrm compact (no oven)	315	type B unit

first floor common room schedule			
room	function	area, sf	cls fin
101	stair A	141	tile gub
102	stair B	305	tile gub
103	elev	93	cpt gub
104	corr	340	cpt gub
105	util	17	tile gub
106	util	17	tile gub
107	util	14	tile gub
108	mech	60	tile gub
109	office	11	cpt gub
110	laundry	111	tile gub



first floor plan

0 5 10 15 scale: 1/4" = 1'-0"

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Plan Commission Review
not for construction



Redevelopment for Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719

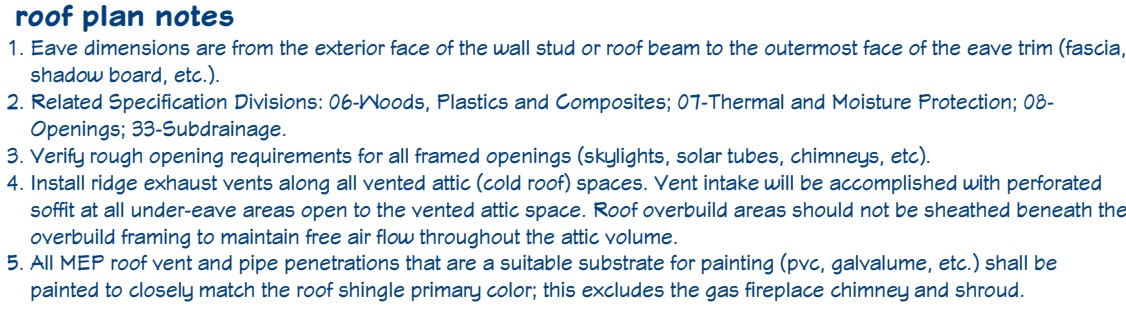
revision index	
date	reason

04/23	Plan/Issue
04/23	plan comm rev

project #: 23002
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A4.1

print date: 04/2023
full size: ARCH D 24x36



print date: 8/4/2023
full size: ARCH D 24x36

0 5 10 15 scale: 1/4" = 1'-0"



23002 Smart Stay New 04/2023 - 10:36:03 AM



1 east elevation



2 west elevation

exterior elevation notes

- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
- Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements.
- Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

exterior material and feature key

1	asphalt shingles
2	hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit
3	flat roof eave assembly: aluminum gutter composite shadow board, fascia, and vented soffit
4	masonry veneer: adhered dimensional stone with wall caps and opening sills
5	vertical siding: concealed fastener formed metal wall panel, 12" exposure
6	horizontal siding: concealed fastener formed metal wall panel, 5" exposure
7	horizontal accent siding: exposed fastener formed metal wall panel, 7/8" pitch corrugation
8	deck fascia: wood composition trim
9	architecturally exposed structural steel: deck and flat roof column supports and roof beams
10	rail system: aluminum with stainless steel cable infill
11	equipment enclosure fence: CityScapes, CovrIt enclosure system, 1.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure
12	architecturally exposed structural steel: deck and flat roof columns
13	treated glulam: deck and flat roof beams

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Redevelopment for
Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719

revision index	
date	reason
6/2/23	Perkins
8/4/23	plan comm rev

project #: 23002
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A5.1

exterior elevations

0 5 10 15 scale: 1/4" = 1'-0"

print date: 8/4/2023
full size: ARCH D 24x36