

Redevelopment for Smart Stay ApartHotel LLC

owner:
Smart Stay ApartHotel LLC
1 Sunfish Ct. Apt 4
Madison WI 53713
608-640-9618
Contact: Amir Katif

architect:
Bouril Design Studio LLC
519 D'Onofrio Dr Suite 16
Madison WI 53719
608-833-3400
Contact: Robert Lackore

civil engineer:
Burse Surveying and
Engineering Inc
2801 International Ln Suite 101
Madison WI 53704
608-250-9263
Contact: Brian Beaulieu

landscape architect
Paul Skidmore
13 Red Maple Trl
Madison WI 53717
608-826-0032
Contact: Paul Skidmore

drawing sheet index

civil drawings

C001 civil details and notes
C100 existing conditions
C101 removals plan
C200 site plan
C300 grading plan
C400 erosion control plan
EX-1 truck turning movement exhibit
EX-2 usable open space exhibit

landscape drawings

L1 landscape plan

architectural drawings

A1.0 title page
A1.1 perspective reference images

architectural drawings, cont.

A1.2 lot plans
A1.3 lot lighting plan
A1.4 lot lighting cut sheets
A1.5 shed and dumpster plans
A4.0 basement floor plan
A4.1 first floor plan
A4.2 second floor plan
A4.3 roof plan
A5.0 exterior elevations
A5.1 exterior elevations

project summary

parcel data

property address: 6302 Odana Rd, Madison, WI, 53719
parcel number: 070825101119
zoning district: SE Suburban Employment
aldermanic district: 19, Kristen Slack

existing design standards

occupancy classification: Business Group B
use: professional offices
construction classification: Type VB, unsprinklered

proposed design standards

occupancy classification: Residential Group R-1
use: hotel
construction classification: Type VB, fully sprinklered
classification of work: Alteration Level 3, Change of Occupancy

land use summary

building footprint: 3,825 square feet (sf)
building area: 12,015 sf, including balconies
suites: 14 Type B, 1 Accessible, from 369 sf to 552 sf
lot area: 25,030 sf (as surveyed)
lot coverage: 13,553 sf, or 54% (75% max)
paved area: 10,833 sf, includes all asphalt and concrete
landscaped area: 12,006 sf, excludes the north and east
drainage swale
usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)



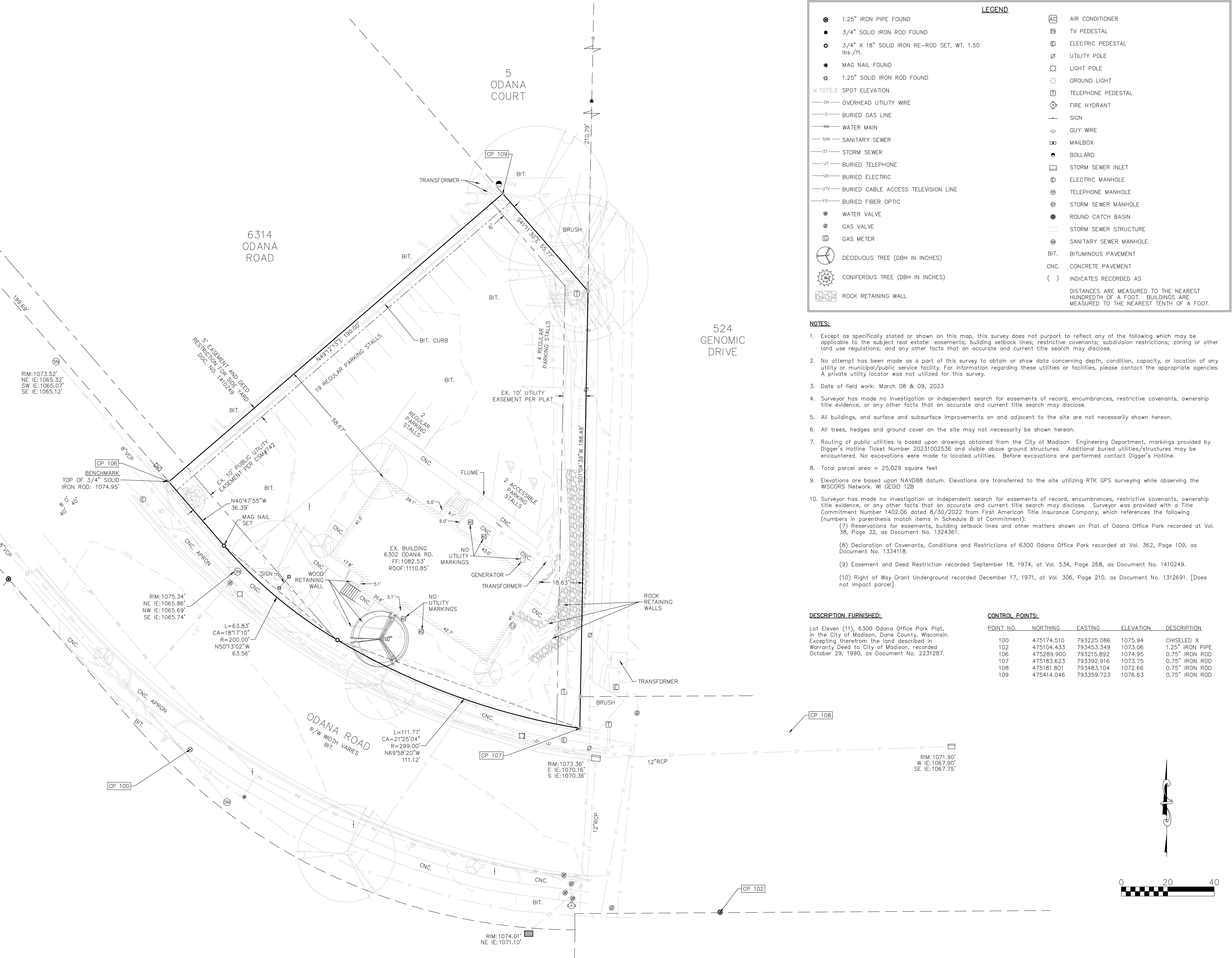
revision index
date reason
8/4/23 plan comm rev

project #: 23002
contact: Robert Lackore
robert@bouldersdesign.com
608-833-3400

P1

print date: 8/4/2023
full size: ARCH D 24x36

NOT FOR CONSTRUCTION



Burse

Surveying and
Engineering, Inc.
2801 International Lane,
Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail:
Mburse@BSE-INC.net
www.bursesurveyengr.com

ACT ENG:	
H/B/JB	
ED BY:	
H/B/JB	
IBY:	
H/B/JB	
ED BY:	
BJB	
VED:	
MLB	

Smart Stay Apartment Hotel
6302 Odana Road
Madison WI 53719

Smart Stay Apartments
6302 Odana Road
Madison WI 53719

PROJECT #: BSE2708
LOT DATE: 08/03/2023

REVISION DATES:

ISSUE DATES:

EXISTING CONDITIONS

This document contains confidential or proprietary information of Burse Surveying Engineering, Inc. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Burse Surveying and Engineering, Inc.

DRAWING NUMBER

0100

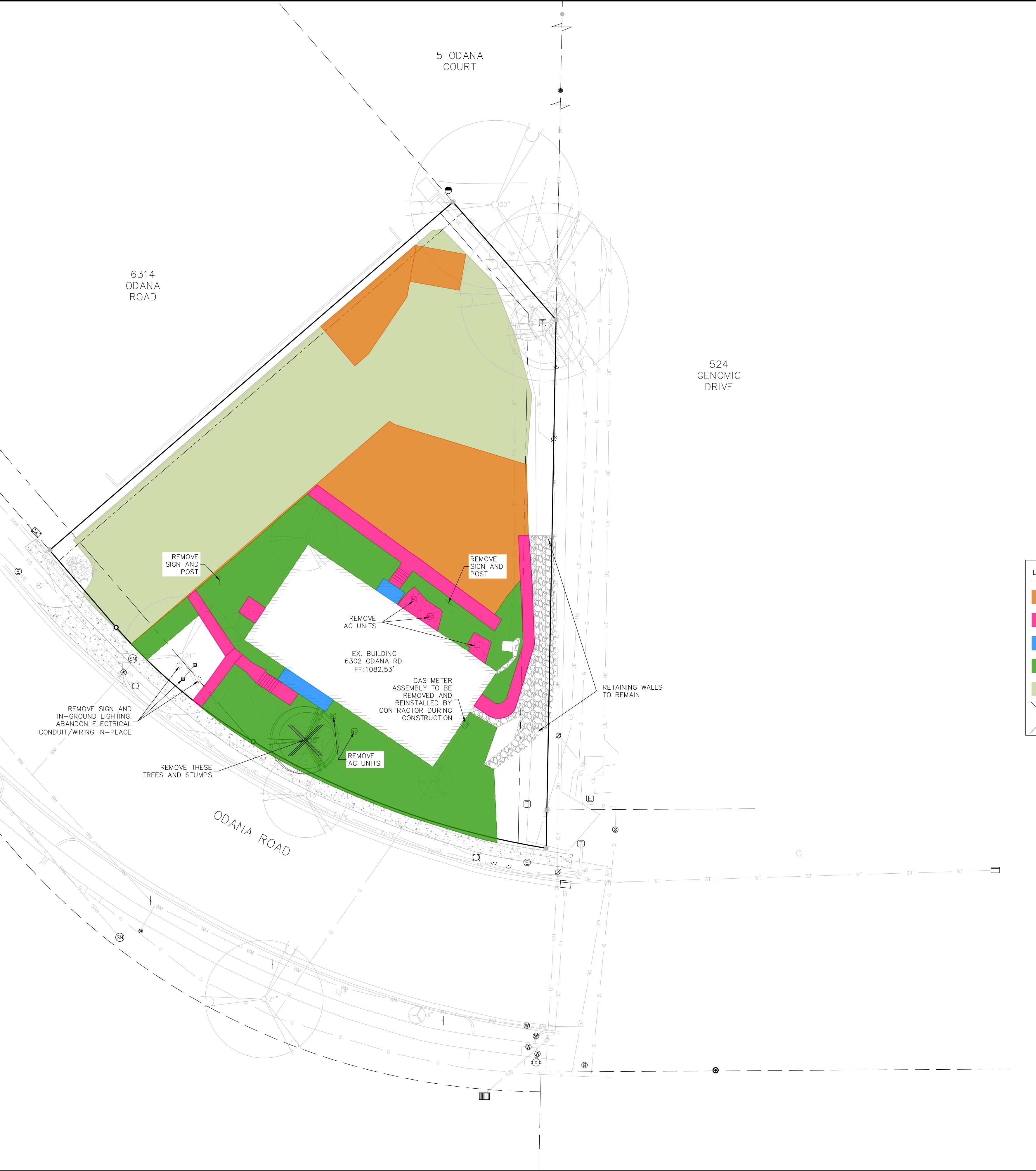
C100

100% of the time, the system is in a state of equilibrium.

Printed: Aug 03, 2023 – 11:41am Printed By: engr

M:\BSE2708\dwg\Engineering\BSE2708 ENG v2018.dwg

NOT FOR CONSTRUCTION



LEGEND	
REMOVE ASPHALT PAVEMENT (PROVIDE FULL-DEPTH SAWCUT ALONG ALL REMOVAL EDGES)	
REMOVE CONCRETE SIDEWALK	
DEMOLISH BUILDING	
DISTURBED TURF/LANDSCAPE AREA	
EXISTING ASPHALT (TO REMAIN)	
TREE AND STUMP REMOVAL	

This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, unless as specifically authorized by Burse Surveying and Engineering, Inc.

REMOVALS PLAN

M:\VSS2708\Eng\Engineering\BSE2708.Eng\2016.dwg

DRAWING NUMBER

C101

PROJECT #:	BSE2708
PLOT DATE:	08/03/2023
REVISION DATES:	
ISSUE DATES:	

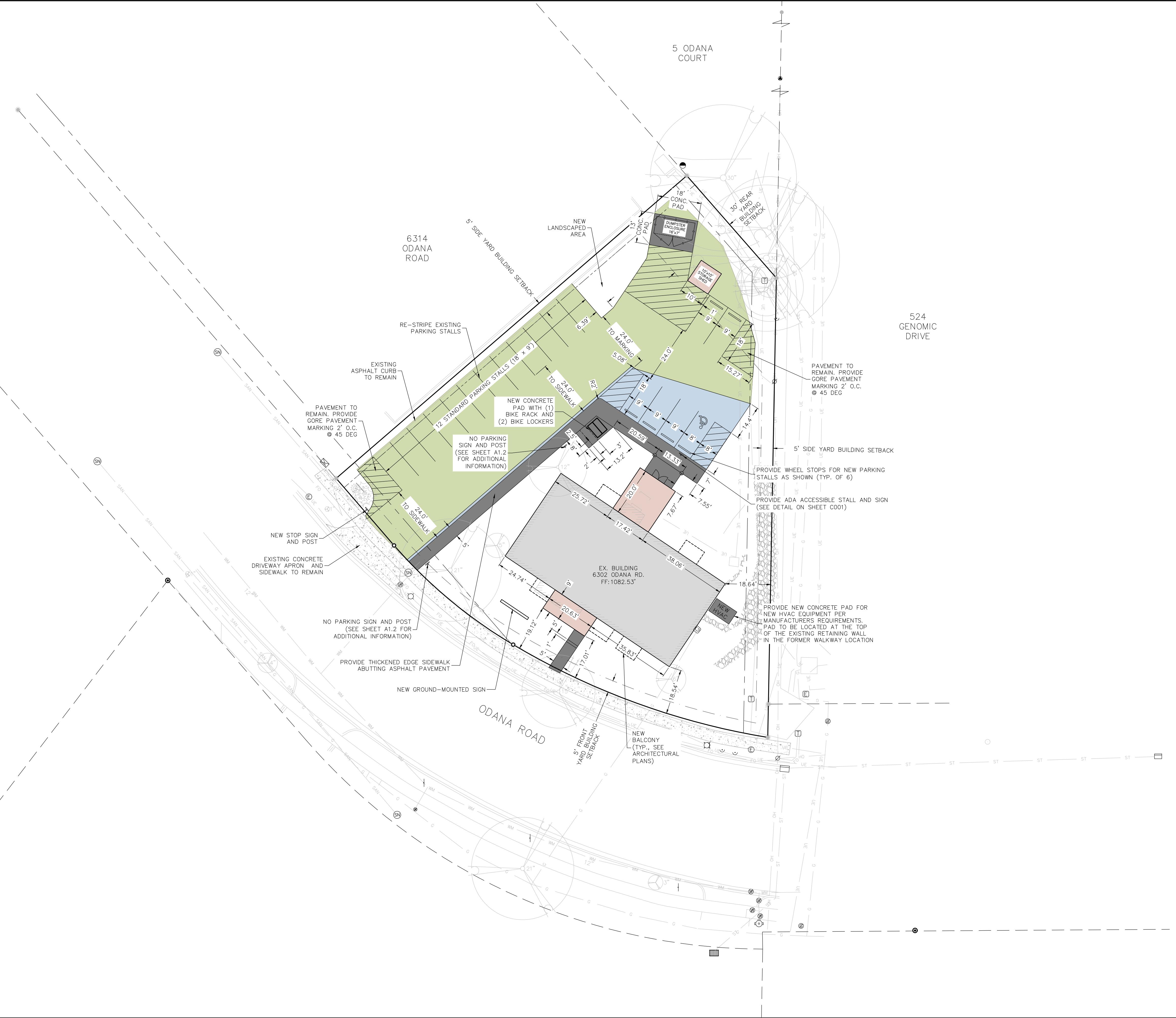
Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719
Bourell Design Studio, LLC
579 D'Onofrio Drive
Madison, WI 53719

Burse
Surveying and
Engineering, Inc.
2801 International Lane,
Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail:
Mbuse@BSE-INC.net
www.burssurveyengr.com

Printed: Aug. 03, 2023 - 11:41am Printed By: eng

Page: 1 of 1

NOT FOR CONSTRUCTION



Burse
Surveying and
Engineering, Inc.
2801 International Lane,
Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mbuse@BSE-INC.net
www.bursesurveyengr.com

APPROVALS
PROJECT ENG: DRH/BAB
DESIGNER: DRH/BAB
DRAWN BY: DRH/BAB
CHECKED BY: DRH/BAB
APPROVED: DRH/BAB
MLB

Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719
Bouill Design Studio, LLC
579 D'Onofrio Drive
Madison, WI 53719

Printed: Aug 03, 2023 - 11:41am Printed By: engr

M:\VSS2708\Awg\Engineering\BSE2708.ENG\2016.dwg

PROJECT #: BSE2708
PLOT DATE: 08/03/2023

REVISION DATES:

ISSUE DATES:

SITE PLAN

This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, unless as specifically authorized by Burse Surveying and Engineering, Inc.

DRAWING NUMBER

C200

NOT FOR CONSTRUCTION

6314
ODANA
ROAD

524
GENOMIC
DRIVE

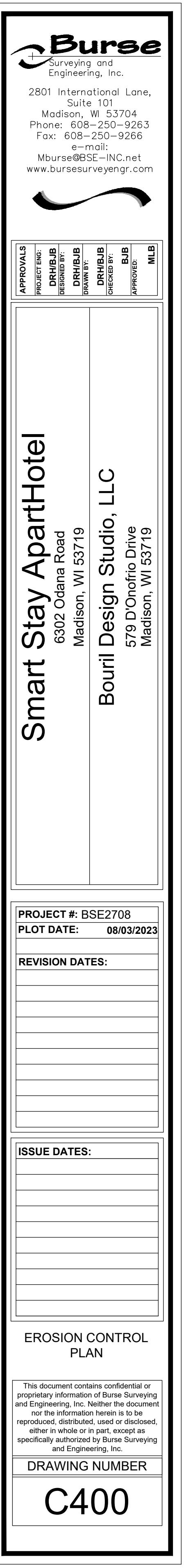
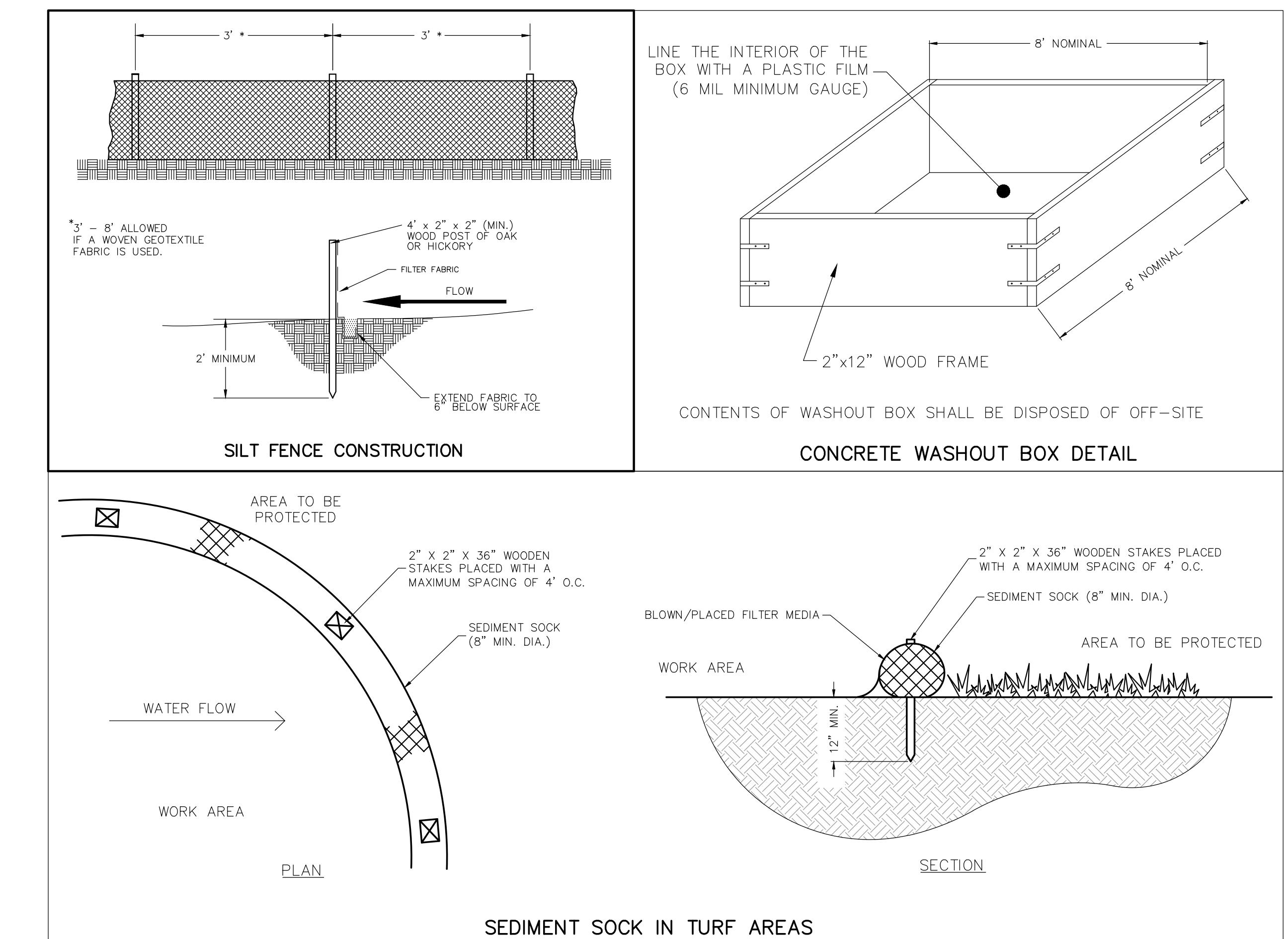
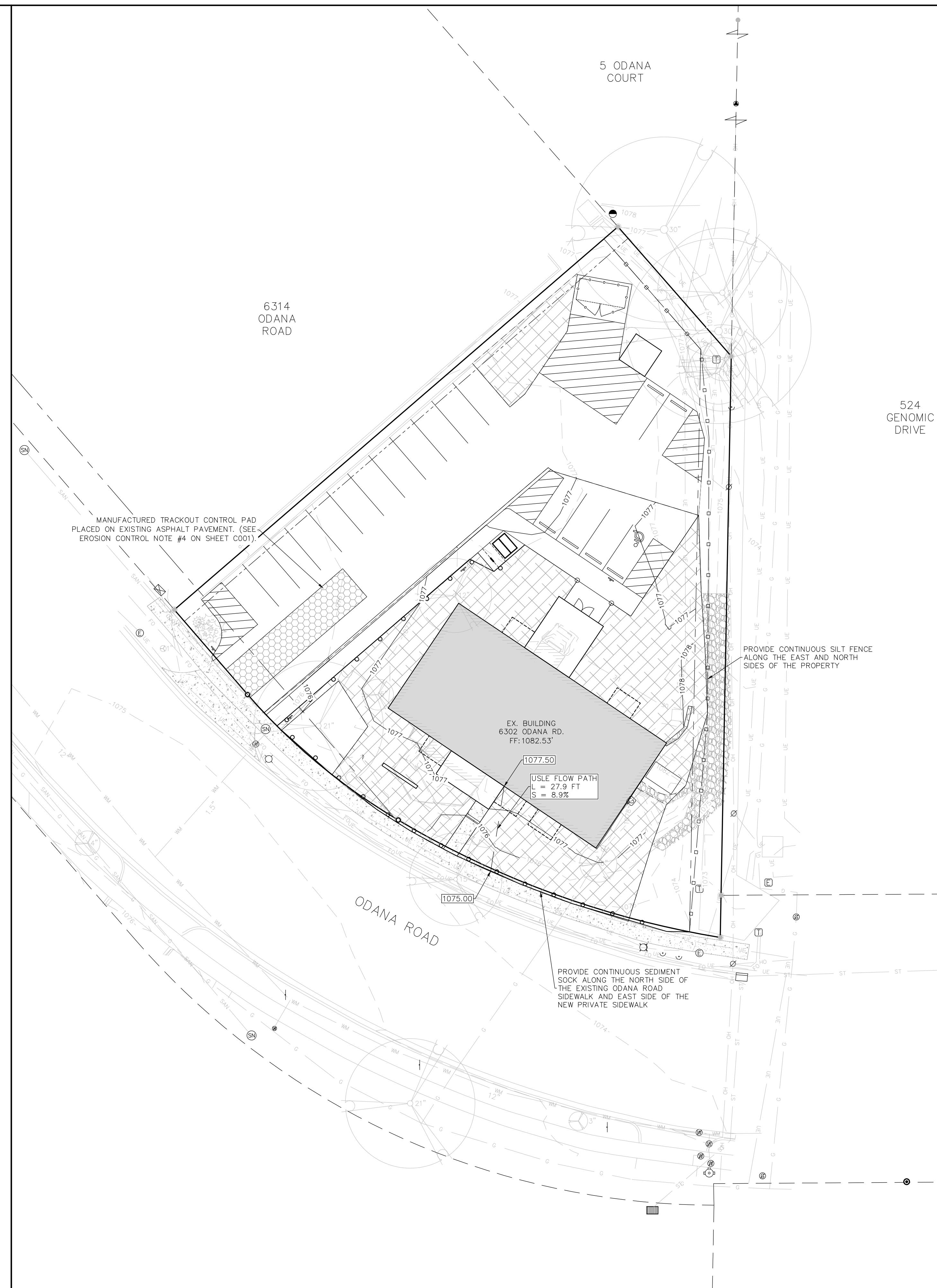


Burse
Surveying and
Engineering, Inc.
2801 International Lane,
Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mburse@BSE-INC.net
www.bursesurveyengr.com

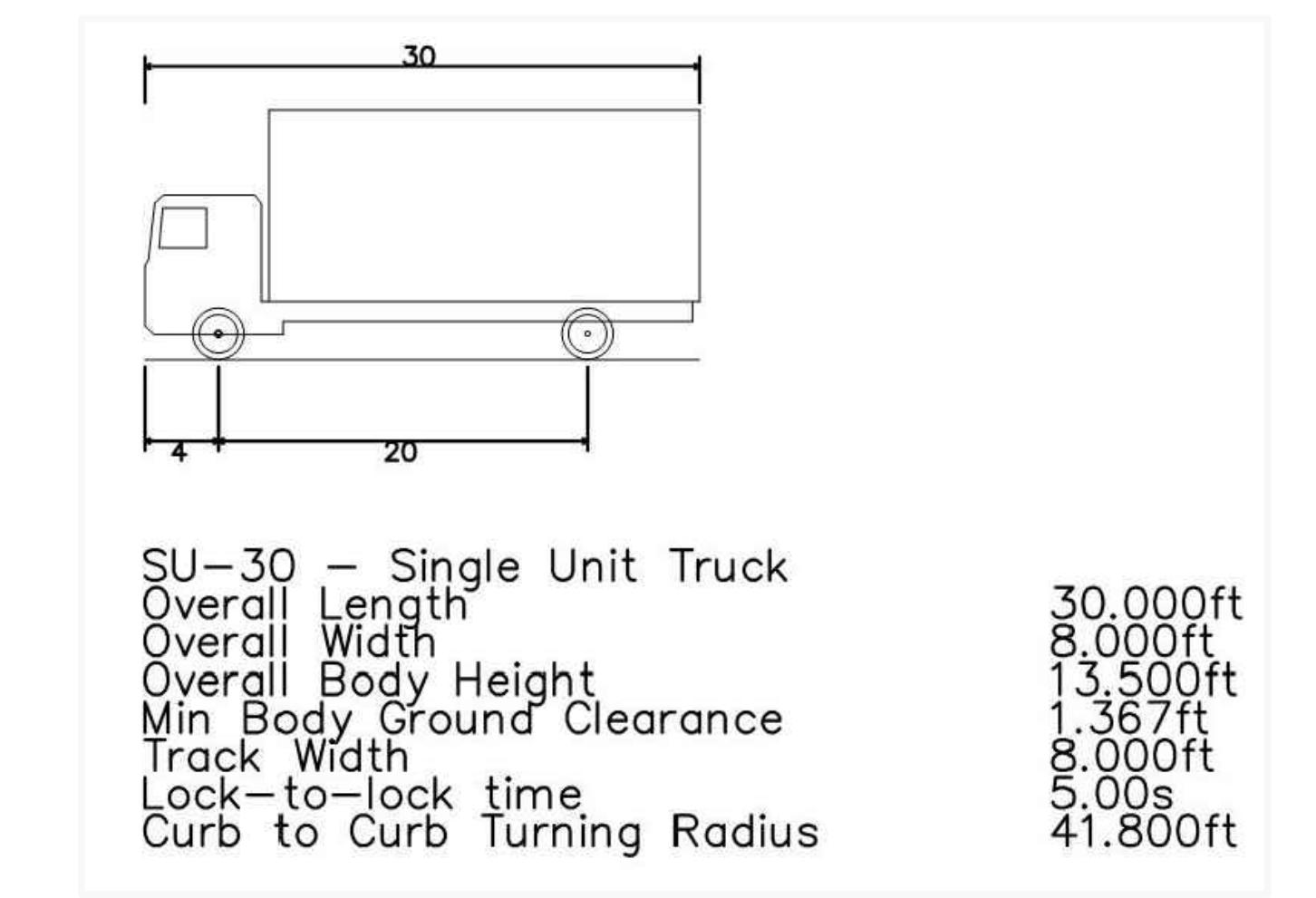
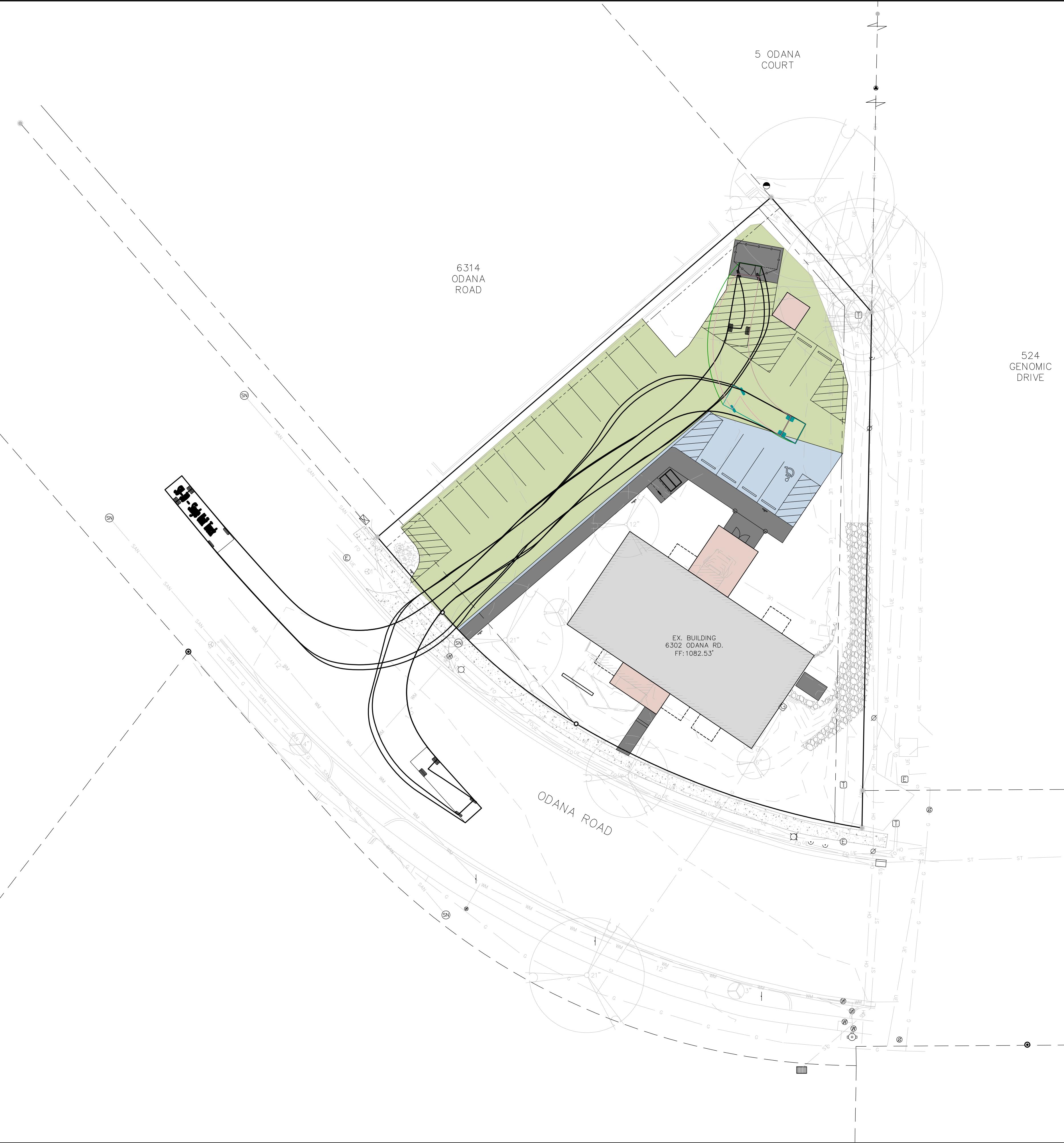
APPROVALS
PROJECT ENG.
DRH/BAB
DESIGN BY
DRH/BAB
DRAWN BY
DRH/BAB
CHECKED BY
B.J.B.
APPROVED
M.L.B.

Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719
Boulli Design Studio, LLC
579 D'Onofrio Drive
Madison, WI 53719

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



Burse
 Surveying and
 Engineering, Inc.
 2801 International Lane,
 Suite 101
 Madison, WI 53704
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: Mburse@BSE-INC.net
 www.bursesurveyengr.com

APPROVALS	PROJECT ENGR	DRH/B	DESIGNER	DRH/B	DRAWN BY	DRH/B	DRAWN BY	DRH/B	CHECKED BY	DRH/B	APPROVED BY	MLB
-----------	--------------	-------	----------	-------	----------	-------	----------	-------	------------	-------	-------------	-----

Smart Stay ApartHotel
 6302 Odana Road
 Madison, WI 53719
 Bourril Design Studio, LLC
 579 D'Onofrio Drive
 Madison, WI 53719

PROJECT #: BSE2708
PLOT DATE: 08/03/2023
REVISION DATES:
ISSUE DATES:

TRUCK TURNING MOVEMENT EXHIBIT

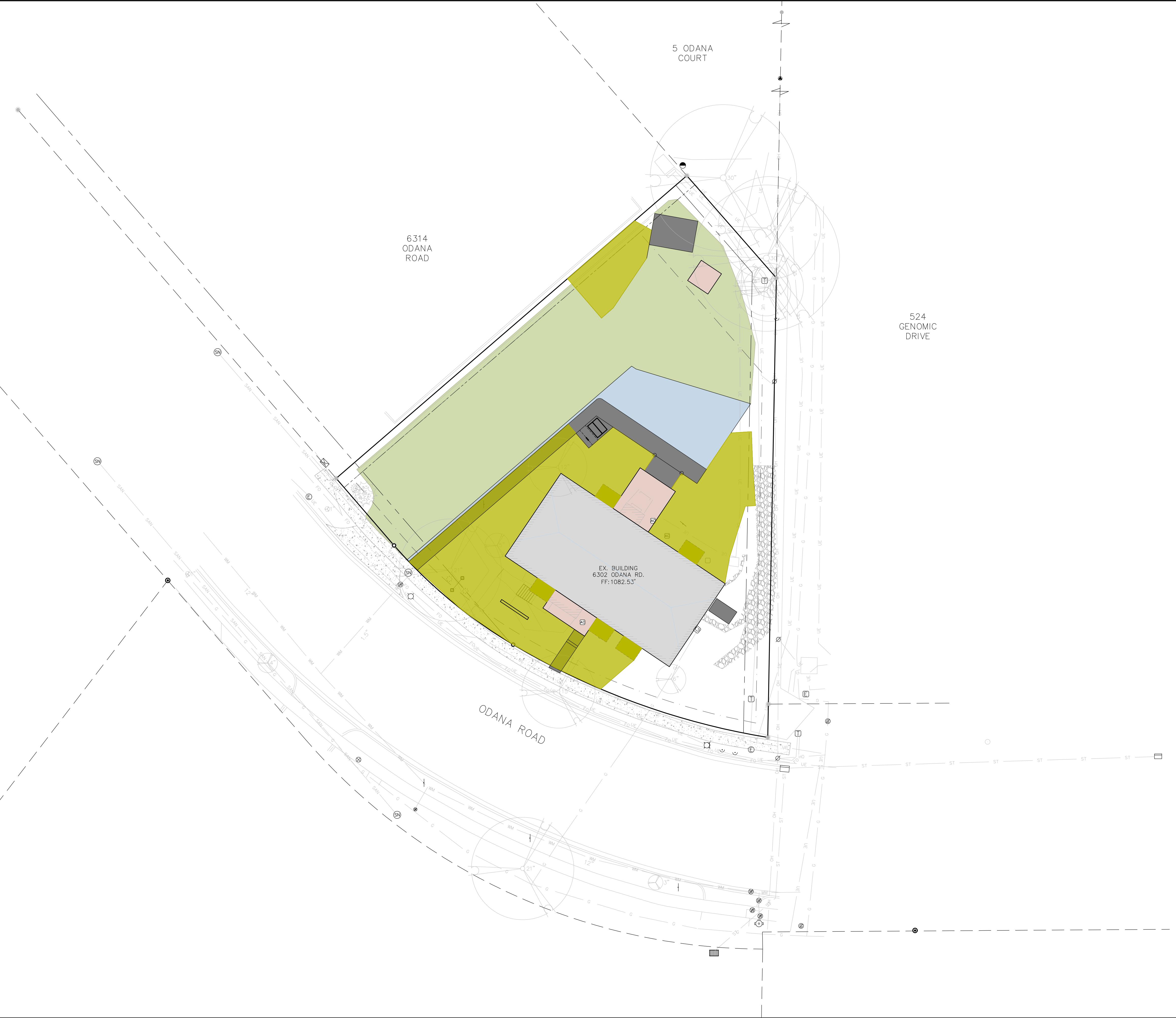
This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, unless as specifically authorized by Burse Surveying and Engineering, Inc.

DRAWING NUMBER
EX-1

M:\VSS2708\Eng\Engineering\BSE2708.Eng\2016.dwg

Printed: Aug 03, 2023 - 11:42am Printed By: engr

NOT FOR CONSTRUCTION



Burse
Surveying and
Engineering, Inc.

2801 International Lane,
Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: mburse@BSE-INC.net
www.burssurveyengr.com

APPROVALS	PROJECT ENGR:	DRH/BAB	DESIGNER:	DRH/BAB	DRAFTER:	DRH/BAB	CHECKED BY:	DRH/BAB	APPROVED BY:	MLB
-----------	---------------	---------	-----------	---------	----------	---------	-------------	---------	--------------	-----

Smart Stay ApartHotel
6302 Odana Road
Madison, WI 53719

Bouill Design Studio, LLC
579 D'Onofrio Drive
Madison, WI 53719

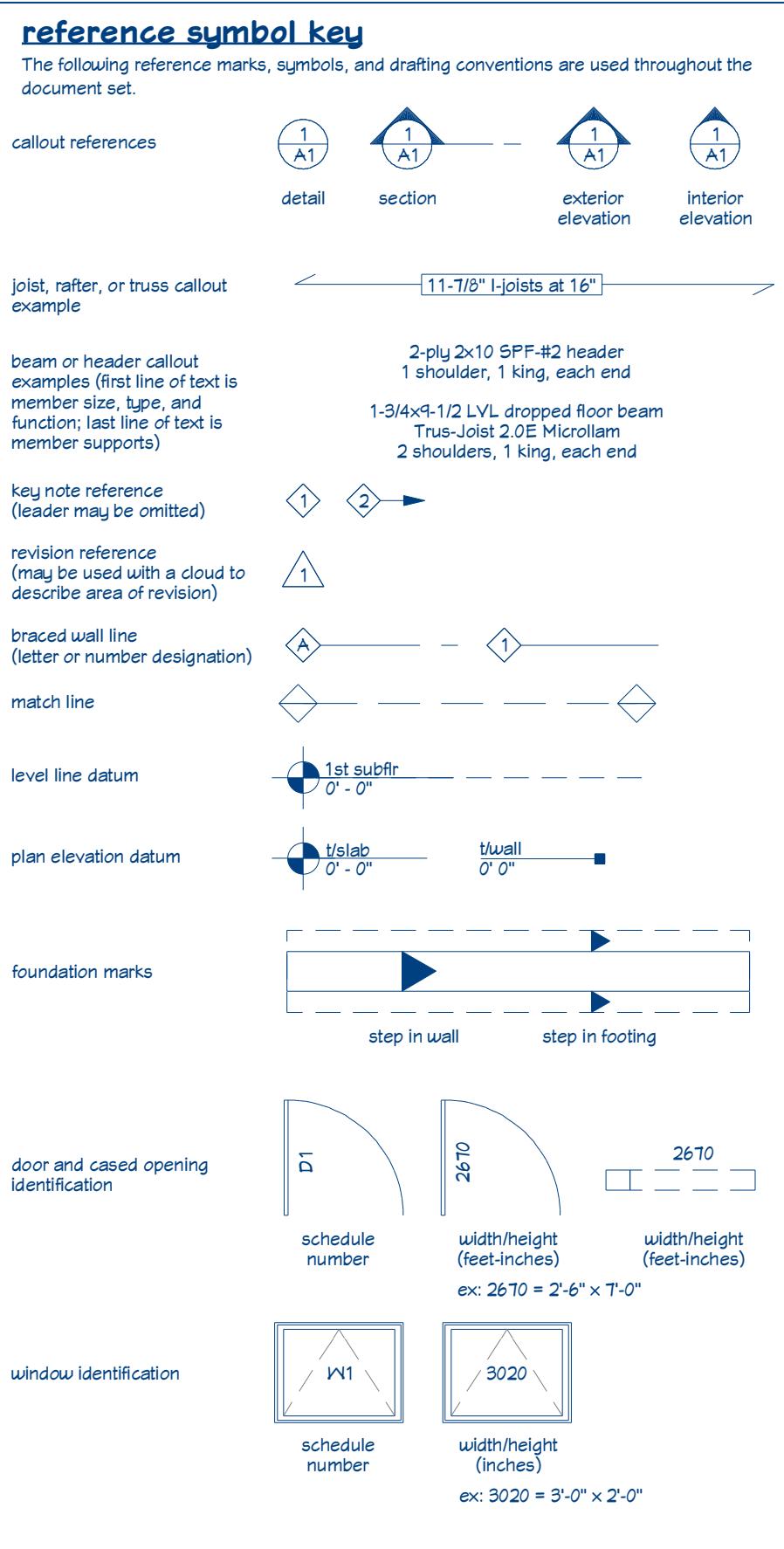
PROJECT #: BSE2708
PLOT DATE: 08/03/2023
REVISION DATES:

Printed: Aug 03, 2023 - 11:42am Printed By: engr

M:\VSS2708\Autodesk\Engineering\BSE2708.ENG\2016.dwg

DRAWING NUMBER
EX-2

Redevelopment for Smart Stay ApartHotel LLC



plan view wall and partition key

The following color and pattern conventions are used to designate walls and partitions in plan view:

interior framed partition
interior framed partition, fire-resistant rated
interior framed partition, sound-control
interior framed partition, furred or chase
interior framed partition, party wall
hatch indicates the partition is load bearing
exterior framed wall
cast-in-place concrete foundation wall

general notes

These notes describe typical project conditions and requirements; exceptions are noted on the plans.

1. If a specification has been published with this project it will govern the project's material and performance requirements. Areas not covered by a specification will be governed by the standards and best practices of the construction trades, related industries, and professional societies. Details, notes, and instructions on the drawing set take precedence over information in the standards, codes, and regulations. If a discrepancy cannot be resolved, contact the architect for classification.
2. The content of this drawing set is to be interpreted within the context of any other published drawings, notes, or specifications contained within the document set, including those from other trades, designers, suppliers, etc.
3. Do not scale the drawings; use the provided dimensions and check details for location of all items not dimensioned on the drawings.
4. The general contractor and subcontractors shall thoroughly familiarize themselves with the scope and nature of the new construction prior to the start of work. The general contractor shall coordinate all the trades and is responsible for the proper operation of all systems once installed.
5. The general contractor and subcontractors shall verify existing conditions prior to start of work. Conditions which differ significantly from those anticipated or as shown within these drawings shall be referred to the architect prior to the start of work.
6. Any damage to the area of construction shall be protected from further damage. Any damage shall be repaired as soon as the owner's satisfaction prior to the completion of construction.
7. The general contractor shall plug and block penetrations through the exterior building envelope to prevent pest and nuisance animal infestation.
8. Final material and product selection, color, finish, installation details, etc. are to be coordinated with the owner.

design criteria

Structural elements and systems shall be designed to support the actual dead loads of the components, materials, and anticipated equipment or furnishings, as well as the following live loads unless noted otherwise:

UDC Vertical gravity live loads	
Floors, private living areas	40 psf
Floors, public areas and corridors	100 psf
Exterior balconies, decks, and porches	40 psf
Garage floors	50 psf
Ceilings and lattics without storage	5 psf
Roots (ground snow load)	30 psf
KiNLD loads	
Uplift and horizontal (per the MNFRS analysis)	20 psf (or per the MNFRS)
All allowable maximum deflections under total load	
Opening headers	1/4"
Floor joists	L1/360
Ceiling joists	L1/360
Roof rafters	L1/360
Exterior lattics supporting masonry	L1/600
Other structure	L1/240
Exterior walls	H1/60
Interior walls	H1/100

2023-02-23 - 10:50:25 AM



project summary

municipality
Madison, Dane County, WI

principal governing codes and ordinances
Wisconsin Commercial Building Code, SPS 361-366
City of Madison Code of Ordinances
Park Toune Declaration of Covenants, Conditions, and Restrictions

parcel data
address: 6302 Odana Rd, Madison, WI, 53719
parcel number: 070825101114
aldermanic district: 14, Keith Furman
zoning district: SE Suburban Employment
lot area: 24,945 sq ft (assessed)

existing design standards
occupancy classification: Business Group B
use: professional offices
construction classification: Type VB, unsprinklered

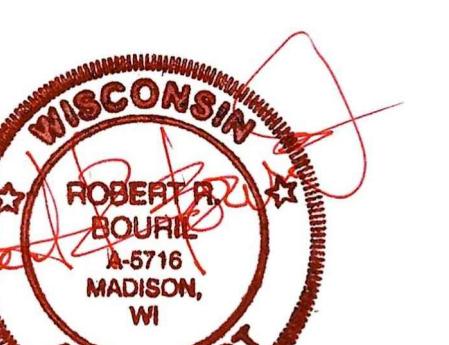
proposed design standards
occupancy classification: Residential Group R-1
use: hotel
construction classification: Type VB, fully sprinklered
classification of work: Alteration Level 3, Change of Occupancy

land use summary
building footprint: 3,625 square feet (sf)
building area: 12,015 sf, including balconies
suites: 14 Type B, 1 Accessible, from 369 sf to 552 sf
lot area: 25,030 sf (as surveyed)
lot coverage: 13,553 sf, or 54% (75% max)
paved area: 10,893 sf, includes all asphalt and concrete
landscaped area: 12,006 sf, excludes the north and east drainage swale
usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)

Plan Commission Review
not for construction

Bouri Design Studio, LLC
579 Donofrio Drive, Suite 16, Madison, Wisconsin
53719
608-633-3400 www.bouridesign.com

Redevelopment for Smart Stay ApartHotel LLC
6302 Odana Rd, Madison, WI, 53719



August 4, 2023

drawing index

sheet	title
L1	landscape plan
A1.0	title page
A1.1	perspective reference images
A1.2	lot plans
A1.3	lot lighting plan
A1.4	lot lighting cut sheets
A1.5	shed and dumpster plans
A4.0	basement floor plan
A4.1	first floor plan
A4.2	second floor plan
A4.3	roof plan
A5.0	exterior elevations
A5.1	exterior elevations

revision index	date	reason
	8/2/23	Partkoune
	8/4/23	plan comm rev

project #:	23002
contact:	Robert Lackone robert@bouridesign.com 608-633-3400
print date:	8/4/2023
full size:	ARCH D 24x36
	A1.0

title page

no scale

A1.0

print date: 8/4/2023

full size: ARCH D 24x36

The design represented by these drawings is the property of Bouri Design Studio, LLC. These drawings, or any portion thereof, may not be copied or reproduced without the written consent of Bouri Design Studio, LLC, or its design engineer.



south perspective, street view



southwest perspective



west perspec



northwest perspective



north perspective



northeast perspective



east perspective



outtheast perspective

Exterior perspective notes

These perspective images are intended to assist the contractor in visualizing the architectural design intent, including material types and transitions, window and door placement, exterior elements such as downspouts and light fixtures, etc.

Material colors and patterns are approximate. Refer to the exterior elevations for material specifications and other important information. The information presented in the rest of the drawing set takes precedent over these images, though gross discrepancies should be brought to the attention of the architect for clarification.

Grading is simplified. Locations of landscape features, e.g. mulch, plantings, etc. is approximate. Plant species, habit, and growth are approximate. Refer to the landscape plan for species identification and specifications.

Location of utility and service equipment must be coordinated with the utility provider and the relevant trades.

Special note
For clarity, trees which obscure the view of the building are not shown

Plan Commission Review

not for construction

Bouril Design Studio, LLC
3779 D'Onofrio Drive, Suite 16, Madison, Wisconsin
633719
908-833-3400 www.bourildesign.com

Redevelopment for **Smart Stay Apartment Hotel LLC**

6302 Odana Rd, Madison, WI, 53719

revision index	
date	reason
6/2/23	Parktowne
8/4/23	plan comm rev

project #: 23002
contact: Robert Lackore
robl@bourildesign.com
608-833-3400

A1.1

Perspective reference images

no scale

print date: 8/4/2023
full size: ARCH D 24x36



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703
Phone: 608-266-4420 • Fax: 608-267-1100 • Email: fire@cityofmadison.com

Project Address:	6302 Odana Road
Contact Name & Phone #:	Amir Kalif, Real Estate Vision LLC, 608-640-9618

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

- Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? Yes No N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? Yes No N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall? Yes No N/A
- Is the fire lane constructed of concrete or asphalt designed to support a minimum load of 85,000 lbs? Yes No N/A
a) Is the lane a minimum unobstructed width of at least 20-feet? Yes No N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? Yes No N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet? Yes No N/A
d) Is the grade of the fire lane not more than a slope of 8%? Yes No N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.) Yes No N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) Yes No N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) Yes No N/A
- Is the fire lane obstructed by security gates or barricades? If yes:
a) Is the gate a minimum of 20-feet clear opening? Yes No N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch? Yes No N/A
- Is the Fire lane dead-ended with a length greater than 150-feet? Yes No N/A
If yes, does the area for turning around fire apparatus comply with IFC D103? Yes No N/A
- Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? Yes No N/A
If yes, see IFC 3206.6 for further requirements.
- Is any part of the building greater than 30-feet above the grade plane? Yes No N/A
If yes, answer the following questions:
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? Yes No N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? Yes No N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? Yes No N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) Yes No N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? Yes No N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights? Yes No N/A
- Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? [City hydrants]
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? Yes No N/A
b) Is there at least 40' between a hydrant and the building? Yes No N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? Yes No N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? Yes No N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5'-feet of a fire hydrant? Yes No N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

fire apparatus access plan notes
1. Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse Surveying and Engineering.
2. This building will be equipped throughout with an NFPA 13R automatic sprinkler system, including at exterior balconies. The fire protection systems (sprinklers, alarms, notification devices, detection devices, portable fire extinguishers, etc.) must be designed by a qualified fire protection specialist. The location of alarm, detection, and supervision panels, and the key vault, are to be coordinated with the Fire Protection Engineering Unit.



lot accessible route plan notes
1. Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse Surveying and Engineering.
2. Van parking spaces shall be marked to define the width. Access aisles shall be marked with diagonal striping. Van parking spaces shall be identified with a sign that includes the International Symbol of Accessibility with the designation "van accessible".
3. The running slope of the accessible route walking surface shall not be steeper than 1:20, and the cross slope shall not be steeper than 1:40.

Plan Commission Review not for construction

Buril Design Studio, LLC
579 Donofrio Drive, Suite 16, Madison, Wisconsin
53719
608-633-3400 www.burildesign.com

Redevelopment for Smart Stay Apartment LLC 6302 Odana Rd, Madison, WI, 53711

revision index
date reason
03/22/23 Part 1
04/23/23 plan comm rev

project #: 23002
contact: Robert Lackore
robert@burildesign.com
608-633-3400

A 1.2

print date: 04/04/2023
full size: ARCH D 24x36"

1 fire apparatus access plan

2302 Smart Stay - Rev 04/22/23 - 10:36:04 AM

2 lot accessible route plan

0 20 40 60 80 100 scale: 1" = 20'-0"

lot lighting plan

site lighting plan notes

1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner.
2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

electrical symbol schedule		
symbol	description	
luminaires		typical notations and modifiers
	<p>wall fixture (surface mounted)</p> <p>pole fixture (arm mounted)</p> <p>pole fixture (top mounted)</p> <p>bollard fixture</p>	<p><u>enclosure and mounting</u> +12" mounting height in inches</p> <p><u>fixture information</u> A fixture type (uppercase)</p>

site fixture schedule

A. bollard path light

- Lithonia KBD8 LED
- photoelectric cell control
- Dark Bronze finish

B. wall pack

- Lithonia WPX1 LED
- emergency battery backup and photoelectric cell control
- Dark Bronze finish
- mounting height is measured above the adjacent walking surface or door landing

C. wall pack

- Lithonia WPX0 LED
- Dark Bronze finish
- mounting height is measured above the balcony surface; center on the balcony width, not on the patio door

Plan Commission Review not for construction

Bouril Design Studio, LLC
579 D'Onofrio Drive, Suite 16, Madison, Wisconsin
53719
608-833-3400 www.bourildesign.com

Redevelopment for Smart Stay ApartHotel LLC

project #: 23002
contact: Robert Lackore
robl@bourildesign.com
608-833-3400

print date: 8/4/2023
full size: ARCH D 24x

Plan Commission Review not for construction

Lithonia Lighting
5719 Donofrio Drive, Suite 16, Madison, Wisconsin
608-653-3400

Redevelopment for
Smart Stay Apartment Hotel LLC
6302 Odana Rd, Madison, WI, 53711

revision index
date: 8/4/23
reason: plan comm rev

project #: 23002
contact: Robert Lackore
robert@bounddesign.com
608-653-3400

A 1.4

print date: 8/4/2023
full size: ARCH D 24x36

KBD8 LED

LED Specification Bollard



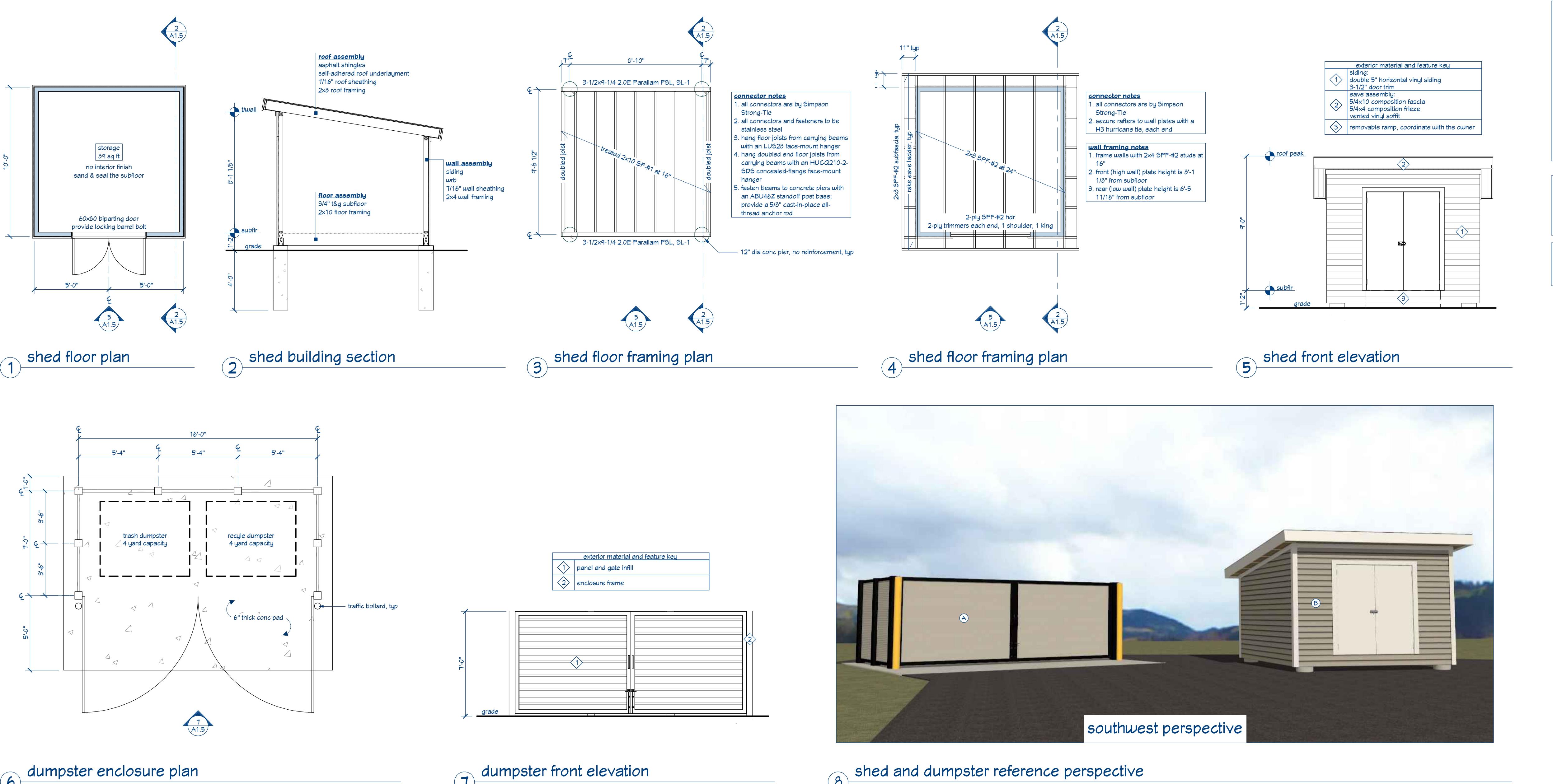
BAA

Specifications

8" Round
(20.3 cm)
Height: 42"
(106.7 cm)
Weight (max): 27lbs
(12.25 kg)

Ordering Information

EXAMPLE: KBD8 LED 12C 700 40K SYM MVOLT PEE DDBDXD									
KBD8 LED	12C	350	30K	ASY	MVOLT PEE	DDBXD			
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Control options	Other options	Finish	Requires
KBD8 LED	Asymmetric 12C 12 LEDs ¹	350 450 mA ¹⁴	30K 530 mA	ASY SYM	Asymmetric ¹ Symmetric ¹	MVOLT ¹	Shipped installed	DWHD	White
			30K 50K 5000K	4000K 5000K	208 ¹	PE Photocell, button type	SF Single face (120°, 277°, 347°V)	DNAD	Natural aluminum
	Symmetric 16C 16 LEDs ¹	200 700 mA	AMBPC Amber phosphor converted	AMBLW	Amber limited wavelength ¹⁴	DMG 0-10v dimming 240 ¹	DF Double face (208°, 307°, 367°, 420°, 477°, 547°, 597°, 657°, 727°, 777°, 847°, 907°, 957°, 1027°, 1077°, 1147°, 1207°, 1257°, 1327°, 1377°, 1427°, 1477°, 1547°, 1607°, 1657°, 1727°, 1777°, 1847°, 1907°, 1957°, 2027°, 2077°, 2147°, 2207°, 2257°, 2327°, 2377°, 2447°, 2507°, 2557°, 2627°, 2677°, 2747°, 2797°, 2857°, 2907°, 2957°, 3027°, 3077°, 3147°, 3207°, 3257°, 3327°, 3377°, 3447°, 3507°, 3557°, 3627°, 3677°, 3747°, 3807°, 3857°, 3927°, 3977°, 4047°, 4107°, 4157°, 4227°, 4277°, 4347°, 4407°, 4457°, 4527°, 4577°, 4647°, 4707°, 4757°, 4827°, 4877°, 4947°, 4997°, 5067°, 5117°, 5187°, 5257°, 5327°, 5397°, 5467°, 5537°, 5607°, 5677°, 5747°, 5817°, 5887°, 5957°, 6027°, 6097°, 6167°, 6237°, 6307°, 6377°, 6447°, 6517°, 6587°, 6657°, 6727°, 6797°, 6867°, 6937°, 6957°, 7027°, 7097°, 7167°, 7237°, 7307°, 7377°, 7447°, 7517°, 7587°, 7657°, 7727°, 7797°, 7867°, 7937°, 7957°, 8027°, 8097°, 8167°, 8237°, 8307°, 8377°, 8447°, 8517°, 8587°, 8657°, 8727°, 8797°, 8867°, 8937°, 8957°, 9027°, 9097°, 9167°, 9237°, 9307°, 9377°, 9447°, 9517°, 9587°, 9657°, 9727°, 9797°, 9867°, 9937°, 10007°, 10077°, 10147°, 10217°, 10287°, 10357°, 10427°, 10497°, 10567°, 10637°, 10707°, 10777°, 10847°, 10917°, 10987°, 11057°, 11127°, 11197°, 11267°, 11337°, 11407°, 11477°, 11547°, 11617°, 11687°, 11757°, 11827°, 11897°, 11967°, 12037°, 12107°, 12177°, 12247°, 12317°, 12387°, 12457°, 12527°, 12597°, 12667°, 12737°, 12807°, 12877°, 12947°, 13017°, 13087°, 13157°, 13227°, 13297°, 13367°, 13437°, 13507°, 13577°, 13647°, 13717°, 13787°, 13857°, 13927°, 13997°, 14067°, 14137°, 14207°, 14277°, 14347°, 14417°, 14487°, 14557°, 14627°, 14697°, 14767°, 14837°, 14907°, 14977°, 15047°, 15117°, 15187°, 15257°, 15327°, 15397°, 15467°, 15537°, 15607°, 15677°, 15747°, 15817°, 15887°, 15957°, 16027°, 16097°, 16167°, 16237°, 16307°, 16377°, 16447°, 16517°, 16587°, 16657°, 16727°, 16797°, 16867°, 16937°, 16957°, 17027°, 17097°, 17167°, 17237°, 17307°, 17377°, 17447°, 17517°, 17587°, 17657°, 17727°, 17797°, 17867°, 17937°, 17957°, 18027°, 18097°, 18167°, 18237°, 18307°, 18377°, 18447°, 18517°, 18587°, 18657°, 18727°, 18797°, 18867°, 18937°, 18957°, 19027°, 19097°, 19167°, 19237°, 19307°, 19377°, 19447°, 19517°, 19587°, 19657°, 19727°, 19797°, 19867°, 19937°, 20007°, 20077°, 20147°, 20217°, 20287°, 20357°, 20427°, 20497°, 20567°, 20637°, 20707°, 20777°, 20847°, 20917°, 20987°, 21057°, 21127°, 21197°, 21267°, 21337°, 21407°, 21477°, 21547°, 21617°, 21687°, 21757°, 21827°, 21897°, 21967°, 22037°, 22107°, 22177°, 22247°, 22317°, 22387°, 22457°, 22527°, 22597°, 22667°, 22737°, 22807°, 22877°, 22947°, 23017°, 23087°, 23157°, 23227°, 23297°, 23367°, 23437°, 23507°, 23577°, 23647°, 23717°, 23787°, 23857°, 23927°, 23997°, 24067°, 24137°, 24207°, 24277°, 24347°, 24417°, 24487°, 24557°, 24627°, 24697°, 24767°, 24837°, 24907°, 24977°, 25047°, 25117°, 25187°, 25257°, 25327°, 25397°, 25467°, 25537°, 25607°, 25677°, 25747°, 25817°, 25887°, 25957°, 26027°, 26097°, 26167°, 26237°, 26307°, 26377°, 26447°, 26517°, 26587°, 26657°, 26727°, 26797°, 26867°, 26937°, 26957°, 27027°, 27097°, 27167°, 27237°, 27307°, 27377°, 27447°, 27517°, 27587°, 27657°, 27727°, 27797°, 27867°, 27937°, 27957°, 28027°, 28097°, 28167°, 28237°, 28307°, 28377°, 28447°, 28517°, 28587°, 28657°, 28727°, 28797°, 28867°, 28937°, 28957°, 29027°, 29097°, 29167°, 29237°, 29307°, 29377°, 29447°, 29517°, 29587°, 29657°, 29727°, 29797°, 29867°, 29937°, 30007°, 30077°, 30147°, 30217°, 30287°, 30357°, 30427°, 30497°, 30567°, 30637°, 30707°, 30777°, 30847°, 30917°, 30987°, 31057°, 31127°, 31197°, 31267°, 31337°, 31407°, 31477°, 31547°, 31617°, 31687°, 31757°, 31827°, 31897°, 31967°, 32037°, 32107°, 32177°, 32247°, 32317°, 32387°, 32457°, 32527°, 32597°, 32667°, 32737°, 32807°, 32877°, 32947°, 33017°, 33087°, 33157°, 33227°, 33297°, 33367°, 33437°, 33507°, 33577°, 33647°, 33717°, 33787°, 33857°, 33927°, 33997°, 34067°, 34137°, 34207°, 34277°, 34347°, 34417°, 34487°, 34557°, 34627°, 34697°, 34767°, 34837°, 34907°, 34977°, 35047°, 35117°, 35187°, 35257°, 35327°, 35397°, 35467°, 35537°, 35607°, 35677°, 35747°, 35817°, 35887°, 35957°, 36027°, 36097°, 36167°, 36237°, 36307°, 36377°, 36447°, 36517°, 36587°, 36657°, 36727°, 36797°, 36867°, 36937°, 36957°, 37027°, 37097°, 37167°, 37237°, 37307°, 37377°, 37447°, 37517°, 37587°, 37657°, 37727°, 37797°, 37867°, 37937°, 37957°, 38027°, 38097°, 38167°, 38237°, 38307°, 38377°, 38447°, 38517°, 38587°, 38657°, 38727°, 38797°, 38867°, 38937°, 38957°, 39027°, 39097°, 39167°, 39237°, 39307°, 39377°, 39447°, 39517°, 39587°, 39657°, 39727°, 39797°, 39867°, 39937°, 40007°, 40077°, 40147°, 40217°, 40287°, 40357°, 40427°, 40497°, 40567°, 40637°, 40707°, 40777°, 40847°, 40917°, 40987°, 41057°, 41127°, 41197°, 41267°, 41337°, 41407°, 41477°, 41547°, 41617°, 41687°, 41757°, 41827°, 41897°, 41967°, 42037°, 42107°, 42177°, 42247°, 42317°, 42387°, 42457°, 42527°, 42597°, 42667°, 42737°, 42807°, 42877°, 42947°, 43017°, 43087°, 43157°, 43227°, 43297°, 43367°, 43437°, 43507°, 43577°, 43647°, 43717°, 43787°, 43857°, 43927°, 43997°, 44067°, 44137°, 44207°, 44277°, 44347°, 44417°, 44487°, 44557°, 44627°, 44697°, 44767°, 44837°, 44907°, 44977°, 45047°, 45117°, 45187°, 45257°, 45327°, 45397°, 45467°, 45537°, 45607°, 45677°, 45747°, 45817°, 45887°, 45957°, 46027°, 46097°, 46167°, 46237°, 46307°, 46377°, 46447°, 46517°, 46587°, 46657°, 46727°, 46797°, 46867°, 46937°, 46957°, 47027°, 47097°, 47167°, 47237°, 47307°, 47377°, 47447°, 47517°, 47587°, 47657°, 47727°, 47797°, 47867°, 47937°, 47957°, 48027°, 48097°, 48167°, 48237°, 48307°, 48377°, 48447°, 48517°, 48587°, 48657°, 48727°, 48797°, 48867°, 48937°, 48957°, 49027°, 49097°, 49167°, 49237°, 49307°, 49377°, 49447°, 49517°, 49587°, 49657°, 49727°, 49797°, 49867°, 49937°, 50007°, 50077°, 50147°, 50217°, 50287°, 50357°, 50427°, 50497°, 50567°, 50637°, 50707°, 50777°, 50847°, 50917°, 50987°, 51057°, 51127°, 51197°, 51267°, 51337°, 51407°, 51477°, 51547°, 51617°, 51687°, 51757°, 51827°, 51897°, 51967°, 52037°, 52107°, 52177°, 52247°, 52317°, 52387°, 52457°, 52527°, 52597°, 52667°, 52737°, 52807°, 52877°, 52947°, 53017°, 53087°, 53157°, 53227°, 53297°, 53367°, 53437°, 53507°, 53577°, 53647°, 53717°, 53787°, 53857°, 53927°, 53997°, 54067°, 54137°, 54207°, 54277°, 54347°, 54417°, 54487°, 54557°, 54627°, 54697°, 54767°, 54837°, 54907°, 54977°, 55047°, 55117°, 55187°, 55257°, 55327°, 55397°, 55467°, 55537°, 55607°, 55677°, 55747°, 55817°, 55887°, 55957°, 56027°, 56097°, 56167°, 56237°, 56307°, 56377°, 56447°, 56517°, 56587°, 56657°, 56727°, 56797°, 56867°, 56937°, 56957°, 57027°, 57097°, 57167°, 57237°, 57307°, 57377°, 57447°, 57517°, 57587°, 57657°, 57727°, 57797°, 57867°, 57937°, 57957°, 58027°, 58097		



Plan Commission Review not for construction

Smart Stay Apartment LLC

Redevelopment for Madison WI 53716

Contact: Robert Lackore
@bourildesign.com
833-3400

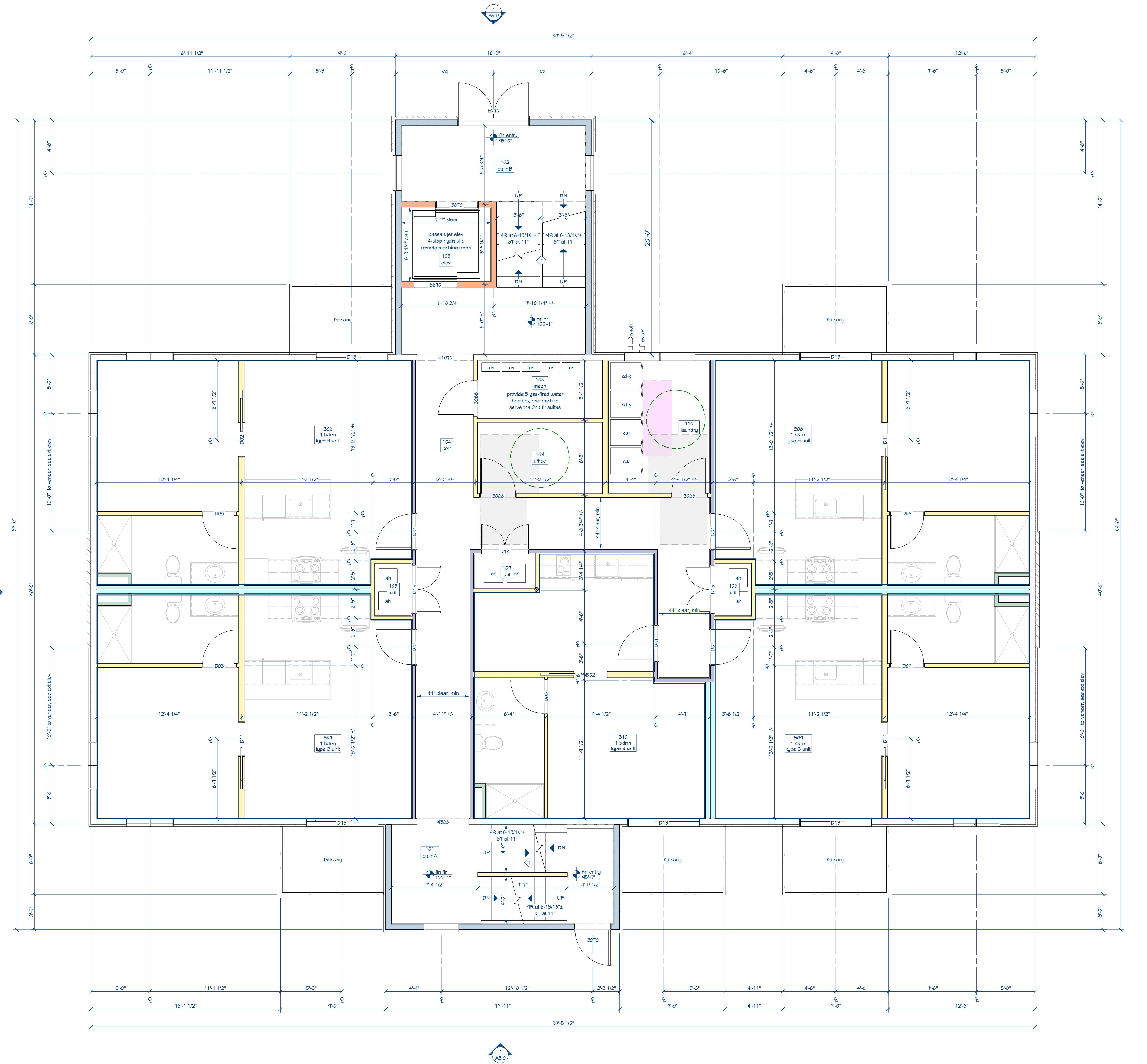
1.3

size: ARCH D 24x36

Plan Commission Review not for construction

Bouli Design Studio, LLC
579 Donofrio Drive, Suite 16, Madison, Wisconsin
608-633-3400 www.bouldesign.com

Redevelopment for Smart Stay Apartment Hotel LLC 6302 Odana Rd, Madison, WI, 53719



A4.1

first floor plan

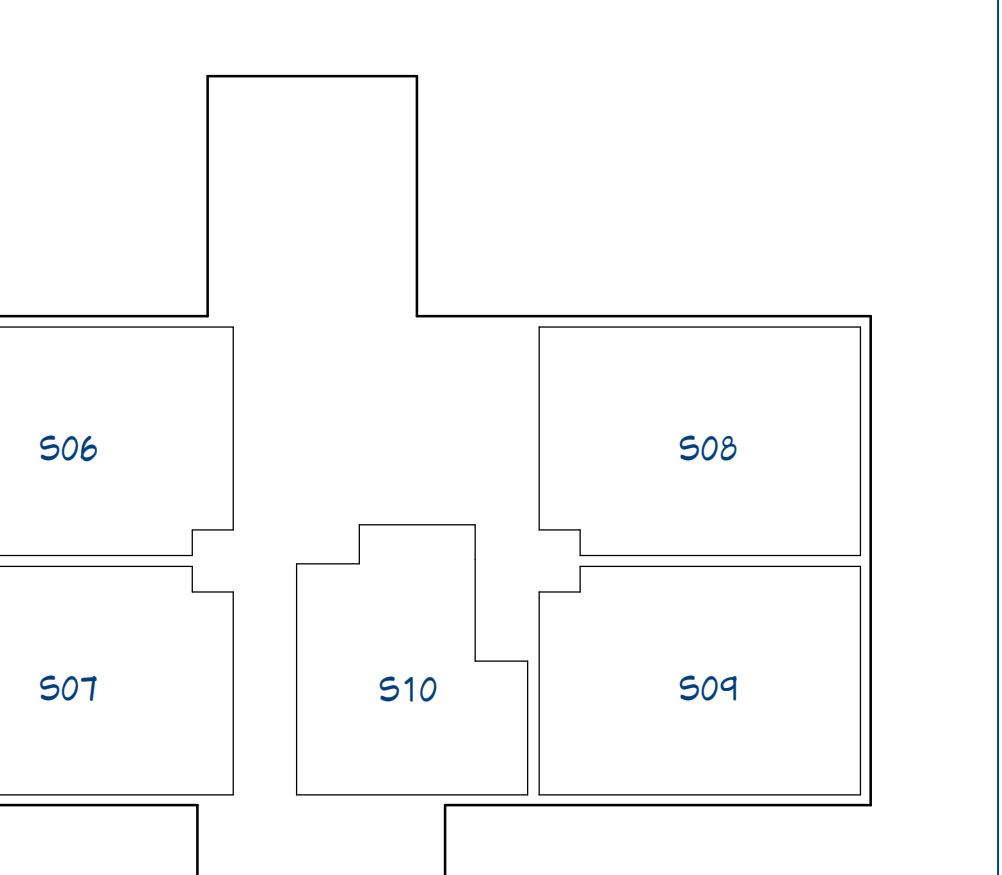
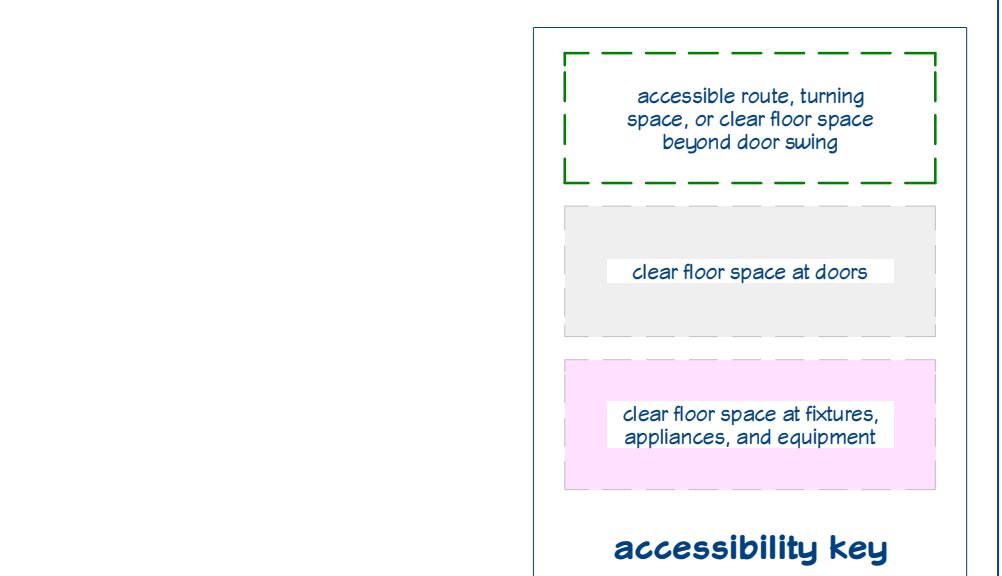
0 5 10 15 10 scale: 1/4" = 1'-0"

print date: 8/4/2023
full size: ARCH D 24x36

floor plan notes
 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
 2. Related Specification Divisions: 05-Metal, 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
 3. All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions noted for non-referencing sheathing, wall board, or other finish items unless noted otherwise. Dimensions annotated as +/- can be adjusted to maintain the dimensions between adjacent elements.
 4. Verify clearances required for all framed openings. The rough opening for doors and cased openings not located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
 5. Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
 6. All wood in contact with concrete shall be preservative treated.
 7. Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.

interior partition insulation and finishing notes
 1. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 04-Finishes.
 2. Refer to the plan view wall and partition key on the title page for other identifiers.
 3. Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant pub (green board). Partitions scheduled for a hard-surface finish such as stone, ceramic tile, lvp, or a similar product shall receive tile backer board.
 4. Provide acoustical back within all partitions contained wholly within a suite, and partitions that demarcate a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gub, on both sides, with acoustical damping compound sandwiched between the panel layers.
 5. All joints and through-penetrations at fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistant rating equivalent to the rating of the penetrated assembly.

floor plan keyed note schedule
 this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1014 this stairway is not required to be a shaft enclosure



first floor suite key

conditioned area summary		first floor	second floor
area enclosed	3,825 sf	3,713 sf	3,566 sf
conditioned	3,944 sf		

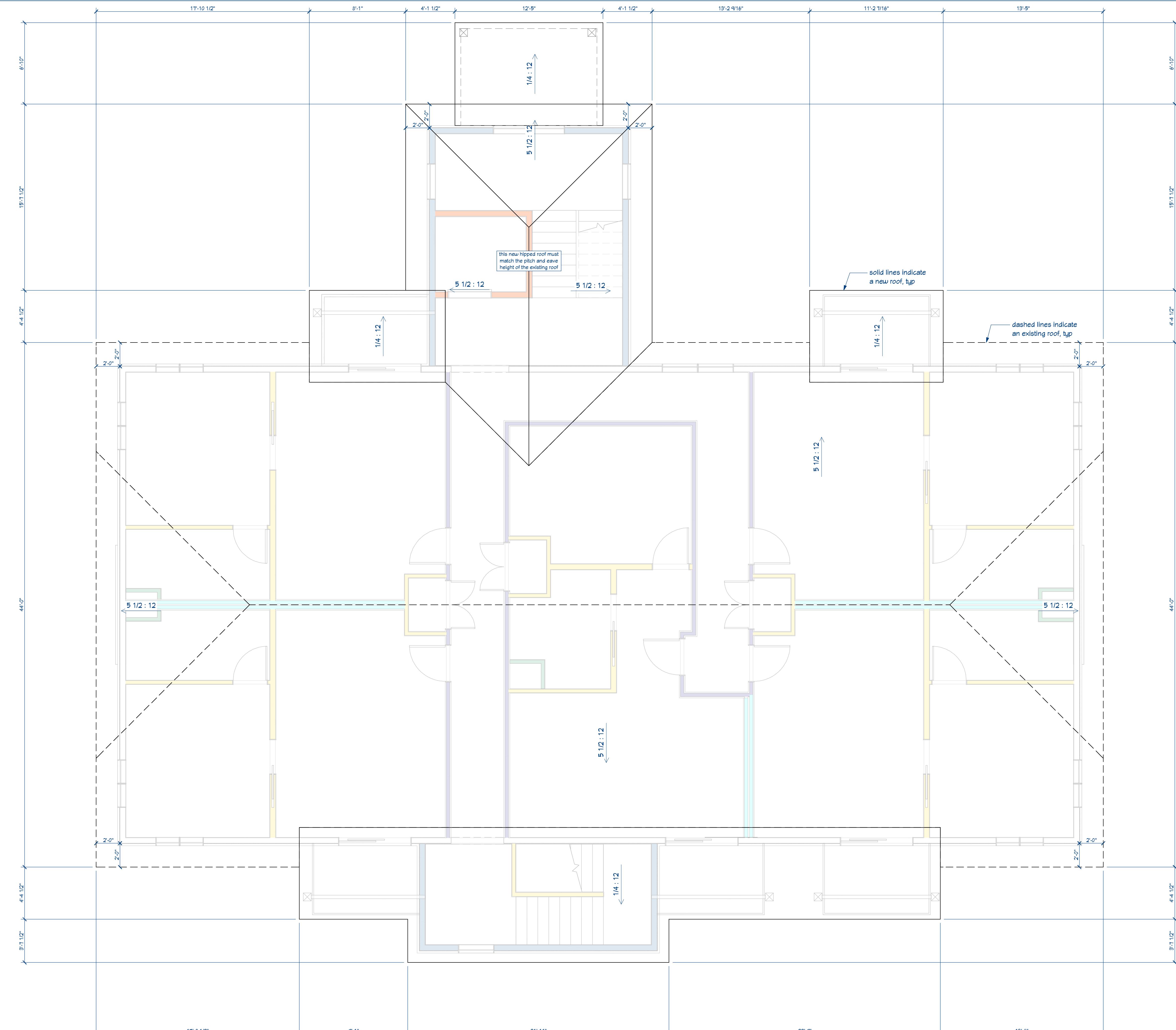
notes:
 1. enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cambered and projected portions of enclosed areas; this excludes unconditioned areas.
 2. conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level; measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

first floor guest suite schedule					
suite	type	function	area of	first flm	cls flm
506	1 bdrm	full	type B unit	502	gub
507	1 bdrm	full	type B unit	502	gub
508	1 bdrm	full	type B unit	502	gub
509	1 bdrm	full	type B unit	502	gub
510	1 bdrm (no oven)	compact	type B unit	515	gub

first floor common room schedule					
room	function	area of	first flm	cls flm	
101	stall A	11	tile	gub	
102	stall B	305	tile	gub	
103	elev	55	gub	gub	
104	office	349	cpt	gub	
105	util	11	tile	gub	
106	util	11	tile	gub	
107	util	11	tile	gub	
108	util	60	tile	gub	
109	util	71	cpt	gub	
110	laundry	111	tile	gub	

Project #: 23002
Contact: Robert Lackore
robert@bouldesign.com
608-633-3400

print date: 8/4/2023
full size: ARCH D 24x36



Roof plan notes

1. Eave dimensions are from the exterior face of the wall stud or roof beam to the outermost face of the eave trim (fascia, shadow board, etc.).
2. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 33-Subdrainage.
3. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc.).
4. Install ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be sheathed beneath the overhang framing to maintain free air flow throughout the attic volume.
5. All MEP roof vent and pipe penetrations that are a suitable substrate for painting (pvc, galvalume, etc.) shall be painted to closely match the roof shingle primary color; this excludes the gas fireplace chimney and shroud.

Plan Commission Review not for construction

Bouril Design Studio, LLC
579 Donofrio Drive, Suite 16, Madison, Wisconsin
53719
608-633-3400 www.bourildesign.com

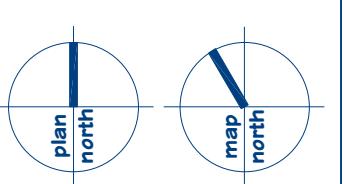
Redevelopment for
Smart Stay Apartment Hotel LLC
6302 Odana Rd, Madison, WI, 53711

revision index	
date	reason
6/4/23	Part 1 Comm
6/4/23	plan comm rev

project #: 23002
contact: Robert Lackore
rob@bouldersdesign.com
608-633-3400

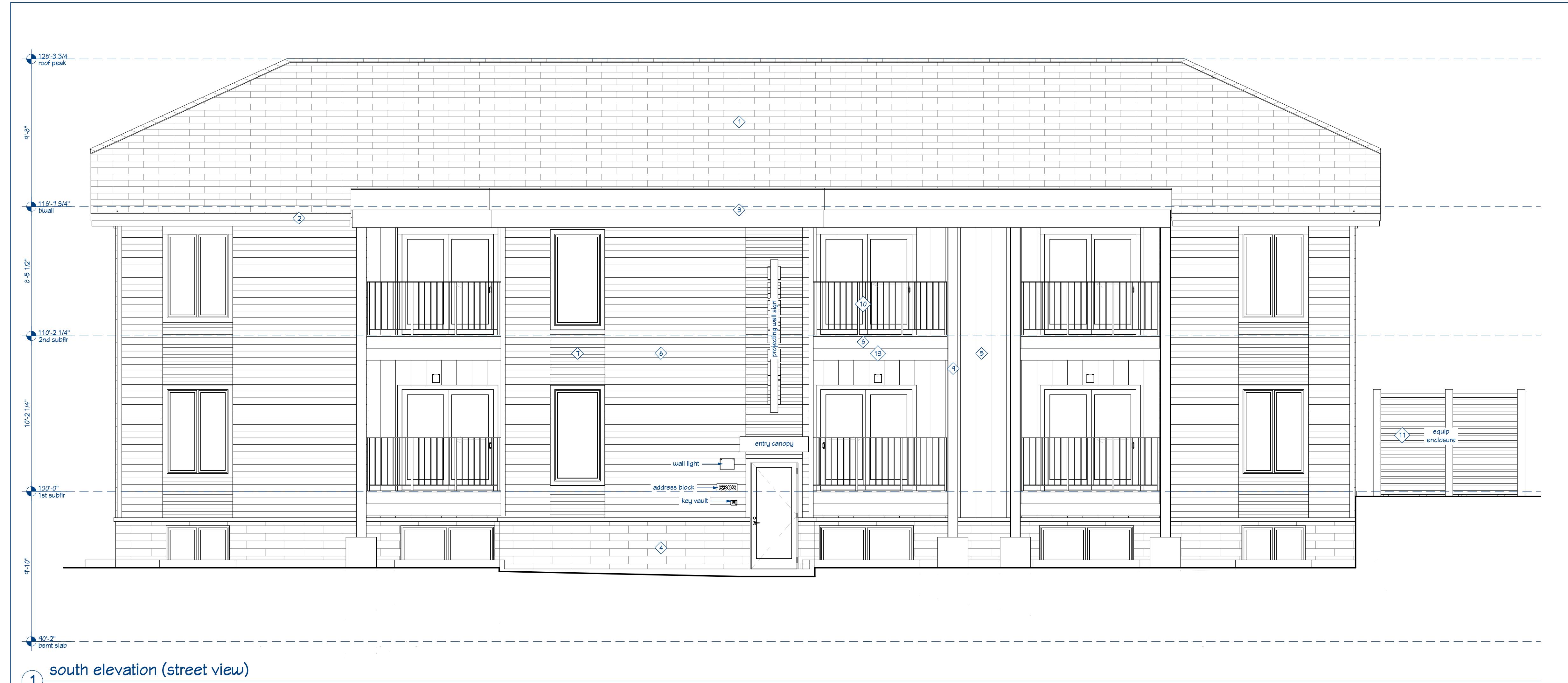
A4.3

print date: 6/4/2023
full size: ARCH D 24x36"



North

0 5 10 15 15 scale: 1/4" = 1'-0"



1 south elevation (street view)



2 north elevation

exterior elevations

0 5 10 15 scale: 1/4" = 1'-0"

print date: 8/4/2023

full size: ARCH D 24x36

Redevelopment for Smart Stay Apartment Hotel LLC

6302 Odana Rd, Madison, WI, 53719

A5.0

exterior elevation notes
 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
 2. Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements.
 3. Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

exterior material and feature key

asphalt shingles
hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit
flat roof eave assembly: aluminum gutter composite shadow board, fascia, and vented soffit
masonry veneer: adhered dimensional stone with wall caps and opening sills
vertical siding: concealed fastener formed metal wall panel, 12" exposure
horizontal siding: concealed fastener formed metal wall panel, 5" exposure
horizontal accent siding: exposed fastener formed metal wall panel, 1/8" pitch corrugation
deck fascia: wood composition trim
architecturally exposed structural steel: deck and flat roof column supports and roof beams
rail system: aluminum with stainless steel cable infill
equipment enclosure fence: CityScape® Gorilla fence system, 7.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure
architecturally exposed structural steel: deck and flat roof columns
treated glulam: deck and flat roof beams

Bouri Design Studio, LLC
579 Donofrio Drive, Suite 16, Madison, Wisconsin
53719
608-633-3400 www.bouridesign.com

Plan Commission
Review
not for construction

print date: 8/4/2023

full size: ARCH D 24x36



1 east elevation



2 west elevation

A5.1

exterior elevations

exterior elevation notes
 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
 2. Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements.
 3. Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

exterior material and feature key

asphalt shingles
hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit
flat roof eave assembly: aluminum gutter composite shadow board, fascia, and vented soffit
masonry veneer: adhered dimensional stone with wall caps and opening sills
vertical siding: concealed fastener formed metal wall panel, 12" exposure
horizontal siding: concealed fastener formed metal wall panel, 5" exposure
horizontal accent siding: exposed fastener formed metal wall panel, 1/8" pitch corrugation
deck fascia: wood composition trim
architecturally exposed structural steel: deck and flat roof column supports and roof beams
rail system: aluminum with stainless steel cable infill
equipment enclosure fence: Cityscape Gorilla fence system, 7.2 Rib metal infill panels, frame and hardware in Electric Black finish, infill panels in Oyster finish, this fence matches the dumpster enclosure
architecturally exposed structural steel: deck and flat roof columns
treated glulam: deck and flat roof beams

Plan Commission Review
 not for construction

Bouri Design Studio, LLC
 579 Donofrio Drive, Suite 16, Madison, Wisconsin
 608-633-3400 www.bouridesign.com

Redevelopment for Smart Stay Apartment Hotel LLC
 6302 Odana Rd, Madison, WI, 53719

revision index
 date reason
 6/4/23 Part 1
 6/4/23 plan comm rev

project #: 23002
 contact: Robert Lackore
 rob@bouridesign.com
 608-633-3400

print date: 6/4/2023
 full size: ARCH D 24x36"