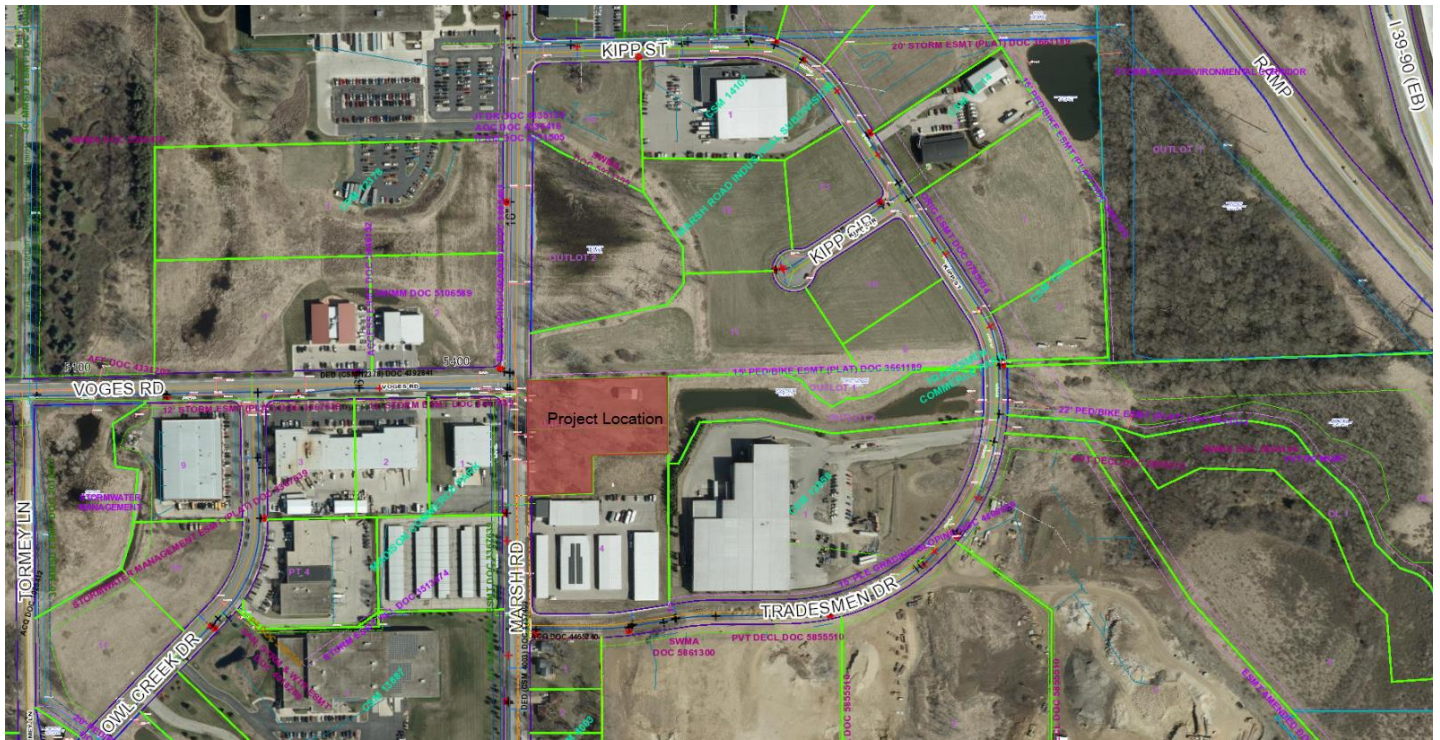


## **4001-4005 Marsh Road CSM**

Project: 15470, Contract: 9592

Entity: 4005 Marsh Road, LLC



The developer, 4005 Marsh Road, LLC, has been conditionally approved for a Certified Survey Map (CSM) to create one lot for future industrial development at 4001-4005 Marsh Road. The future development, which is a permitted use, is a proposed industrial building with approximately 15,500 sf with a parking lot.

The Developer Agreement shall cover:

- One-lot Certified Survey Map
- Dedication of 40-feet of right of way along the east side of the centerline of Marsh Road over the existing right of way and the additional area not previously subject to right of way.
- Construction of public sidewalk along Marsh Road adjacent to the project.
- Remove existing public terrace inlets and pipes no longer required.
- Storm sewer discharge into Kipp Street NW Public Pond (Outlot 2 of Tradesmen Commerce Park plat).
- Forestry to plant new trees after construction and bill developer.
- Pavement and concrete curb and gutter repairs as needed for existing driveway closures.
- Sidewalk ramps and pavement markings as required by Traffic Engineering for proper pedestrian connections.



# CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the NW ¼ of the SW ¼ of Section 26, T7N, R10E, City of Madison,  
Dane County, Wisconsin

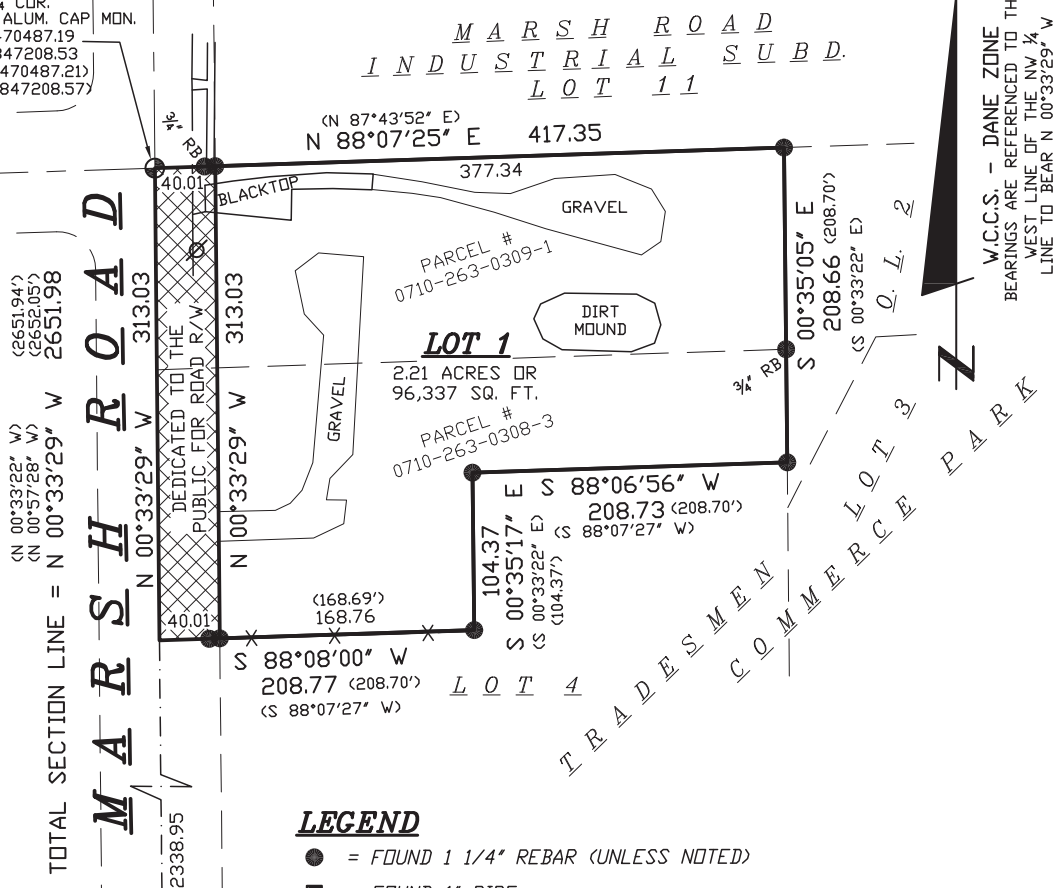
## PREPARED FOR:

TIM NEITZEL - OWNER  
C/O: CARLSON BLACK  
O'CALLAGHAN & BATTENBERG LLP  
222 W. WASHINGTON AVE  
MADISON, WI 53703

SCALE 1" = 100'



W ¼ COR.  
FD. ALUM. CAP MON.  
N. 470487.19  
E. 847208.53  
(N. 470487.21)  
(E. 847208.57)



W.C.S. - DANE ZONE  
BEARINGS ARE REFERENCED TO THE  
WEST LINE OF THE NW ¼  
LINE TO BEAR N 00°33'29" W

## LEGEND

● = FOUND 1 1/4" REBAR (UNLESS NOTED)

■ = FOUND 1" PIPE

⊙ = FOUND SECTION CORNER

(##) = RECORDED AS

Ø = UTILITY POLE

—X—X— = FENCE

SW COR.  
FD. BRASS CAP MON.  
N. 467835.33  
E. 847234.36  
(N. 467835.40)  
(E. 847234.10)

## NOTES:

1.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN LOCATED OR SHOWN.

2.) THIS SURVEY WAS PREPARED WITH A 60 YEAR TITLE REPORT BY FIRST AMERICAN TITLE ORDER NO. NCS-1158798-MAD. NOTES PERTAINING TO THIS TITLE ARE CONTINUED ON SHEET 4.

DOCUMENT NO. \_\_\_\_\_

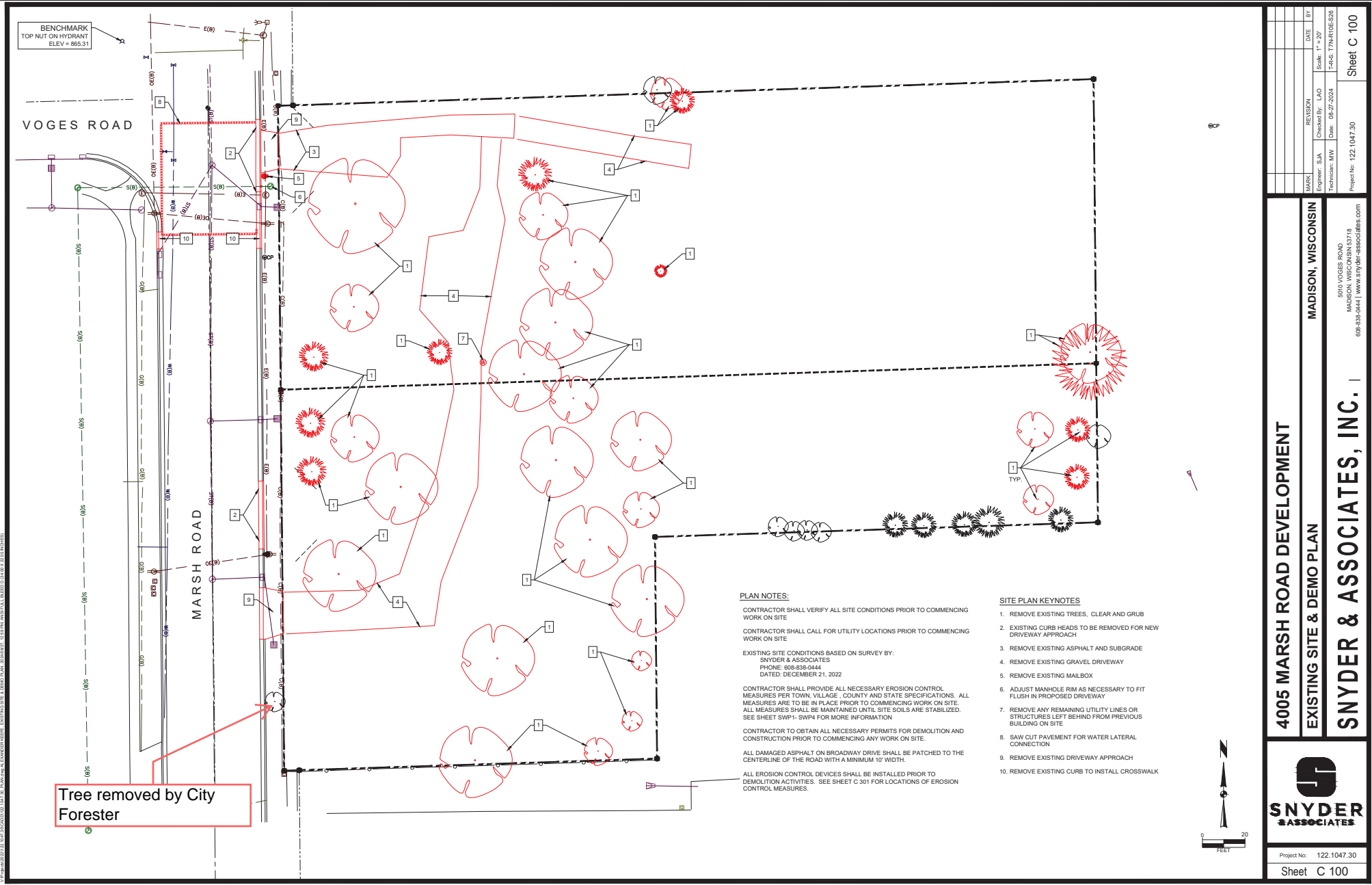
CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Sheet 1 of 4

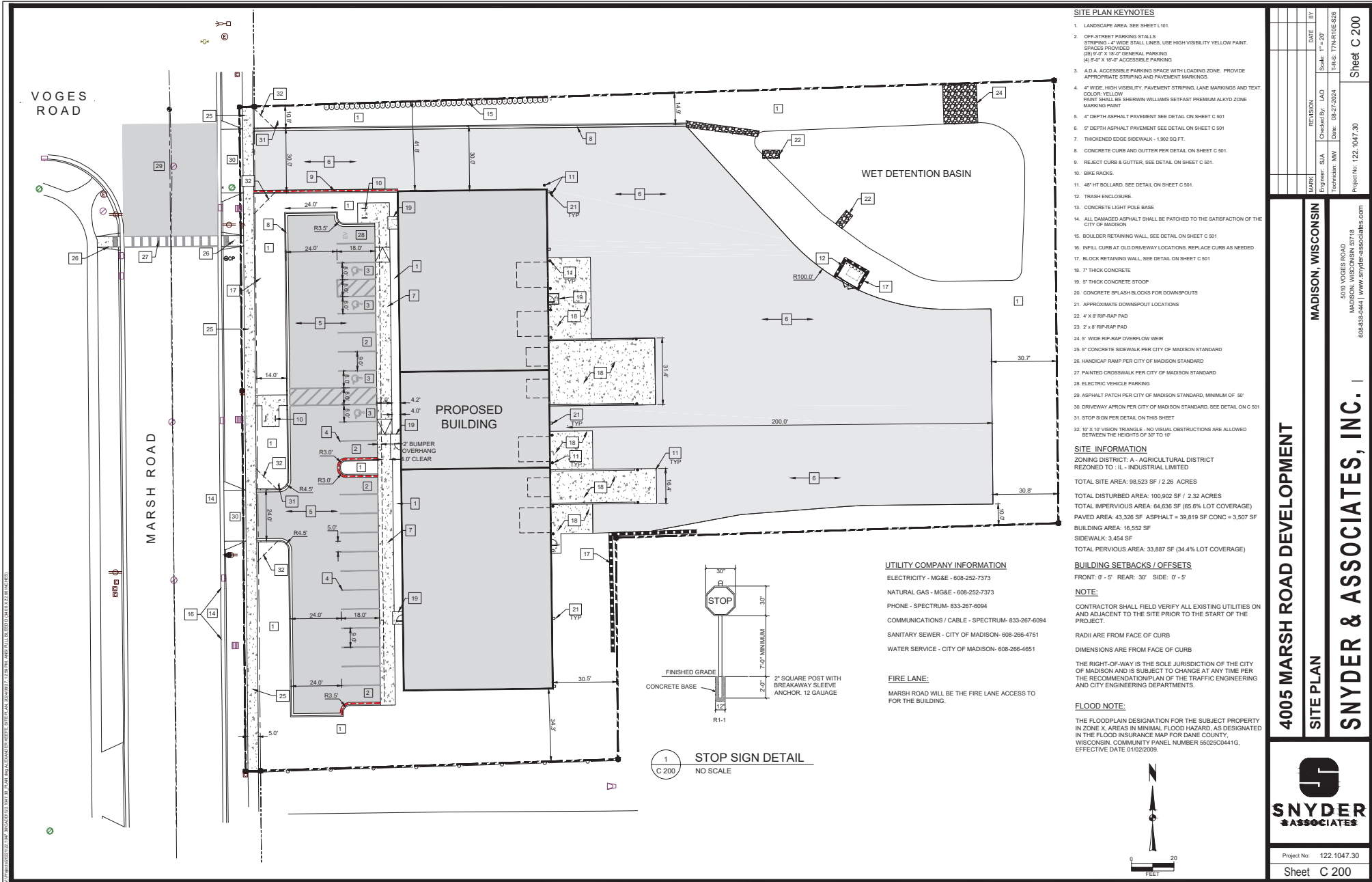
SURVEYORS SEAL

22W-476

Existing Site and Demo Plan



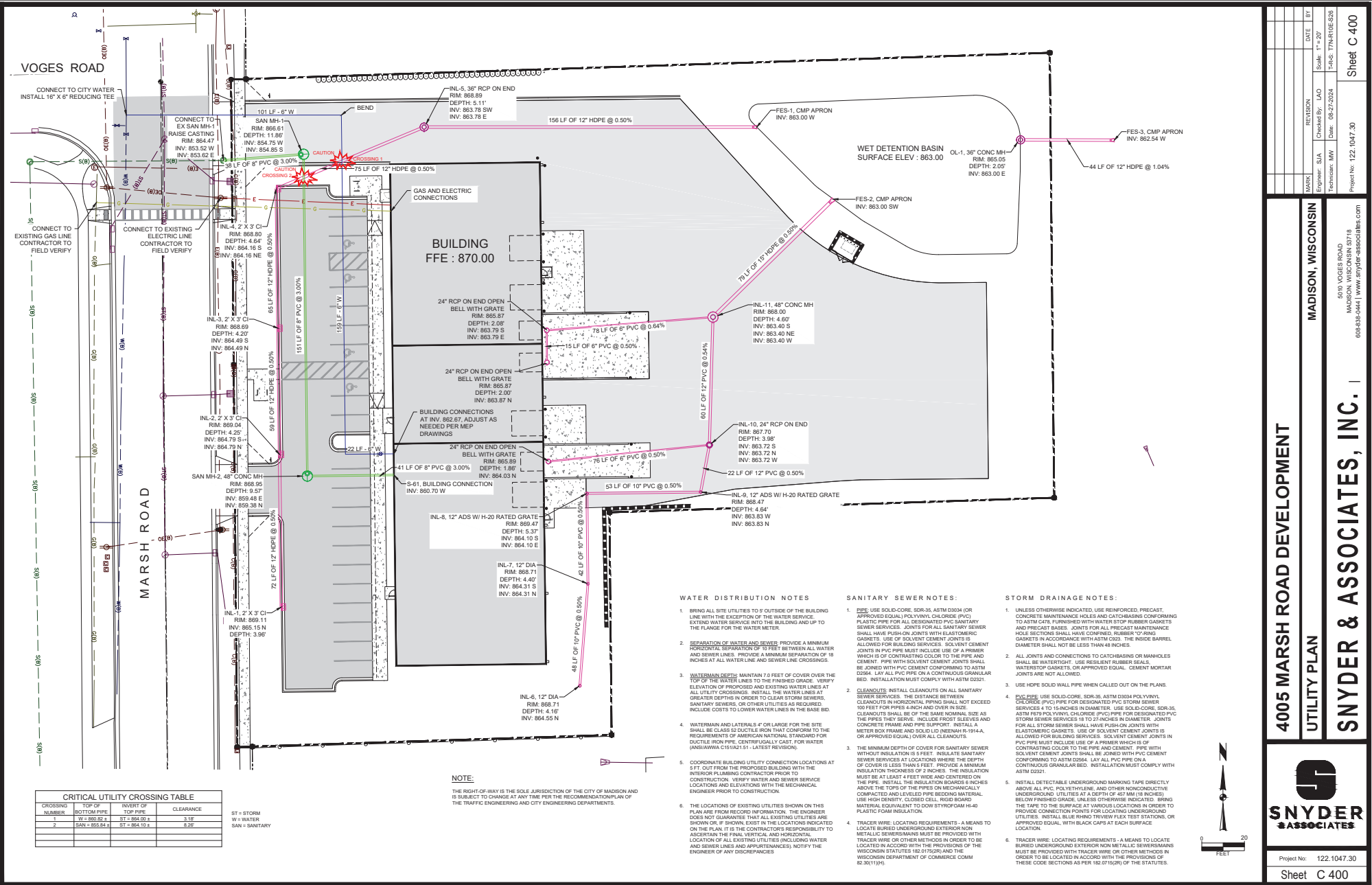
# Proposed Site Plan



- \*Sidewalk construction, crossing ramps, and pavement markings.
- \*Restoration of curb and gutter, pavement, terrace, and pavement markings as required.
- \*New tree plantings per City Forester.



Proposed Utility Plan



\*Private sanitary, water, and storm sewer connections into public infrastructure.