

# MIDTOWN RESERVE

WALDORF BLVD., MADISON, WI



## PROJECT DATA

LOCATION: WALDORF BOULEVARD  
LOT 2 CSM NO. 11859, VOL 72, P. 319  
MADISON, WI

REGULATING MUNICIPALITIES:  
CITY OF MADISON  
DANE COUNTY  
STATE OF WISCONSIN

BUILDING CODE:  
CITY OF MADISON ZONING ORDINANCES  
DANE COUNTY ZONING ORDINANCES  
WISCONSIN ADMINISTRATIVE CODE  
2015 INTERNATIONAL BUILDING CODE  
ACCESSIBILITY ANSI A117.1 - 2013

PROJECT DESCRIPTION:  
MULTI-STORY DEVELOPMENT CONSISTING OF  
THREE (3) STORIES OF R-2 OCCUPANCY  
ONE (1) LEVEL OF UNDER-BUILDING PARKING  
FULLY SPRINKLERED NFPA - 13R

**BUILDING AREA:**  
1st FLOOR = 12,250 SF - 11 DWELLING UNITS  
2nd FLOOR = 11,520 SF - 11 DWELLING UNITS  
3rd FLOOR = 11,462 SF - 11 DWELLING UNITS  
PARKING: 15,875 SF - 34 PARKING STALLS  
RESIDENTIAL TOTAL AREA = 25,232 SF - 33 TOTAL UNITS  
BUILDING TOTAL = 41,107 SF

GRADE PLANE:  
2.7' BELOW FIRST FLOOR ELEVATION (1091.3')

BUILDING HEIGHT: 50'-9"

## PROJECT LOCATION



### BUILDING LOCATION



**PROJECT CONTACTS:**

**OWNER:**  
**SHERRY YU**  
**ADDRESS**  
**CITY, ST ZIP**

**CONTACT:**  
**SHERRY YU**  
**PHONE**

**ARCHITECT:**  
**SKETCHWORKS ARCHITECTURE, LLC**  
**7780 ELMWOOD AVE., STE 208**  
**MIDDLETON, WI 53562**

**CONTACT:**  
**BRAD KONING (ARCHITECT)**  
**KIRK BIODROWSKI (DESIGNER)**  
**608-836-7570**

**GENERAL CONTRACTOR:**  
12 GAUGE CONSTRUCTION, LLC  
1223 W. LINDEN RD., #2  
IXONIA, WI 53036

**CONTACT:**  
**JIM WORTHINGTON**  
**262-468-4737**

**STRUCTURAL ENGINEER:**  
**MP-SQUARED STRUCTURAL ENGINEERS, LLC**  
**583 D'ONOFRIO DR., STE 201**  
**MADISON, WI 53719**

**CONTACT:**  
**MARK LINDLOFF**  
**608-821-4774**

**CIVIL ENGINEER / LANDSCAPE:**  
**JSD PROFESSIONAL SERVICES, INC.**  
**161 HORIZON DR., STE #101**  
**VERONA, WI 53593**

**CONTACT:**  
**KEVIN YESKA**  
**608-848-5060**

# PRELIMINARY

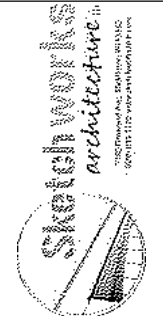
**MIDTOWN RESERVE**  
**NEW MULTI-TENANT**  
**WALDORF BLVD., MADISON, WI**

# COVER SHEET

### Project Status

[illegible]

UDC 0.1



# EXISTING CONDITIONS SURVEY

PART OF LOT 2 OF CERTIFIED SURVEY MAP No. 11895, RECORDED IN VOLUME 72, PAGES 319-324, AS DOCUMENT No. 4214790, ALSO LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



LOCALITY MAP  
SECTION 34, 1/4N, R8E,  
CITY OF MADISON  
SCALE 1"=500'

## LEGEND

- |                      |                            |                               |
|----------------------|----------------------------|-------------------------------|
| ● 1 1/4" REBAR FOUND | — PLAT BOUNDARY            | — UNDERGROUND TELEPHONE       |
| ● 3/4" REBAR FOUND   | --- CHORD LINE             | --- UNDERGROUND CABLE         |
| ● BENCHMARK          | --- CENTERLINE             | --- BUILDING                  |
| ● SIGN               | --- RIGHT-OF-WAY LINE      | --- WALL LINE                 |
| ● SANITARY MANHOLE   | --- SETBACK LINE           | --- INDEX CONTOUR             |
| ● HYDRANT            | --- SECTION LINE           | --- 874- INTERMEDIATE CONTOUR |
| ● WATER VALVE        | --- PROPERTY LINE          | --- SPOT ELEVATION            |
| ● STORM MANHOLE      | --- EASEMENT LINE          | --- CONCRETE PAVEMENT         |
| ● ROUND CASTED INLET | --- EDGE OF PAVEMENT       | --- CONCRETE PAVEMENT         |
| ● CURB INLET         | --- CONCRETE CURB & GUTTER | --- BUILDING                  |
| ● LIGHT POLE         | --- SANITARY SEWER         | --- END OF FLAGGED UTILITIES  |
| ● DECIDUOUS TREE     | --- WATER LINE             |                               |
| ● CONIFEROUS TREE    | --- STORM SEWER            |                               |

## NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 12-13, 2018.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 07 NORTH, RANGE 08 EAST, BEARS S89°16'05"W (RECORDED AS S 89°16'08" W).
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE SOUTHEAST CORNER OF SECTION 34, T7N, R8E, ELEVATION = 1120.69'
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No's. 20182315125, 20182315081, 20182315061, 20182315039 WITH A CLEAR DATE OF JUNE 11, 2018.
- UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:  
CITY OF MADISON  
MGE (ELECTRIC AND GAS)  
FRONTIER COMMUNICATIONS  
ALLIANT ENERGY (ELECTRIC AND GAS)  
CHARTER COMMUNICATIONS  
TDS TELECOM - VERONA
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.

## LEGAL DESCRIPTION

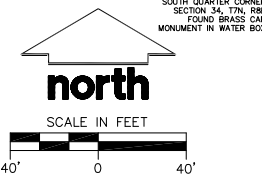
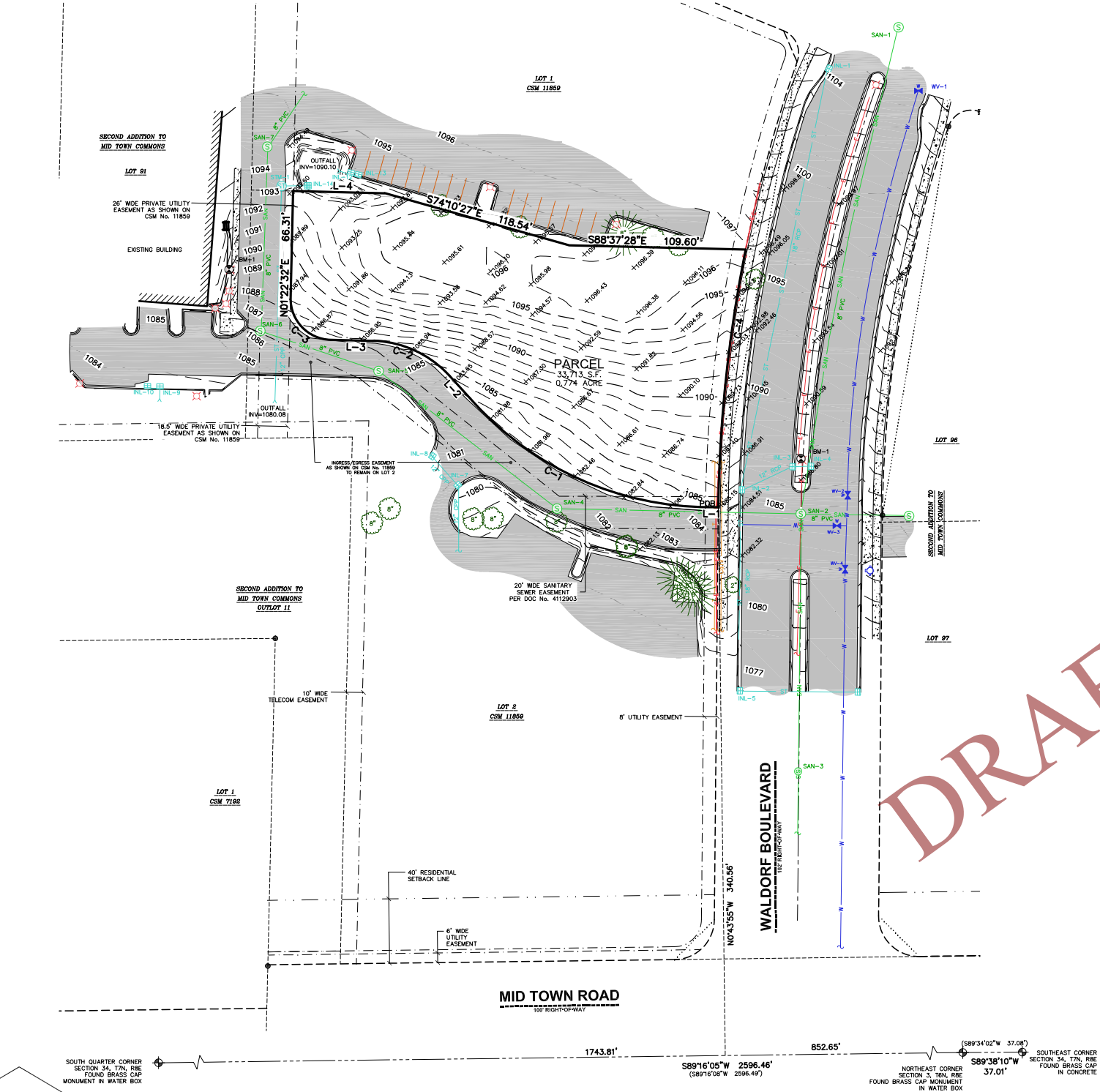
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## SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878  
PROFESSIONAL LAND SURVEYOR

DATE



STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	1103.88	S	1100.38	18"	RCP
		N	1100.38	18"	RCP
		E	1100.38	18"	RCP
INL-2	1085.02	S	1081.02	18"	RCP
		N	1081.07	18"	RCP
		NE	1081.29	12"	RCP
INL-3	1086.82	SW	1082.14	12"	RCP
		E	1082.20	12"	RCP
		W	1082.33	12"	RCP
INL-4	1086.77	E	1082.67	12"	RCP
		S	1070.44	18"	RCP
		N	1070.58	18"	RCP
INL-5	1075.68	N	1070.58	18"	RCP
		E	1070.88	12"	RCP
		S	1074.24	12"	CPP
INL-7	1079.64	NW	1076.29	12"	CPP
		SE	1077.44	12"	CPP
		W	1089.95	12"	CPP
INL-8	1081.14	SE	1077.44	12"	CPP
		W	1089.95	12"	CPP
		W	1089.95	12"	CPP

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	1106.28	S	1093.53	8"	PVC
		W	1093.53	8"	PVC
		N	1095.53	8"	PVC
SAN-2	1084.81	E	1093.62	8"	PVC
		S	1073.60	8"	PVC
		W	1073.74	8"	PVC
SAN-4	1081.26	N	1073.76	8"	PVC
		E	1073.76	8"	PVC
		W	1074.24	8"	PVC
SAN-5	1085.92	NW	1074.43	8"	PVC
		SE	1075.50	8"	PVC
		NW	1075.94	8"	PVC
SAN-6	1086.62	SE	1076.54	8"	PVC
		N	1076.70	8"	PVC
		S	1080.63	8"	PVC
SAN-7	1094.59	NE	1080.77	8"	PVC
		S	1080.77	8"	PVC
		NE	1080.77	8"	PVC

STORM SEWER MANHOLE					
MANHOLE ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	1093.32	S	1084.53	12"	CPP
		E	1084.53	12"	CPP

WATER VALVES					
VALVE No.	SIZE	RIM ELEVATION	INVERT	TOP NUT ELEVATION	PIPE INVERT
WV-1	8"	1104.58	TN	1098.88	1096.73
WV-2	8"	1085.37	TN	1080.77	1078.62
WV-3	8"	1084.03	TN	1078.73	1076.58
WV-4	8"	1081.87	TN	1076.37	1074.22

TN=TOP NUT OF WATER VALVE

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	1088.33	CHISELED SQUARE ON NORTHWEST CORNER OF LIGHT POLE BASE IN WALDORF BLVD MEDIAN
BM-2	1093.30	CHISELED SQUARE ON NORTHWEST CORNER OF LIGHT POLE BASE WEST OF SITE

\*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C-1	163.66'	198.50'	86.80'	47°14'18"	159.06'	N66°03'43"W
C-2	53.60'	66.50'	28.35'	46°10'50"	52.16'	N65°32'00"W
C-3	40.05'	25.50'	25.50'	89°59'32"	36.06'	N43°37'28"W
C-4	161.16'	876.00'	80.81'	10°32'26"	160.93'	S6°04'23"W

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N89°40'54"W	5.92'
L-2	N42°26'33"W	23.26'
L-3	N88°37'28"W	26.24'
L-4	S88°37'28"E	57.42'



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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:

SCHETCHWORKS  
ARCHITECTURE, LLC.

CLIENT ADDRESS:

7780 ELMWOOD AVE, STE 208  
MIDDLETON, WI 53562

PROJECT:

WALDORF  
APARTMENTS

PROJECT LOCATION:

CITY OF MADISON, WI  
DANE COUNTY



Design/Drawn: ZMR  
Approved: TJB

SHEET TITLE:

EXISTING  
CONDITIONS  
SURVEY

MAP NO: D-\*

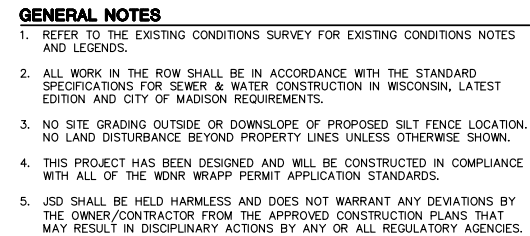
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1 OF 1

JSD PROJECT NO:

18-0633

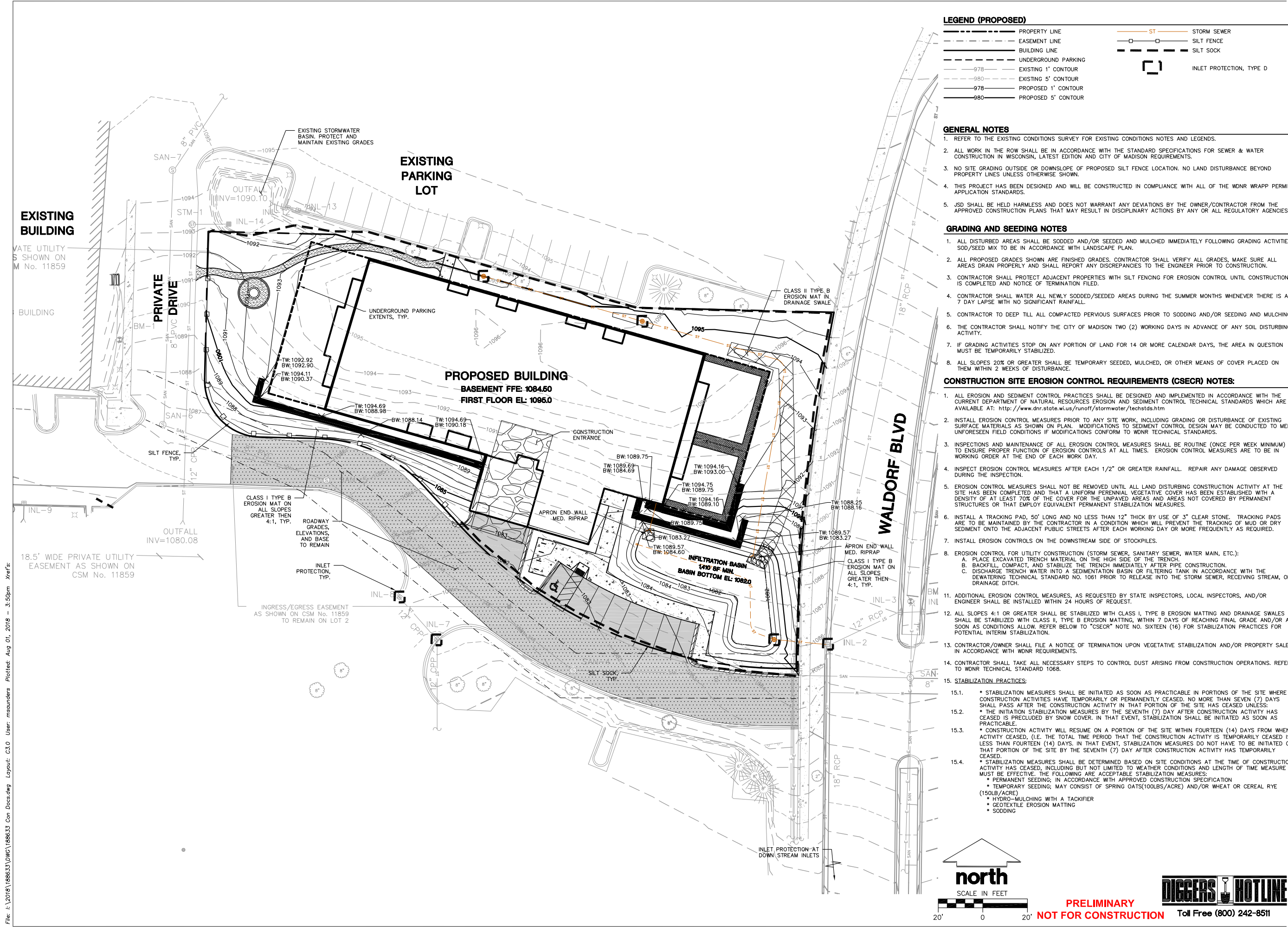




1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
11. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER MUNICIPALITY SPECIFICATIONS.

## DIGGERS HOTLINE





**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

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**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:

CLIENT ADDRESS:  
**7780 ELMWOOD AVE, SUITE 208  
MIDDLETON, WI 53562**

PROJECT:  
**MIDTOWN RESERVE  
APARTMENTS**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.18.18	UDC INFORMATIONAL SUBMITTAL
2	08.01.18	PRICING SET
3		
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Design/Drawn:  
Approved:

SHEET TITLE:  
**GRADING AND EROSION  
CONTROL PLAN**

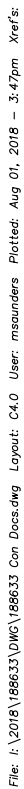
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JSD PROJECT NO: 18-0633

PRELIMINARY  
NOT FOR CONSTRUCTION

**Toll Free (800) 242-8511**



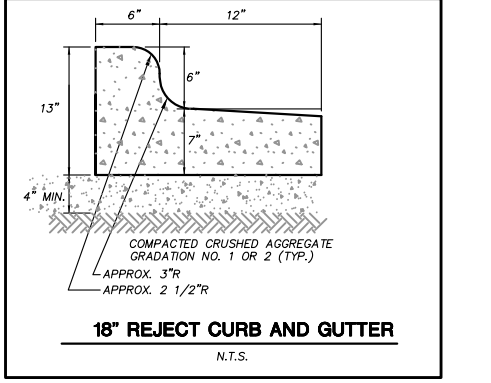
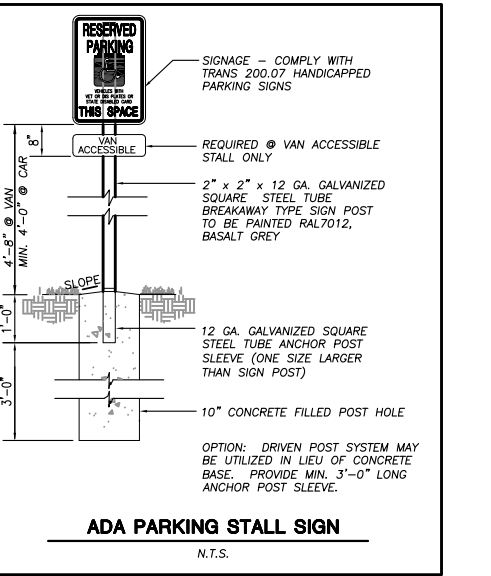
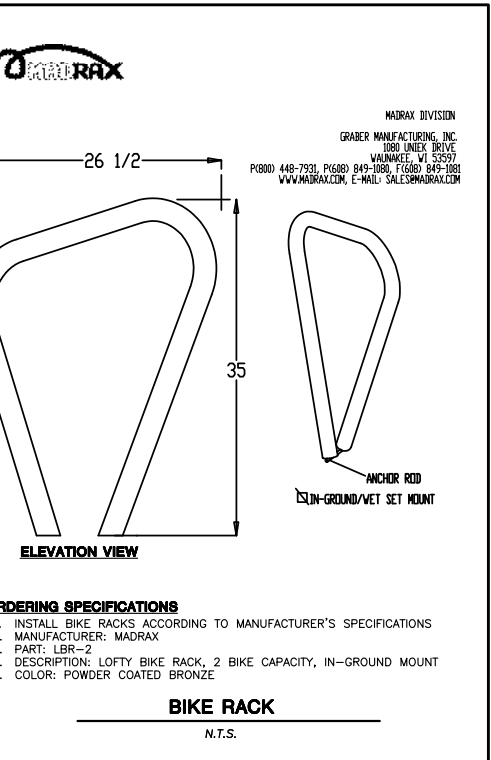
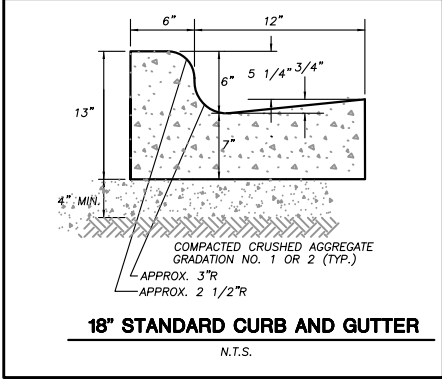
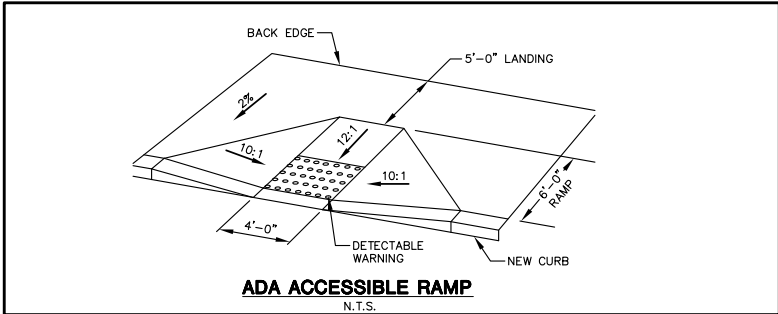
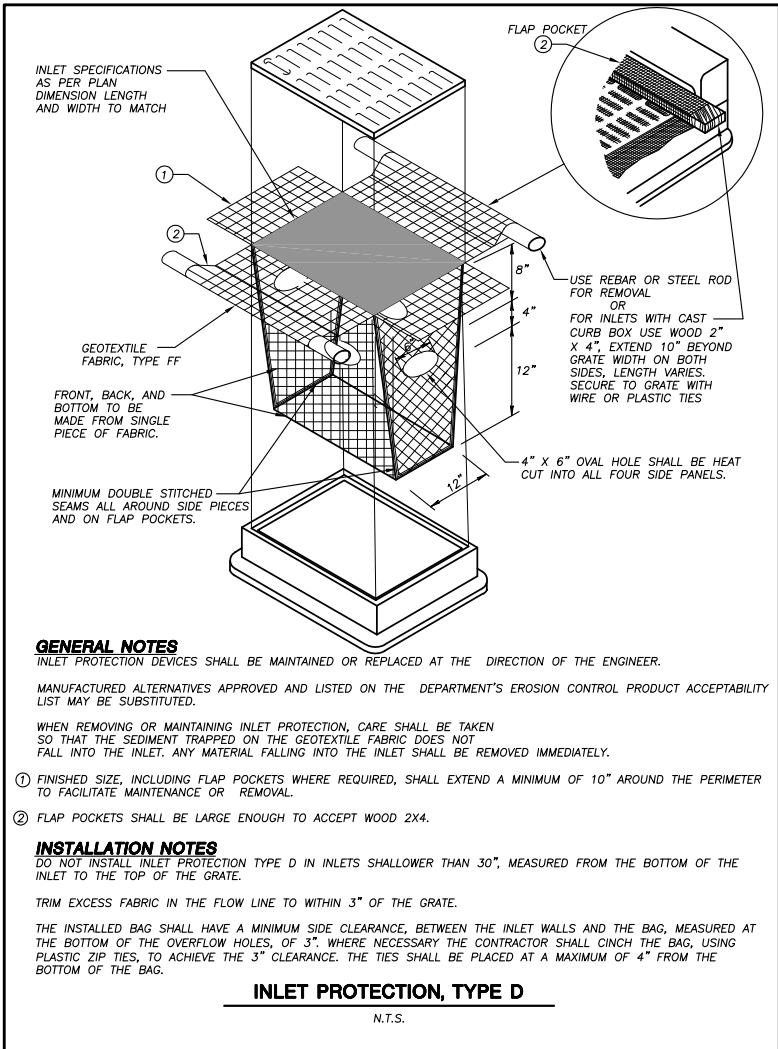
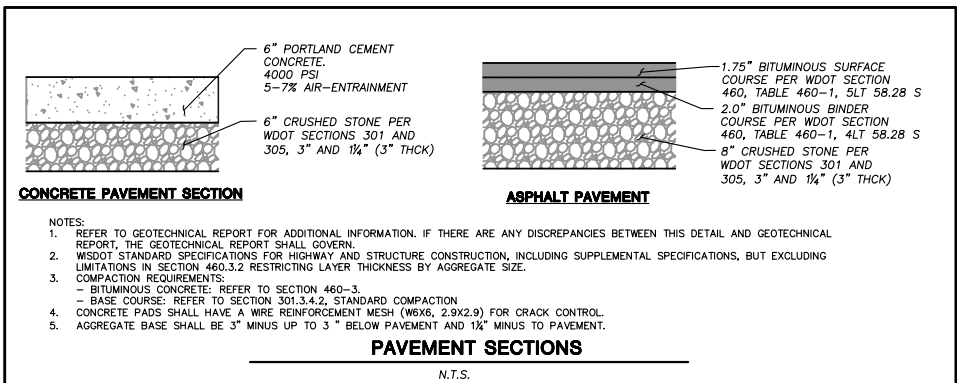
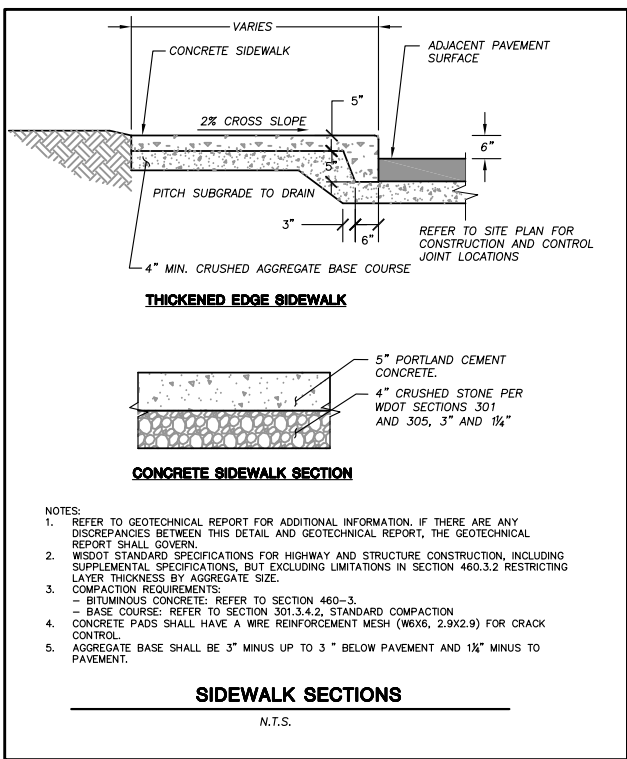
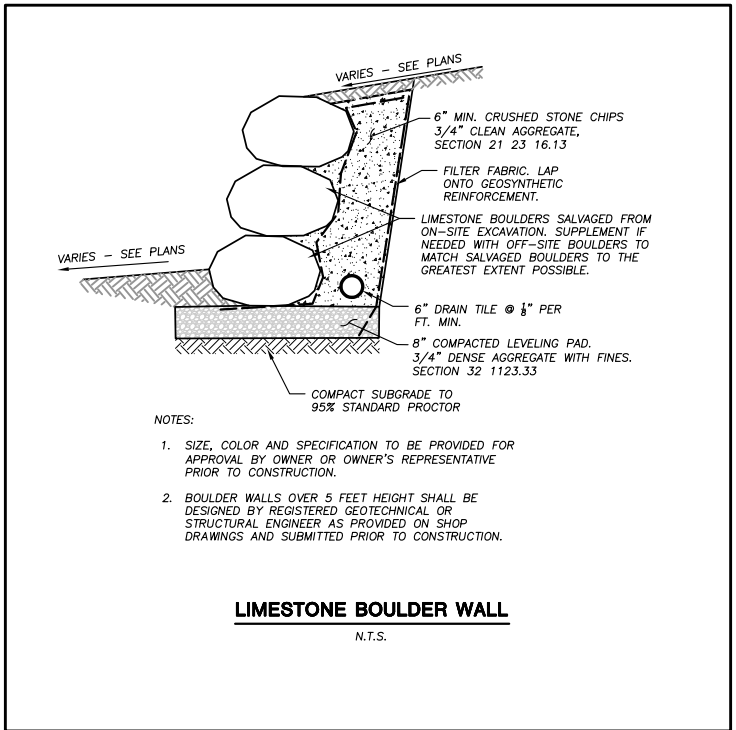
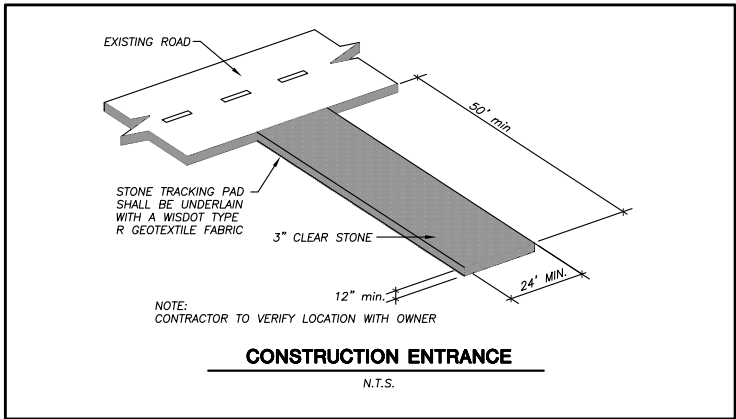
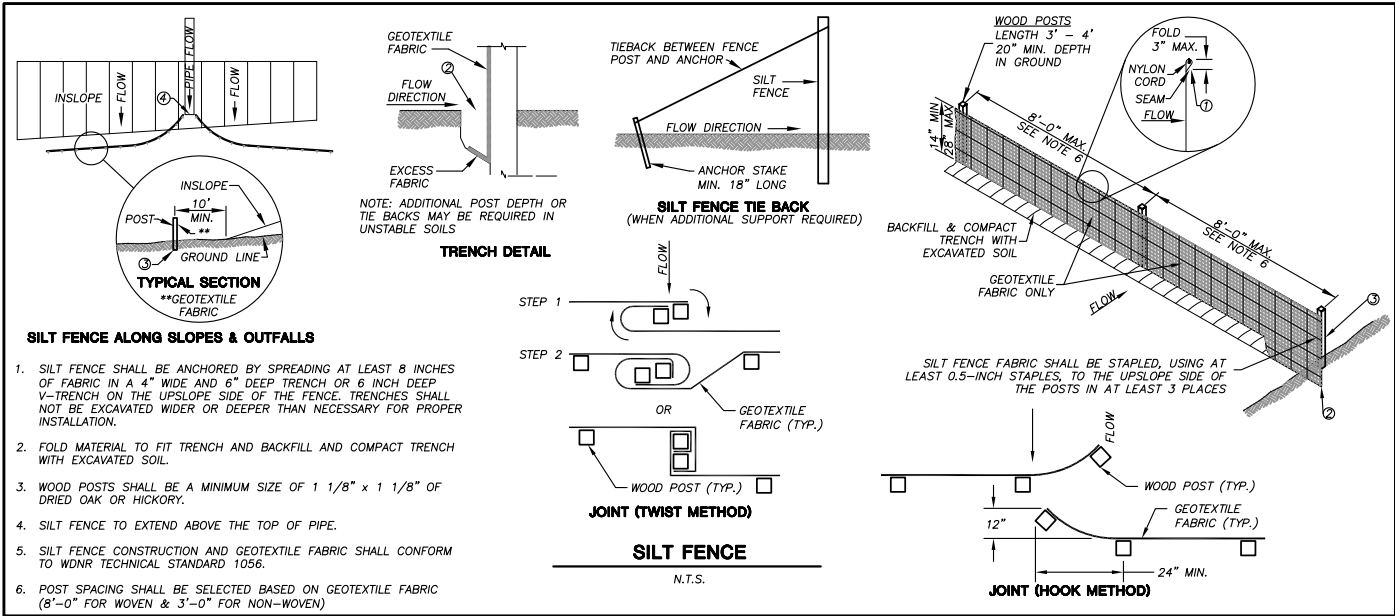


1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.



**ON Toll Free (800) 242-8511**

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CREATE THE VISION TELL THE STORY

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KENOSHA APPLETON WAUSAU

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:  
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**DANE COUNTY**

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Design/Drawn:  
Approved:

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:

**C5.0**

JSD PROJECT NO: 18-0633

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

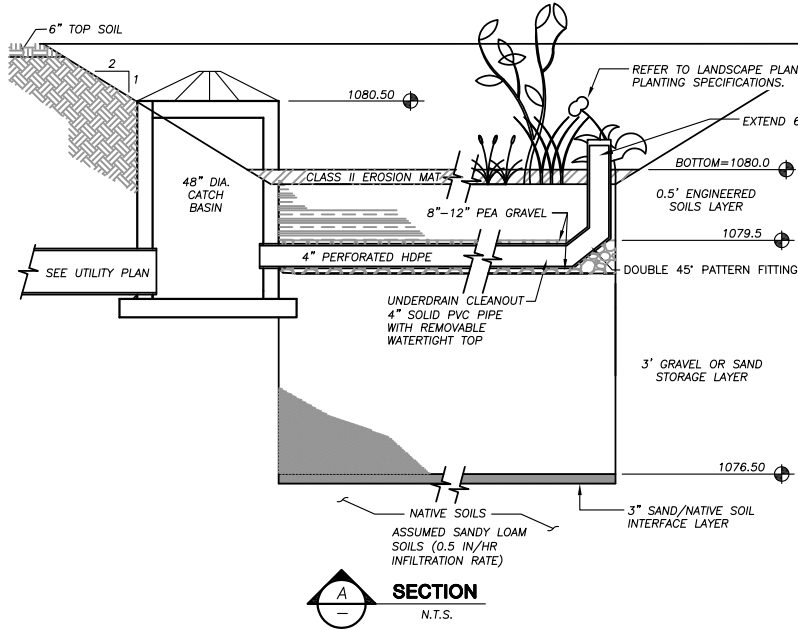


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CONTRACTOR SHALL VERIFY APON EXCAVATION OF INFILTRATION BASIN THAT NATIVE SOIL TYPE NOTED ABOVE WAS REACHED. VERIFICATION DOCUMENT SHALL BE PROVIDED TO ENGINEER BY PROFESSIONAL SOIL TESTER, GEOTECHNICAL ENGINEER OR OTHER AUTHORIZED PROFESSIONAL.

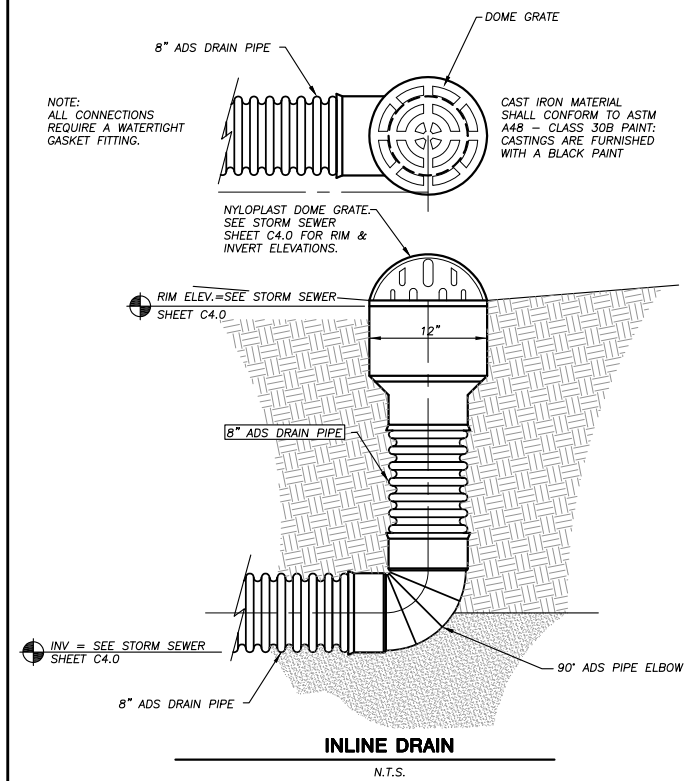
#### INFILTRATION BASIN

N.T.S.

#### GENERAL NOTES:

- CONTRACTOR SHALL VERIFY APON EXCAVATION OF INFILTRATION BASIN THAT NATIVE SOIL TYPE NOTED WAS REACHED. VERIFICATION DOCUMENT SHALL BE PROVIDED TO ENGINEER BY PROFESSIONAL SOIL TESTER, GEOTECHNICAL ENGINEER OR OTHER AUTHORIZED PROFESSIONAL.
- CONTRACTOR SHALL INSTALL 6" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND AND 15% CERTIFIED COMPOST (SEE GENERAL NOTE 2).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- CONFIRM WITH GEOTECHNICAL ENGINEER THAT THE CORRECT SOIL PROFILE WITH INFILTRATION RATE AS INTENDED HAS BEEN REACHED PRIOR TO BACKFILLING THE INFILTRATION BASIN.
- IF ADDITIONAL EXCAVATION IS REQUIRED TO REACH THE CORRECT SOIL PROFILE, THE BACKFILL USED TO RETURN THE BOTTOM OF THE BASIN TO THE ENGINEERED SOIL LAYER ELEVATION MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE BOTTOM OF THE INFILTRATION BASIN AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIOTENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIOTENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



#### INLINE DRAIN

N.T.S.

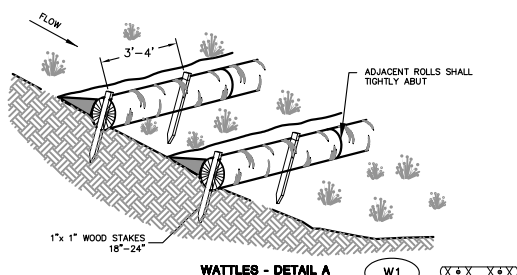
#### DETAIL A NOTES:

INSTALLATION:  
WHEN INSTALLING RUNNING LENGTHS OF WATTLES, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST, DO NOT OVERLAP THE ENDS. STAKE THE WATTLES AT EACH END AND FOUR FOOT ON CENTER. FOR EXAMPLE:

- A 25 FOOT WATTLE USES 6 STAKES
- A 20 FOOT WATTLE USES 5 STAKES
- A 12 FOOT WATTLE USES 4 STAKES

STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2 - 3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE. A HEAVY SEDIMENT LOAD WILL TEND TO PICK THE WATTLE UP AND COULD PULL IT OFF THE STAKES IF THEY ARE DRIVEN DOWN TOO LOW. IT MAY BE NECESSARY TO MAKE A HOLE IN THE WATTLE WITH A PICK END OF YOUR MADDOCK IN ORDER TO GET THE STAKE THROUGH THE STRAW. WHEN STRAW WATTLES ARE USED FOR FLAT GROUND APPLICATIONS, DRIVE THE STAKES STRAIGHT DOWN; WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.

DRIVE THE FIRST END STAKE OF THE SECOND WATTLE AT AN ANGLE TOWARD THE FIRST WATTLE IN ORDER TO HELP ABUT THEM TIGHTLY TOGETHER. IF YOU HAVE DIFFICULTY DRIVING THE STAKE INTO EXTREMELY HARD OR ROCKY SLOPES, A PILOT BAR MAY BE NEEDED TO BEGIN THE STAKE HOLE.



#### WATTLES - DETAIL A

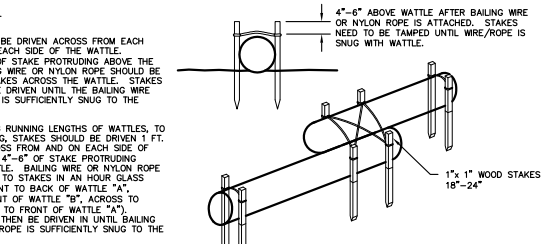
W1

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#### DETAIL B NOTES:

INSTALLATION:  
STAKES SHOULD BE DRIVEN ACROSS FROM EACH OTHER AND ON EACH SIDE OF THE WATTLE, LEAVING 4"-6" OF STAKE PROTRUDING ABOVE THE WATTLE. BAILING WIRE OR NYLON ROPE SHOULD BE TIED TO THE STAKES ACROSS THE WATTLE. STAKES SHOULD THEN BE DRIVEN UNTIL THE BAILING WIRE OR NYLON ROPE IS SUFFICIENTLY SNUG TO THE WATTLE.

WHEN INSTALLING RUNNING LENGTHS OF WATTLES, TO PREVENT SHIFTING, STAKES SHOULD BE DRIVEN 1 FT. FROM END, ACROSS FROM AND ON EACH SIDE OF WATTLE LEAVING 4"-6" OF STAKE PROTRUDING ABOVE THE WATTLE. BAILING WIRE OR NYLON ROPE SHOULD BE TIED TO STAKES IN AN HOUR GLASS FORMATION (FRONT TO BACK OF WATTLE "A", ACROSS TO FRONT OF WATTLE "B", ACROSS TO BACK AND BACK TO FRONT OF WATTLE "A"). STAKES SHOULD THEN BE DRIVEN IN UNTIL BAILING WIRE OR NYLON ROPE IS SUFFICIENTLY SNUG TO THE WATTLE.



#### WATTLES - DETAIL B

W2

#### GENERAL WATTLE INSTALLATION NOTES:

- THE LOCATION AND LENGTH OF WATTLE IS DEPENDENT ON THE CONDITIONS OF EACH SITE.
- WATTLES SHALL BE INSTALLED PRIOR TO ANY LAND-RESTORING ACTIVITIES.
- WATTLES SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
- NOT FOR USE IN CONCENTRATED FLOW AREAS.
- THE WATTLES SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
- WATTLES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT DOWNWARD ANGLE AT THE END OF THE ROW IN ORDER TO PREVENT PONDING AT THE MID SECTION.
- RUNNING LENGTHS OF WATTLES SHOULD BE ABUTTED FIRMLY TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
- SPACING - DOWNSLOPE:  
VERTICAL SPACING FOR SLOPE INSTALLATIONS SHOULD BE DETERMINED BY SITE CONDITIONS. SLOPE GRADIENT AND SOIL TYPE ARE THE MAIN FACTORS. A GOOD RULE OF THUMB IS:  
1:1 SLOPES = 10 FEET APART  
2:1 SLOPES = 20 FEET APART  
3:1 SLOPES = 30 FEET APART  
4:1 SLOPES = 40 FEET APART, ETC.

HOWEVER, ADJUSTMENTS MAY HAVE TO BE MADE FOR THE SOIL TYPE: FOR SOFT, LOAMY SOILS - ADJUST THE ROWS CLOSER TOGETHER; FOR HARD, ROCKY SOILS - ADJUST THE ROWS FURTHER APART. A SECONDARY WATTLE PLACED BEHIND THE ABUTMENT OF TWO WATTLES IS ENCOURAGED ON STEEP SLOPES OR WHERE JOINTS HAVE FAILED IN THE PAST.

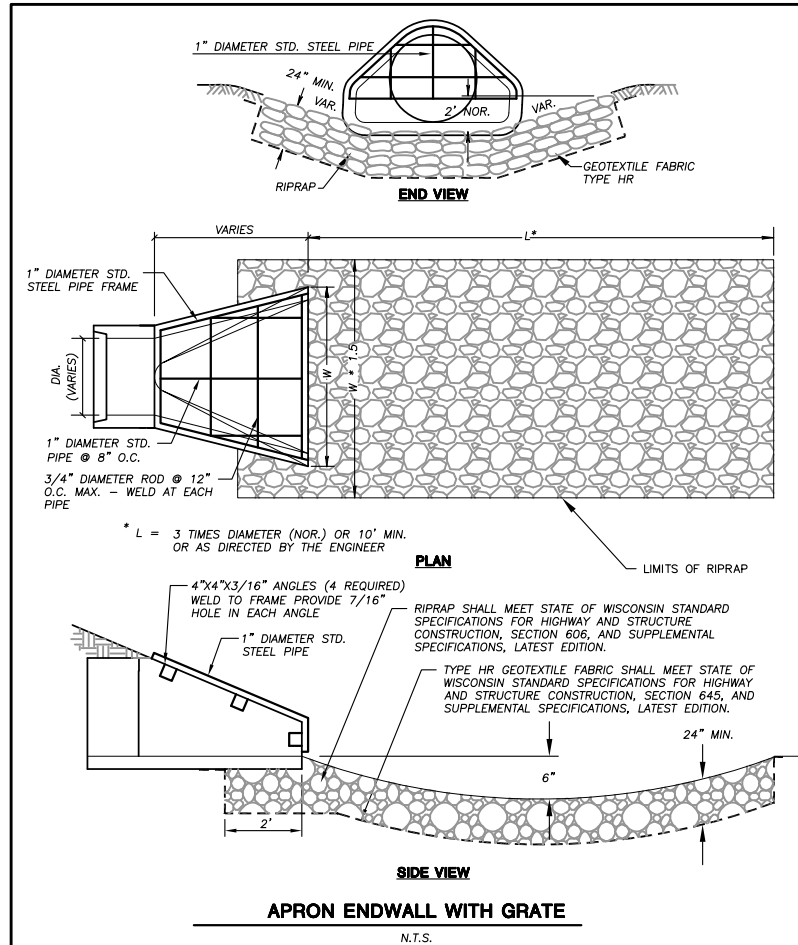
10. STAKING: THE CITY RECOMMENDS USING WOOD STAKES TO SECURE THE WATTLES. 1/2" TO 5/8" REBAR IS ALSO ACCEPTABLE. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE SEVERAL INCHES ABOVE THE WATTLE. 18" IS A GOOD LENGTH FOR HARD, ROCKY SOIL. FOR SOFT LOAMY SOIL, USE A 24" STAKE.

#### SILT SOCK

N.T.S.

#### PAVEMENT SETUP

W3



#### APRON ENDWALL WITH GRATE

N.T.S.

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P. 608.848.5060

CLIENT:



CLIENT ADDRESS:  
7780 ELMWOOD AVE, SUITE 208  
MIDDLETON, WI 53562

PROJECT:  
MIDTOWN RESERVE  
APARTMENTS

PROJECT LOCATION:  
CITY OF MADISON, WI  
DANE COUNTY

#### PLAN MODIFICATIONS:

#	Date	Description
1	07.18.18	UDC INFORMATIONAL SUBMITTAL
2	08.01.18	PRICING SET
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Design/Drawn:  
Approved:

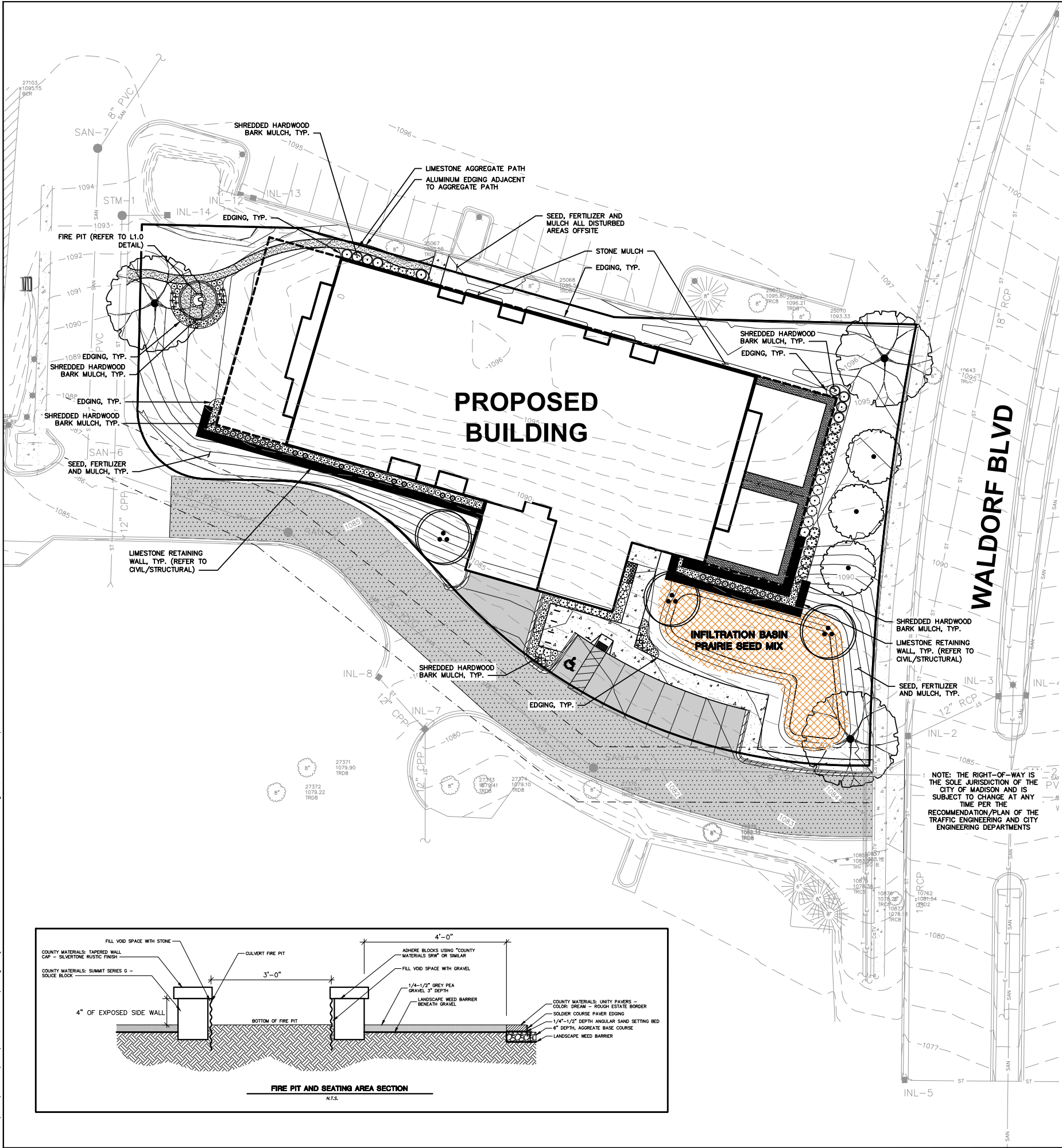
SHEET TITLE:  
DETAILS

SHEET NUMBER:

C5.1

JSD PROJECT NO:

18-0633  
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**LEGEND (LANDSCAPE PLAN)**

---	PROPERTY LINE	---	BUILDING OUTLINE
---	RIGHT-OF-WAY	---	EDGE OF PAVEMENT
---	EASEMENT LINE	---	STANDARD CURB AND GUTTER
---	EXISTING STORM SEWER	---	REJECT CURB AND GUTTER
---	EXISTING SANITARY SEWER	---	CONCRETE PAVEMENT
---	EXISTING WATER SERVICE	---	ASPHALT PAVEMENT
---	EXISTING FIBER OPTIC	---	CONCRETE RETAINING WALL
---	EXISTING GAS	---	BOULDER RETAINING WALL
---	EXISTING 1 FOOT CONTOUR	---	RAILING
---	EXISTING 5 FOOT CONTOUR	---	LANDSCAPE EDGING
---	PROPOSED 1 FOOT CONTOUR	---	INFILTRATION BASIN SEED MIX
---	PROPOSED 5 FOOT CONTOUR	---	ADA PARKING BOLLARDS/SIGNS
---	PROPOSED SANITARY SEWER	---	BIKE RACK
---	PROPOSED STORM SEWER	---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	PROPOSED WATER SERVICE		

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY/TOWN/VILLAGE OF (BLANK) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
  - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
  - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
  - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

**PLANT SCHEDULE DEVELOPED**

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AF	3	Acer rubrum 'Frank Jr.' / Redpointe Maple	B & B	2.5" Cal	35
	BH	3	Betula nigra 'Heritage' / Heritage River Birch	B & B	2" Cal (Multi-Stem)	35
	QR	3	Quercus rubra / Red Oak	B & B	2.5" Cal	35
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	DS	15	Diervilla sessilifolia / Bush-honeysuckle	3 gal	Min. 12"-24"	3
	HL	10	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3 gal	Min. 12"-24"	3
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	JP	6	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	3 gal	Min. 12"-24"	4
	TG	9	Taxus x media 'Dark Green' / Dark Green Yew	3 gal	Min. 12"-24"	4
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	CK	20	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 gal	Min. 8"-18"	2
	PS	51	Panicum virgatum 'Shenandoah' / Switch Grass	3 gal	3 Gal	2
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	HA	23	Hemerocallis x 'Chicago Apache' / Daylily	1 gal	Min. 8"-18"	2
	HB	5	Heuchera americana 'Berry Timeless' / Berry Timeless Coral Bells	1 gal	Min. 8"-18"	2
	NJ	8	Nepeta x 'faassenii' 'Junior Walker' / Junior Walker Catmint	1 gal	Min. 8"-18"	2
	SA	25	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal	Min. 8"-18"	2

**north**

SCALE IN FEET

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P. 608.848.5060

CLIENT:

**Sketchworks**  
architecture

CLIENT ADDRESS:  
**7780 ELMWOOD AVE, SUITE 208  
MIDDLETON, WI 53562**

PROJECT:  
**MIDTOWN RESERVE APARTMENTS**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

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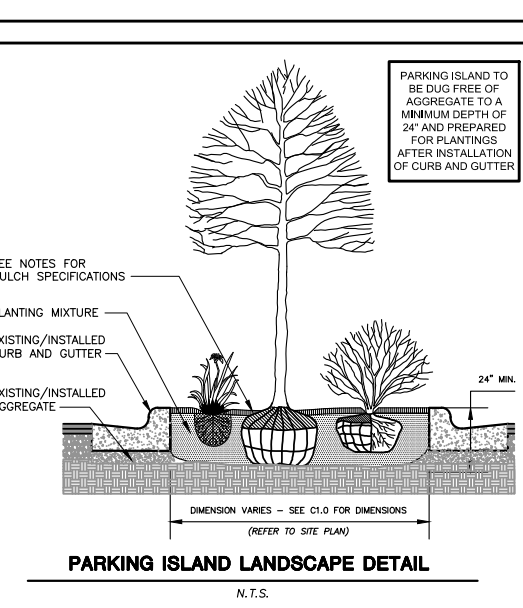
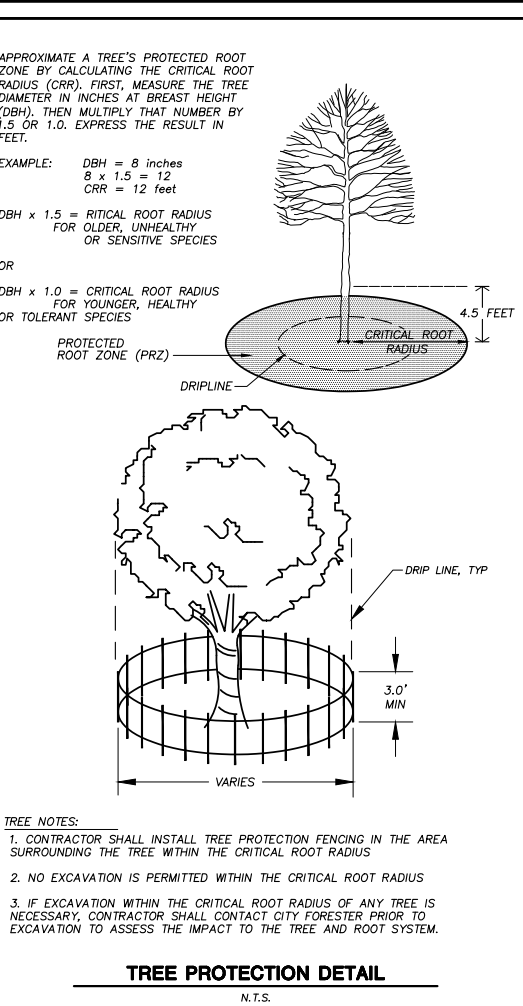
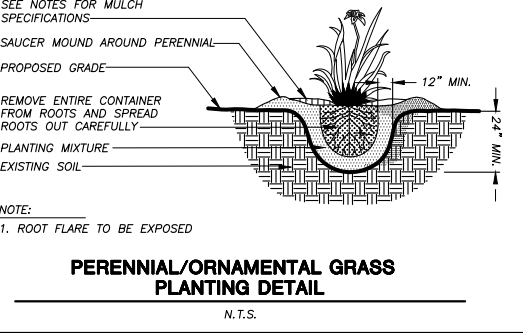
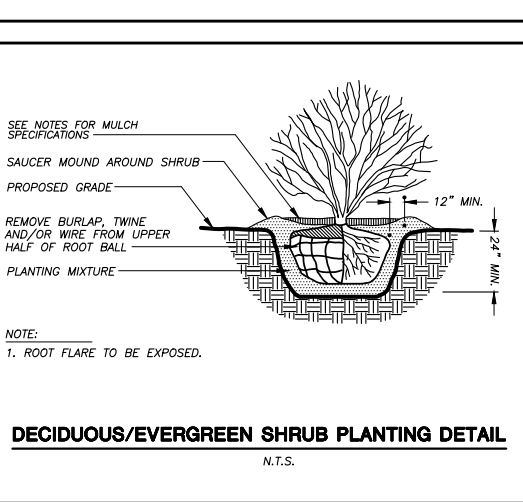
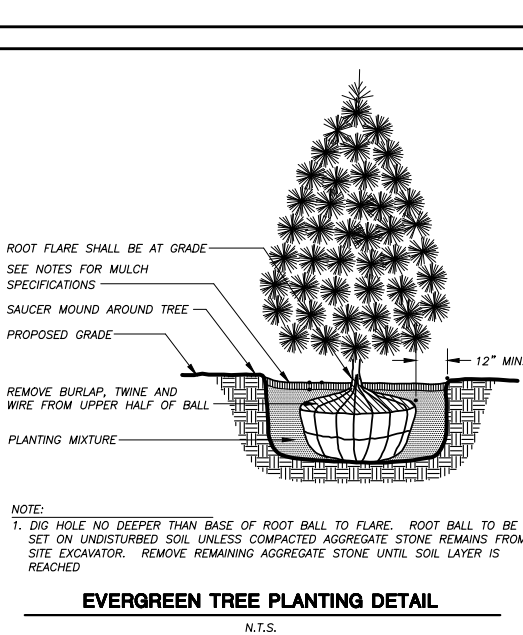
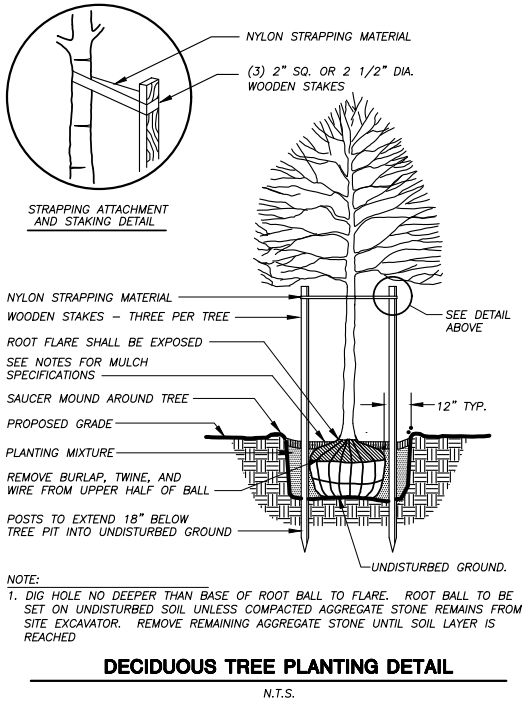
Design/Drawn: MWS  
Approved:

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

JSD PROJECT NO: 18-8633





**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA. PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS PHYSICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT AS NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ALL SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**


- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS TO A MINIMUM AND CONSISTENT DEPTH OF 3 INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3" INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED AS DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING OF TREE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

**SEEDING NOTES**

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND LANDMARK SEED "HD SPORTS 2.5 PLUS WITH XALT 80/20 MIXTURE" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - PRAIRIE SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH PULVERIZATOR MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANTING AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON

LANDSCAPE WORKSHEET

Specimen No: 188633 Madison General Ordinance

Project Location: Address: WALDORF BLVD. (Address T.B.D.)

Name of Project: MIDTOWN RESERVE APARTMENTS

Owner/Contact: KEVIN YESKA

Contact Phone: (608) 888-5860

Contact Email: KEVIN.YESKA@CITYOFMADISON.COM

Landscaping plans for zoning lots greater than one thousand (10,000) square feet in size MUST be prepared by a registered landscape architect.

Applications: The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the applicable items need to be brought up to compliance.

(a) The area of site development is less than one percent (1%) of the entire development site during any one (1) year period

(b) Total site area is only increased by one percent (10%) during any one (1) year period

(c) No demolition of a principal building is required

(d) Any displaced landscaping elements must be replaced on the site and stored on a reserve landscaping plan.

Landscaping Calculations and Requirements: Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, and excluding the area of any building footprint at grade. Land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscaped areas depending on the use of the lot and zoning district.

(a) For all lots except those identified in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 1,644,000

Total landscape points required: 264

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per one hundred (100) square feet for the first five (5) acres and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: 1,644,000

Five (5) acres = 217,800 square feet

Five (5) acres developed areas = 2,640 points

Remainder of developed area: 1,426,200

Total landscape points required: 264

(c) For the Industrial - Limited (I-L) and Industrial - General (I-G) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: 1,644,000

Total landscape points required: 264


188633

Calculation of Points and Credits: Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	20 inch caliper measured diameter at breast height (dbh)	35			0	315
Tall evergreen tree (12' pine, spruce)	4-6 feet tall	15				
Ornamental tree	1-12 inch caliper	15				
Upright evergreen shrub (6' arbor vitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	1			20	20
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	1			10	10
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			132	264
Ornamental decorative fencing or wall	#10	4 per 10 linear ft.				
Existing significant specimen tree	Maximum size: 24 inch caliper dbh. * Trees must be within developed area and cannot compromise more than 30% of total required points	14 per caliper inch dbh. Maximum points per tree = 360				
Landscape estimate for public seating and/or retail connections	* Estimate must be within developed area, publicly accessible, and cannot compromise more than 35% of total required points.	5 points per "seating"				
<b>Sub Totals</b>						714

Total Number of Points Provided: 714

\* As determined by ANSI, A30T, American Standards for nursery stock. For each tree, minimum plant size shall conform to the specifications as stated in the entire American Standard for Nursery Stock.



JSD

Professional Services, Inc.

Engineers • Surveyors • Planners

CREATE THE VISION

TELL THE STORY

MADISON | MILWAUKEE

KENOSHA | APPLETON | WAUSAU


MADISON REGIONAL OFFICE

161 HORIZON DRIVE, SUITE 101

VERONA, WISCONSIN 53593

P. 608.848.5060

CLIENT:



CLIENT ADDRESS:

7780 ELMWOOD AVE, SUITE 208

MIDDLETON, WI 53562

PROJECT:

MIDTOWN RESERVE APARTMENTS

PROJECT LOCATION:

CITY OF MADISON, WI

DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.18.18	UDC INFORMATIONAL SUBMITTAL
2	08.01.18	PRICING SET
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS

Approved:

SHEET TITLE:

LANDSCAPE DETAILS, NOTES & SPECIFICATIONS

SHEET NUMBER:

L2.0

JSD PROJECT NO:

18-8633

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WALDORF BOULEVARD AT PRIVATE ROAD - LOOKING NORTH WEST



WALDORF BOULEVARD AT PRIVATE ROAD - LOOKING NORTH EAST



MIDTOWN ROAD AND WALDORF BOULEVARD - LOOKING NORTH EAST

**MIDTOWN RESERVE**  
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

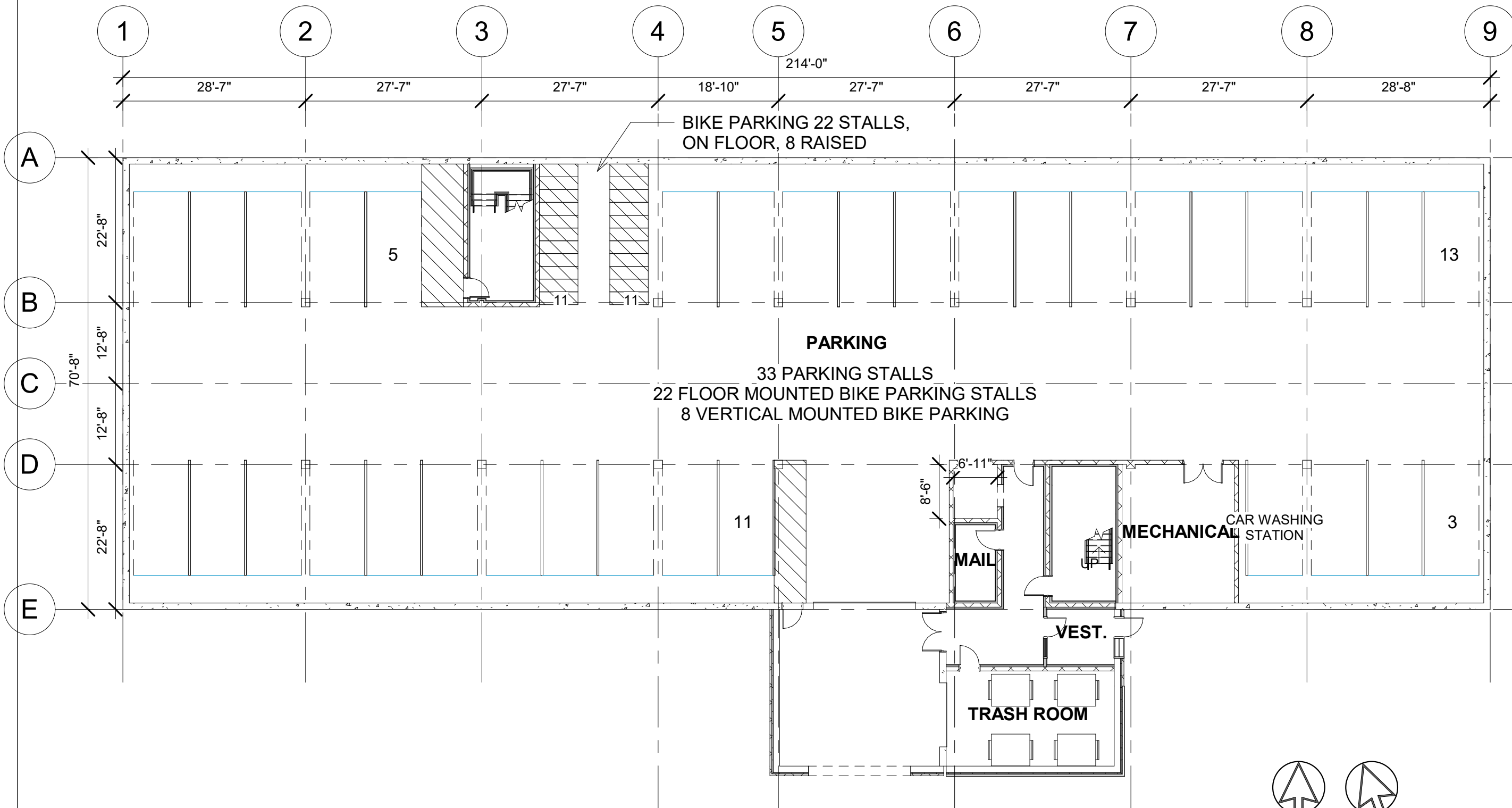
**SITE CONTEXT**

**08/01/2018  
UDC UPDATE**

**UDC 0.2**

**PRELIMINARY**





# MIDTOWN RESERVE

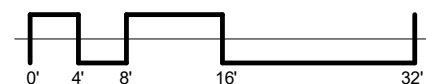
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

## PARKING FLOOR PLAN

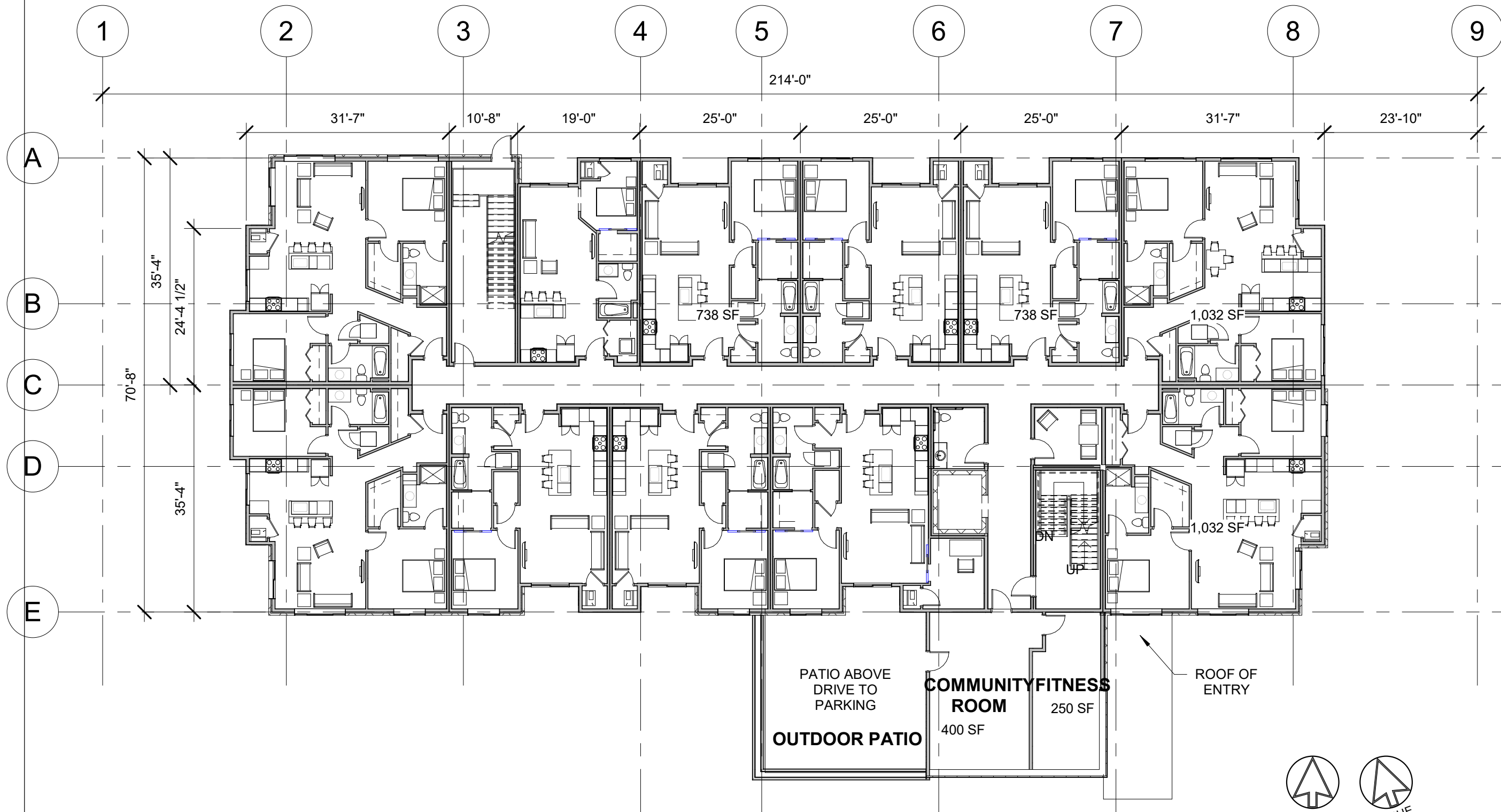
08/01/2018  
UDC UPDATE

UDC 2.0

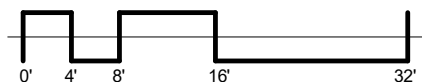
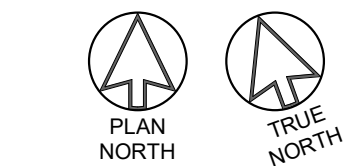
1 L.L. PARKING PLAN - ENLG : 15,875 SF  
1/16" = 1'-0"



PRELIMINARY



1 FIRST FLOOR PLAN - ENLG : 12,250 SF  
1/16" = 1'-0"



PRELIMINARY

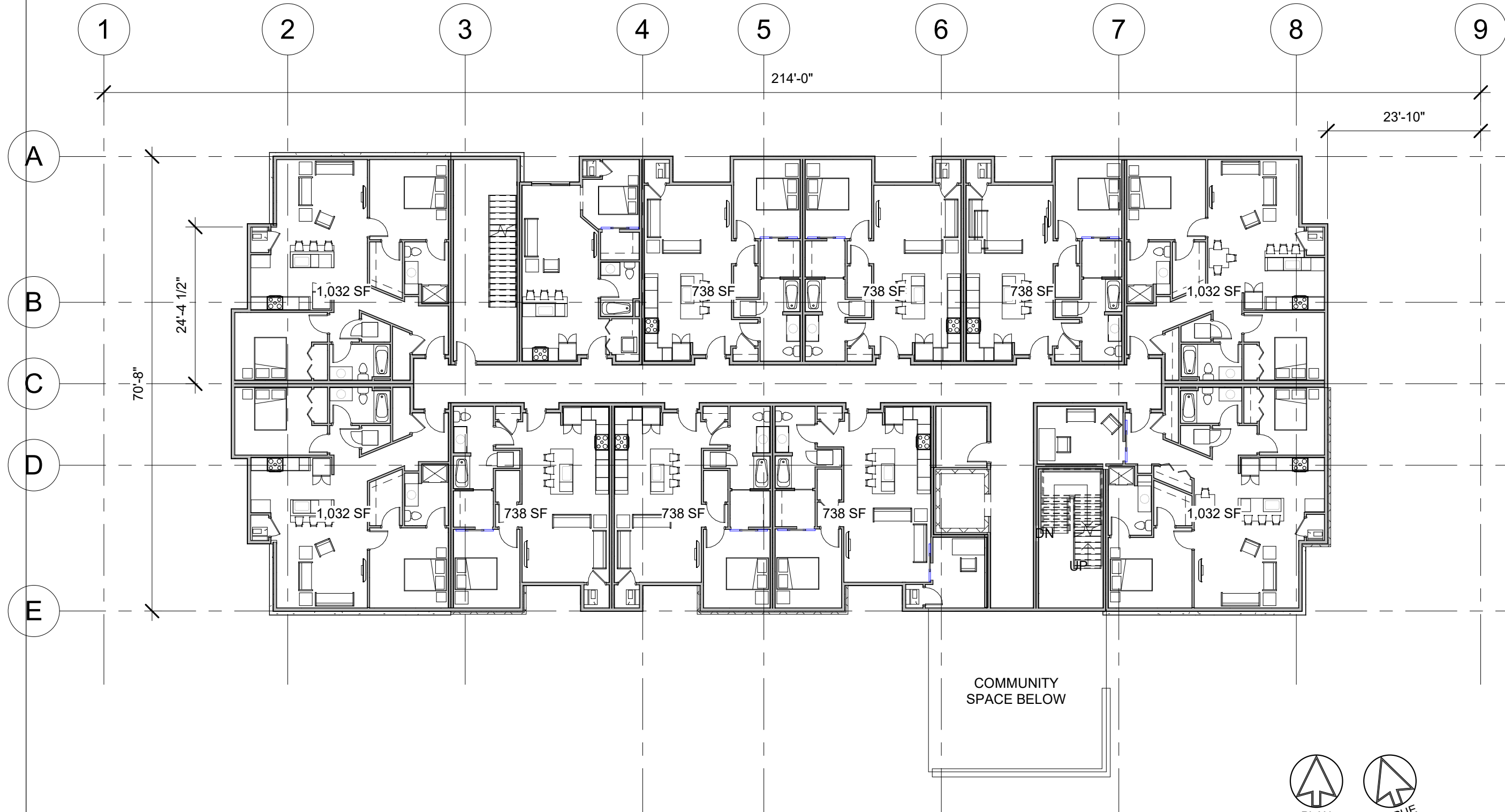
**MIDTOWN RESERVE**  
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

**FIRST FLOOR  
PLAN**

08/01/2018  
UDC UPDATE

**UDC 2.1**





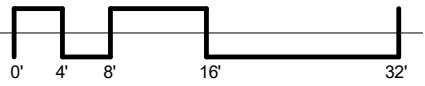
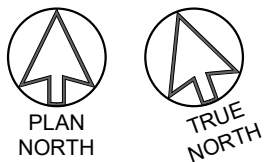
**MIDTOWN RESERVE**  
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

**SECOND FLOOR  
PLAN**

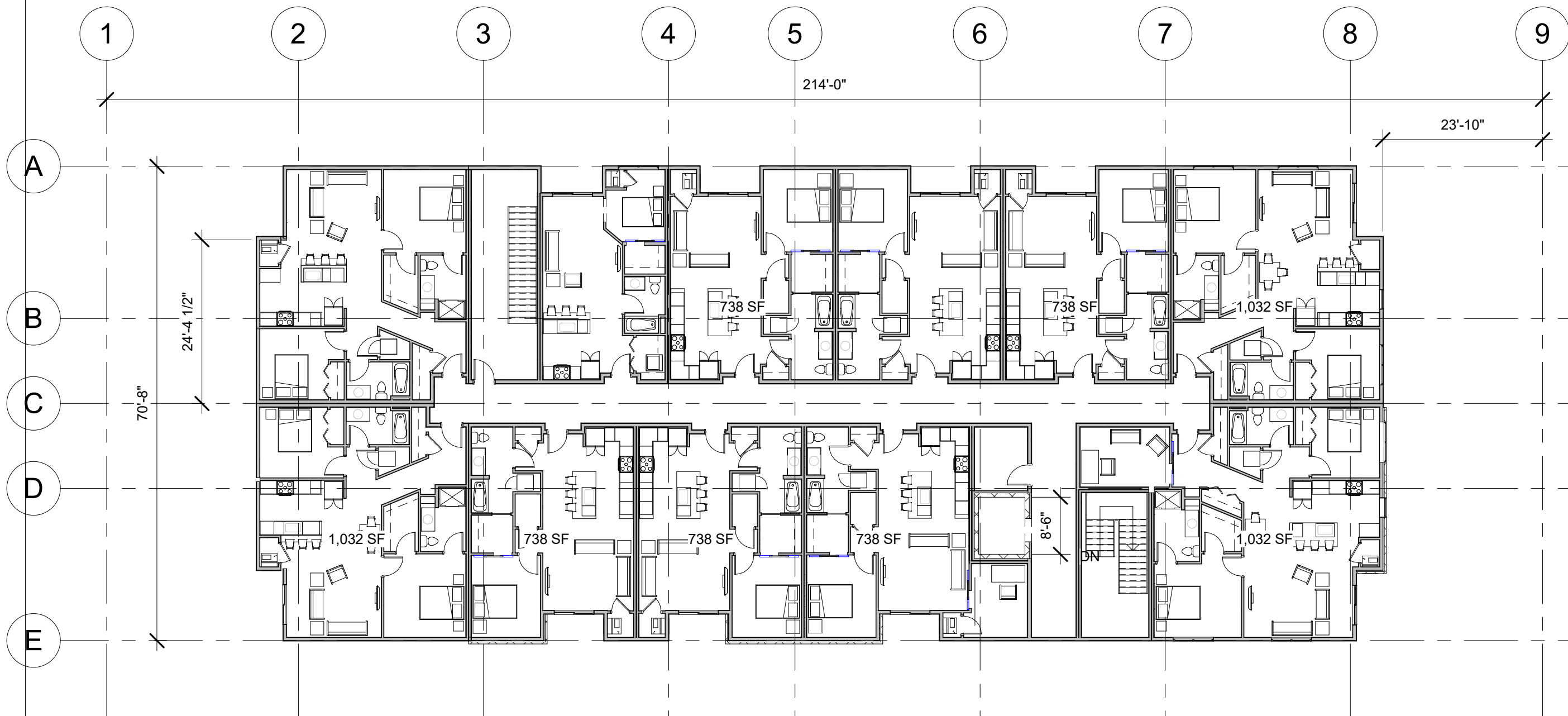
08/01/2018  
UDC UPDATE

**UDC 2.2**

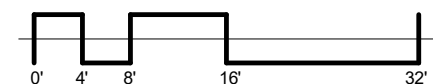
1 SECOND FLOOR PLAN SEG  
1/16" = 1'-0"



**PRELIMINARY**



1 THIRD FLOOR PLAN 1/16" = 1'-0"



PRELIMINARY

**MIDTOWN RESERVE**

NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

**THIRD FLOOR  
PLAN**

08/01/2018  
UDC UPDATE

**UDC 2.3**





**BUILDING EAST ELEVATION**



**BUILDING WEST ELEVATION**

**EXTERIOR MATERIAL KEY:**



HARDIE BOARD LAP SIDING - KHAKI



HARDIE BOARD LAP SIDING - TIMBER BARK



FOND DU LAC STONE HAMILTON COLLECTION



WEATHER SHIELD WINDOWS - ADOBE

Adobe

Materials are design basis of intent

**MIDTOWN RESERVE**  
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

**EXTERIOR  
PERSPECTIVES**

08/01/2018  
UDC UPDATE

**UDC 3.1**

**PRELIMINARY**





WALDORF BLVD TOWARD MID TOWN RD



BUILDING ENTRY

# EXTERIOR MATERIAL KEY:



HARDIE BOARD LAP SIDING - KHAKI



HARDIE BOARD LAP SIDING - TIMBER BARK



FOND DU LAC STONE HAMILTON COLLECTION



WEATHER SHIELD WINDOWS - ADOBE

Adobe

Materials are design basis of intent

**MIDTOWN RESERVE**  
NEW MULTI-TENANT  
WALDORF BLVD., MADISON, WI

**EXTERIOR  
PERSPECTIVES**

08/01/2018  
UDC UPDATE

**UDC 3.2**

**PRELIMINARY**