

# LAND USE APPLICATION

LND-B

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid 600 - Receipt # 039425-0001  
Date received 12/10/18  
Received by MSF  
Parcel # 070825104155  
Aldermanic district 19-CLEAR  
Zoning district SE  
Special requirements \_\_\_\_\_  
Review required by \_\_\_\_\_  
☐ UDC ☐ PC  
☐ Common Council ☐ Other \_\_\_\_\_  
Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

### 1. Project Information

Address: 6405 Mineral Point Rd.  
Title: Otto's Restaurant And Bar

### 2. This is an application for (check all that apply)

- ☐ Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- ☐ Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- ☐ Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- ☐ Review of Alteration to Planned Development (PD) (by Plan Commission)
- ☒ Conditional Use or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other requests

### 3. Applicant, Agent and Property Owner Information

Applicant name Jeff Maertz Company Bouril Design Studio LLC  
Street address 6425 Odana Rd City/State/Zip Madison WI 53719  
Telephone 608-833-3400 Email Jeffm@bourildesign.com  
Project contact person Jeff Maertz Company Bouril Design Studio LLC  
Street address 6425 Odana Rd City/State/Zip Madison WI 53719  
Telephone 608-833-3400 Email Jeffm@bourildesign.com  
Property owner (if not applicant) Sue Engelke (Ottos Restaurant And Bar)  
Street address 450 Science Dr City/State/Zip Madison WI 53711  
Telephone 608 238-5400 Email sue.engelke@ultratec.com

**4. Project Description**

Provide a brief description of the project and all proposed uses of the site:

Restaurant use, conditional use for current zoning, outdoor seating areas

Scheduled start date Spring 2018 Planned completion date Spring 2018

**5. Required Submittal Materials**

Refer to the Land Use Application Checklist for detailed submittal requirements.

- |                                               |                                                                  |                                                                 |
|-----------------------------------------------|------------------------------------------------------------------|-----------------------------------------------------------------|
| <input type="checkbox"/> Filing fee           | <input type="checkbox"/> Pre-application notification            | <input type="checkbox"/> Land Use Application Checklist (LND-C) |
| <input type="checkbox"/> Land Use Application | <input type="checkbox"/> Vicinity map                            | <input type="checkbox"/> Supplemental Requirements              |
| <input type="checkbox"/> Letter of intent     | <input type="checkbox"/> Survey or existing conditions site plan | <input type="checkbox"/> Electronic Submittal*                  |
| <input type="checkbox"/> Legal description    | <input type="checkbox"/> Development plans                       |                                                                 |

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com).

**6. Applicant Declarations**

- ☒ **Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff \_\_\_\_\_ Date \_\_\_\_\_

Zoning staff Jenny Kirchgatter Date 10/3/17

- ☐ **Demolition Listserv**
- ☐ **Public subsidy is being requested (indicate in letter of intent)**
- ☐ **Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

**The applicant attests that this form is accurately completed and all required materials are submitted:**

Name of applicant Jeff Maertz Relationship to property Architect

Authorizing signature of property owner Loren L. Engelke Date 12-8-17

December 27, 2017

City of Madison, Department of Planning and Community & Economic Development  
Zoning Department  
126 S. Hamilton Road.  
Madison, Wisconsin 53703

## Letter of Intent For Conditional Use.

Otto's Restaurant and Bar  
6405 Mineral Point Road  
Madison Wisconsin 53719  
Addition and Alteration  
Statement of Owner's Intent and Description of Project

### Project Description:

Otto's Restaurant & Bar has been operating as fine dining establishment on Madison's west side for over thirty years. During the clement weather months we offer outdoor dining and live music to our guests. The location of the majority of the outdoor dining is on the first floor deck area above the ground floor bar with a 47 person capacity. There are also two existing on grade outdoor dining areas on concrete pavers. One to the east of the building with two tables with an 8 person capacity and other to the north of the building with 3 tables with a 12 person capacity. The outdoor seating above the bar area is where the live music is located. We usually have small jazz combos consisting of usually 1, 2 or 3 and rarely 4 musicians.

The current outdoor seating plaza deck above the bar has been in existence for thirty years. The outdoor on grade seating has been existence prior to the current ownership. The plaza deck is now wheel chair accessible.

Currently there is only a pitched removable tent covering the outdoor seating plaza deck (above the bar) to offer some shelter from the elements. The two on grade seating areas have no protection from the elements and are used only during good weather.

Hours of operation are Monday thru Saturday, 3:30 p.m. thru 9:30 p.m.

Outdoor seating is 47 seats on outdoor Plaza deck, 20 seats for the two outdoor on grade seating areas, and 113 seats for the existing building for a total of 180 seating. Building restrooms could by code service 300 occupants. The on grade seating to the east and north is separated from the parking areas by a stone retaining walls. The main outdoor plaza deck seating is over the Ground floor bar area and is separated from the parking by the stone retaining walls and the building itself.



New Project will consist of

A upgrade to the existing outdoor seating area over the existing Ground floor bar area with a new tent structure, new handrails, replacement of the deck floor and replacement of the existing roof membrane. This portion is within the existing building perimeter and is maintenance and upgrade of the exiting outdoor deck. We would be replacing the existing exit stair from the deck with a new code complying exit stair.

We are planning to maintain and improve the site's impervious surface ratio by providing new pervious pavers in one of the existing parking stalls. Essentially where the new stair exceeds the area of the old stair we are proving new permeable pavers which will be over twice of the area of the new stairs and side walk minus the existing stairs.

As a maintenance item we are proposing to replace the existing deteriorating concrete entry stoop to the First Floor entry with a new concrete stoop, stairs, Guardrails and Handrails.

Also as part of this project we are upgrading the unisex restroom to provide an accessible restroom to the First floor. Previous projects (2015) provided accessibility to the First floor entry with a new accessible exterior ramp and a new interior ramp. The Ground floor bar entry is already accessible.

The site is surrounded by a bank building to the west, office building to the north, a retirement home to the south and east. There is large wooded area to the retirement center to the east and a large wooded and grassy area to the retirement center to the south. Otto's is a land locked site with shared access and parking with the office building to the north.

Due to the recent zoning change a building with a restaurant use is a conditional use in the current zoning. We are currently an existing nonconforming use. We are asking for a conditional use for the current restaurant use. Also the city has no record of approval for the outdoor seating areas and we are asking for approval of these areas. The outdoor seating area has been in existence for thirty years for the area over the bar and over 10 years for the on grade seating areas.

Thank you for your time and consideration

Sincerely,

Susan L Engelke

Owner

Chairs, LLC

dba Otto's Restaurant and Bar



**Bouril Design  
Studio, LLC**

6602 Grand Teton Plaza, #150  
Phone: (608) 833-3400  
Bouril@bourildesign.com

Madison, WI 53719  
Fax: (608) 833-3408  
www.bourildesign.com



Otto's Restaurant and Bar (view from Northeast)



Otto's Restaurant and Bar (view from East)  
Outdoor Plaza Deck

**Architecture**

**Interior Design**

**Master Planning**

**Design Consultation**



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Otto's Restaurant and Bar (view from Northeast) w/ summer canopy  
Tent structure over outdoor Plaza Deck



Otto's Restaurant and Bar (view from Northeast) w/ neighbors buildings to the north  
(Strange) and west (Bank) = Ottos on right side of picture.



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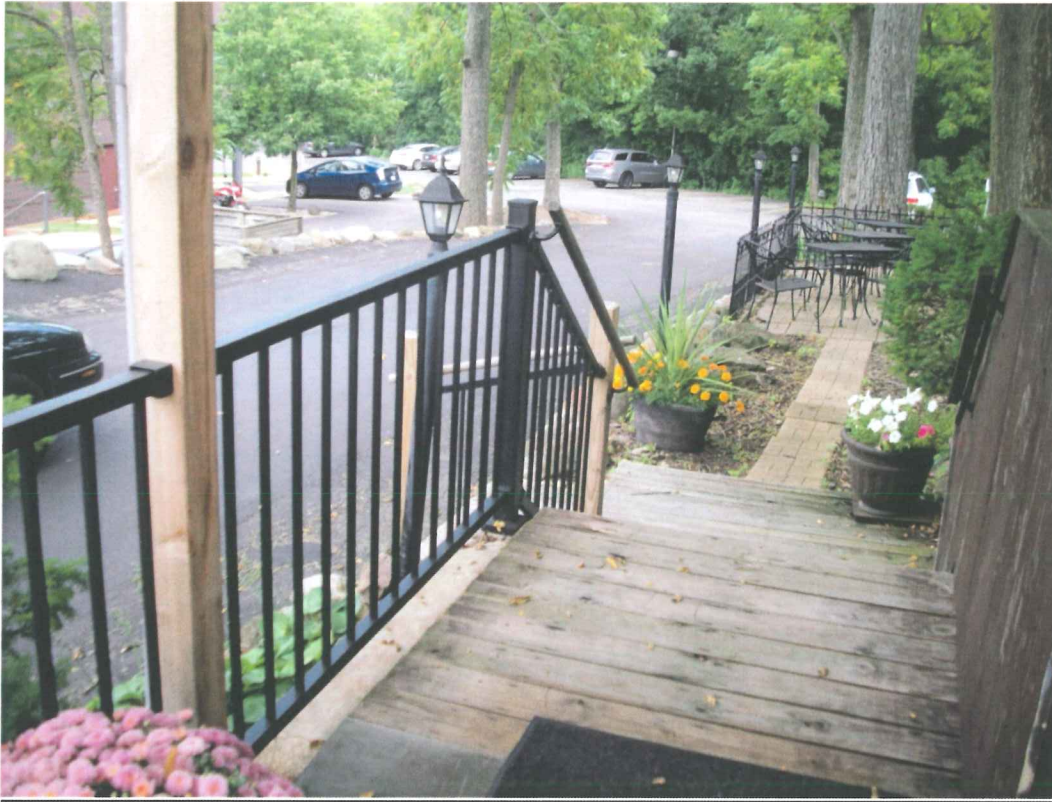
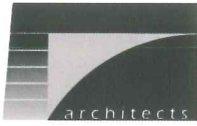
Madison, WI 53719  
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Outdoor on grade seating - East side of building (view from south)



Outdoor on grade seating - East side of building (view from east)  
Outdoor Plaza deck above.



Outdoor on grade seating on south side of building (view from Entry)



Outdoor on grade seating on south side of building (view from South)  
Outdoor Plaza deck above



- 1) **Bicycle Parking Space Size, Access Aisles, and Vertical Clearance**
  - Bicycle parking spaces shall be a minimum of two (2) feet by six (6) feet
  - There shall be an access aisle a minimum of five (5) feet in width.
  - Have a vertical clearance of at least 6 feet.
- 2) **Bicycle Rack Design**
  - Shall permit the locking of the bicycle frame and one (1) wheel to the rack
  - Shall support a bicycle in a stable position.
  - All racks shall accommodate cable locks and "U" locks including removing the front wheel and locking it to the rear fork and frame.
  - Each required bicycle parking space must be accessible without moving another bicycle
  - Placement shall not result in a bicycle obstructing a required walkway.
  - Shall be located on paved or pervious, dust-free surface with a slope no greater than three percent (3%).
  - Surfaces shall not be gravel, landscape stone, or wood chips
- 3) **Bicycle Rack Location on Site**
  - Required short-term bicycle parking spaces shall be located in a convenient and visible area at least as close as the closest non-accessible automobile parking and within one hundred (100) feet of a principal entrance
  - Required long-term bicycle parking spaces shall be located in enclosed and secured or supervised areas providing protection from theft, vandalism and weather and shall be accessible to intended users
  - Required long-term bicycle parking for residential uses shall not be located within dwelling units or within deck, patio areas, or private storage areas accessory to dwelling units.

|                                                                                   |                                                                                   |                                                                                                         |                                                                                   |
|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
|  |  |                        |  |
| Grid or Fence Style Racks                                                         | Wave or Ribbon Style Racks                                                        | Racks that hold the bike by the wheel with no way to lock the frame and wheel to the rack with a U-lock |                                                                                   |

|                                                                                   |                                                                                   |                                                                                   |                                                                                   |                                                                                   |
|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
|  |  |  |  |  |
| Dero Campus Rack                                                                  | Sorts City Rack                                                                   | Madras Spartan Rack                                                               | Madras Sentry Rack                                                                | Madras Shark Rack                                                                 |

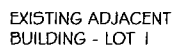
*See attached sheets for proper installation instructions for Inverted-U and Post & Ring type racks*

Updated August 1, 2014

B. The building is being added onto is existing and is not required by the IBC International building code (2009) to be sprinkled as the new addition is separated by a 2 hour fire barrier and the area of the existing building fire area is not being increased, see IBC 1001.1, 1002.2 and 1002.3 specifically 1002.3 "Testing fire areas increased by the addition shall comply with chapter 9 of the IBC. We are not increasing the fire area as we are separating the fire area with a 2 hour fire wall.

MINERAL POINT ROAD

TOGETHER WITH EASEMENTS FOR PARKING AND INGRESS AND EGRESS ESTABLISHED FOR THE BENEFIT OF THE SUBJECT PARCEL BY DOCUMENT RECORDED APRIL 14, 1987, IN VOLUME 9827 OF RECORDS, PAGE 81, AS DOCUMENT NO. 2010359.



SITE ADDRESS: 6405 MINERAL POINT ROAD  
 SITE ACREAGE: (TOTAL) 0.66 ACRES (28,075 SF)  
 NUMBER OF BUILDING STORIES (ABOVE GRADE): \_\_\_\_\_ 1 + Mezzanine  
 BUILDING HEIGHT 25'-6" +/-  
 DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)  
TYPE VB (EXIST)  
 TOTAL SQUARE FOOTAGE OF BUILDING: 5,204  
 USE OF PROPERTY: RESTAURANT (EXISTING)  
 GROSS SQUARE FOOTAGE OF OFFICE: N/A  
 GROSS SQUARE FOOTAGE RETAIL: N/A  
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A  
 CAPACITY OF RESTAURANT/ PLACE OF ASSEMBLY 164 includes exterior seating  
 NUMBER OF PARKING STALLS SHOWN 5 (5% of capacity)  
 NUMBER OF PARKING STALLS:  

|                |                          |
|----------------|--------------------------|
| SMALL CARS     | 0                        |
| LARGE CARS     | 23+ (21 SHARED)          |
| ACCESSIBLE     | 1                        |
| TOTAL PROVIDED | 24 (45 including shared) |

 EXISTING TO REMAIN  
ANY TREES OR PLANTS AFFECTED TO  
BE RELOCATED OR REPLACED.

- 1—RELOCATED EXISTING VAN ACCESSIBLE PARKING SIGN
- 2—EXISTING STOP SIGN
- 3—EXISTING PARKING STALL LAYOUT
- 4—EXISTING ASPHALT PAVEMENT REMAINS
- 5—EXISTING STONE RETAINING WALL, TYP.
- 6—EXISTING STAIRS TO BE REMOVED, SEE SHEET D102
- 7—
- 8—REMOVE EXISTING ASPHALT AND REPLACE WITH NEW PERVIOUS PAVERS AREA (GRASSCRETE) 162 SF MIN.
- 9—NEW WOOD COMPOSITE STAIRS AND LANDING
- 10—NEW CONCRETE STAIR AND LANDING, REMOVE EXISTING RETAINING WALL AS REQUIRED
- 11—SALVAGE/RELOCATE OR REPLACE EXISTING PLANTS AFFECTED BY CONSTRUCTION, TYP
- 12—EXISTING ACCESSIBLE RAMP
- 13—NEW PARALLEL PARKING STALL
- 14—5 BICYCLE PARKING SPACES WITH BICYCLE RACKS, PARKING SPACES SHALL BE A MINIMUM OF 2' X 6' (AS SHOWN). RACKS TO MEET CITY OF MADISON REQUIREMENTS, BICYCLE RACK TO BE MADRAX SHARK BIKE RACK, 5 BIKE, SINGLE SIDE, (5HK-SING-S), SEE CITY BIKE REQUIREMENTS ON SHEET SW101 AND 75W102 STEEL CHAINNEL TO BE ANCHORED SECURELY TO PAVEMENT.
- 15—INFILL RETAINING WALL WHERE EXISTING STAIR IS REMOVED
- 16—REMOVE AND REPLACE DETERIORATING STOP, STEPS, AND SIDEWALK WITH NEW WOOD LANDING STEPS, AND CONCRETE SIDEWALK/STEPS. SALVAGE AND REPLACE EXISTING PLANTS WHERE AFFECTED BY CONSTRUCTION, NEW STEEP IS IN SAME LOCATION AS EXISTING. PROVIDE NEW GUARDRAIL AND HANDRAIL. SEE FLOOR PLAN FOR SPECIFICS.
- 17—EXISTING VESTIBULE TO GROUND FLOOR BAK
- 18—EXISTING PARKING STALLS WITH PERVIOUS PAVERS AREA (GRASSCRETE).
- 19—REMOVE AND SALVAGE STONE RETAINING WALL AT NW SIDEWALK/STAIRS, REUSE WHERE EXISTING STAIR WAS REMOVED
- 20—PROXIM CONTROL FENCE PER CITY OF MADISON REQUIREMENTS.
- 21—REMOVED EXISTING PARKING STALL LAYOUT (REVISED DUE TO ACCESSIBLE STALL AND ACCESSIBLE AISLE DIMENSIONS)

1. PROJECT IS AN ALTERATION OF A EXISTING RESTAURANT TO ENCLOSE EXISTING FIRST FLOOR PATIO AREA OVER EXISTING GROUND FLOOR PARK WITH A 3 SEASON PORCH.
2. THE EXISTING LANDSCAPING TO REMAIN, BE REPLACED OR RELOCATED AROUND AREAS BEING AFFECTED BY NEW CONSTRUCTION.
3. THE EXTERIOR LIGHTING IS EXISTING TO REMAIN.
4. AREA OF NEW PERMEABLE PAVEMENT TO EQUAL OR EXCEED AREA OF NEW EXTERIOR EXIT STAIR.
  - NEW EXIT STAIR AREA: 90 SF
  - EXISTING EXIT STAIR AREA: 32 SF
  - TOTAL NEW IMPERMEABLE AREA: 56 SF
  - NEW PERMEABLE AREA PROVIDED: 144 SF
5. SITE INFORMATION TAKEN FROM EXIST CSM, AND SITE OBSERVATIONS/ FIELD MEASUREMENTS.

YELLOWSTONE DRIVE

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BID SET  
NOT FOR CONSTRUCTION

**Bouril Design Studio, LLC**



architects

3-SEASON PORCH ADDITION FOR:  
OTTO'S RESTAURANT & BAR  
6405 MINERAL POINT RD  
MADISON, WISCONSIN 53705

| REVISIONS                                                                             |          |        |
|---------------------------------------------------------------------------------------|----------|--------|
|  | DATE     | ISSUE  |
| 1                                                                                     | 09/18/17 | ADD 01 |
|                                                                                       |          |        |
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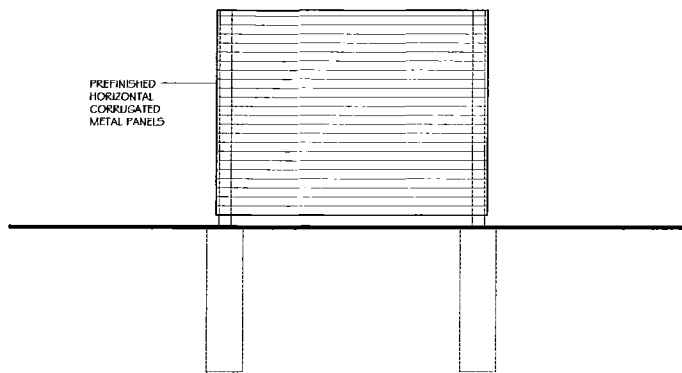
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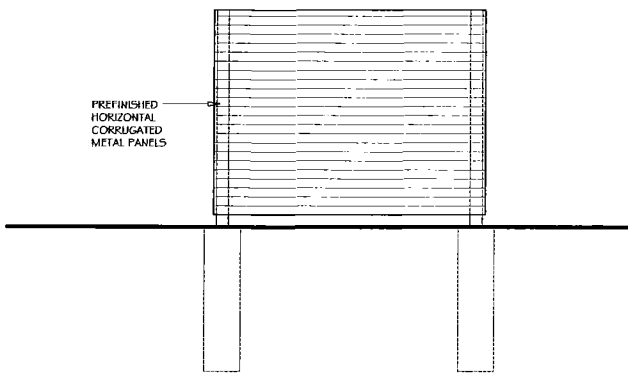
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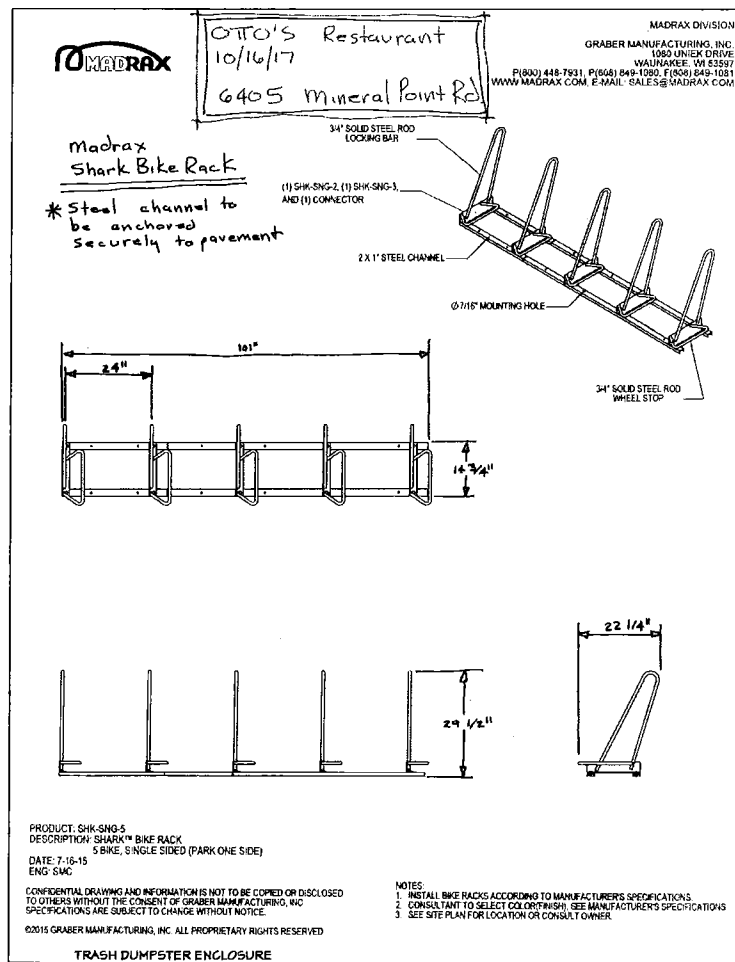
J:\2017 PROJECTS\1701L BACHMANN OTTO'S 3 SEASON RM\2 - DESIGN & TECHNICAL\01L SMD SITE DETAILS.DWG 01/03/2018 - 630 AM



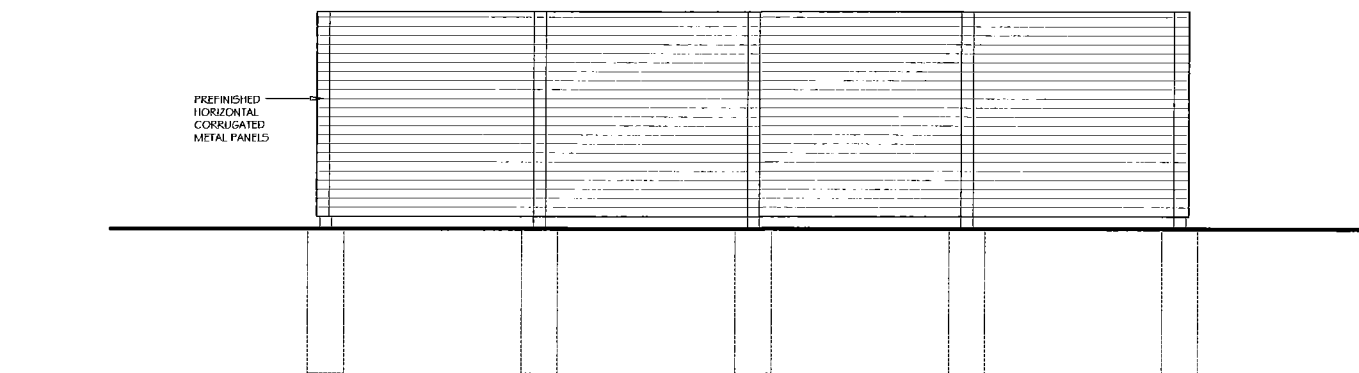
TRASH DUMPSTER ENCLOSURE  
5 NORTH (SIDE) ELEVATIONS  
3/8" = 1'-0"



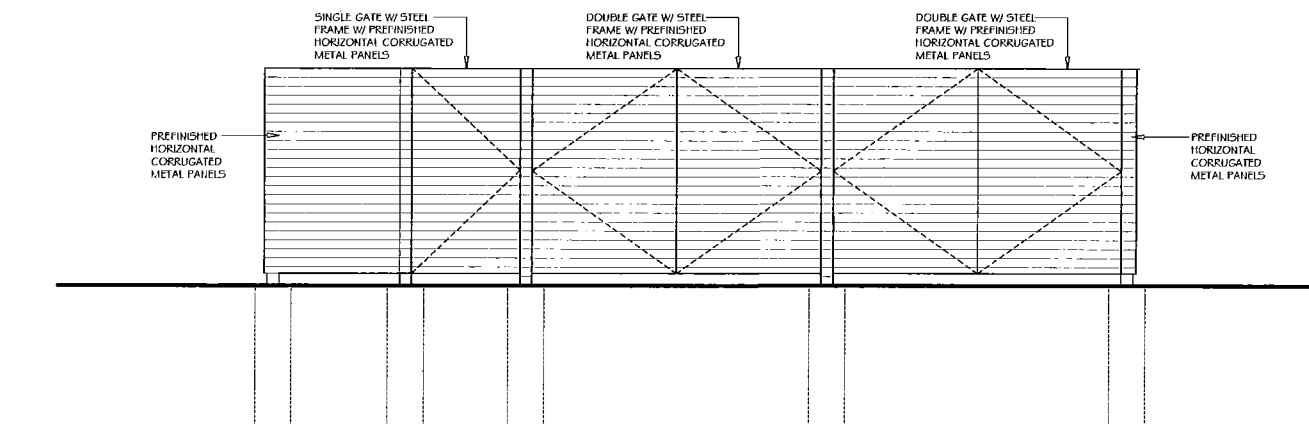
TRASH DUMPSTER ENCLOSURE  
3 SOUTH (SIDE) ELEVATIONS  
3/8" = 1'-0"



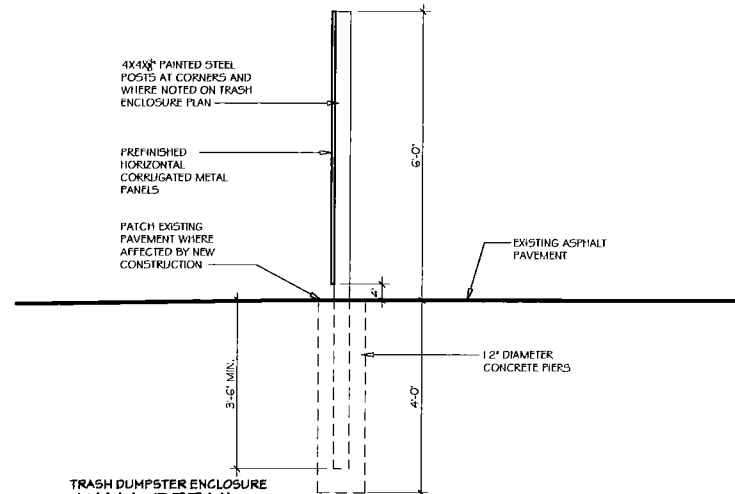
TRASH DUMPSTER ENCLOSURE  
7 BICYCLE RACK MANUF. DETAIL  
1/2" = 1'-0"



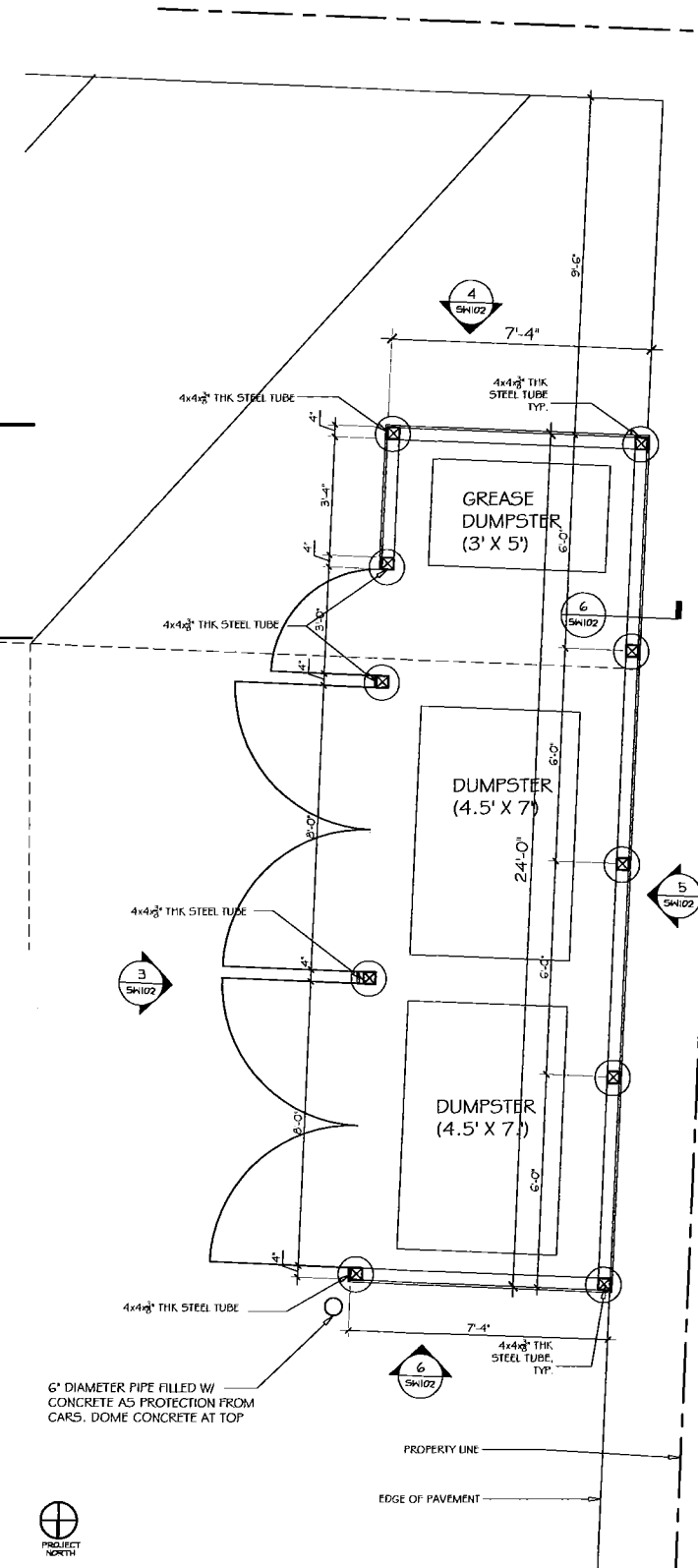
TRASH DUMPSTER ENCLOSURE  
4 WEST (BACK) ELEVATION  
3/8" = 1'-0"



TRASH DUMPSTER ENCLOSURE  
2 FRONT (GATE) ELEVATION  
3/8" = 1'-0"



TRASH DUMPSTER ENCLOSURE  
6 WALL DETAIL  
1/2" = 1'-0"



TRASH DUMPSTER ENCLOSURE  
1 ENLARGED PLAN  
3/8" = 1'-0"

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Bourl Design Studio, LLC  
6425 Corona Rd., Suite 2, Madison, WI 53719  
Phone: (608) 255-4444

3-SEASON PORCH ADDITION FOR:  
OTTO'S RESTAURANT & BAR  
6405 MINERAL POINT RD  
MADISON, WISCONSIN 53705

| REVISIONS |      |       |
|-----------|------|-------|
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PROJECT NO

DATE

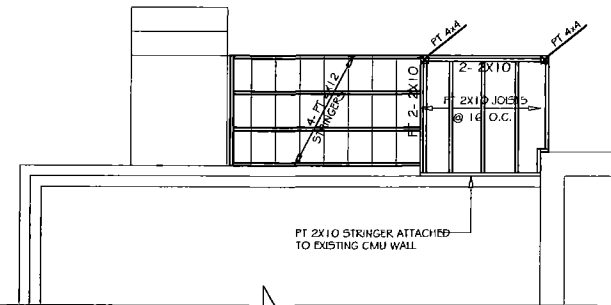
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- GENERAL NOTES - FLOOR PLAN:
- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/OR OCCUPANT USERS. PLEASE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
  - PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN. RESTORE ALL AREAS DAMAGED DURING CONSTRUCTION TO ITS PREVIOUS CONDITION.
  - PROTECT ALL NEW CONSTRUCTION FROM DAMAGE UNTIL ALL WORK IS COMPLETED. REPAIR OR REPLACE ALL DAMAGED ITEMS AS REQUIRED.
  - COORDINATE W/ OWNER ON FINISH MATERIALS. MATCH EXISTING UNLESS DIRECTED OTHERWISE BY OWNER.
  - MATCH EXISTING WALL CONSTRUCTION, UNLESS NOTED OTHERWISE (UNO).
  - PATCH AND REPAIR EXISTING WALLS AT LOCATIONS OF WALL DEMOLITION. MATCH EXISTING MATERIALS AND FINISHES.
  - SEE GROUND FLOOR PLAN/ FOUNDATION AND FOOTING PLAN ON SHEET A201.
  - ALL NEW DOOR HARDWARE/ THRESHOLD TO BE ACCESSIBLE. DOORS TO HAVE ACCESSIBLE LEVER HANDLES AND ACCESSIBLE THRESHOLD.
  - MULTIPLE MEMBER STRUCTURAL ELEMENTS SHALL BE FULLY LAMINATED PER MANUFACTURER'S RECOMMENDATIONS, PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, OR AS SPECIFIED.
  - ALL STAIR FRAMING IS TO BE PRESSURE TREATED.
  - PROVIDE SIMPSON STANDOFF POST BASE & POST CAPS FOR COLUMN CONNECTIONS AND SIMPSON FACE-MOUNT HANGERS FOR JOIST CONNECTIONS.

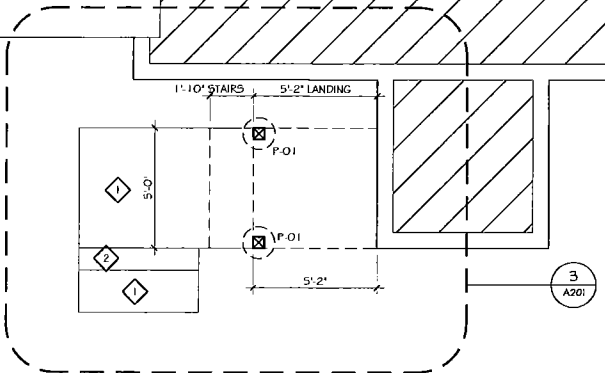
- KEY NOTES - FLOOR PLAN:
- NEW 6" THK CONC SLAB, SEE FIRST FLOOR PLAN.
  - NEW CONCRETE STAIRS, SEE FIRST FLOOR PLAN.
  - NEW SOLID SURFACE ACCESSIBLE INTEGRAL SINK AND COUNTER @ 34" AFF. WITH 4" BACK/ SIDE SPLASH.
  - REPLACE EXISTING AC WALL UNIT W/ NEW DUCT LESS SPLIT SYSTEM & PATCH WALL AS REQUIRED TO MATCH EXISTING FINISHES. CONDENSING UNIT TO SIT ON GRADE BELOW NEW EXTERIOR STAIR LANDING.
  - EXISTING EXIT LIGHT
  - EXISTING FURNITURE (APPROXIMATE) LAYOUT SHOWN FOR REFERENCE
  - CONCRETE LANDING & STEPS, FIELD VERIFY EXACT HEIGHTS AS REQD TO MEET ADJACENT PARKING LOT HEIGHT. MAX. RISER = 7". MIN. TREAD = 11"



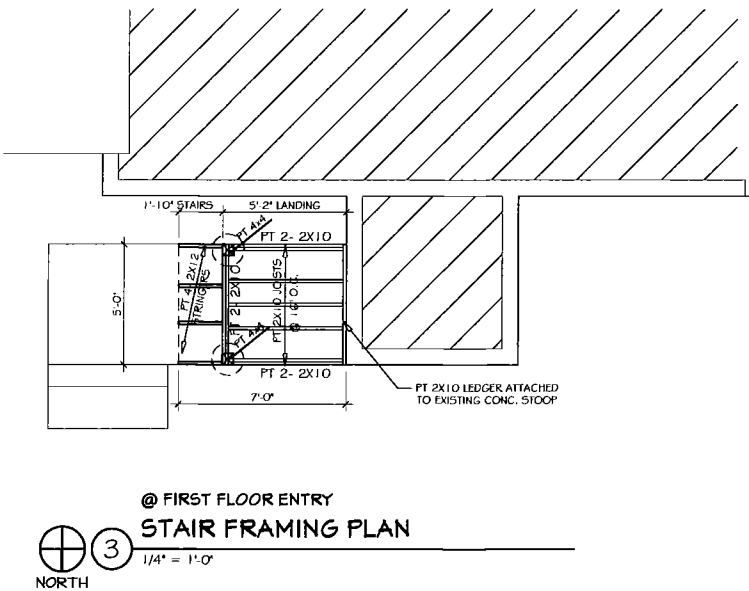
2 PLAZA STAIRS  
STAIR FRAMING PLAN  
1/4" = 1'-0"  
NORTH

| FOUNDATION FOOTING SCHEDULE |                             |             |
|-----------------------------|-----------------------------|-------------|
| MARK                        | SIZE                        | REINFORCING |
| P-01                        | 1'-4" DIA. x 4'-6" SONATUBE | X           |
|                             |                             |             |
|                             |                             |             |

| CONCRETE DESIGN MIX SCHEDULE: |                |                       |                |                |
|-------------------------------|----------------|-----------------------|----------------|----------------|
| CONSTRUCTION TYPE             | FOOTINGS       | FOUNDATIONS AND WALLS | INTERIOR SLABS | EXTERIOR SLABS |
| COMPRESSIVE STRENGTH(28 DAY)  | 3000 psi       | 3000 psi              | 3000 psi       | 4000 psi       |
| MAX SLUMP                     | 5 inches       | 5 inches              | 5 inches       | 5 inches       |
| MAX AGGREGATE                 | 1-1/2 inch     | 3/4 inch              | 3/4 inch       | 3/4 inch       |
| PORTLAND CEMENT               | TYPE 1A AIR 6% | TYPE 1A AIR 6%        | TYPE I         | TYPE 1A AIR 6% |
| MIN CEMENT                    | 5 bags/CuYd    | 5 bags/CuYd           | 5 bags/CuYd    | 6 bags/CuYd    |



1 GROUND FLOOR PLAN  
1/4" = 1'-0"  
NORTH



3 @ FIRST FLOOR ENTRY  
STAIR FRAMING PLAN  
1/4" = 1'-0"  
NORTH

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3-SEASON PORCH ADDITION FOR:  
OTTO'S RESTAURANT & BAR  
6405 MINERAL POINT RD  
MADISON, WISCONSIN 53705

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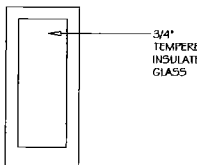
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GENERAL NOTES - FLOOR PLAN:

- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/OR OCCUPANT USERS. PHASE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
- PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN. RESTORE ALL AREAS DAMAGED DURING CONSTRUCTION TO ITS PREVIOUS CONDITION.
- PROTECT ALL NEW CONSTRUCTION FROM DAMAGE UNTIL ALL WORK IS COMPLETED. REPAIR OR REPLACE ALL DAMAGED ITEMS AS REQUIRED.
- COORDINATE W/ OWNER ON FINISH MATERIALS. MATCH EXISTING UNLESS DIRECTED OTHERWISE BY OWNER.
- MATCH EXISTING WALL CONSTRUCTION, UNLESS NOTED OTHERWISE (UNO).
- PATCH AND REPAIR EXISTING WALLS AT LOCATIONS OF WALL DEMOLITION. MATCH EXISTING MATERIALS AND FINISHES.
- SEE GROUND FLOOR PLAN FOUNDATION AND FOOTING PLAN ON SHEET A201.
- ALL NEW DOOR HARDWARE/ THRESHOLD TO BE ACCESSIBLE. DOORS TO HAVE ACCESSIBLE LEVER HANDLES AND ACCESSIBLE THRESHOLD.

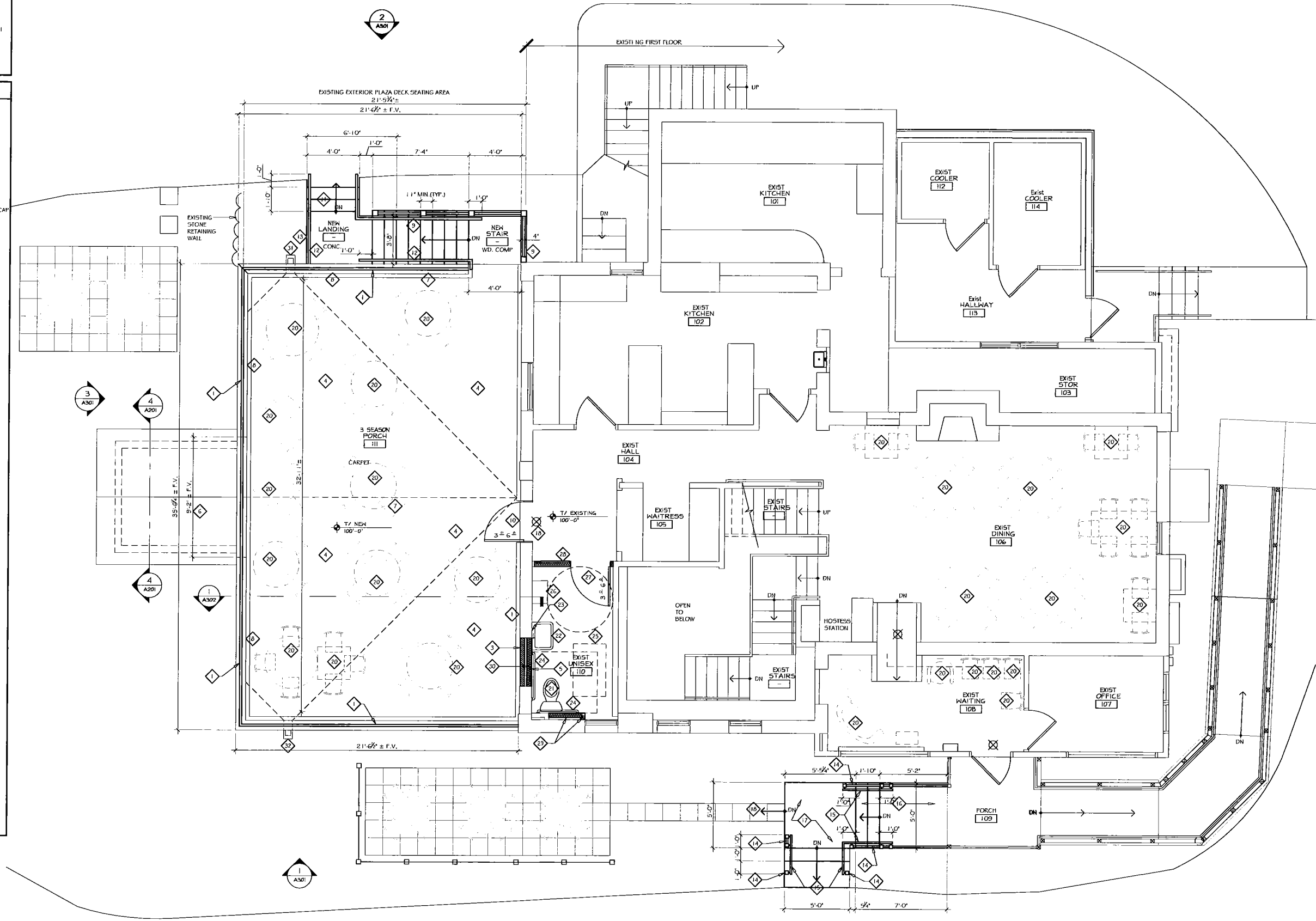
KEY NOTES - FLOOR PLAN:

- NEW GUARDRAIL, SEE EXTERIOR ELEVATIONS
- NEW SCUPPER LOCATION, REVISE EXISTING TAPERED INSULATION AS NECESSARY TO RELOCATE SCUPPER. NEW SCUPPER TO HAVE PREFINISHED METAL DOWNSPOUT DOWN TO GRADE W/ SPLASHBLOCK.
- EXISTING METAL SCUPPER, REVISE TO PROVIDE NEW METAL SCUPPER W/ PREFINISHED METAL DOWNSPOUT DOWN TO GRADE W/ SPLASHBLOCK.
- NEW COMPOSITE DECK BOARDS OVER NEW PT WOOD FLOORING OVER NEW EPDM ROOF MEMBRANE. TOP OF NEW DECK TO MATCH EXISTING DECK HEIGHT OR EXISTING FIRST FLOOR (IF POSSIBLE).
- NEW FINISH ON RESTROOM SIDE TO MATCH EXISTING
- EXISTING RAISED PORTION OF EXISTING MASONRY CURB W/ NEW METAL WALL CAP
- NEW CURB, REUSE SALVAGED BRICK @ EXTERIOR AND NEW MASONRY ON INTERIOR TO MATCH EXISTING. PROVIDE NEW METAL WALL CAP
- EXISTING MASONRY CURB W/ NEW METAL WALL CAP
- COMPOSITE GUARDRAIL @ 42" MINIMUM ABOVE STAIR NOSING, AND STAIR LANDING. PAINTED METAL PIPE HANDRAIL INSIDE OF GUARD RAIL SYSTEM @ 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" ADA EXTENSIONS BEYOND TOP AND BOTTOM RISER. PROVIDE 1" BETWEEN HANDRAIL AND GUARDRAIL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. SEE EXTERIOR ELEVATIONS.
- NEW EXTERIOR ENTRY DOOR W/ LEVER PANIC HARDWARE, 1 1/2" PAIR OF HINGES, WEATHERSTOPPING, THRESHOLD AND CLOSER. SEE 2/A201 FOR DOOR TYPE.
- EXISTING GRADES. NEW CONCRETE STAIR RISERS TO BE 7" MAXIMUM W/ 1" NOSING. SEE STAIR DETAILS
- PAINTED METAL HANDRAIL @ 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" ADA EXTENSIONS WHERE REQUIRED. PROVIDE 1" BETWEEN HANDRAIL AND CUT STONE CAP, BRICK, AND FOUNDATION WALL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. SUPPORTS TO BE BRACKETS IN FOUNDATION WALL OR VERTICAL SUPPORTS DOWN TO STAIR TREADS.
- PROVIDE GUARDRAIL @ 42" ABOVE STAIR NOSING OR LANDING WHERE ANY LEVEL CHANGE GREATER THAN 30" IS CLOSER THAN 36" TO STAIR OR STAIR LANDING. PROVIDE HANDRAIL AT STAIRS INBOARD OF GUARD RAIL W/ 12" EXTENSION AT TOP AND BOTTOM OF STAIRS. SEE NOTE 12.
- PROVIDE 36" HIGH ALUMINUM GUARDRAIL, MATCH EXISTING. IF GRADE IS MORE THAN 30" BELOW NEW LANDING OR NEW STAIR, WITHIN 36" OF STAIR OR LANDING PROVIDE A 42" HIGH GUARD RAIL. FIELD VERIFY.
- WOOD HANDRAIL, MATCH EXISTING. HANDRAIL TO BE 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" EXTENSIONS BEYOND TOP AND BOTTOM RISERS. PROVIDE 1" BETWEEN HANDRAIL AND GUARD RAIL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. THE SUPPORTS TO BE BRACKETS IN NEVEL POSTS TO MATCH EXISTING PRE-FINISHED ALUMINUM POSTS.
- NEW PT WOOD FRAMED LANDING W/ COMPOSITE DECK BOARDS AND PT WOOD FRAMED STAIRS W/ COMPOSITE DECK BOARDS. NEW STAIRS RISERS TO BE MAXIMUM OF 7" AND TREADS TO BE MIN. OF 11" W/ 1" NOSING. SEE GROUND FLOOR PLAN FOR FOUNDATION INFORMATION AND LANDING STAIR SECTIONS.
- NEW 6" THK CONCRETE SLAB ON GRADE LANDING AND SLAB ON GRADE CONCRETE STAIRS. NEW STAIRS RISERS TO BE MAXIMUM OF 7" AND TREADS TO BE MIN. OF 11" W/ 1" NOSING. FIELD VERIFY GRADE.
- PATCH AND REPAIR EXISTING PATH WHERE AFFECTED BY NEW CONSTRUCTION
- EXISTING EXIT LIGHT
- EXISTING FURNITURE (APPROXIMATE) LAYOUT SHOWN FOR REFERENCE
- NEW ACCESSIBLE TOILET (WC), SEE DETAIL 2/A203
- NEW WALL MOUNTED SINK, SEE DETAIL 2/A203
- NEW 30"W X 48"H MIRROR OR RELOCATE EXISTING MIRROR ABOVE SINK, SEE 2/A203
- NEW 42", 36" AND 18" GRAB BARS, SEE DETAIL 2/A203 FOR LOCATION AND HEIGHTS. PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED TO SUPPORT GRAB BARS.
- PROVIDE NEW CERAMIC TILE FLOOR AND BASE. VERIFY W/ OWNER. PATCH AND REPAIR EXISTING WALLS WHERE AFFECTED BY NEW CONSTRUCTION. PAINT WALLS AND CEILINGS.
- PROVIDE NEW PAPER TOWEL DISPENSER, TRASH RECEPTACLE, SOAP DISPENSER, COORDINATE LOCATIONS W/ OWNER. SEE DETAIL 3/A203 FOR MOUNTING HEIGHT.
- NEW WOOD DOOR TO MATCH EXISTING EXCEPT FOR SIZE. SEE FLOOR PLAN. MATCH EXISTING HARDWARE BUT PROVIDE LEVER PRIVACY LOCKSET. MATCH EXISTING WOOD CASING.
- PATCH AND REPAIR WHERE AFFECTED BY NEW CONSTRUCTION. MATCH EXISTING WALLS, AND BASE. NEW WALLS TO BE 2X4 WOOD STUDS @ 16" OC (MATCH EXISTING), MATCH EXISTING FINISHES. PROVIDE 3" SOUND BATT.
- FUR OUT BEHIND WC WITH NEW WALLS W/ PARTIAL HEIGHT 2X4 WOOD STUDS @ 16" OC, AND 5/8" GWB ON ROOM SIDE FOR 36" GRAB BAR. TOP OF WALL TO BE 4'-6" AFF AND CAPPED WITH 3/4" SOLID SURFACE MATERIAL.
- INFILL W/ AIR AND WATER BARRIER OVER 7/16" PLYWOOD, OVER 2X4 WOOD STUDS @ 16" OC AND R15 BATT INSUL. W/ 6 MIL VR ON INSIDE OF STUDS, AND 5/8" GWB ON INTERIOR SIDE.
- NEW PREFINISHED METAL SCUPPER LOCATION W/ PREFINISHED METAL DOWNSPOUT AND CONC. SPLASH BLOCK. REVISE EXISTING TAPERED RIGID INSULATION TO DRAIN TO NEW LOCATION.
- NEW PREFINISHED METAL SCUPPER AT EXISTING LOCATION W/ PREFINISHED METAL DOWNSPOUT AND CONC. SPLASH BLOCK.



DOOR TYPE B

1/4" = 1'-0"



FIRST FLOOR PLAN  
1/4" = 1'-0"  
NORTH

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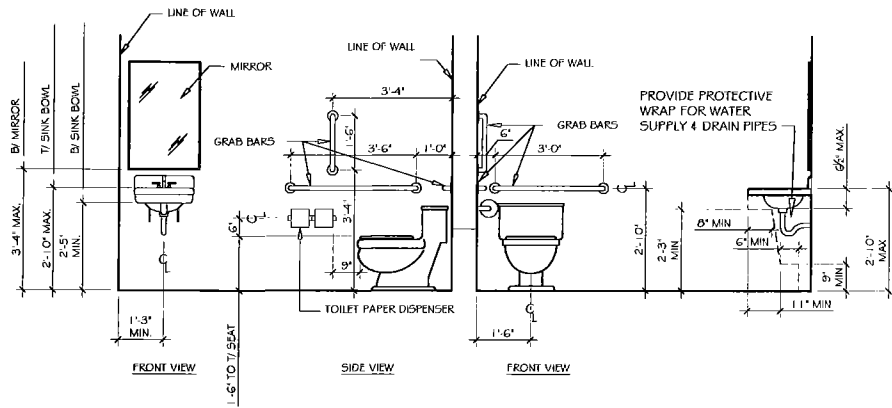
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2 TYPICAL ADA TOILET ROOM MOUNTING HEIGHTS  
3/8" = 1'-0"

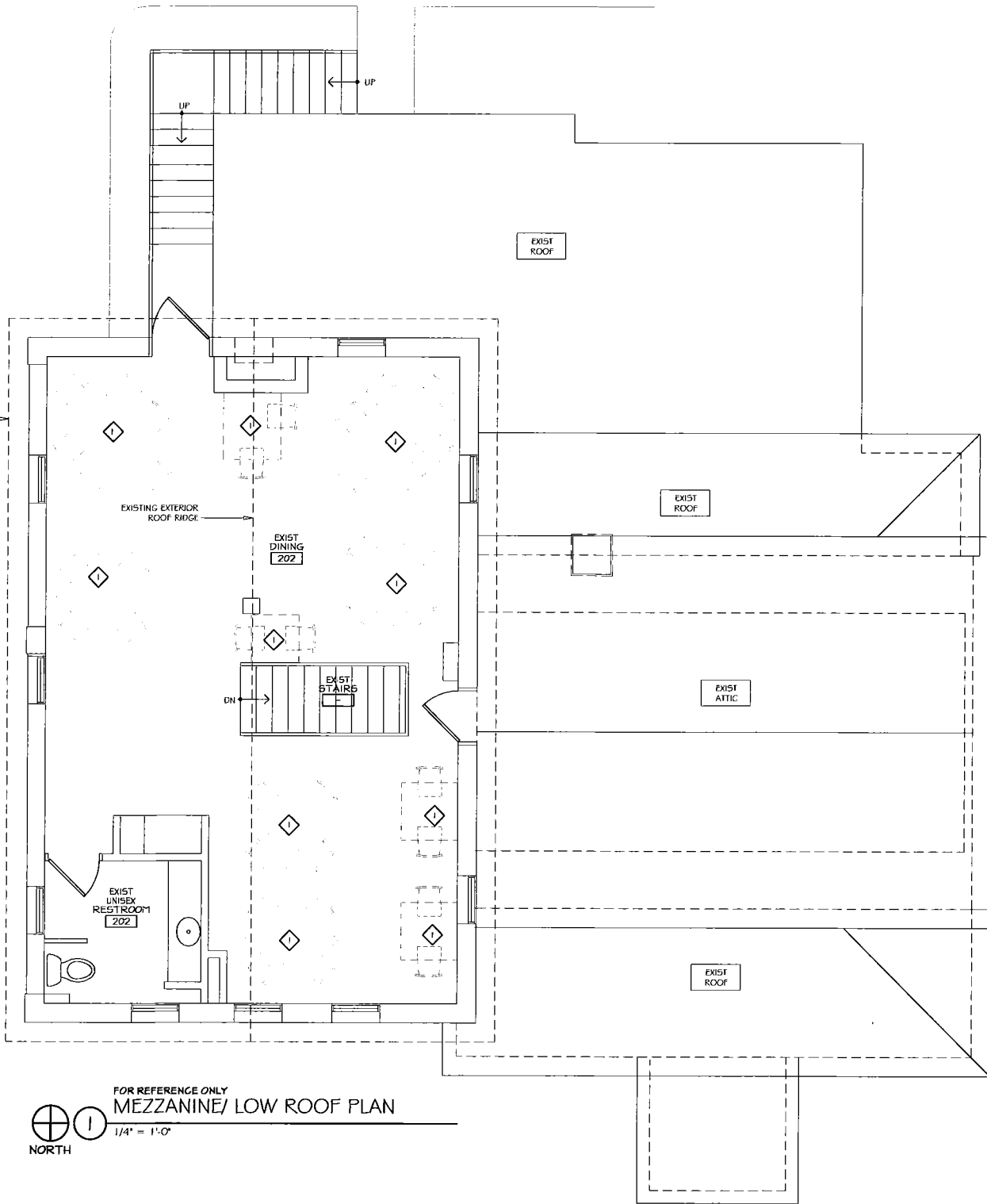
| OTTO'S RESTAURANT AND BAR                     |                                            |                                    |                    |                  |              |                |                |
|-----------------------------------------------|--------------------------------------------|------------------------------------|--------------------|------------------|--------------|----------------|----------------|
| 7. EXITING: OCCUPANT LOAD AND MEANS OF EGRESS |                                            |                                    |                    |                  |              |                |                |
| REQUIRED:                                     |                                            |                                    |                    | PROVIDED         |              | CODE SECTION   |                |
| TOTAL NUMBER OF EXITS                         | (2) @ 36" WIDE REQUIRED FROM FIRST FLOOR   | (3) @ 36" PROVIDED FOR FIRST FLOOR | 1008, 1019         |                  |              |                |                |
| NUMBER OF EXITS FROM PROJ. AREA               | (1) @ 36" REQUIRED FROM NEW 3 SEASON PORCH | (2) @ 36" PROVIDED                 | 1008, 1015         |                  |              |                |                |
| REQUIRED EXIT WIDTH                           | SPACE DESIGNATION                          | FLOOR AREA (SQ. FT.)               | SQ. FT. / OCCUPANT | NO. OF OCCUPANTS | WIDTH FACTOR | WIDTH REQUIRED | WIDTH PROVIDED |
| CODE SECTIONS: 1003, 1004 & 1005              | BAR SEATING 002                            | 321                                | 15                 | 21               | .2           | 4.2'           | (2) - 36"      |
|                                               | BAR 002                                    | 76                                 | 200                | 1                | .2           | 0.2            | 36"            |
|                                               | MECH 109/110                               | 227                                | 300                | 1                | .2           | 0.2            | 36"            |
|                                               | STORAGE 111                                | 49                                 | 300                | 1                | .2           | 0.2            | 36"            |
|                                               | STORAGE 107                                | 85                                 | 300                | 1                | .2           | 0.2            | 36"            |
|                                               | TOTAL GRD FLOOR                            | -                                  | -                  | 26               | .2           | 5.2'           | (2) - 36"      |
|                                               | KITCHEN 101                                | 185                                | 200                | 1                | .2           | 0.6'           | 36"            |
|                                               | KITCHEN 102                                | 228                                | 200                | 2                | .2           | 0.6'           | 36"            |
|                                               | STORAGE 103                                | 109                                | 300                | 1                | .2           | 0.2'           | 36"            |
|                                               | WAITRESS 105                               | 42                                 | 200                | 1                | .2           | 0.2'           | 36"            |
|                                               | DINING 106                                 | 344                                | 15                 | 23               | .2           | 4.6'           | (3) - 36"      |
|                                               | WAITING 108                                | 100                                | 5                  | 20               | .2           | 4.0'           | (2) - 36"      |
|                                               | OFFICE 107                                 | 75                                 | 100                | 1                | .2           | 0.2'           | 36"            |
|                                               | EXISTING PLAZA 111                         | 695                                | 15                 | 47               | .2           | 9.4'           | (2) - 36"      |
|                                               | TOTAL FIRST FLOOR                          | -                                  | -                  | 96               | .2           | 19.2'          | (3) - 36"      |
|                                               | SEATING 202                                | 565                                | 15                 | 38               | .2           | 7.6'           | (2) - 36"      |
|                                               | TOTAL SECOND FLOOR                         | -                                  | -                  | 38               | .2           | 7.6'           | (2) - 36"      |
|                                               | TOTAL EXISTING BUILDING                    | -                                  | -                  | 160              | .2           | 32             | (3) - 36"      |
|                                               | OCCUPANCY PER SEATING LAYOUT               |                                    |                    |                  |              |                |                |
| EXISTING BUILDING                             | -                                          | -                                  | 110                | .2               | 22           | (3) - 36"      |                |
| EXISTING PLAZA                                | -                                          | -                                  | 40                 | .2               | 8'           | (2) - 36"      |                |
| TOTAL EXIST BUILDING                          | -                                          | -                                  | 150                | .2               | 30'          | (3) - 36"      |                |

#### GENERAL NOTES - ROOF PLAN:

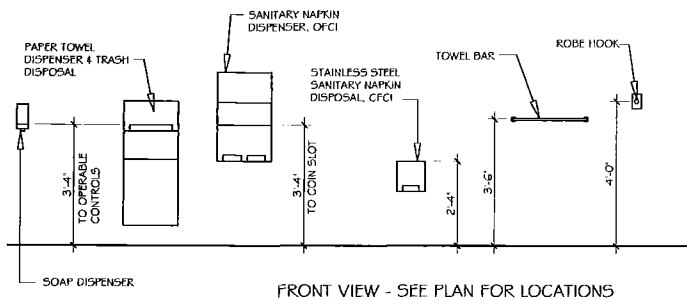
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE. REFER TO SECTIONS AND DETAILS FOR EAVE AND FASCIA CONDITIONS.

#### KEY NOTES - ROOF PLAN:

- EXISTING APPROXIMATE FURNITURE LAYOUT SHOWN FOR REFERENCE



FOR REFERENCE ONLY  
MEZZANINE/ LOW ROOF PLAN  
1/4" = 1'-0"



3 TYPICAL ADA WALL MOUNTED ACCESSORIES  
3/8" = 1'-0"

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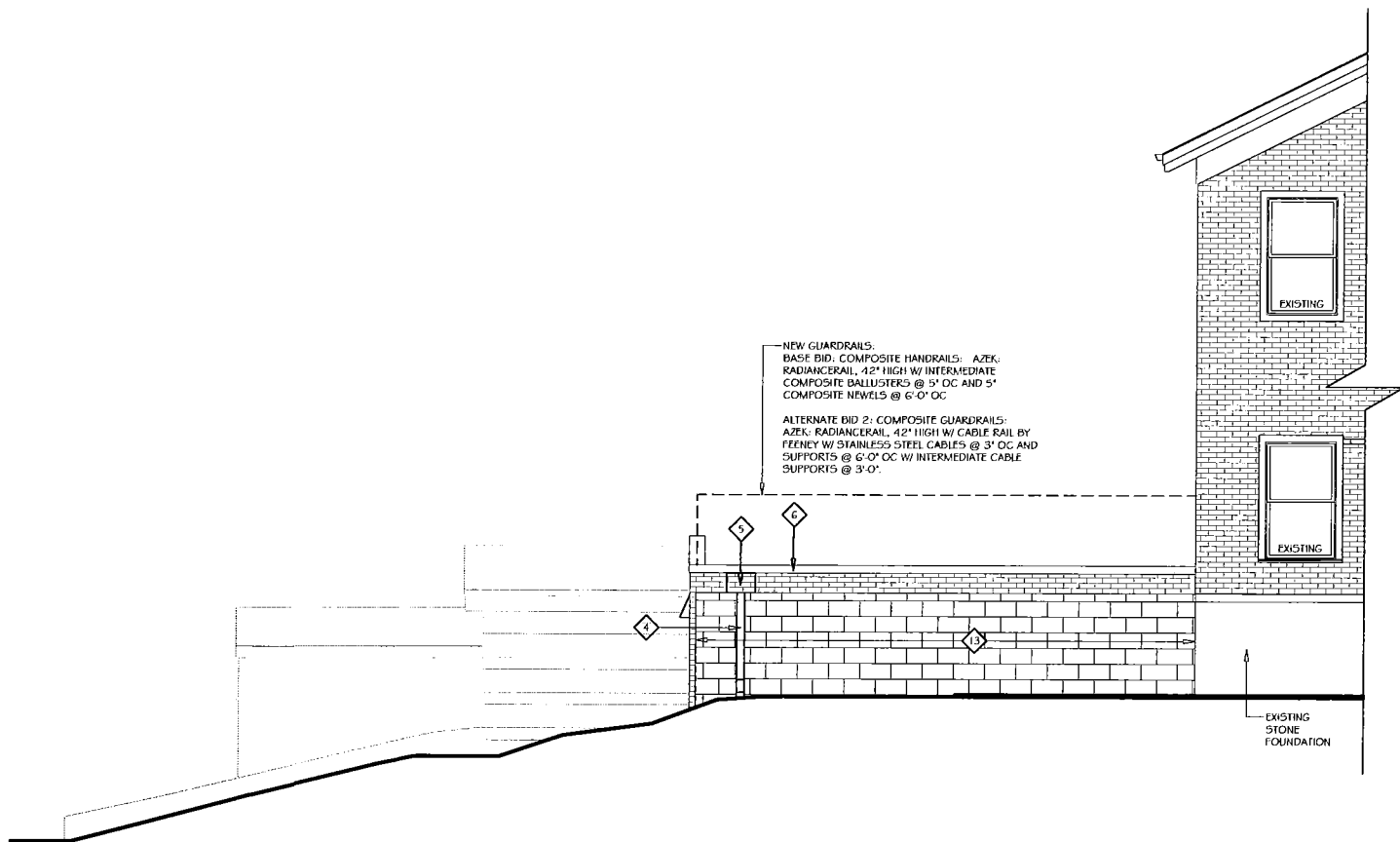
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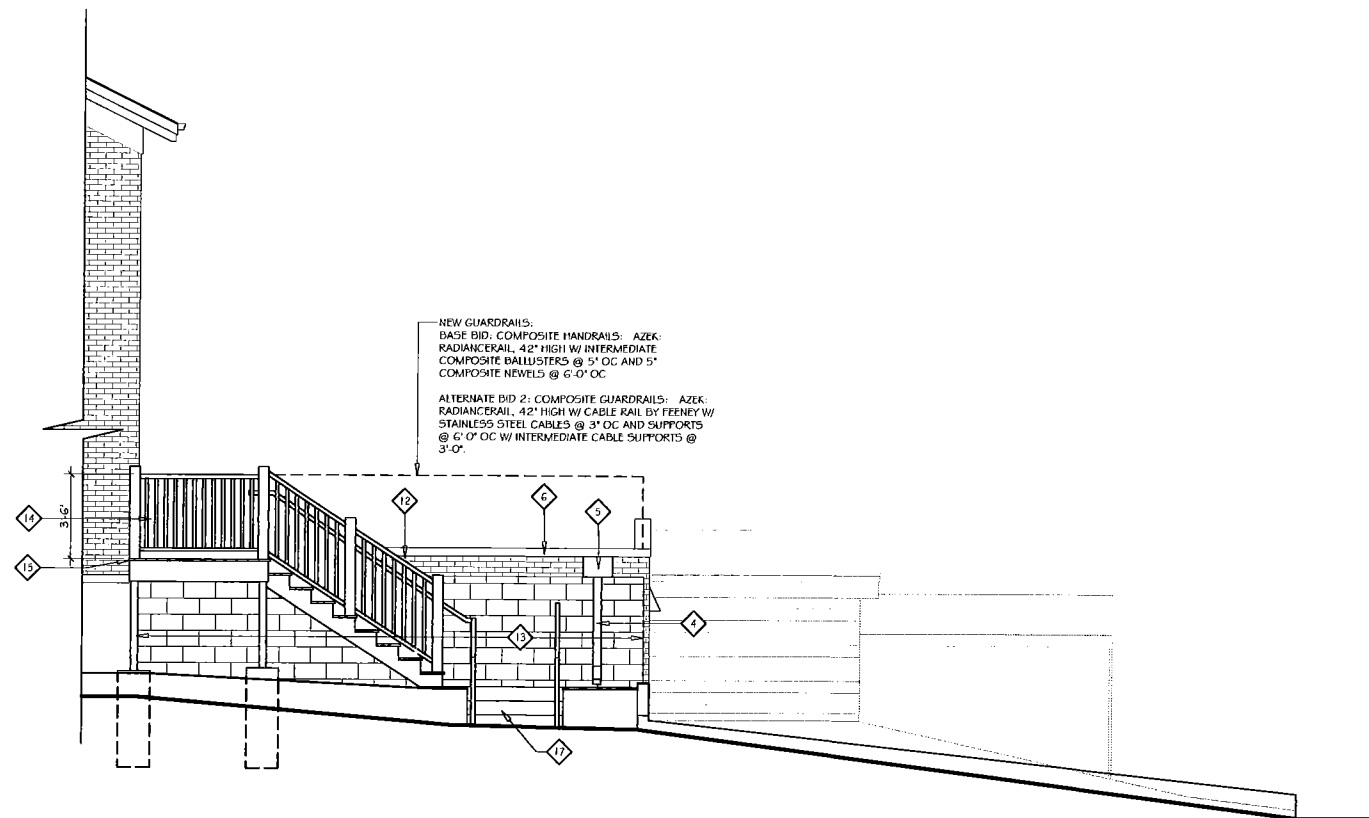
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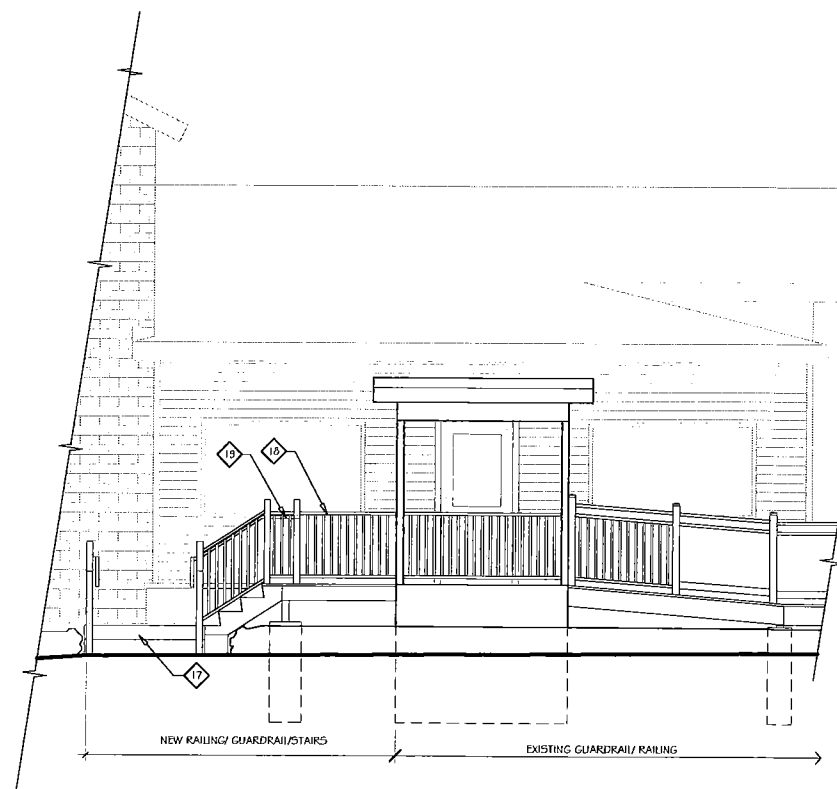
① PARTIAL NORTH ELEVATION  
1/4" = 1'-0"



② PARTIAL SOUTH ELEVATION  
1/4" = 1'-0"



③ PARTIAL EAST ELEVATION  
1/4" = 1'-0"



④ STAIRS @ FIRST FLOOR MAIN ENTRY  
PARTIAL NORTH ELEVATION  
1/4" = 1'-0"

#### GENERAL NOTES - EXTERIOR ELEVATIONS:

- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/OR OCCUPANT USERS. PHASE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
- RESTORE ALL MATERIALS AND ITEMS SCHEDULED TO REMAIN THAT ARE DAMAGED DUE TO WORK. ANY NEW MATERIALS USED ARE TO MATCH EXISTING MATERIALS, CONFIGURATION AND FINISHES.

#### KEY NOTES - EXTERIOR ELEVATIONS:

- 1. OMIT, NOT USED.
- 2. OMIT, NOT USED.
- 3. OMIT, NOT USED.
- 4. PF ALUM. GUTTER, WHITE TO MATCH EXIST.
- 5. NEW PREFINISHED METAL SCUPPER (NEW LOCATION)
- 6. NEW PREFINISHED METAL WALL CAP (EXISTING CURB)
- 7. OMIT, NOT USED.
- 8. OMIT, NOT USED.
- 9. OMIT, NOT USED.
- 10. OMIT, NOT USED.
- 11. OMIT, NOT USED.
- 12. REINSTALL SALVAGED BRICK VENEER TO ORIGINAL HEIGHT
- 13. BASE BID: CEMENTITIOUS COATING OVER EXISTING CMU BLOCK. COLOR AS SELECTED BY OWNER.
- 14. ALTERNATE BID 1: NEW THIN VENEER STONE OVER EXISTING CMU BLOCK. W/ LIMESTONE CAP. (STONE NOT SHOWN) SEE WALL SECTIONS.
- 15. NEW GUARDRAILS @ STAIRS
- 16. BASE BID: COMPOSITE HANDRAILS: AZEK, RADIANCE RAIL, 42" HIGH W/ INTERMEDIATE COMPOSITE BALLUSTERS @ 5' OC AND 5" COMPOSITE NEWELS @ 6'-0" OC. PROVIDE METAL HANDRAILS W/ BRACKETS AT EVERY NEWEL. HANDRAILS TO CONTINUE 12" MIN. BEYOND TOP AND BOTTOM RAIL.
- 17. ALTERNATE BID 2: COMPOSITE GUARDRAILS: AZEK, RADIANCE RAIL, 42" HIGH W/ CABLE RAIL BY FEENEY W/ STAINLESS STEEL CABLES @ 3' OC AND SUPPORTS @ 3'-0". PROVIDE METAL HANDRAILS W/ BRACKETS AT EVERY NEWEL. HANDRAILS TO CONTINUE 12" MIN. BEYOND TOP AND BOTTOM RAIL.
- 18. COMPOSITE DECK BOARDS, TREADS & RISERS @ STAIR, COLOR TBD
- 19. OMIT, NOT USED.
- 20. CONCRETE SLAB ON GRADE LANDING 4 STAIR.
- 21. 36" HIGH GUARDRAIL ABOVE LANDING OR STAIR NOSING (IF GRADE IS MORE THAN 30" LOWER THAN STAIRS, OR LANDING WITHIN 36" OF STAIR OR LANDING THE GUARDRAIL NEEDS TO BE 42" ABOVE STAIR OR STAIR NOSING MATCH EXISTING).
- 22. 1 1/2" DIA HANDRAIL ON STAIR SIDE OF GUARDRAIL AND 3/4" ABOVE LANDING OR STAIR NOSING.

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