

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # 27667

DATE SUBMITTED: <u>Sept. 12, 2012</u>	Action Requested
UDC MEETING DATE: <u>Sept. 19, 2012</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

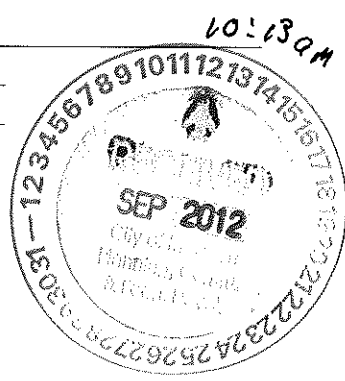
PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 7315 West Towne Way (Mall Ring Road)
ALDERMANIC DISTRICT: #9, Mr. Paul Skidmore

OWNER/DEVELOPER (Partners and/or Principals) <u>CBL & Associates Properties, Inc.</u> <u>2030 Hamilton Place Blvd., Ste 500</u> <u>Chattanooga, TN 37421</u> Attn: Ken Wittler	ARCHITECT/DESIGNER/OR AGENT: <u>Artech Design Group, Inc.</u> <u>1410 Cowart Street</u> <u>Chattanooga, TN 37408</u> Attn: Rice Williams
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CONTACT PERSON: Rice Williams
Address: 1410 Cowart Street
Chattanooga, TN 37408
Phone: 423.643.0653
Fax: 423.265.5413
E-mail address: ricew@artechdgn.com



- TYPE OF PROJECT:**
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

September 11, 2012

LETTER OF INTENT

To: City of Madison Urban Design Commission
Re: West Towne Retail District
Developer: CBL & Associates Properties, Inc.

Dear Commission Members:

Included in this submittal is information pertaining to a redevelopment project by CBL & Associates within the West Towne Mall development, generally located between the existing Toys-R-Us and the mall ring road (West Towne Way). The project is consistent with the City of Madison Comprehensive Plan by creating "Regional Mixed-Use" for the property and replaces two vacant, non-operating buildings with new retail construction which will add both temporary construction and full-time retail service employment opportunities to the local job market. Two existing parcels are currently being combined into one parcel through the City's subdivision process.

Existing Conditions

The current site contains a 7,075 SF vacant single-story concrete block and steel frame building previously occupied by Nation Tire & Battery retail store, a 5,767 SF vacant single-story wood frame building previously occupied by Mountain Jack restaurant, asphalt paved parking containing 156 parking spaces and associated infrastructure. A perimeter 5' wide concrete sidewalks extends around the site adjacent to the mall ring road (West Towne Way). The two buildings are not connected by a vehicular way. There are two existing curb cuts to the NTB paved area and one curb cut from ring road to the Mountain Jack paved area.

Project Details

The redevelopment project includes the following:

- Demolition of existing buildings, selective paving, and infrastructure (excluding underground public utilities and easements).
- New construction of 22,500 SF of multi-tenant single-story retail buildings with maximum height of 30' above finished grade elevation.
- 149 new automobile parking stalls including 8 accessible spaces; facilities for parking of 15 bicycles distributed in 3 separate locations within site; and 2/ 10' x 35' off-street loading berths.
- Vehicular access will be provided at 3 locations: southeast property corner from ring road (no change/existing); northern property (existing location/internal modification); and southwestern property (new location/ single curb cut versus two existing curb cuts)
- Pedestrian features to include expanded perimeter sidewalks at 6' wide (existing 5'); new sidewalk/crosswalk connection from southeast corner of new building to Toys-R-Us; offsite sidewalk/crosswalk connection from existing sidewalk from Dick's Sporting Goods across mall ring road to development's building sidewalk; and sidewalk passage/node between new buildings.
- Landscaping per attached Landscape Plans

- Site Lighting to include relamping/reuse of existing area light poles; building mounted sconce lighting and ornamental light poles for building sidewalk lighting; and a combination of ornamental light poles and string lights at sidewalk passage/node between new buildings.
 - Signage: Specific tenants are not identified. A signage package will be submitted as tenants are secured and proposed signage will be consistent with Chapter 31 and other City Ordinances.
 - Two outdoor seating areas containing 490 SF/69 seats and 990 SF/116 seats respectively in locations shown on plans. *Use and hours of operation to be determined.
 - Floor Area Ratio (FAR) is 0.15 [22,500sf/146,773sf(3.3695ac)]
 - Zoning: C-3L "Commercial Service & Distribution District"
 - Hours of Operation: Retail operation - 10:00am to 10:00pm Monday through Sunday
 - Construction Schedule (*):
 - Demolition of existing buildings January-February, 2013
 - Site Preparation February-March, 2013
 - Building Construction March-October, 2013
 - Tenant Fixturing October-November, 2013
 - Grand Opening November, 2013
- (*) Pending Construction Contract with General Contractor

Parties Involved

Developer	CBL & Associates Properties, Inc. Contact: Ken Wittler 423.490.8385 ken_wittler@cblproperties.com
Property Owner	West Towne District, LLC Contact: Ken Wittler 423.490.8385 ken_wittler@cblproperties.com
Architect:	Artech Design Group, Inc. Contact: Rice Williams 423.643.0653 ricew@artechdgn.com
Civil Engineer:	Miller McCoy, Inc. Contact: Ben Berry 423.698.2661 bberry@millermccoy.com
Landscape Architect:	Landscape Architecture, Inc. Contact: Cinde Drilling 501.374.5610 cdrilling@lai-ar.com
Surveyor:	R.A. Smith National, Inc. Contact: Eric Sturm 262.317.3237 eric.sturm@rasmithnational.com
General Contractor:	To Be Determined

Summary

The redevelopment of this site will accomplish the removal of existing vacant and deteriorating properties within West Towne Mall and the creation of a vibrant and distinctive shopping district that enhances pedestrian movement and reconnects the Toy-R-Us store with the remainder of the mall. We look forward to working with the City to make the West Towne Retail District project a successful addition to the City of Madison's retail experiences.

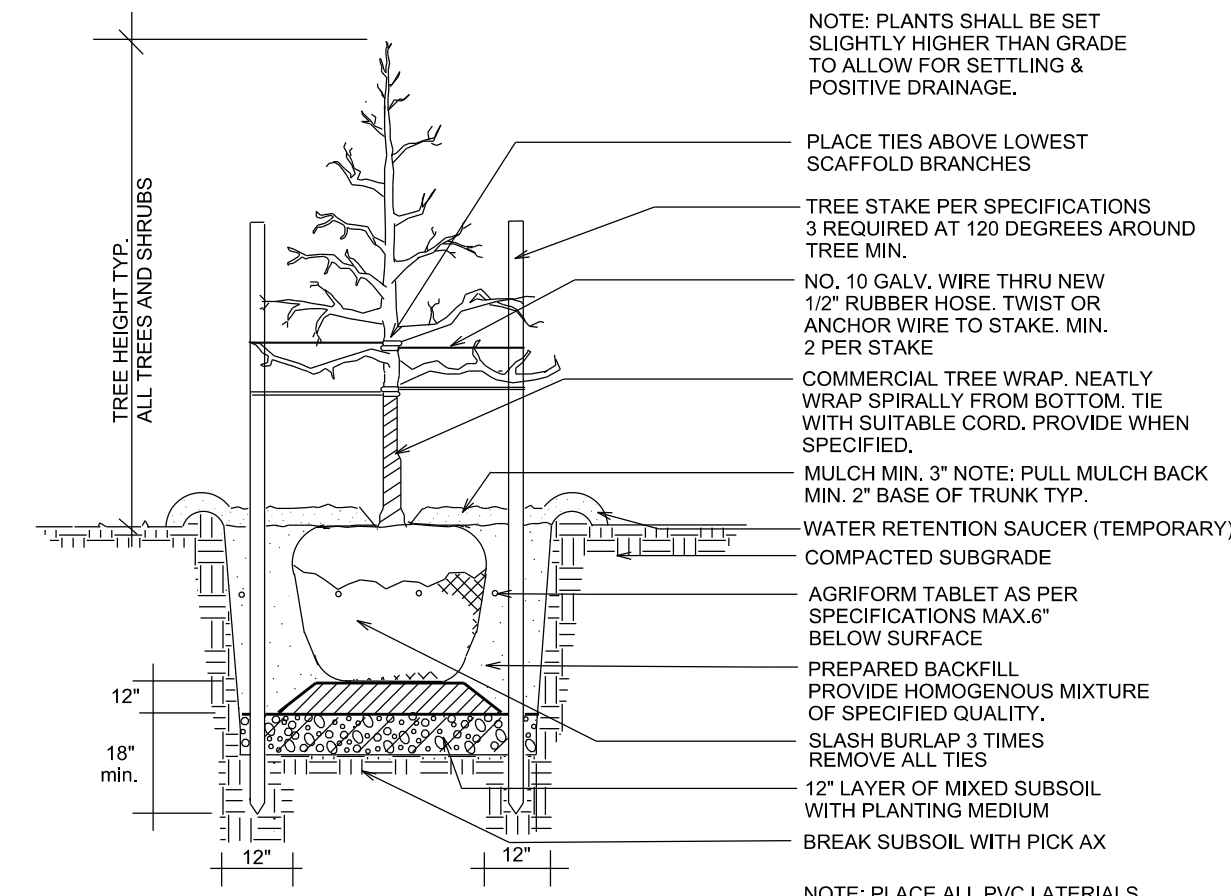
Respectfully submitted by,

A handwritten signature in black ink, appearing to read "Rice Williams". The signature is fluid and cursive, with the first name "Rice" and last name "Williams" clearly distinguishable.

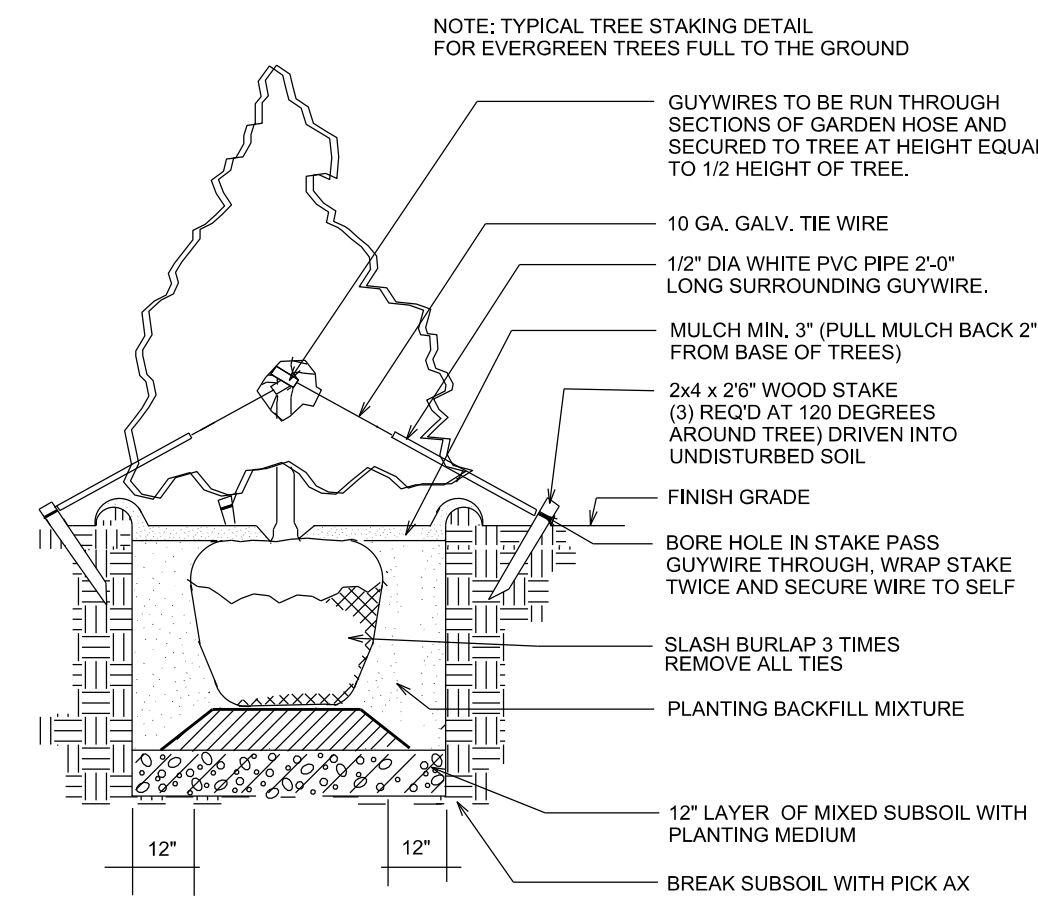
Rice Williams
Artech Design Group, Inc.

Enclosures

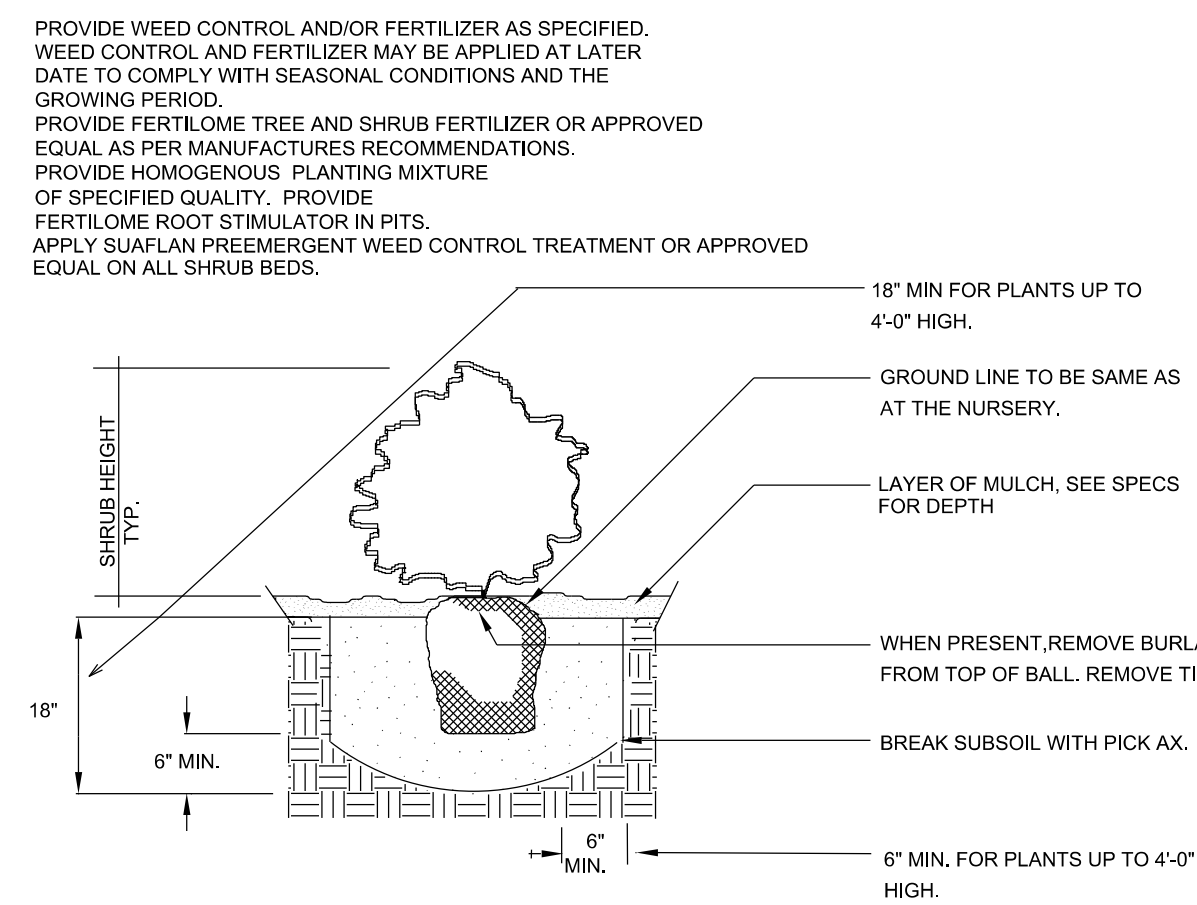
cc: Ken Wittler, CBL & Associates
Trey Conway, CBL & Associates
Bill White, Michael Best & Friedrich LLP



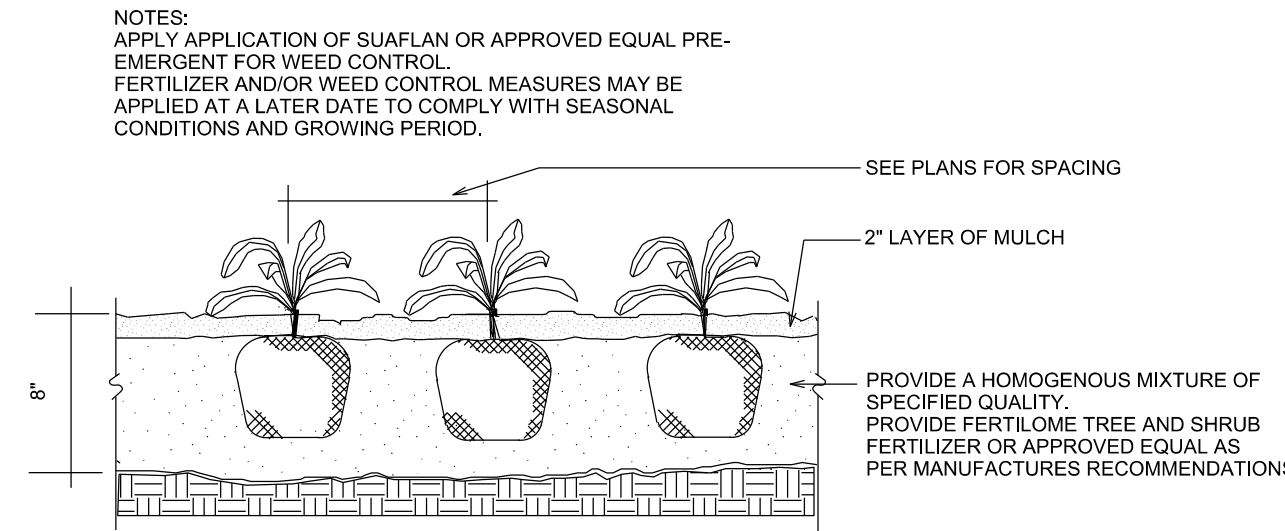
1 TREE PLANTING DETAIL
L-2 NO SCALE



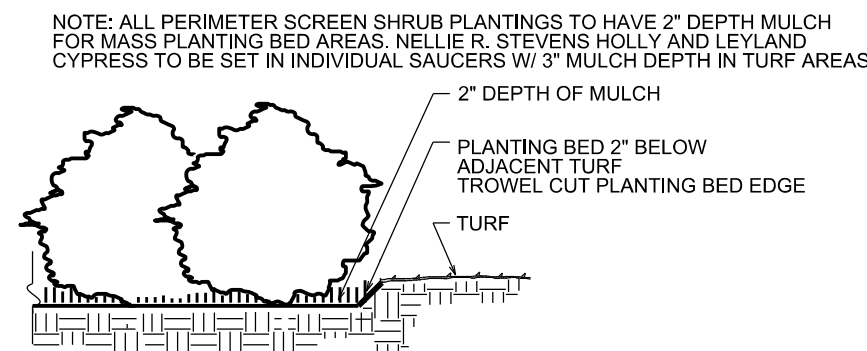
2 TREE PLANTING / EVERGREEN (FULL TO THE GROUND OR MULTI-TRUNK)
L-2 NO SCALE



3 SHRUB PLANTING DETAIL
L-2 NO SCALE



4 GROUNDCOVER PLANTING DETAIL
L-2 NO SCALE



5 TROWEL CUT EDGING
L-2 NO SCALE

West Towne Mall / Redevelopment
Madison, Wisconsin

- Item 1. All exterior mass planting and groundcover beds are to be full with material equally spaced, at the designated on center spacing, at the time of planting. Beds which are not full at the time of planting, based on the designated spacing, shall have additional material added at no expense to the Owner.
- Item 2. Provide a minimum 2" depth of shredded hardwood mulch in all planting beds.
- Item 3. Provide trowel cut edges for all mass planting areas and screen plantings to contain the mulch.
- Item 4. All areas designated for solid sod shall be solid sod Fescue Blend Sod.
- Item 5. The Owner shall provide a source for water on the site and will pay all water costs.
- Item 6. Coordinate the landscape installation with the sprinkler system installation. Coordinate the landscape installation to insure visibility of all traffic signage and graphics.
- Item 7. Provide positive drainage away from the buildings in all areas.
- Item 8. The landscape contractor shall provide soils test, by an established agricultural soils testing lab or county agency. Submit findings to the Architect and General Contractor. Amend the soil as recommended for establishment of turf and ornamental trees/shrubs.
- Item 9. Stake the locations of all trees and mass planting areas and obtain approval of the Architect and General Contractor prior to installation. Tree locations may be adjusted based on light standard locations and utility items.
- Item 10. Trees shall be selected with forms adaptable to placement adjacent to sidewalks and vehicular use areas. Trees shall have forms adaptable to future pruning for pedestrian and vehicular clearance.
- Item 11. All container grown material shall be thoroughly hand watered upon arrival, while in the containers, before planting. Do not bind or strap the trunks in the removal from trucks. Protect the trunks at all times.
- Item 12. Prune any trees as requested by the Architect or Owner.
- Item 13. Refer to the Drawings for the plantings of Broadmoor Juniper and Gold Flame Spiraea. Set the shrubs in mass plantings 2'-6" on center, staggered rows, unless otherwise noted. Provide consistent spacing in the mass plantings and work inward. Set the center of the first row of shrubs in 18" from any curbing, edging or other shrub mass.
- Item 14. All sprinkler system materials, operations and installation shall be done in strict accordance with all applicable codes, ordinances and regulations.
- Item 15. It is the responsibility of the Irrigation Contractor to familiarize himself with all grades differences, location of walls, retaining walls, etc. He shall coordinate his work with the General Contractor and other Subcontractors for the location and the installation of pipe sleeves through walls, under roadways, paving, structures, etc.

PRELIMINARY

CIVIL ENGINEER:
MILLER MCCOY, INC.
CONSULTING ENGINEERS
915 CREEKSIDE ROAD CHATTANOOGA, TENNESSEE 37406
PHONE (423) 698-2861 FAX (423) 698-2864

DEVELOPER:
CBL
CBL & ASSOCIATES PROPERTIES, INC.
CBL Center, Suite 500 2030 Hamilton Place (Boulevard) Chattanooga, TN 37421
P. 423.850.0001 F. 423.480.8662 | cblproperties.com

PROJECT:
RETAIL DEVELOPMENT
WEST TOWNE MALL
MADISON, WI

REVISIONS	
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SHEET NAME:
Landscape Detail / Notes

DATE: 08/29/12
DRAWN BY: DTS
CHECKED BY: CBD
PROJECT NO.: 12043

SHEET NUMBER:
L-2

PRELIMINARY

CIVIL ENGINEER:
MILLER MCCOY, INC.
 CONSULTING ENGINEERS
 915 CREEKSIDE ROAD CHATTANOOGA, TENNESSEE 37406
 PHONE (423) 698-2861 FAX (423) 698-2861

DEVELOPER:
CBL
CBL & ASSOCIATES PROPERTIES, INC.
 CBL Center, Suite 500 2030 Hamilton Place (Boulevard) Chattanooga, TN 37421
 P. 423.630.0001 F. 423.480.8622 | cblproperties.com

PROJECT:
RETAIL DEVELOPMENT
WEST TOWNE MALL
MADISON, WI

REVISIONS	
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SHEET NAME:
Landscape Plan

DATE: 08/29/12
 DRAWN BY: DTS
 CHECKED BY: CBD
 PROJECT NO.: 12043
 SHEET NUMBER:
L-1

West Towne Mall / Redevelopment
 Madison, Wisconsin

ITEM	SIZE AND DESCRIPTION
Trees/Shade	
*1. Greenspire Linden Tilia cordata 'Greenspire'	Height min. 10'-12'; 2"-2 1/2" caliper; spread 36"-42"; trees to have strong central leader; trees well branched, well branched all sides; trees well matched; B&B.
*2. Skyline Honey Locust Gleditsia triacanthos inermis 'Skyline'	Height min. 10'-12'; 2"-2 1/2" caliper; spread 36"-42"; trees well branched, well balanced all sides; trees well matched; B&B.
*3. Red Sunset Maple Acer rubrum 'Red Sunset'	Height min. 10'-12'; 2"-2 1/2" caliper; spread 36"-42"; trees well branched, well balanced all sides; trees well matched; B&B.
Trees / Evergreen	
*4. Black Hills Spruce Picea glauca 'densata'	Min. height 6'-7'; 1 1/2" - 2" min. caliper; trees well branched; well balanced all sides with min. 3'-4' spread; full trees; B&B.
Trees / Ornamental	
*5. Amur Maple Acer ginnala	Height 7'-9'; 1 1/2" - 2" min. caliper; full form; trees well matched spread 28"-36"; B&B or containerized.
Shrubs/Evergreen	
*6. Chadwick Yew Taxus x media 'Chadwickii'	Height 15"-18"; spread 20"-24"; well branched; full form; 3 gal.
*7. Broadmoor Juniper Juniperus sabina 'Broadmoor'	Height 10"-12"; spread 15"-18"; well branched, well balanced form; 3 gal.
Shrubs/Deciduous	
*8. Gold Flame Spiraea Spiraea x bumalda 'Gold Flame'	Height min. 12"-15"; spread min 15"-18"; full, well branched form; 3 gal. can.
Groundcover	
*9. Purpleleaf Wintercreeper Euonymus fortunei 'Colorata'	Spread. 12"-15"; full form; 1 gal. can.
Turf	
10. Fescue Blend Solid Sod	Solid sod, free of weeds, debris, insects and other grasses. Note: Match variety of sod on mall site.

*Note: Upon approval of a bid, submit pictures of representative samples of the plant materials for review by the Landscape Architect. Approval of submittals does not preclude rejection on site after planting of materials not meeting the specifications. Tag and secure all materials as required to meet installation schedule.

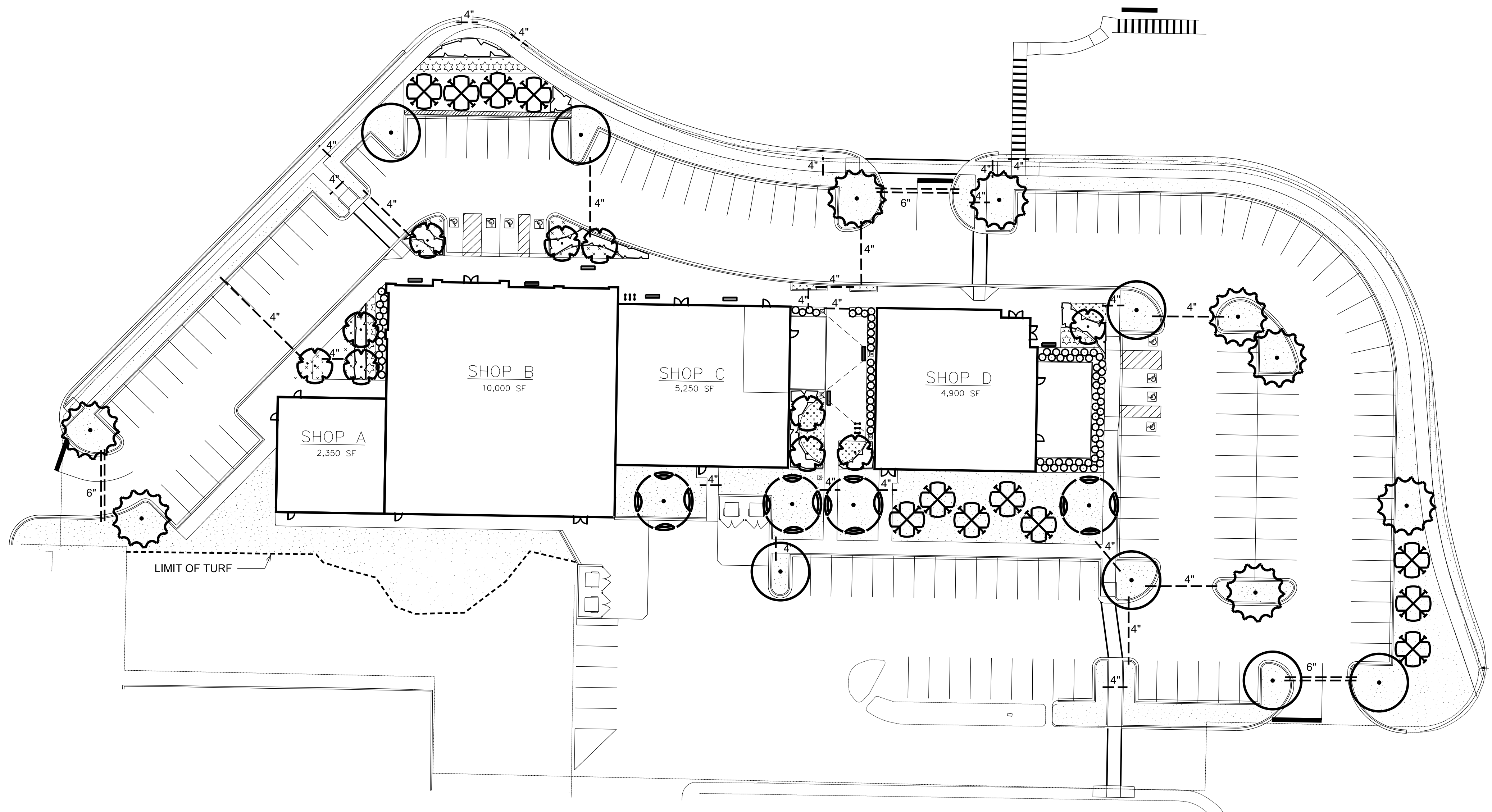
LANDSCAPE POINTS

NUMBER OF TREES REQUIRED	
NUMBER OF PARKING STALLS	149
STORAGE AREA SQUARE FOOTAGE	N/A
CANOPY TREES REQUIRED	11
NUMBER OF LANDSCAPE POINTS REQUIRED	
POINTS REQUIRED PER PARKING STALLS	648
POINTS REQUIRED PER LOADING AREA	75
TOTAL POINTS REQUIRED	723

TABULATION OF POINTS REQUIRED			
Element	Point Value	Qty	Points Achieved
* CANOPY TREES	35pts	8	280
DECIDUOUS SHRUBS	2pts	80	160
EVERGREEN SHRUBS	3pts	83	249
EVERGREEN TREES	15pts	12	180
ORNAMENTAL TREES	15pts	10	150

TOTAL POINTS PROVIDED 1,010

* Trees required for parking, are not included in the point count.
 Note: Owner may choose to delete evergreen trees against Building D.



LEGEND

	RED SUNSET MAPLE	EST QTY 7		2" DEPTH HARDWOOD MULCH @ BACK OF CURB ADJACENT TO PARKING BAY
	SKYLINE HONEY LOCUST	4		SOLID SOD TYP.
	GREENSPIRE LINDEN	8	NOTE: ABOVE LISTED QUANTITIES ARE PROVIDED FOR ESTIMATING PURPOSES ONLY. THE NUMBER OF PLANT MATERIAL SYMBOLS (CIRCLES) SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ESTIMATED QUANTITIES SHOWN ABOVE. CONFIRM ALL QUANTITIES.	
	AMUR MAPLE	10		4" OR 6" SCHEDULE 40 PVC LANDSCAPE IRRIGATION SLEEVE (SIZE SHOWN ON PLAN) BURY AT A MIN. DEPTH OF 18", EXTEND 12" BEYOND ANY CURB OR PAVING AND CLEARLY MARK FOR ACCESS.
	BLACK HILLS SPRUCE	12		
	CHADWICK YEW	83	NOTE: ALL LANDSCAPE AREAS WITHIN SCOPE OF WORK SHALL RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM.	
	MASS PLANTING BROADMOOR JUNIPER 2'-6" O.C. TYP.	158		
	MASS PLANTING GOLD FLAME SPIRAEA 2'-6" O.C. TYP.	80		
	MASS PLANTING PURPLE LEAF WINTER CREEPER 18" O.C. TYP.	407		

PRELIMINARY
 LANDSCAPE PLAN
 SCALE: 1"=30'-0"

SITE UTILITY NOTES

1. THE SITE UTILITY PLAN IS FOR SANITARY SEWER AND WATER LINE CONSTRUCTION ONLY. DO NOT USE FOR GRADING OR STORM SEWER CONSTRUCTION.
2. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
3. ALL DOMESTIC WATER AND SANITARY SEWER STUBS TO BE TERMINATED 5 FEET OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED. THE END OF THESE SERVICE LINES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL SUCH TIME AS CONNECTION IS MADE INSIDE BUILDING BY PLUMBING CONTRACTOR. SEE DETAIL SHEET C-08 FOR FIRE LINE RISER DETAIL.
4. SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING PRESSURE TESTING AND DISINFECTION OF LATERALS AND HIS SIGNATURE OF APPROVAL IS REQUIRED.
5. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, AND THE CITY OF MADISON.
6. THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE LOCAL UTILITY AUTHORITIES FOR CONNECTION TO THE EXISTING MAINS AND PAY ALL APPLICABLE FEES.
7. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 54" ABOVE TOP OF PIPE.
8. CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES AT NO EXTRA COST.
9. BASED ON THE CURRENT EDITION OF THE INTERNATIONAL PLUMBING CODE, CLEANOUTS ARE REQUIRED AT A MAXIMUM SPACING OF 100 FEET ON UTILITY LEAD-INS TO BUILDING. CONTRACTOR TO PROVIDE A CLEANOUT WITHIN 5 FEET OF BUILDING AND AT ALL BENDS.
10. THE SITE UTILITY CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS ON THE SITE.
11. ALL MATERIALS SHALL BE U.L. LISTED AND APPROVED BY THE LOCAL UTILITY COMPANY UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
12. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION. THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN OR INDICATED ON THE DRAWINGS. THE SITE UTILITY CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED.
13. USE ONLY DUCTILE IRON WATER PIPE AND FITTINGS FOR WATER LINES OVER 2". PIPE 2" AND SMALLER SHALL BE TYPE K COPPER. FITTINGS SHALL BE COPPER OR BRONZE. JOINTS SHALL BE SOLDER OR FLARE TUBE TYPE. SEWER PIPE SHALL BE SDR-35 PVC.
14. UTILITY LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLUMBING PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATIONS AT NO ADDITIONAL COST TO THE OWNER. UTILITY CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION. LEAD-INS, LOCATION, SIZE, AND INVERT ELEVATIONS OF SANITARY SEWER SHALL BE COORDINATED WITH THE APPROVED PLUMBING PLANS FOR THE BUILDING.
15. BUILDING PLUMBING CONTRACTOR SHALL PAY ALL COST FOR WATER METERS, METER BOXES, VALVES, ETC. TO PROVIDE A COMPLETE JOB PER LOCAL AUTHORITY REQUIREMENTS.
16. THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS, AND BENDS OF SUFFICIENT SIZE TO COMPLY WITH MINIMUM STANDARDS OF N.F.P.A. - EXISTING SOIL CONDITIONS.
17. SHOULD LATENT SOIL CONDITIONS NECESSITATE, CONTRACTOR SHALL INSTALL SPECIAL SUPPORTS FOR PIPING AND/OR APPURTENANCES INCLUDING THE REMOVAL OF UNSUITABLE MATERIAL AND BACKFILLING WITH GRAVEL OR OTHER MATERIAL. CONTRACTOR SHALL PERFORM ANY SUCH WORK AS DIRECTED BY THE CIVIL ENGINEER AND/OR SOILS ENGINEER AT NO COST TO OWNER.
18. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PREPARED.
19. SPRINKLER MAINS ARE TO BE STUBBED 18" INSIDE BUILDING AND TURNED UP 12" ABOVE F.F.E. UNLESS OTHERWISE NOTED. SEE DETAIL ON SHEET C-08. CONTRACTOR SHALL VERIFY LICENSING REQUIREMENTS FOR INSTALLATION OF FIRE LINES PRIOR TO SUBMITTING A BID.
20. THE SITE UTILITY CONTRACTOR SHALL COORDINATE AND PAY FOR ALL SANITARY SEWER CONNECTIONS. SANITARY SEWER CONNECTION FINAL TIE-IN TO THE EXISTING MANHOLE(S) SHALL NOT BE MADE UNTIL COMPLETION OF THE PROPOSED SYSTEM AND ALL MANHOLES HAVE BEEN BROUGHT ABOVE GROUND TO INSURE SEDIMENT DOES NOT ENTER SYSTEM. LINES SHALL BE PROPERLY CLEANED, IF NEEDED.
21. CONNECTIONS TO EXISTING WATER LINE MAY BE PERFORMED BY THE LOCAL UTILITY COMPANY. THE SITE UTILITY CONTRACTOR SHALL VERIFY REQUIREMENTS AND PAY ALL COSTS.
22. SITE UTILITY CONTRACTOR TO COORD. WITH IRRIGATION CONTRACTOR TO PROVIDE POWER IN CONDUIT TO IRRIGATION CONTROLLER PER MANUFACTURERS RECOMMENDATIONS. VERIFY EXACT LOCATION OF CONTROLLER W/ OWNER PRIOR TO INSTALLATION.
23. SEE SHEET C-08 ADDITIONAL UTILITY DETAILS.

PRELIMINARY

CIVIL ENGINEER:
MILLER MCCOY, INC.
 CONSULTING ENGINEERS
 915 CRENSHAW ROAD
 CHATTANOOGA, TENNESSEE 37408
 PHONE (423) 698-2661 FAX (423) 698-2664

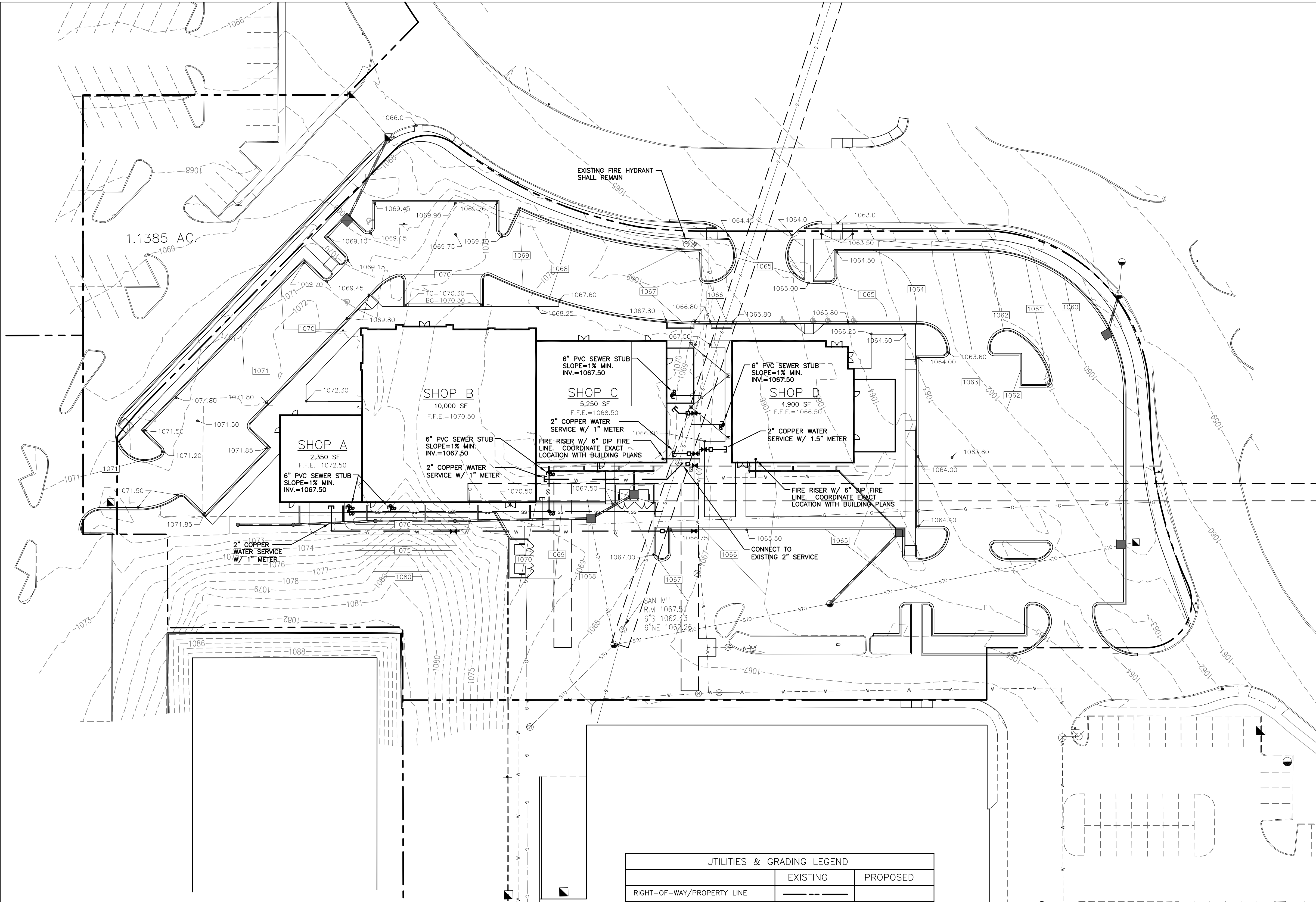
DEVELOPER:
CBL
CBL & ASSOCIATES PROPERTIES, INC.
 CBL Center, Suite 600 2030 Hamilton Place Boulevard | Chattanooga, TN 37421
 P. 423.855.0001 F. 423.855.0662 | cblproperties.com

PROJECT:
WEST TOWNE RETAIL DISTRICT
 WEST TOWNE MALL
 MADISON, WI

REVISIONS	
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SHEET NAME:
 SITE UTILITIES PLAN

DATE: 09/04/12
 DRAWN BY: BMB
 CHECKED BY: RWM
 PROJECT NO.: 12043
 SHEET NUMBER:
C-05



UTILITIES & GRADING LEGEND		
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE	---	---
WATER LINE	W	6 W
SANITARY SEWER	SS	SS
SANITARY SEWER MANHOLE	⊙	⊙
UNDERDRAIN	UD	UD
UNDERGROUND POWER LINE	UGE	UGE
UNDERGROUND TELEPHONE/DATA LINE	UGT	UGT
OVERHEAD ELECTRIC LINE	OHE	OHE
NATURAL GAS LINE	G	G
CLEANOUT		⊗
FIRE HYDRANT	⊕	⊕
WATER VALVE	⊕	⊕
INDEX CONTOURS	-750-	750
1' INTERVALS	-751-	751
SPOT ELEVATION	×751.50	750.50
STORM SEWER	-)-)	---
CATCH BASIN	□	■
LIGHT POLE (SEE SITE ELECTRICAL PLANS)		⊕+⊕

SITE GRADING NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY DATED 12/08/05 BY: THE RLS GROUP
TEL. 423-847-0155
FAX. 423-847-0156
- EXISTING SOIL INFORMATION IS AVAILABLE FROM: S&ME
TEL. 423-499-0957
SOIL REPORT DATED 01/09/06
- NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN PLANTING AREAS.
- ROUGH GRADE ELEVATIONS SHALL BE AS FOLLOWS:
4" BELOW FINISHED CONTOURS IN GRASS AREAS.
12" BELOW FINISHED CONTOURS IN CONCRETE PAVED AREAS.
8" BELOW FLOOR ELEVATIONS WITHIN THE BUILDING AND SIDEWALK AREAS, UNLESS OTHERWISE NOTED.
11" BELOW FINISHED CONTOURS IN HEAVY DUTY ASPHALT AREAS
9" BELOW FINISHED CONTOURS IN STANDARD DUTY ASPHALT AREAS
- RCP STORM DRAIN PIPE IS CLASS III REINFORCED CONCRETE CONFORMING TO ASTM C-76. PVC STORM DRAIN PIPE IS SDR35. HDPE STORM DRAIN PIPE IS ADS N-12 IB WT.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAY-OUT FOOTINGS. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION.
- GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES TO REMAIN AS REQUIRED TO MATCH FINISHED GRADES.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTORS SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION.
- FOR ANY WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL:
A. NOT STORE MATERIAL, EXCESS DIRT, OR EQUIPMENT IN THE RIGHT-OF-WAY IN CASE OF MULTILANE HIGHWAYS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK, ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY.
B. PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES, AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE CITY, STATE, ARCHITECT, ENGINEER, AND OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING PUBLIC.
C. COMPLETE WORK TO THE SATISFACTION OF THE CITY PUBLIC WORKS DEPARTMENT AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK IS ACCEPTABLE.
- A QUALIFIED SOILS LABORATORY SHALL BE ON-SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.
- GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO OWNER.
- SITE GRADING CONTRACTOR SHALL TERMINATE ALL STORM DRAIN PIPES FIVE FEET MAXIMUM FROM BUILDING UNLESS OTHERWISE NOTED.
- STORM SEWER LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD-INS. CONTRACTOR SHALL COORDINATE LOCATIONS, SIZE, AND INVERT ELEVATIONS OF STORM SEWERS WITH APPROVED BUILDING PLUMBING PLANS.
- UNUSEABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY GRADING CONTRACTOR AND/OR AS DIRECTED BY PRIME CONTRACTOR AT NO ADDITIONAL COST TO OWNER. IMPORT SUFFICIENT MATERIAL TO COMPLETE WORK AT NO ADDITIONAL COST, IN THE EVENT OF A SHORTAGE OF STRUCTURAL FILL.
- ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION. OWNER MUST APPROVE STAKED ITEMS PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO BEGINNING OF GRADING. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES AND SHALL REMOVE SILT FROM BERM DITCHES, SILT DAMS, AND SILT FENCES AS NEEDED. INSPECT DEVICES WITH GENERAL CONTRACTOR AT LEAST ONCE A WEEK.
- CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS, (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS & CONSTRUCTION TO BE PERFORMED.
- CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED.
- IN NO CASE SHALL ANY PAVED AREAS BE LESS THAN A SLOPE OF 1.5%. ALL ACCESSIBLE SIDEWALKS AND AISLE SLOPES NOT TO EXCEED 2% CROSS-SLOPE.
- CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.
- ALL LINEAR FOOTAGE FOR ALL UTILITY PIPES ARE APPROXIMATE, ACTUAL INSTALLED QUANTITIES MAY VARY.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.
- GRADING CONTRACTOR SHALL MAINTAIN ALL WEATHER CONSTRUCTION ACCESS ROADS AS REQUIRED BY GENERAL CONTRACTOR.
- ALL FUTURE BUILDING AREAS (OUTPARCELS) SHALL BE GRADED AS PER BUILDING PAD GRADING REQUIREMENTS AND CROWNED TO PROVIDE POSITIVE DRAINAGE OFF PAD.

PRELIMINARY

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CBL & ASSOCIATES PROPERTIES, INC.
CBL Center, Suite 500 2000 Hamilton Place Boulevard Chattanooga, TN 37421
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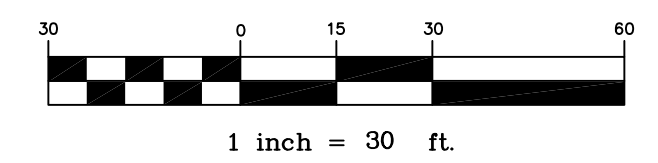
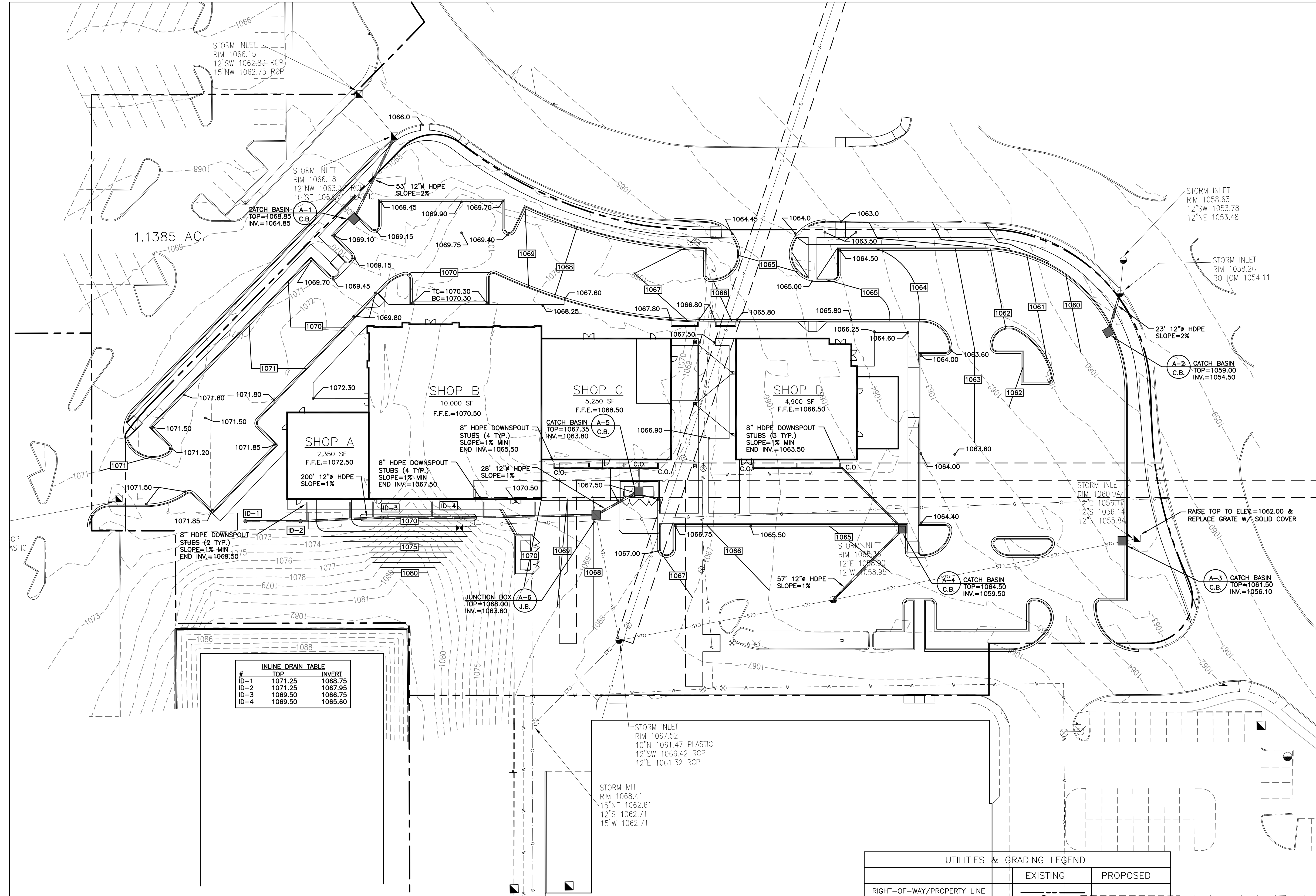
WEST TOWNE RETAIL DISTRICT
WEST TOWNE MALL
MADISON, WI

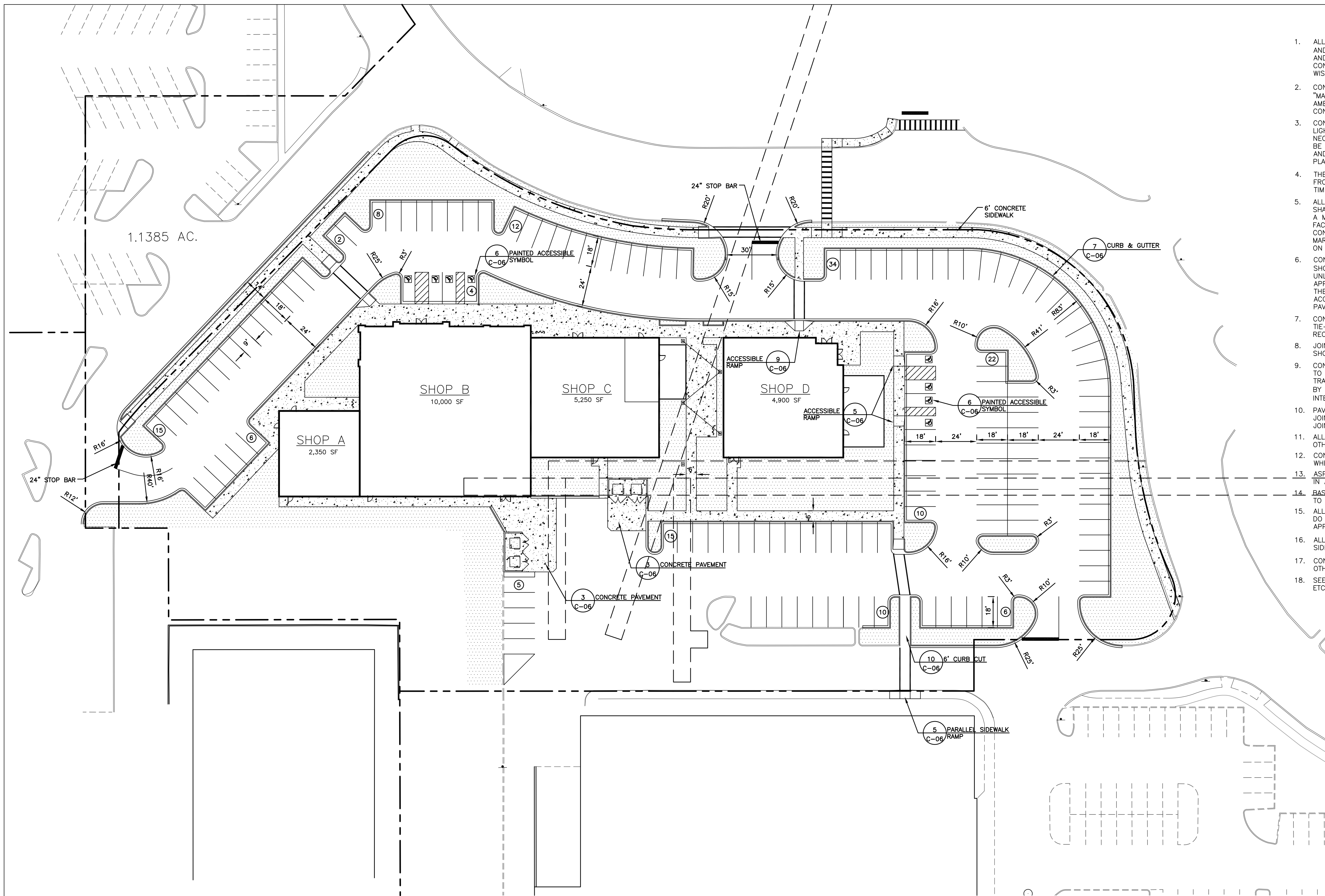
REVISIONS

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SHEET NAME:
GRADING & DRAINAGE PLAN

DATE: 09/04/12
DRAWN BY: BMB
CHECKED BY: RWM
PROJECT NO.: 12043
SHEET NUMBER:
C-03





PARKING AND PAVING NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, CITY, COUNTY, AND STATE. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT ALL THE CONSTRUCTION BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DOT STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT ALL CONSTRUCTION ADJACENT TO AND WITHIN ALL ROADWAYS. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO CITY AND STATE FOR APPROVAL.
- THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE WORK AREAS FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. A MINIMUM CLEARANCE OF TWO FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON SIGNS OR LIGHT POLES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN. ALL PAVEMENT MARKINGS SHALL BE FOUR (4") WIDE SOLID WHITE UNLESS INDICATED OTHERWISE ON THE DRAWINGS. PAINT SHALL BE APPLIED IN TWO COATS FOR A MINIMUM DRY FILM THICKNESS OF .15 MIL. THERMOPLASTIC STRIPING, IF REQUIRED, SHALL BE SPRAY TYPE, APPLIED IN ACCORDANCE WITH DOT STANDARDS. CONTRACTOR SHALL RE-STRIP ALL PAVEMENT MARKINGS SIX MONTHS AFTER GRAND OPENING.
- CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED ASPHALT.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL @ ALL INTERSECTIONS)
- PAVING CONTRACTOR SHALL INSTALL PAPER BREAKAWAY EDGES AT COLD JOINTS OR SAWCUT AS REQUIRED TO INSURE A STRAIGHT, FULL-DEPTH JOINT FACE IMMEDIATELY PRIOR TO INSTALLING ABUTTING HOT ASPHALT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF PAVEMENT REPLACEMENT WHERE UTILITY LINES ARE EXTENDED ACROSS EXISTING ASPHALT.
- ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- BASE AND ASPHALT THICKNESSES ARE MINIMUM REQUIRED. REFER TO SPECIFICATIONS FOR TYPE OF PAVING AND BASE TO BE USED.
- ALL CONCRETE SHALL BE CLASS A 4000 P.S.I. UNLESS NOTED OTHERWISE. DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE INSPECTOR.
- ALL RAMP CONSTRUCTED ARE NOT TO EXCEED A SLOPE OF 1:12. ALL SIDEWALKS SHALL NOT HAVE A CROSS-SLOPE GREATER THAN 1:50.
- CONCRETE DUMPSTER PADS TO BE FLUSH WITH PAVEMENT UNLESS INDICATED OTHERWISE.
- SEE SHEET C-6 FOR ADDITIONAL DETAILS ON STRIPING, SIGNS, ETC.

PARKING LOT PLAN SITE INFORMATION BLOCK	
SITE ADDRESS:	7315 WEST TOWNE WAY
SITE ACREAGE:	3.25 ACRES
NUMBER OF BUILDING STORIES:	ONE
BUILDING HEIGHT:	30' MAX
TOTAL SF OF BUILDING:	22,500 SF
USE OF PROPERTY:	COMMERCIAL
GROSS SF OF OFFICE:	N/A
GROSS SF OF RETAIL:	22,500 SF
CAPACITY OF RESTAURANTS:	N/A
NUMBER OF BICYCLE STALLS:	15
NUMBER OF PARKING STALLS:	
SMALL CAR	0
LARGE CAR	141
ACCESSIBLE	8
TOTAL	149
NUMBER OF TREES SHOWN:	41

PRELIMINARY

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 915 BREKESIDE ROAD CHATTANOOGA, TENNESSEE 37408
 PHONE (423) 698-2661 FAX (423) 698-2661

DEVELOPER:
CBL & ASSOCIATES PROPERTIES, INC.
 CBL Center, Suite 1000 2030 Hamilton Place Boulevard | Chattanooga, TN 37421
 P. 423.855.0001 F. 423.855.0062 | cblproperties.com

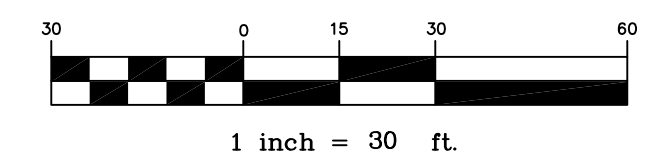
PROJECT:
WEST TOWNE RETAIL DISTRICT
 WEST TOWNE MALL
 MADISON, WI

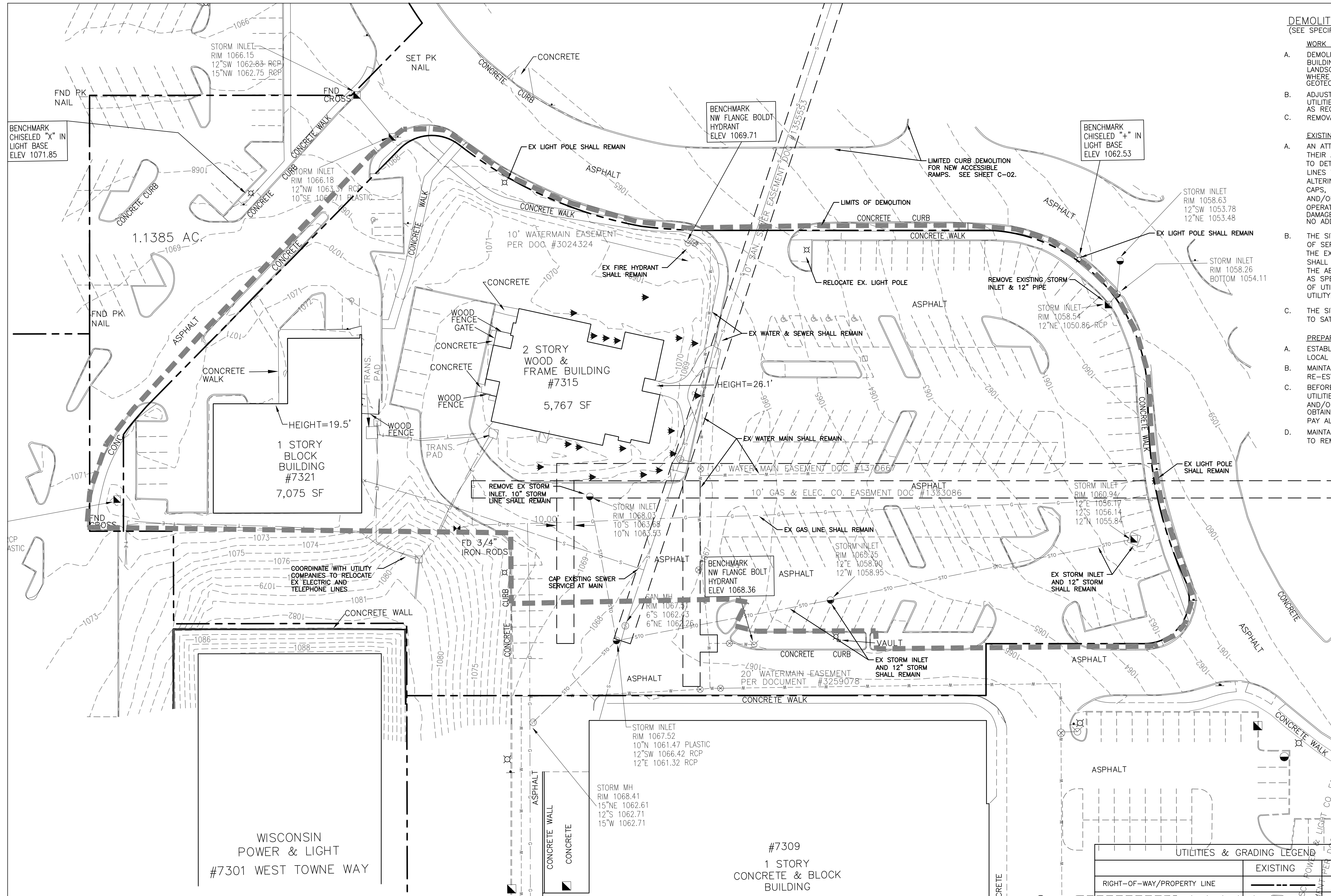
REVISIONS	
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SHEET NAME:
SITE LAYOUT & PAVING PLAN

DATE: 09/04/12
 DRAWN BY: BMB
 CHECKED BY: RWM
 PROJECT NO.: 12043
 SHEET NUMBER:

C-02

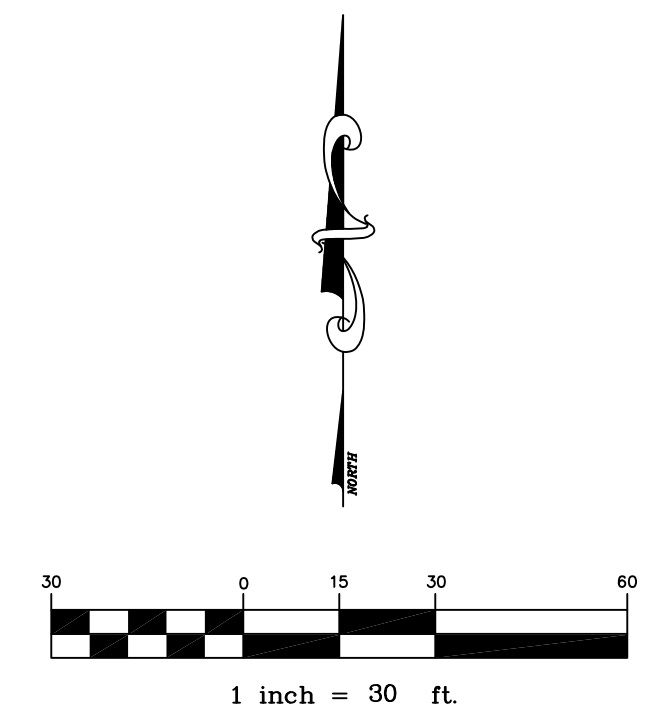




DEMOLITION NOTES :
(SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)

- WORK INCLUDED BUT NOT LIMITED TO:**
- DEMOLITION, ABANDONMENT OR REMOVAL FROM SITE OF ALL EXISTING BUILDINGS, STRUCTURES, FOUNDATIONS, CONCRETE, ASPHALT, TREES, LANDSCAPING, AND UTILITIES ABOVE AND BELOW GROUND AT THE SITE EXCEPT WHERE SPECIFIED TO REMAIN. IF PILE FOUNDATIONS ARE FOUND, CONSULT GEOTECHNICAL ENGINEER FOR RECOMMENDATION.
 - ADJUSTMENT, RELOCATION, EXTENSION AND/OR TERMINATION OF ALL UTILITIES AS REQUIRED BY LOCAL UTILITY, CITY, COUNTY, AND STATE AS WELL AS REQUIRED BY PLANS AND SPECIFICATIONS.
 - REMOVAL OF ASPHALT PAVING IN APPLICABLE AREAS AND PROPER DISPOSAL OFFSITE.
- EXISTING CONDITIONS:**
- AN ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITIES KNOWN TO EXIST IN THEIR APPROXIMATE LOCATION. THE SITE CONTRACTOR WILL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION, NATURE AND STATUS OF ALL UTILITY LINES WHETHER SHOWN ON PLANS OR NOT BEFORE REMOVING, ADJUSTING, ALTERING, EXTENDING, OR RELOCATING AND SHALL MAKE ALL NECESSARY CAPS, PLUGS, AND TERMINATIONS AS REQUIRED BY THE UTILITY OWNER AND/OR GOVERNING AUTHORITIES TO RETURN SAID UTILITY TO COMPLETE OPERATION AT NO ADDITIONAL COST TO OWNER. ANY UTILITY WHICH IS DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER BY THE SITE/DEMOLITION CONTRACTOR.
 - THE SITE/DEMOLITION CONTRACTOR SHALL VERIFY THE EXISTENCE OR NON-EXISTENCE OF SEPTIC TANKS, WELLS, CISTERNS, BASEMENTS, OR CELLARS ON THE SITE. THE EXISTENCE OF ANY OF THE ABOVE ITEMS SHOWN OR NOT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY. THE ABOVE SHALL BE DEMOLISHED AND THE AREA FILLED AND COMPACTED AS SPECIFIED AT NO ADDITIONAL COSTS. ALL DEMOLITION AND/OR CAPPING OF UTILITIES, WELLS, ETC., SHALL BE IN ACCORDANCE WITH LOCAL UTILITY, CITY, COUNTY, AND STATE REGULATIONS.
 - THE SITE/DEMOLITION CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO SATISFY HIMSELF AS TO THE EXISTING CONDITIONS AND WORK TO BE DONE.
- PREPARATION:**
- ESTABLISH IMPROVEMENT TO BE REMOVED AND COORDINATE WORK WITH LOCAL AUTHORITIES, OCCUPANT, AND GENERAL CONTRACTOR.
 - MAINTAIN BENCHMARKS, MONUMENTS, AND OTHER REFERENCE POINTS. RE-ESTABLISH IF DISTURBED OR DESTROYED, AT NO COST TO OWNER.
 - BEFORE START OF DEMOLITION, ESTABLISH THE LOCATION AND EXTENT OF UTILITIES IN THE WORK AREAS. IF APPLICABLE, NOTIFY UTILITIES TO REMOVE AND/OR RELOCATE LINES WHICH WILL BE AFFECTED BY DEMOLITION AND OBTAIN APPROVAL OF ALL APPLICABLE AUTHORITIES TO PERFORM WORK AND/OR PAY ALL COSTS FOR AUTHORITIES TO PERFORM WORK.
 - MAINTAIN, PROTECT, REROUTE OR EXTEND AS REQUIRED, EXISTING UTILITIES TO REMAIN IN SERVICE WHICH PASS THROUGH THE WORK AREA.

UTILITIES & GRADING LEGEND		
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE	---	---
WATER LINE	---	6 W
SANITARY SEWER	SS	SS
SANITARY SEWER MANHOLE	⊙	⊙
UNDERDRAIN	UD	UD
UNDERGROUND POWER LINE	UGE	UGE
UNDERGROUND TELEPHONE/DATA LINE	UGT	UGT
OVERHEAD ELECTRIC LINE	OHE	OHE
NATURAL GAS LINE	G	GAS
CLEANOUT	CO	CO
FIRE HYDRANT	H	H
WATER VALVE	V	V
INDEX CONTOURS	750	750
1' INTERVALS	751	751
SPOT ELEVATION	751.50	750.50
STORM SEWER	---	---
CATCH BASIN	CB	CB
LIGHT POLE (SEE SITE ELECTRICAL PLANS)	LP	LP



PRELIMINARY

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CONSULTING ENGINEERS
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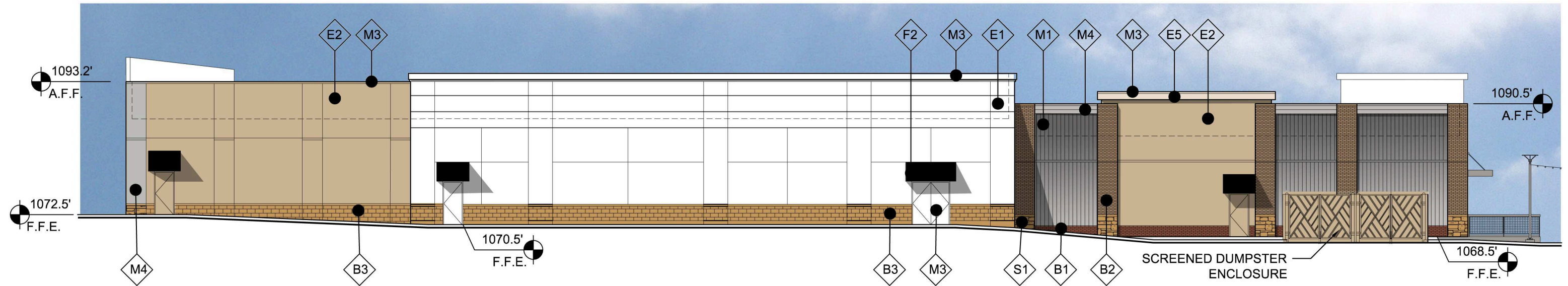
DEVELOPER:
CBL & ASSOCIATES PROPERTIES, INC.
CBL Center, Suite 500 2030 Hamilton Place Boulevard Chattanooga, TN 37421
P. 423.855.0001 F. 423.855.0002 | cblproperties.com

PROJECT:
WEST TOWNE RETAIL DISTRICT
WEST TOWNE MALL
MADISON, WI

REVISIONS	
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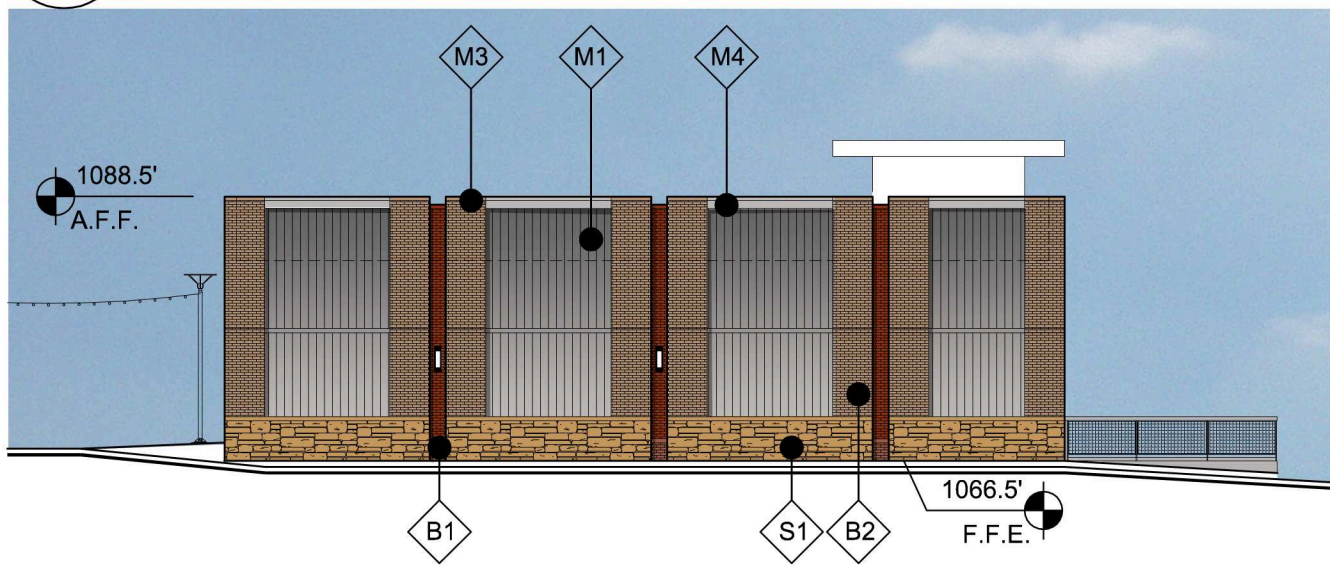
SHEET NAME:
EXISTING CONDITIONS & DEMOLITION PLAN

DATE: 09/04/12
DRAWN BY: BMB
CHECKED BY: RWM
PROJECT NO.: 12043
SHEET NUMBER:
C-01



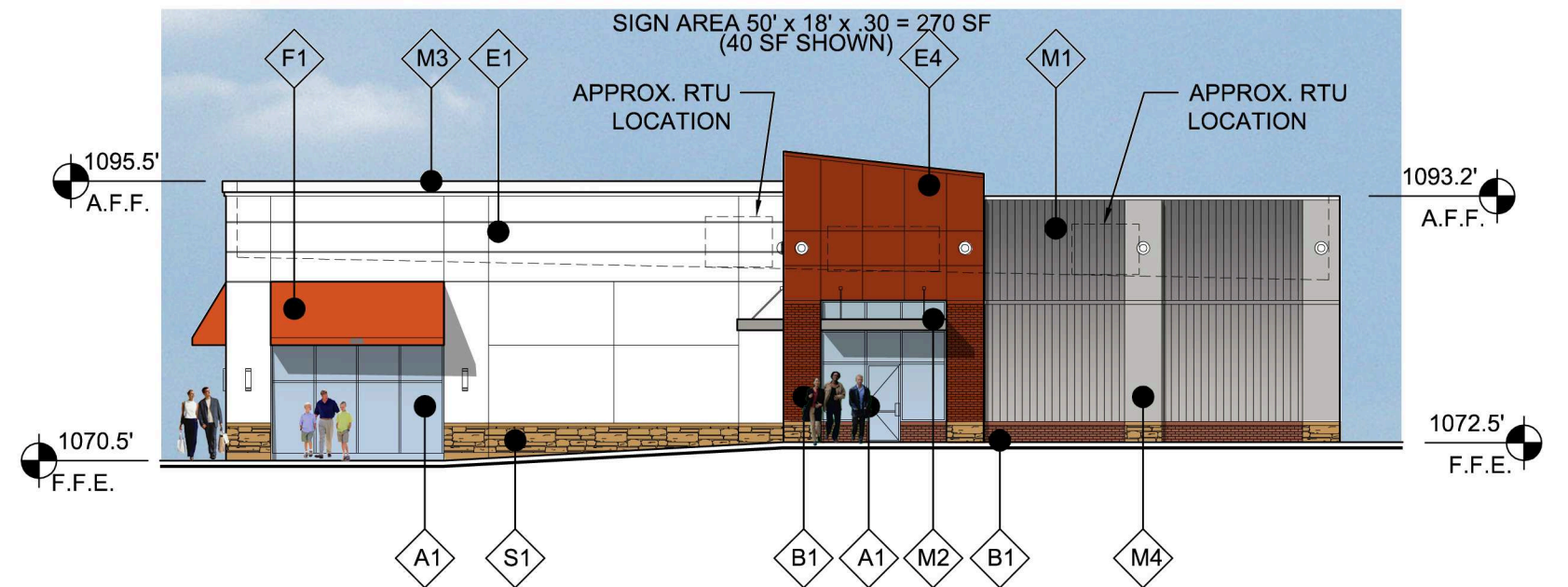
4 REAR ELEVATION

SCALE: N.T.S.



5 REAR ELEVATION

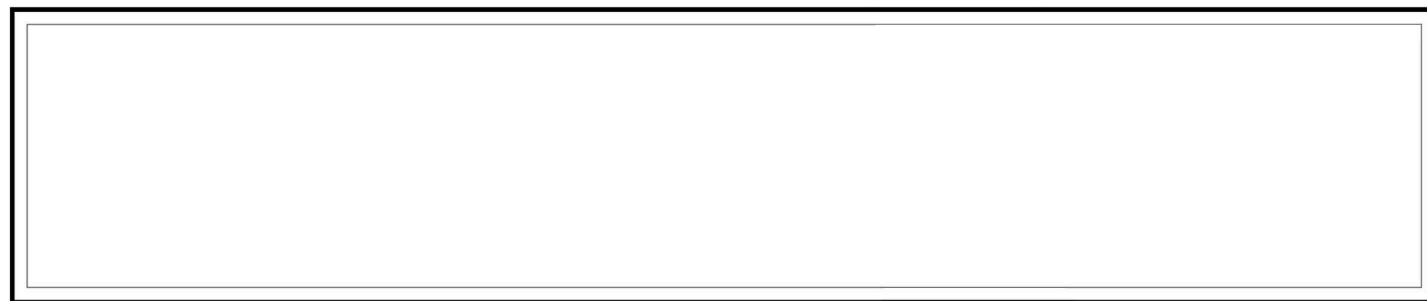
SCALE: N.T.S.



6 SIDE ELEVATION

SCALE: N.T.S.

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WEST TOWNE RETAIL DISTRICT
 Madison, Wisconsin

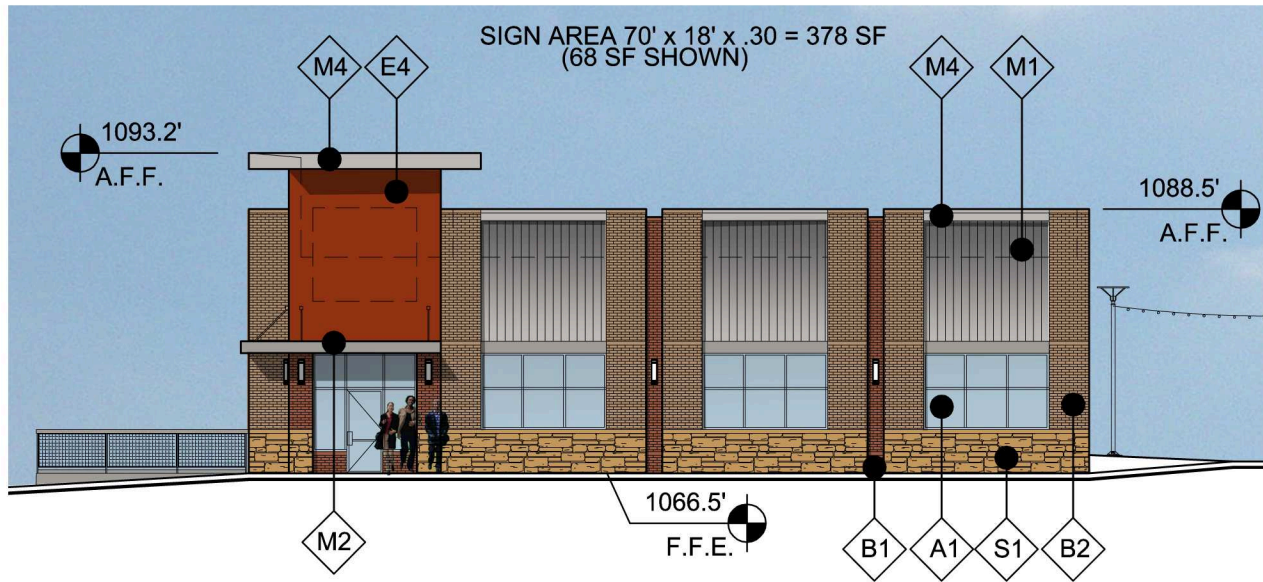
ARTECH
 RETAIL
 ARCHITECTURE
 &
 INTERIORS
 ARTECH DESIGN GROUP, INC.
 1410 COWART STREET
 CHATTANOOGA, TN 37408
 423.265.4315

JOB NO. 11-013
 DATE 09-05-12

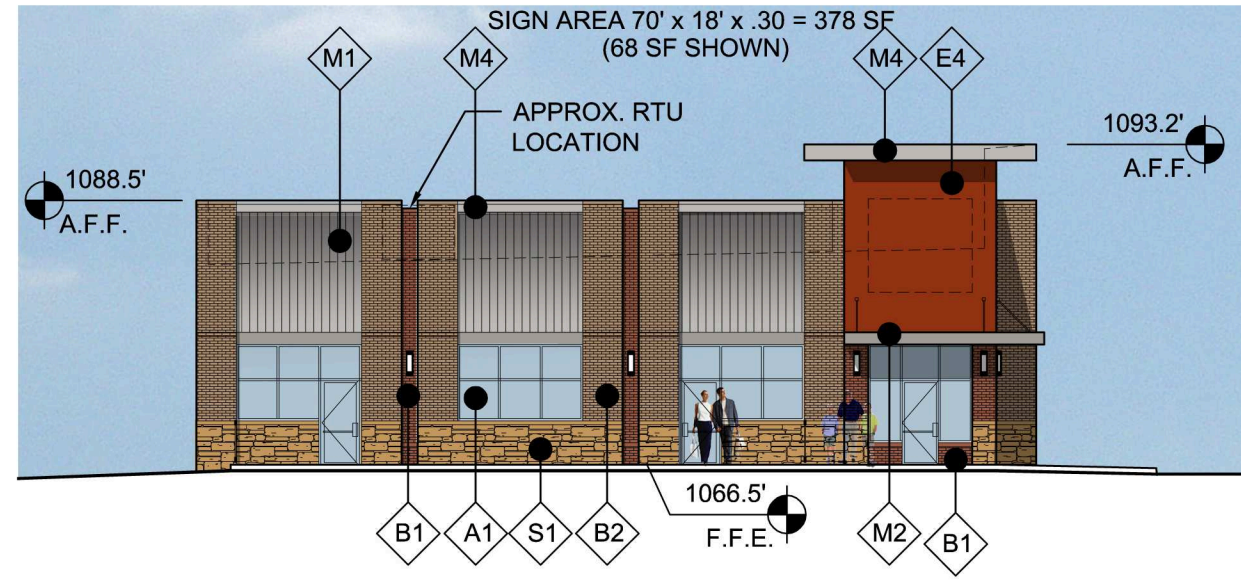
A-4



1 FRONT ELEVATION
SCALE: N.T.S.



2 FRONT ELEVATION
SCALE: N.T.S.

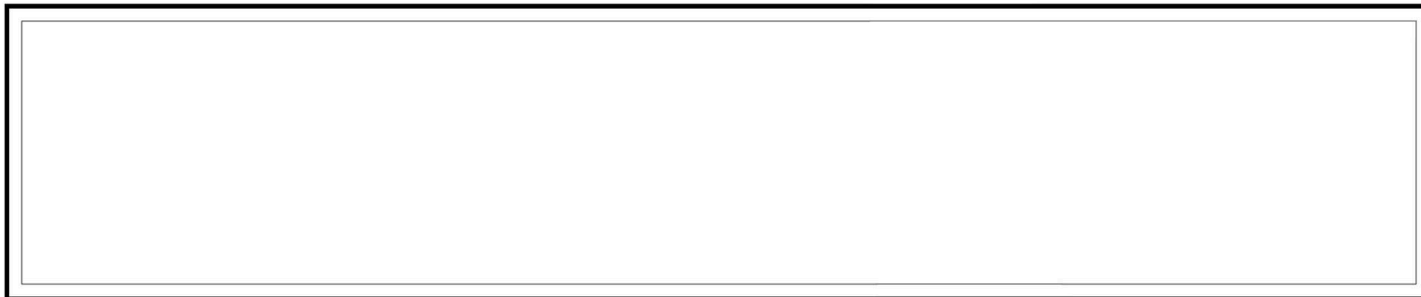


3 SIDE ELEVATION
SCALE: N.T.S.

MATERIAL LEGEND	
	METAL - CORRUGATED PANELS, FLAT PANELS, CANOPIES, & TRIM
	BRICK VENEER
	CULTURED STONE VENEER
	EXTERIOR INSULATION FINISH SYSTEM
	FABRIC CANOPY
	ALUMINUM & GLASS STOREFRONT

NOTE: NUMBER REPRESENTS DIFFERENT COLOR, SAME MATERIAL.

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WEST TOWNE RETAIL DISTRICT
Madison, Wisconsin

ARTECH
ARCHITECTURE & INTERIORS
ARTECH DESIGN GROUP, INC.
1410 COWART STREET
CHATTANOOGA, TN 37408
423.265.4313

JOB NO. 11-013
DATE 09-05-12

A-3



CONCEPTUAL SITE PLAN OVERLAY

CBL

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WEST TOWNE RETAIL DISTRICT
 Madison, Wisconsin

ARTECH
 RETAIL
 ARCHITECTURE
 & INTERIORS
 ARTECH DESIGN GROUP, INC.
 1410 COWART STREET
 CHATTANOOGA, TN 37408
 423.265.4313

JOB NO. 11-013
 DATE 09-05-12

A-2

Madison Plan Commission - Conditional Use

West Towne Retail District

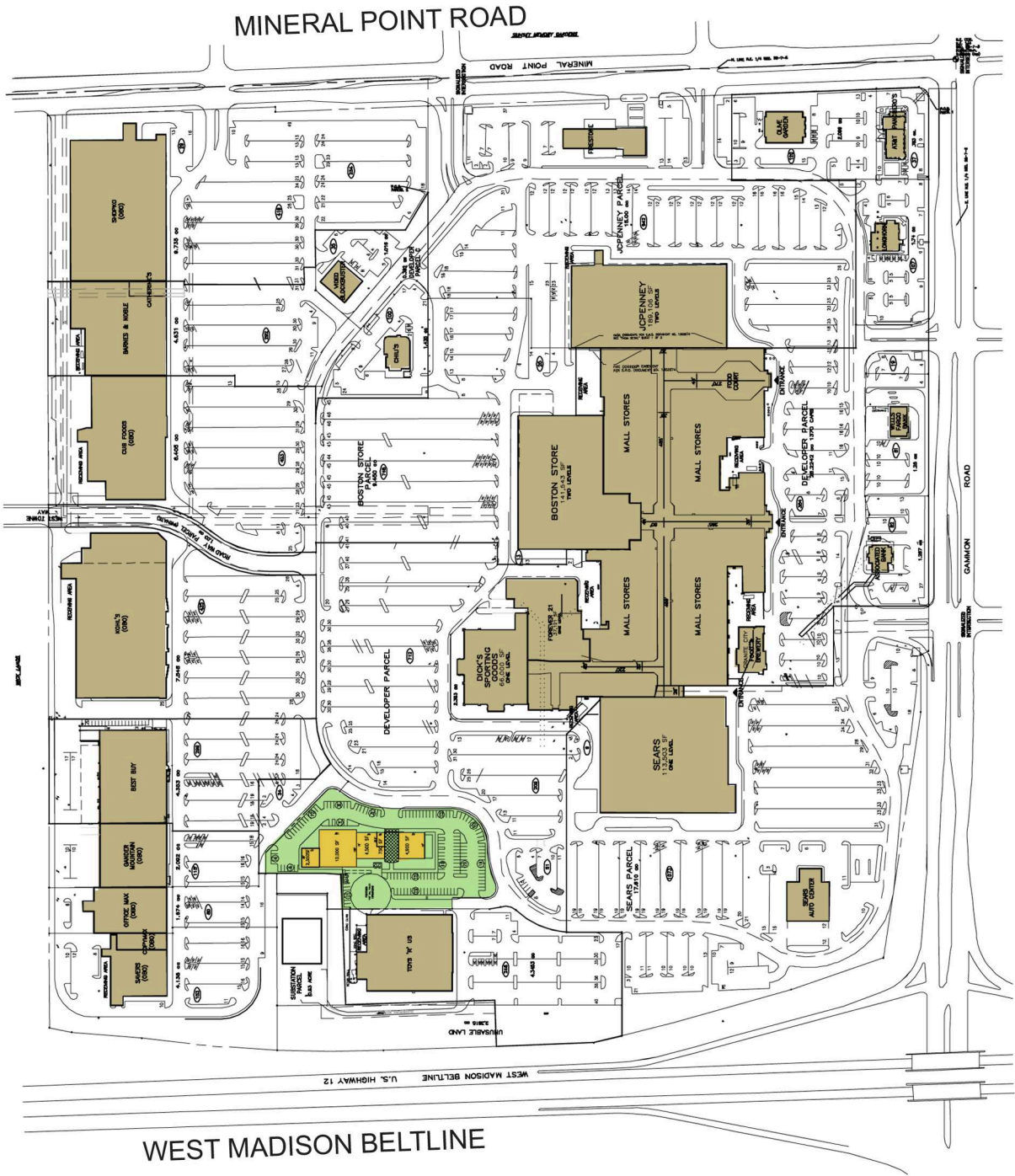
A Commercial Development at 7315 West Towne Way
Madison, Wisconsin

Owner/Developer
 CBL & Associates, Properties
 2030 Hamilton Place Blvd. Suite 500
 Chattanooga, TN 37421
 Telephone: (423)855-0001

Architect
 Artech Design Group
 1410 Cowart Street
 Chattanooga, TN 37408
 Telephone: (423)265-4313

Civil Engineers
 Miller Mccoy, Inc.
 915 Creekside Road
 Chattanooga, TN 37406
 Telephone: (423)698-2661

Landscape Architect
 Landscape Architecture, Inc.
 2300 Cottondale Lane
 Little Rock, AR 72202
 (501) 374-5610



MALL SITE PLAN - PROJECT LOCATION



0 100' 200' 400'
 SCALE: 1" = 200'

Site Plan Data	
Site Area : 3.3965 ac. (146,773 s.f.)	Number of Bicycle Stalls Shown : 15
Number of building stories (above grade) : 1	Number of Parking Stalls Shown :
Building Height : 30' max.	Large Car : 141
Total Square Footage of Building : 22,500 s.f.	Accessible : 8
Use of Property : Commercial Retail	Total : 149
Number of Trees Shown : 40	

Index of Drawings	
A-1 Cover Sheet	C-01 Existing Conditions & Demolition Plan
A-2 Conceptual Site Plan	C-02 Site Lay-out & Parking Plan
A-3 Exterior Elevations	C-03 Grading & Drainage Plan
A-4 Exterior Elevations	C-05 Site Utilities Plan
L-1 Landscape Plan	
L-2 Landscape Details & Notes	

WEST TOWNE RETAIL DISTRICT	
Madison, Wisconsin	
	JOB NO. 11-013
	DATE 09-05-12
	A-1