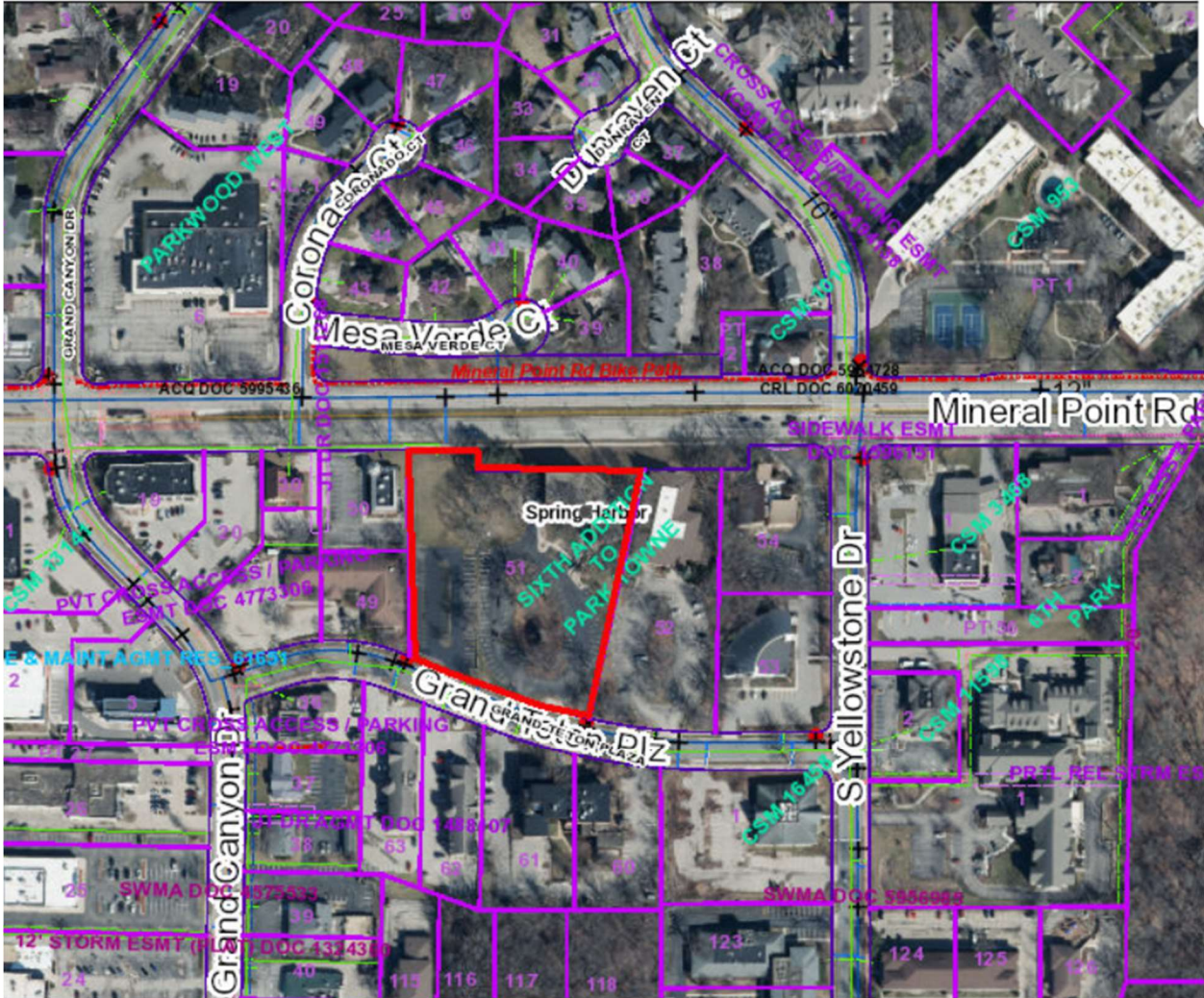


6518 and 6526 Grand Teton Plaza  
Contract 9772  
MUNIS 16208  
Developer: GT Apartments, LLC



**Summary of Improvements:**

- Provide a public sidewalk easement to a width approved by Engineering and Traffic Engineering along Mineral Point Road and Grand Teton Plaza.
- Developer to construct 10' terrace, 6' sidewalk and 1' maintenance buffer along Mineral Point Road and 8' terrace, 6' sidewalk and 1' maintenance buffer along Grand Teton Plaza along with curb and gutter and pavement adjacent to the development to a plan approved by the City Engineer.

- Developer to construct new commercial drive apron and ingress/egress to the development on Grand Teton Plaza to a plan approved by the City Traffic Engineer.
- Existing driveway approaches to be abandoned shall be removed and replaced with curb and gutter by the Developer to a plan approved by Engineering and Traffic Engineering.
- Developer to maintain pedestrian access and obtain a Street Occupancy permit as well as Traffic Control Plan if necessary to a plan approved by the City Traffic Engineer.
- Developer to construct traffic signing and marking to a plan approved by the City Traffic Engineer.
- Developer to extend public storm sewer on Grand Teton Plaza to meet stormwater management requirements for the development.
- Developer to construct public sanitary sewer upgrades on Odana Road to provide sanitary sewer capacity for the proposed redevelopment. The City Sanitary Sewer Utility will participate in reimbursement to the Developer for the public sanitary sewer upgrades equivalent to lining the existing sanitary sewer (up to the maximum amount allowed per State statute).
- Developer to construct private sanitary, storm, and water service laterals as needed to serve the redevelopment.
- Developer to coordinate with City Forestry to provide plans for public street terrace trees adjacent to the project to a plan approved by City Forestry.
- Developer to obtain all necessary street tree removal permits from City Forestry. Currently there are 3 planned street tree removals associated with this project; one (1) on Grand Teton Plaza (per City Forestry) and two (2) on Odana Road due to the sanitary sewer work.
- Developer to repair or replace existing public sidewalk, curb and gutter, street terrace, and street pavement as necessary to accommodate the private redevelopment project.

# MINERAL POINT ROAD

**GENERAL NOTES - ZONING**

CITY OF MADISON  
 BUILDING 1 - 110 UNITS  
 BUILDING 2 - 192 UNITS  
 TOTAL 302 UNITS

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER ZONING	46 (B1 - BASEMENT) 102 (B2 - BASEMENT) 74 (SURFACE)	5 LOADING STALL AT SURFACE
BIKE PARKING	1 PER BEDROOM (UP TO 2BD) + 1 GUEST SPACE PER 10 UNITS	110 LONG TERM B1 192 LONG TERM B2 31 GUEST	2 GUEST SPACES FOR RETAIL
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 20% EV INSTALLED SPACES: 4%	45 EV READY TOTAL 15 (B1 - BASEMENT) 30 (B2 - BASEMENT) 9 EV INSTALLED TOTAL (SURFACE)	ALL EV READY TO BE INSTALLED AT UNDERGROUND PARKING 1 EV INSTALLED SPACE TO BE ACCESSIBLE
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 281 28.129	ALL GLAZING PANELS ARE UNDER 90 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

**GENERAL NOTES - ZONING**

CITY OF MADISON  
 1. REGIONAL MIXED-USE (RMX) DISTRICT  
 2. TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT  
 3. PARK TOWNE

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	NONE	479 SQ. FT. / UNIT	
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	
FRONT YARD SETBACK	20 FT. MIN. 30% OF THE FRONTAGE MINERAL POINT RD. 410 FT + 12 FT. REQ. GRAND TETON PLZ. 181.06 FT = 54.3 FT. REQ. 30% OF FACADE @ 20 FT. (TOD)	MINERAL POINT RD 312 FT. PROV. GRAND TETON PLZ. 175 FT. PROV. 30% FACADE @ 20 FT. MINERAL POINT RD 30% OF 312 FT. = 93.6 FT. REQ. 301.5 FT. PROV.	PER TOD
SIDE YARD SETBACK	10 FT.	10 FT AT WEST 15 FT AT EAST	PER PARK TOWNE
REAR YARD SETBACK	N/A	N/A	
MAXIMUM LOT COVERAGE	90% (MAX.)	42%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	8 STORIES	5 STORIES	PER TOD
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED		302 UNITS

**MADISON - 6526 GRAND TETON DEVELOPMENT DATA BUILDING 1**

UNIT TOTALS (UNIT MIX 81.8% 1-BD & 18.2% 2-BD)						PROJECT GROSS SQUARE FOOTAGES	
	STUDIO	1BR	2BR	3BR	TOTAL	BLDG 01	GSF / FLOOR
1ST FL	0	14	2	0	16	BASEMENT	21,725
2ND FL	0	19	5	0	24	1ST FL	21,212
3RD FL	0	19	5	0	24	2ND FL	21,070
4TH FL	0	19	5	0	24	3RD FL	21,070
5TH FL	0	19	3	0	22	4TH FL	21,070
						5TH FL	20,403
<b>SUBTOTAL</b>	<b>0</b>	<b>90</b>	<b>20</b>	<b>0</b>	<b>110</b>		
<b>TOTAL</b>					<b>110</b>		
PARKING TOTALS (UNIT TO STALL RATIO 1:0.74)						BIKE PARKING	TOTAL
LOWER LEVEL			46			110	126,550 GSF
SURFACE PARKING			74			11 GUEST SPACES	

**MADISON - 6518 GRAND TETON DEVELOPMENT DATA BUILDING 2**

UNIT TOTALS (UNIT MIX 81.5% 1-BD & 18.5% 2-BD)						PROJECT GROSS SQUARE FOOTAGES	
	STUDIO	1BR	2BR	3BR	TOTAL	BLDG 02	GSF / FLOOR
1ST FL	0	22	2	0	24	LL	40,625
2ND FL	0	33	6	0	39	1ST FL	39,196
3RD FL	0	34	9	0	43	2ND FL	35,745
4TH FL	0	34	9	0	43	3RD FL	39,053
5TH FL	0	33	10	0	43	4TH FL	39,053
						5TH FL	39,053
<b>SUBTOTAL</b>	<b>0</b>	<b>156</b>	<b>36</b>	<b>0</b>	<b>192</b>		
<b>TOTAL</b>					<b>192</b>		
PARKING TOTALS (UNIT TO STALL RATIO 1:0.91)						BIKE PARKING	TOTAL
LOWER LEVEL B2			102			192	232,725 GSF
SURFACE PARKING			74			19 GUEST SPACES	

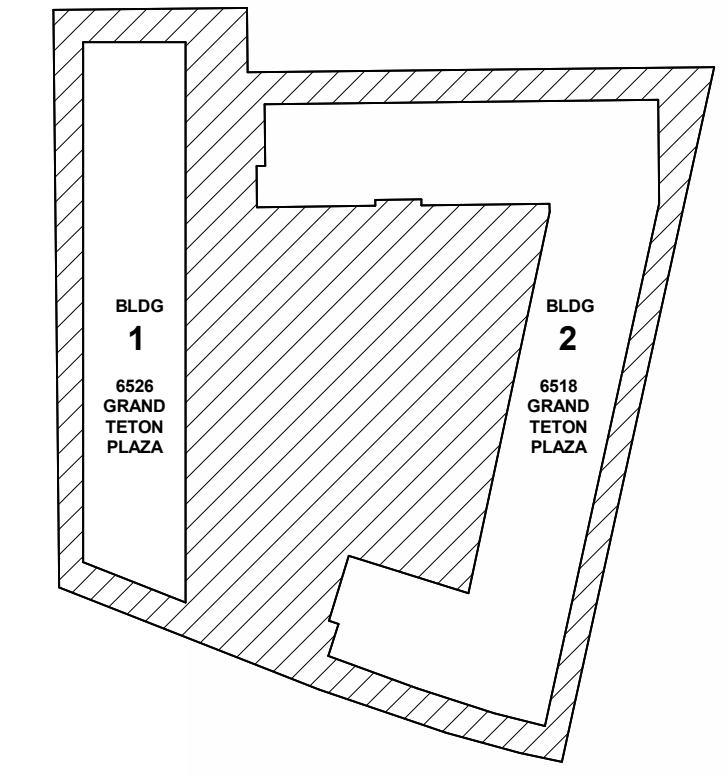


**6522 GRAND TETON PLAZA**  
 MIXED-USE HOUSING - SITE PLAN

6526 & 6518 GRAND TETON PLAZA  
 MADISON, WI 53719

OWNER  
 BEAR DEVELOPMENT  
 4011 80TH STREET  
 KENOSHA, WI 53142

PROJECT NUMBER: 253875.00



ISSUED FOR:  
 Site Plan Verification - Revision 04/22/2026

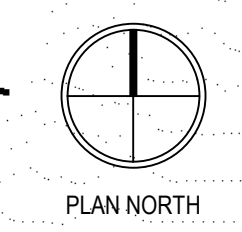
REVISIONS:

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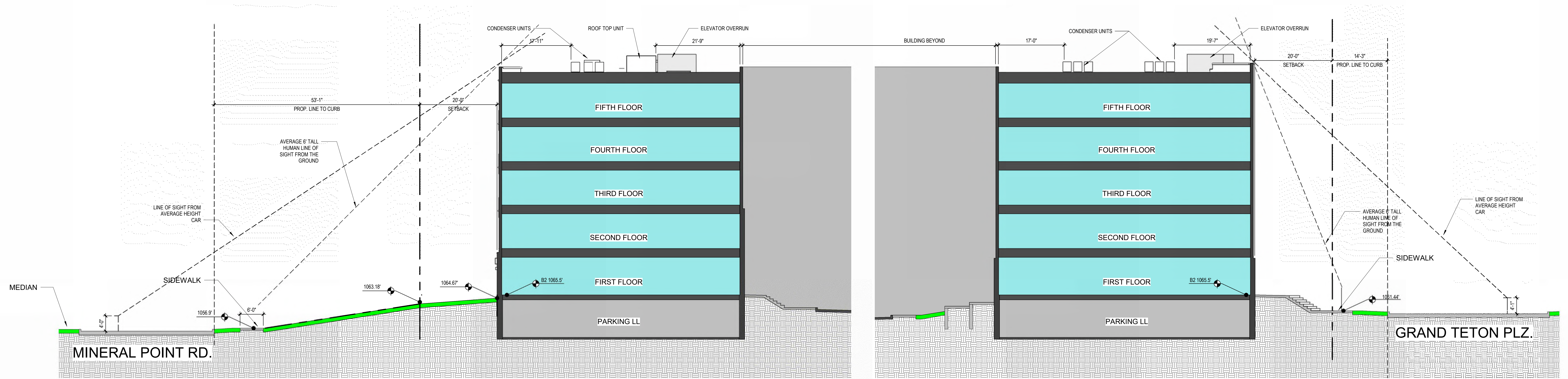
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 CHECKED BY: <CHECKER>

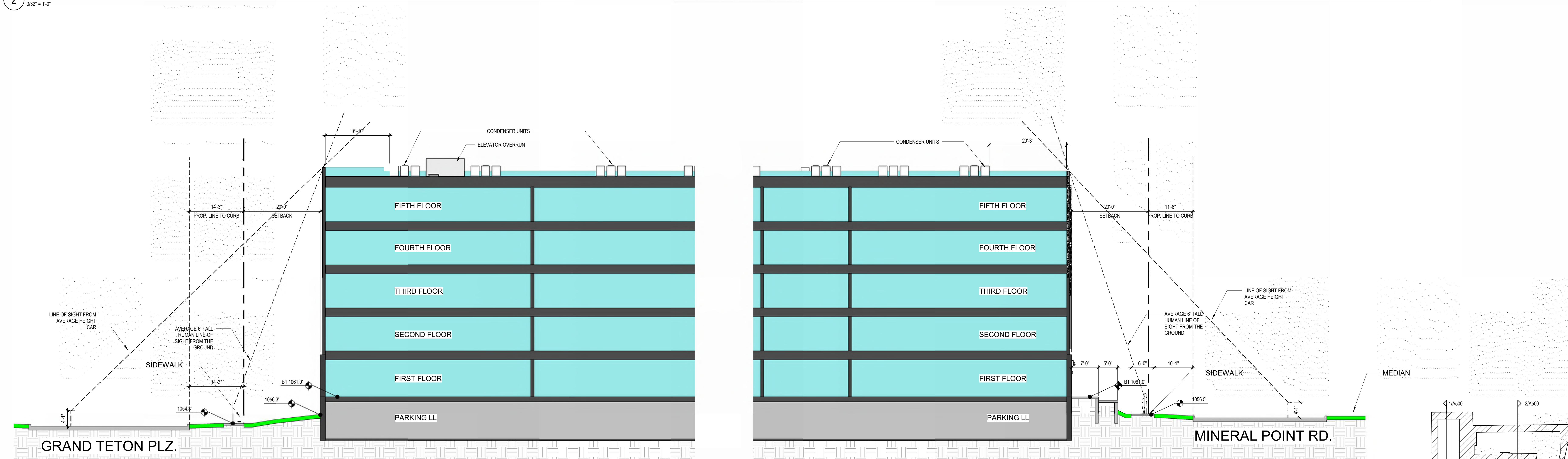
**OVERALL SITE PLAN & INFORMATION**



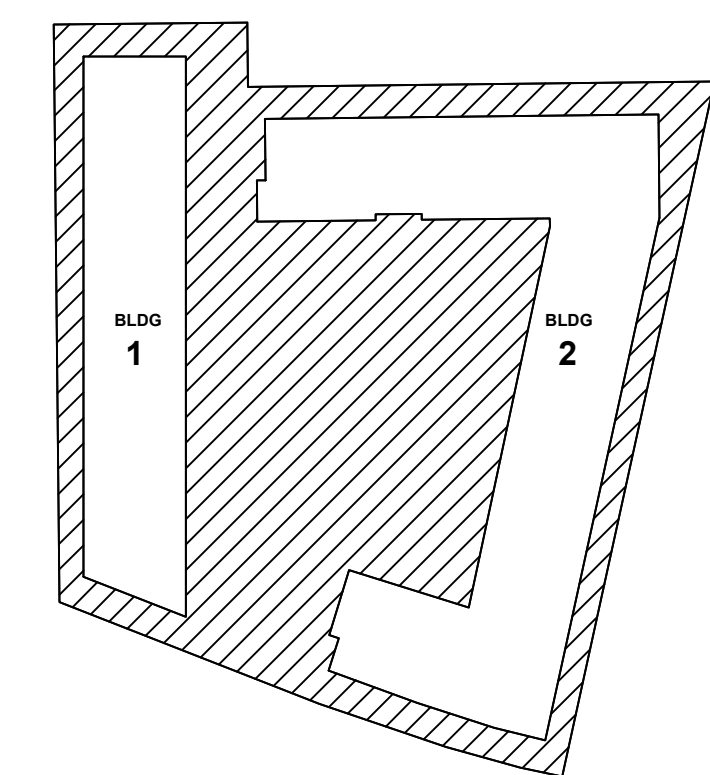
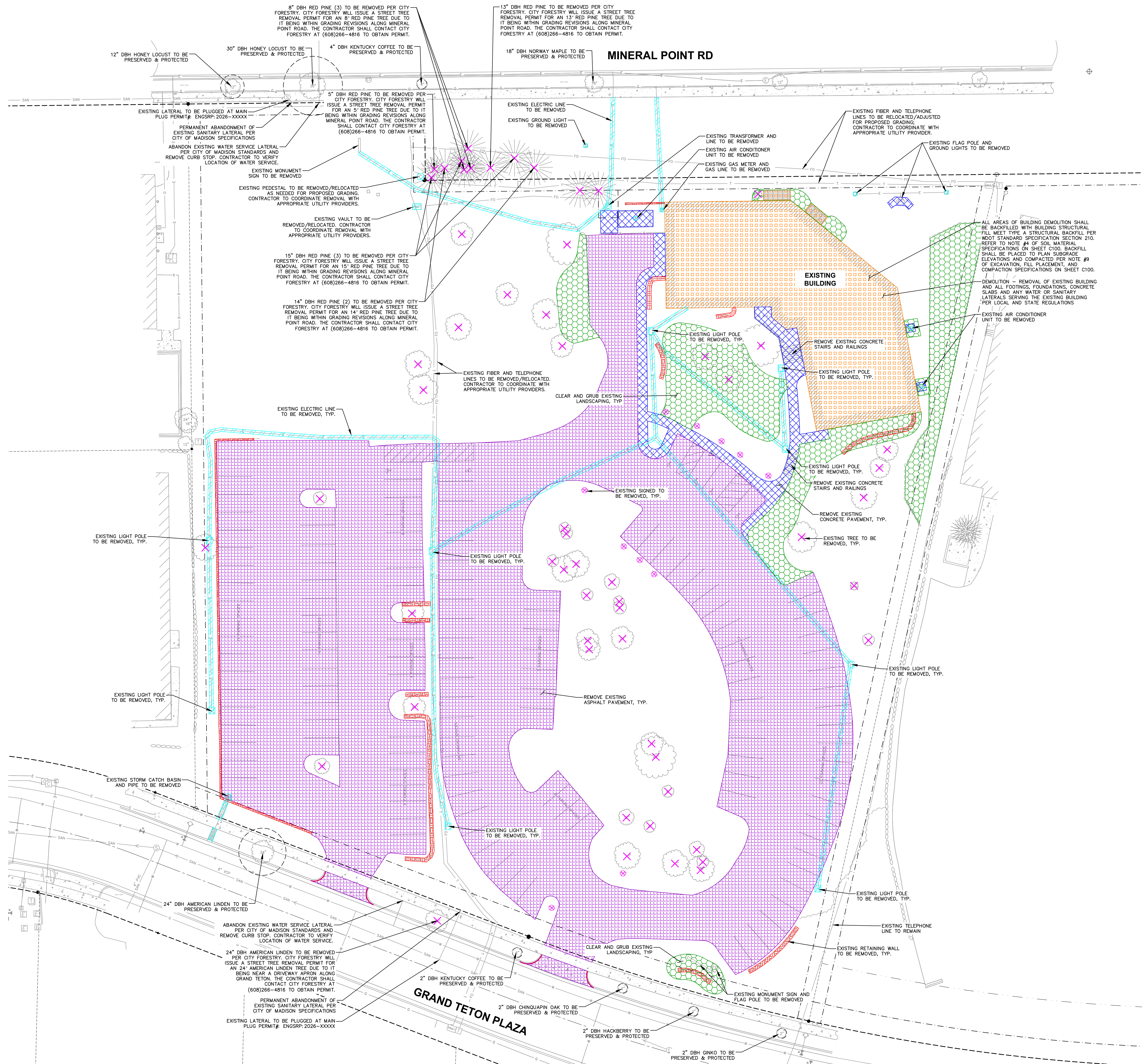
**A100-0**



2 SITE/BUILDING 2 SECTION - ROOF SITE LINES  
3/32" = 1'-0"



1 SITE/BUILDING 1 SECTION - ROOF SITE LINES  
3/32" = 1'-0"



ISSUED FOR:  
BID SET 04/21/2026

REVISIONS:

NO.	DESCRIPTION	DATE

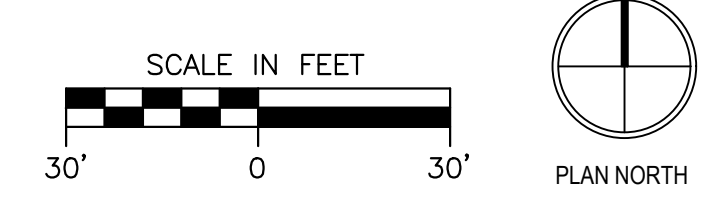
BID SET - NOT FOR CONSTRUCTION

DRAWN BY: CHG  
CHECKED BY: KJY

DEMOLITION PLAN

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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C200

**6522 GRAND TETON PLAZA**  
MULTIFAMILY HOUSING - SITE PLAN

6518 & 6526 GRAND TETON PLAZA  
MADISON, WI 53719

OWNER

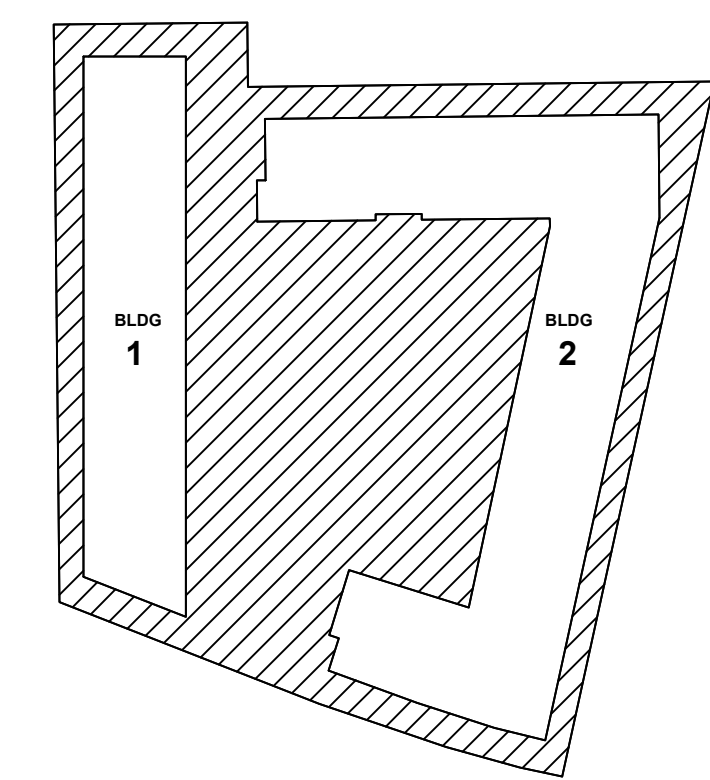
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER: 253875.00

SITE INFORMATION BLOCK	
SITE ADDRESS	6518 & 6526 GRAND TETON PLAZA
PROPERTY ACREAGE	3.29 ACRES
<b>BUILDING 1 (6526 GRAND TETON PLAZA)</b>	
NUMBER OF BUILDING STORIES	5
TOTAL BUILDING SQUARE FOOTAGE	21,776
<b>BUILDING 2 (6518 GRAND TETON PLAZA)</b>	
NUMBER OF BUILDING STORIES	5
TOTAL BUILDING SQUARE FOOTAGE	40,558
<b>NUMBER OF PARKING STALLS</b>	
SURFACE	
LARGE	68
ACCESSIBLE	6
TOTAL SURFACE	74
UNDERGROUND - BUILDING 1	
LARGE	43
ACCESSIBLE	3
TOTAL UNDERGROUND	46
UNDERGROUND - BUILDING 2	
LARGE	97
ACCESSIBLE	5
TOTAL UNDERGROUND	102
<b>NUMBER OF EV STALLS REQUIRED TO BE INSTALLED:</b>	
NUMBER OF EV STALLS TO BE INSTALLED (SURFACE):	9
<b>NUMBER OF EV-READY STALLS REQUIRED:</b>	
NUMBER OF EV-READY STALLS (SURFACE):	0
NUMBER OF EV-READY STALLS (UNDERGROUND):	45
<b>NUMBER OF BICYCLE STALLS REQUIRED:</b>	
BUILDING 1 UNDERGROUND BICYCLE STALLS:	110
BUILDING 2 UNDERGROUND BICYCLE STALLS:	192
EXTERIOR BICYCLE STALLS:	36
<b>EXISTING VS. PROPOSED SITE COVERAGE</b>	
EXISTING IMPERVIOUS SURFACE AREA	64,189 SF
EXISTING PERVIOUS SURFACE AREA	79,030 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.45
<b>PROPOSED IMPERVIOUS SURFACE AREA</b>	
PROPOSED IMPERVIOUS SURFACE AREA	107,566 SF
PROPOSED PERVIOUS SURFACE AREA	35,653 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.75

**KEY NOTES**

- CONCRETE SIDEWALK
- 18" CURB AND GUTTER (STANDARD)
- 18" CURB AND GUTTER (REJECT)
- THICKENED EDGE SIDEWALK
- THICKENED EDGE SIDEWALK - FLUSH
- ADA ACCESSIBLE RAMP WITH TRUNCATED DOMES
- HEAVY DUTY ASPHALT PAVEMENT
- REINFORCED CONCRETE PAVEMENT
- CONCRETE STAIRS AND RAILING (REFER TO ARCHITECTURAL)
- CONCRETE RAMP WITH RAILING (REFER TO ARCHITECTURAL)
- AMENITY PATIO (REFER TO LANDSCAPE)
- BIKE RACK
- ADA PARKING SIGN
- AREA WELL (REFER TO ARCHITECTURAL)
- CONCRETE RETAINING WALL (REFER TO ARCHITECTURAL/STRUCTURAL)
- MG&E TRANSFORMER PAD (CONTRACTOR TO COORDINATE WITH MG&E ON FINAL PLACEMENT. ANY PLACEMENT MODIFICATIONS FROM THE CONTRACT DOCUMENTS TO BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER.)
- PAVEMENT STRIPING (4" WIDE), TYP
- ADA STALL PAVEMENT STRIPING, TYP
- TYPE R1-1 STOP SIGN
- 2'-0" BICYCLE OVERHANG
- TREE PROTECTION
- CONCRETE BOLLARD, TYP
- 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATES
- ARTIFICIAL TURF (REFER TO LANDSCAPE)
- PLAYGROUND
- UTILITY TRENCH PATCH TYPE III PER CITY OF MADISON
- EV PARKING CHARGING STATION WITH CONCRETE BOLLARDS (REFER TO ELECTRICAL)
- CONCRETE SEAT WALL
- CONCRETE WHEEL STOP
- ARTIFICIAL TURF AND EDGING (REFER TO LANDSCAPE)
- LIGHT POLE (REFER TO PHOTOMETRIC)
- MEDIUM RIP RAP
- PROPOSED STREET TREES (REFER TO CITY OF MADISON DEPARTMENT OF FORESTRY PLANS)
- TERRACE EXCAVATION FOR STREET TREE PLANTING TO BE COMPLETED BY CONTRACTOR (REFER TO CITY OF MADISON DEPARTMENT OF FORESTRY PLANS)



ISSUED FOR: \_\_\_\_\_  
 BID SET: \_\_\_\_\_ 04/21/2026

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NO.	DESCRIPTION	DATE

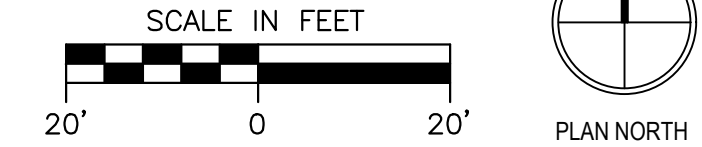
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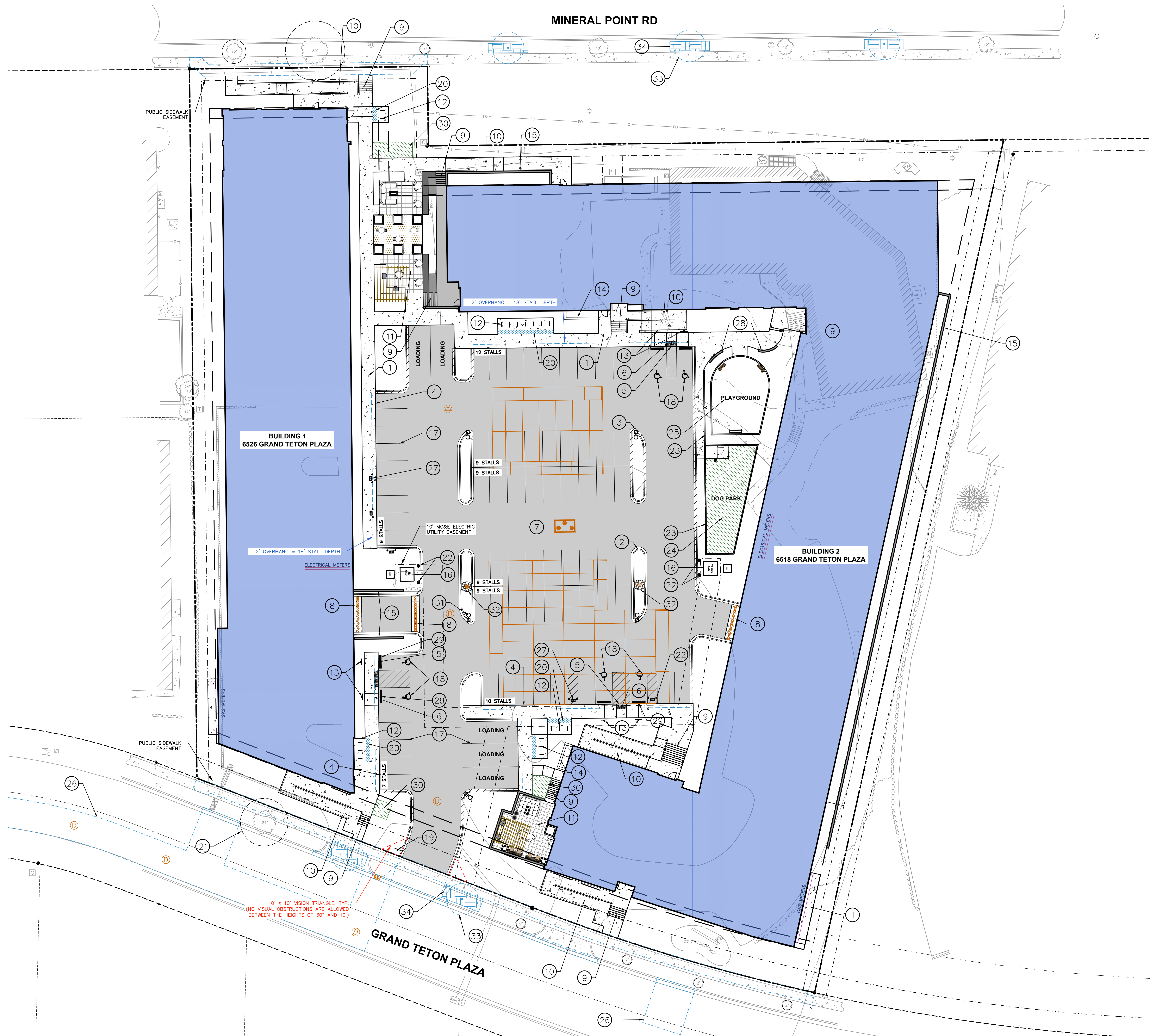
**SITE PLAN - ANNOTATED**

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**C300**



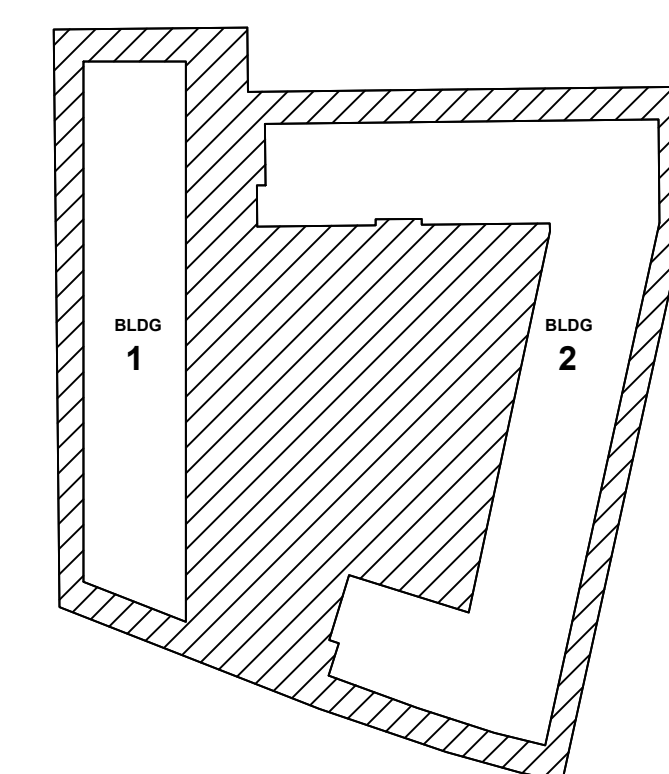
**6522 GRAND TETON PLAZA**  
MULTIFAMILY HOUSING - SITE PLAN

6518 & 6526 GRAND TETON PLAZA  
MADISON, WI 53719

OWNER

BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER: 253875.00



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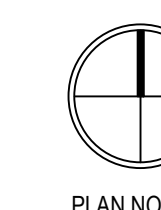
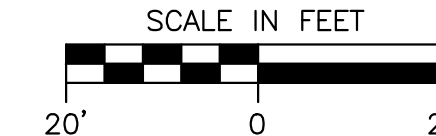
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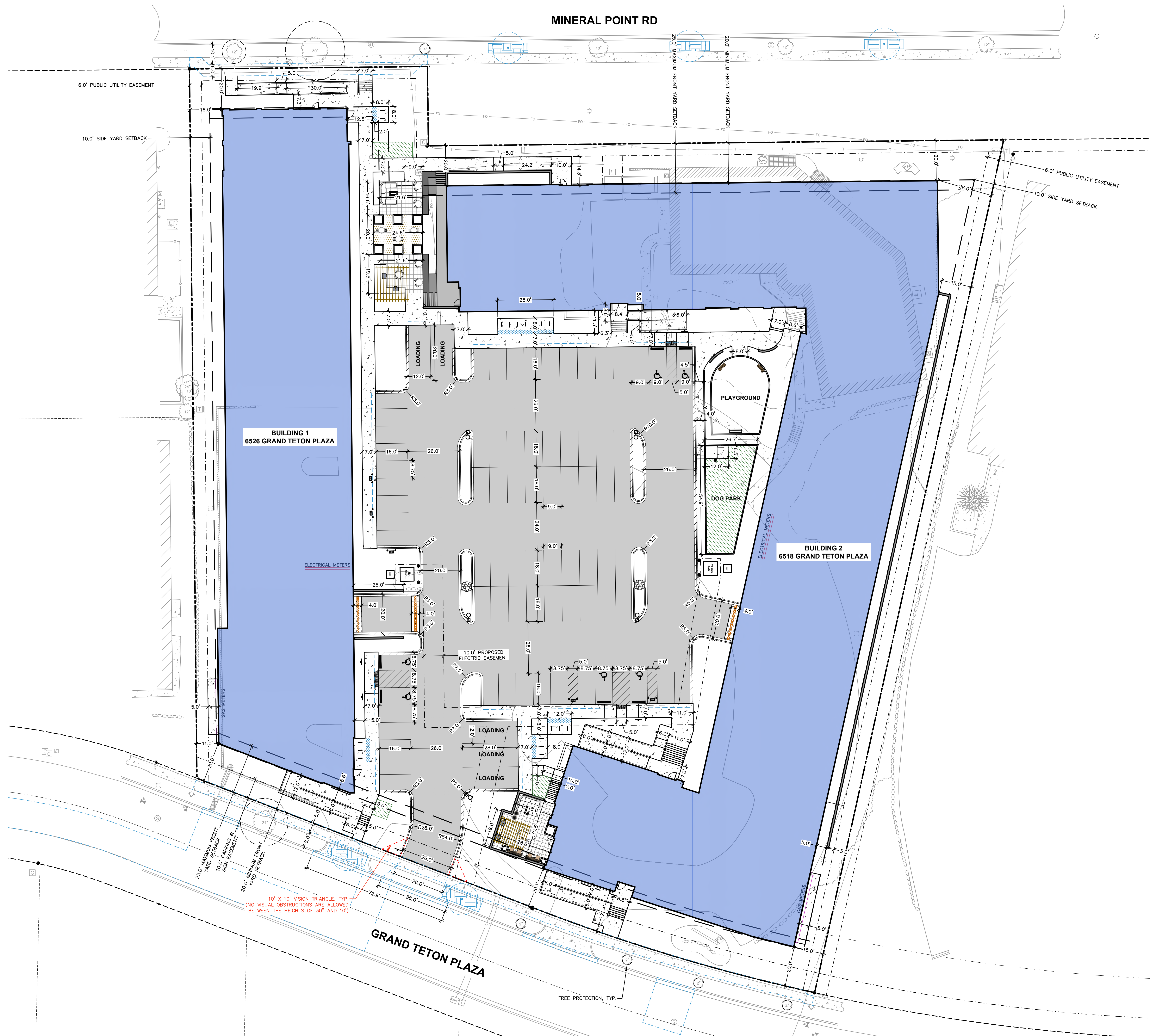
**SITE PLAN - DIMENSIONED**

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**C301**



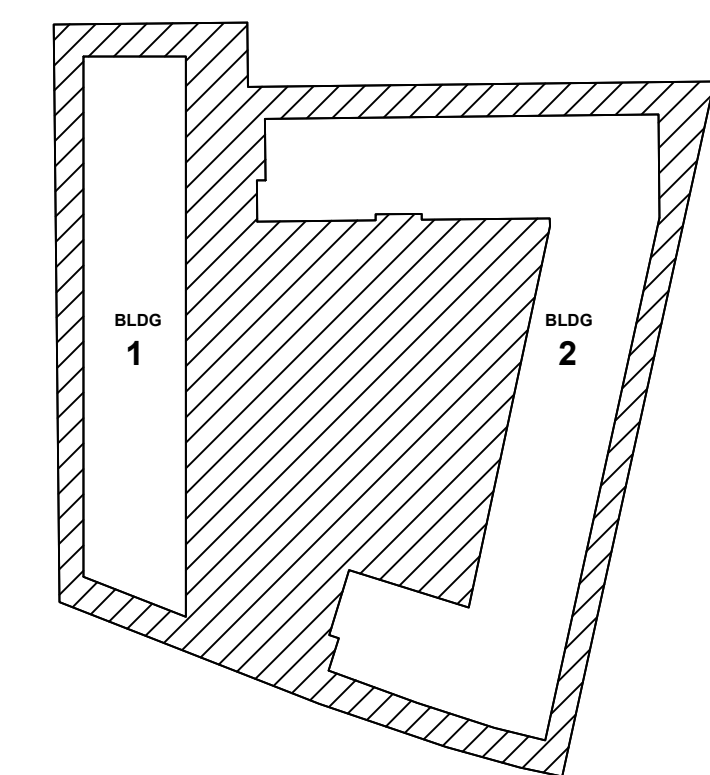
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MULTIFAMILY HOUSING - SITE PLAN

6518 & 6526 GRAND TETON PLAZA  
MADISON, WI 53719

OWNER

BEAR DEVELOPMENT  
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PROJECT NUMBER: 253875.00



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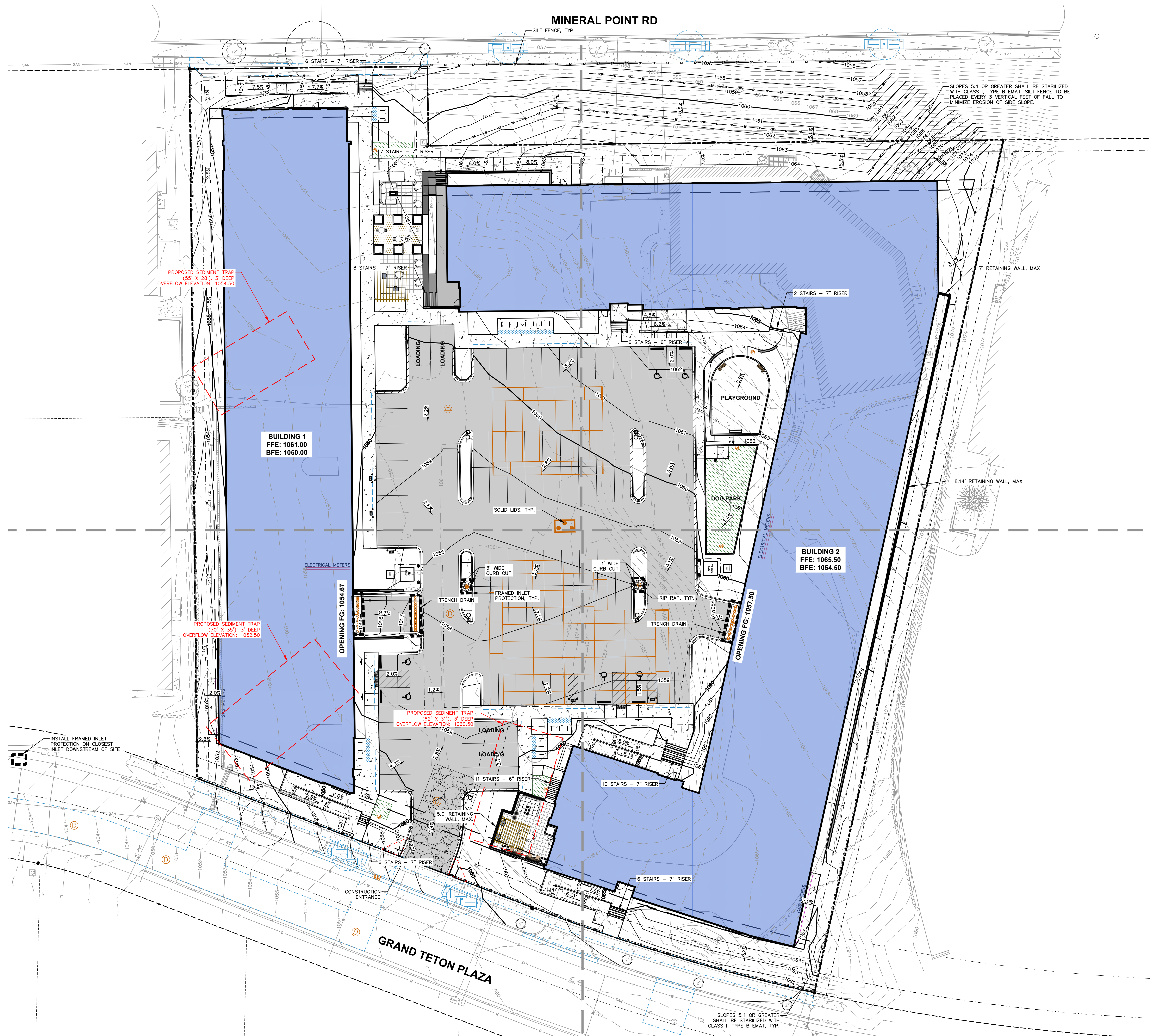
**GRADING & EROSION  
CONTROL PLAN**

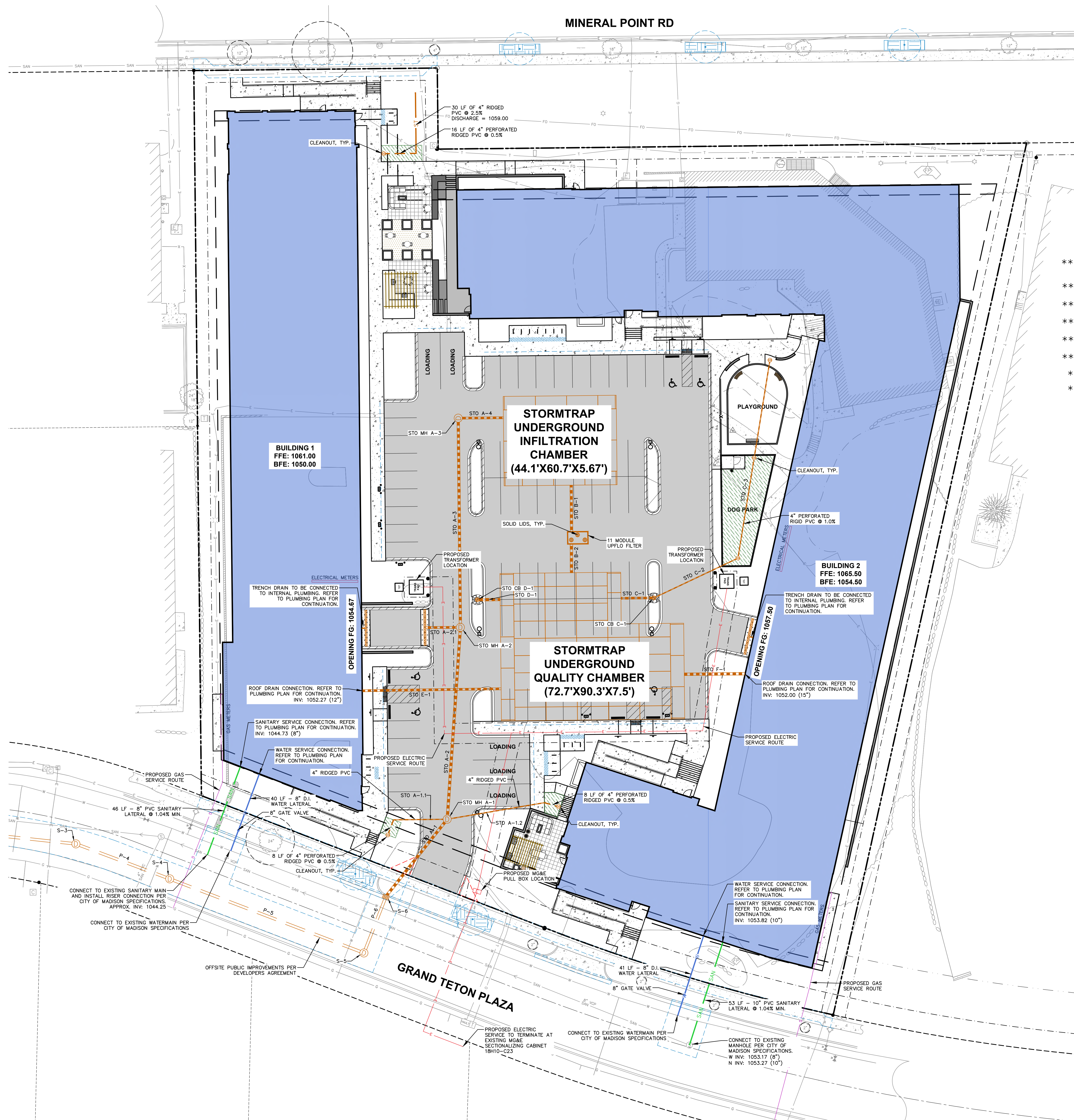
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**C400**



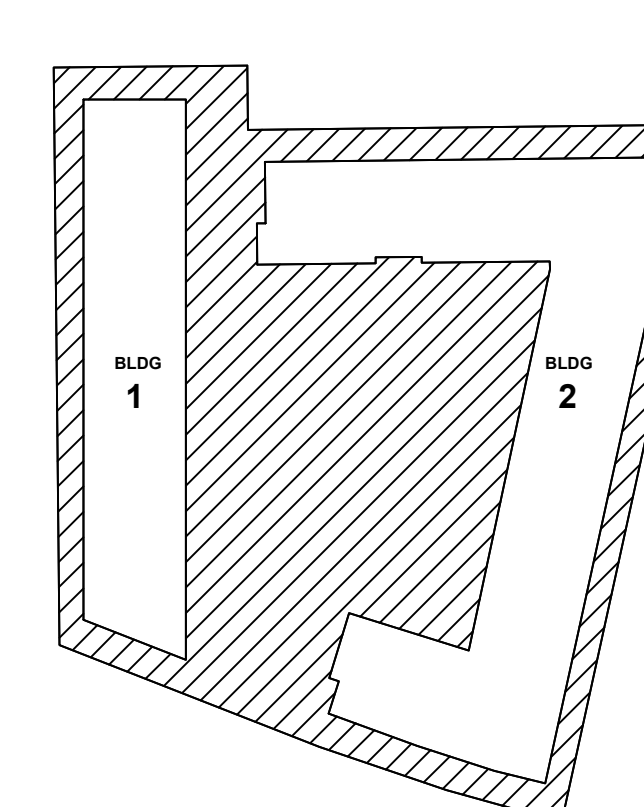


PROPOSED STORM SEWER STRUCTURE TABLE

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX STO MH 75045	1041.88	NW INV: 1038.41 (15") E INV: 1038.69 (15") S INV: 1038.45 (12")	3.5	48 IN MH (FLAT)	R-1550 SOLID LID
** S-1	1041.98	W INV: 1038.88 (15") E INV: 1038.98 (15") NW INV: 1039.63 (8") SE INV: 1039.38 (12")	3.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-2	1043.13	W INV: 1039.56 (15") E INV: 1039.66 (15")	3.6	48 IN MH (FLAT)	R-1550 SOLID LID
** S-3	1047.28	W INV: 1040.14 (15") E INV: 1040.24 (15")	7.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-4	1050.56	W INV: 1040.49 (15") E INV: 1043.12 (15")	10.1	48 IN MH (FLAT)	R-1550 SOLID LID
** S-5	1057.47	W INV: 1043.63 (15") E INV: 1043.78 (15")	13.7	48 IN MH (FLAT)	R-1550 SOLID LID
** S-6	1057.07	S INV: 1043.93 (15") NE INV: 1048.03 (18")	13.1	2 x 3 INLET	R-3067-7009 TYPE L
* STO CB C-1	1057.83	W INV: 1053.33 (12") E INV: 1055.26 (4")	4.5	36 IN MH (FLAT)	AFINITAS CONE GRATE CQ36TM
* STO CB D-1	1057.04	E INV: 1053.28 (15")	3.8	36 IN MH (FLAT)	AFINITAS CONE GRATE CQ36TM
STO MH A-1	1059.79	SW INV: 1048.27 (15") N INV: 1048.37 (15") W INV: 1057.50 (4") E INV: 1057.50 (4")	11.5	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-2	1057.75	S INV: 1048.84 (15") N INV: 1048.94 (15") W INV: 1053.66 (12")	8.9	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-3	1059.43	S INV: 1049.46 (15") E INV: 1049.56 (12")	10.0	48 IN MH (FLAT)	R-1550 SOLID LID

PROPOSED STORM SEWER PIPE TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
E-1.1	EX STO INL75090	S-1	33'	1039.75	1039.63	0.37%	8 IN PVC
P-1.1	S-1	EX STO MH 75045	38'	1038.88	1038.69	0.50%	12 IN RCP
P-1.2	EX STO INL 75097	S-1	10'	1039.59	1039.38	2.00%	12 IN RCP
P-2	S-2	S-1	116'	1039.56	1038.98	0.50%	15 IN RCP
P-3	S-3	S-2	95'	1040.14	1039.66	0.50%	15 IN RCP
P-4	S-4	S-3	49'	1040.49	1040.24	0.50%	15 IN RCP
P-5	S-5	S-4	102'	1043.63	1043.12	0.50%	15 IN RCP
P-6	S-6	S-5	30'	1043.93	1043.78	0.50%	15 IN RCP
STO A-1	STO MH A-1	S-6	48'	1048.27	1048.03	0.50%	15 IN RCP
STO A-1.1	STO A-1.1	STO MH A-1	28'	1058.82	1057.50	5.00%	4 IN PVC
STO A-1.2	STO A-1.2	STO MH A-1	49'	1058.47	1057.50	2.00%	4 IN PVC
STO A-2	STO MH A-2	STO MH A-1	95'	1048.84	1048.37	0.50%	15 IN HDPE
STO A-2.1	STO A-2.1	STO MH A-2	17'	1054.00	1053.66	2.00%	12 IN HDPE
STO A-3	STO MH A-3	STO MH A-2	103'	1049.46	1048.94	0.50%	15 IN HDPE
STO A-4	STO A-4	STO MH A-3	22'	1050.00	1049.56	2.00%	12 IN HDPE
STO B-1	STO B-1	STO B	23'	1050.23	1050.00	1.00%	15 IN HDPE
STO B-2	STO B-2	STO B-2.0	14'	1051.00	1050.86	1.00%	15 IN HDPE
STO C-1	STO CB C-1	STO C	16'	1053.33	1053.00	2.00%	12 IN HDPE
STO C-2	STO C-2	STO CB C-1	46'	1058.01	1055.26	6.00%	4 IN PVC
STO C-3	STO C-3	STO C-2	99'	1059.10	1058.11	1.00%	4 IN PVC
STO D-1	STO CB D-1	STO D	11'	1053.28	1053.00	2.50%	15 IN HDPE
STO E-1	STO E-1	STO E	68'	1052.27	1051.25	1.50%	12 IN HDPE
STO F-1	STO F-1	STO F	30'	1052.00	1051.50	1.68%	15 IN HDPE



ISSUED FOR: 04/21/2026

BID SET

REVISIONS:

NO. DESCRIPTION DATE

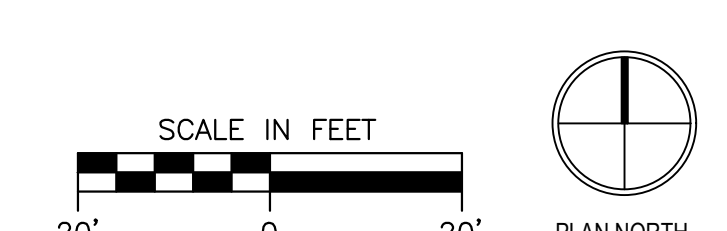
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CHECKED BY: KJY

UTILITY PLAN

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. 9772, PROJECT NO. 16028)



C500

BID SET - NOT FOR CONSTRUCTION

# GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY IN PRIVATE DEVELOPMENT PLAN SETS FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF MADISON STANDARD SPECIFICATIONS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

# CONSTRUCTION SITE DEWATERING NOTES

1. **CONSTRUCTION SITE DEWATERING PRACTICES:**
  - 1.1. ALL CONSTRUCTION SITE DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE MATERIALS MANAGEMENT PLAN (MMP), ISSUED BY THE PROJECT ENVIRONMENTAL CONSULTANT. CONTRACTOR SHALL REQUEST A COPY OF THE MMP FROM THE DEVELOPER AND/OR ENVIRONMENTAL CONSULTANT.
  - 1.2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH THE PROJECT ENVIRONMENTAL CONSULTANT AND OBTAIN THE NECESSARY DEWATERING PERMITS WITH LOCAL, STATE, AND FEDERAL JURISDICTIONS. ALL DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE APPROVED PERMIT CONDITIONS.
  - 1.3. IN THE EVENT OF DIRTY/UNCLEAR DISCHARGE OF TREATED/FILTERED DEWATERING DISCHARGES, CONTRACTOR SHALL HALT PUMPING OPERATIONS AND EVALUATE THE DEWATERING SYSTEM.
  - 1.4. IN THE EVENT CONTRACTOR FINDS SIGNS OF CONTAMINATION IN THE GROUNDWATER OR SITE SOILS, ALL DEWATERING PRACTICES SHALL BE HALTED AND CONTAMINATION SHALL BE EVALUATED BY THE PROJECT ENVIRONMENTAL CONSULTANT, AT THE CONTACT INFORMATION PROVIDED.
    - 1.4.1. IF DEWATERING PRACTICES CONTINUE WITH CONTAMINATED GROUNDWATER OR SOIL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A SANITARY SEWER DISCHARGE PERMIT FROM THE CITY OF MADISON TO DISCHARGE TO THE SANITARY SEWER. VISIT THE FOLLOWING CITY WEBSITE FOR DETAILS; (<https://www.cityofmadison.com/engineering/permits/sanitary-sewer-discharge-permit>)
    - 1.4.2. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR DISCHARGE CONSTRUCTION SITE DEWATERING PRACTICES TO THE SANITARY SEWER WITHOUT AUTHORIZATION AND PERMIT APPROVALS FROM THE CITY.

# UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT CITY OF MADISON STANDARD SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.



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**MADISON REGIONAL OFFICE**  
507 WEST VERONA AVENUE, SUITE 500  
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P. 608.848.5060

CLIENT:  
**BEAR DEVELOPMENT**

CLIENT ADDRESS:  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT:  
**6522 GRAND TETON PLAZA**

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
**6522 GRAND TETON PLAZA**  
MADISON, WI 53719  
Dane County

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

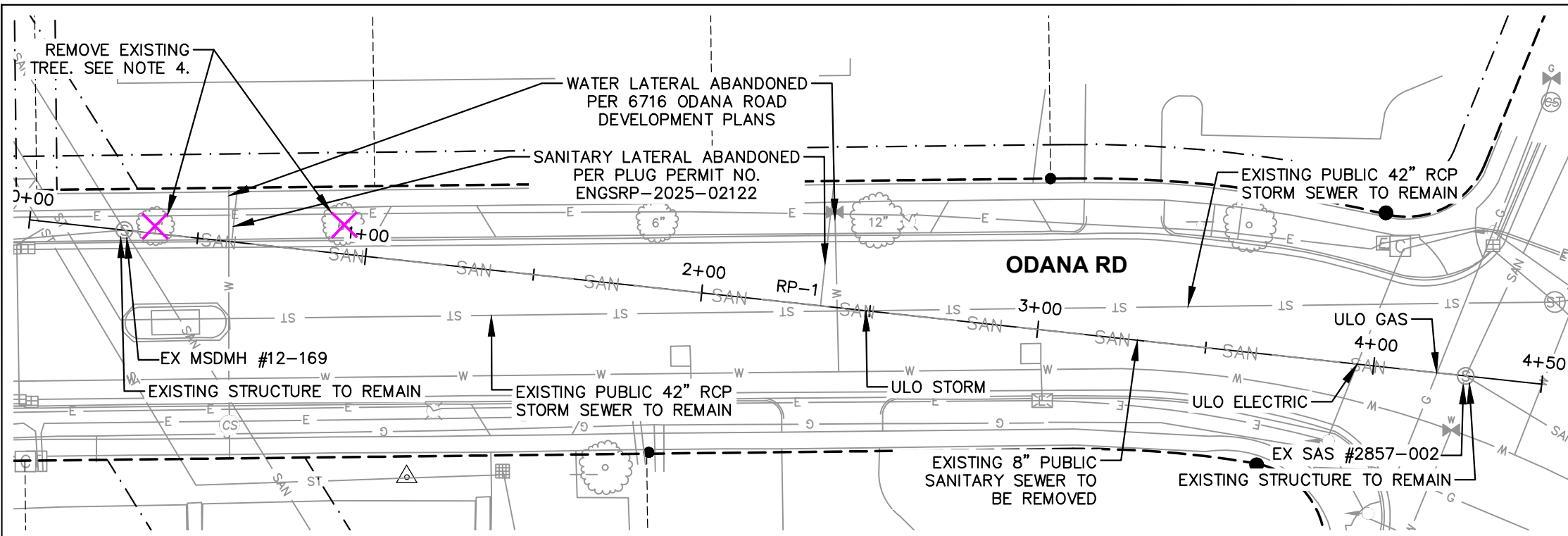
SHEET TITLE:  
**NOTES & SPECIFICATIONS**

SHEET NUMBER:  
**GI-1**

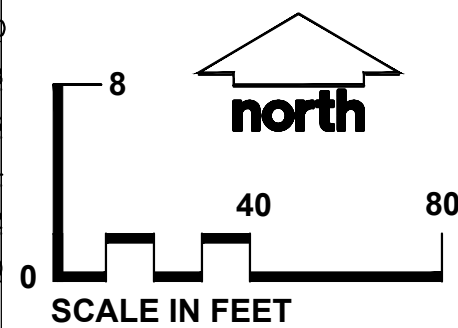
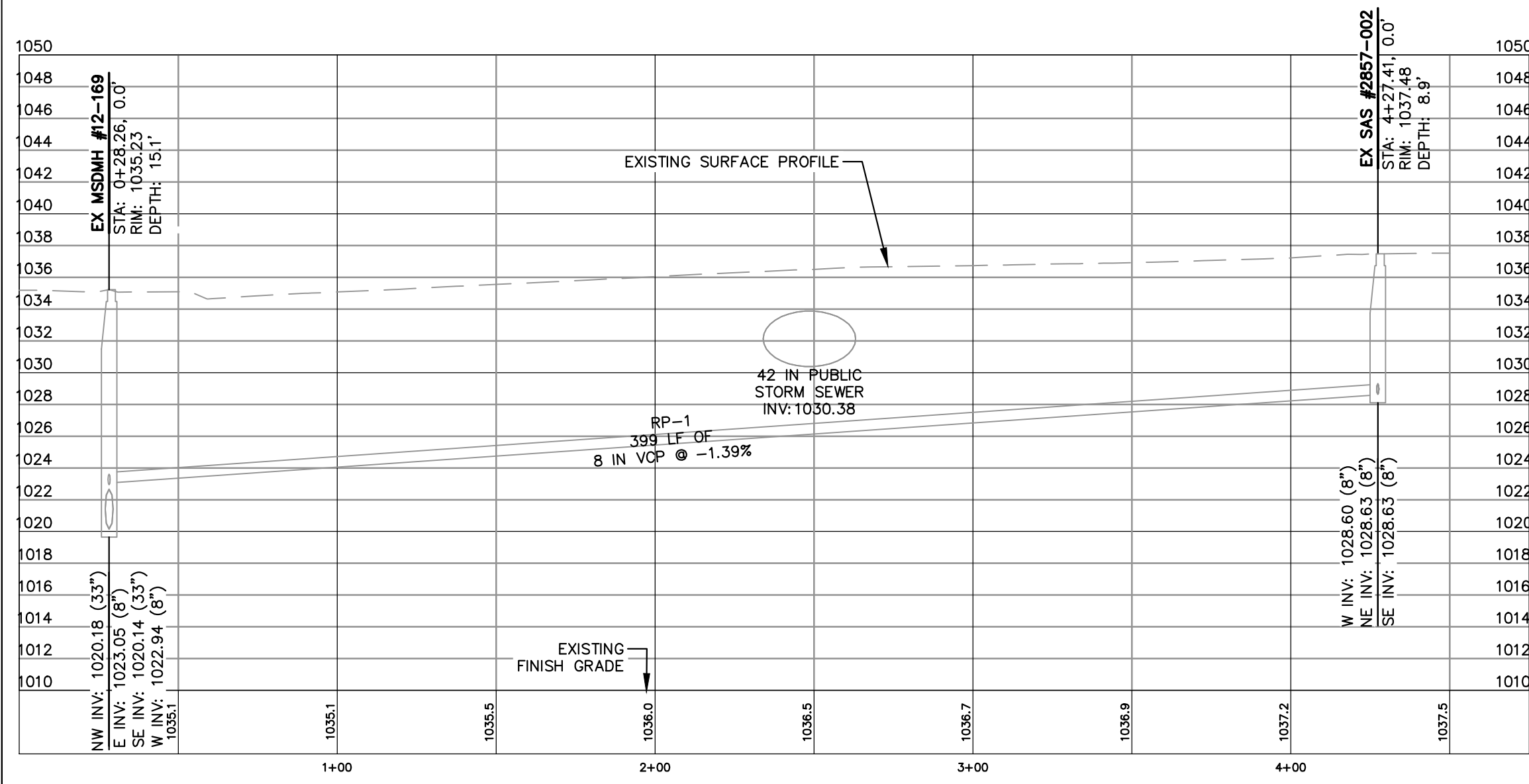
JSD PROJECT NO: 25-15353-PUB







- NOTES:
1. REMOVE AND REPLACE SIDEWALK AND CURB AS NEEDED TO INSTALL SANITARY SEWER IN ODANA ROAD.
  2. TRENCH PATCH TYPE III SHALL BY USED TO PATCH AREAS DISTURBED BY PUBLIC UTILITY INSTALLATION IN EXISTING ROADWAYS.
  3. REFER TO ARTICLE 409.1 OF THE STANDARD SPECIFICATIONS FOR THE REQUIRED PAVEMENT WATCH WIDTH AND LENGTH. FINAL EXTENTS OF ROADWAY PATCHING TO BE DETERMINED BY CITY ENGINEERING.
  4. PRIOR TO TREE REMOVALS IDENTIFIED, A TREE REMOVAL NOTICE PER CITY APM 6-2 AND MGO SECTION 10.101 SHALL BE SENT BY THE DEVELOPER TO ALL PROPERTY OWNERS WITHIN 100 FT OF THE PROPOSED TREE REMOVALS. CONTRACTOR TO CONFIRM NOTICE WAS SENT BY FIRST-CLASS MAIL A MINIMUM OF 10 DAYS PRIOR TO ANY TREE REMOVALS.



**DIGGERS ON CALL**  
Toll Free (800) 242-8511



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CITY PROJECT #: 16028; CONTRACT #: 9772

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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

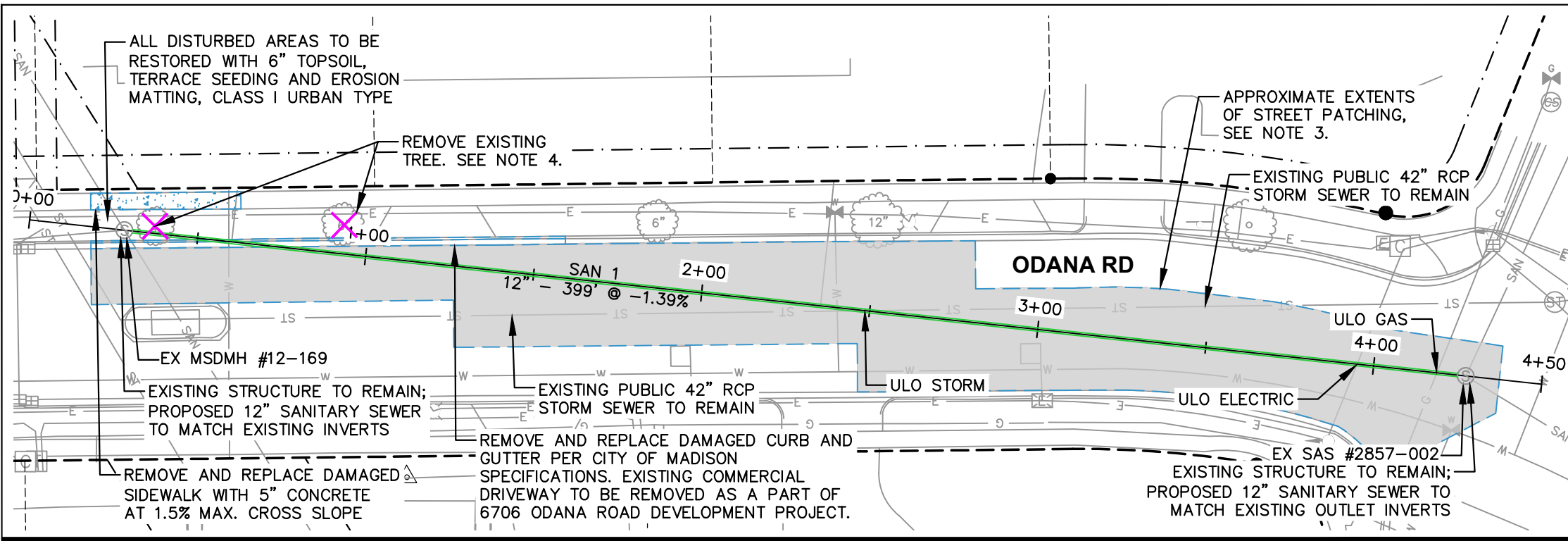
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**EXISTING SANITARY SEWER PLAN & PROFILE**

SHEET NUMBER:  
**U-1**

JSD PROJECT NO: 25-15353-PUB

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- NOTES:
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  5. NO PROPOSED SANITARY SEWER WORK MAY PROCEED WITHOUT CONFIRMATION FROM THE CITY PROJECT MANAGER THAT THE SEWER EXTENSION PERMIT HAS BEEN OBTAINED FROM THE WDNR.

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CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
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MADISON, WI 53719  
Dane County**

PLAN MODIFICATIONS:

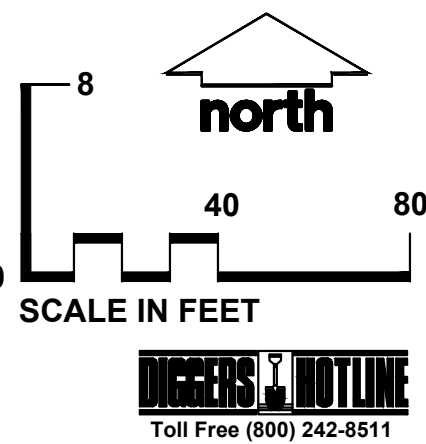
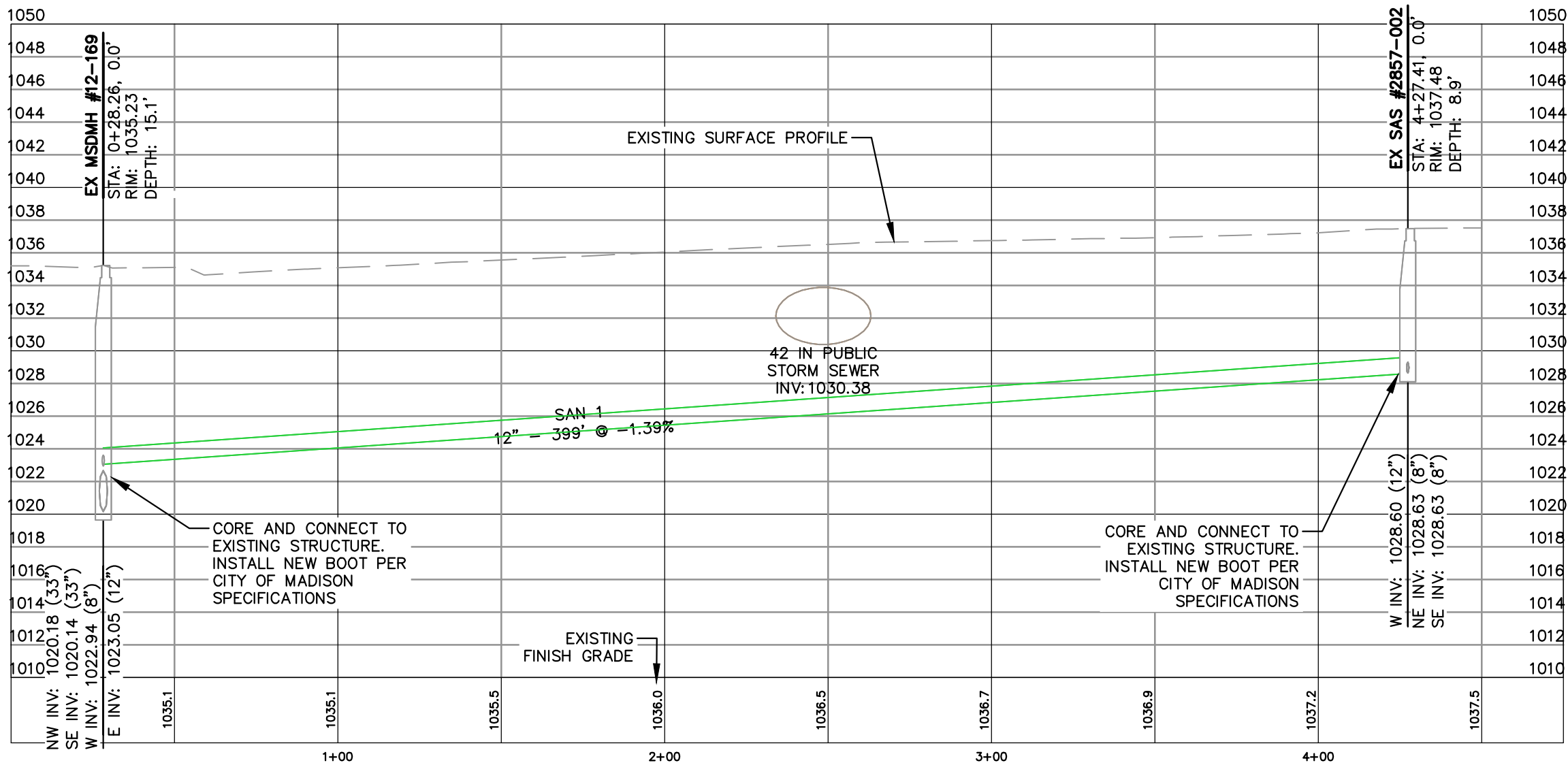
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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

SHEET TITLE:  
**SANITARY SEWER PLAN & PROFILE**

SHEET NUMBER:  
**U-2**

JSD PROJECT NO: 25-15353-PUB



File: \\JSD\proj\6522\2025\15353\DWG\Civil\SheetsPublic\Plans\U-1 SAN PP SHEETS.dwg Layout: U-2 User: bryn.koshanek Plotted: Apr 29, 2026 - 7:57am Xrefs:

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PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX MSDMH #12-169	1035.23	NW INV: 1020.18 (33") SE INV: 1020.14 (33") W INV: 1022.94 (8") E INV: 1023.05 (12")	15.1	48 IN MH	R-1550 SOLID LID
EX SAS #2857-002	1037.48	W INV: 1028.60 (12") NE INV: 1028.63 (8") SE INV: 1028.63 (8")	8.9	48 IN MH	R-1550 SOLID LID

ULO SCHEDULE				
ULO NO.	STATION	OFFSET	TYPE	ELEVATION
ULO 1	2+48.53		STORM	
ULO 2	3+95.13		ELECTRIC	
ULO 3	4+18.86		GAS	

## STRUCTURE NOTES

- EX SAS #2857-002 & MSDMH # 12-169 SHALL REMAIN, THE PROPOSED SANITARY SEWER PIPE SHALL MATCH EXISTING INVERTS.
- CORE AND CONNECT TO EXISTING STRUCTURE. INSTALL NEW BOOT PER CITY OF MADISON SPECIFICATIONS

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	DOWNSTREAM	UPSTREAM	SLOPE	SIZE & MATERIAL
SAN 1	EX MSDMH #12-169	EX SAS #2857-002	399'	1023.05	1028.60	1.39%	12 IN PVC

## PIPE NOTES

- PIPE SAN 1 SHALL BE INSTALLED TO MATCH THE SLOPE AND INVERTS OF THE EXISTING 8" SANITARY SEWER.

REMOVE SANITARY PIPES				
LABEL	FROM	TO	LENGTH	SIZE & MATERIAL
RP-1	EX SAS #2857-002	EX MSDMH #12-169	399'	8 IN VCP



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PROJECT:  
**6522 GRAND TETON PLAZA**

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
6522 GRAND TETON PLAZA  
MADISON, WI 53719  
Dane County

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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

SHEET TITLE:  
**SANITARY SEWER SCHEDULE**

SHEET NUMBER:  
**U-3**

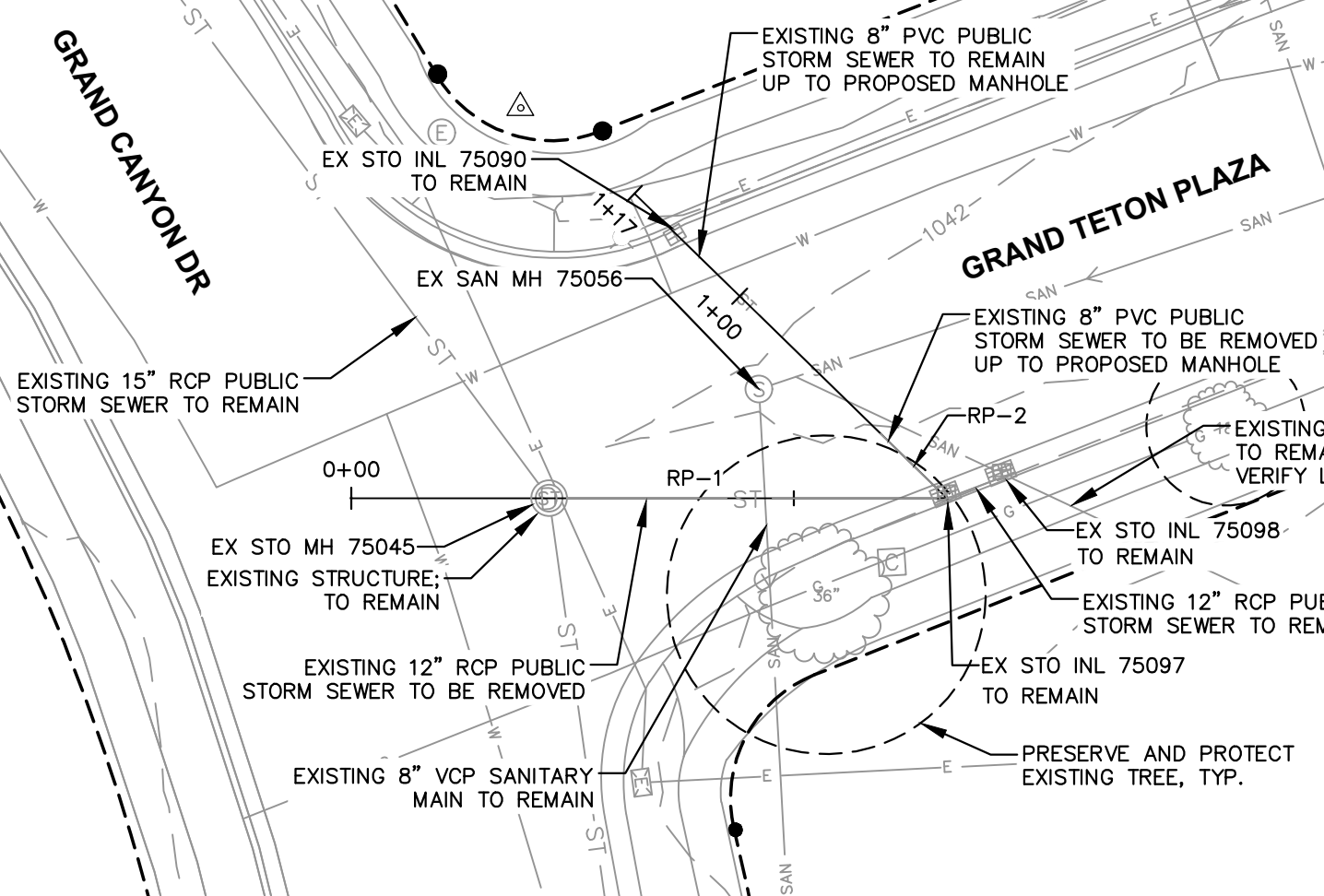
JSD PROJECT NO: 25-15353-PUB



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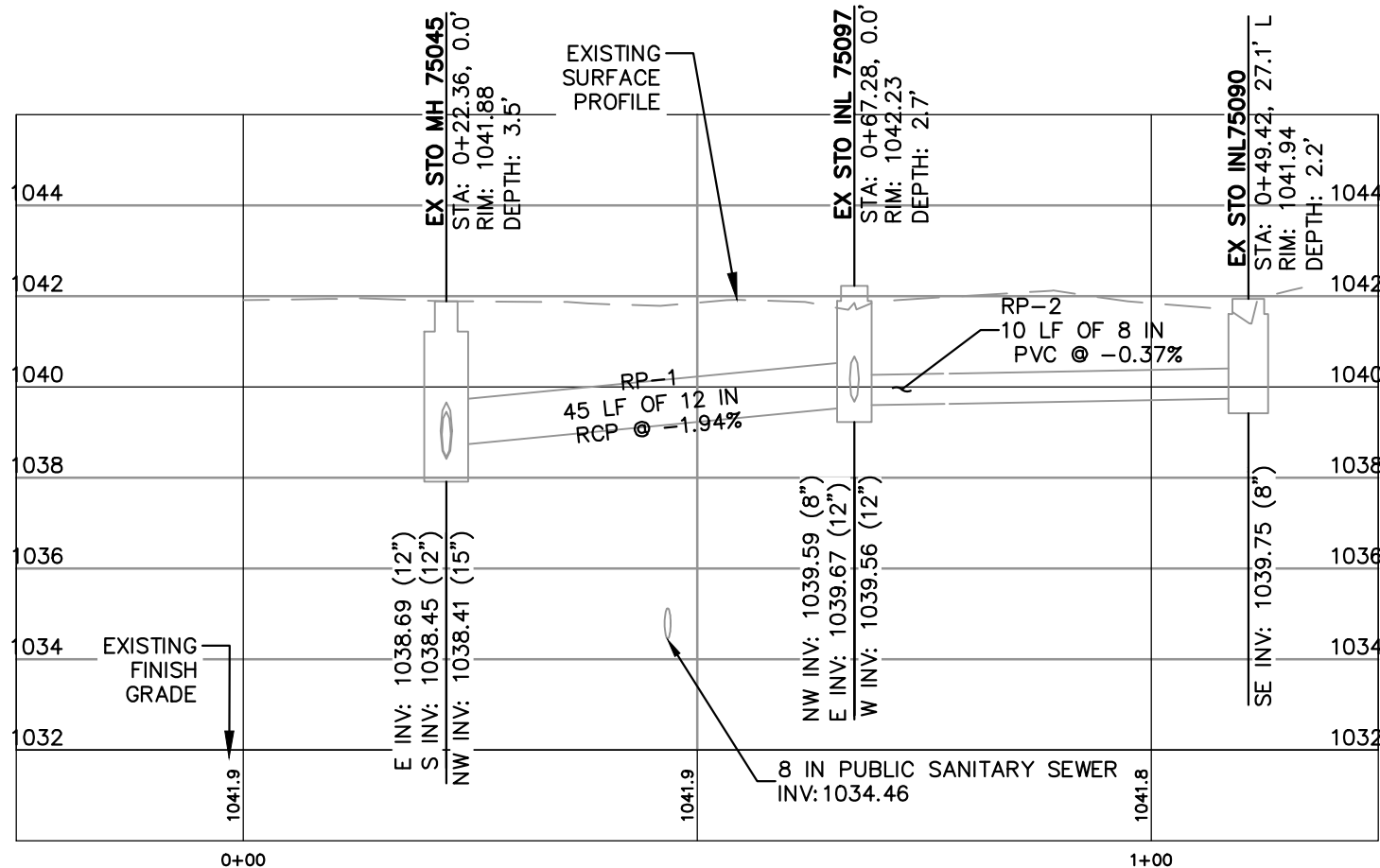
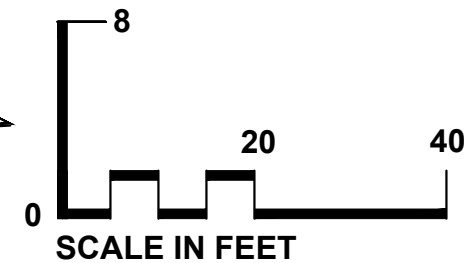
GRAND CANYON DR

GRAND TETON PLAZA



NOTES:

1. REMOVE AND REPLACE SIDEWALK AND CURB AS NEEDED TO REMOVE AND INSTALL STORM SEWER IN GRAND TETON PLAZA.
2. TRENCH PATCH TYPE III SHALL BY USED TO PATCH AREAS DISTURBED BY PUBLIC UTILITY INSTALLATION IN EXISTING ROADWAYS.
3. REFER TO ARTICLE 409.1 OF THE STANDARD SPECIFICATIONS FOR THE REQUIRED PAVEMENT WATCH WIDTH AND LENGTH. FINAL EXTENTS OF ROADWAY PATCHING TO BE DETERMINED BY CITY ENGINEERING.
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KENOSHA, WI 53142

PROJECT:  
**6522 GRAND TETON PLAZA**

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
6522 GRAND TETON PLAZA  
MADISON, WI 53719  
Dane County

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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

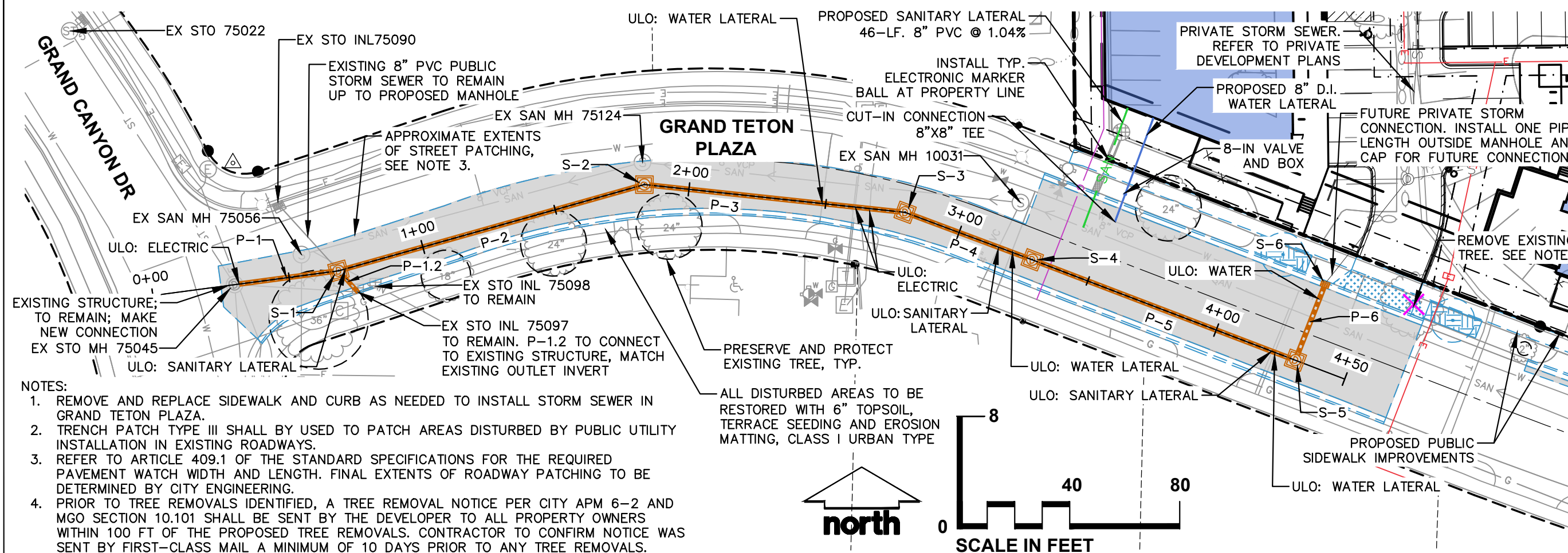
SHEET TITLE:  
**EXISTING STORM SEWER  
PLAN & PROFILE**

SHEET NUMBER:  
**U-4**

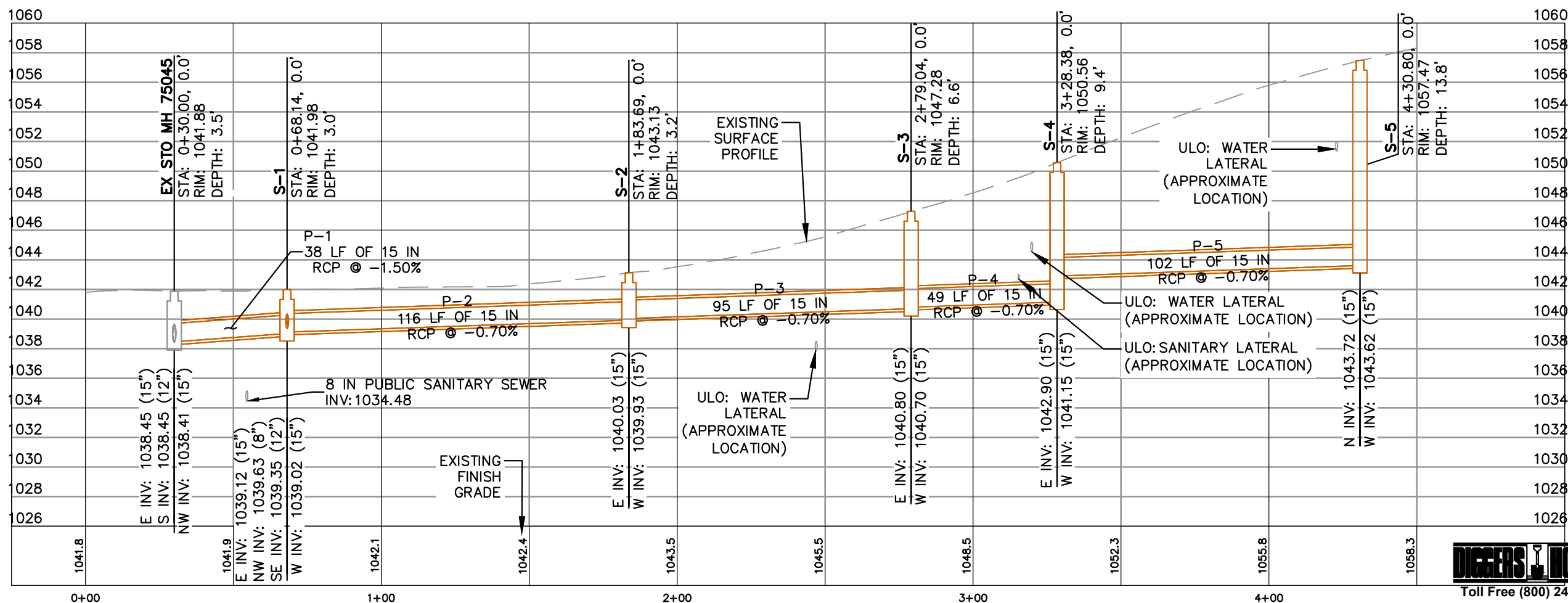


JSD PROJECT NO: 25-15353-PUB

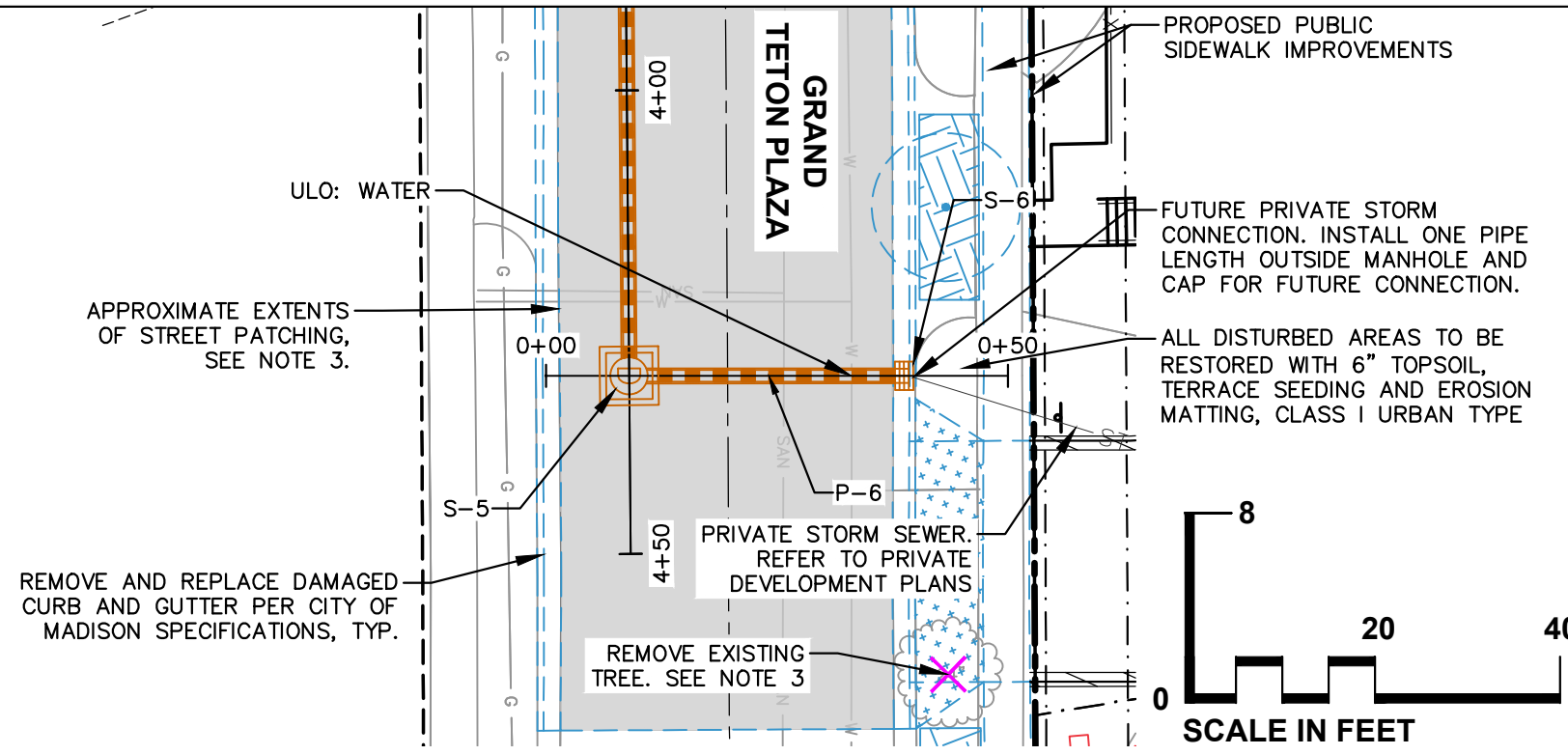
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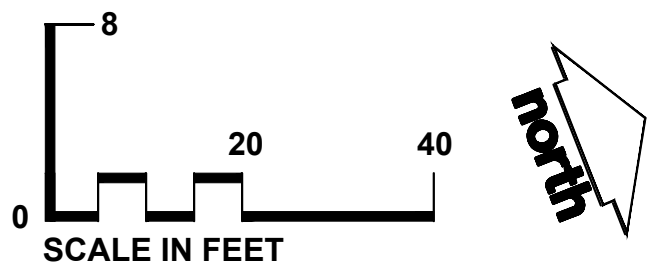
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- NOTES:
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CLIENT:  
BEAR DEVELOPMENT

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PROJECT:  
6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
6522 GRAND TETON PLAZA  
MADISON, WI 53719  
Dane County

PLAN MODIFICATIONS:

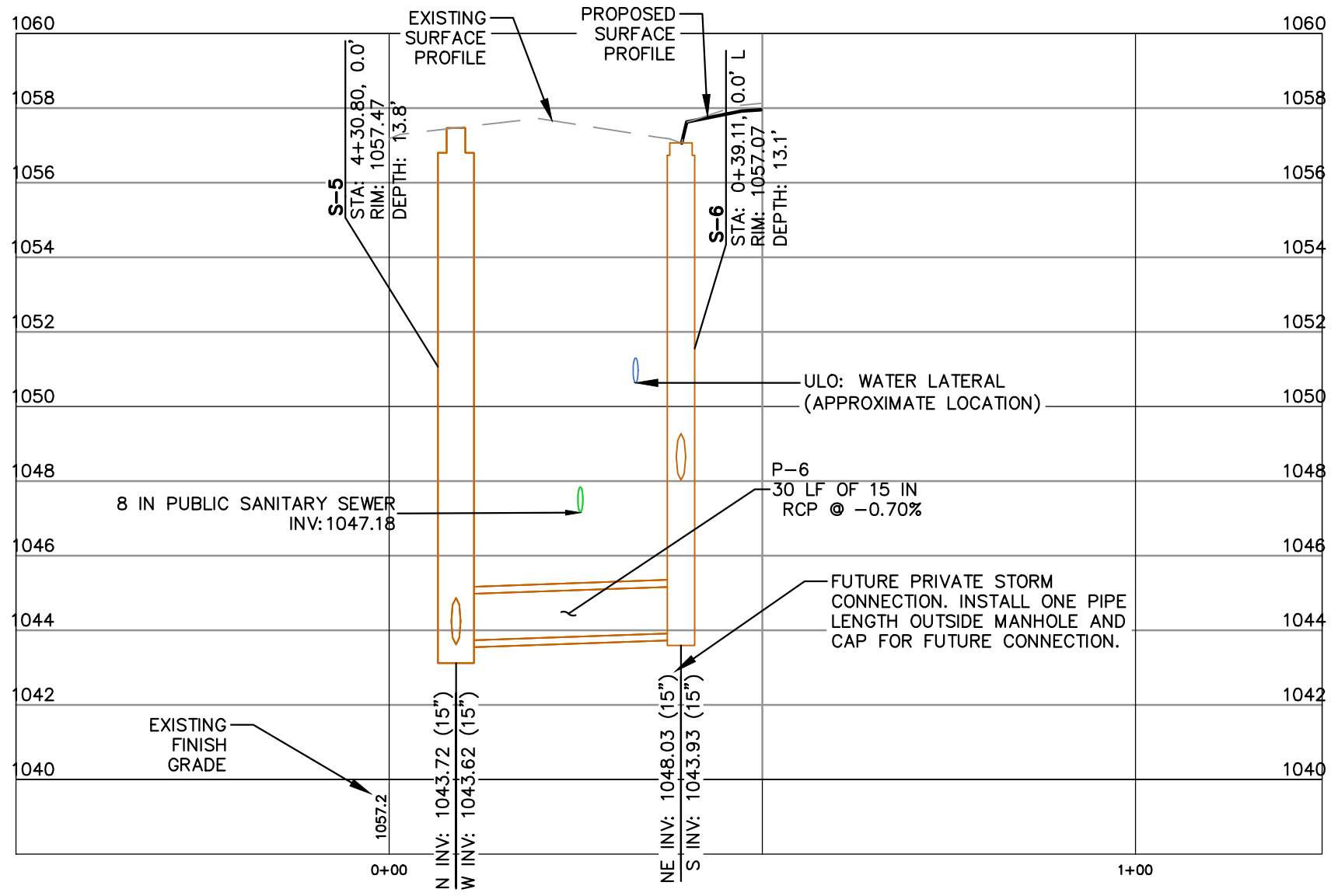
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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

SHEET TITLE:  
STORM SEWER PLAN & PROFILE - EAST

SHEET NUMBER:  
U-6

JSD PROJECT NO: 25-16353-PUB



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PROPOSED STORM SEWER STRUCTURE TABLE							
LABEL	STATION	OFFSET	TYPE	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	FRAME & GRATE
S-1	0+68.14	-0.00	3' X 3' FIELD POURED SAS	1041.98	W INV: 1039.02 (15 IN RCP) E INV: 1039.12 (15 IN RCP) NW INV: 1039.63 (8 IN PVC) SE INV: 1039.35 (12 IN RCP)	3.0	R-1550 SOLID LID
S-2	1+83.69	-0.00	3' X 3' FIELD POURED SAS	1043.13	W INV: 1039.93 (15 IN RCP) E INV: 1040.03 (15 IN RCP)	3.2	R-1550 SOLID LID
S-3	2+79.04	-0.00	3' X 3' FIELD POURED SAS	1047.28	W INV: 1040.70 (15 IN RCP) E INV: 1040.80 (15 IN RCP)	6.6	R-1550 SOLID LID
S-4	3+28.38	-0.00	3' X 3' FIELD POURED SAS	1050.56	W INV: 1041.15 (15 IN RCP) E INV: 1042.90 (15 IN RCP)	9.4	R-1550 SOLID LID
S-5	4+30.80	-0.00	3' X 3' FIELD POURED SAS	1057.47	W INV: 1043.62 (15 IN RCP) N INV: 1043.72 (15 IN RCP)	13.8	R-1550 SOLID LID
S-6	0+39.11	L-0.01	TYPE "H" INLET	1057.07	S INV: 1043.93 (15 IN RCP) NE INV: 1048.03 (15 IN RCP)	13.1	R-3067 TYPE R STANDARD

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	DOWNSTREAM	UPSTREAM	SLOPE	SIZE & MATERIAL
P-1	EX STO MH 75045	S-1	38'	1038.45	1039.02	1.50%	15 IN RCP
P-1.2	S-1	EX STO INL 75097	10'	1039.35	1039.56	2.00%	12 IN RCP
P-2	S-1	S-2	116'	1039.12	1039.93	0.70%	15 IN RCP
P-3	S-2	S-3	95'	1040.03	1040.70	0.70%	15 IN RCP
P-4	S-3	S-4	49'	1040.80	1041.15	0.70%	15 IN RCP
P-5	S-4	S-5	102'	1042.90	1043.62	0.70%	15 IN RCP
P-6	S-5	S-6	30'	1043.72	1043.93	0.70%	15 IN RCP

## STANDARD NOTES

- ALL STORM SAS STRUCTURES TO BE FIELD POURED.
- ALL REBAR FOR FIELD POURED STRUCTURES SHALL BE EPOXY COATED. ANY EXPOSED STEEL SHALL BE TOUCHED UP OR RECOATED PRIOR TO USE.
- ALL FIELD POURED SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.3. ALL PRECAST SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.5.
- ABBREVIATIONS:
  - RCP = REINFORCED CONCRETE PIPE
  - DNA = DOES NOT APPLY
  - SAS = SEWER ACCESS STRUCTURE
  - FP = FIELD POURED STRUCTURE
- APPROXIMATE DISCHARGE E.I. GIVEN, ADJUST E.I. AND PIPE SLOPE IN THE FIELD.
- TOP OF CASTING GRADE GIVEN IS THE FLOWLINE OF THE CLOSED CASTINGS FOR SASs.
- TOP OF CONCRETE ROOF (TR) IS 1.25 BELOW TOP OF CASTING UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES TO BE CLASS III UNLESS OTHERWISE NOTED.
- ALL STRUCTURES CALLED OUT AS FIELD POURED SHALL BE FIELD POURED. ALL OTHER STRUCTURES (NOT INDICATED AS FIELD POURED) SHALL BE SUBMITTED TO CITY ENGINEERING FOR APPROVAL IF PRECAST STRUCTURES ARE PREFERRED. CONTACT TIM TROESTER OF CITY ENGINEERING AT (608) 267-1995 FOR PRECAST APPROVALS, EMAIL SHOP DRAWINGS TO TTROESTER@CITYOFMADISON.COM

REMOVE STORM PIPES				
LABEL	FROM	TO	LENGTH	SIZE & MATERIAL
RP-1	EX STO INL 75097	EX STO MH 75045	45'	12 IN RCP
RP-2	END RP-2	EX STO INL 75097	10'	8 IN PVC

## REMOVAL NOTES

- RP-2 TO BE REMOVED FROM EX STO INL 75097 UP TO PROPOSED MANHOLE S-1.

ULO SCHEDULE				
ULO NO.	STATION	OFFSET	TYPE	ELEVATION
ULO 4	0+54.48		SANITARY MAIN	
ULO 5	0+31.51		ELECTRIC	
ULO 6	0+70.58		SANITARY LATERAL	
ULO 7	2+48.70		WATER LATERAL	
ULO 8	2+60.12		FIBER	
ULO 9	2+60.82		ELECTRIC	
ULO 10	2+66.18		ELECTRIC	
ULO 11	3+15.40		SANITARY LATERAL	
ULO 12	3+20.36		WATER LATERAL	
ULO 13	4+21.61		SANITARY LATERAL	
ULO 14	4+22.88		WATER LATERAL	
ULO 15	4+30.99	23.97' L	WATER MAIN	



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507 WEST VERONA AVENUE, SUITE 500  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**BEAR DEVELOPMENT**

CLIENT ADDRESS:  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT:  
**6522 GRAND TETON PLAZA**

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
6522 GRAND TETON PLAZA  
MADISON, WI 53719  
Dane County

### PLAN MODIFICATIONS:

#	Date	Description
1	04.24.2026	SCHEMATIC LAYOUTS
2	04.29.2026	IMPROVEMENT PLAN DESIGN
3		
4		
5		
6		
7		
8		
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10		
11		
12		
13		
14		
15		

Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

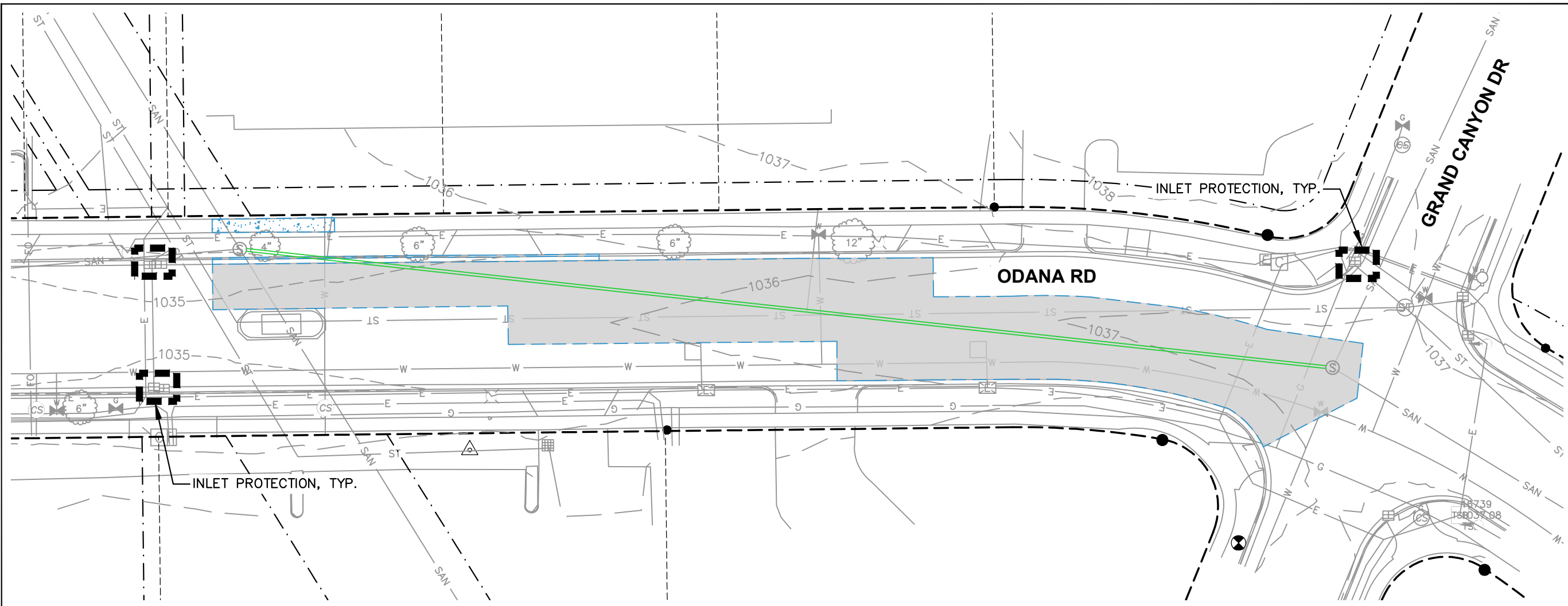
SHEET TITLE:  
**STORM SEWER SCHEDULE**

SHEET NUMBER:  
**U-7**



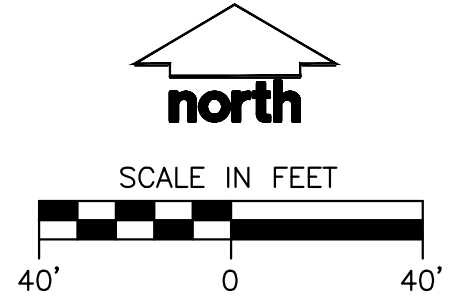
Toll Free (800) 242-8511

JSD PROJECT NO: 25-15353-PUB



**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- CITY OF MADISON CURB AND GUTTER RESTORATION
- CITY OF MADISON CONCRETE PAVEMENT RESTORATION
- CITY OF MADISON UTILITY TRENCH PATCH
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- INLET PROTECTION



**DIGGERS ON CALL**  
Toll Free (800) 242-8511

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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

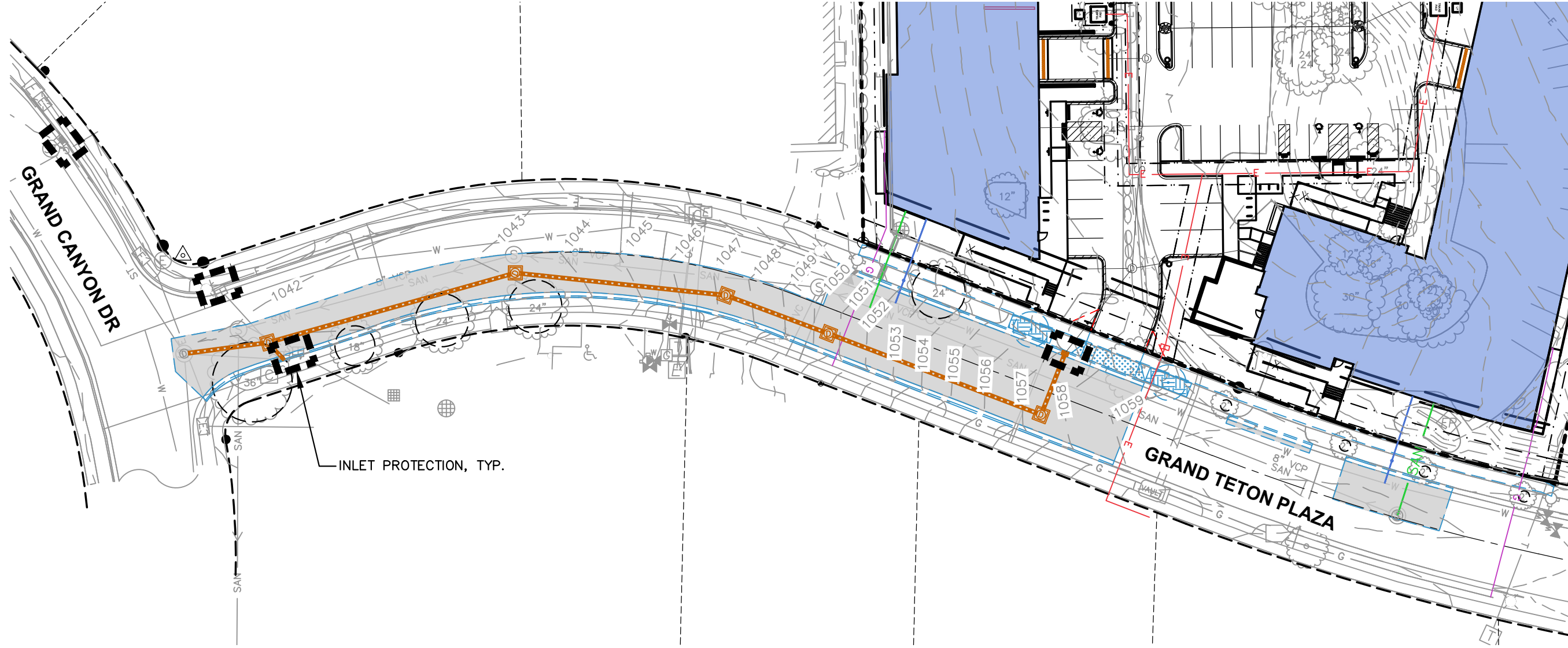
SHEET TITLE:  
**PUBLIC SANITARY  
ODANA RD EROSION  
CONTROL PLAN**

SHEET NUMBER:  
**EC-1**

JSD PROJECT NO: 25-15353-PUB

File: \USDINC\project\2025\2515353\DWG\Civil Sheets\Public Plans\U-1 SAN PP SHEETS.dwg Layout: EC-1 User: baryn.kosharek Plotted: Apr 27, 2026 - 3:23pm Xref's:

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**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- BUILDING OUTLINE
- BUILDING OVERHANG
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- CONCRETE PAVEMENT
- CITY OF MADISON CURB AND GUTTER RESTORATION
- CITY OF MADISON HEAVY DUTY CONCRETE PAVEMENT RESTORATION
- CITY OF MADISON UTILITY TRENCH PATCH
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- INLET PROTECTION



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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

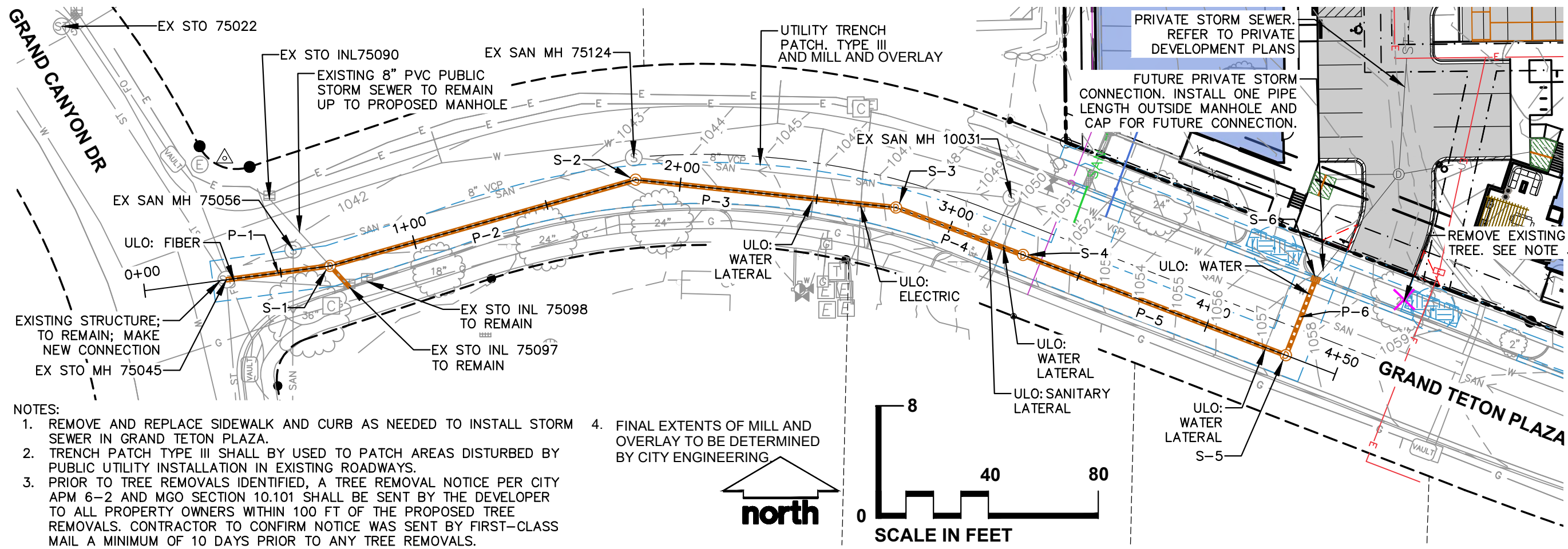
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**PUBLIC STORMWATER  
GRAND TETON PLAZA  
EROSION CONTROL PLAN**

SHEET NUMBER:  
**EC-2**

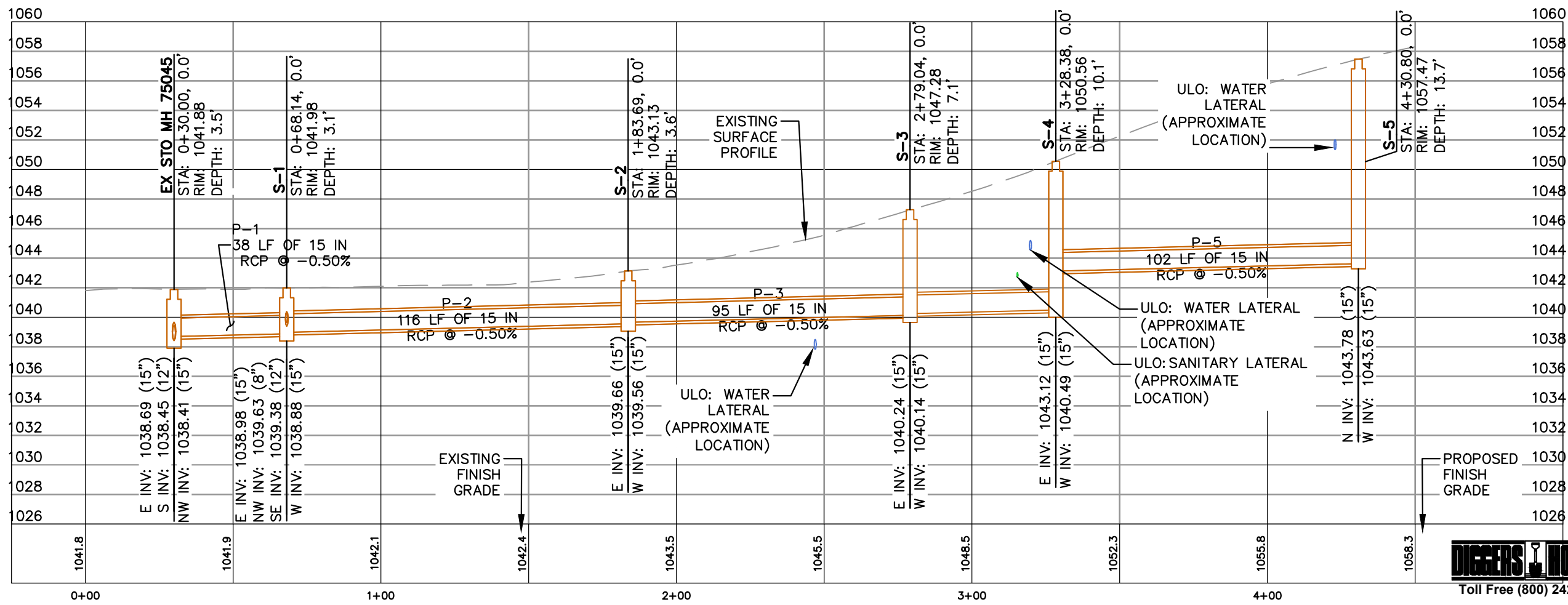
JSD PROJECT NO: 25-15353-PUB

File: \\USDINC\project\2025\2515353\DWG\Civil\Sheets\Public Plans\U-4\STM PP SHEETS.dwg Layout: EC-2 User: baryn.kosharek Plotted: Apr 29, 2026 - 8:01am Xref's:

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- NOTES:
1. REMOVE AND REPLACE SIDEWALK AND CURB AS NEEDED TO INSTALL STORM SEWER IN GRAND TETON PLAZA.
  2. TRENCH PATCH TYPE III SHALL BY USED TO PATCH AREAS DISTURBED BY PUBLIC UTILITY INSTALLATION IN EXISTING ROADWAYS.
  3. PRIOR TO TREE REMOVALS IDENTIFIED, A TREE REMOVAL NOTICE PER CITY APM 6-2 AND MGO SECTION 10.101 SHALL BE SENT BY THE DEVELOPER TO ALL PROPERTY OWNERS WITHIN 100 FT OF THE PROPOSED TREE REMOVALS. CONTRACTOR TO CONFIRM NOTICE WAS SENT BY FIRST-CLASS MAIL A MINIMUM OF 10 DAYS PRIOR TO ANY TREE REMOVALS.
  4. FINAL EXTENTS OF MILL AND OVERLAY TO BE DETERMINED BY CITY ENGINEERING



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PROJECT:  
6522 GRAND TETON PLAZA

CITY PROJECT #: 16028; CONTRACT #: 9772

PROJECT LOCATION:  
6522 GRAND TETON PLAZA  
MADISON, WI 53719  
Dane County

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Designed By: CHG  
Reviewed By: JAW  
Approved By: JAW

SHEET TITLE:  
STORM SEWER PLAN & PROFILE

SHEET NUMBER:  
U-4

JSD PROJECT NO: 25-15353-PUB

File: U:\SD\proj\6522\2025\15353\DWG\Civil\Sheets\Public\Plans\U-4\STM PP SHEETS.dwg Layout: U-4 User: jacob.webb Plotted: Apr 16, 2026 - 1:51pm Xrefs:

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Project Name: Grand Teton Public Storm Sewer DESIGN STORM  
 Date: 04/29/26  
 Title: Storm Sewer Sizing

Black - manually entered in the cell  
 10 Green - calculation performed  
 Blue - referenced from another source  
 Orange - Override

STORM SEWER SIZING CALCULATIONS

PIPE	Pipe Run		Manhole Size (in.)	Length (ft.)	Pipe Diameter (inches)	Slope (%)	Pipe Material	Mannings (n)	Pipe Area (sq. ft.)	Hydraulic Radius (ft.)	DA	Drainage Areas			Runoff Coef. C	Upstream End (Y/N)	Area x C Total (Y/N)	Time of Conc.		Rainfall Intensity (in/hr)	Design Storm Event	Bypass Runoff (cfs)	Total Runoff (cfs)	Total Runoff (gpm)	Design Capacity (cfs)	Design Capacity (gpm)	Percent Full (%)	Velocity Full (ft/sec)	Downstream I.E. (ft.)	Upstream I.E. (ft.)	US Rim Elev. (ft.)	Comments	
	From	To										Imp. (acres)	Perv. (acres)	Total (acres)				To Structure (min.)	Pipe (min.)														
10 PIPE RUN																																	
STO A-4	STO MH A-3	STO A-4		28.51	12	2.00	HDPE	0.012	0.79	0.25	STO A-4	2.822	0.497	3.320	0.84	Y	2.78	6.0	0.07	6.47	10	0.00	4.64	2082.41	5.47	2456.35	84.8%	6.97	1049.86	1050.00	1059.41		
STO A-3	STO MH A-2	STO MH A-3		103.14	15	0.50	HDPE	0.012	1.23	0.31	STO A-3					N	2.78	6.1	0.43	6.47	10	0.00	4.64	2082.41	4.96	2226.83	93.5%	4.61	1049.24	1049.76	1057.83		
STO A-2	STO MH A-1	STO MH A-2		94.51	15	0.50	HDPE	0.012	1.23	0.31	STO A-2					N	2.78	6.5	0.98	6.47	10	0.00	4.64	2082.41	4.96	2226.83	93.5%	4.61	1048.87	1049.14	1059.81		
STO A-1	S-6	STO MH A-1		48.95	15	0.50	RCP	0.012	1.23	0.31	STO A-1					N	2.78	6.9	0.99	6.04	10	0.00	4.64	2082.41	4.96	2226.83	93.5%	4.61	1044.03	1044.27	1057.03		
P-6	S-5	S-6		30.14	15	0.70	RCP	0.012	1.23	0.31	P-6	0.132	0.071	0.203	0.68	N	2.91	7.1	0.13	6.04	10	0.00	5.48	2459.22	5.87	2634.82	93.3%	4.78	1043.78	1043.93	1057.47		
P-5	S-4	S-5		102.42	15	0.70	RCP	0.012	1.23	0.31	P-5					N	2.91	7.2	0.36	6.04	10	0.00	5.48	2459.22	5.87	2634.82	93.3%	4.78	1043.12	1043.63	1050.56		
P-4	S-3	S-4		89.86	15	0.70	RCP	0.012	1.23	0.31	P-4					N	2.91	7.5	0.33	5.68	10	0.00	5.48	2459.22	5.87	2634.82	93.3%	4.78	1040.03	1040.48	1041.86		
P-3	S-2	S-3		55.04	15	0.70	RCP	0.012	1.23	0.31	P-3					N	2.91	7.9	0.19	5.68	10	0.00	5.48	2459.22	5.87	2634.82	93.3%	4.78	1039.65	1039.91	1043.06		
P-2	S-1	S-2		115.17	15	0.70	RCP	0.012	1.23	0.31	P-2					N	2.91	8.0	0.40	5.68	10	0.00	5.48	2459.22	5.87	2634.82	93.3%	4.78	1038.86	1039.55	1041.98		
P-1	EX STO MH 75045	S-1		38.14	15	1.50	RCP	0.012	1.23	0.31	P-1	0.912	0.123	0.695	0.80	N	3.42	8.4	0.09	5.68	10	0.00	8.38	3758.83	8.55	3896.97	97.5%	7.00	1038.69	1038.88	1041.98		
Note: Runoff from STO A-4 is based on private development stormwater management design																																	