

Project Team

Owner/Developer
Urban Land Interests

Architect
Potter Lawson, Inc.

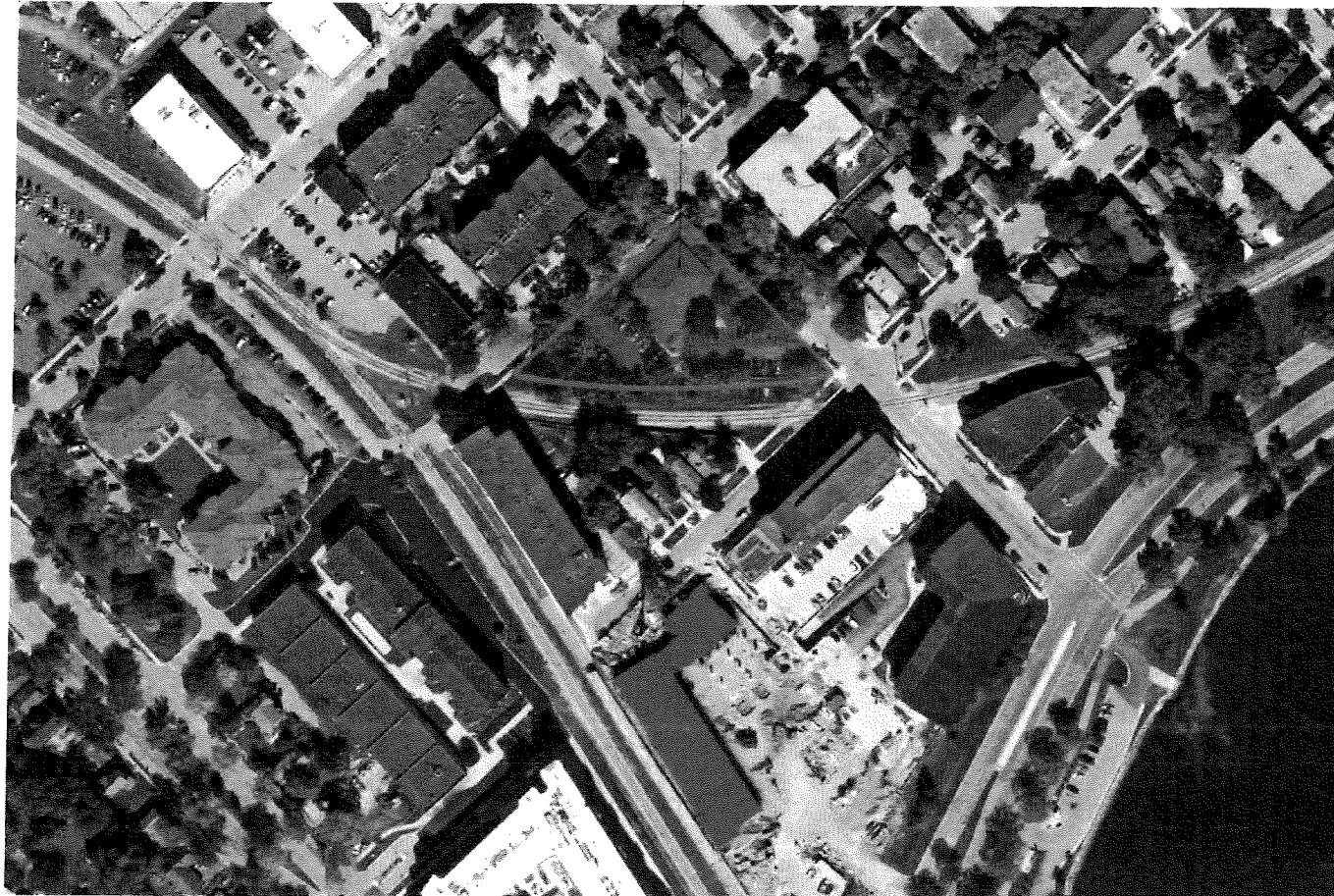
Structural Engineer
Pierce Engineers

Landscape Architect
Ken Saiki Design

Civil Engineer
D'Onofrio Kottke

Location Map

Project Location: 222 South Bedford Street, Madison, Wisconsin



Project / Zoning Information

Proposed Use / Occupancy: Residential Apartments
(Conditional Use)
R2 Occupancy

Current Zoning: UMX

Setbacks	Required	Provided
Front (West Doty Street):	5' min., 10' max.	6'
Side (South Bedford Street):	0'	6'
Rear:	10'	43'

Building Height:	2 stories min. 5 stories max	4 stories
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Maximum Lot Coverage:	90%	66%
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Total Site Area:	37,839 SF	24,945 SF (coverage)
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Usable Area:	10 SF/BD	14,980 SF=136 SF/BD
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Landscaping Area:		10,275 SF
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Building Area

Apartment Building (R2)	86,175 GSF
Below Grade Parking (S2)	22,215 GSF

Combined Total	108,390 GSF
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Unit Information

Units	Floors	1st	2nd	3rd	4th	Totals
1 BR / 1 Bath		17	17	18	18	70
2 BR / 2 Bath		2	2	2	2	8
2 BR + Den / 2 Bath		0	2	2	2	6
3 BR / 2 Bath		1	1	1	1	4
Total Units		20	22	23	23	88
Total Bedrooms		24	28	29	29	110

Parking Summary

Vehicle Parking Stalls

Apartment Building below grade

Regular	43
Small	15
Accessible	1
Van Accessible	1

Total	60 stalls
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Bike Parking Stalls

Apartment Building Residents	(1 per unit min., enclosed)
Horizontal (Floor mounted)	55
Horizontal (Wall mounted)	36
Total	91

Apartment Building Visitors	(1 per 10 Units resident total)
Horizontal (Floor mounted)	9

Total	100 stalls
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Drawing List

General

G100 Project Information

Site

C101 Existing Conditions
C102 Site Removal Plan
C103 Site Plan
C104 Grading & Erosion Control Plan
C105 Utility Plan
C106 Fire Apparatus Access Plan
L100 Landscape Plan
E001 Site Lighting Plan

Architectural

A100 Parking Level Plan
A101 First Floor Plan
A102 Second Floor Plan
A103 Third and Fourth Floor Plans
A201 Building Elevations
A202 Building Elevations
A211 Building Perspective Views

**Potter
Lawson**

Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

222 S. Bedford Street
Urban Land Interests
Madison, WI

2015.24.00

Date	Issuance/Revisions	Symbol
03/09/16	Land Use Application	

Project Information

G100

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Wisconsin Way, Madison, WI 53717
Phone: 608.833.7330 • Fax: 608.833.1889
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

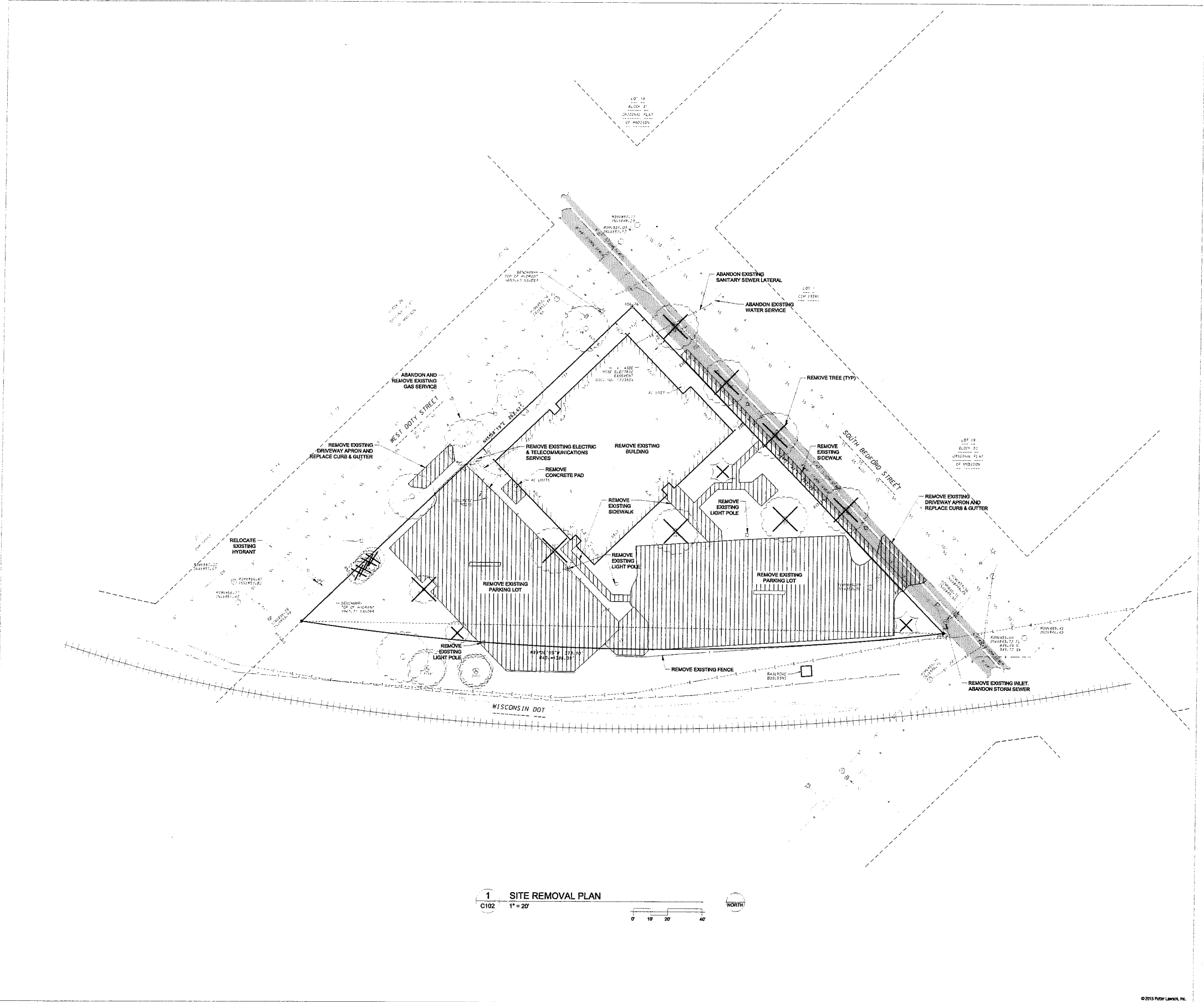
Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

222 S. Bedford Steet
Urban Land Interests
Madison, WI

2015.24.00

Date	Revisions/Comments	Symbol
04/20/16	Lead Use Application	



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Lawson**

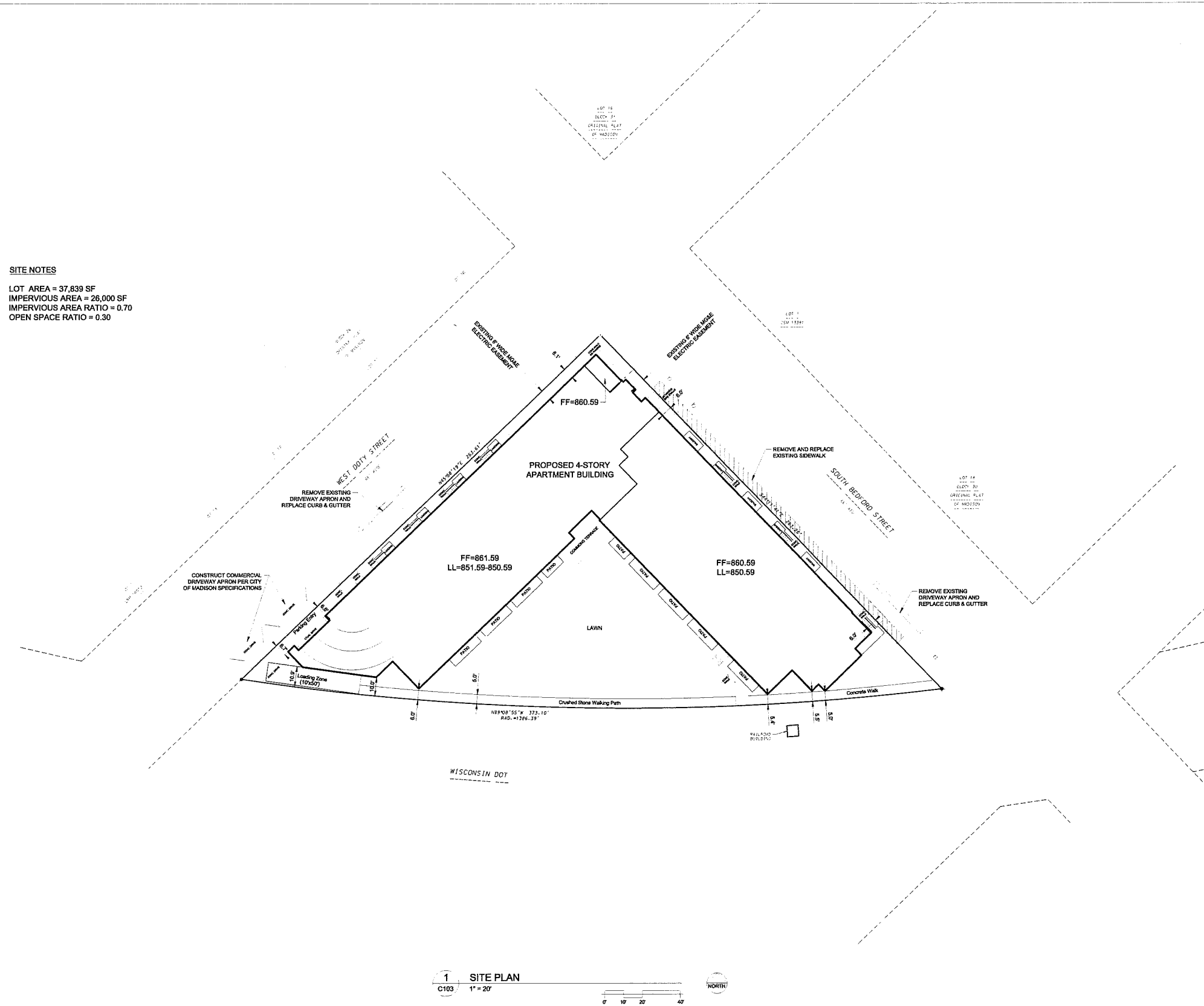
Success by Design

D'ONFRID KOTYKE AND ASSOCIATES, INC.
7530 Watwood Way, Madison, WI 53717
Phone: 608.833.7330 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

Notes:

SITE NOTES

LOT AREA = 97,839 SF
IMPERVIOUS AREA = 26,000 SF
IMPERVIOUS AREA RATIO = 0.70
OPEN SPACE RATIO = 0.30



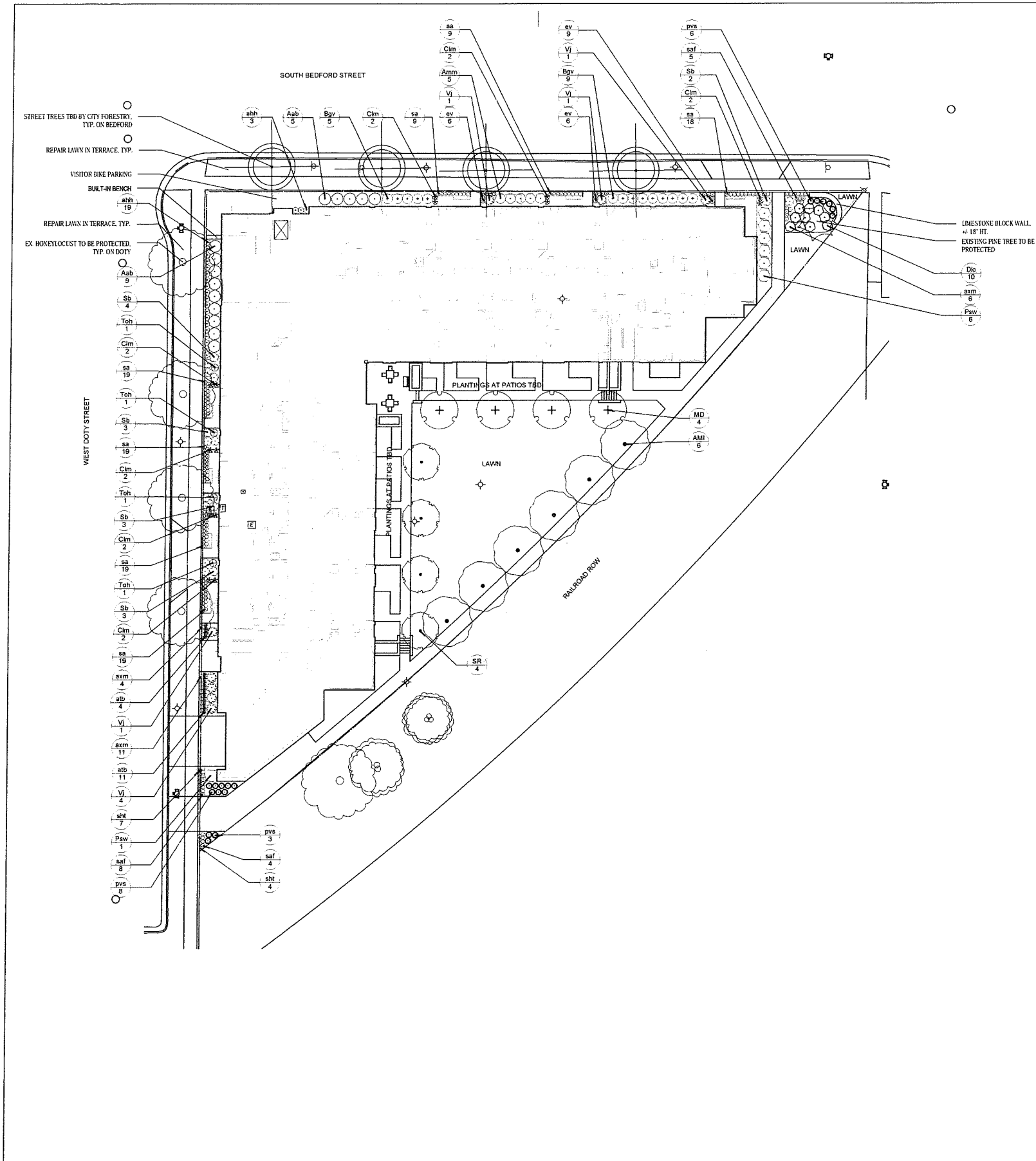
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222 S. Bedford Steet
Urban Land Interests
Madison, WI

2015.24.00

Date	Revisions/Revisions	Symbol
03/29/16	Land Use Application	

1 SITE PLAN
1" = 20'
NORTH



- NOTES:
1. ALL PLANT BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED.
 2. ALL PLANT BEDS AND LAWNS SHALL BE PERMANENTLY IRRIGATED.
 3. ALL DISTURBED AREAS SHALL BE REPAIRED WITH INDICATED SEED OR SOD.
 4. ALUMINUM EDGING SHALL BE USED UNLESS OTHERWISE NOTED.
 5. BIODEGRADABLE EROSION CONTROL MAT SHALL BE USED ON SLOPES OF 4:1 OR STEEPER.
 6. EXISTING STREET TREES ALONG DOTY STREET SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING BETWEEN THE CURB AND SIDEWALK AND EXTEND IT FOR AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4891) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. <http://www.cityofmadison.com/business/aw/documents/StdSpecs2013Part1.pdf>
 7. CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4891) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

City of Madison Landscape Requirements
 222 S. Bedford
 6-Mar-16

Developed Lots	SF	Landscape Points Subtotal
Total Developed Area (Lot - Building Area)	15,788	
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)		263
		Landscape Points Required 263

Development Frontage	LF	Overstory Trees Required	Shrubs Required
Total LF of Street Frontage			
Between Parking Building & Street	442	15	74

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35		0	0
Tall Evergreen Tree	35		1	35
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	59		177
Shrub, evergreen	3	18		72
Ornamental Grass/Perennial	2	250		500
				Development Frontage Points Total 784

General Site, Foundation, Screening
 6-8 ft. screening shall be provided along side and rear property boundaries adjacent to residential districts (in front yard setback screening shall not exceed 4' ht.)

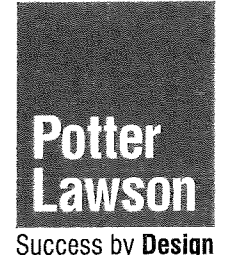
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35		0	0
Tall Evergreen Tree	35	6		210
Ornamental Tree	15	8		120
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	0		0
Shrub, evergreen	4	0		0
Ornamental Grass/Perennial or Wall (4 pts/10 LF)	2			0
				Foundation Plantings Total 330

TOTAL LANDSCAPE POINTS 1114

* In cases where development frontage landscaping cannot be provided due to site conditions, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
AM	Acer spicata 'Morton' TM / Norway Maple	6" B.B.	25' Cal	6	
FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
MD	Malus x Donald Wyman / Donald Wyman Crab Apple	6" B.B.	2' Cal	4	
SR	Syringa reticulata 'Troy Silk' / Ivory Silk Japanese Tree Lilac	6" B.B.	2' Cal	4	
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Aab	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry/Red Chokeberry	5 gal		6' o.c.	14
Asa	Azalea mollis 'Morton' TM / Hoopla Beauty Black Chokeberry	3 gal		4' o.c.	5
Dc	Diervilla lonicera 'Copper' / Copper Low Bush Honeysuckle	3 gal		4' o.c.	10
Paw	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal	30" HT	6' o.c.	7
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	3 gal		4' o.c.	15
Vj	Viburnum x juddii / Judd Viburnum	3 gal		4' o.c.	8
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Bgv	Buxus x 'Green Velvet' / Borewood	3 gal		4' o.c.	14
Toh	Thuja occidentalis 'Holmenstrup' / Holmenstrup Cedar	5 gal	3' HT	30' o.c.	4
ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
pvs	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	1 gal		3' o.c.	17
sa	Setaria autumnalis / Autumn Ink Grass	1 gal		18" o.c.	112
sh	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal		18" o.c.	11
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
axm	Alchemilla mollis / Millium Ornamental Chive	1 gal		18" o.c.	21
ah	Arenaria lutea 'Hollyhock' / Arkansas Blue-star	1 gal		30" o.c.	22
ab	Arenaria lobata 'Blue Ice' / Blue Ice Star Flower	1 gal		18" o.c.	15
ev	Euphorbia x venicicola 'Sulphureum' / Bicolor Barrenwort	1 gal		18" o.c.	21
saf	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal		18" o.c.	17
VINES/SPALERS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Ch	Clematis macronovata / Sweet Aclium Clematis	1 gal		24" o.c.	14



303 S. PATERSON
 SUITE ONE
 MADISON, WI 53703
 Phone: 608 251-3600

Project Name
Project Name
 222 S. Bedford
 Madison, Wisconsin

Date	Issuance/Revisions	Symbol
03/09/16	UDC SUBMITTAL	

LANDSCAPE PLAN

L100

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

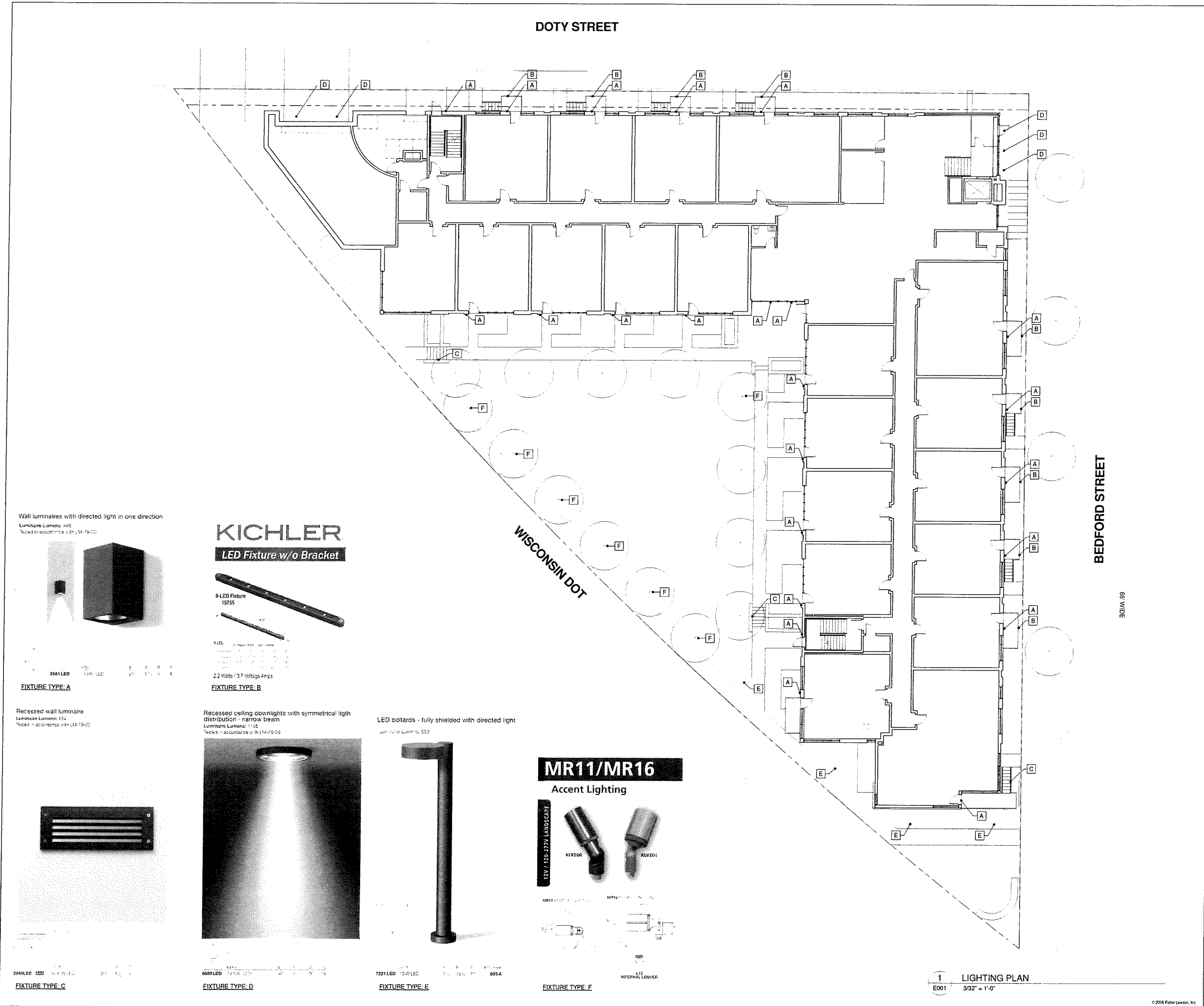
222 S. Bedford Street
Urban Land Interests
Madison, WI

2015.24.00

Date	Issued/Revised	By
03/05/16	Land Use Application	

Site Lighting Plan

E001



Wall luminaires with directed light in one direction
Luminaire Lumens: 449
Fixture in accordance with LM-79-02

KICHLER
LED Fixture w/o Bracket

9-LED Fixture
15755

3581LED
12W LED
25' 17.5" 12" 6"

FIXTURE TYPE A

Recessed wall luminaire
Luminaire Lumens: 132
Fixture in accordance with LM-79-02

2044LED 15W
18" x 7.5" x 2.5" 24" 4" x 3"

FIXTURE TYPE C

Recessed ceiling downlights with symmetrical light distribution - narrow beam
Luminaire Lumens: 1102
Fixture in accordance with LM-79-02

6669LED 18W LED
12" x 12" x 1.5" 24" 24" 1.5"

FIXTURE TYPE D

LED bollards - fully shielded with directed light
Luminaire Lumens: 622

7221LED 1327LED
3" x 3" x 11" 85A

FIXTURE TYPE E

MR11/MR16
Accent Lighting

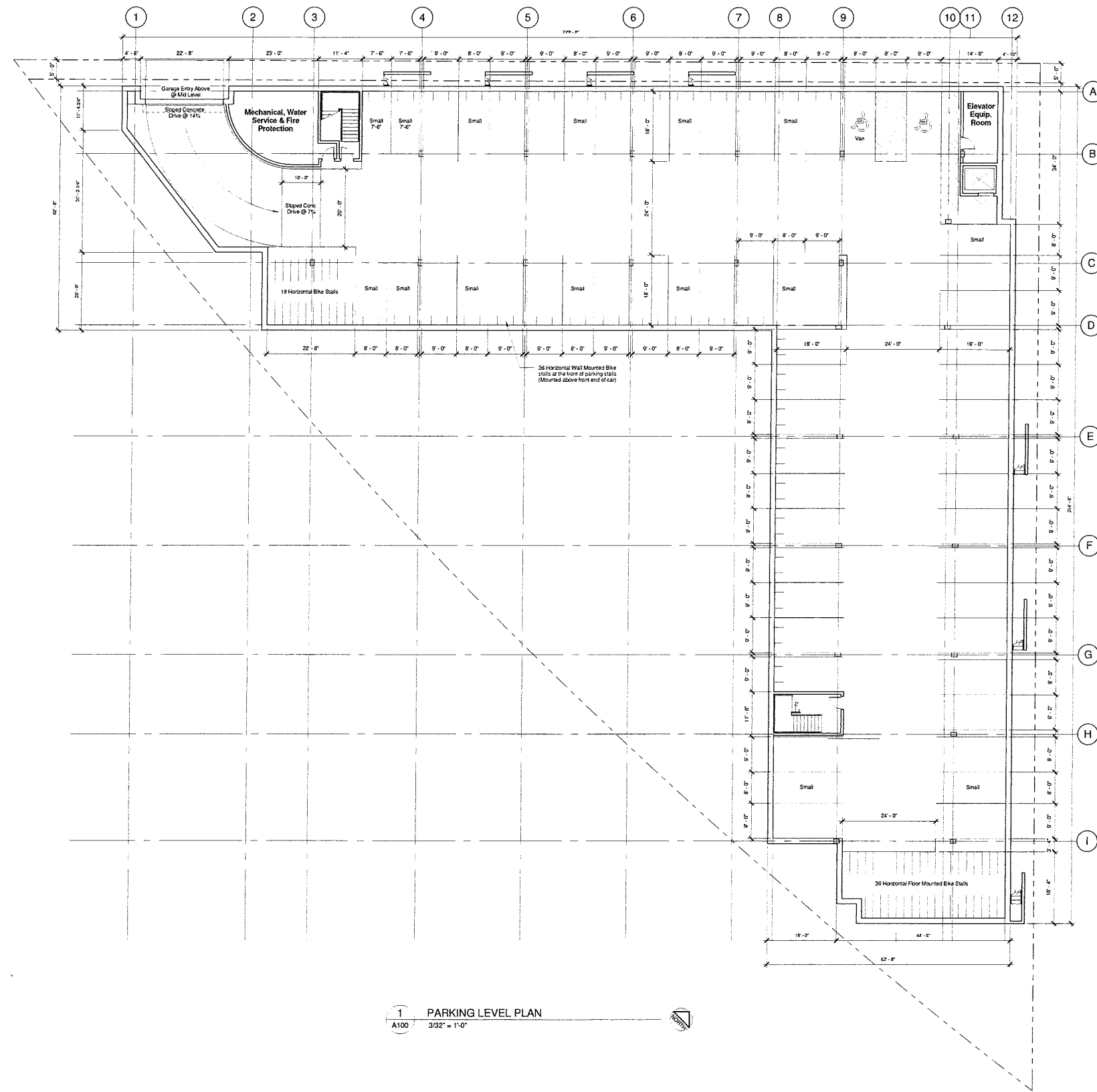
12V 1.12W-27W LANGSCAPE
41V206 41V201

MR11 12V 1.12W LANGSCAPE MR16 12V 27W LANGSCAPE

12V 1.12W LANGSCAPE MR16 12V 27W LANGSCAPE

FIXTURE TYPE F

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1 PARKING LEVEL PLAN
A100
3/32" = 1'-0"

Notes:

Parking Count	
Medium 9' x 18'	- 43 stalls
Small 7' x 18'	- 13 stalls
Small 7' x 16'	- 2 stalls
Van Accessible	- 1 stall
Accessible	- 1 stall
Total Parking	- 60 Stalls
Bike Stalls	
Wall Mount - Parking Level	- 55 stalls / 26 stalls
Visitor - Elevator	- 9 stalls
Total	- 100 Stalls

PRELIMINARY
NOT FOR CONSTRUCTION

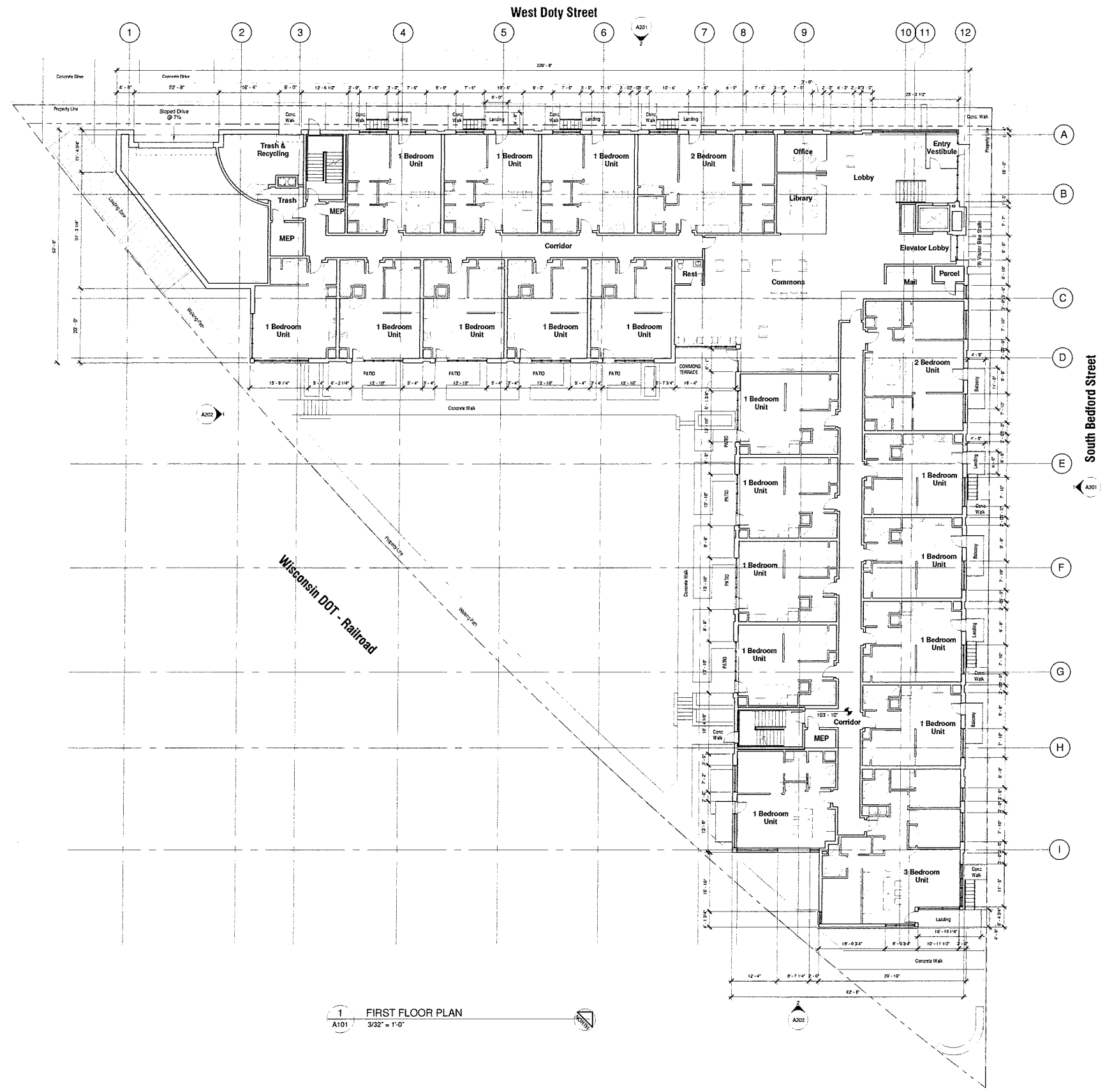
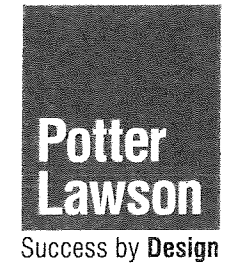
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Madison, WI

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03/02/16	Land Use Application	

Parking Level Plan

A100



1 FIRST FLOOR PLAN
A101 3/32" = 1'-0"

Notes:

Apartment Counts

First Floor

- Small 1 Bedroom 13
- Standard 1 Bedroom 4
- 2 Bedroom 2
- 3 Bedroom 1

Total 20

Second Floor

- Small 1 Bedroom 13
- Standard 1 Bedroom 4
- 2 Bedroom 1
- 2 Bedroom 1
- 2 Bedroom + Den 1
- 2 Bedroom + Den 1
- 3 Bedroom 1

Total 22

Third & Fourth Floors

- Small 1 Bedroom 12 / 12
- Small 1 Bedroom 1 / 1
- Standard 1 Bedroom 5 / 5
- 2 Bedroom 1 / 1
- 2 Bedroom 1 / 1
- 2 Bedroom + Den 1 / 1
- 2 Bedroom + Den 1 / 1
- 3 Bedroom 1 / 1

Total 23 / 23 = 46

Totals

- Small 1 Bedroom 27
- Small 1 Bedroom 2
- Standard 1 Bedroom 20
- 2 Bedroom 3
- 2 Bedroom 3
- 2 Bedroom + Den 3
- 2 Bedroom + Den 3
- 3 Bedroom 4

Total 88

PRELIMINARY
NOT FOR CONSTRUCTION

222 S. Bedford Street
Urban Land Interests
Madison, WI

2015.24.00

Date Revision/Revisions Symbol

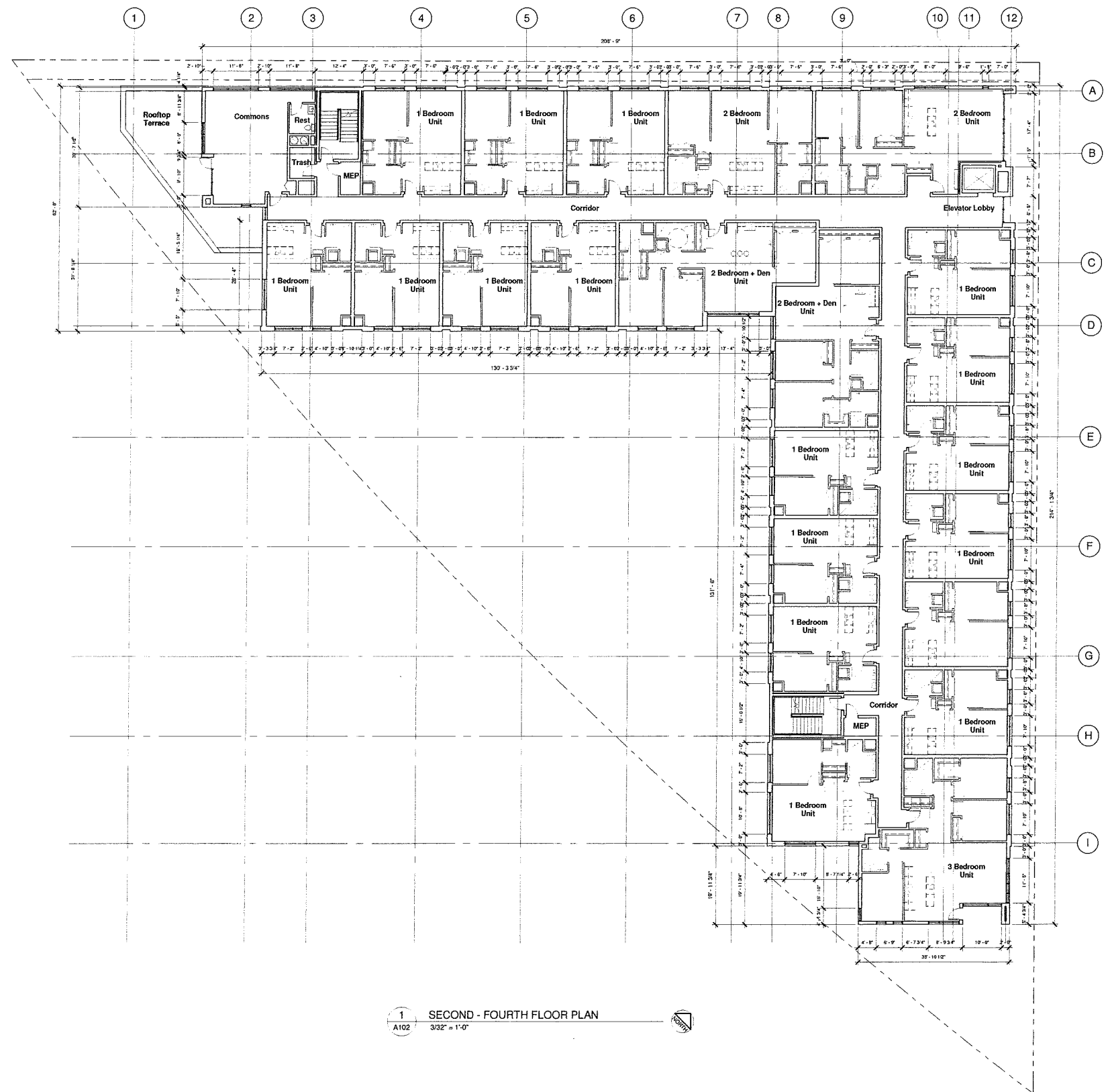
Date	Revision/Revisions	Symbol
03/05/16	Land Use Application	

First Floor Plan

A101

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Notes:

Apartment Count

First Floor	
- Small 1 Bedroom	13
- Standard 1 Bedroom	4
- 2 Bedroom	2
- 3 Bedroom	1
Total	20
Second Floor	
- Small 1 Bedroom	13
- Standard 1 Bedroom	4
- 2 Bedroom	1
- 2 Bedroom + Den	1
- 3 Bedroom	1
Total	22
Third & Fourth Floors	
- Small 1 Bedroom	12 / 12
- Small 1 Bedroom	1 / 1
- Standard 1 Bedroom	5 / 5
- 2 Bedroom	1 / 1
- 2 Bedroom	1 / 1
- 2 Bedroom + Den	1 / 1
- 2 Bedroom + Den	1 / 1
- 3 Bedroom	1 / 1
Total	23 / 23 = 46
Totals:	52
- Small 1 Bedroom	2
- Standard 1 Bedroom	20
- 2 Bedroom	3
- 2 Bedroom	3
- 2 Bedroom + Den	2
- 3 Bedroom	4
Total:	80

PRELIMINARY
NOT FOR CONSTRUCTION

222 S. Bedford Steet
Urban Land Interests
Madison, WI

2015.24.00

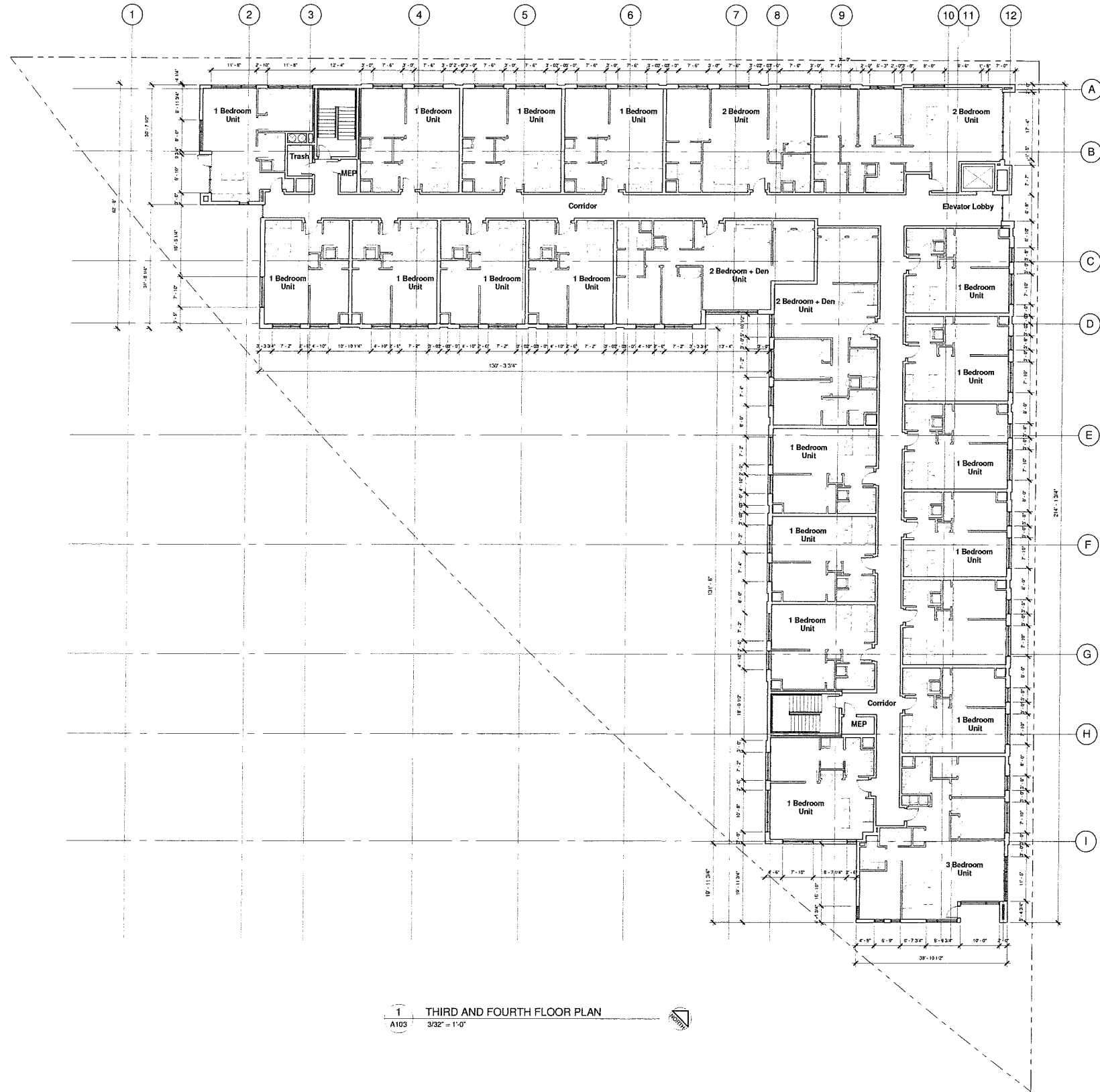
Date	Revised/Revisions	By
03/08/16	Land Use Application	

1
A102 SECOND - FOURTH FLOOR PLAN
3/32" = 1'-0"

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Second Floor Plan
A102



1 THIRD AND FOURTH FLOOR PLAN
A103 3/32" = 1'-0"

Notes:

Apartment Count

Floor	Unit Type	Count
Third Floor	Small 1 Bedroom	13
	Standard 1 Bedroom	4
	2 Bedroom	2
	3 Bedroom	1
Total		20
Second Floor	Small 1 Bedroom	13
	Standard 1 Bedroom	4
	2 Bedroom	1
	2 Bedroom + Den	1
	3 Bedroom	1
Total		22
Third & Fourth Floors	Small 1 Bedroom	12 / 12
	Standard 1 Bedroom	1 / 1
	2 Bedroom	1 / 1
	2 Bedroom + Den	1 / 1
	3 Bedroom	1 / 1
Total		23 / 23 = 46
Total		89

PRELIMINARY
NOT FOR CONSTRUCTION

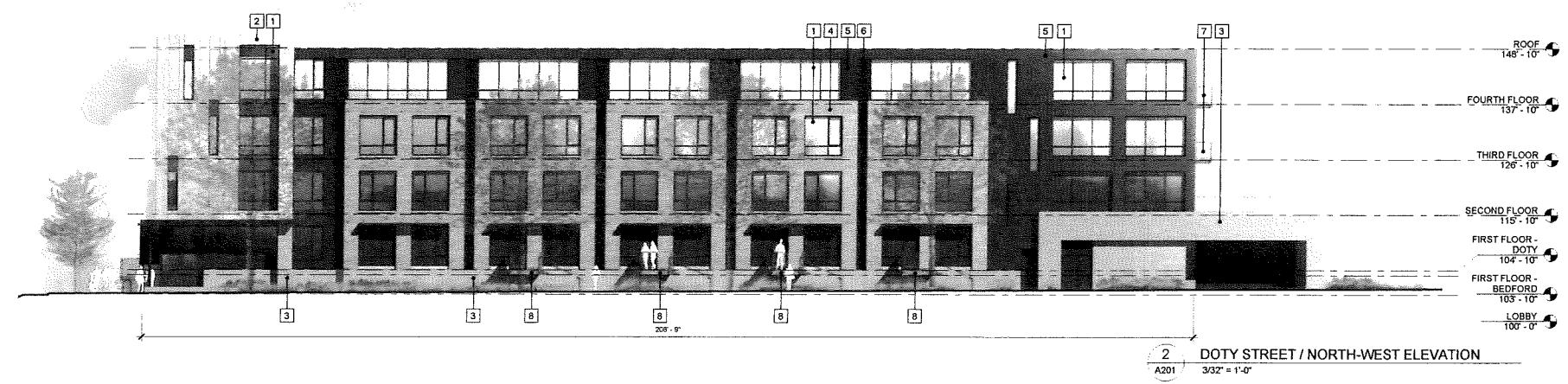
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Urban Land Interests
Madison, WI

2015.24.00

Date	Revision/Version	Symbol
02/08/16	Land Use Application	

**Third & Fourth
Floor Plans**

A103



- Notes:
- KEY NOTES:
- 1 ALUMINUM WINDOW SYSTEM
 - 2 FIBER CEMENT BOARD PANEL
 - 3 BOARD FORMED CONCRETE
 - 4 BRICK
 - 5 MEDIUM BRONZE ANODIZED FLAT LOCK METAL PANEL
 - 6 MECHANICAL LOUVER
 - 7 BALCONY
 - 8 WALKUP UNIT STAIR/LANDINGS

PRELIMINARY
NOT FOR CONSTRUCTION

222 S. Bedford Steet
Urban Land Interests
Madison, WI

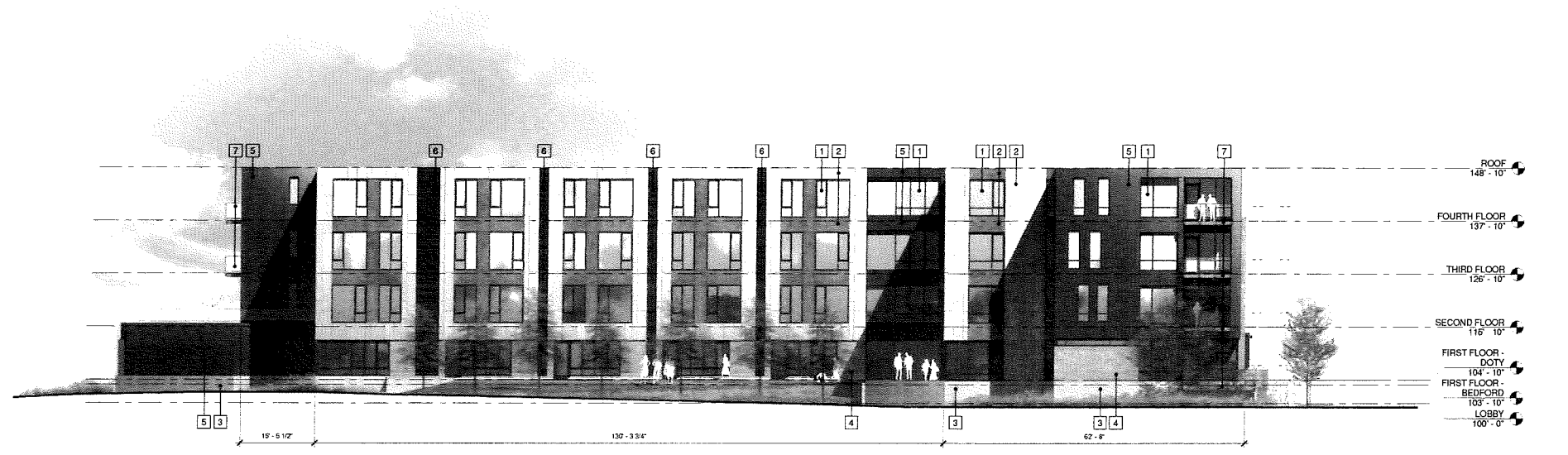
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Date	Issued/Revised	By/For
02/02/16	Land Use Application	

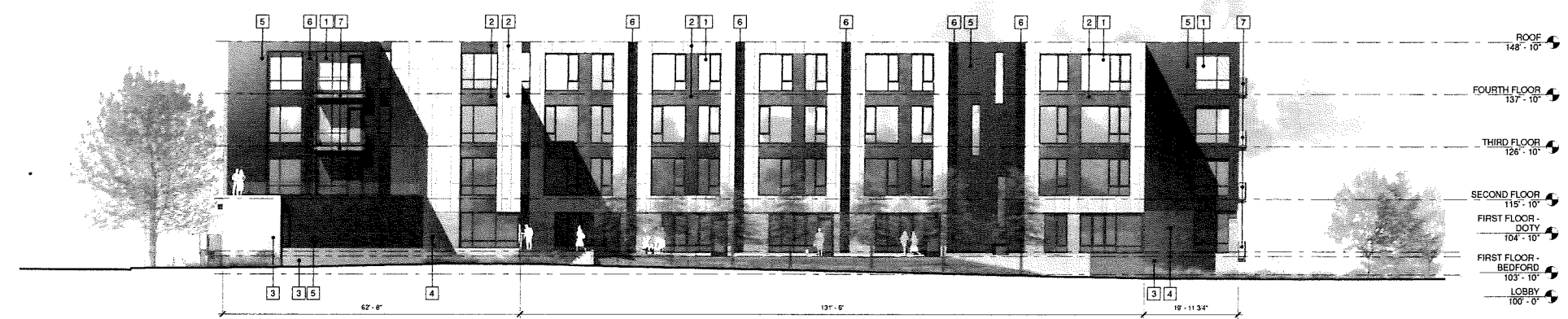


Building Elevations

A201



2 COURTYARD / SOUTH-EAST ELEVATION
A202 3/32" = 1'-0"



1 COURTYARD / SOUTH-WEST ELEVATION
A202 3/32" = 1'-0"

- Notes:
- KEYNOTES
- 1 ALUMINUM WINDOW SYSTEM
 - 2 FIBER CEMENT BOARD PANEL
 - 3 BOARD FORMED CONCRETE
 - 4 BRICK
 - 5 MEDIUM BRONZE ANODIZED FLAT LOCK METAL PANEL
 - 6 MECHANICAL LOUVER
 - 7 BALCONY
 - 8 WALKUP UNIT STRIP/LANDING

PRELIMINARY
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222 S. Bedford Steet
Urban Land Interests
Madison, WI

2015.24.00

Date	Issued/Revised	Symbol
03/09/15	Initial Application	

Building Elevations

A202

Notes:



3 COURTYARD PERSPECTIVE
A211



2 DOTY STREET PERSPECTIVE
A211



1 BEDFORD STREET PERSPECTIVE
A211

PRELIMINARY
NOT FOR CONSTRUCTION

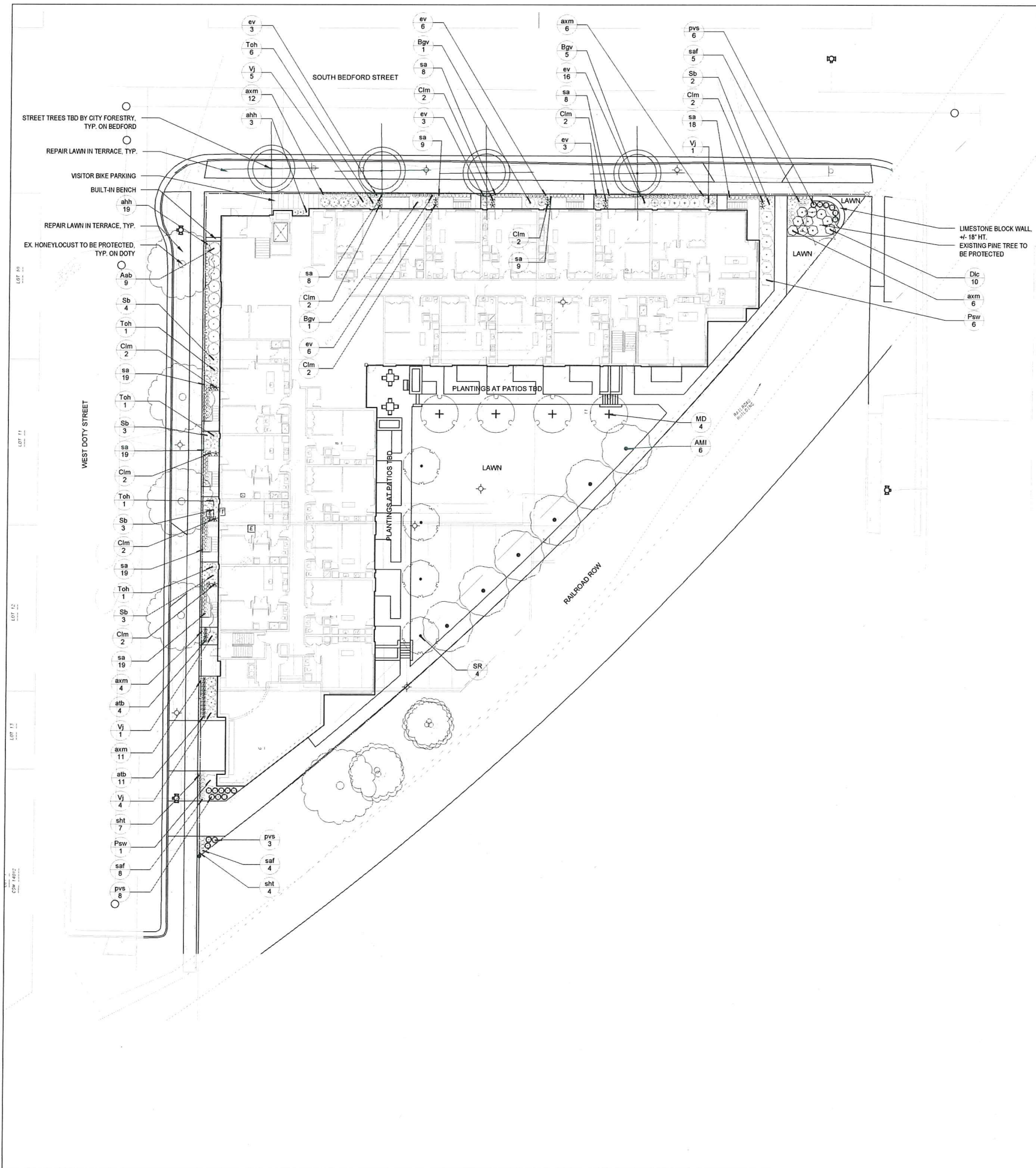
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Urban Land Interests
Madison, WI

2015.24.00

Date	Issued/Revisions	Symbol

Building
Perspective Views

A211



- NOTES:
- ALL PLANT BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED.
 - ALL PLANT BEDS AND LAWNS SHALL BE PERMANENTLY IRRIGATED.
 - ALL DISTURBED AREAS SHALL BE REPAIRED WITH INDICATED SEED OR SOIL.
 - ALUMINUM EDGING SHALL BE USED UNLESS OTHERWISE NOTED.
 - BIODEGRADABLE EROSION CONTROL MAT SHALL BE USED ON SLOPES OF 4:1 OR STEEPER.
 - EXISTING STREET TREES ALONG DOTY STREET SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING BETWEEN THE CURB AND SIDEWALK AND EXTEND IT FOR AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4891) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. <http://www.cityofmadison.com/business/pw/documents/StdSpecs2013Part1.pdf>
 - CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4891) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

City of Madison Landscape Requirements	
222 S. Bedford	
8-Mar-16	
Developed Lots	Landscape Points Subtotal
Total Developed Area (Lot - Building Area)	15,786
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)	263
	Landscape Points Required
	263

Development Frontage	LF	Overstory Trees Required *	Shrubs Required
Total LF of Street Frontage	442	15	74
Between Parking/Building & Street			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35		1	35
Tall Evergreen Tree	15			0
Ornamental Tree	10			0
Upright Evergreen Shrub	3	59		177
Shrub, deciduous	4	18		72
Shrub, evergreen	2	250		500
Ornamental Grass/Perennial				
Development Frontage Points Total				784

General Site, Foundation, Screening
 6'-8" ht. screening shall be provided along side and rear property boundaries adjacent to residential districts (in front yard setback screening shall not exceed 4' ht.)

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	15	6		210
Ornamental Tree	10	8		120
Upright Evergreen Shrub	3			0
Shrub, deciduous	4			0
Shrub, evergreen	2			0
Ornamental Grass/Perennial				0
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				330

TOTAL LANDSCAPE POINTS 1114

* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
AMI	Acer nyzebei 'Morton' TM / Miyabei Maple	B & B	25' Cal	6	
FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
MD	Malus x 'Donald Wyman' / Donald Wyman Crab Apple	B & B	2' Cal	4	
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2' Cal	4	
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Ash	Axonopus arborea 'Brilliantissima' / Brilliant Red Chokeberry-Red Chokeberry	5 gal	60" o.c.	9	
Dic	Dicentra bicolora 'Copper' / Copper Low Bush Horopopple	3 gal	48" o.c.	10	
Psw	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal	30" HT	60" o.c.	7
So	Spirea betulifolia 'Tor' / Birchleaf Spirea	3 gal	42" o.c.	15	
Vj	Viburnum x juddii / Judd Viburnum	3 gal	48" o.c.	11	
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Bgv	Buxus x 'Green Velvet' / Boxwood	3 gal	48" o.c.	7	
Toh	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	5 gal	3' HT.	36" o.c.	10
ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
pvs	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass	1 gal	30" o.c.	17	
sa	Setaria autumnalis / Autumn Moor Grass	1 gal	18" o.c.	156	
sht	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal	18" o.c.	11	
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
axm	Allium x 'Millenium' / Millenium Ornamental Chive	1 gal	18" o.c.	39	
ahh	Amsonia hybridii 'Halfway to Arkansas' / Arkansas Blue-star	1 gal	30" o.c.	22	
atb	Amsonia tabernaemontana 'Blue Ice' / Blue Ice Star Flower	1 gal	18" o.c.	15	
ev	Epidendrum x versicolor 'Sulphureum' / Bicolor Broomwort	1 gal	18" o.c.	37	
saf	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal	18" o.c.	17	
VINESPALIER	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	SPACING	QTY
Cim	Clematis maximowicziana / Sweet Autumn Clematis	1 gal	24" o.c.	20	



KEN SAIKI DESIGN
 LANDSCAPE ARCHITECTS

303 S. PATERSON
 SUITE ONE
 MADISON, WI 53703
 Phone: 608 251-3600

222 S. Bedford Street Urban Land Interests

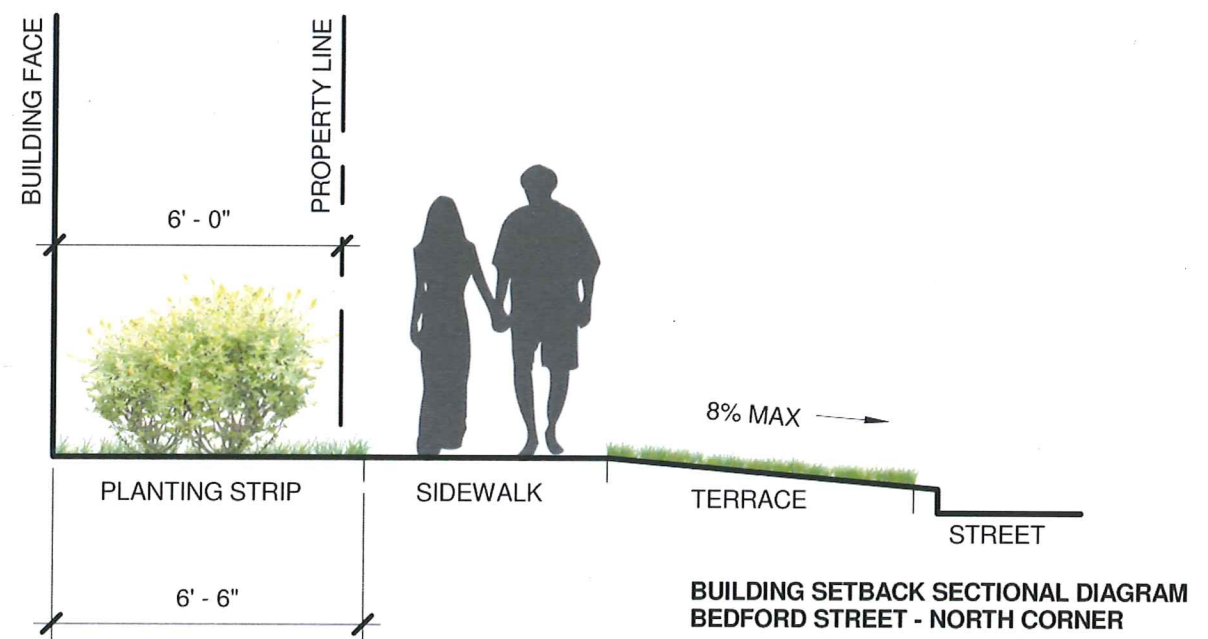
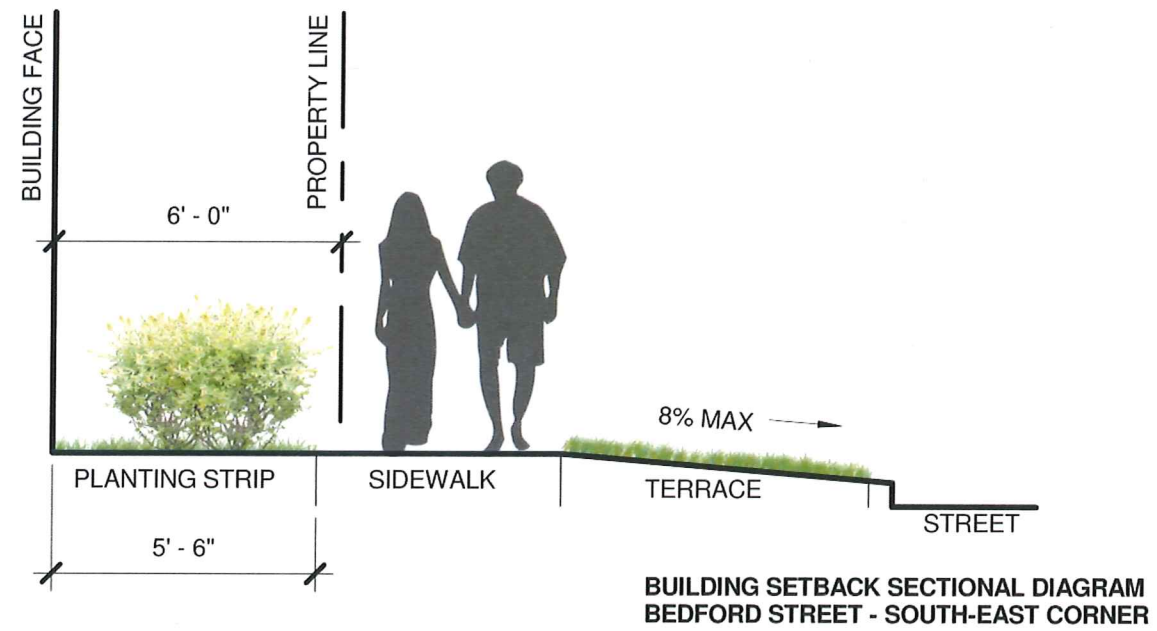
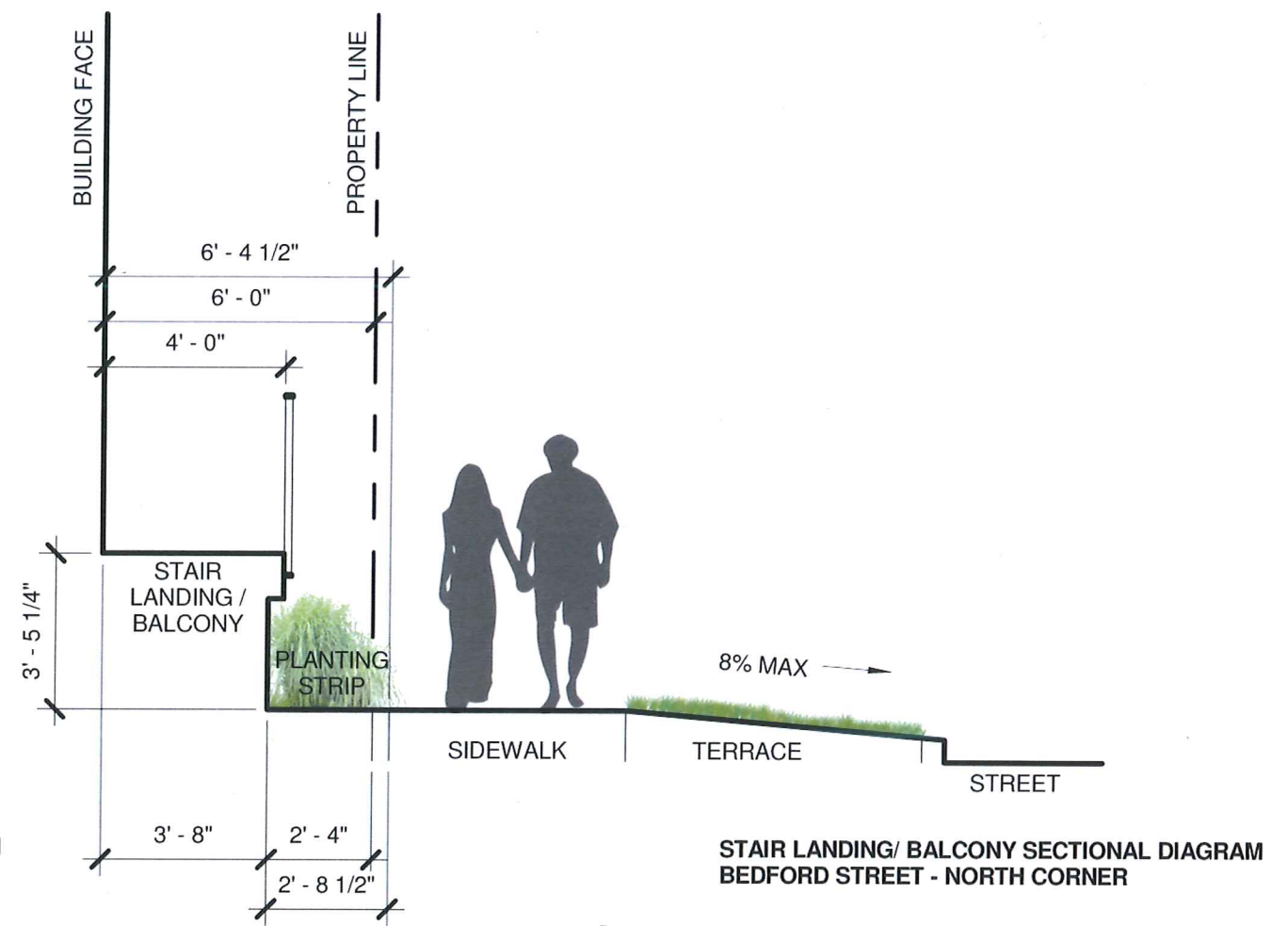
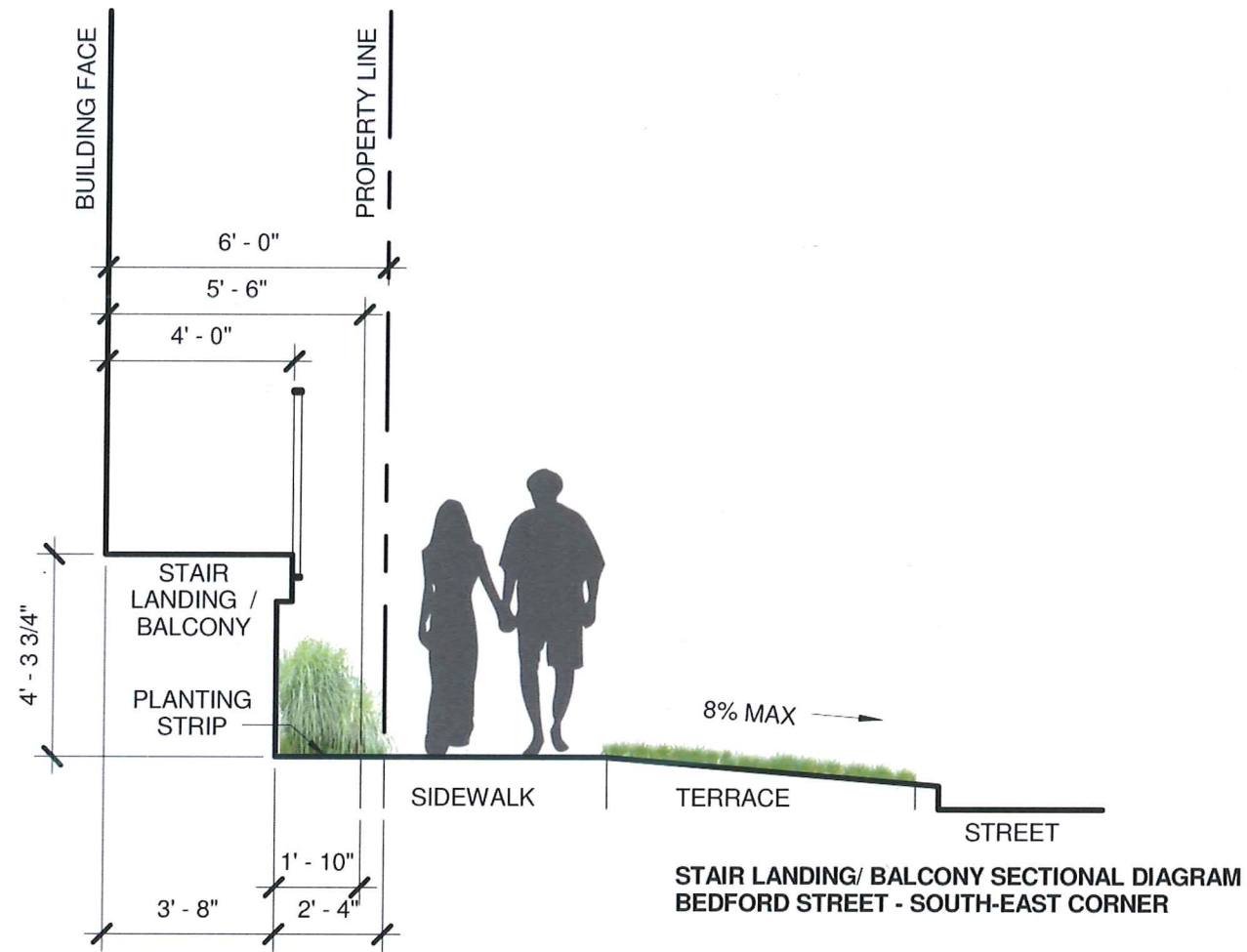
222 S. Bedford Street
 Madison, Wisconsin

Date	Issuance/Revisions	Symbol

03/15/16 UDC SUBMITTAL

LANDSCAPE PLAN

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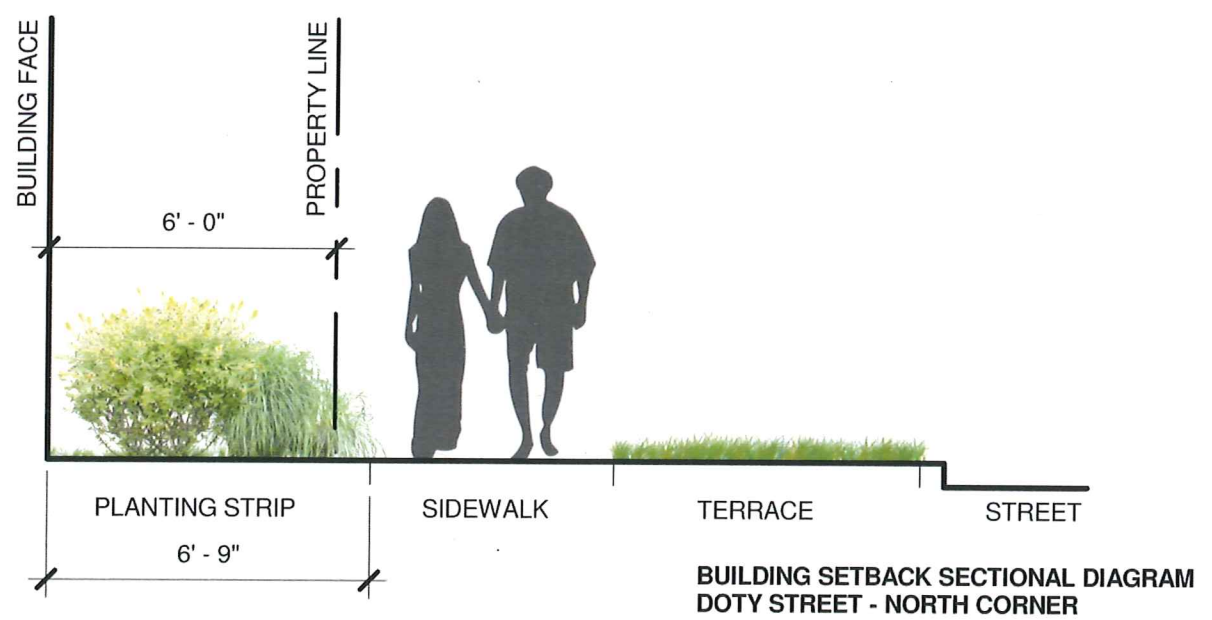
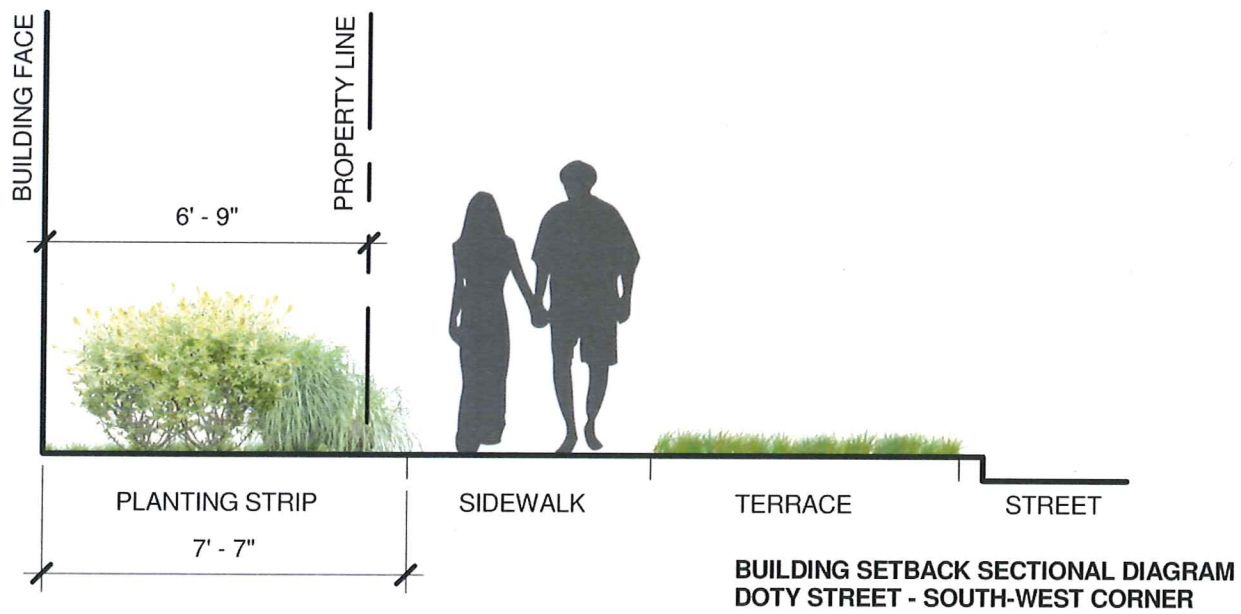
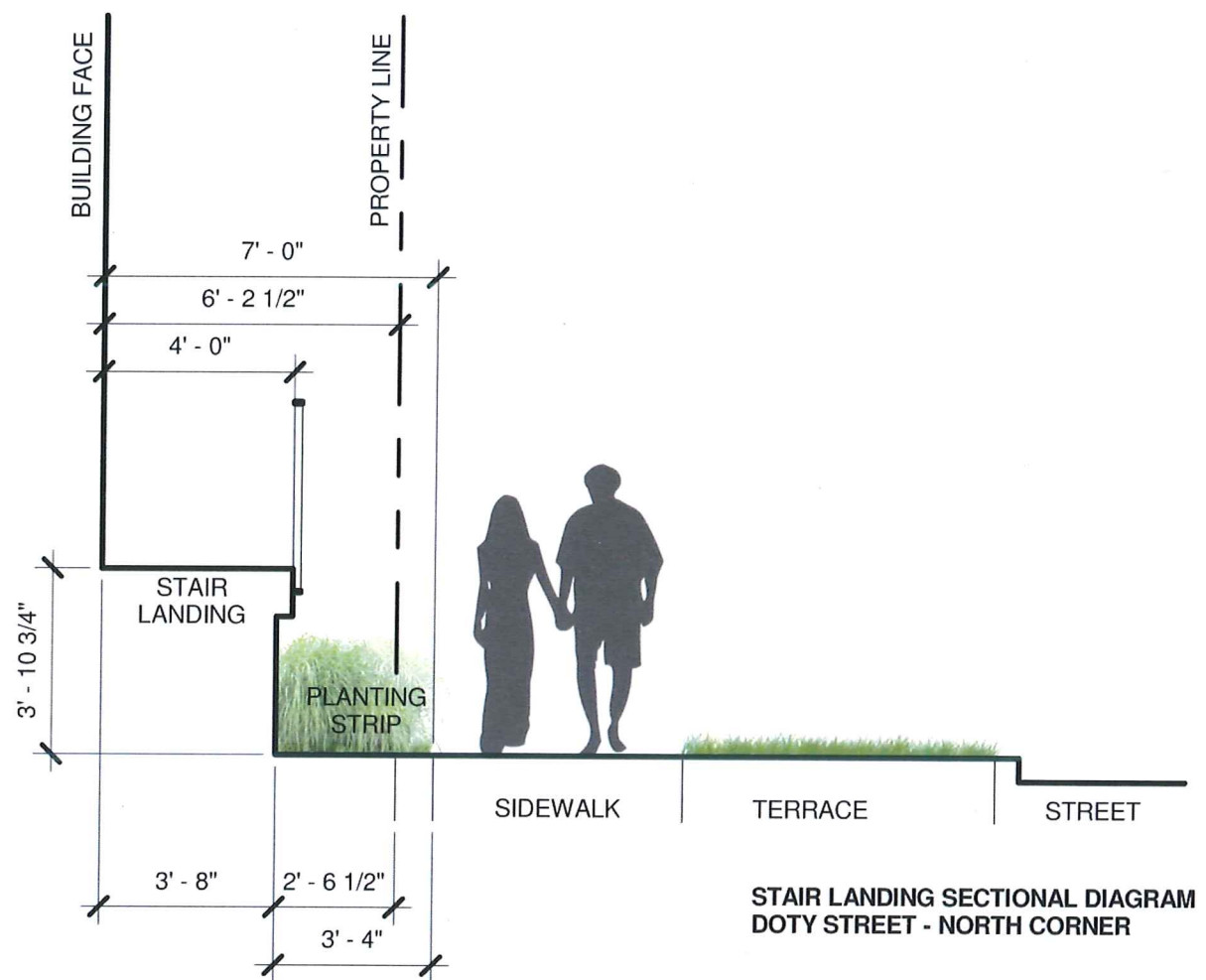
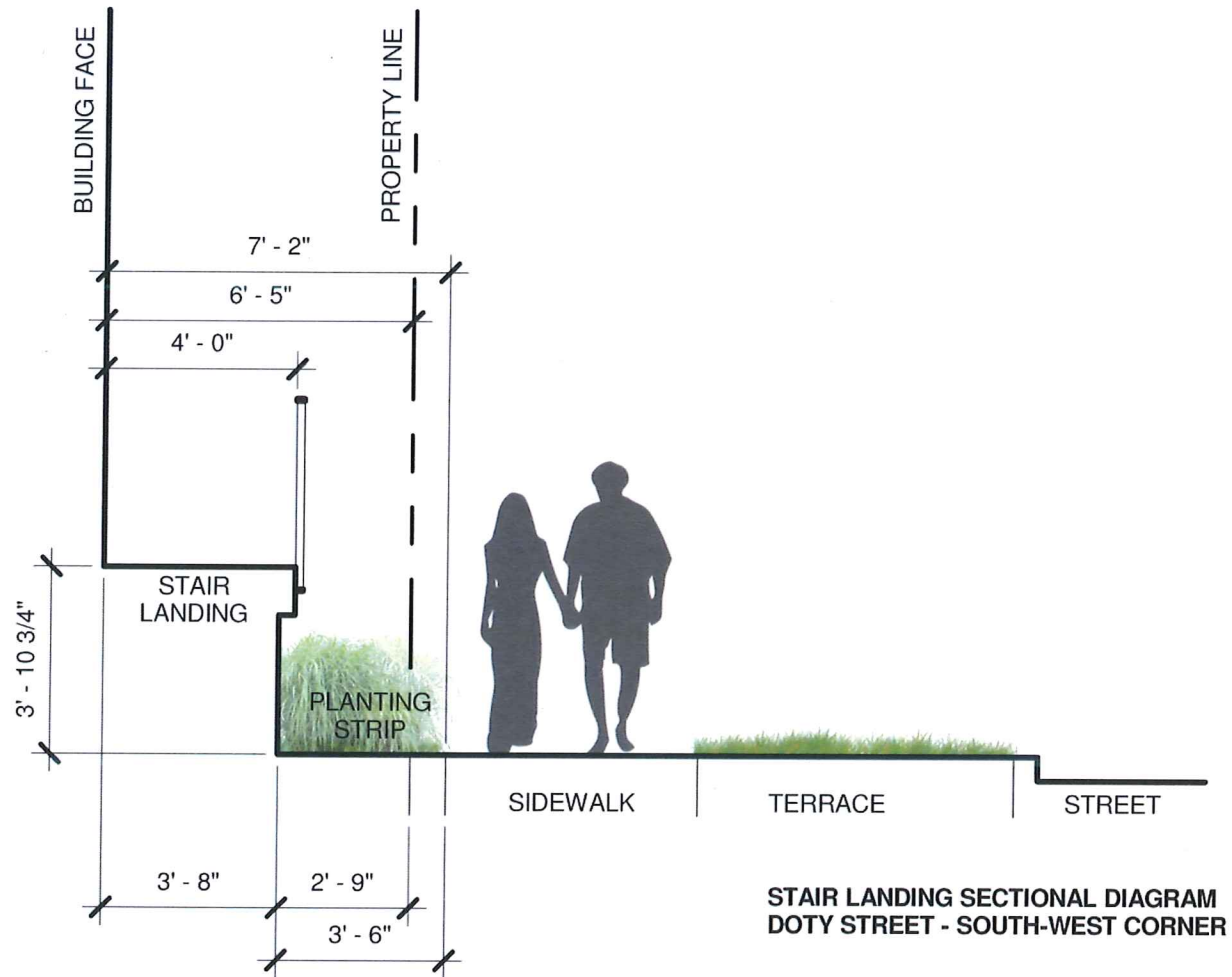


Bedford Street Sectional Diagrams

222 S. Bedford Steet
March 10, 2016

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March 10, 2016

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