



Location  
4120-4208 East Washington Road

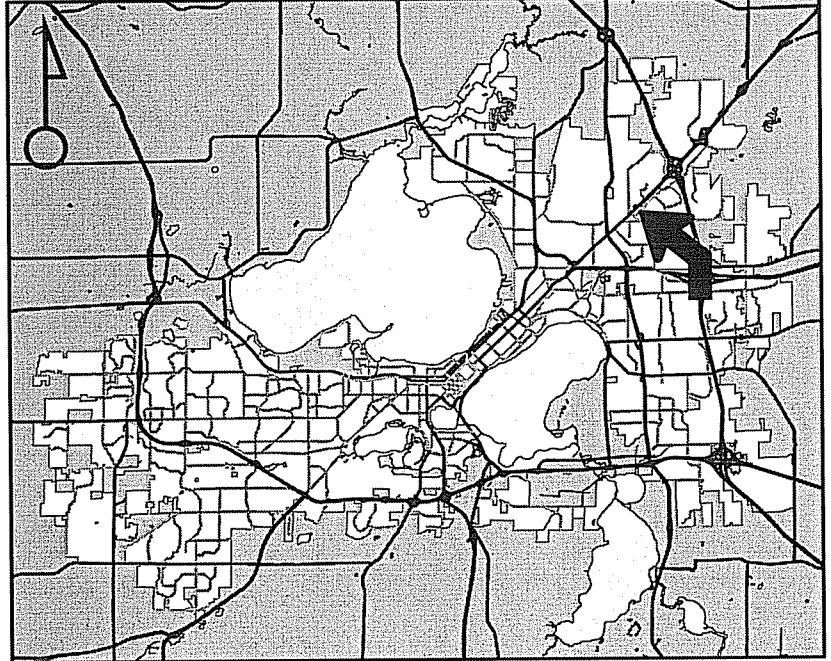
Project Name  
Boardwalk Investments Redevelopment

Applicant  
Vranas Group LP/Thomas B Sanford -  
Sanford Enterprises, Inc.

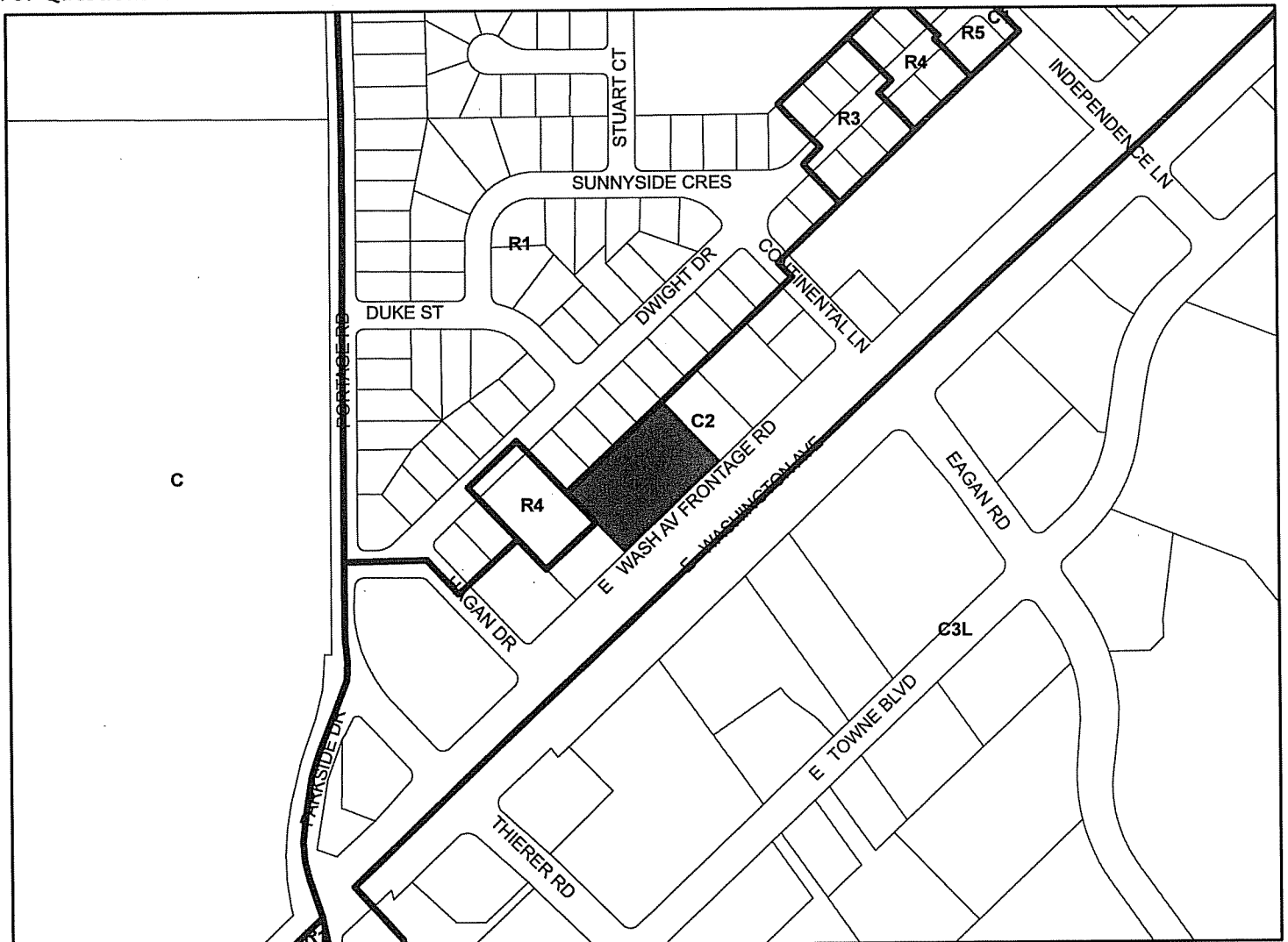
Existing Use  
Vacant Restaurant Building

Proposed Use  
Demolish restaurant and construct 2  
multi-tenant retail buildings with 2  
drive-up windows and an outdoor  
eating area

Public Hearing Date  
Plan Commission  
07 March 2011



For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 22 February 2011





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>650</u> Receipt No. <u>117346</u>
Date Received	<u>11/19/11</u>
Received By	<u>PJA.</u>
Parcel No.	<u>0810-284-0404-4</u>
Aldermanic District	<u>17 JOR CLAUDIUS</u>
GQ	<u>VDC #5</u>
Zoning District	<u>C2</u>
For Complete Submittal	
Application	Letter of Intent _____
IDUP	Legal Descript. _____
Plan Sets	Zoning Text _____
Alder Notification	Waiver _____
Ngbrhd. Assn Not.	Waiver _____
Date Sign Issued	_____

**1. Project Address:** 4120 - 4208 East Washington Avenue **Project Area in Acres:** 1.52  
**Project Title (if any):** Commercial Redevelopment

**2. This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____		<input type="checkbox"/> <b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input checked="" type="checkbox"/> <b>Conditional Use</b>	<input checked="" type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Scott Faust Company: Boardwalk Investments  
Street Address: 210 N Bassett Street, Ste 100 City/State: Madison, WI Zip: 53703  
Telephone: (608) 256-9500 Fax: (608) 256-9518 Email: scott@rentmadison.com

Project Contact Person: Thomas B. Sanford Company: Sanford Enterprises, Inc.  
Street Address: 210 N. Bassett Street, Ste 100 City/State: Madison, WI Zip: 53703  
Telephone: (608) 441-5580 Fax: (608) 441-5581 Email: tom@sanfordenterprisesinc.com

Property Owner (if not applicant): Vranas Group LP  
Street Address: 8 Shoreside Dr. City/State: Barrington, IL Zip: 60010

**4. Project Information:**

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_  
Demolition of existing restaurant and construction of 12,610 square feet of commercial space in two (2) separate buildings

Development Schedule: Commencement spring 2011 Completion fall 2011

**5. Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 650.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 

→ The site is located within the limits of City of Madison Comprehensive Plan, which recommends: General Commercial for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
Mailed 12/16/10 to Alder Joe Clasius & Westchester Gardens N.A. Norman Acres N.A. is inactive per alder (see [initials])

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 

Planning Staff: Kevin Firchow Date: 11/29/10 Zoning Staff: Matt Tucker Date: 11/29/10
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name Scott Faust Date 01/18/2011  
 Signature Scott Faust Relation to Property Owner Purchaser

Authorizing Signature of Property Owner SEE ATTACHED EXECUTED OFFER TO PURCHASE

January 18th, 2011

Letter of Intent  
4120 – 4208 East Washington Ave. Frontage Road  
Commercial Redevelopment

1. Site Location: North side of East Washington Avenue on the Frontage Road across from East Towne.
2. Existing Structure / Use: A 6,445 square foot wood frame building that is currently being used as a restaurant (to be demolished).
3. Project Schedule: Upon approval of the demolition permit and receipt of all necessary governmental permits and approvals for construction, the project is scheduled to start in the spring (2011).
4. Project Team to Date:
  - a. Owner: Scott Faust and / or assigns  
Boardwalk Investments  
210 N. Bassett Street, Ste 100  
Madison, WI 53703
  - b. Architect: Dimension IV  
6515 Grand Teton Plaza  
Suite 120  
Madison, WI 53719
  - c. Civil Engineer: Quam Engineering  
4893 Larson Beach Rd  
McFarland, WI 53719
  - d. Landscape Architect: Dimension IV  
6515 Grand Teton Plaza  
Suite 120  
Madison, WI 53719
  - e. Project Contact Person: Tom Sanford  
Sanford Enterprises, Inc  
210 N. Bassett Street, Ste 100  
Madison, WI 53703
5. Project Use: Commercial development with approximately six (6) individual tenant spaces in two buildings. In general, rents will range from \$15 - \$25 / square foot. It is anticipated that tenants may include a coffee shop, restaurant, home furnishing store and other retail and commercial uses. The number of employees is unknown at this time. The hours of operation are estimated to be from 5:30 AM until 4:00 AM.
6. Project Data:
  - a. Site: Approximately 1.52 acres (326 feet of frontage x 204 feet deep).
  - b. Buildings:
    - i. West Building: 7,345 square feet
    - ii. East Building: 5,265 square feet
    - iii. Total: 12,610 square feet
  - c. Conditional Use: is required for two (2) drive-thru end-caps and two (2) outdoor eating areas.
  - d. Parking: 87 Stalls
  - e. Legal Description: Lots Fifty-nine (59), Sixty (60), Sixty-one (61) and Sixty-two (62), First Addition to Norman Acres in the City of Madison, Dane County, Wisconsin.

# East Washington Retail

4120-4208 East Washington Ave., Madison, WI

Architecture: Dimension IV - Madison, LLC, Madison, WI

Engineering: Quam Engineering, LLC, McFarland, WI

Landscape: Paul Skidmore, Madison, WI

## List of Drawings

General  
G0.1 Cover Sheet

### Civil/Site

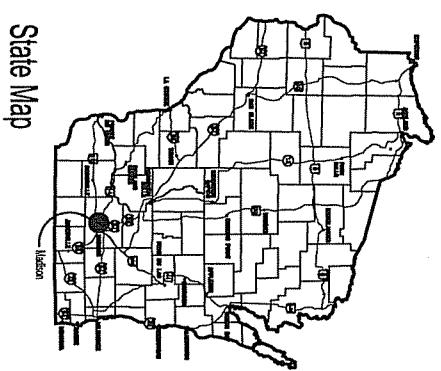
- 1 of 4 Images of Existing
- 2 of 4 Satellite Image of Site
- 3 of 4 Existing Site Plan (Quam)
- 4 of 4 Grading and Erosion Control Plan (Quam)
- L1.0 Utility Plan (Quam)
- E1.0 Landscape Plan
- E1.0 Site Lighting Plan

Architecture  
West Building Elevations  
East Building Elevations

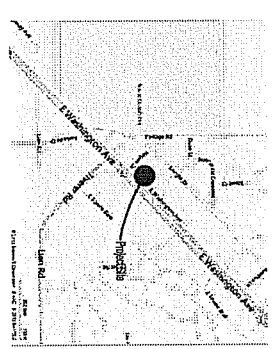
## Project Information

Lot Size  
4120 E. Washington Ave.: 0.71 Acres  
4208 E. Washington Ave.: 0.82 Acres  
Total: 1.53 Acres

Building Size  
West Building: 7,345 sf  
East Building: 5,265 sf  
Total: 12,610 sf



State Map

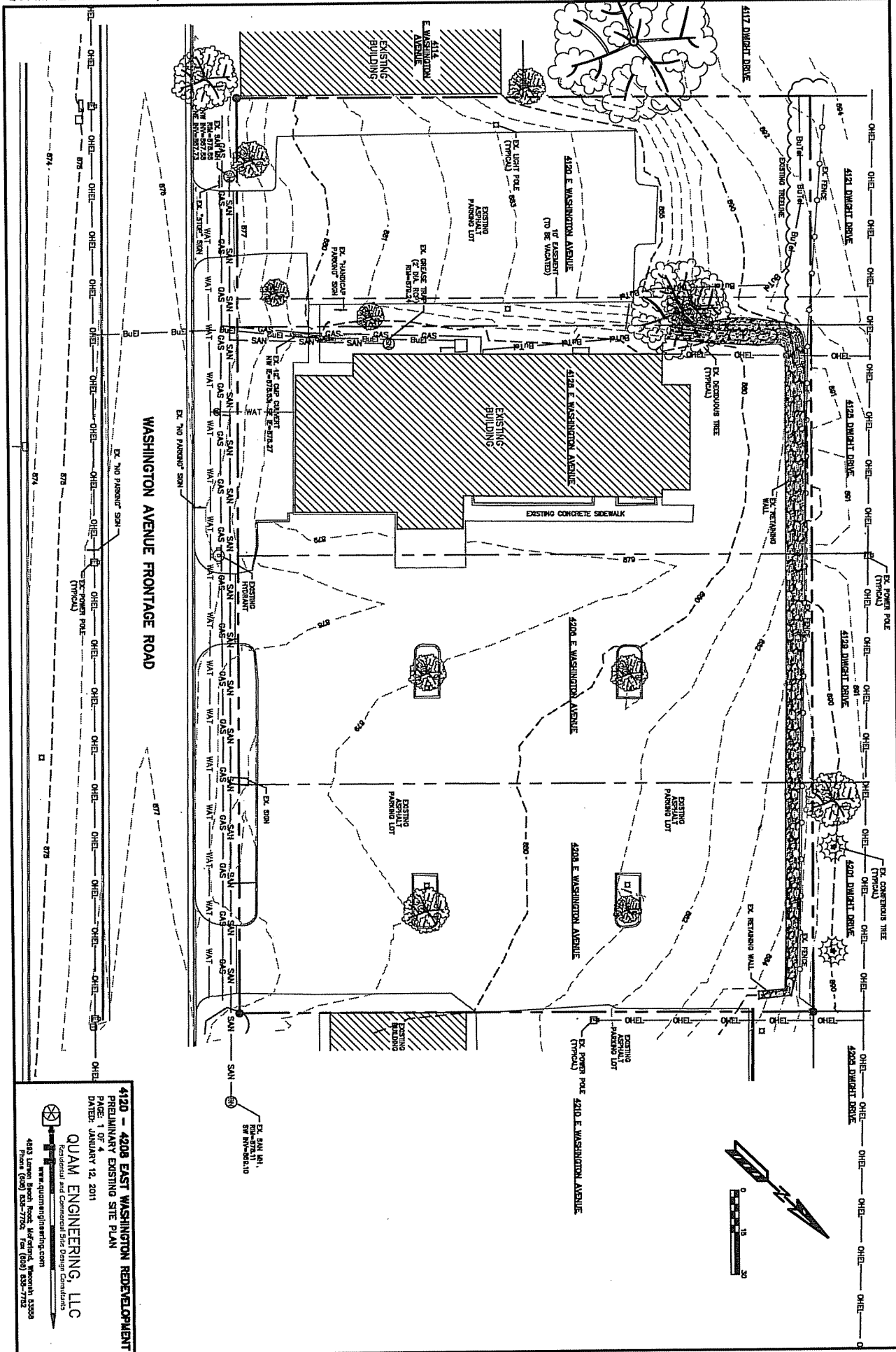


Site Location Map

Project # 10152

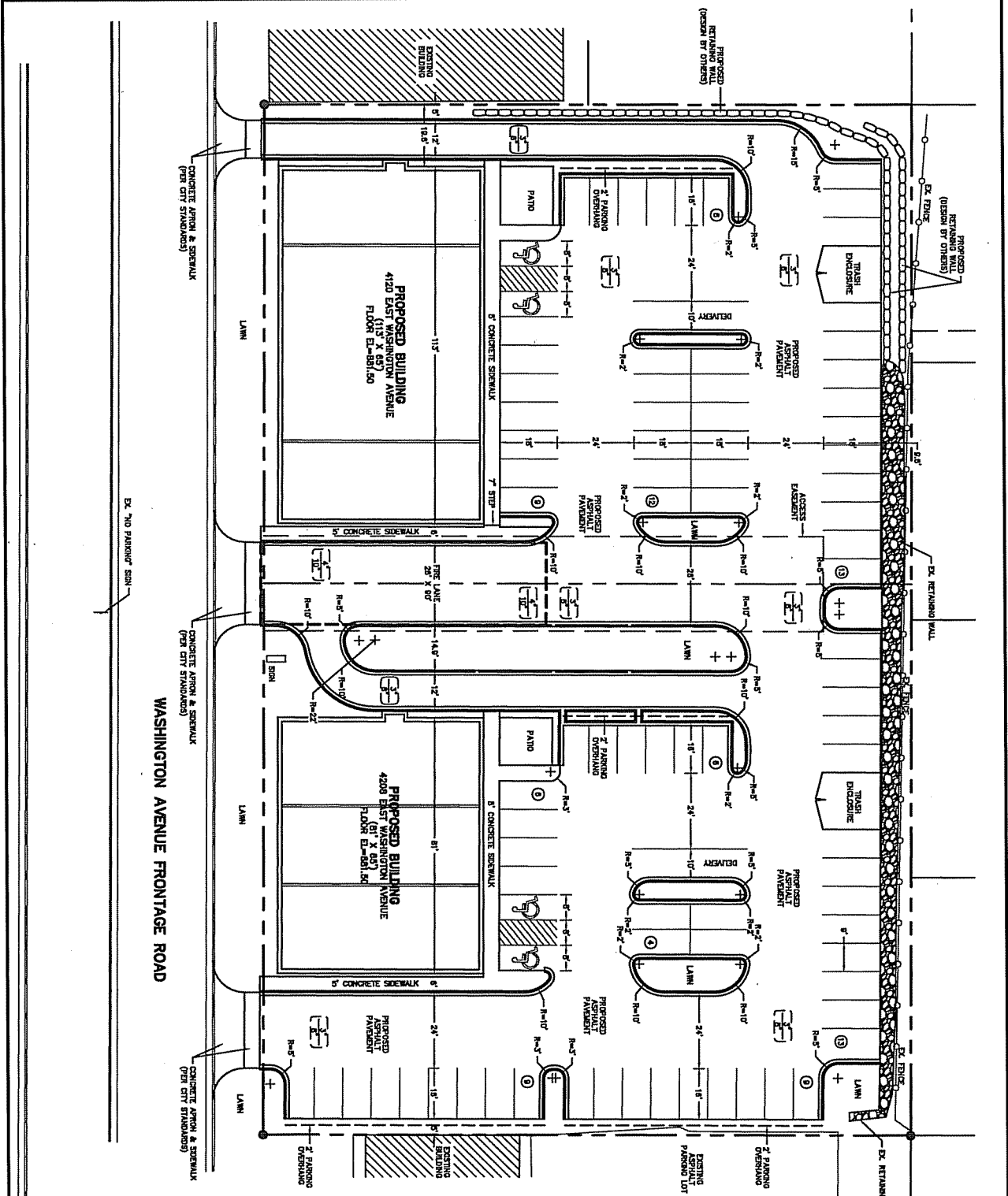
Date: February 08, 2011

G0.1



**4120 - 4200 EAST WASHINGTON REDEVELOPMENT**  
PRELIMINARY EXISTING SITE PLAN  
PAGE 1 OF 4  
DATE: JANUARY 12, 2011

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4893 Larson Beach Road, McFarland, Wisconsin 53558  
Phone (608) 838-7750 Fax (608) 838-7752



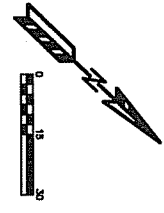
**4120 - 4208 EAST WASHINGTON REDEVELOPMENT**  
 PRELIMINARY SITE PLAN  
 PAGE: 2 OF 4  
 DATED: JANUARY 12, 2011  
**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4893 Larson Beach Road, McFarland, Wisconsin 53558  
 Phone (608) 838-7756 Fax (608) 838-7752

**PARKING LOT PLAN SITE INFORMATION BLOCK**

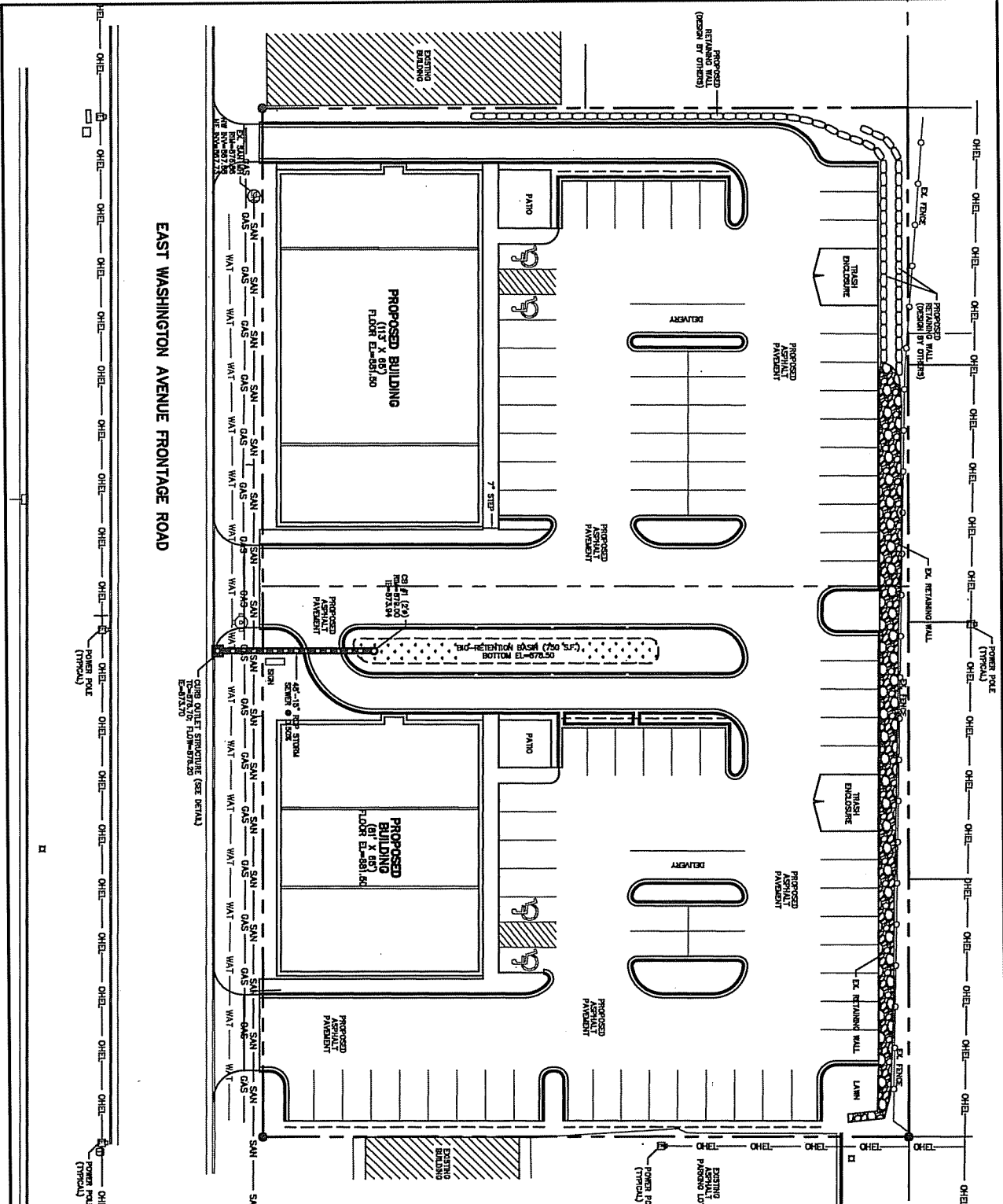
Project Name	4120 - 4208 EAST WASHINGTON REDEVELOPMENT
Site Address	4120 - 4208 EAST WASHINGTON AVENUE
City/Town/Village	MCFARLAND, WI
County	JEFFERSON COUNTY, WI
Map Section	18200
Scale	1" = 20'
North Arrow	As Shown
Prepared By	QUAM ENGINEERING, LLC
Checked By	QUAM ENGINEERING, LLC
Date	JANUARY 12, 2011

**PARKING LEGEND**

(Symbol)	2' ASPHALT PAVED DRIVE
(Symbol)	5' ASPHALT PAVED DRIVE COURSE
(Symbol)	10' ASPHALT PAVED DRIVE COURSE
(Symbol)	15' ASPHALT PAVED DRIVE COURSE
(Symbol)	20' ASPHALT PAVED DRIVE COURSE
(Symbol)	25' ASPHALT PAVED DRIVE COURSE
(Symbol)	30' ASPHALT PAVED DRIVE COURSE
(Symbol)	35' ASPHALT PAVED DRIVE COURSE
(Symbol)	40' ASPHALT PAVED DRIVE COURSE
(Symbol)	45' ASPHALT PAVED DRIVE COURSE
(Symbol)	50' ASPHALT PAVED DRIVE COURSE
(Symbol)	55' ASPHALT PAVED DRIVE COURSE
(Symbol)	60' ASPHALT PAVED DRIVE COURSE
(Symbol)	65' ASPHALT PAVED DRIVE COURSE
(Symbol)	70' ASPHALT PAVED DRIVE COURSE
(Symbol)	75' ASPHALT PAVED DRIVE COURSE
(Symbol)	80' ASPHALT PAVED DRIVE COURSE
(Symbol)	85' ASPHALT PAVED DRIVE COURSE
(Symbol)	90' ASPHALT PAVED DRIVE COURSE
(Symbol)	95' ASPHALT PAVED DRIVE COURSE
(Symbol)	100' ASPHALT PAVED DRIVE COURSE







EAST WASHINGTON AVENUE FRONTAGE ROAD

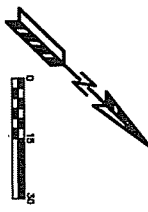
**UTILITY NOTES:**

THE CONTRACTOR SHALL CONTACT CITY OF MADISON UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO OBTAIN THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CITY OF MADISON STREET DEPARTMENT SHALL PROVIDE THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

ALL UTILITIES SHALL BE PROTECTED IN ACCORDANCE TO CITY OF MADISON STANDARD SPECIFICATIONS.

ALL UTILITIES SHALL BE PROTECTED IN ACCORDANCE TO CITY OF MADISON STANDARD SPECIFICATIONS.

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.



**CALL LOCATOR**

TO OBTAIN LOCATION OF UTILITIES, CONTACT THE CITY OF MADISON STREET DEPARTMENT AT (608) 261-3333.

FOR MORE INFORMATION, CONTACT QUAM ENGINEERING, LLC AT (608) 838-7750.

**4120 - 4208 EAST WASHINGTON REDEVELOPMENT**

PRELIMINARY UTILITY PLAN

PAGE 4 OF 4

DATE: JANUARY 12, 2011

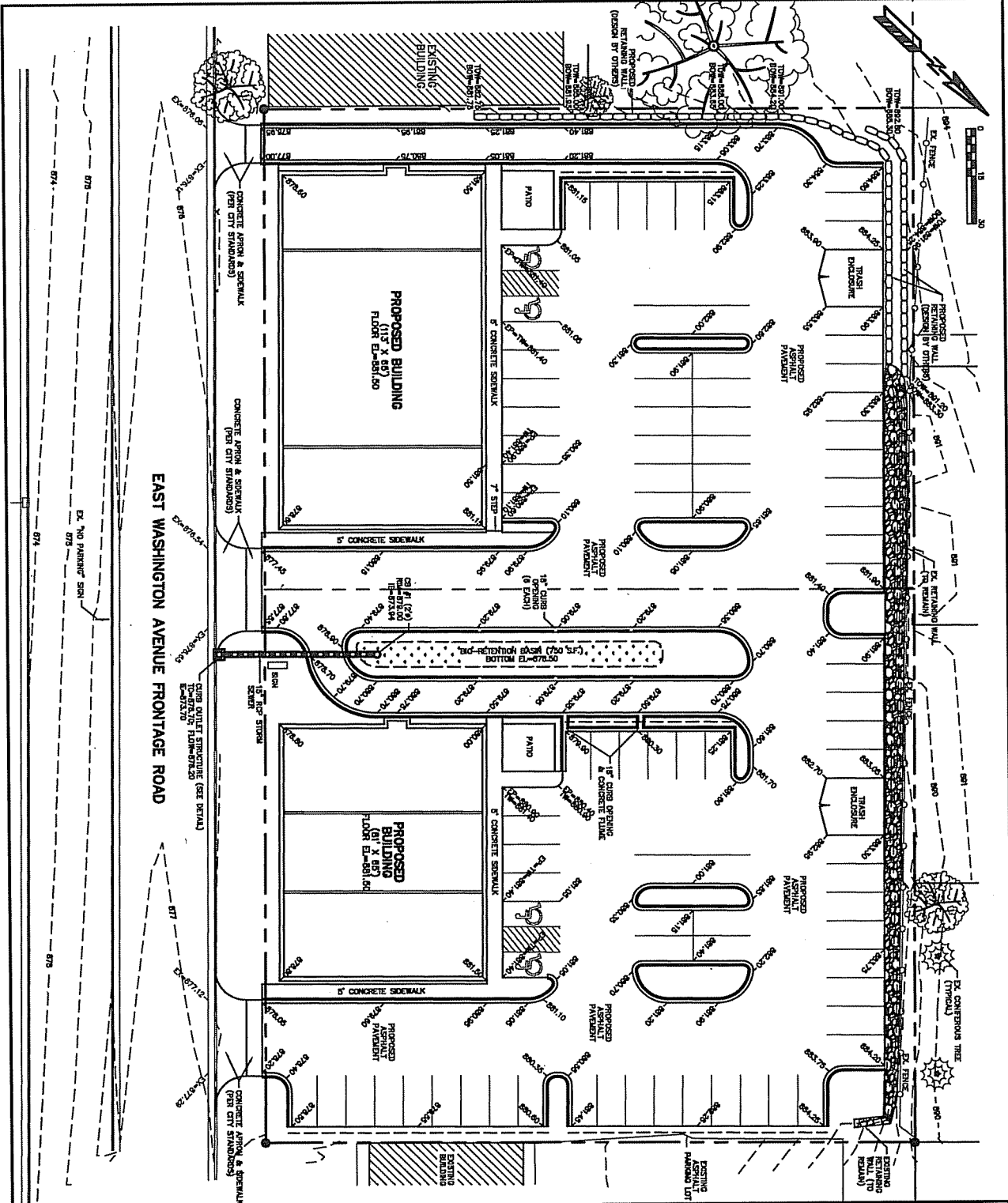
**QUAM ENGINEERING, LLC**

Residential and Commercial Site Design Consultants

www.quamengineering.com

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Phone: (608) 838-7750 Fax: (608) 838-7752



**GENERAL NOTES:**

1. THE SITE CONDITIONS SHOWN ARE TO BE VERIFIED BY THE CONTRACTOR IN A DETAILED MANNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. ALL UTILITIES SHALL BE DEEPENED AND REGRADED TO THE PROPOSED FINISH GRADE. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

**PROPOSED BUILDINGS:**

1. THE PROPOSED BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL BUILDINGS SHALL BE CONSTRUCTED ON A CONCRETE SLAB ON GRADE. ALL BUILDINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" CONCRETE. ALL BUILDINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" INSULATION. ALL BUILDINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" AIR SPACE. ALL BUILDINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" AIR SPACE.

**LANDSCAPING:**

1. THE LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL LANDSCAPING SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. ALL LANDSCAPING SHALL BE INSTALLED WITH A MINIMUM OF 4" CONCRETE. ALL LANDSCAPING SHALL BE INSTALLED WITH A MINIMUM OF 12" INSULATION. ALL LANDSCAPING SHALL BE INSTALLED WITH A MINIMUM OF 1/2" AIR SPACE. ALL LANDSCAPING SHALL BE INSTALLED WITH A MINIMUM OF 1/2" AIR SPACE.

**CONSTRUCTION:**

1. THE CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. ALL CONSTRUCTION SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. ALL CONSTRUCTION SHALL BE INSTALLED WITH A MINIMUM OF 4" CONCRETE. ALL CONSTRUCTION SHALL BE INSTALLED WITH A MINIMUM OF 12" INSULATION. ALL CONSTRUCTION SHALL BE INSTALLED WITH A MINIMUM OF 1/2" AIR SPACE. ALL CONSTRUCTION SHALL BE INSTALLED WITH A MINIMUM OF 1/2" AIR SPACE.

**PERMITS:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION. ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.

**DATE:** JANUARY 12, 2011

**PROJECT:** 4120 - 4208 EAST WASHINGTON REDEVELOPMENT

**PAGE:** 3 OF 4

**DATE:** JANUARY 12, 2011

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 4893 Larson Beach Road, McFarland, Wisconsin 53558  
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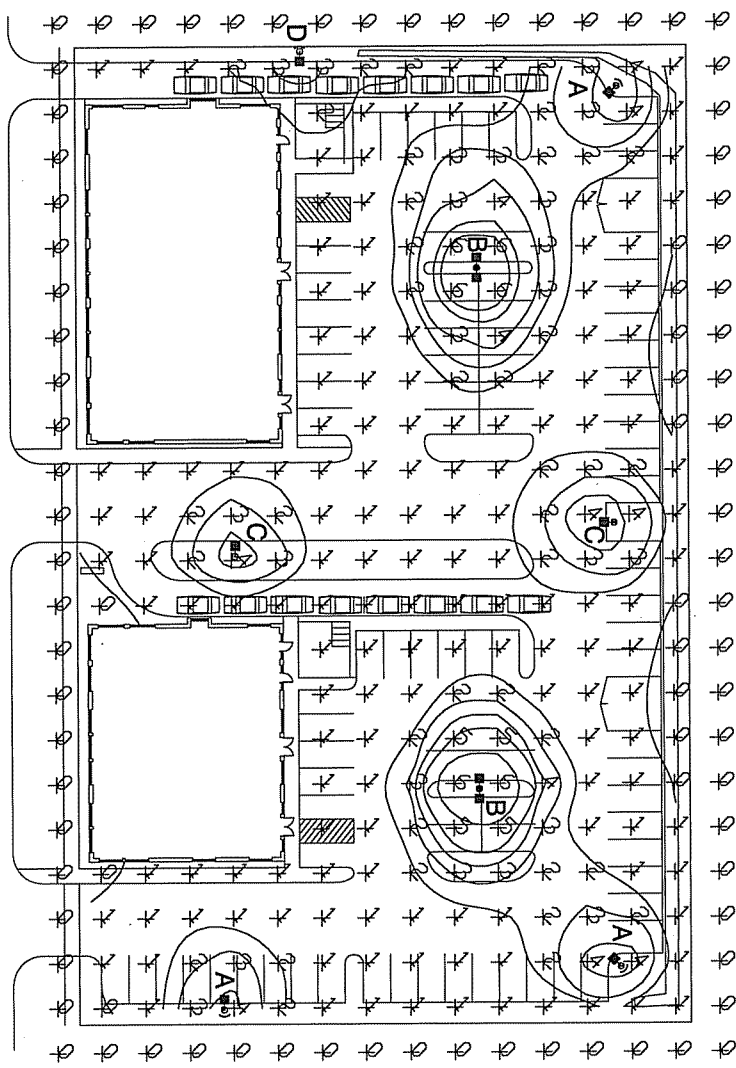


**DIMENSION**  
Madison Design Group  
architecture • engineering • interior design  
615 Grand View Plaza, Suite 120  
Madison, Wisconsin 53716  
608.233.4444 608.233.4445  
dimensionmadison.com

**SCOTT FAUST**  
EAST WASHINGTON  
RETAIL

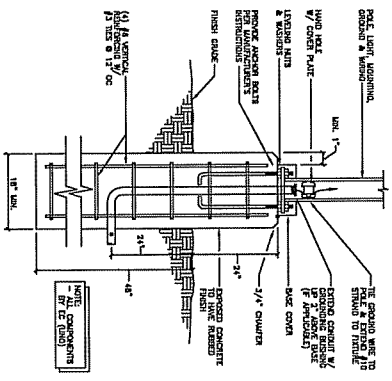
DATE OF ISSUE: 02/08/2011  
REVISIONS:  
PROJECT #: 10162  
SITE PHOTOMETRIC  
PLAN

**E1.0**



**1**  
SITE PLAN  
0 10 20 40'

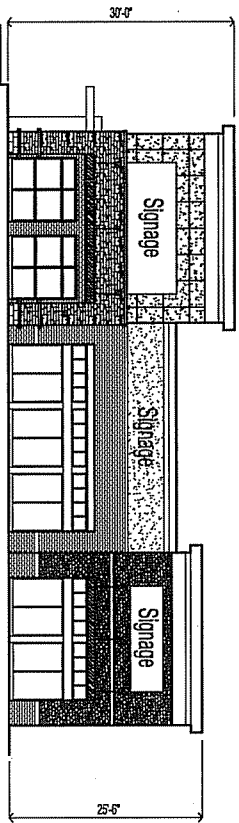
**2**  
POLE BASE DETAIL  
N.T.S.



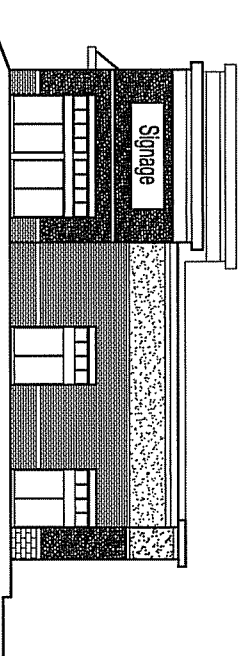
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B	LEDON DESIGN	DL-250-4H-4F-4-C-18	120	1-4000/0/3	POLE	STEEL TUBULAR LIGHT FIXTURE ON 2" POLE
C	LEDON DESIGN	DL-250-4H-4F-4-C-18	120	1-4000/0/3	POLE	STEEL TUBULAR LIGHT FIXTURE ON 2" POLE
D	LEDON DESIGN	DL-250-4H-4F-4-C-18	120	1-4000/0/3	POLE	STEEL TUBULAR LIGHT FIXTURE ON 2" POLE

NEW PARKING LOT CALCULATIONS:

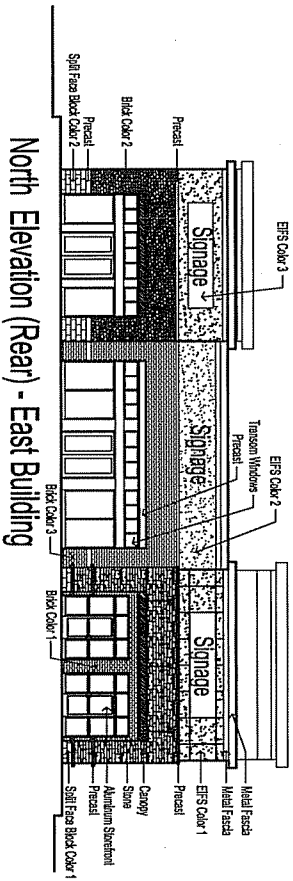
AVERAGE (sq)	MAXIMUM (sq)	MINIMUM (sq)	AVERAGE/MINIMUM (sq)
1.81	0.83	.45	4.02



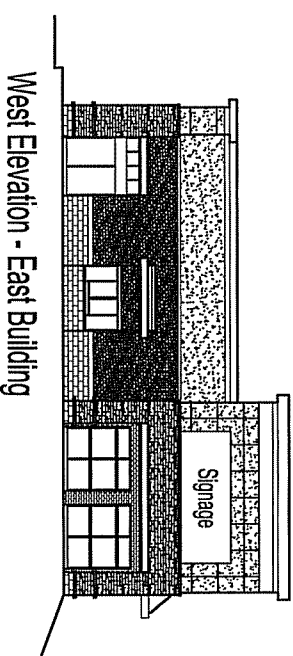
East Washington Elevation - East Building



East Elevation - East Building



North Elevation (Rear) - East Building



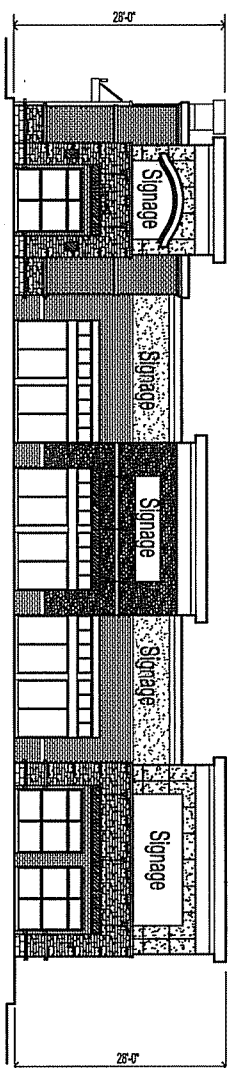
West Elevation - East Building

**DIMENSIONAL**

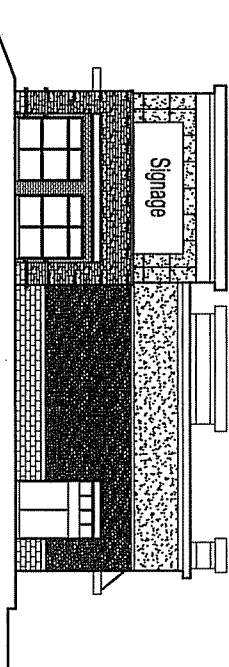
Architecture - engineering  
 Madison Design Group  
 605 Commonwealth Ave. #100  
 Madison, WI 53703  
 608.261.1234  
 www.madisondesigngroup.com

**EAST WASHINGTON RETAIL**

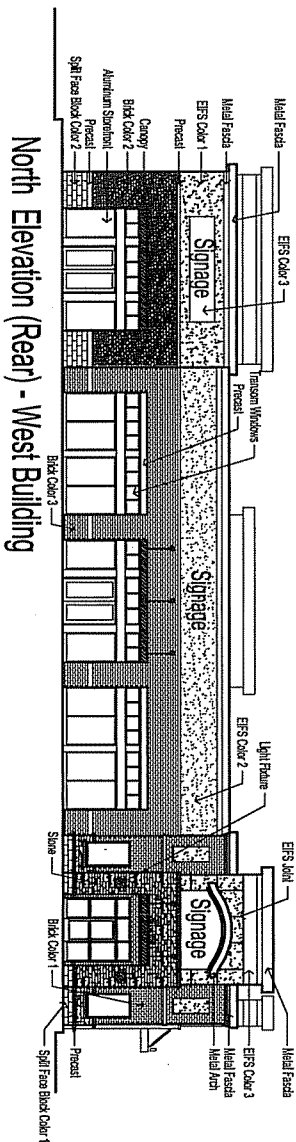
Madison, WI  
 Scott Faust  
 Elevation Studies  
 8 February 2011  
 1912



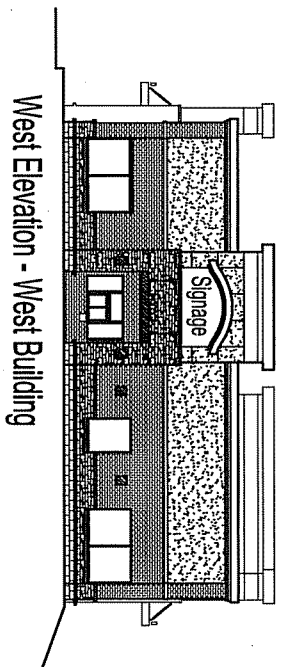
East Washington Elevation - West Building



East Elevation - West Building



North Elevation (Rear) - West Building



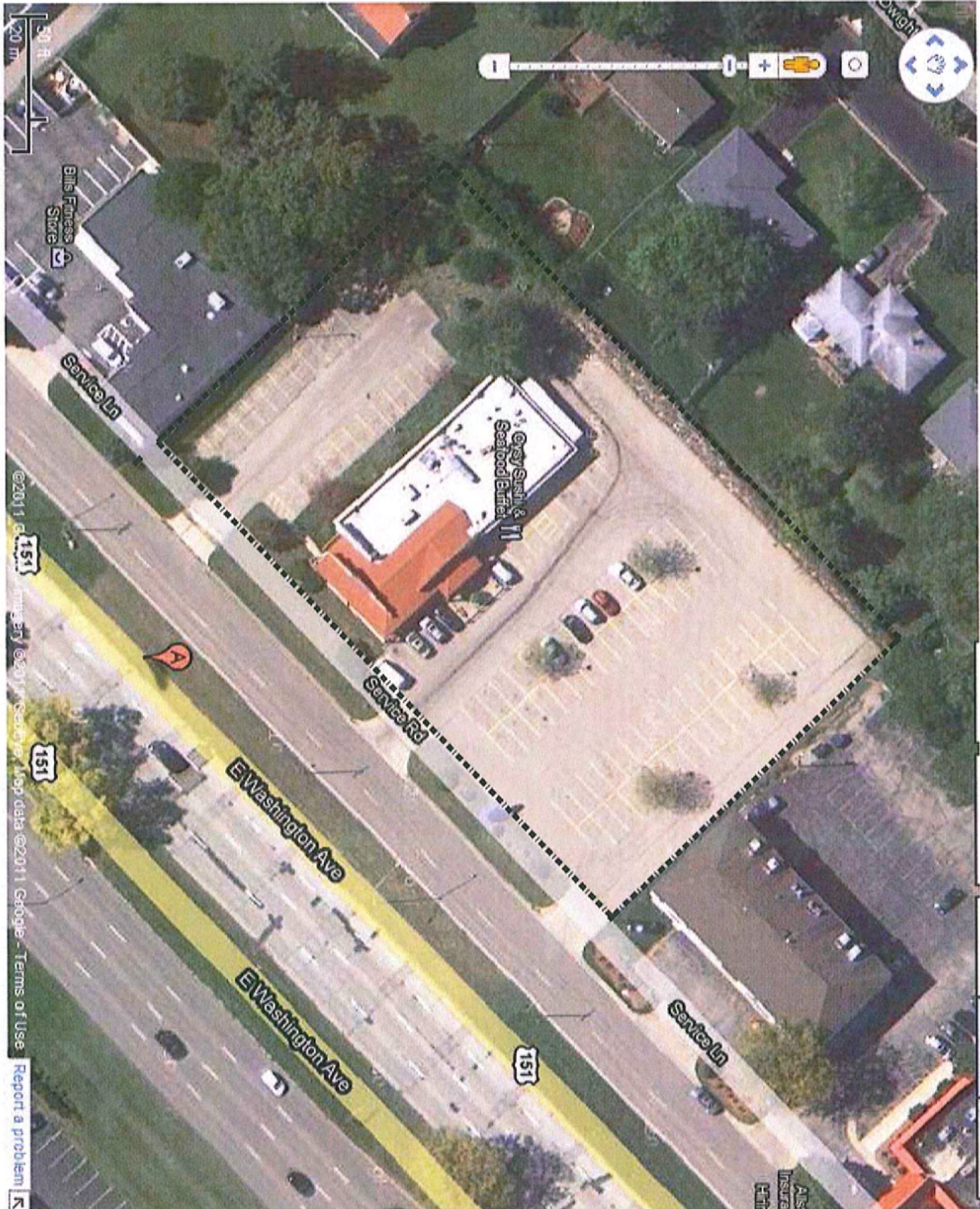
West Elevation - West Building

**DIMENSIONING**

Architecture - Madison Design Group  
 5155 Grand Haven Blvd., Suite 100  
 Madison, WI 53718  
 Phone: 608.784.4444  
 Fax: 608.784.4444  
 www.madisondesigngroup.com

**EAST WASHINGTON RETAIL**

Madison, WI  
 Scott Faust  
 Elevation Studies  
 8 February 2011  
 1652



**EAST WASHINGTON RETAIL**

Madison, WI  
 Scott Fausk  
 Satellite View of Site  
 17 January 2011  
 14:52

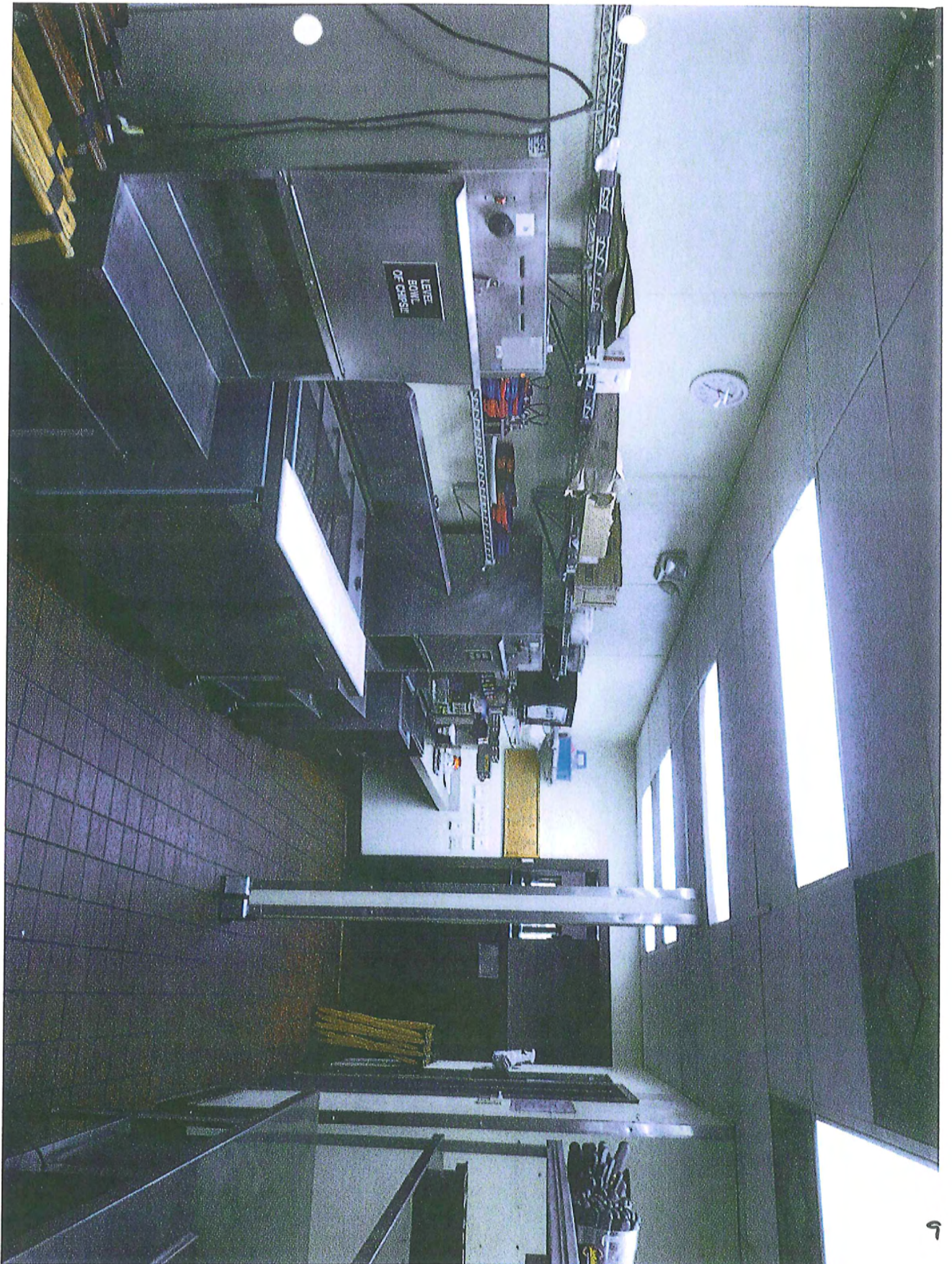






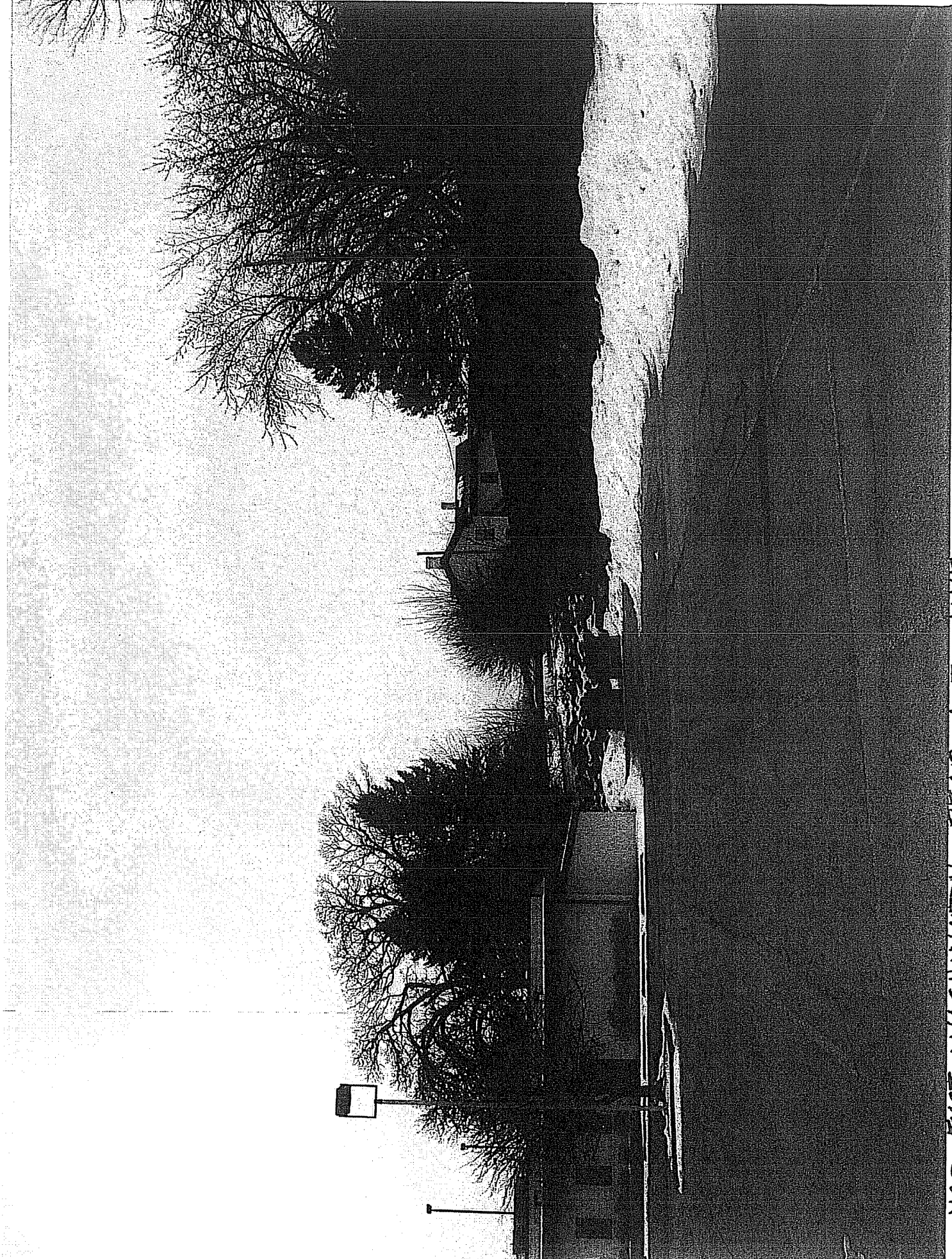












4120 EAST WASHINGTON REAR LOT W/1E



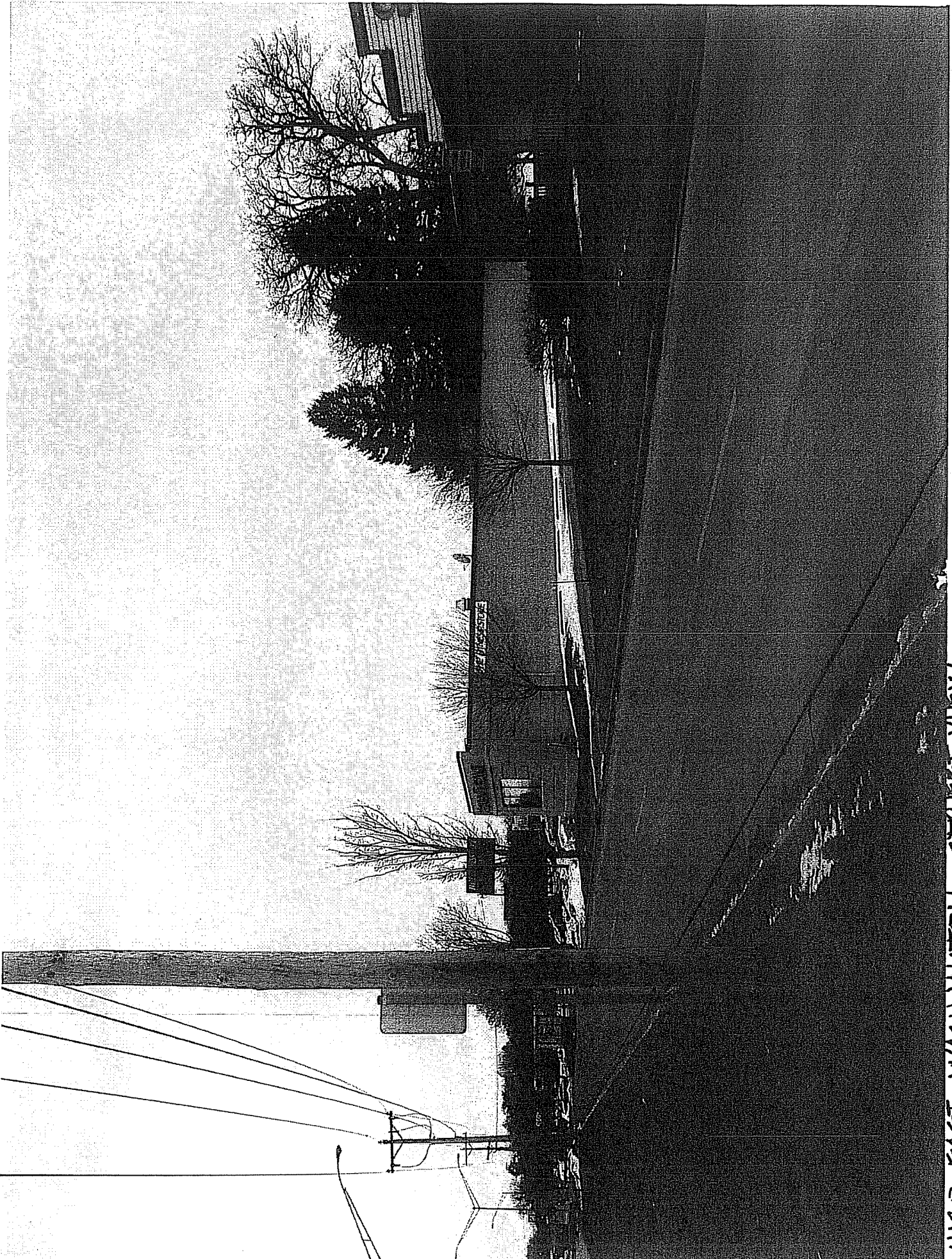
4120 EAST WASHINGTON BEAR HOT LIXE





EXISTING REAR ROOF VIEW

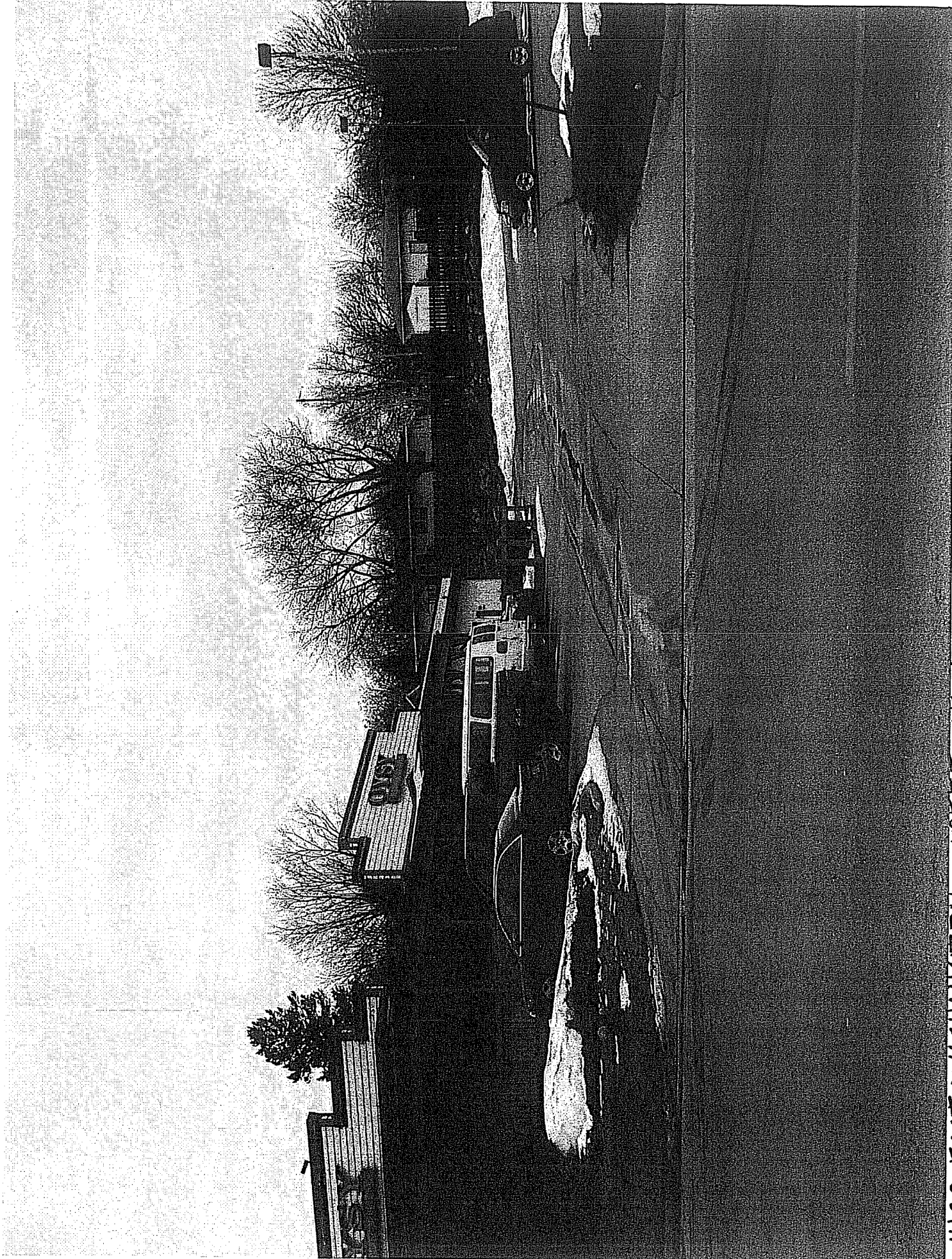
4120 EAST WASHINGTON



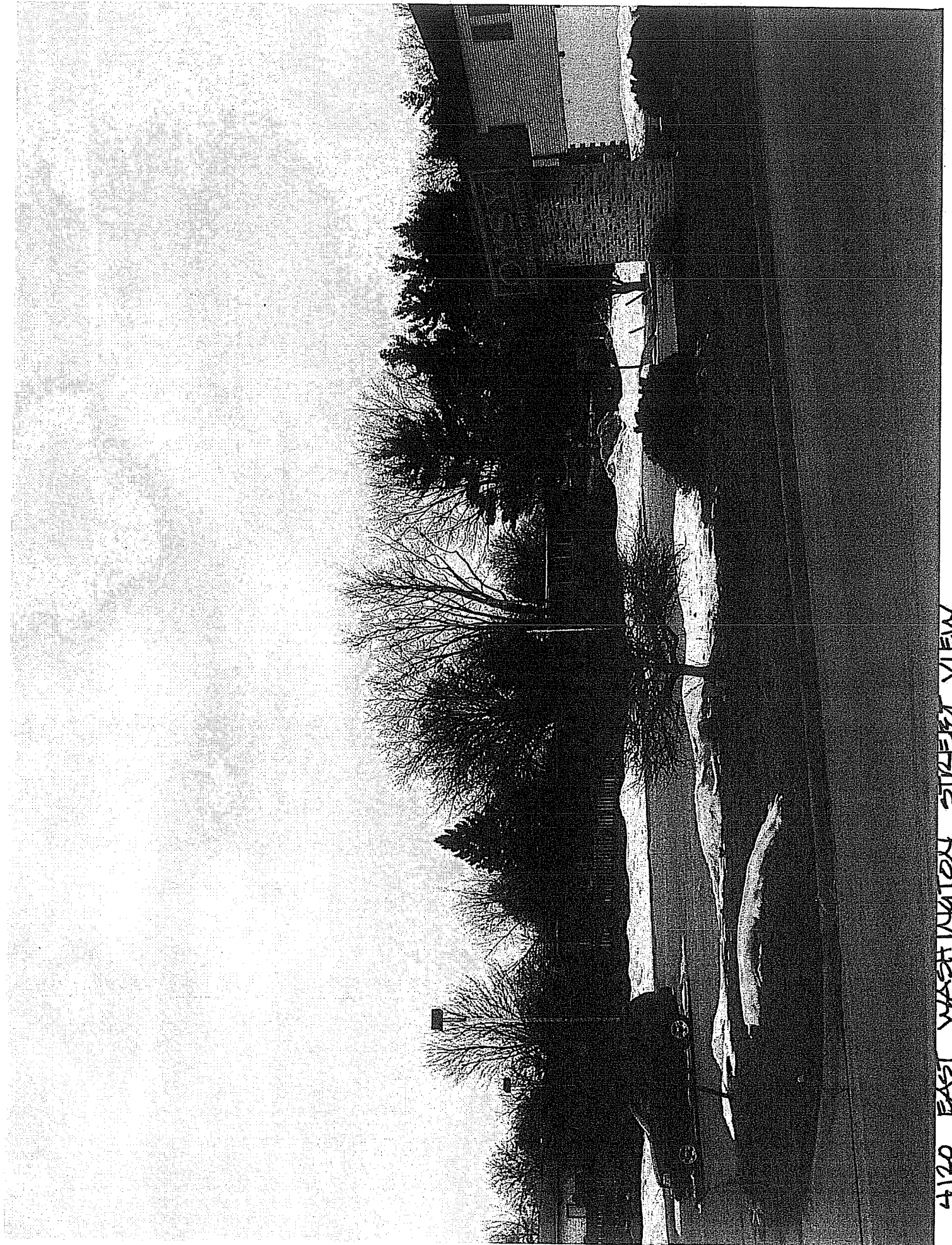
4120 EAST WASH. WATERLY ST. OTHER VIEW



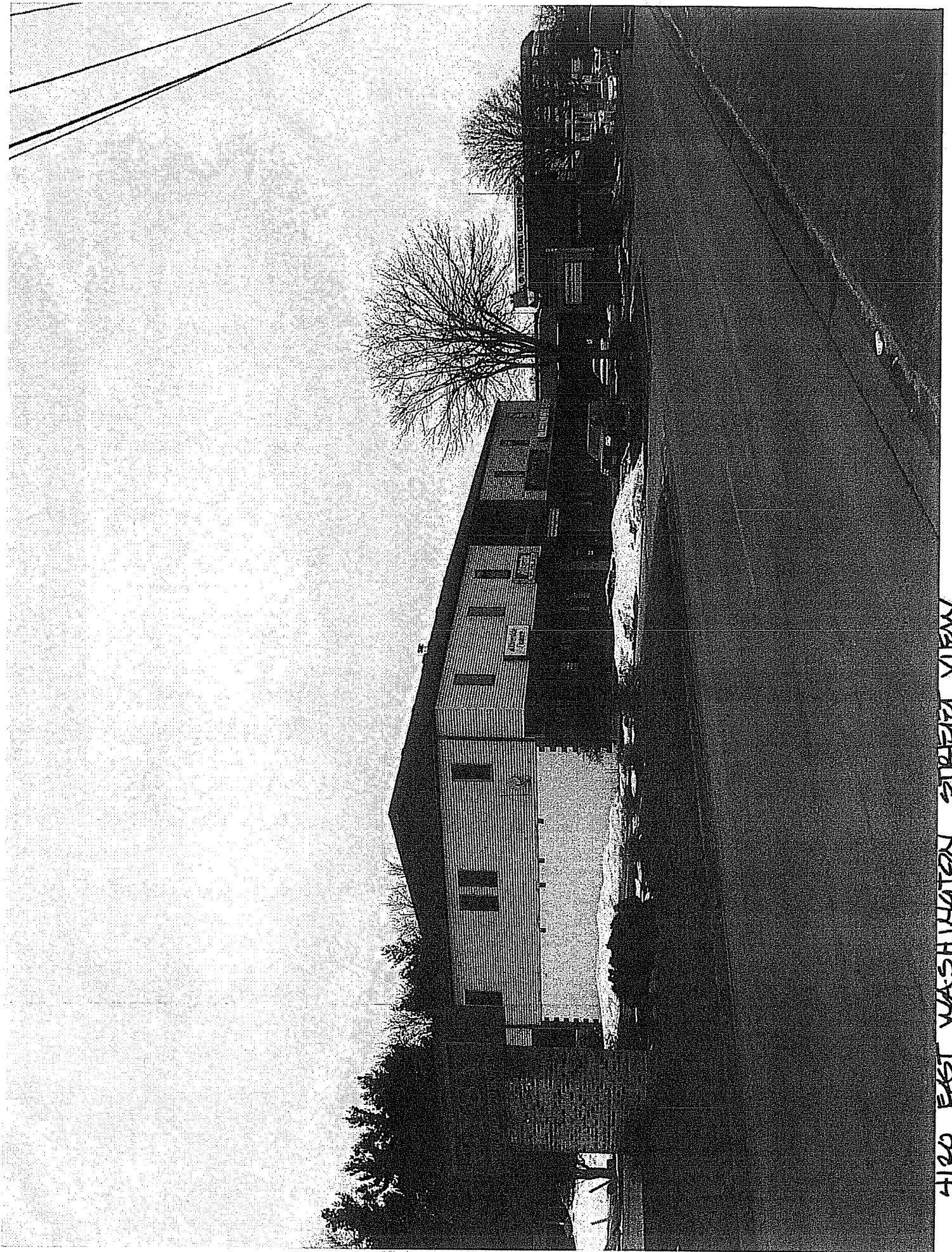
4120 EAST WASHINGTON STREET VIEW



4120 EAST WASHINGTON STREET VIEW



4120 EAST WASHINGTON STREET VIEW



4120 EAST WASHINGTON STREET VIEW