

# OLIN AVENUE MIXED-USE DEVELOPMENT

250 E. OLIN AVENUE, MADISON, WI



**Eastman  
Lee**  
Architects



**JLA**  
ARCHITECTS

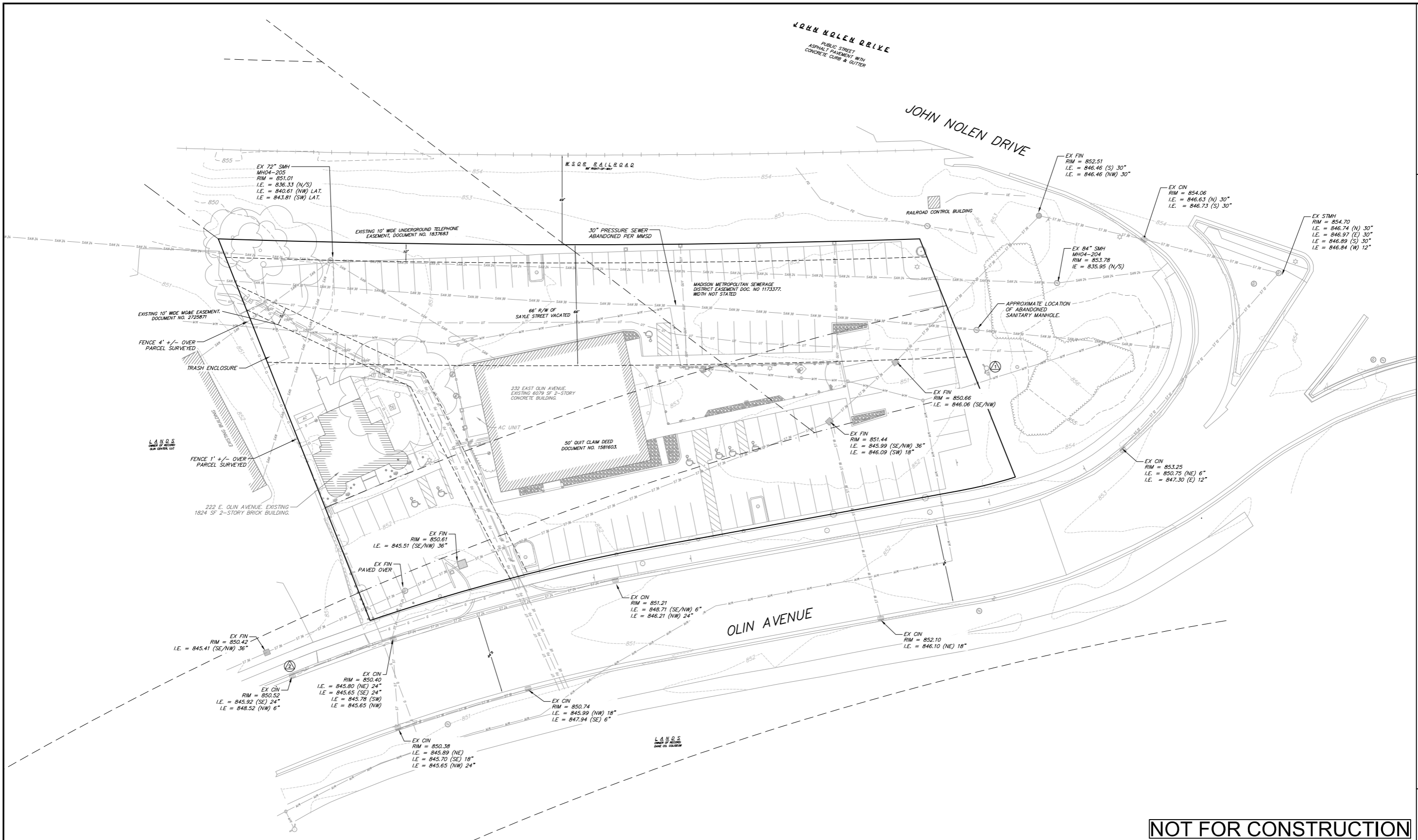
## LAND USE APPLICATION

APRIL 11, 2022

JLA PROJECT NUMBER: 21-1201







**EXISTING CONDITIONS NOTES:**

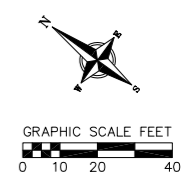
- THIS SURVEY WAS PREPARED BASED UPON INFORMATION PROVIDED IN THE TITLE COMMITMENT NO. NCS-823289-MAD, DATED NOVEMBER 11, 2016, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES, 10 W. WISCONSIN STREET, SUITE 302, MADISON, WI 53703.
- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON DECEMBER 8, 9 & 15, 2016. ANY CHANGES IN SITE CONDITIONS AFTER DECEMBER 15, 2016 ARE NOT REFLECTED BY THIS SURVEY.
- NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION, OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES CONTACT THE APPROPRIATE AGENCIES.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
- ONLY THE BOUNDARY OF PARCEL A IS INCLUDED WITHIN THE SCOPE OF THIS SURVEY MAP.
- MONUMENTS LOCATED FROM PLAT OF SURVEY, DOCUMENT NO. 2000-00157, (02-18-00)
- APPROXIMATE LOCATION SCALED IN USING MAPS AND DESCRIPTIONS PROVIDED BY MMSD. PER MMSD, THIS PRESSURE SEWER IS NO LONGER ACTIVE, HOWEVER THE CAST IRON PIPE REMAINS IN THE GROUND (ALONG WITH PRESCRIPTIVE EASEMENT, WIDTH UNDEFINED), DOCUMENT NO. 546895 TRANSFERRED OWNERSHIP OF SEWERS, PUMPING STATIONS, ETC FROM THE CITY OF MADISON TO MMSD AND THAT THIS PIPE AND RIGHT-OF-WAY STILL EXISTS.

TOPOGRAPHIC LINEWORK LEGEND		TOPOGRAPHIC SYMBOL LEGEND		
— 0.20 —	EXISTING MAJOR CONTOURS	—	EXISTING BOLLARD	
— 0.15 —	EXISTING MINOR CONTOURS	—	EXISTING POST	
— 0 —	EXISTING FIBER OPTIC LINE	—	EXISTING SIGN (TYPE NOTED)	
— 07 —	EXISTING UNDERGROUND TELEPHONE	—	—	EXISTING CURB INLET
—	EXISTING GENERAL FENCE	—	—	EXISTING FIELD INLET RECTANGULAR
—	EXISTING WOOD FENCE	—	—	—
—	EXISTING GAS LINE	—	—	—
—	EXISTING UNDERGROUND ELECTRIC LINE	—	—	—
—	EXISTING SANITARY SEWER LINE	—	—	—
—	EXISTING STORM SEWER LINE	—	—	—
—	EXISTING EDGE OF TREES	—	—	—
—	EXISTING WATER MAIN	—	—	—
—	EXISTING RAILROAD TRACKS	—	—	—
—	EXISTING GRAVEL OR WASHED STONE	—	—	—

**NOT FOR CONSTRUCTION**

**PROJECT BENCHMARKS:**

- BENCHMARK 1 — ELEV. = 855.72' TOP NUT OF FIRE HYDRANT LOCATED ON THE EASTERLY SIDE OF THE PARKING LOT.
- BENCHMARK 2 — ELEV. = 850.52' TOP OF STORM INLET CASTING ON THE NORTHERLY SIDE OF OLIN AVENUE, 52 FEET WESTERLY OF THE WESTERLY PROPERTY CORNER.



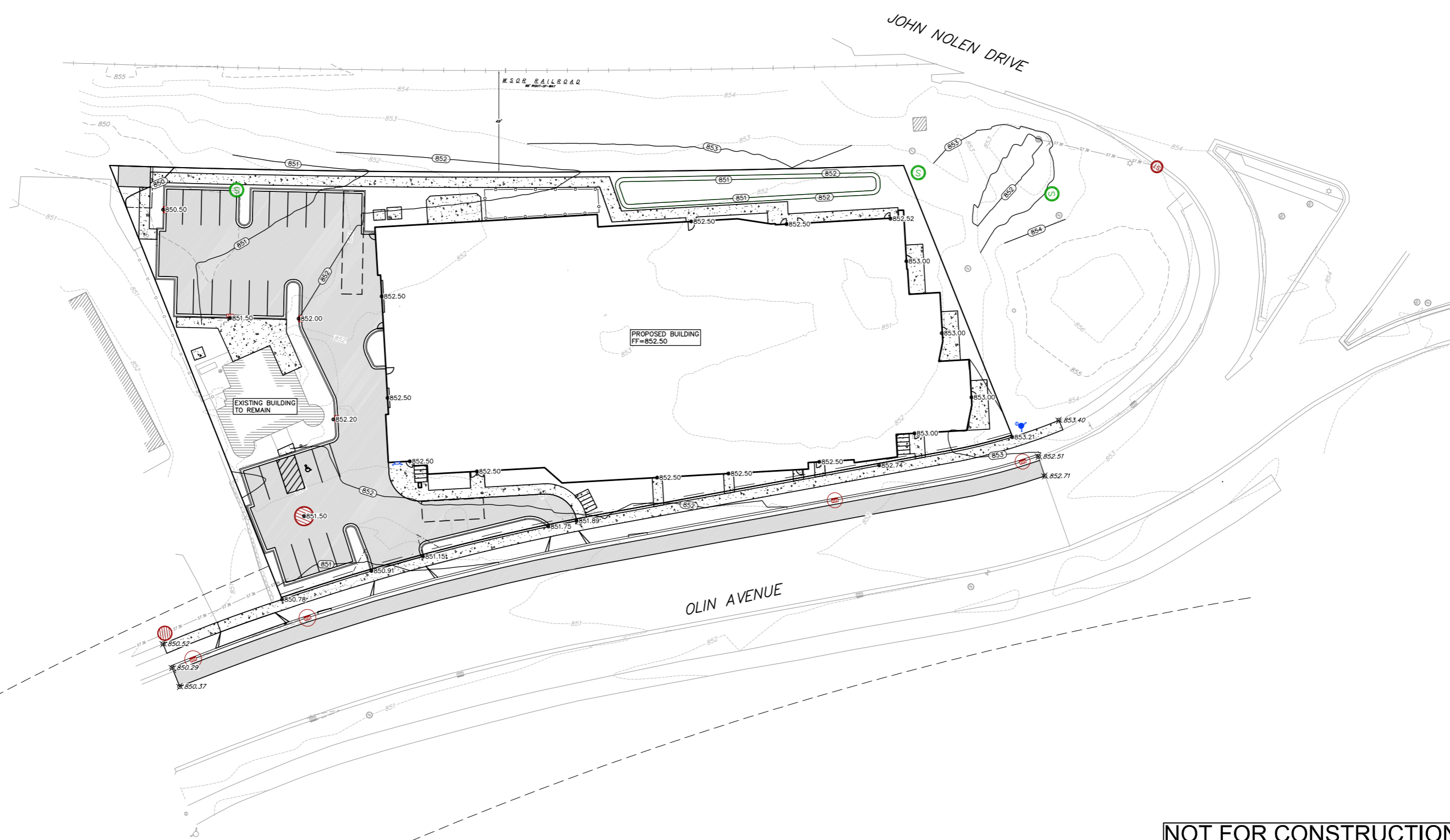
**EXISTING CONDITIONS PLAN**  
250 E. OLIN AVENUE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 4/8/2022  
DRAFTER: JGOL  
CHECKED: CLAN/TSCH  
PROJECT NO.: 210063





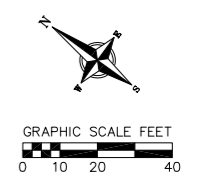


- GRADING NOTES:**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
  3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
  4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
  5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
  7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
  8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

**GRADING LEGEND**

	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	DITCH CENTERLINE
	SILT FENCE
	DISTURBED LIMITS
	DRAINAGE DIRECTION
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	INLET PROTECTION
	EROSION MAT CLASS I TYPE B
	EROSION MAT CLASS II TYPE A
	TRACKING PAD
	RIP RAP

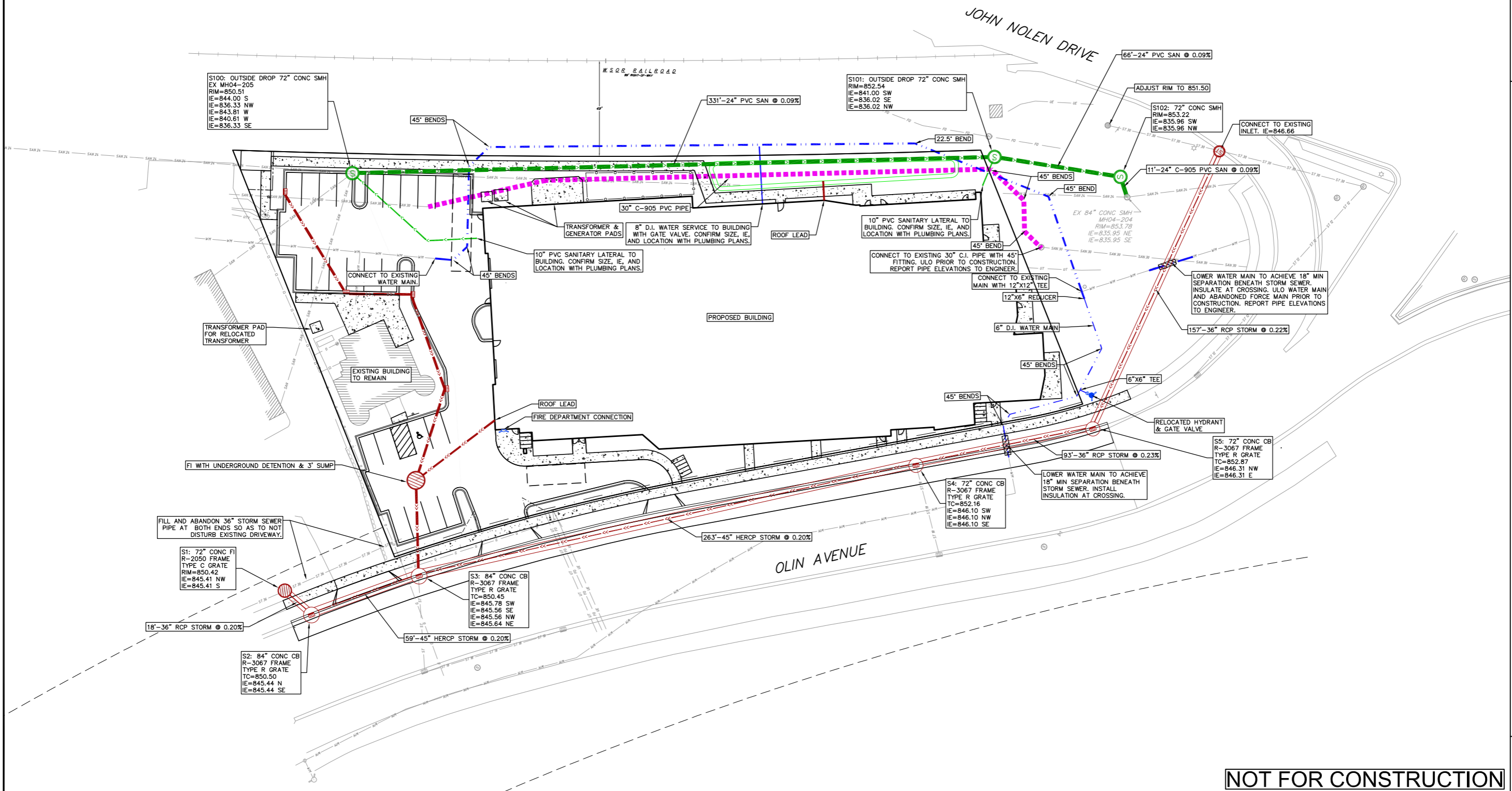
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**GRADING & EROSION CONTROL PLAN**  
250 E. OLIN AVENUE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

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**C400**



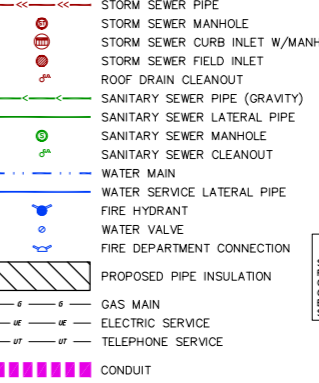
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**UTILITY NOTES:**

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.

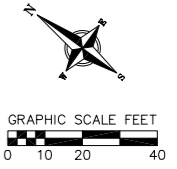
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

**PROPOSED UTILITY LEGEND**



**ABBREVIATIONS**

SMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE



UTILITY PLAN  
250 E. OLIN AVENUE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

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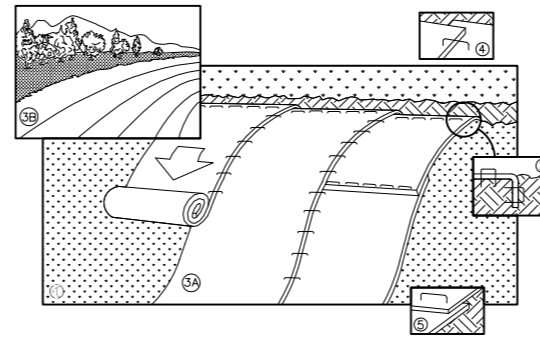
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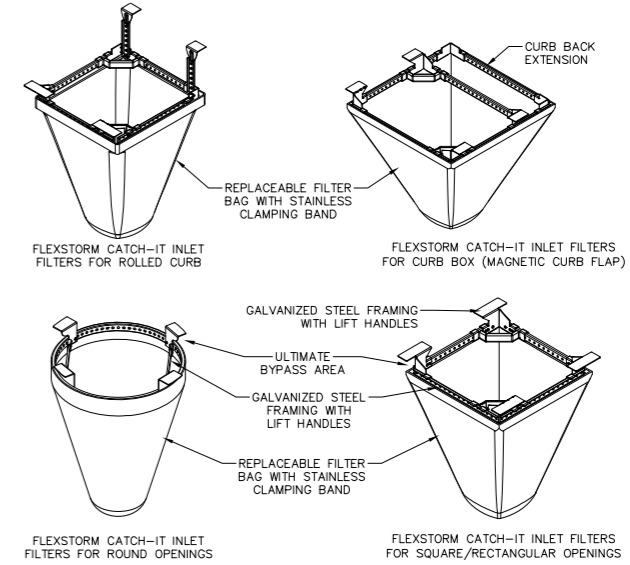
**EROSION CONTROL MEASURES**

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE GRADING AND EROSION CONTROL PLAN FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDING AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND STATE.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



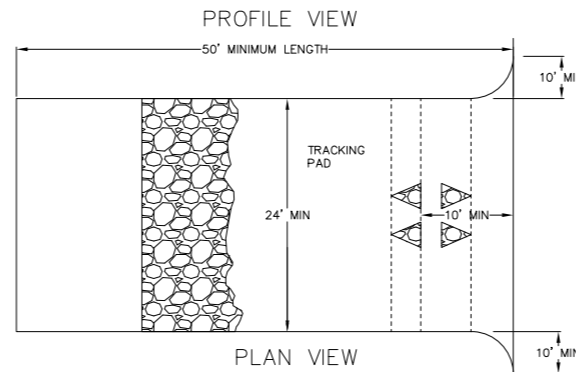
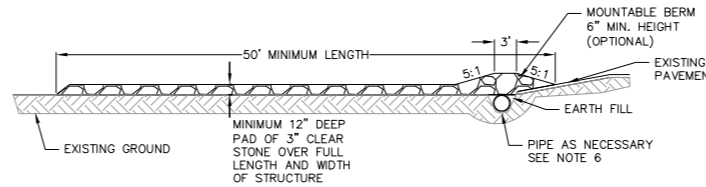
- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ROLL THE BLANKETS <A> DOWN, OR <B> HORIZONTALLY ACROSS THE SLOPE.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  - WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
  - ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT  
1 NOT TO SCALE



- NOTES:
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
  - WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

1 FRAMED INLET PROTECTION  
1 NOT TO SCALE

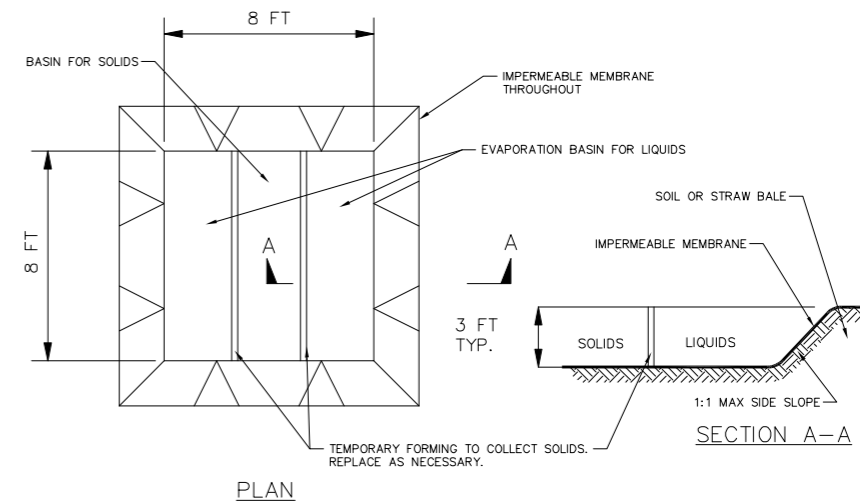


- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD  
1 NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



1 TEMPORARY CONCRETE WASHOUT  
1 NOT TO SCALE

**SEEDING RATES:**

**TEMPORARY:**

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

**PERMANENT:**

SEE LANDSCAPE PLAN.

**FERTILIZING RATES:**

**TEMPORARY AND PERMANENT:**

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

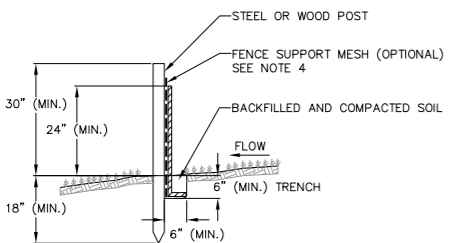
**MULCHING RATES:**

**TEMPORARY AND PERMANENT:**

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

- CONSTRUCTION SEQUENCE:**
- INSTALL EROSION CONTROL MEASURES
  - CONDUCT DEMOLITION
  - STRIP TOPSOIL (UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
  - ROUGH GRADE SITE
  - CONSTRUCT UNDERGROUND UTILITIES
  - INSTALL INLET PROTECTION IN NEW INLETS
  - CONSTRUCT BUILDING
  - CONSTRUCT PAVEMENT
  - FINAL GRADE AND PERMANENTLY RESTORE DISTURBED AREAS
  - REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED.
  - CONSTRUCT RAIN GARDEN

- NOTES:**
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
  - CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
  - POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
  - SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH



1 SILT FENCE  
1 NOT TO SCALE

**NOT FOR CONSTRUCTION**

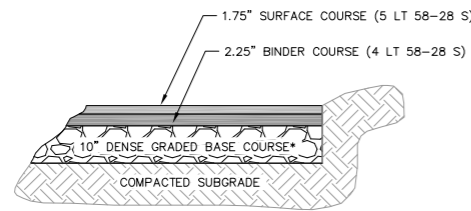
**vierbicher**  
planners | engineers | architects  
Phone: (608) 261-3898

**CONSTRUCTION DETAILS - 1**  
250 E. OLIN AVENUE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 4/8/2022  
DRAFTER: JGOL  
CHECKED: CLAN/TSQH  
PROJECT NO.: 210063

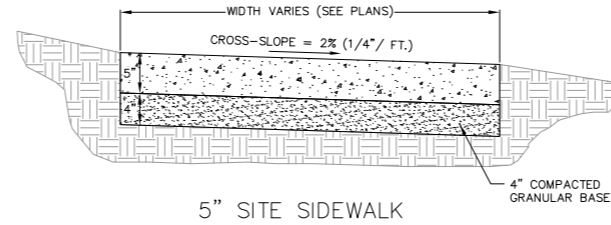
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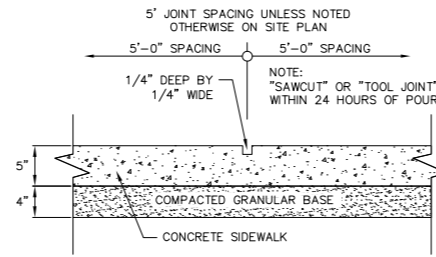
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BITUMINOUS PAVEMENT

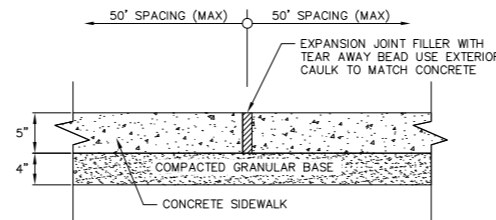
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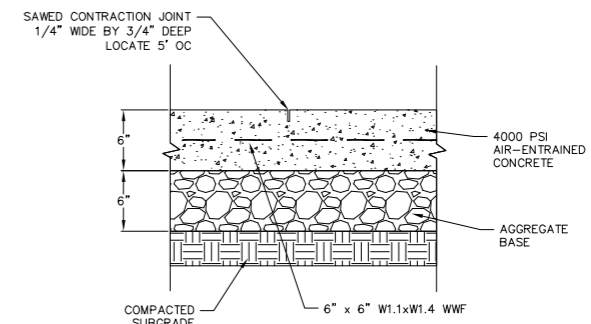


SIDEWALK CONTROL JOINT

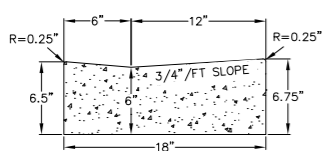


SIDEWALK EXPANSION JOINT

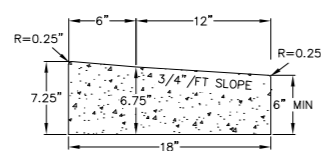
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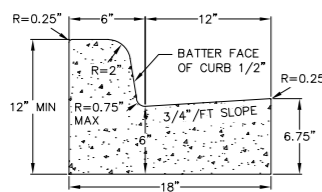
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1 NOT TO SCALE



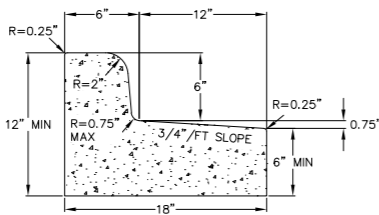
ACCESS RAMP  
GUTTER CROSS SECTION



ACCESS RAMP  
GUTTER REJECT SECTION

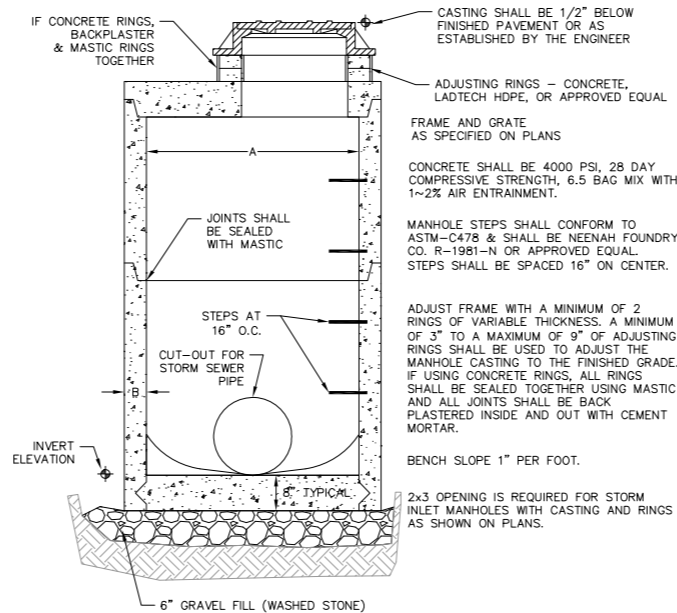


CURB AND GUTTER  
CROSS SECTION



CURB AND GUTTER  
REJECT SECTION

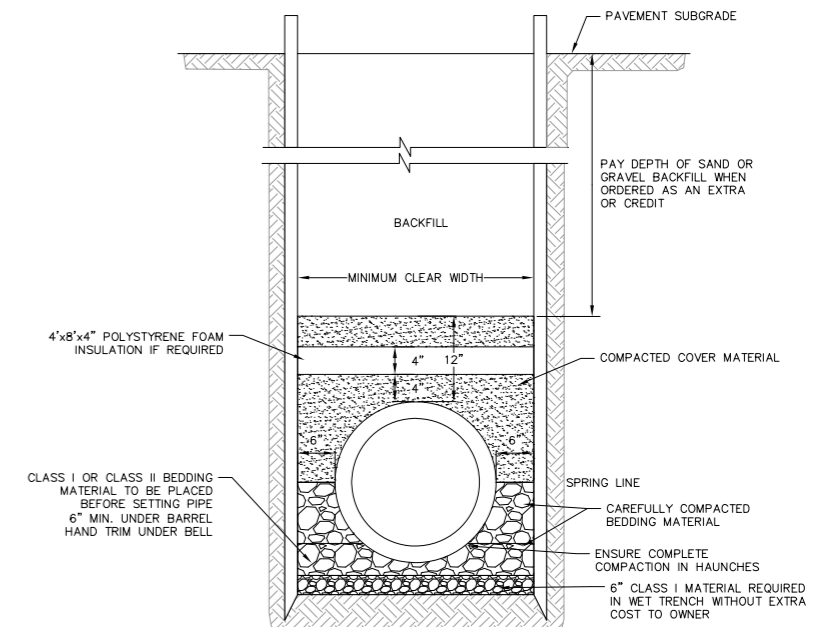
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STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

1 STORM SEWER MANHOLE  
1 NOT TO SCALE

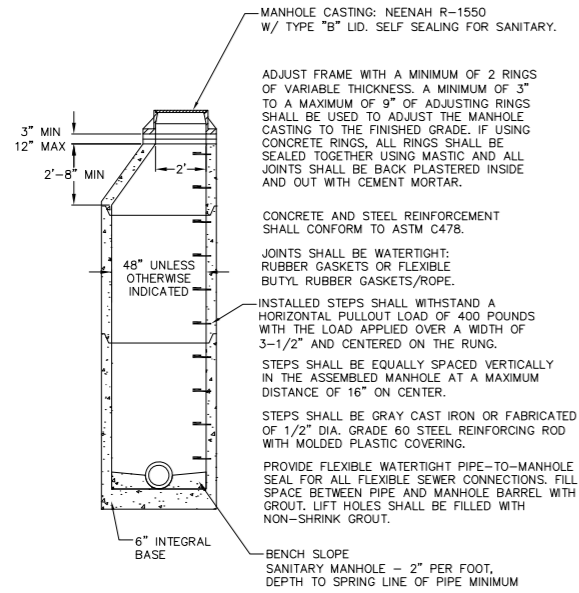


1 CLASS B RIGID PIPE TRENCH SECTION  
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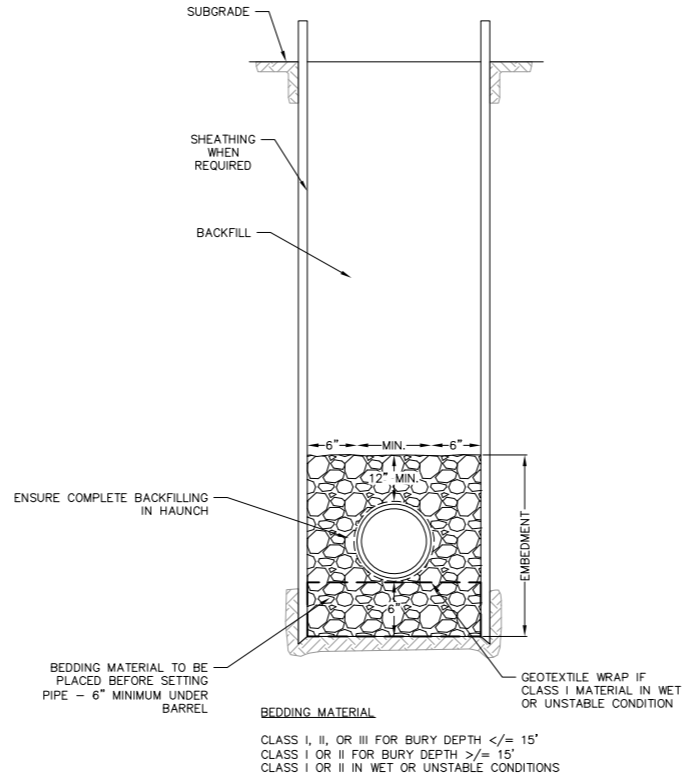
**NOT FOR CONSTRUCTION**

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

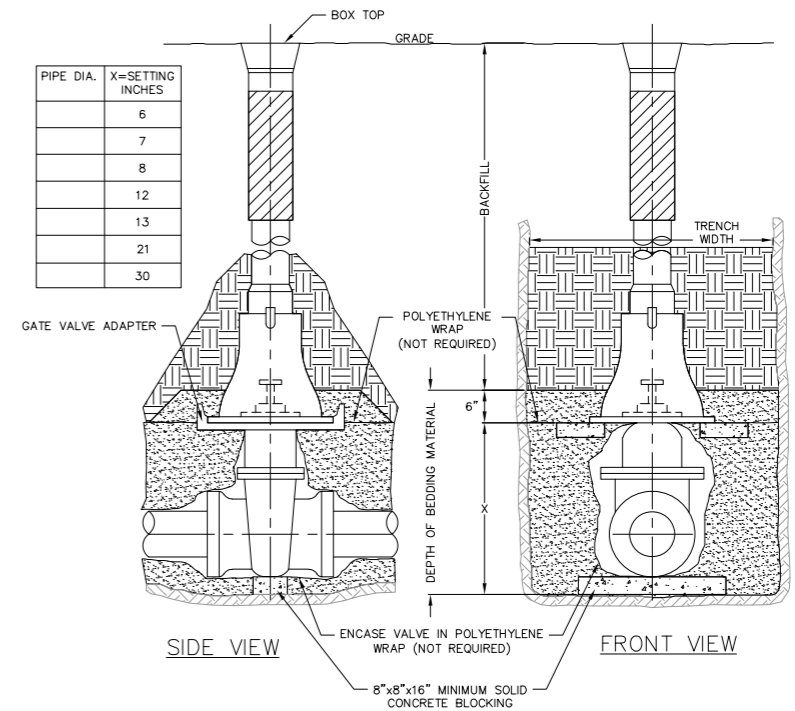
DATE	4/8/2022
DRAWER	JGOL
CHECKED	CLAN/TSOH
PROJECT NO.	210063



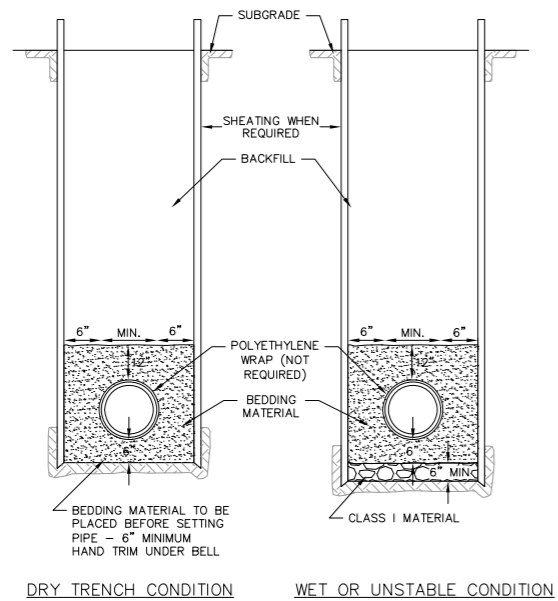
1 SANITARY SEWER MANHOLE  
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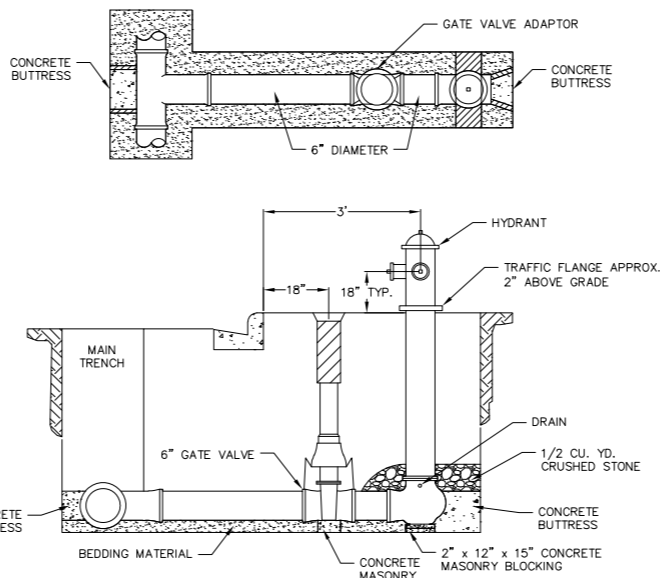
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1 NOT TO SCALE



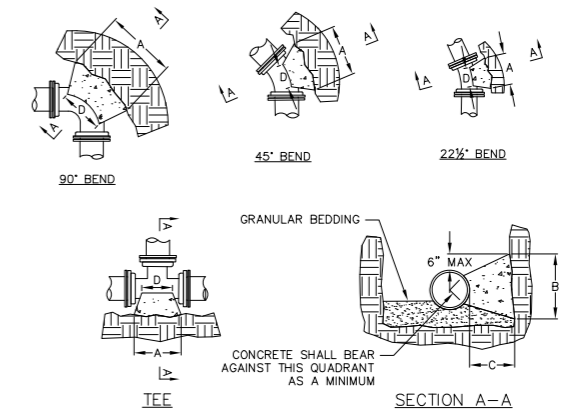
1 STANDARD GATE VALVE BOX SETTING  
1 NOT TO SCALE



1 STANDARD WATER MAIN TRENCH SECTION  
1 NOT TO SCALE



1 STANDARD HYDRANT SETTING  
1 NOT TO SCALE



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

PIPE SIZE	BUTTRISS DIMENSIONS					
	TEES		22.5° BEND		45° BEND	
	A	B	A	B	A	B
4	0'-10"	1'-8"	1'-0"	1'-0"	1'-0"	1'-4"
6	1'-6"	1'-8"	1'-0"	1'-0"	1'-4"	1'-6"
8	1'-9"	2'-4"	1'-4"	1'-4"	1'-10"	2'-8"
10	1'-9"	2'-4"	1'-10"	1'-8"	2'-6"	3'-10"
12	2'-3"	1'-7"	2'-4"	2'-0"	3'-3"	2'-10"
16	3'-8"	2'-10"	2'-10"	2'-4"	4'-0"	3'-3"
20	5'-0"	3'-10"	3'-6"	3'-0"	5'-4"	8'-0"
24	5'-4"	4'-8"				

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

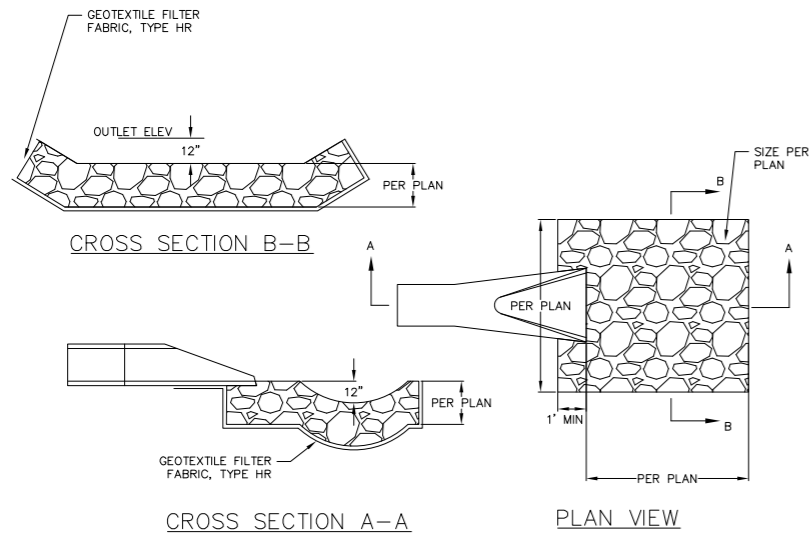
\* = FOR TEE THIS WILL BE THE BRANCH PIPE

1 BUTTRISS FOR BENDS  
1 NOT TO SCALE

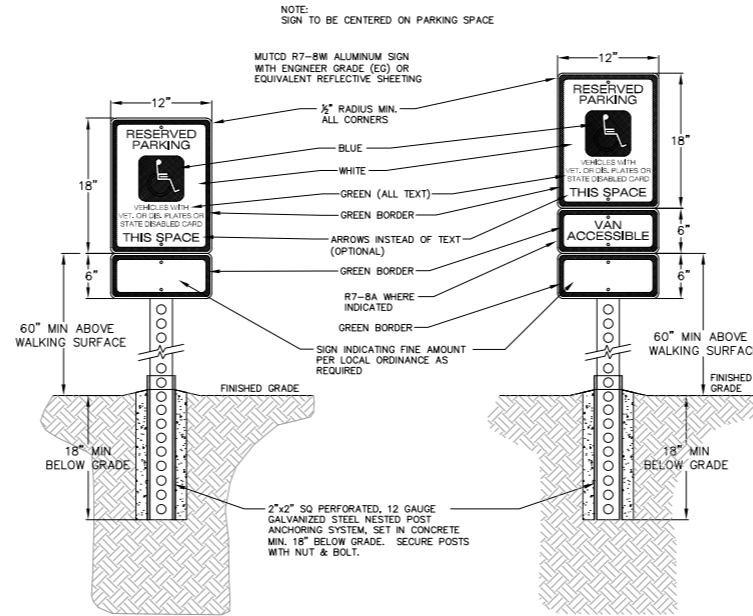
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NO.	DATE	REVISIONS	REMARKS

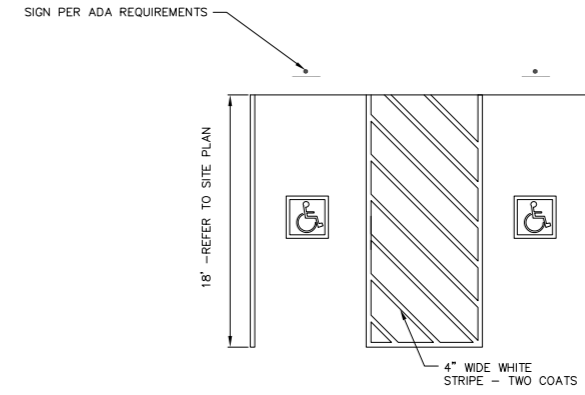
DATE: 4/8/2022  
DRAFTER: JGOL  
CHECKED: CLAN/TSQH  
PROJECT NO.: 210063



1 RIP-RAP OUTLET  
1 NOT TO SCALE



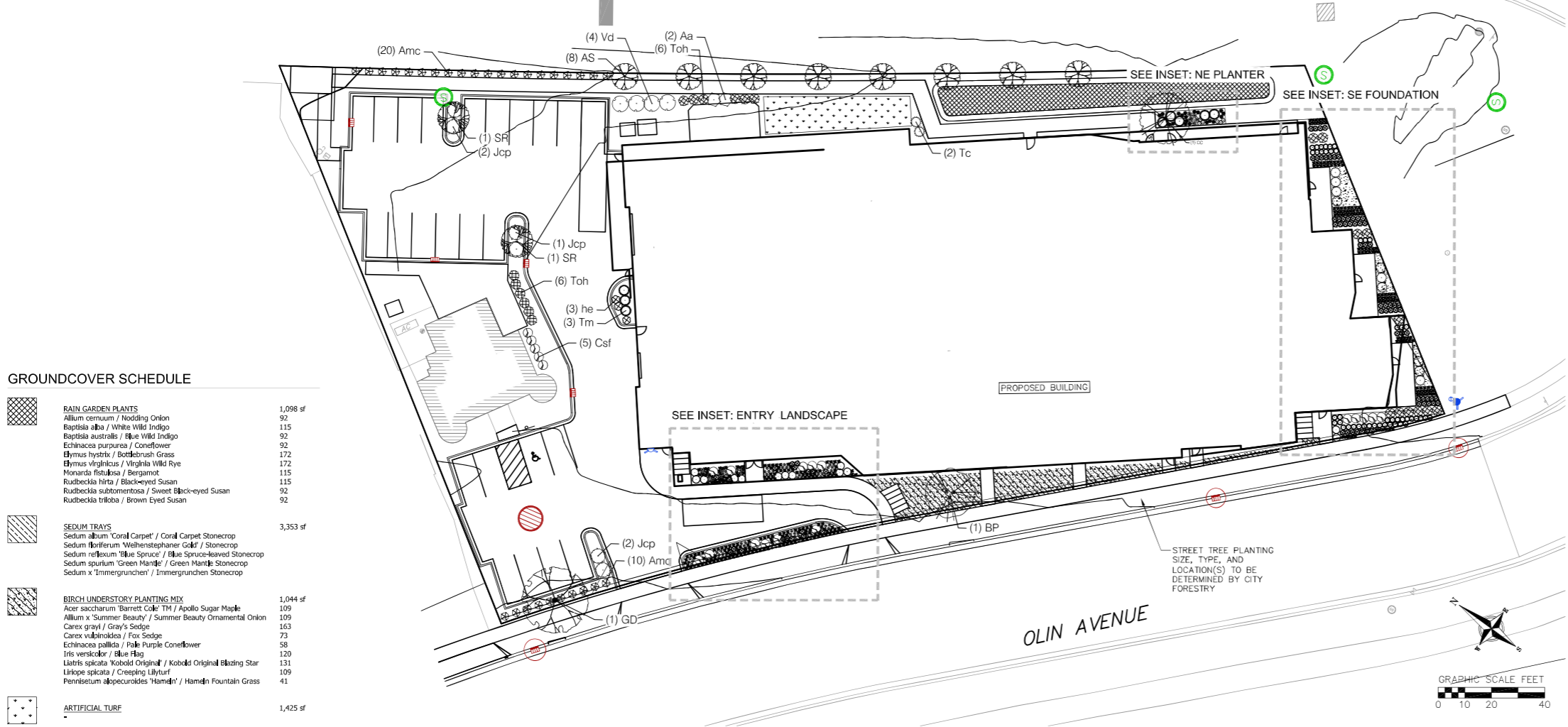
1 ADA SIGN  
1 NOT TO SCALE



1 ADA PARKING DETAIL  
1 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	4/8/2022
DRAWER	JGOL
CHECKED	CLAN/TSCH
PROJECT NO.	210063



**GROUND COVER SCHEDULE**

	<b>RAIN GARDEN PLANTS</b>	1,098 sf
	<b>SEDUM TRAYS</b>	3,353 sf
	<b>BIRCH UNDERSTORY PLANTING MIX</b>	1,044 sf
	<b>ARTIFICIAL TURF</b>	1,425 sf

**PLANT SCHEDULE**

CANOPY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AS	Acer saccharum 'Barrett Cole' TM / Apollo Sugar Maple	B & B	2.5" Cal		8
GD	Gymnocladus dioica 'MCKBranched' TM / Decaf Kentucky Coffeetree	B & B	2.5" Cal		1
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
BP	Betula populifolia 'Whitespire' / Whitespire Gray Birch	B & B	7" ht.	Multi-Stem	1
CC	Carpinus caroliniana 'J.N. Strain' TM / J.N. Strain American Hornbeam	B & B	2" Cal		1
CM	Cornus mas 'Golden Glory' / Golden Glory Cornelian Cherry	Cont.	5" ht.	Tree Form	2
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2" Cal		1
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Aa	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry	Cont.	5 Gal.		2
Amc	Aronia melanocarpa 'Morton' / Iroquois Beauty Chokeberry	Cont.	3 Gal.		30
Csf	Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood	Cont.	5 Gal.		21
Ctt	Cotoneaster spicatus 'Tom Thumb' / Tom Thumb Cranberry Cotoneaster	Cont.	3 Gal.		13
Vd	Viburnum dentatum 'Christom' / Blue Muffin Arrowwood Viburnum	Cont.	5 Gal.		4
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Jcp	Juniperus horizontalis 'Flumosa Compacta' / Creeping Juniper	Cont.	5 Gal.		6
Jp	Juniperus salkiana 'Blue Forest' / Blue Forest Juniper	Cont.	5 Gal.		10
Tm	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	B & B	5 Gal.		8
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.		7
Toh	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	5" ht.		23
Tf	Tsuga canadensis 'Jeddah' / Jeddah Eastern Hemlock	Cont.	3 Gal.		3
Tc	Tsuga canadensis 'Moniers' TM / Golden Duke Eastern Hemlock	Cont.	7 Gal.		2
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	Cont.	1 Gal.		45
cb2	Carex bicknellii / Prairie Sedge	Cont.	4 in.		49
ci	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	Cont.	4 in.		21
cr2	Carex radiata / Eastern Star Sedge	Cont.	4 in.		27
cr	Carex rosea / Rosy Sedge	Cont.	4 in.		92
cb	Osmunda racemosa 'Brunette' / Snakeroot	Cont.	4 in.		4
du	Dryopteris filix-mas 'Undulata Robusta' / Robust Undulated Male Fern	Cont.	2		3
he	Hosta x 'Earth Angel' / Earth Angel Hosta	Cont.	4 in.		22
haa	Hosta x 'Awakening Angel' / Awakening Angel Hosta	Cont.	4 in.		2
hb	Hosta x 'Blue Mouse Ears' / Blue Mouse Ears Hosta	Cont.	4 in.		8
hf	Hosta x 'Fire Island' / Fire Island Hosta	Cont.	4 in.		86
pal	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	Cont.	1 Gal.		76
pr	Pulmonaria x 'Raspberry Splash' / Raspberry Splash Lungwort	Cont.	4 in.		71
rf	Rudbeckia fulgida 'Goldsturm' / Goldsturm Coneflower	Cont.	1 Gal.		64
ss	Schizachyrium scoparium 'Standing Ovation' / Standing Ovation Little Bluestem	Cont.	1 Gal.		323
ts2	Tiarella x 'Spring Symphony' / Spring Symphony Foamflower	Cont.	4 in.		53

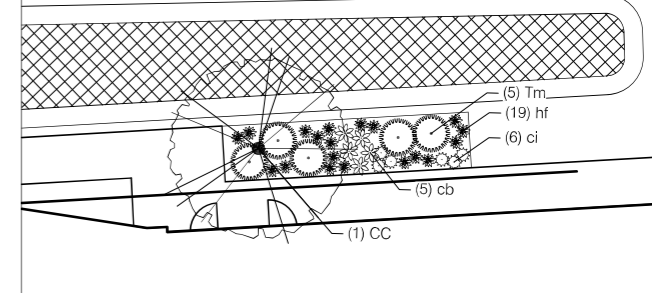
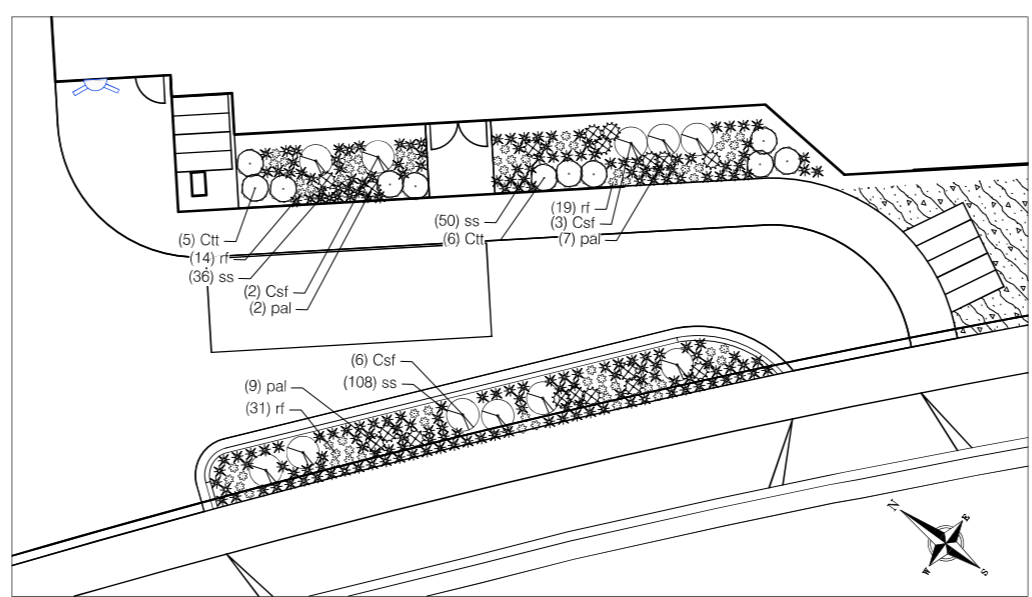
**GROUND COVERS**

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	SPACING	QTY
ac	Ajuga reptans 'Chocolate Chip' / Chocolate Chip Carpet Bugle	1st	2" x 2" x 4" plug		12" o.c.	196 sf

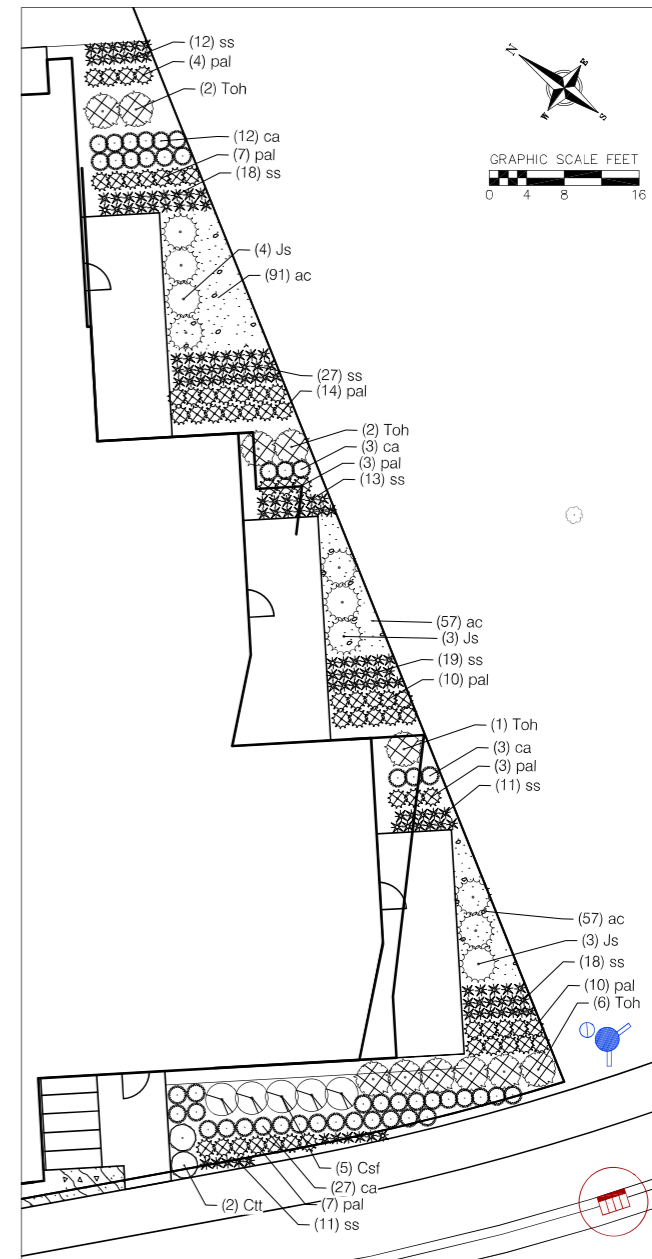
- PLANT MATERIAL NOTES:**
- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
  - ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
  - CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
  - ALL PLANS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

- LANDSCAPE MATERIAL NOTES:**
- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION," PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDDED/SODDED.
  - LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 4" X 4" OR EQUAL, COLOR BLACK ANODIZED.
  - ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

- SEEDING AND PLUG PLANTING NOTES:**
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
  - INSTALL BIORETENTION PLUG PLANTINGS AS 2" X 2" X 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.



INSET: NE PLANTER DETAIL



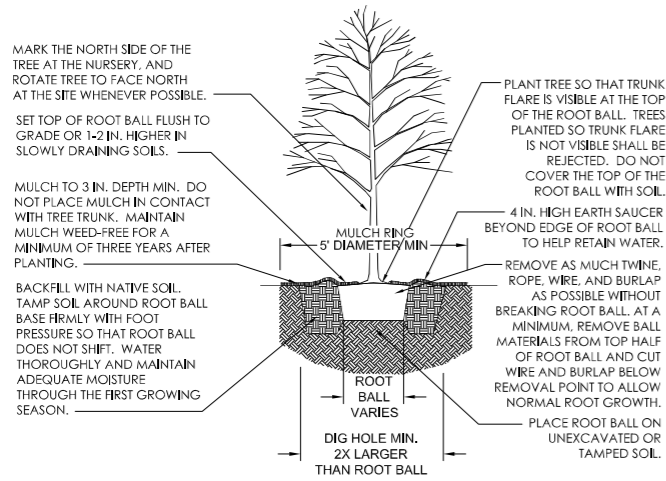
INSET: SE FOUNDATION LANDSCAPE

REVISIONS	NO.	DATE	REMARKS

DATE	4/8/2022
DRAWN	SWN
CHECKED	CLAN/TSCH
PROJECT NO.	210063

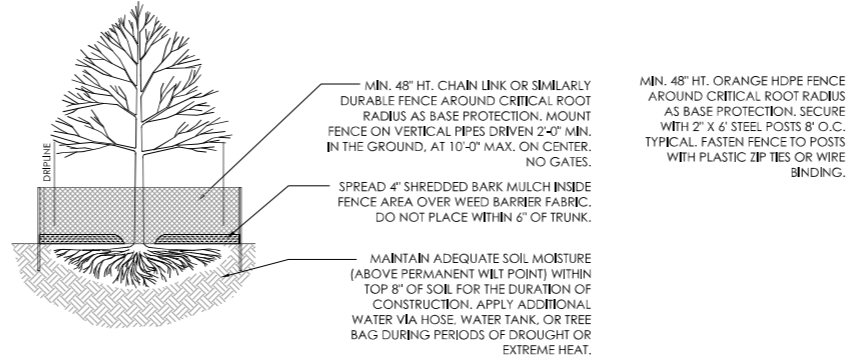


NOTES:  
 - DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.  
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.  
 - WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



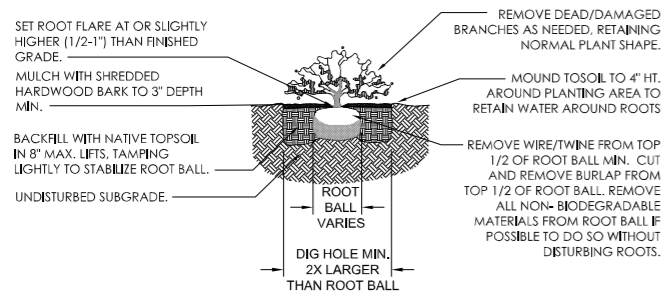
○ TREE PLANTING DETAIL - B&B TREES  
 NOT TO SCALE

NOTES:  
 • CRITICAL ROOT RADIUS (IN FEET) = 1' x DBH  
 EXAMPLE: 6" DBH TREE = 6' RADIUS  
 • ONLY HANDWORK ALLOWED WITHIN CRITICAL ROOT RADIUS. NO TRAFFIC OR STORAGE OF MATERIALS ALLOWED. NO EQUIPMENT SHALL BE OPERATED WITHIN THE CRITICAL ROOT RADIUS INCLUDING DURING FENCE INSTALLATION AND REMOVAL.  
 • NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST



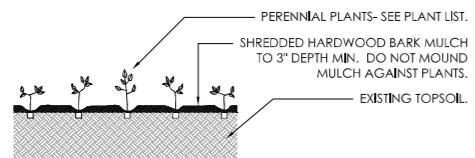
○ TREE PROTECTION FENCE  
 NOT TO SCALE

NOTES:  
 - KEEP CONTAINER/BURLAP ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS SHALL BE REJECTED.  
 - APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SURFACE OF SOIL PRIOR TO MULCHING. PER SPECIFIED APPLICATION RATES.  
 - WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



○ SHRUB PLANTING DETAIL  
 NOT TO SCALE

NOTES:  
 - KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.  
 - APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SOIL SURFACE PRIOR TO MULCHING. PER SPECIFIED APPLICATION RATES.  
 - WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



○ PERENNIAL PLANTING DETAIL  
 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

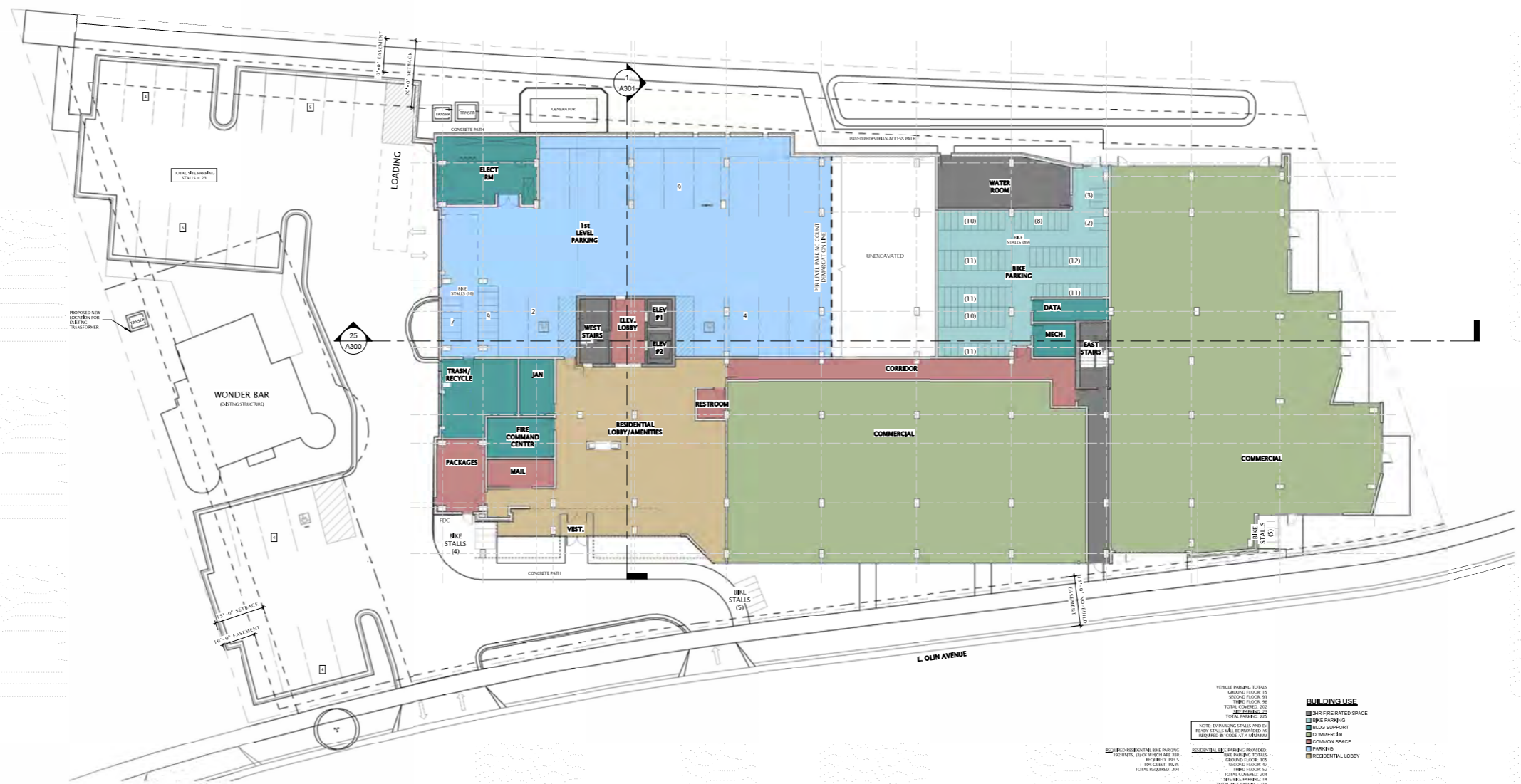
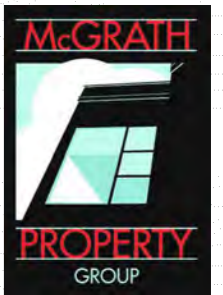
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 CHECKED: CLAN/TSCH  
 PROJECT NO.: 210063



**JLA**  
ARCHITECTS

MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: 21-1201



29 FIRST FLOOR PLAN - OVERALL  
1/16" = 1'-0"

**WORKING PARKING TOTALS**

GROUND FLOOR 15
SECOND FLOOR 91
THIRD FLOOR 96
TOTAL WORKING 202
RESERVED 202
TOTAL PARKING 404

**AVAILABILITY OF PARKING SPACES**

RESERVED 202
AVAILABLE 202
TOTAL 404

**RESIDENTIAL PARKING REQUIRED**

GROUND FLOOR 40
SECOND FLOOR 40
THIRD FLOOR 40
TOTAL 120

**RESIDENTIAL PARKING PROVIDED**

GROUND FLOOR 40
SECOND FLOOR 40
THIRD FLOOR 40
TOTAL 120

- BUILDING USE**
- 2ND FLOOR BAYED SPACE
  - BIKE PARKING
  - BIKE STORAGE
  - COMMERCIAL
  - CORRIDOR SPACE
  - PARKING
  - RESIDENTIAL LOBBY



OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
OVERALL FIRST FLOOR  
PLAN (INCLUDES SITE  
LAYOUT)

SHEET NUMBER

A100

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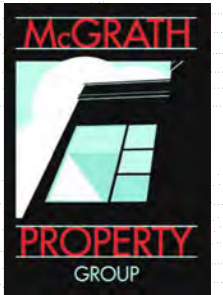




**JLA**  
ARCHITECTS

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JLA PROJECT NUMBER: 21-1201



OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

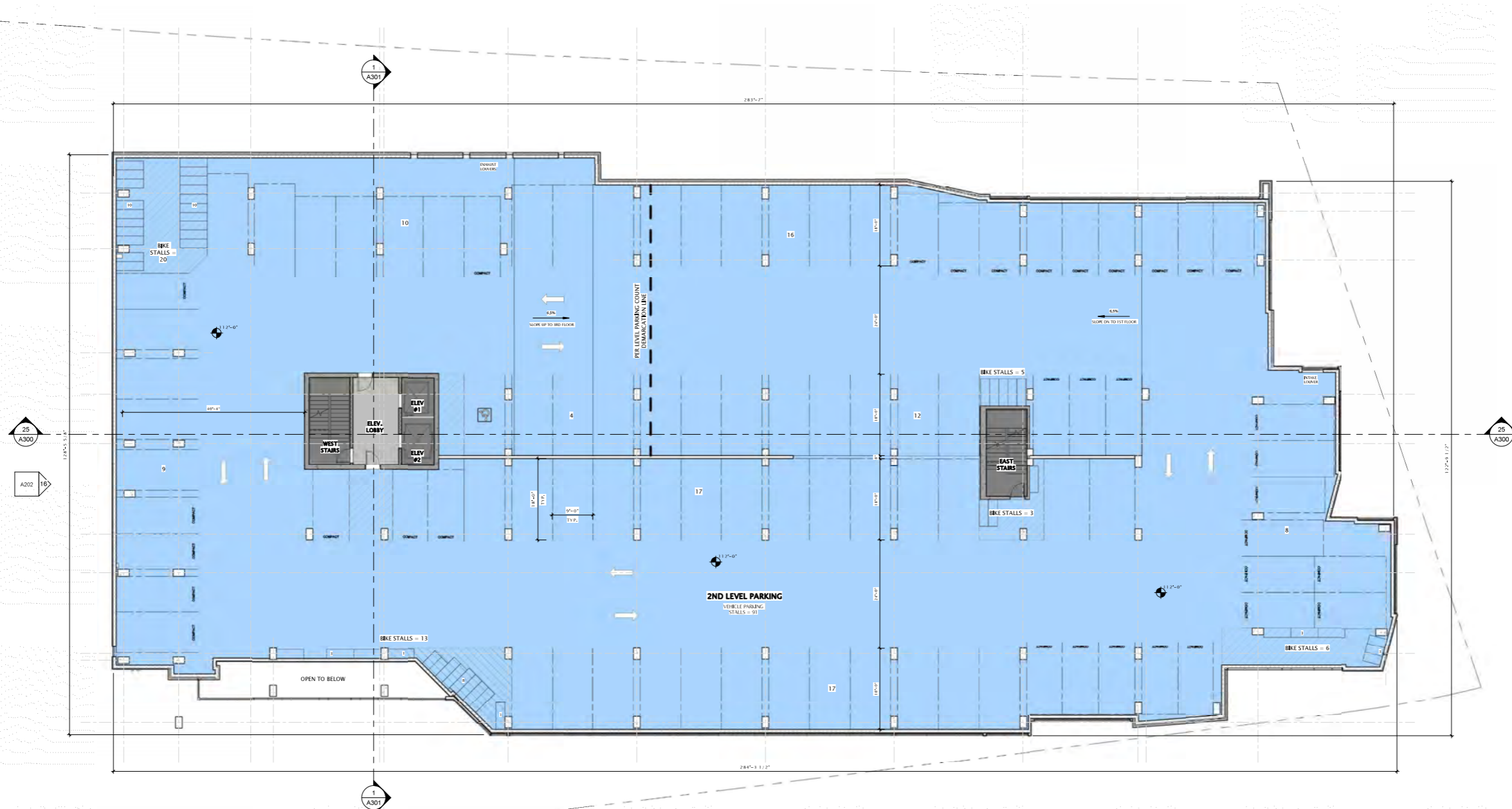
DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**SECOND FLOOR PLAN**

SHEET NUMBER

**A102**



**BUILDING USE**

- 1HR FIRE RATED SPACE
- 2HR FIRE RATED SPACE
- PARKING



25 SECOND FLOOR PLAN  
3/22" = 1'-0"

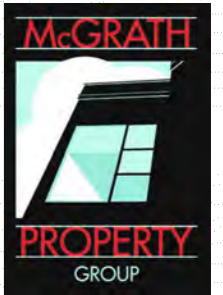
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JLA PROJECT NUMBER: 21-1201



OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

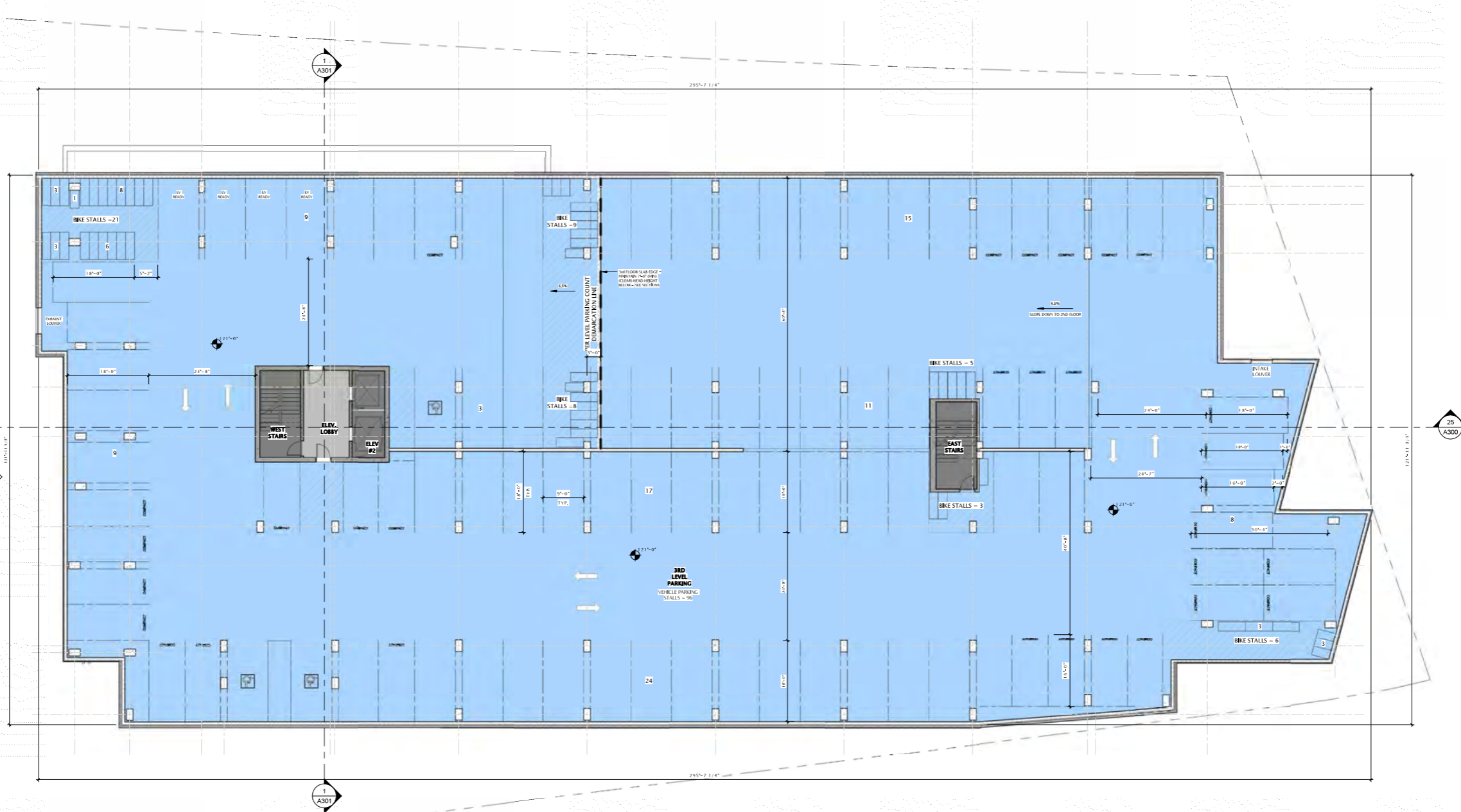
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A103



4/11/2022 11:59:06 AM  
25 THIRD FLOOR PLAN  
3/32" = 1'-0"

**BUILDING USE**

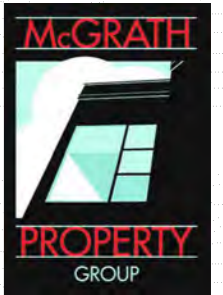




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JLA PROJECT NUMBER: 21-1201



OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN

SHEET NUMBER

A104



- BUILDING USE**
- FIRE RATED SPACE
  - FIRE RATED SPACE
  - COMMON SPACE
  - RESIDENTIAL
  - RESIDENTIAL AMENITIES



25 FOURTH FLOOR PLAN  
3/22" = 1'-0"

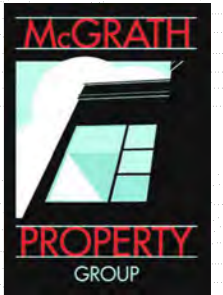
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OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

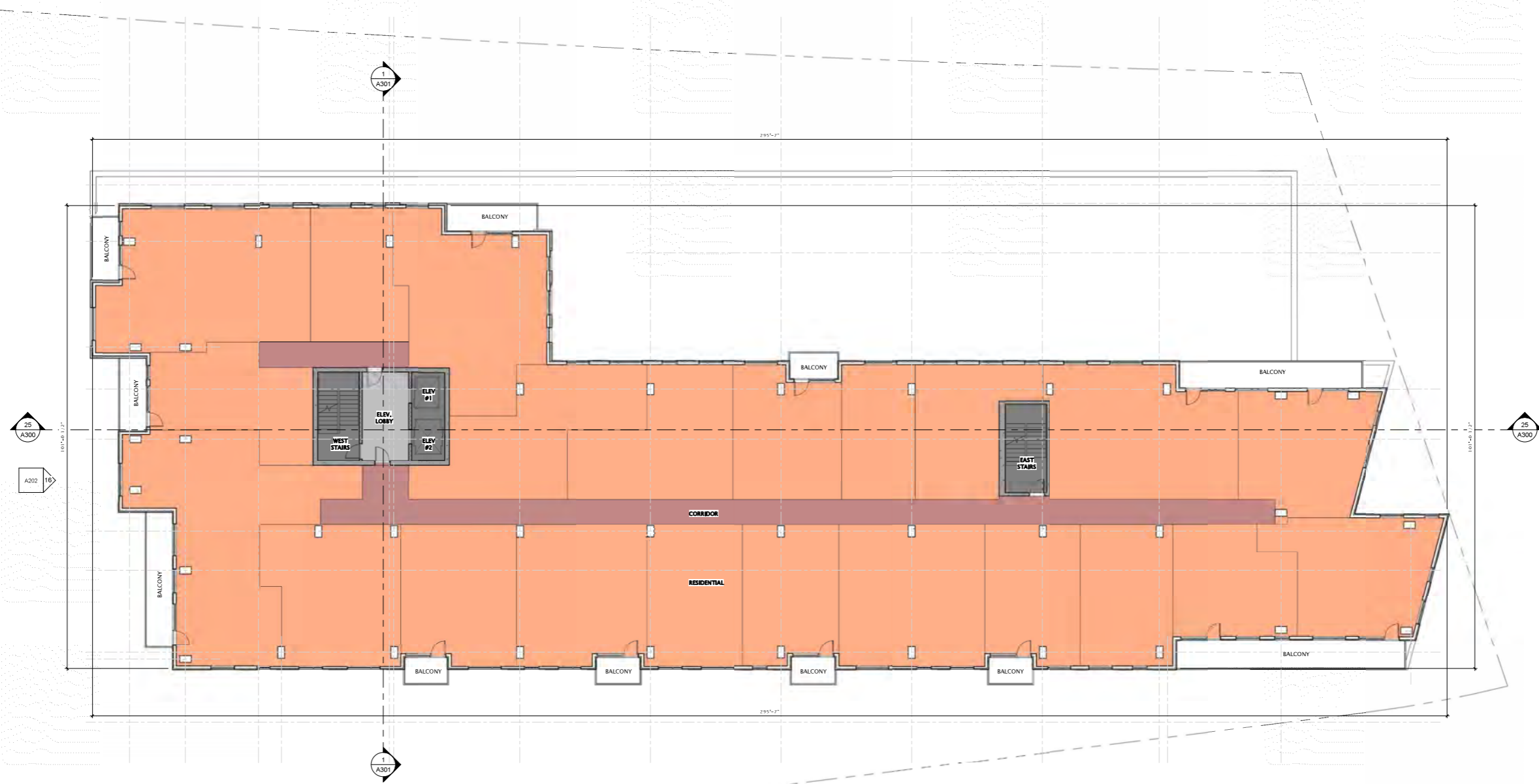
DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**FIFTH - ELEVENTH  
FLOOR PLAN**

SHEET NUMBER

**A105**



**BUILDING USE**

- 1HR FIRE RATED SPACE
- 2HR FIRE RATED SPACE
- COMMON SPACE
- RESIDENTIAL



**FIFTH FLOOR PLAN**  
3/22" = 1/4"

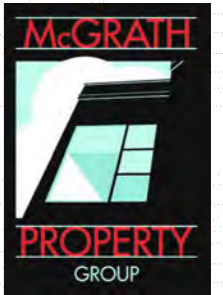
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OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

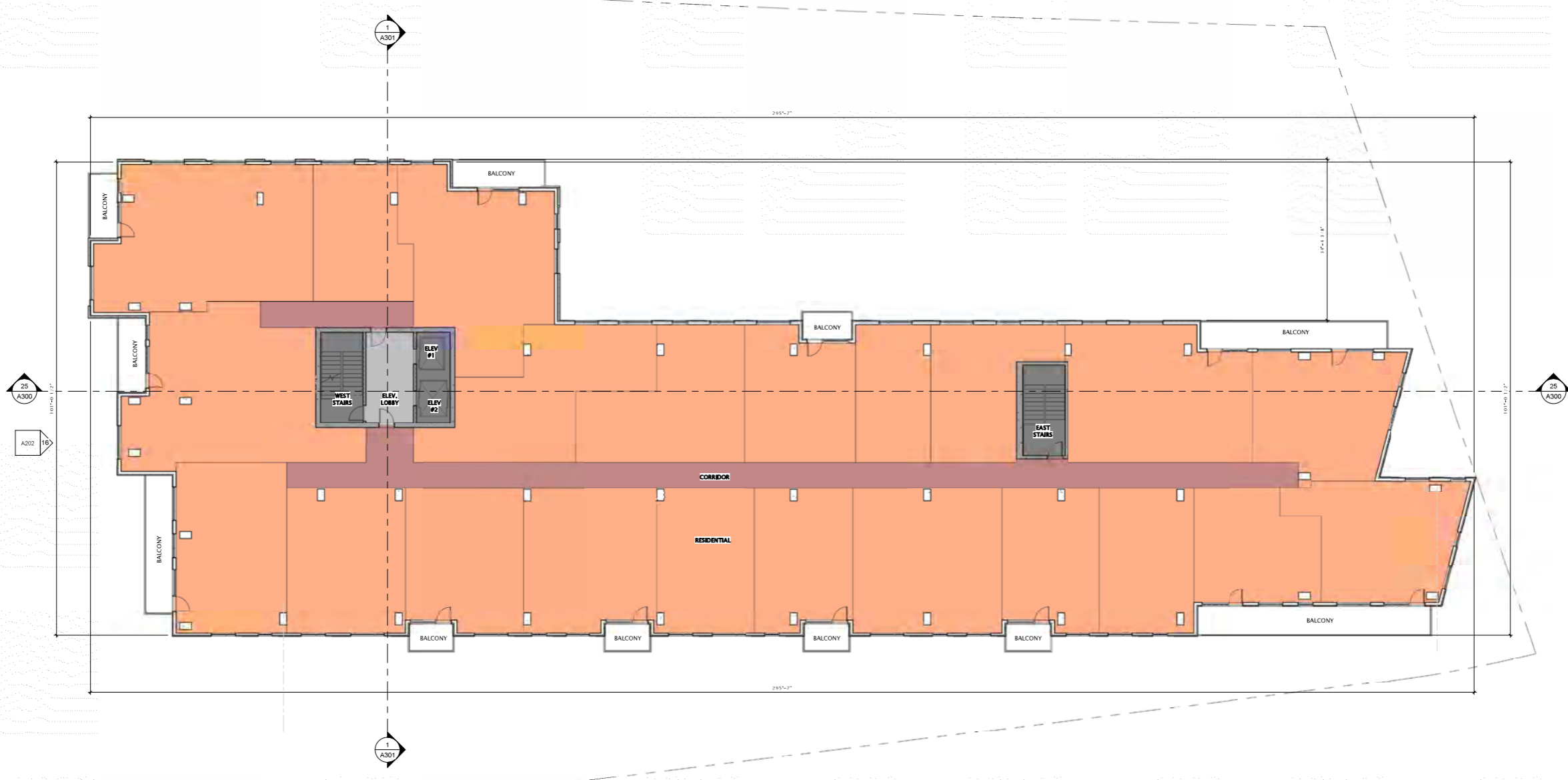
DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
TWELFTH FLOOR PLAN

SHEET NUMBER

A112



- BUILDING USE**
- 100% FIRE RATED SPACE
  - 50% FIRE RATED SPACE
  - COMMON SPACE
  - RESIDENTIAL





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OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

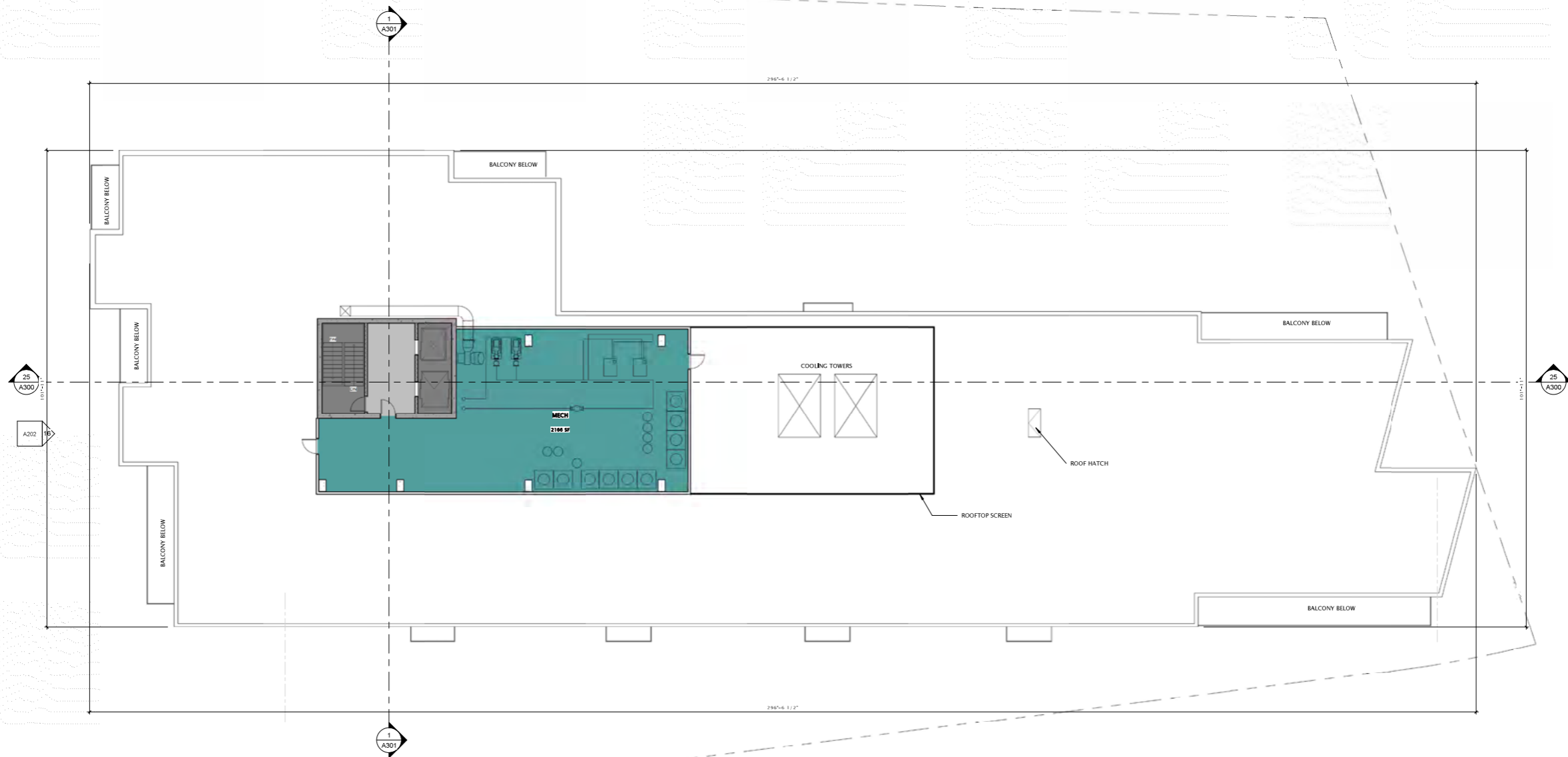
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SHEET TITLE

MECH PENTHOUSE  
AND ROOF PLAN

SHEET NUMBER

A113



**BUILDING USE**  
 ■ 2HR FIRE RATED SPACE  
 ■ 4HR FIRE RATED SPACE  
 ■ BLEED SUPPORT



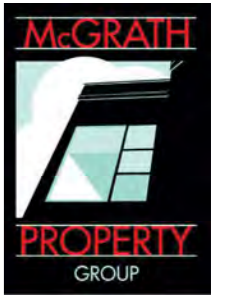
25 ROOF/MECHANICAL PENTHOUSE PLAN  
3/32" = 1'-0"

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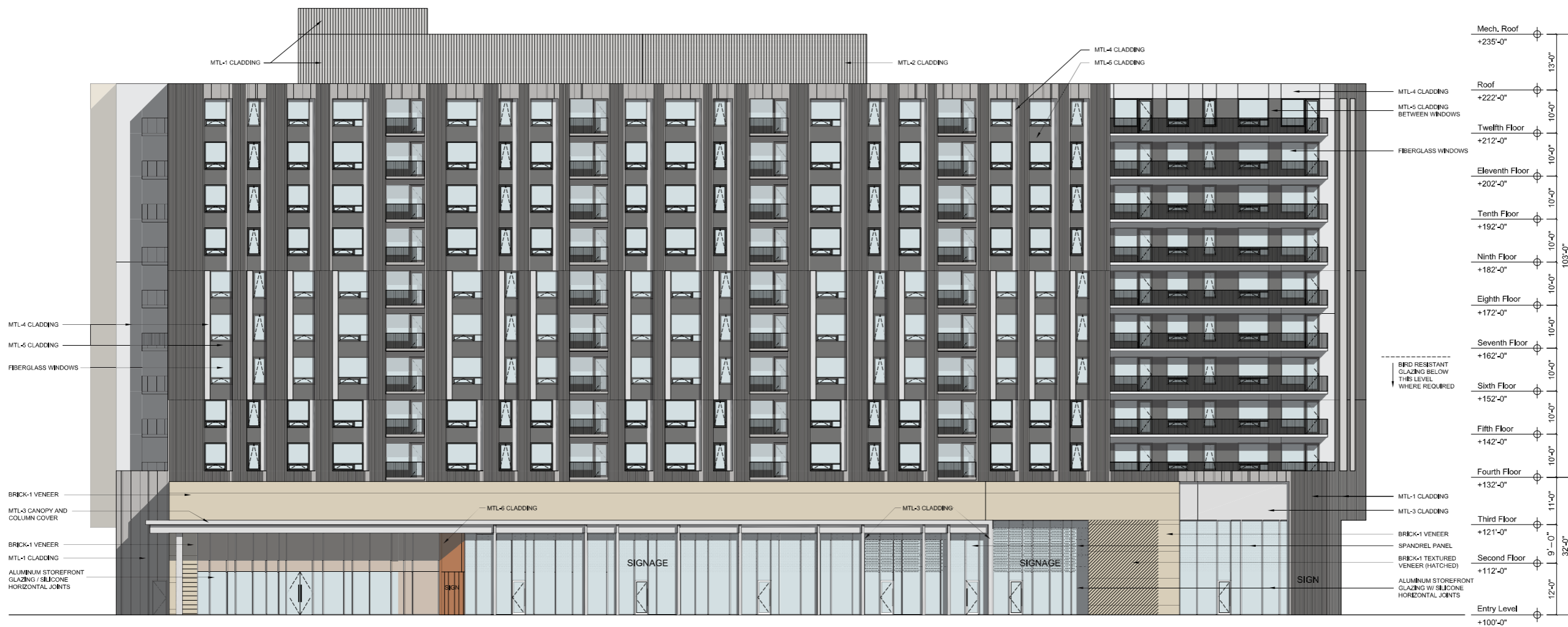


**Eastman Lee**  
Architects  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



Southwest Elevation  
scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS**

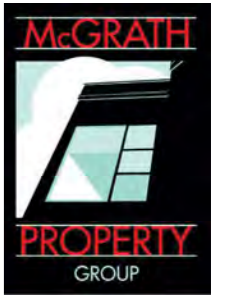
SHEET NUMBER  
**A200**





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MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



Southwest Elevation

scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

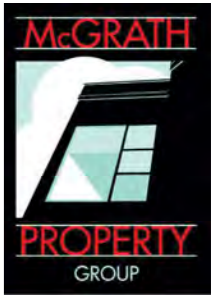
SHEET TITLE  
EXTERIOR ELEVATIONS  
B/W

SHEET NUMBER  
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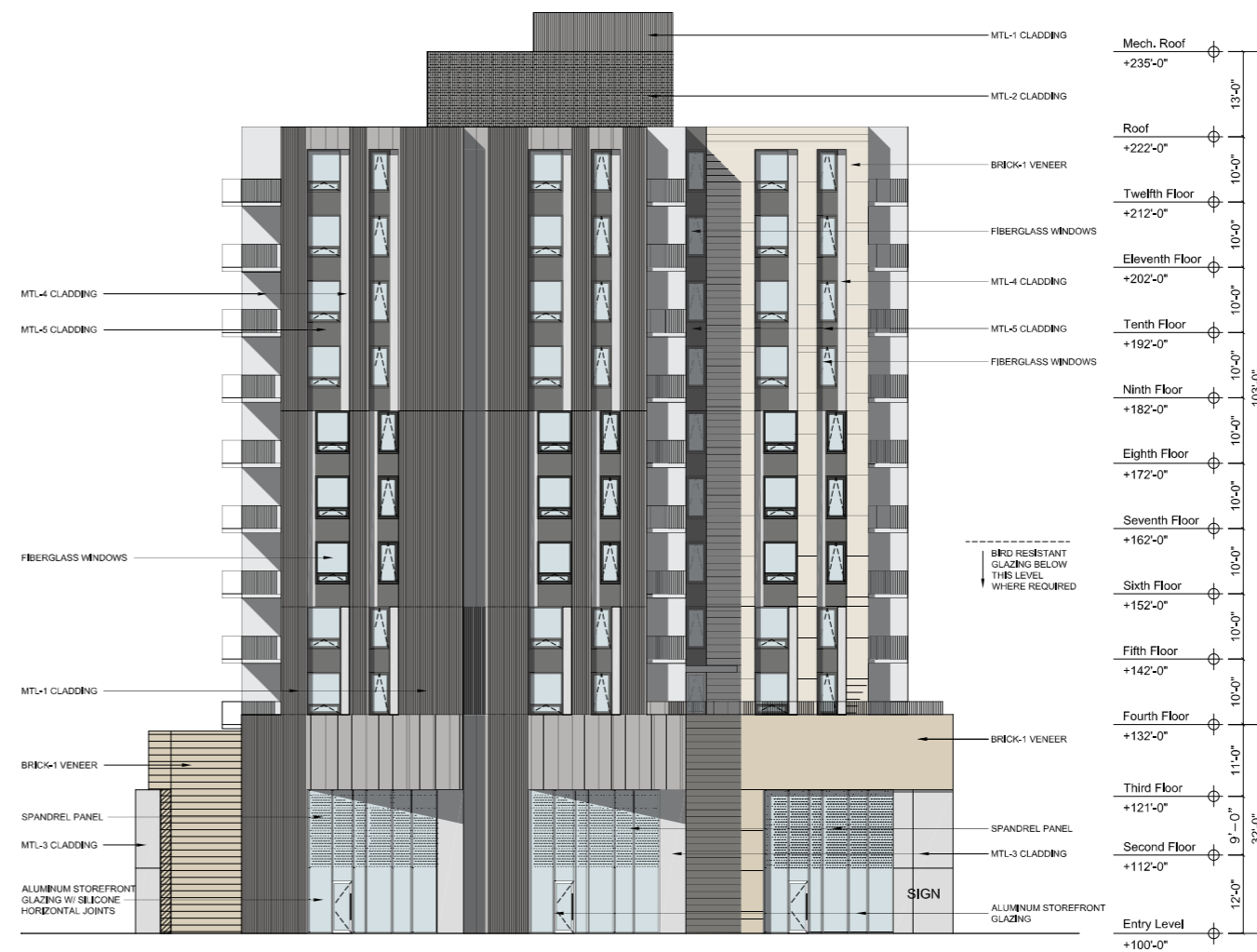


**Eastman Lee**  
Architects  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



**Southeast Elevation**  
scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

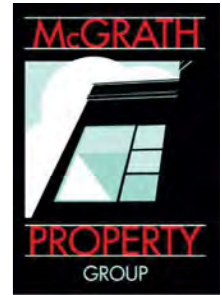
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**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A201**



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JLA PROJECT NUMBER: 21-1201

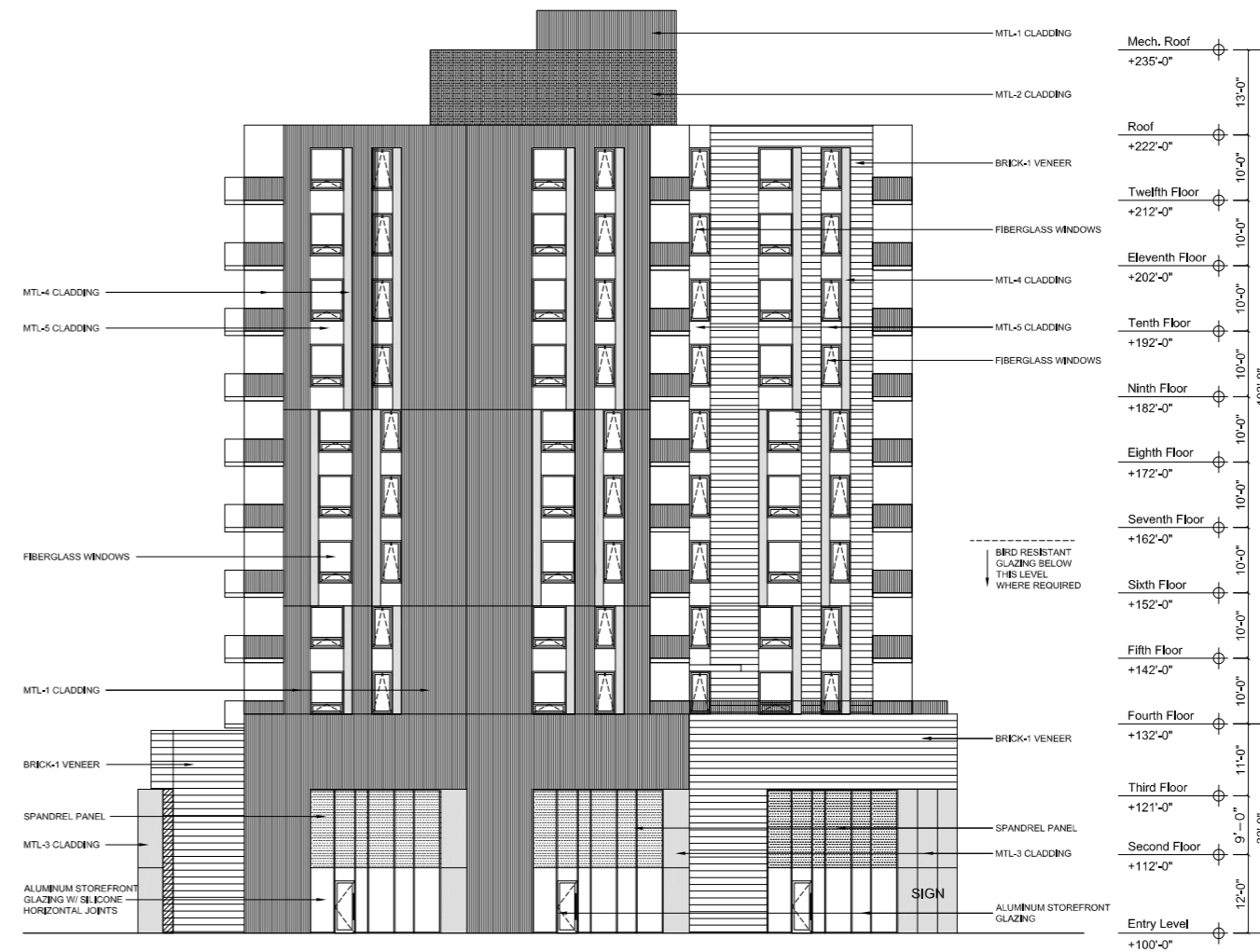


**Eastman Lee**  
Architects  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



**Southeast Elevation**  
scale: 3/32" = 1'-0"

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS  
BW**

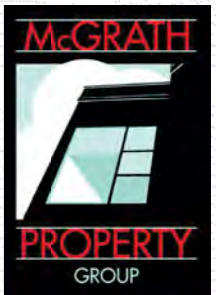
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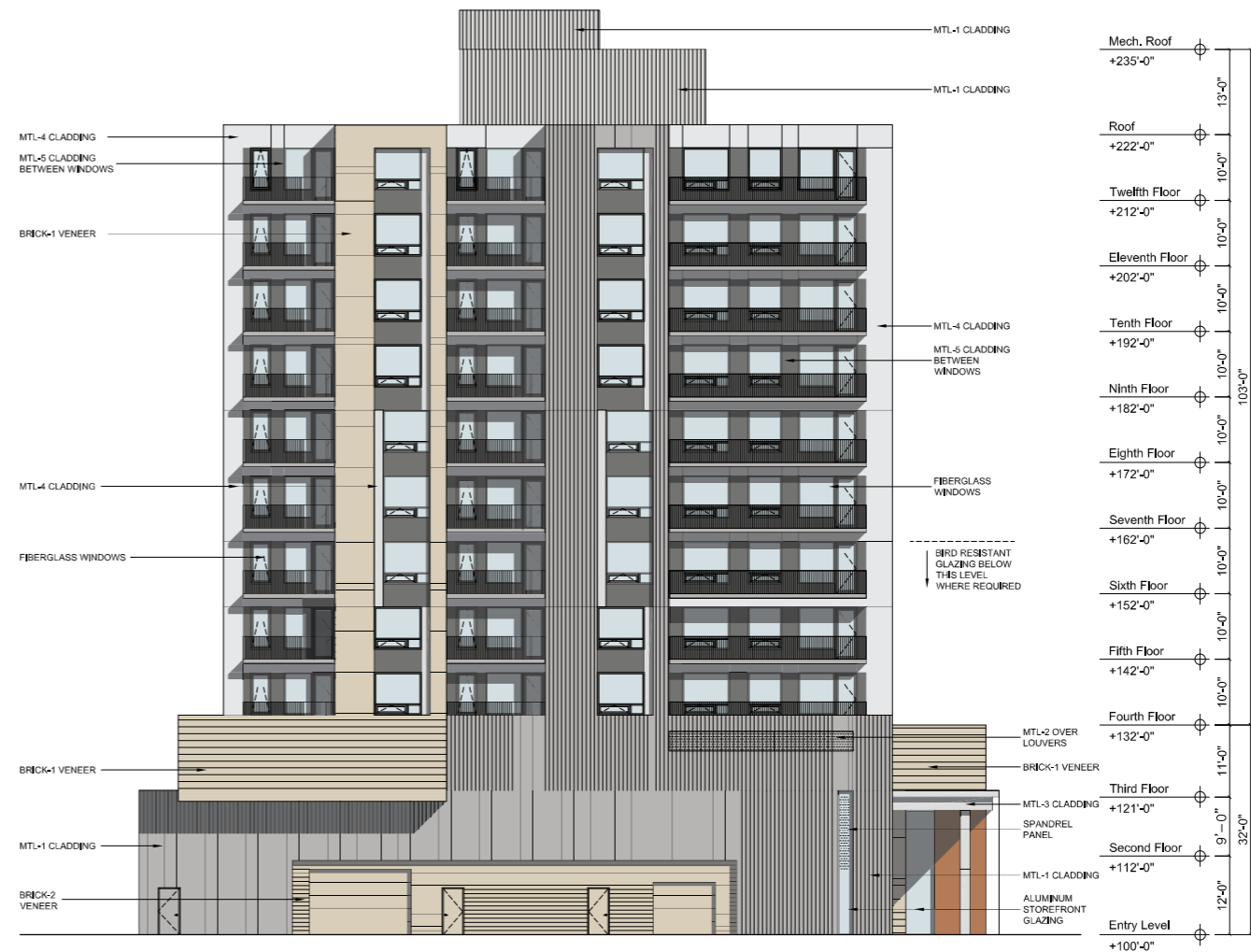
JLA PROJECT NUMBER: 21-1201



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DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

EXTERIOR MATERIALS LEGEND				
TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



Northwest Elevation  
scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

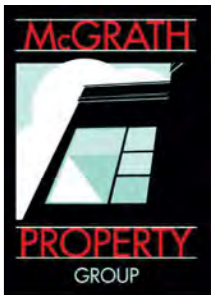
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EXTERIOR ELEVATIONS

SHEET NUMBER  
A202



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DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



Northwest Elevation  
scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

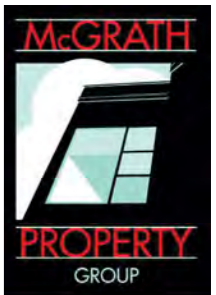
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EXTERIOR ELEVATIONS  
B/W

SHEET NUMBER  
A202BW



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OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



**Northeast Elevation**  
scale: 3/32" = 1'-0"

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

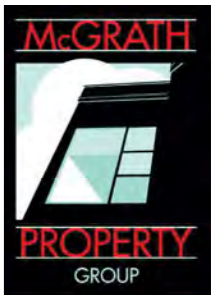
SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A203**



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JLA PROJECT NUMBER: 21-1201

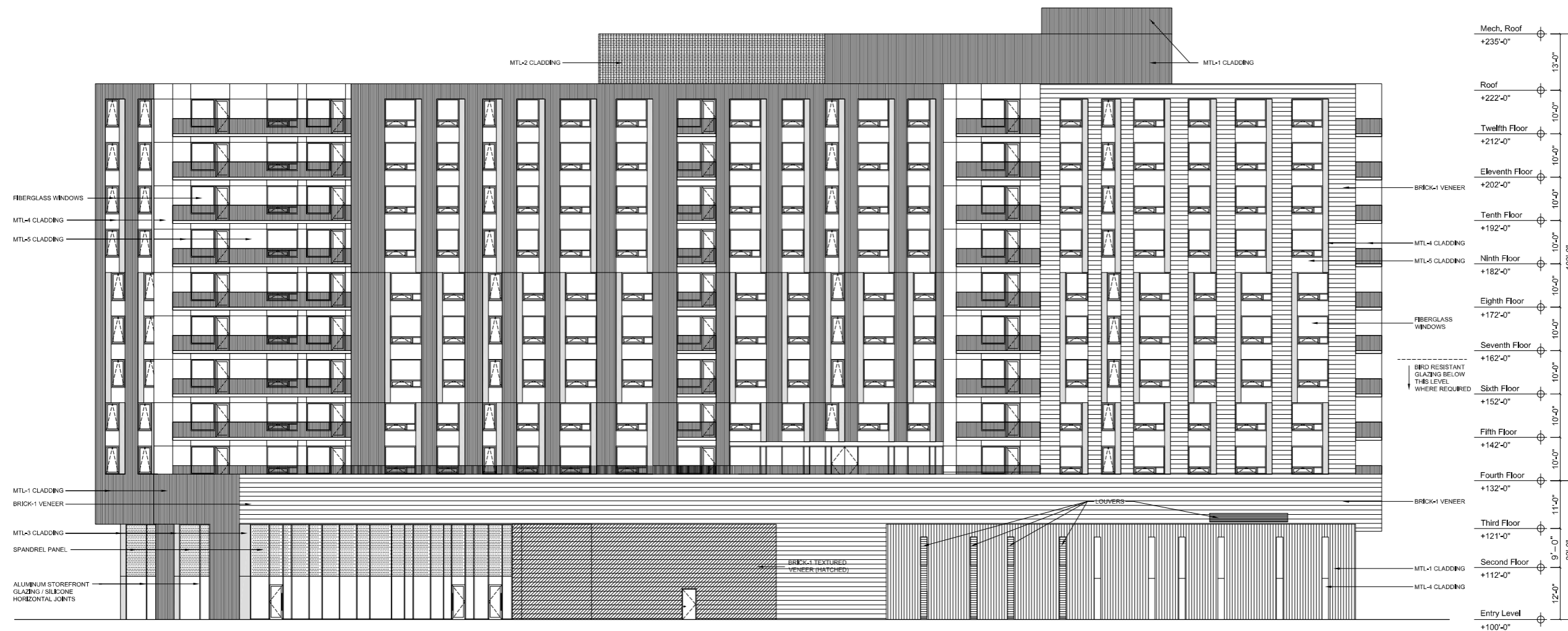


**Eastman Lee**  
Architects  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

**EXTERIOR MATERIALS LEGEND**

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
MTL-1	VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-2	PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS	TBD	PREFINISHED ALUMINUM	WEATHERED ZINC
MTL-3	ALUMINUM COMPOSITE MATERIAL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-4	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	METALLIC SILVER
MTL-5	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	DARK GREY
MTL-6	FLAT METAL PANEL	TBD	PREFINISHED ALUMINUM	COPPER ANODIZED
BRICK-1	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
BRICK-2	BRICK VENEER	TBD	TBD	BUFF COLORED BLEND
WINDOWS	FIBERGLASS WINDOWS	TBD	TBD	GRAY
STOREFRONT	ALUMINUM STOREFRONT	TBD	TBD	CLEAR ANODIZED ALUMINUM
GUARDRAILS	GUARDRAILS	TBD	TBD	CLEAR ANODIZED ALUMINUM



scale: 3/32" = 1'-0"

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS  
B/W**

SHEET NUMBER  
**A203BW**



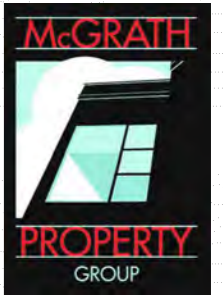




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JLA PROJECT NUMBER: 21-1201



OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

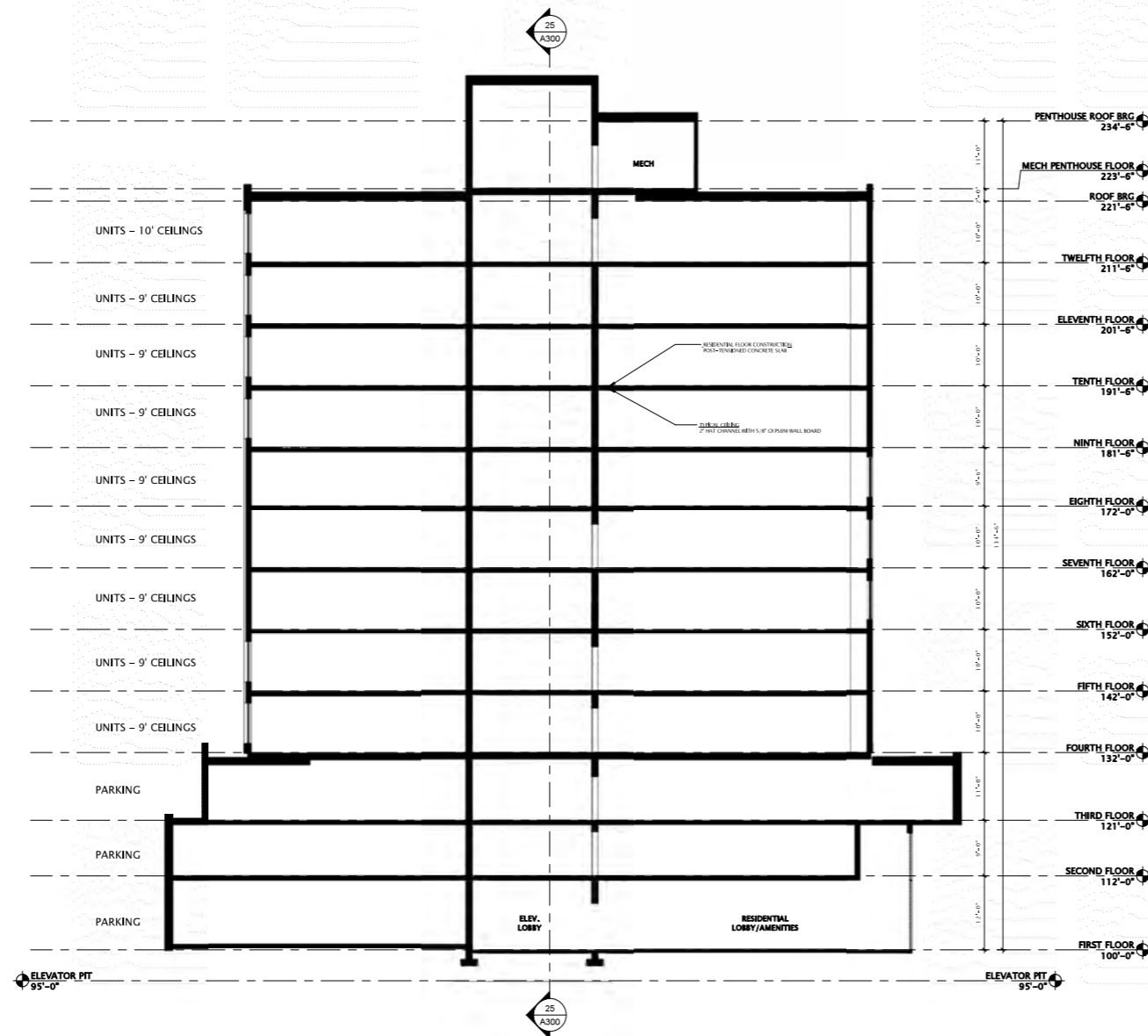
Mark	Description	Date

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A301



1 BUILDING SECTION 2  
3/32" = 1'-0"



View from John Nolen Drive looking north



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MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE: APRIL 11, 2022

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Mark	Description	Date

SHEET TITLE

PERSPECTIVE

SHEET NUMBER

A900



View from John Nolen Drive looking south



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**Eastman Lee Architects**  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

PERSPECTIVE

SHEET NUMBER

A901

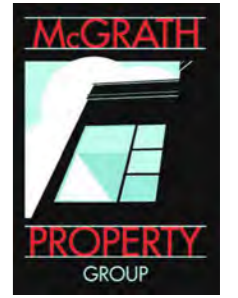


View from East Olin Avenue looking south



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Architects  
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OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
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DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
PERSPECTIVE

SHEET NUMBER  
A902

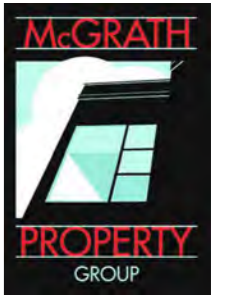


View of main entrance



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**Eastman Lee Architects**  
DESIGN ARCHITECT

OLIN AVENUE  
MIXED-USE  
DEVELOPMENT  
LAND USE APPLICATION

DATE OF ISSUANCE: APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

PERSPECTIVE

SHEET NUMBER

A903

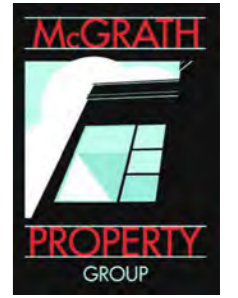


View from East Olin Avenue looking north



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SHEET TITLE  
PERSPECTIVE

SHEET NUMBER  
A904

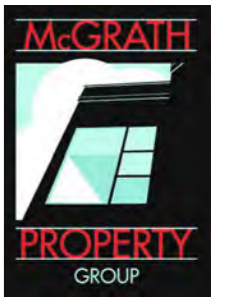


View from John Nolen Drive looking north



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SHEET TITLE

PERSPECTIVE

SHEET NUMBER

A905