



Madison Landmarks Commission APPLICATION

City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

1. LOCATION

Project Address: 1344 E. Washington Ave Aldermanic District: 2

2. PROJECT

Date Submitted: 02/16/2015

Project Title / Description: Pasquals / Tenant improvement - outdoor patio

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): _____

3. APPLICANT

Applicant's Name: Kirk Biodrowski Company: Shulter Architects LLC
 Address: 1918 Parmenter St Ste #2 City/State: Middleton WI Zip: 53567
 Telephone: 608-836-7570 E-mail: kbiodrowski@shulterarchitects.com
 Property Owner (if not applicant): Mullins Group LLC
 Address: 401 N. Carroll St City/State: Madison, WI Zip: 53703

Property Owner's Signature: Brady Mullins Date: 2/16/15

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the Historic Preservation Planner:
 Amy Scanlon
 Phone: 608.266.6552
 Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



February 16, 2015

City of Madison
Department of Planning & Development (Landmarks)
215 Martin Luther King Jr. Blvd.
Room LL.100
P.O. Box 2985
Madison, WI 53701-2985

RE: Landmark building narrative
1344 E. Washington Ave., Madison, WI.

Dear Commission members and Landmarks Staff:

On behalf of Pasqual's and the Mullins Group, LLC, Shulfer Architects, LLC is submitting this narrative and application for approval of the proposed changes to the building located at 1344 E. Washington Ave. We are seeking approval for a change in design to a previously approved outdoor patio at this location, the trash enclosure design, exterior lighting scheme and lights, roof top air units, ground make up air unit, and the exterior doors and hardware.

Proposal Summary:

The patio: The design will be two tiered. The upper tier will be at an elevation equal to the existing first floor plate and be constructed of recycled composite wood material. The second tier will be at parking grade and will be constructed of stamped concrete. The upper patio will be enclosed with a 3'-6" railing. The lower patio with a 2'-8" stamped concrete wall to match the brick on the building façade, that continues to run along the lower patio. The railing will be a galvanized painted steel rail with horizontal steel rods (see sheet A3.1 for further details). At about every 10'-0" a steel pipe painted to match the railing, up to 10'-0" above the upper patio, will be placed to support the decorative string lights (see attachments for lighting specs).

Trash enclosure: The enclosure will be a painted steel frame with wood slats between the frame painted to match the existing attached structure. The existing rear yard enclosure screens the other side and the new makeup air unit.

Lighting: New lighting fixtures were chosen to keep with the style of the building while providing ample light for safety and convenience.

MEP Equipment: Two new roof top units were required for this building. Their location was selected to minimize visual impact. One unit was placed mid-building rear of centerline of the concrete building addition, along its east end. Horizontal ductwork projects easterly over the concrete frame to the wood frame parapet wall and drops into the sloped shingled mid attic section as illustrated on Sheet A 3.3. The RTU and ductwork are barely visible. No screening is proposed for this unit to minimize its outline. The second unit is located above the connection between the original



landmark building and the back “shed” (not part of Landmark building) with a duct that wraps over the parapet on the Northeast side and down the sloped roof building. The screen will be framed in steel with wood planks between the frame, of the same dimension and color as the existing “shed”.

Exterior doors: The existing exterior doors are not original to the building, of inferior quality and a style that does not match the style of the building. We are proposing to replace all of the exterior doors with high quality insulated wood doors that matches the style of the building.

Proposed use:

The proposed use of the building will be to house Pasqual’s corporate offices, a southwestern restaurant, and lounge.

Project Team:

The key individuals and firms involved in this planning and design process include:

Tenant:
Pasqual’s
C/O Ben Roberts
2831 Parmenter St
Middleton, WI. 53562

Architect:
Steve Shulfer, AIA
Shulfer Architects, LLC
1918 Parmenter St., Suite 2
Middleton, WI 53562

Building General Contractor:
Lake Country
C/O Brett Steele
161 Horizon Dr. #103
Verona, WI

Owner:
Mullins Group, LLC
C/O Brad Mullins
401 N. Carroll St.
Madison, WI

Please feel free to contact us with any questions you may have regarding this request.

Respectfully,

Kirk Biodrowski, Assoc. AIA.
Shulfer Architects, LLC

kbiodrowski@shulferarchitects.com

PASQUAL'S

TENANT IMPROVEMENT

MADISON, WISCONSIN

PROJECT DATA:

LOCATION: 1344 E. WASHINGTON AVE (AKA 1356 E. WASHINGTON AVE)
MADISON, WI.

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2009 INTERNATIONAL BUILDING CODE

OCCUPANCY TYPE = "A-2" ASSEMBLY (RESTAURANT)

CONSTRUCTION TYPE:
TYPE "VB"
2 STORY
SPRINKLERED

OCCUPANCY:

EMPLOYEES @ 100/200 SF GROSS	= 34 OCC.
RESTAURANT	= 65 OCC
LOUNGE	= 81 OCC
BANQUETTE	= 110 OCC
INTERIOR BLDG SUB-TOTAL	= 290 OCC
PATIO	= 97 OCC
TOTAL OCCUPANTS	= 387 OCC.

AREA CALCULATIONS:

FIRST FLOOR:	5,937 GSF
SECOND FLOOR:	4,165 GSF
BASEMENT:	2,905 GSF
BUILDING AREA:	13,007 GSF

PLUMBING:

REQUIRED:

MEN	TOILET/UR.	= 3,	LAV = 1
WOMEN	TOILET	= 3,	LAV = 1
TOTAL REQ'D		= 6	= 2

PROVIDED:

MEN	TOILET/UR.	= 3.5,	LAV = 2.5
WOMEN	TOILET	= 4.5,	LAV = 2.5
TOTAL PROVIDED		= 8	= 5

FIRE CONTROL:

THIS IS A FULLY SPRINKLERED BUILDING

EXIT TRAVEL DISTANCE:

FULLY-SPRINK. BLDG = 250 FT MAX TRAVEL
75 FT COMMON PATH OF TRAVEL/30 FT FROM ANY FIXED SEAT

EXITS:

TWO EXISTS REQUIRED

ACCESSIBILITY:

PER ANSI A117.1

GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEPED AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN WITH ARCHITECT.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.

SHEET INDEX:

- A0.1 COVER SHEET
- A0.2 SYMBOLS & ABBREVIATIONS
- ARCHITECTURAL
- A1.1 SITE PLAN
- A2.1 FIRST FLOOR DEMO PLAN
- A2.2 SECOND FLOOR & BASEMENT DEMO PLAN
- A2.3 FIRST FLOOR PLANS
- A2.4 SECOND FLOOR PLANS
- A3.1 PATIO ELEVATION & PATIO FOUNDATION AND FRAMING PLANS
- A3.2 EXTERIOR MEP ELEVATIONS
- A3.3 EXTERIOR ELEVATIONS
- A7.1 FINISH FLOOR PLANS
- A8.1 INTERIOR ELEVATIONS
- A9.1 REFLECTED CEILING & LIFE SAFETY PLANS
- A11.1 FINISH, DOOR SCHEDULES & P-TYPES

PROJECT LOCATION MAP:



PROJECT SITE

TENANT LOCATION:



PARCEL 1356 BOUNDARY

TENANT LOCATION

CONTACTS:

TENANT:
PASQUAL'S
2831 PARMENTER ST
MIDDLETON, WI

BEN ROBERTS
608-445-1676

OWNER:
MULLINS GROUP, LLC
401 N. CARROLL ST
MADISON, WI

BRAD MULLINS
608-229-5902

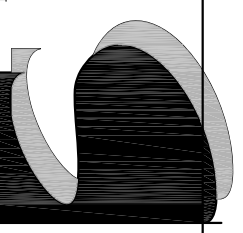
ARCHITECT:
SHULFER ARCHITECTS, LLC
1918 PARMENTER ST., STE 2
MIDDLETON, WI 53562

KIRK BIODROWSKI
608-836-7570

GENERAL CONTRACTOR:
LAKE COUNTRY
161 HORIZON DR. #103
VERONA, WI

BRETT STEELE
608-225-1319

1918 PARMENTER ST., SUITE 202
MIDDLETON, WI 53562
TELEPHONE: 608.836.7570
FAX: 608.836.7570

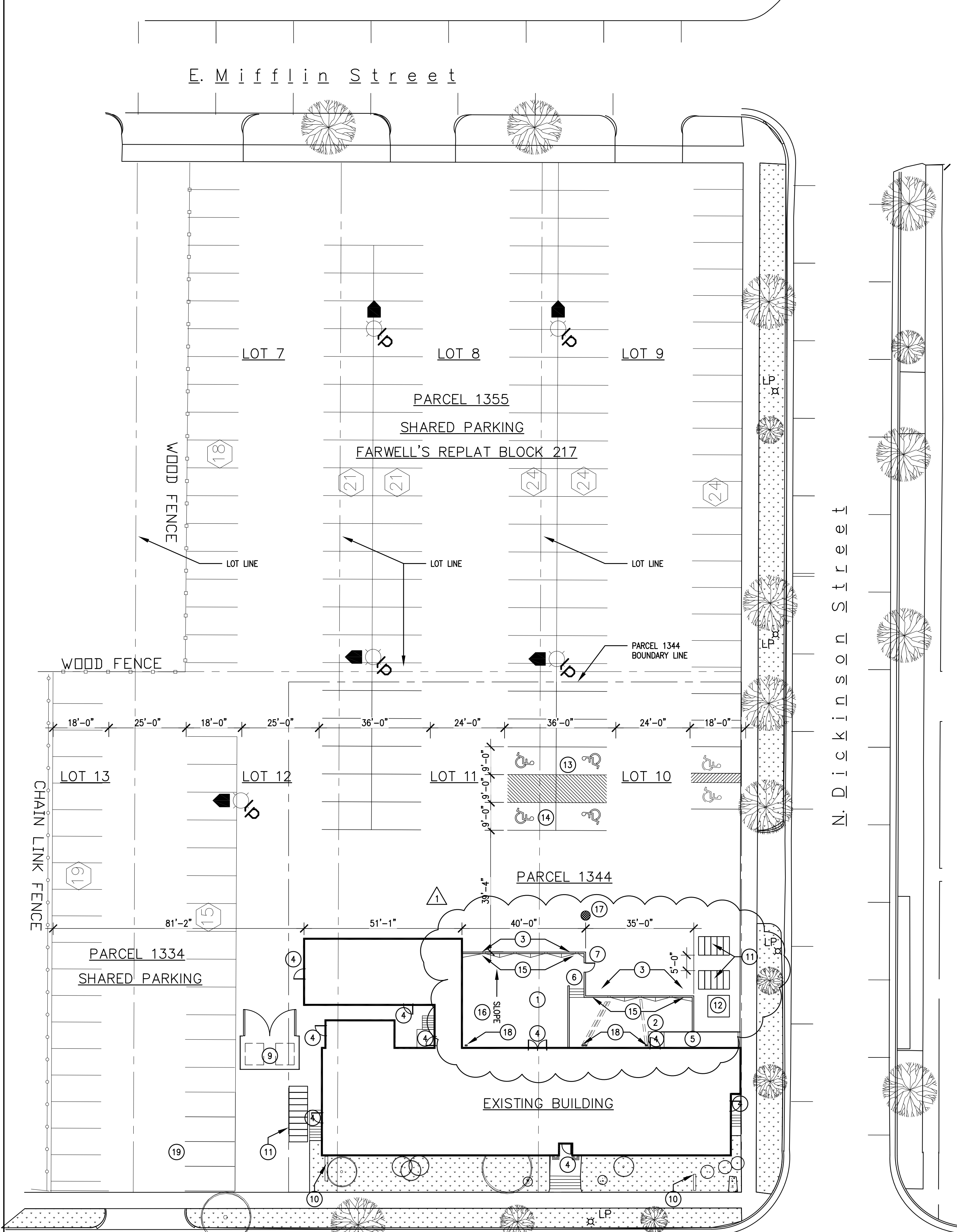


PASQUAL'S
TENANT IMPROVEMENT
1344 E. WASHINGTON AVE
MADISON, WISCONSIN

COVER SHEET

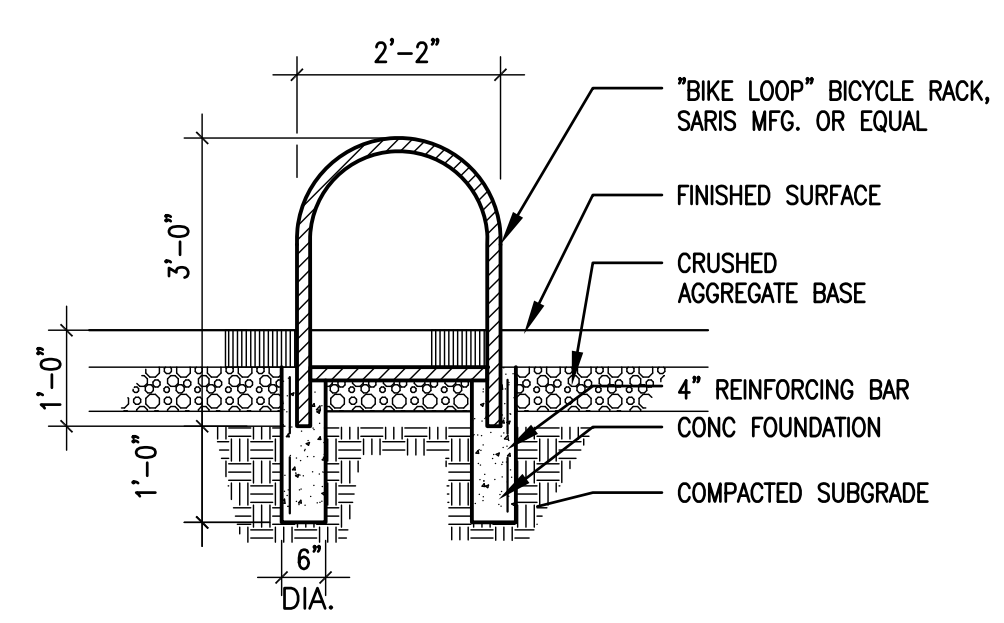
11/04/2014
FOR CONSTRUCTION
11/24/2014
UPDATE
02/02/2015
FOR APPROVAL
02/16/2015
CB01

A0.1

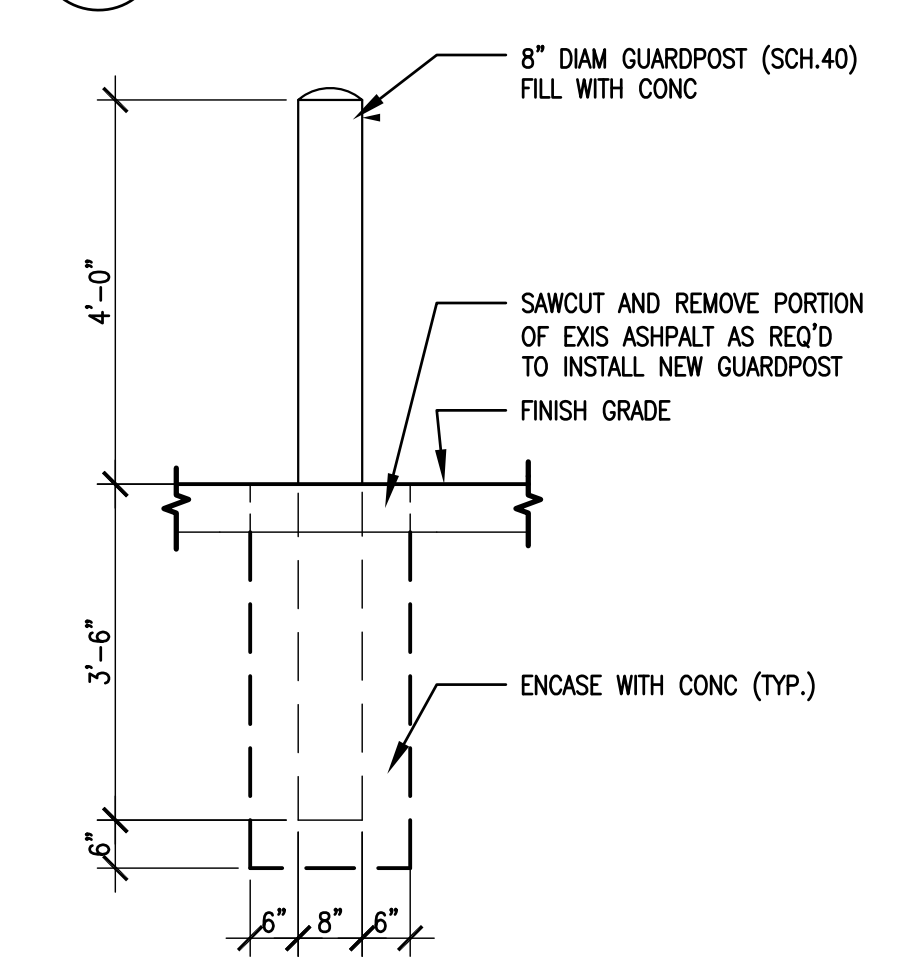


1 SITE PLAN
1" = 20'-0"

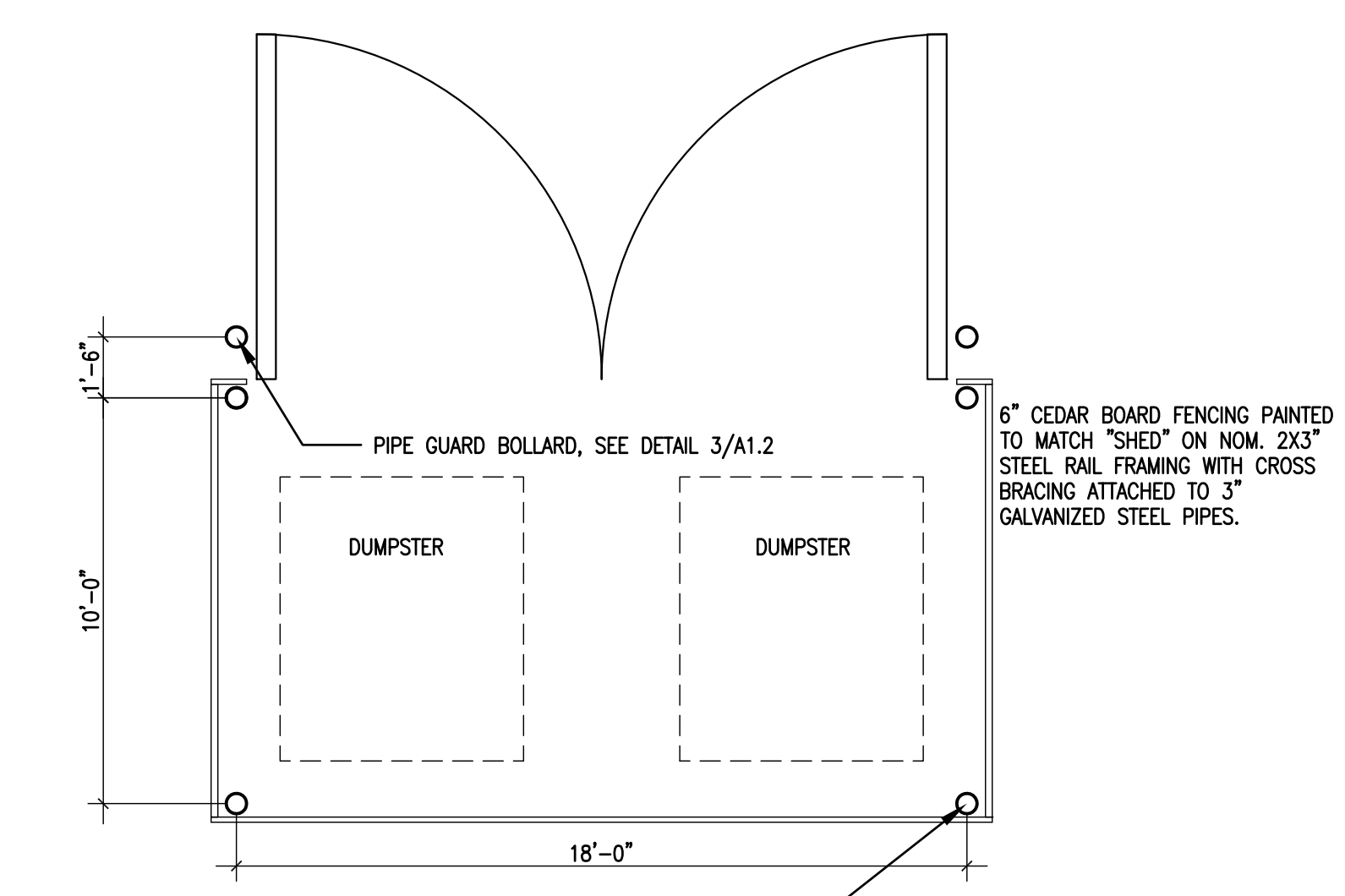
E. WASHINGTON AVE



2 BIKE RACK
1/2" = 1'-0"



3 BOLLARD
1/2" = 1'-0"



4 TRASH ENCLOSURE ELEVATION AND PLAN
1/4" = 1'-0"

SITE INFORMATION

1. ADDRESS: 1344 EAST WASHINGTON AVENUE, MADISON, WI
2. LEGAL DESCRIPTION: THE SOUTHEAST 147 FEET OF LOT 10 AND LOT 11 AND ALSO THE SOUTHEAST 147 FEET OF THE NORTHEAST 11 FEET OF LOT 12, ALL IN BLOCK 217, FARWELL'S REPLAT OF A PART OF THE VILLAGE OF MADISON, IN THE CITY OF MADISON, DANE COUNTY WISCONSIN.
3. PARCEL NUMBER: 0709-131-0213-6
4. SEWER AND WATER METERED SEPARATELY PER NUMBER: 001969004
5. DECLARATION OF SHARED PARKING: DATED 02/03/2015 PER DOCUMENT NUMBER: 5126988

HATCH PATTERNS KEY:

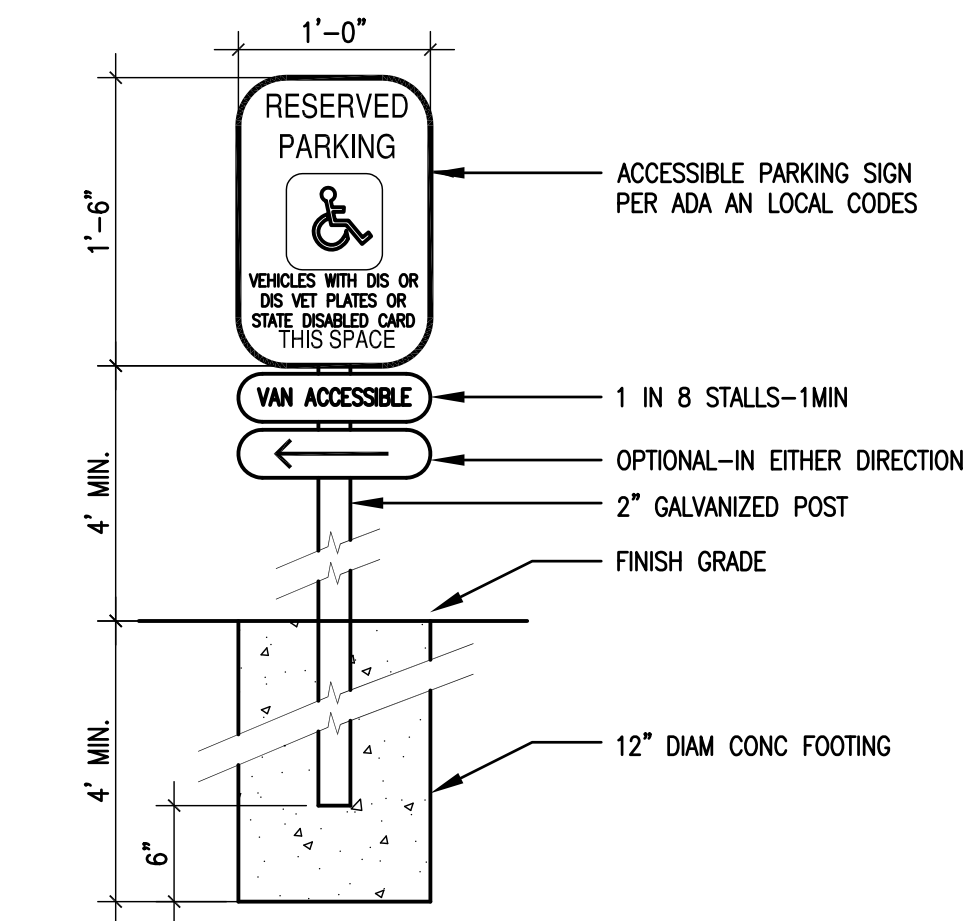
	LANDSCAPE AREAS
	BUILDING OUTLINE

SITE PLAN GENERAL NOTES

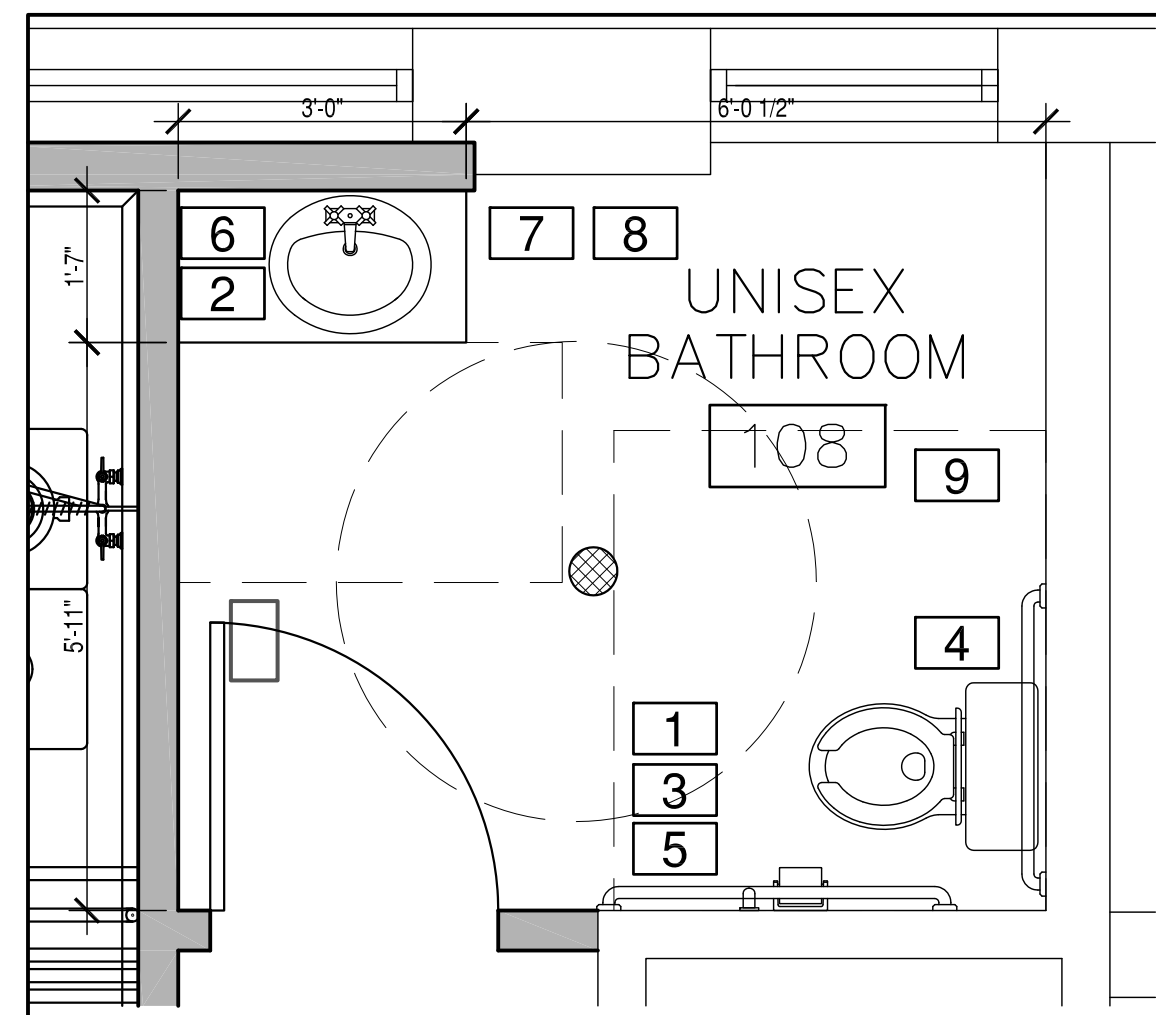
1. SITE CONSIDERATIONS ONLY REGARDING PARCEL 1356
2. HISTORIC LANDMARK BUILDING. CHANGES TO THE EXTERIOR OF THE BUILDING TO INCLUDE:
 - A. NEW PATIO, SEE SHEET A3.1 FOR ELEVATIONS
3. EXISTING PARKING STALLS TO REMAIN WITH EXCEPTION OF REMOVING SIX STALLS FOR NEW PATIO, AND EXPANDING ADA PARKING TO THE SOUTH OF THE BUILDING
4. EXISTING LIGHTING TO REMAIN WITH THE EXCEPTION OF NEW LIGHTING AT THE PATIO AREA
5. ALL EXISTING VEGETATION TO REMAIN, ANY CHANGES TO LANDSCAPING WILL BE SUBMITTED SEPARATELY
6. EXISTING SIGN LOCATIONS TO REMAIN, ANY CHANGES TO SIGNAGE WILL BE SUBMITTED SEPARATELY
7. PARKING: ZONED TE - NO MINIMUM/ MAXIMUM PARKING REQUIRED. BUILDING HAS AGREEMENT TO UTILIZE SURROUNDING PARKING STALLS

SITE PLAN KEYED NOTES

1. NEW OUTDOOR PATIO, AT GRADE (TOTAL PATIO AREA <10% OF TOTAL PARCEL AREA) SLOPED AT NO GREATER THAN 1:48 TOWARD THE PARKING LOT AND AWAY FROM THE EXISTING BUILDING
2. NEW OUTDOOR PATIO AT ~2'-6" ABOVE GRADE
3. DECORATIVE STAMPED CONC. WALLS, SEE SHEET A3.1
4. EXISTING EXTERIOR DOOR LOCATION
5. EXISTING ADA RAMP TO REMAIN, NEW RAILING INSTALLED TO MEET CURRENT ADA CODE
6. NEW STAIRS FOR PATIO
7. EMERGENCY ONLY ACCESS DOOR THROUGH FENCED PATIO, W/ INTERNAL ALARM SYSTEM
8. NOT USED
9. NEW TRASH ENCLOSURE, PROPERLY SCREENED
10. EXISTING SIGN LOCATIONS
11. POTENTIAL BICYCLE PARKING (RACK) LOCATIONS (19 TOTAL STALLS 5% OF TOTAL OCCUPANTS), FINAL BICYCLE RACK SELECTION WILL CONFORM WITH CITY OF MADISON REQUIREMENTS, SEE DETAIL 2/A1.2
12. NEW TRANSFORMER, PROPERLY SCREENED (BY OTHERS), MIN DISTANCE 10'-0" FROM BUILDING, EXACT LOCATION TBD, NOT PART OF THIS APPROVAL
13. RE-STRIPING AT THIS EXISTING ADA STALL LOCATION, MARKED WITH APPROVED ADA SIGN (MIN 12"x18", AND 48" ABOVE GRADE), SEE DETAIL 5/A1.2
14. VAN ACCESSIBLE STALL
15. CRICKET CONC. PAVING AROUND CONC. PLANTERS TO HELP DIRECT MOISTURE ACCUMULATION TOWARDS EXISTING STORM SEWER DRAIN
16. SLOPE CONC. PATIO TOWARDS STORM SEWER DRAIN AT MIN 1/8" PER FOOT
17. EXISTING STORM DRAIN LOCATION, TO REMAIN
18. EXISTING ROOF DRAIN LOCATIONS, CURRENTLY GRAVITY DRAIN TO STORM SEWER. EXTEND DOWNSPOUT UNDER RAISED PATIO TO DIRECT WATER AWAY FROM PATIO AND TOWARDS EXISTING STORM SEWER.
19. RE-STRIPING IN THIS AREA, ELIMINATE ADA DESIGNATED STALLS

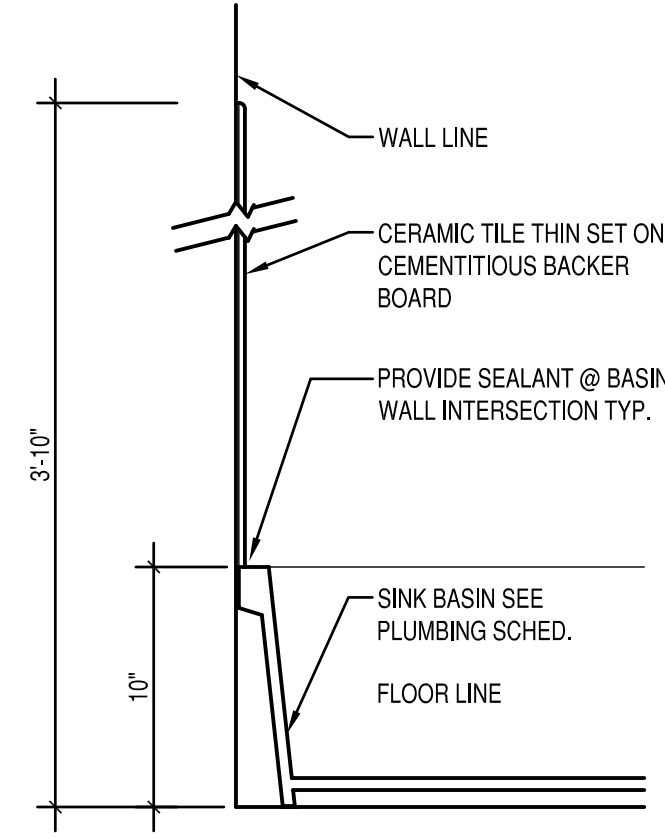
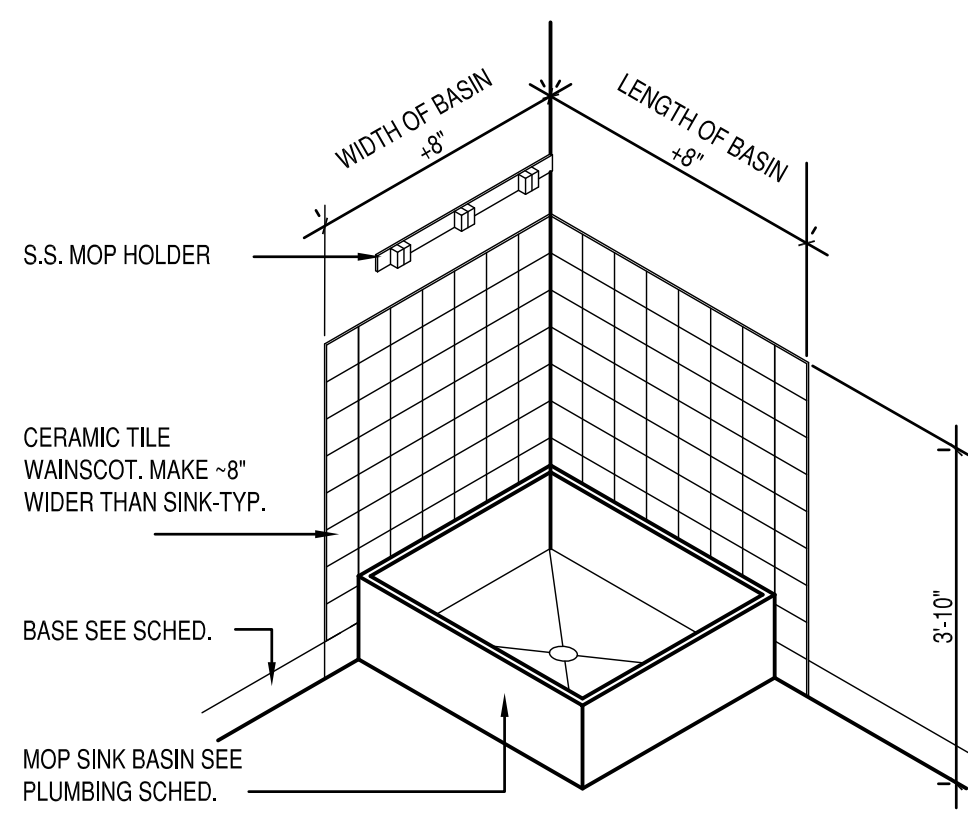


5 ACCESSIBLE PARKING SIGN
1/2" = 1'-0"



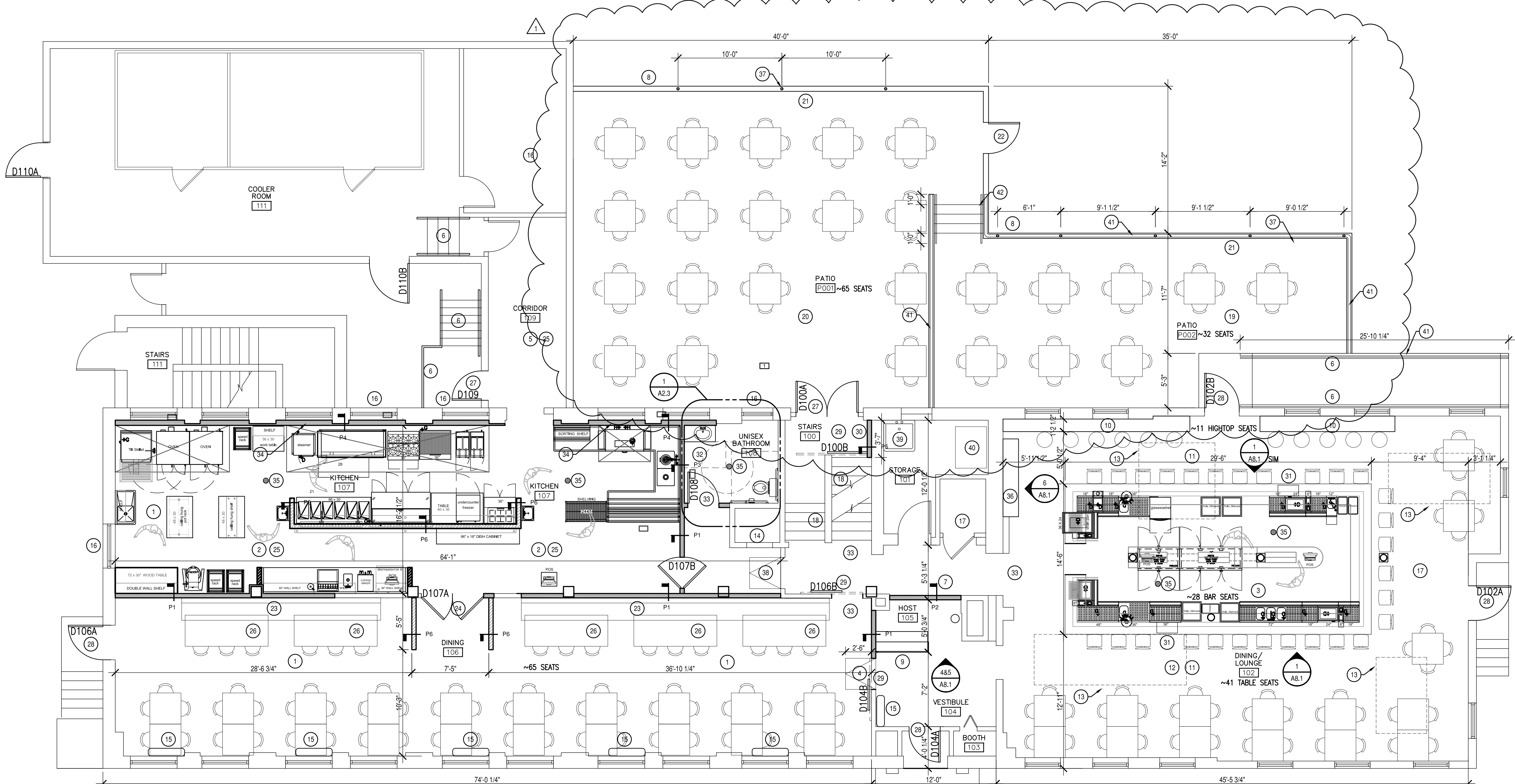
TOILET ROOM ACCESSORIES SCHEDULE
(SEE A0.2 FOR MOUNTING HEIGHTS)

1	WALL MOUNTED SANITARY NAPKIN WASTE RECEPT.
2	COUNTER TOP LIQUID SOAP DISPENSER
3	SURFACE MOUNTED TOILET TISSUE DISPENSER
4	36" LONG GRAB BAR HORIZONTAL
5	42" LONG GRAB BAR HORIZONTAL & 18" VERTICAL
6	WALL MOUNTED MIRROR
7	PAPER TOWEL DISPENSOR
8	WASTE RECEPTACLE
9	ROBE HOOK



1 ENLARGED BATHROOM PLAN
1/2"=1'-0"

3 MOP SINK AXON
1/4"=1'-0"



2 FIRST FLOOR PLAN
3/16"=1'-0"

GENERAL PLAN NOTES

1. PAINT ALL EXPOSED GWB WALLS (USE LOW VOC PAINT), COLOR TBD
2. PAINT ALL EXPOSED CEILINGS (USE LOW VOC PAINT), COLOR TBD
3. PATCH AND REPAIR EXISTING WALLS WHERE NECESSARY
4. PATCH AND REPAIR LOUNGE WALLS WHERE WOOD WAINSCOT HAS BEEN REMOVED
5. MOVEABLE TABLE AND CHAIR LOCATIONS ARE FOR ILLUSTRATIVE PURPOSES. EXACT CONFIGURATION WILL BE DETERMINED BY THE TENANT

FIRST FLOOR PLAN NOTES:

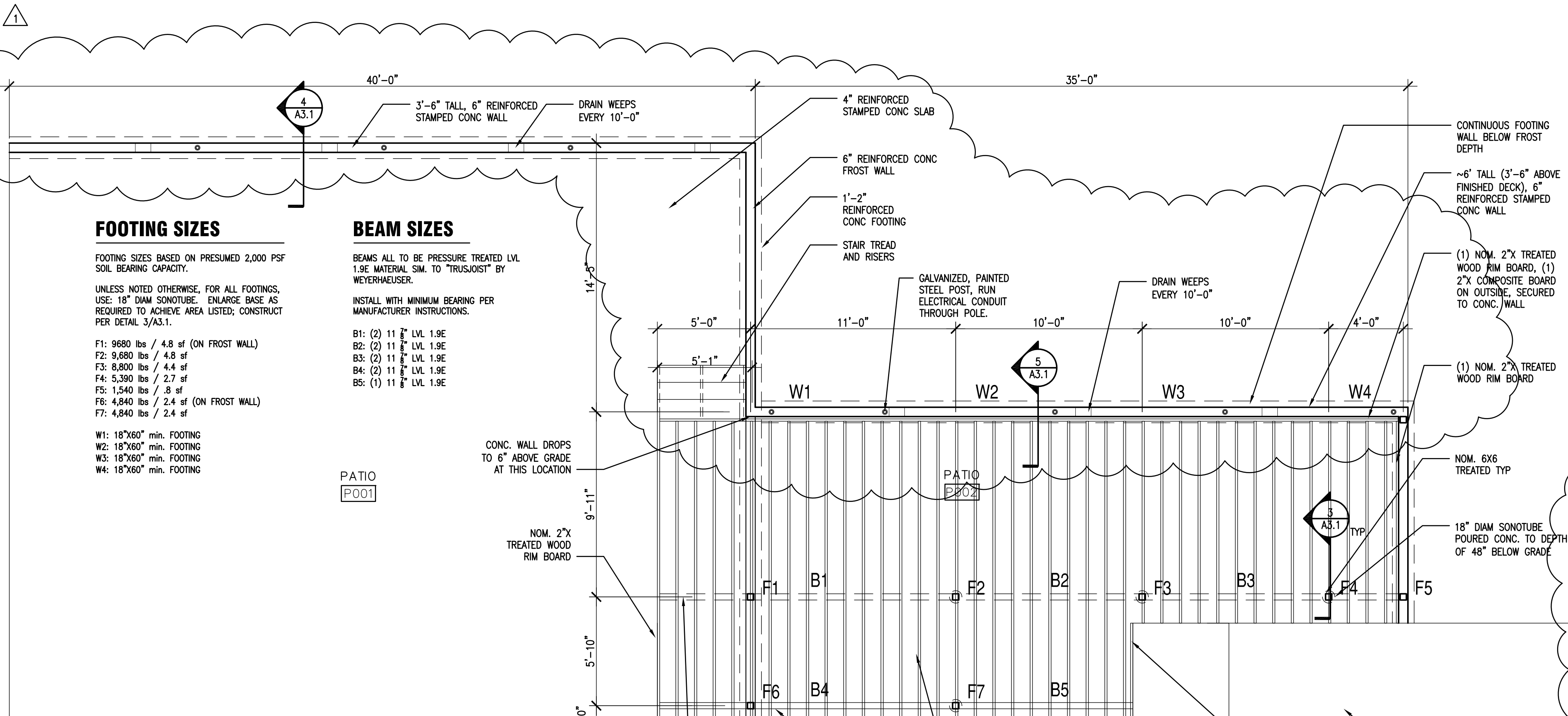
1. CLEAN AND BUFF COBBLESTONE FLOOR AND PREP FOR SELF-LEVELING CLEAR SEALANT. ALL COBBLESTONE (INCLUDING KITCHEN)
2. NEW QUARRY TILE FLOOR IN KITCHEN. COLOR/STYLE TBD
3. NEW BAR LOCATION. REPAIR SUBFLOOR AS REQUIRED. RUBBER FLOOR IN BAR AREA. FOR BAR CONSTRUCTION SEE DETAIL 182/A8.1
4. CUT NEW SLOPED SURFACE AT NEW DOOR LOCATION MAX 1:12. RISE 2"
5. INSPECT EXISTING STRUCTURAL AND WALL CONDITIONS. BUILD NEW WALLS, ROOF, FLOOR AS REQUIRED. NEW QUARRY TILE FLOOR. FRP ON WALLS TO CEILING. NEW FINISHED AND PAINTED GWB CEILING
6. NEW GUARDRAIL HANDRAILS TO MEET CODE. TWO HANDRAILS EACH SIDE OF STAIRS. MIN GUARDRAIL HEIGHT = 3'-6". HANDRAIL HEIGHT @ 3'-0". BOTH W. MAX 4" OPENINGS. EXTEND HANDRAILS 1'-0" FROM END OF TOP AND BOTTOM STAIRS
7. WALL WITH PASS-THROUGH WINDOW. SEE DETAIL 5/A8.1
8. 6" STAMPED CONC. WALLS TO TOP OF RAMP LANDING - 2'-8" VERIFY IN FIELD WITH 2" CONC. CAP. SEE DETAILS 485/A3.1
9. NEW GREETERS STATION. CONSTRUCTED USING RECLAIMED WOOD WHERE POSSIBLE. SEE DETAIL 485/A8.1 FOR DESIGN CONCEPT
10. NEW SOLID WOOD HIGHTOP TABLES. WITH STEEL POSTS
11. NEW HVAC UNIT SERVING LOUNGE. PAINTED HVAC SPIRAL DUCT DROPPED AND EXTENDING EAST AND WEST FROM EXISTING CEILING OPENINGS IN INDICATED LOCATION
12. PAINT EXISTING PVC PLUMBING PIPING IN CEILING TO MASK PIPING
13. "CLOUD" CEILING. SEE A8.1 FOR MORE INFORMATION
14. DUMBWAITER (NOT IN USE)
15. CLEAN AND PAINT REGISTERS
16. FROSTED OR ETCHED GLASS IN KITCHEN AND BATHROOM WINDOWS
17. PLATFORM LIFT. VERIFY WITH MFG THAT IT MEETS CURRENT ADA REQUIREMENTS
18. RUBBER STAIR TREADS ON STAIRS
19. NEW RAISED PATIO (TO DOOR STOOP - 2'-8" HIGH). COMPOSITE DECKING WITH POURED FOOTINGS
20. NEW 4" THICK REINFORCED POURED IN PLACE STAMPED CONCRETE PATIO. SLOPED TOWARD PARKING AREA W/ FROST WALL
21. NEW STEEL PIPE RAILING WITH HORIZONTAL STAINLESS STEEL CABLE. SEE ELEVATION DETAIL 1/A3.1
22. SWINGING GATE DOOR WITH ELECTRONIC SIGNAL WHEN OPENED
23. PAINTED EXPOSED SPIRAL DUCT WITH INTEGRATED VENTS TO BE PLACED ALONG INSIDE WALL. (PAINTED TO MATCH CEILING)
24. NEW "ELIASON" TYPE DOOR
25. NEW VINYL ACT CEILING IN KITCHENS
26. HIGH-BOOTH SEATING SEE DETAIL 3/A8.1
27. NEW DOORS. VERIFY WITH CITY OF MADISON LANDMARKS COMMISSION CONCERNING DOOR TYPE, MATERIAL, STYLE, AND COLOR
28. NEW 3'-4" X 7'-0" PAINTED, INSULATED HM DOOR AND FRAME. VERIFY COMPLIANCE WITH CITY OF MADISON LANDMARKS COMMISSION
29. NEW BARN DOOR. STYLE AND MFG TBD (QUOTE D100B AS ADD ALTERNATE)
30. FURR-OUT WALL FROM EXISTING STOOP TO BOTTOM OF DECK. JUST TO THE EDGE OF THE FIRST STEP. (QUOTE AS ADD ALTERNATE WITH D100B)
31. BAR. BUMP-OUT LOCATION
32. RE-USE VANITY AND MIRROR FROM EXISTING BATHROOM. PARALLEL APPROACH TO SINK
33. REUSE 3'-0" WIDE SALVAGED DOOR
34. LIGHTED "RESTROOM" SIGN. 3 LOCATIONS
35. FURR-OUT WALL AT WINDOW OPENINGS TO A DISTANCE TO ENSURE ONE CONTINUOUS WALL IN KITCHEN AREA. PROVIDE "FROSTED" GLASS OR BLANK-OUT AT ALL WINDOWS. SEE P-TYPE 4 FOR CONSTRUCTION
36. FLOOR DRAINS IN KITCHEN AND BAR AREA. VERIFY EXACT LOCATION WITH OWNER AND PLUMBER
37. PRIVATE LOCKERS. SEE DETAIL 6/A8.1
38. GALVANIZED, PAINTED STEEL POLES FOR LIGHTING STRING SUPPORT. RUN ELECTRICAL CONDUIT THROUGH POLES
39. EXISTING SLOPED SURFACE TO REMAIN (SLOPE 1:12. LESS THAN 6" HEIGHT CHANGE)
40. NEW FLOOR MOP SINK. FRP TO MIN 3'-0" AROUND SINK. SEE DETAIL 3/A2.3
41. ICE MAKER. REQUIRES POTABLE WATER AND DRAINS
42. NEW GUARDRAIL (HANDRAIL AT STAIRS AND RAMPS). SEE DETAIL 5/A3.1
43. STAIRS WITH GALVANIZED, PAINTED PIPE HANDRAIL

HATCH PATTERNS KEY:

[Pattern]	NEW CONSTRUCTION
[Pattern]	NEW CONSTRUCTION (PARTIAL HEIGHT)
[Pattern]	EXISTING CONSTRUCTION



1 PATIO ELEVATION
1/4"=1'-0"

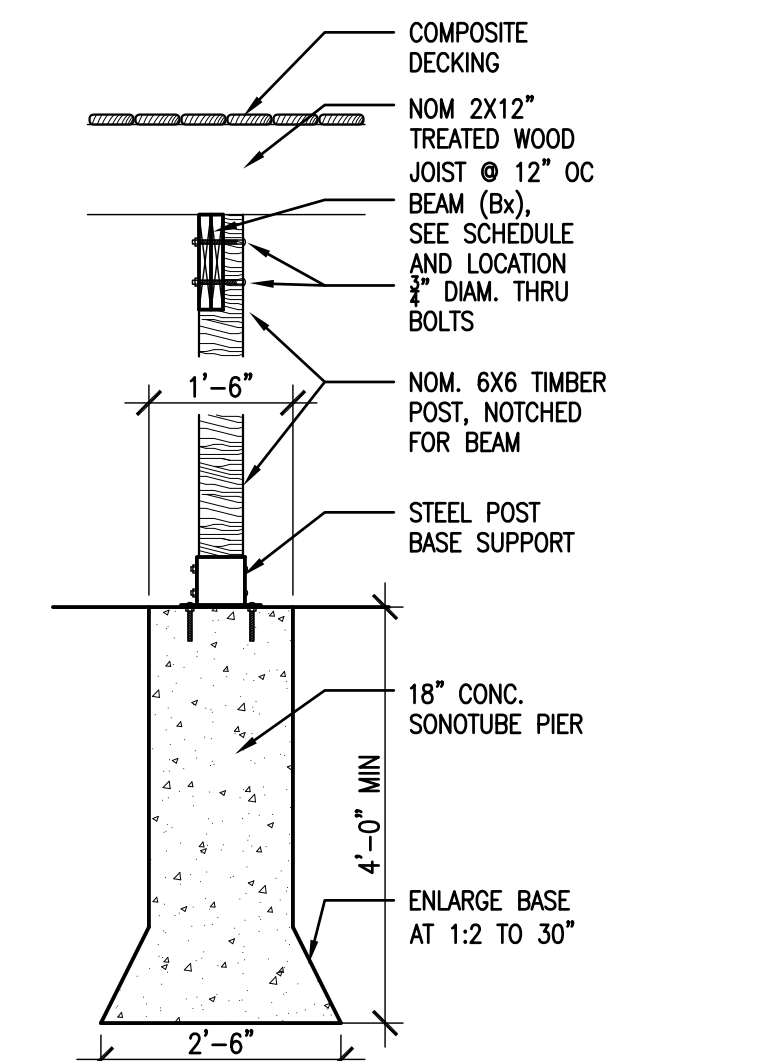


FOOTING SIZES

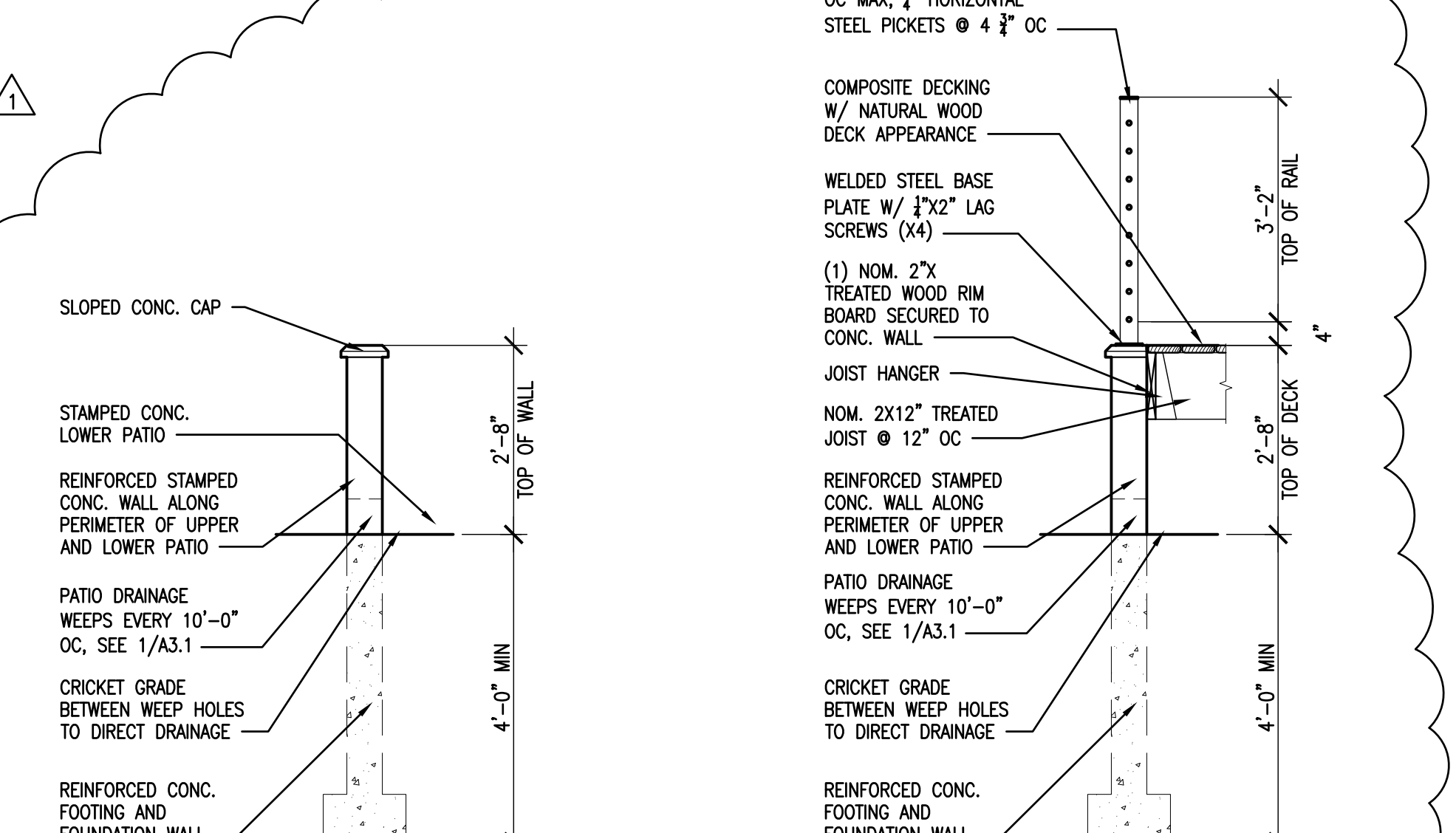
FOOTING SIZES BASED ON PRESUMED 2,000 PSF SOIL BEARING CAPACITY.
UNLESS NOTED OTHERWISE, FOR ALL FOOTINGS, USE: 18" DIAM SONOTUBE. ENLARGE BASE AS REQUIRED TO ACHIEVE AREA LISTED; CONSTRUCT PER DETAIL 3/A3.1.
F1: 9680 lbs / 4.8 sf (ON FROST WALL)
F2: 9,680 lbs / 4.8 sf
F3: 8,800 lbs / 4.4 sf
F4: 5,390 lbs / 2.7 sf
F5: 1,540 lbs / .8 sf
F6: 4,840 lbs / 2.4 sf (ON FROST WALL)
F7: 4,840 lbs / 2.4 sf
W1: 18"x60" min. FOOTING
W2: 18"x60" min. FOOTING
W3: 18"x60" min. FOOTING
W4: 18"x60" min. FOOTING

BEAM SIZES

BEAMS ALL TO BE PRESSURE TREATED LVL 1.9E MATERIAL SIM. TO "TRUSJOIST" BY WEYERHAEUSER.
INSTALL WITH MINIMUM BEARING PER MANUFACTURER INSTRUCTIONS.
B1: (2) 11 3/8" LVL 1.9E
B2: (2) 11 3/8" LVL 1.9E
B3: (2) 11 3/8" LVL 1.9E
B4: (2) 11 3/8" LVL 1.9E
B5: (1) 11 3/8" LVL 1.9E



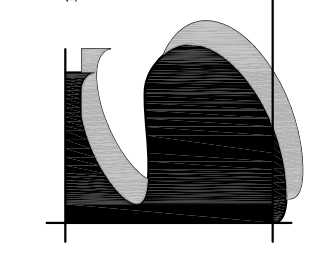
3 PATIO SUPPORT PIER (TYP.)
1/2"=1'-0"

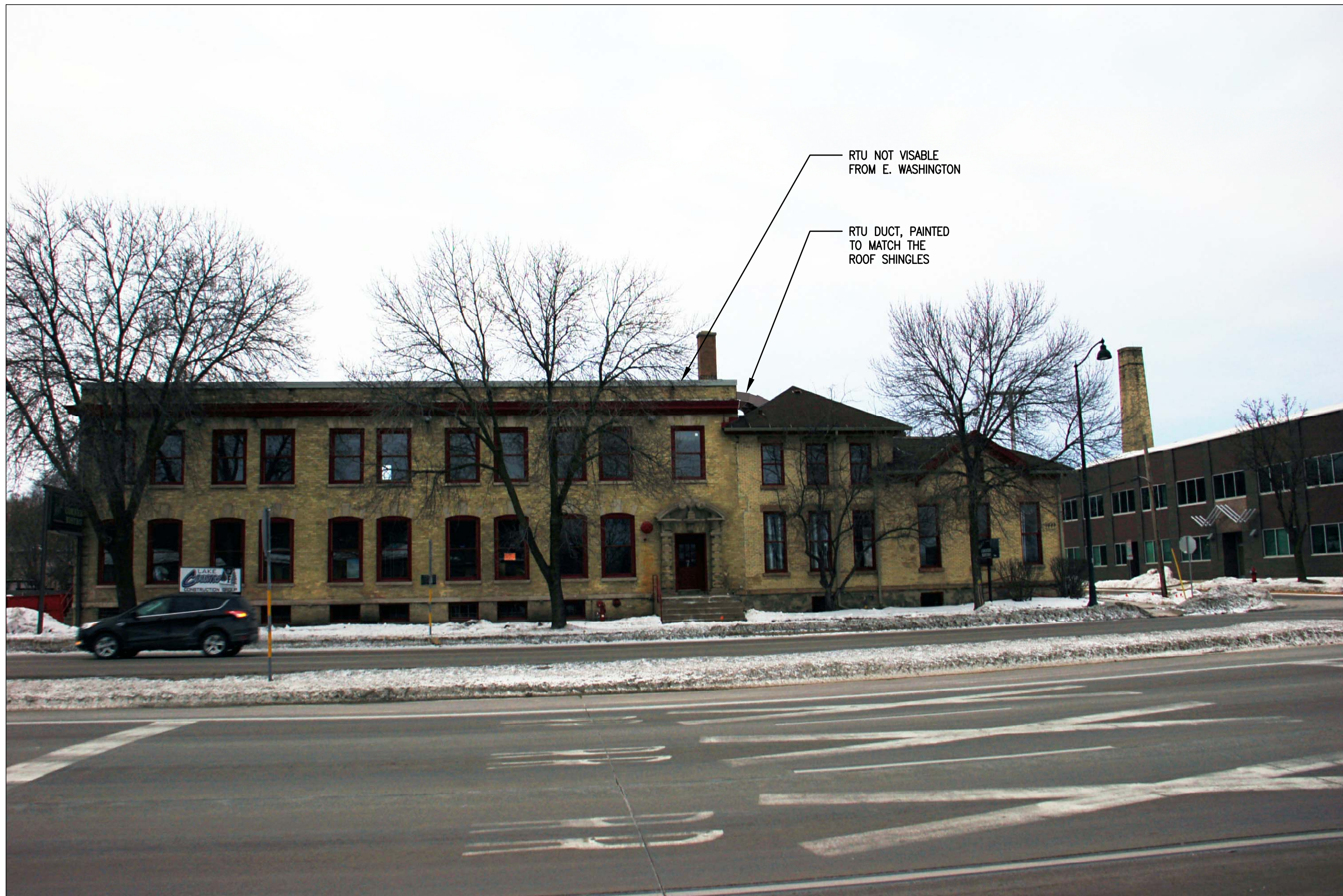


4 LOWER PATIO WALL SECTION (TYP.)
1/2"=1'-0"

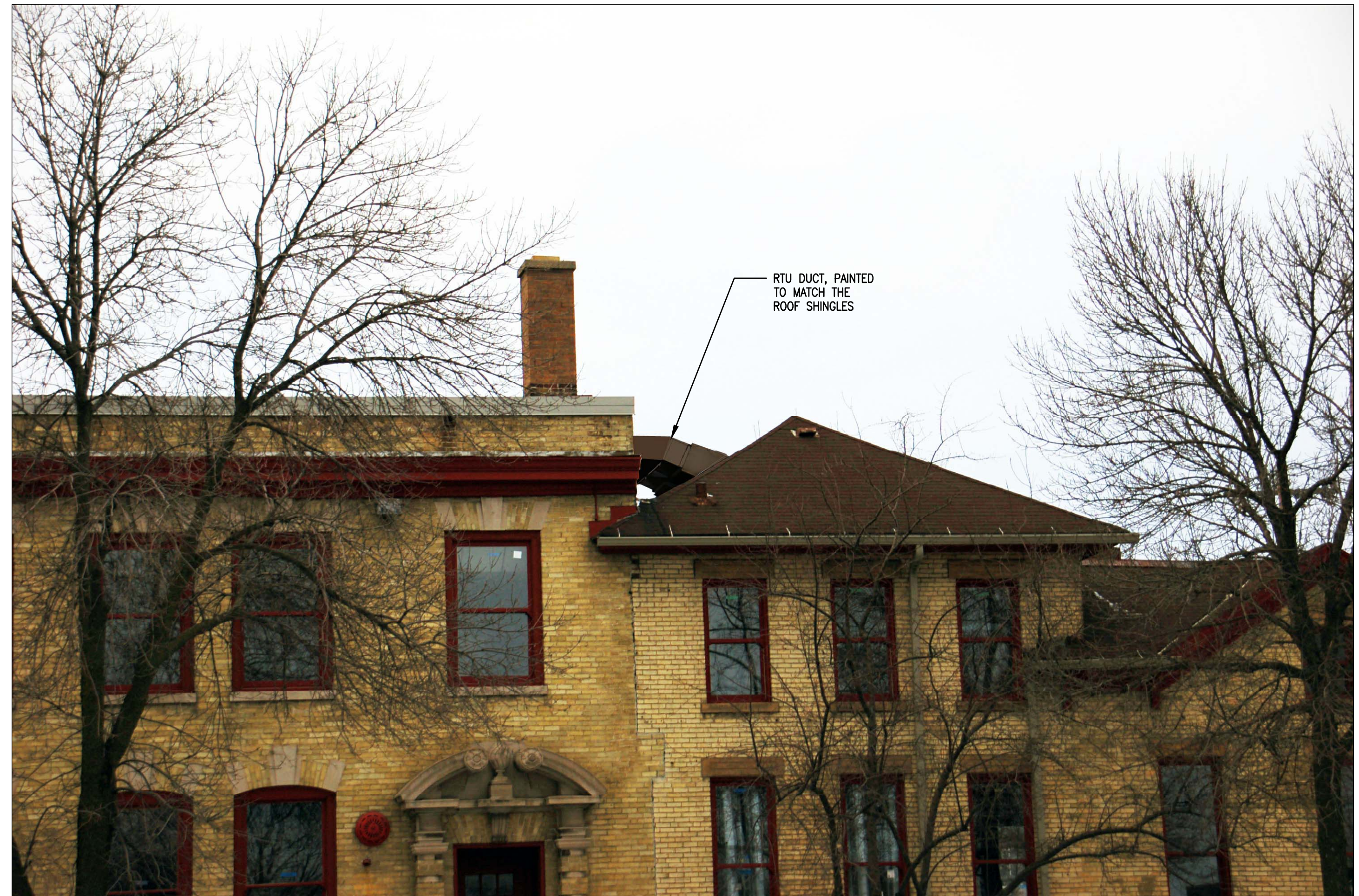
5 UPPER PATIO WALL SECTION (TYP.)
1/2"=1'-0"

2 PATIO FOUNDATION AND FRAMING PLAN
1/4"=1'-0"

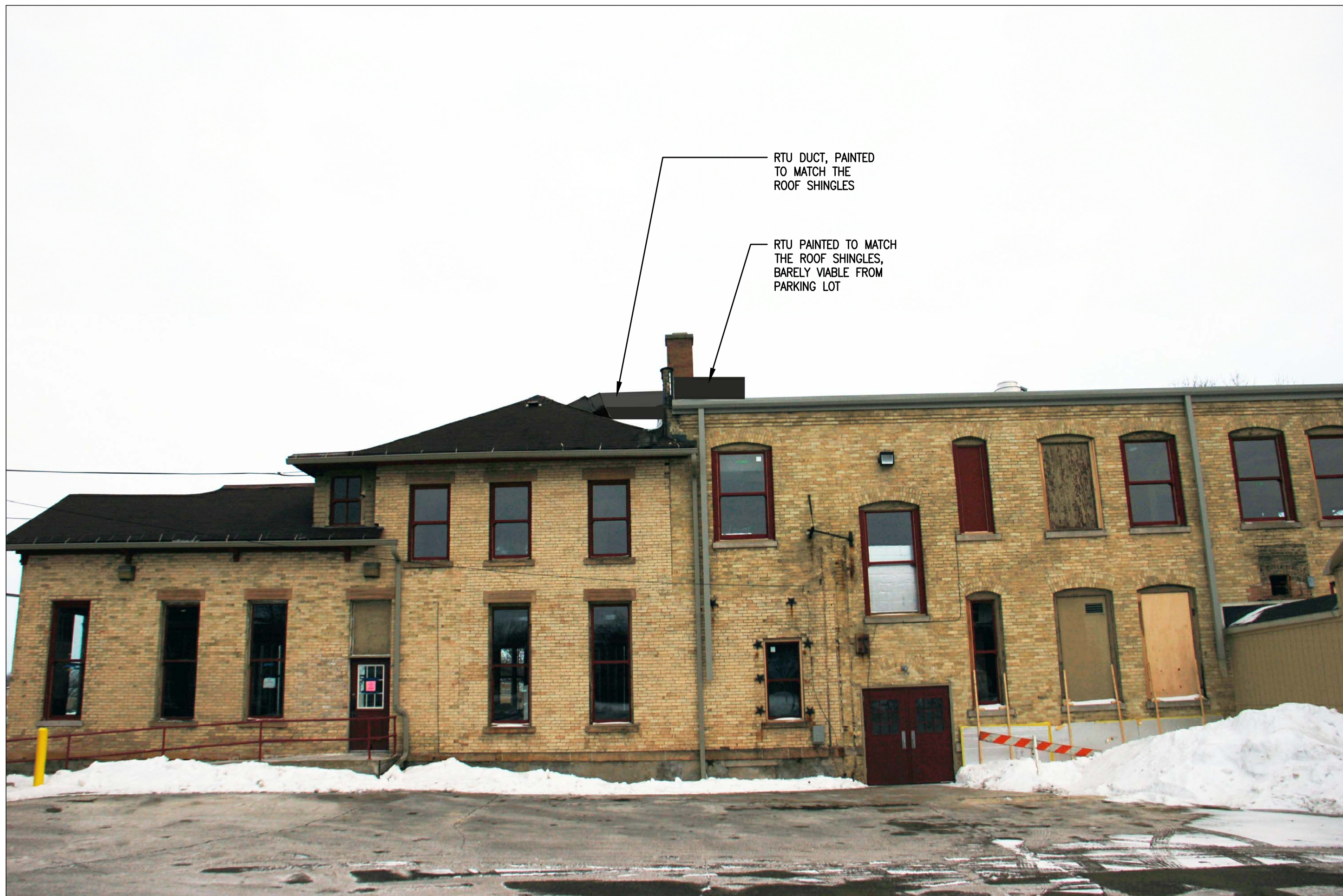




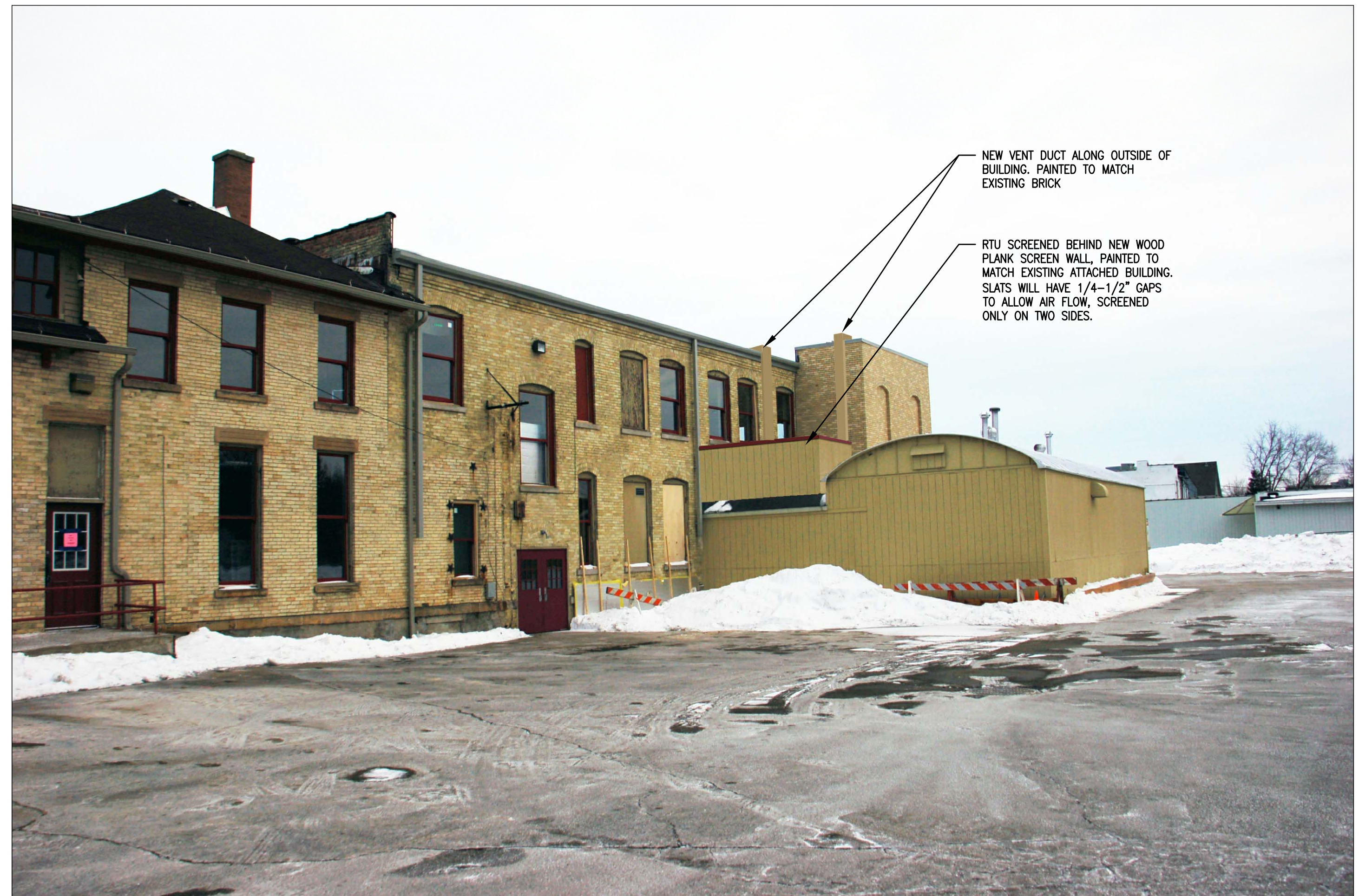
1 E. WASHINGTON VIEW
NOT TO SCALE



2 E. WASHINGTON VIEW (CLOSE-UP)
NOT TO SCALE

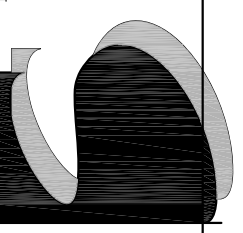


3 PARKING LOT VIEW
NOT TO SCALE



4 PARKING LOT VIEW
NOT TO SCALE

1100 PARKMANOR ST., SUITE 402
MADISON, WI 53704
TELEPHONE: 608.836.9700
FAX: 608.836.9700



SHULFER
ARCHITECTS, LLC

PASQUAL'S
TENANT IMPROVEMENT
1344 E. WASHINGTON AVE
MADISON, WI

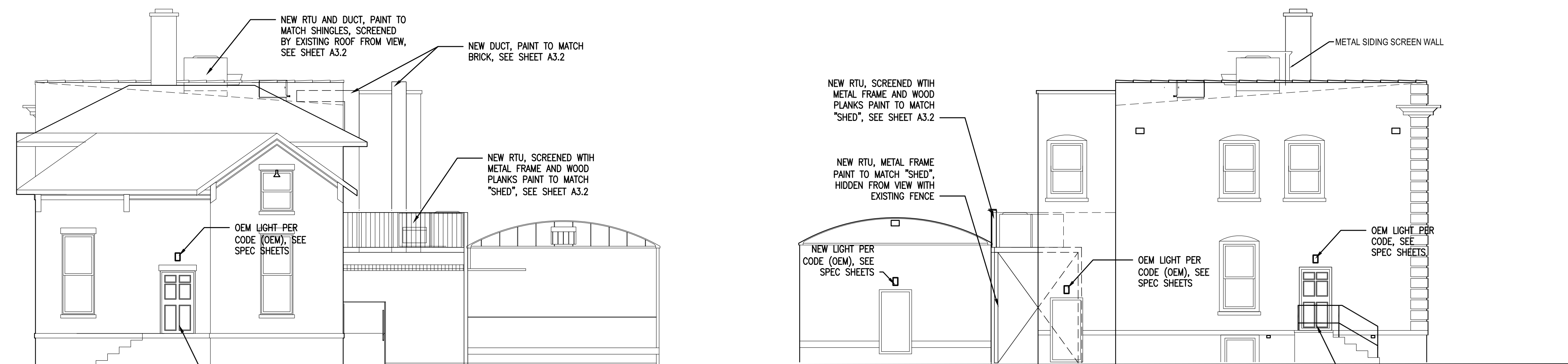
ELEVATION VIEWS OF MEP EQUIPMENT

02/16/2015
LC REVIEW

A3.2

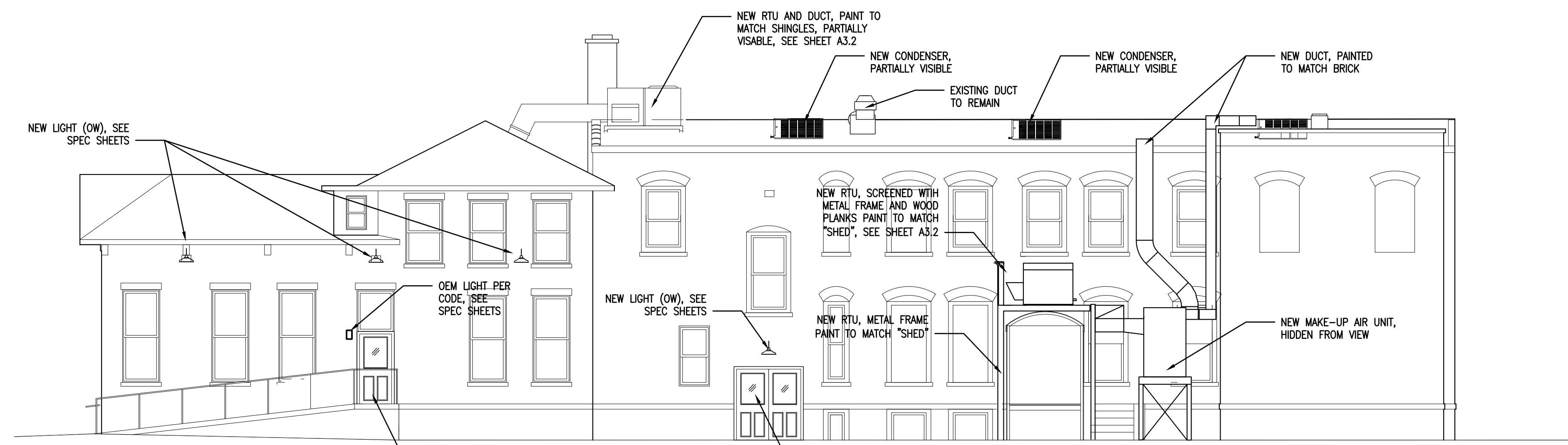


1 SOUTH ELEVATION
1/8"=1'-0"



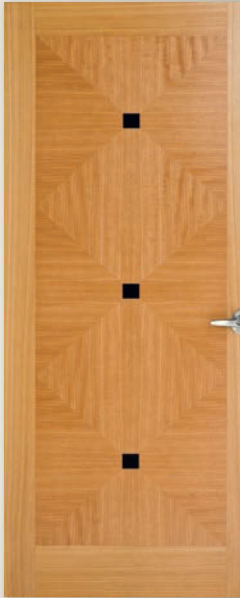
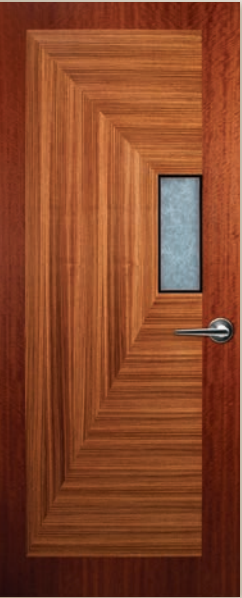
2 EAST ELEVATION
1/8"=1'-0"

3 WEST ELEVATION
1/8"=1'-0"



4 NORTH ELEVATION
1/8"=1'-0"

VT ARCHITECTURAL WOOD DOORS | **PRODUCT OFFERING**



HERITAGE COLLECTION

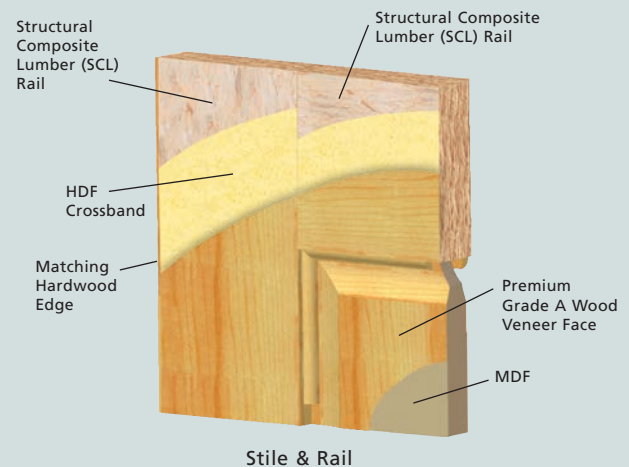
STILE & RAIL DOORS



BEAUTY BUILT TO LAST.

Whether you're restoring a historic building or want to add the perfect detail to a new design, you'll find the elegance and beauty you seek in VT Stile & Rail Doors. We offer the highest-quality product, aesthetic compatibility, and design integrity.

- Doors meet WDMA I.S. 6-A Custom Grade quality standards
- Available with 20-, 45-, 60-, and 90-minute fire ratings
- Manufactured with fluted dowel construction for maximum performance
- Raised and flat panel elevations
- Limited five-year warranty for interior use
- Full array of domestic and imported wood options
- State-of-the-art production facility and equipment
- Factory-machined to exacting requirements for hardware, including pre-drilled pilot holes for hinges and face plates
- Matching hardwood edge-before-face design provides impressive durability
- UV-cured water-based factory finish to meet WDMA TR-6 and AWS System 9. Also available with optional anti-microbial coating



ARTISTRY COLLECTION

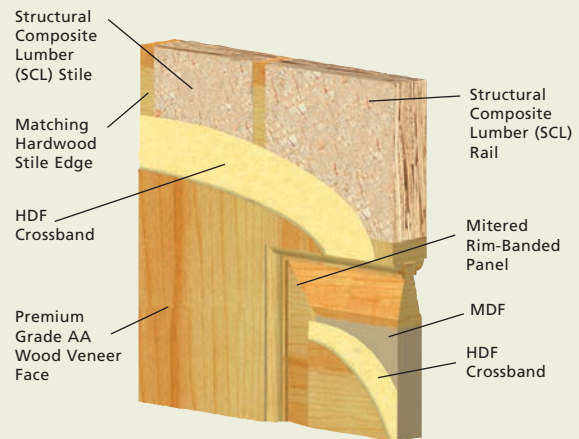
STILE & RAIL DOORS



CLASSIC, HAND-CRAFTED BEAUTY

The hand-crafted beauty of our Artistry Stile & Rail doors is unmatched in the industry. Our attention to detail and skilled craftsmanship create the perfect stile and rail doors for your high-end projects. With the Artistry Collection Stile & Rail doors, the design possibilities are practically endless. Choose from our Artistry Collection standard elevations or create a totally unique design by customizing the panel configuration, sticking, and veneer.

- Doors meet AWS Premium Grade quality standards
- Manufactured with a wide variety of sticking options
- Raised and flat panel elevations
- Limited five-year warranty for interior use
- Full array of domestic and imported veneer options
- State-of-the-art production facility and equipment
- Factory-machined to exacting requirements for hardware, including pre-drilled pilot holes for hinges and face plates
- AWS System—2 pre-catalyzed lacquer finish is standard
- Manufactured with fluted dowel construction for maximum performance
- Mitered rim-banded panels standard

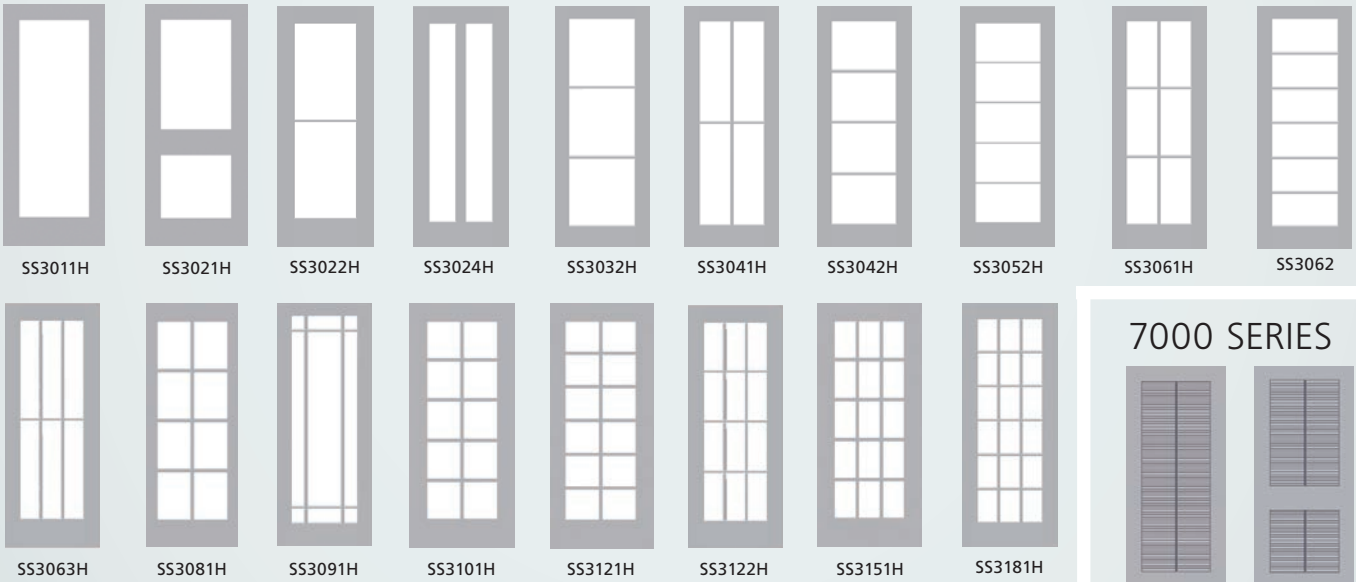


Stile & Rail

1000 SERIES



3000 SERIES



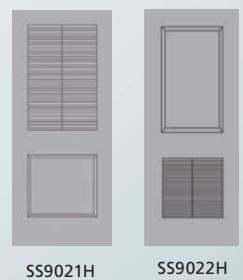
7000 SERIES



5000 SERIES



9000 SERIES



COMMERCIAL GRADE LIGHT STRING

Popular, versatile, commercial grade light string

LIGHT STRING COMMERCIAL GRADE

Use commercial grade light string with LED lamps to run full reel length and save up to 80% in energy costs over incandescent. Suitable for decorative lighting, patio lighting, tents, events, pavilions, sales lots and many overhead perimeter lighting applications.

FEATURES

- Factory-molded sockets on 14-gauge wire is suitable for commercial applications (16-gauge for kits)
- Formulated PVC sockets form a tight weatherproof seal around the bulb
- Long life, low maintenance linear lighting (for use with LED retrofits and Long Life Lamps – see pages 46-47)
- Available in bulk reels in candelabra, intermediate and medium base sockets
- Use with LED lamps to run full reel length and save up to 98% in energy costs over incandescent



Candelabra Base



Max load/socket 10 watts

Intermediate Base



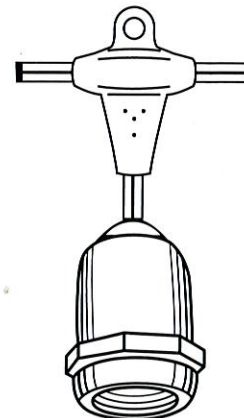
Max load/socket 10 watts

Medium Base



Max load/socket 25 watts

Suspended Medium Base



Max load/socket 25 watts

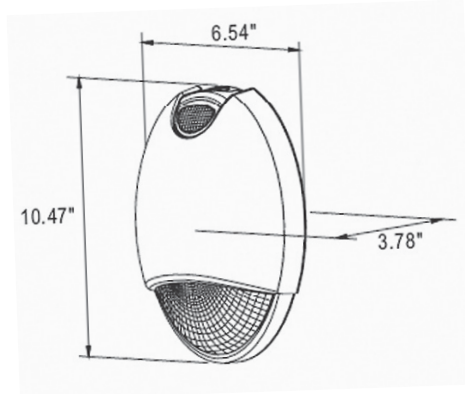


**WET-LISTED EMERGENCY LIGHT
(E-XML4 SERIES)**

Applications: For general purpose emergency lighting in indoor commercial, retail, or industrial applications.



3.625" D x 6.125" W x 10.5" H
Weight: 4.65 lbs.



Catalog #	Description	Input Voltage	Ambient Temperature Rating	Energy Consumption
E-XML4WZ	Wet-Listed Emergency Light	120V or 277V	32°F-122°F	2.7 watts at 120V 2.8 watts at 277V
E-XML4WW	Wet-Listed Emergency Light	120V or 277V	32°F-122°F	2.7 watts at 120V 2.8 watts at 277V
E-XML4CWZ	Wet-listed, Cold Location Emergency Light	120V or 277V	-40°F-122°F	2.9 watts at 120V 3.0 watts at 277V
E-XML4CWW	Wet-Listed, Cold Location Emergency Light	120V or 277V	-40°F-122°F	2.9 watts at 120V 3.0 watts at 277V

Performance

- 5-year pro-rated warranty on batteries

Construction & Materials

- Die-cast aluminum housing with durable powder-coated finish
- Includes back plate for wall mount. Universal knockout pattern on back plate provides for easy installation over most standard junction boxes.
- Fully gasketed

Electrical

- Sealed, 4.8V maintenance-free nickel cadmium battery backup (90 min.)

Regulatory

- UL Listed for wet locations



Due to continuous product improvement, information in this document is subject to change. All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture. Actual production units may vary up to ±10% of initial delivered lumens. Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ fixture testing.

TYPE: OW



Product #: RWHS14-GA

Width: 17"

Height: 8.25"

Wattage: 100

Bulb: 1

Glass:

Finish: Galvanized - UV Protectant Clearcoat

Extension:

RWHS14-GA is pendant only. May be ceiling hung with stems (shown with RS-1GA) and canopy kit (RSCK-GA). May

[RGN24](#)

