

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

RECEIVED

5/20/2020

10:22 a.m.

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 115 W Doty Street

Title: Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested July 15, 2020

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify
Conditional Use - Elevator Over-run in Cap View Preserv ht.

4. Applicant, Agent, and Property Owner Information

Applicant name Todd Draper
Street address 1919 Alliant Energy Center Way
Telephone (608) 267-0119

Company Dane County Public Works
City/State/Zip Madison, WI 53713
Email draper@countyofdane.com

Project contact person Jan Horsfall
Street address 749 University Row Suite 300
Telephone (608) 274-2741

Company Potter Lawson, Inc
City/State/Zip Madison, WI 53705
Email janh@potterlawson.com

Property owner (if not applicant) Greg Brockmeyer
Street address 210 MLK Jr Blvd, Room 425
Telephone (608) 266-4519

City/State/Zip Madison, WI 53703
Email Brockmeyer@countyofdane.com

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing fee
- Electronic Submittal*
- Notification to the District Alder
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

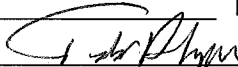
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on May 14, 2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Todd Draper Relationship to property Owner's Representative
 Authorizing signature of property owner  Date May 19, 2020

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Urban Design Districts: \$350 (per §35.24(6) MGO). <input type="checkbox"/> Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO) <input type="checkbox"/> Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO) <input type="checkbox"/> Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO) <input type="checkbox"/> All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO) | <p>A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:</p> <ul style="list-style-type: none"> — Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC) — Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC) — Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP) — Planned Multi-Use Site or Residential Building Complex |
|--|---|

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



May 20, 2020

City of Madison
Urban Design Commission
215 Martin Luther King Jr Blvd, Suite 017
Madison, WI 53701

Re: Dane County Jail Consolidation, South Tower Addition & Public Safety Building Renovation
115 W. Doty Street, Madison, WI

Dear Commission Members:

Please accept this Letter of Intent, Application and attachments as our formal request for a major alteration to an existing Planned Development for the Dane County Jail Consolidation, South Tower Addition and Public Safety Building Renovation for Dane County Public Works.

This application is to amend the existing PD (GDP/SIP) that was approved April 7, 1992 and stated that any future expansion of the facility shall require review and approval of the SIP and a public hearing. The original approval planned that the future expansion for additional housing would be located on top of the PSB. After review of the existing structure, it was determined that expansion would not be structurally feasible. Therefore, the County is moving forward with an adjacent addition to keep the Jail downtown as originally approved.

Zoning

The project site is located in a Planned Development District (PD) zoning district (Zoning 28.098).

Legal Description

Lots 1 through 6 and Lots 9 through 14, Block 71, Original Plat of the City of Madison. These lots are in the process of being combined into a single property under a new CSM that would include the Dane County Courthouse.

Certified Survey Map

A new CSM for this site has been completed to include the Dane County Courthouse, Public Safety Building, and the South Tower Addition and is attached.

Design Team

Owner:	Dane County Department of Administration 210 MLK Jr Blvd, Room 425 Madison, WI 53703 (608) 266-4519	Agency:	Dane County Sheriff's Office 115 W. Doty Street Madison, WI 53703
PM/Engineer:	Chris Harp Mead & Hunt, Inc. 2440 Deming Way Middleton, WI 53562 (608) 443-0443	Structural Engineer:	Robert Guinn HDR, Inc. 30 W. Monroe, Suite 700 Chicago, IL 60603
Architect:	Jan Horsfall Potter Lawson, Inc. 749 University Avenue, Suite 300 Madison, WI 53705 (608) 274-2741	Civil:	Brionne Bischke OTIE, Inc. 1033 N. Mayfair Road, Suite 200 Milwaukee, WI 53226

Staff and Neighborhood Input

The Design Team has worked with the City Staff on several meetings, including two UDC Informational presentations on October 30, 2019 and on December 11, 2019.

The Design Team has met with Alder Verveer on October 22, 2019, has given a presentation to the Bassett Neighborhood Association on November 11, 2019 as well as a Capital Neighborhood "Postcard" Public meeting on December 10, 2019.

Project Overview

The current Jail System is located within the City-County Building, the Public Safety Building, and the Ferris Center. The Dane County Jail Consolidation plans provide a facility that will combine all inmates into one building to reduce the total number of beds, improve inmate and staff security, provide appropriate medical and mental health housing and services, provide additional program, educational and recreation spaces, greatly reduce solitary confinement, provide visitation, provide multi-purpose space to meet the spiritual needs of the inmates, and provide a downtown location next to the Courthouse and close to public transportation. The Sheriff's Office is continuing to develop effective jail diversion programs that offset jail population growth.

The site for the south tower addition currently accommodates a surface parking lot, a loading dock and two vehicular ramps, one that accesses the Dane County Courthouse garage to the southwest, and another that accesses the lower level garage of the Public Safety Building (PSB). The loading dock serves the Public Safety Building and is located on the upper level of the surface parking lot. The footprint of the South Tower Addition will extend over the ramps, requiring the ramps to be removed and reconfigured. The South Tower site includes frontage on West Wilson Street, and is adjacent to privately owned properties at the corner of W. Wilson Street and S. Carroll Street. The project includes about 280,000 GSF of jail housing and associated program space.

The design of the site reflects both the buildings location in downtown Madison and its mission as a secure Jail facility. The W. Wilson Street façade recognizes the dignity of the adjacent courthouse, the importance for discretion with regards to the secure vehicular ramp, and the desire to be an active presence in vibrant downtown Madison. The utilitarian functions of the loading and waste collection docks will reside behind closed doors, the garage doors are recessed away from the sidewalk to provide better visibility and safety for truck movements. The resulting scale of the building in this pedestrian zone is appropriate for the nature of the street. Building utilities and facilities services are to occur at a new level, Sub-Basement 2, which is accessed from a single parking garage access ramp. Building utility services will enter from W. Wilson Street. Two enclosed interior docks from W. Wilson Street will be provided. One dock will be used for loading of material and bulk foodservice. Both loading docks are designed for dock level delivery. The raised loading floor will have dock levelers which adjust for various sized vans, trucks or semi-trailers. The larger truck bay is 60' deep to allow for semi-tractor trailer deliveries to be conducted internally with the garage doors closed. A separate dock will be used for waste and recycling collection. A raised platform will be provided to allow access to the compactor's hoppers. Given the extreme temperature swings that Madison experiences, both heating and ventilation will be included in the dock.

The PSB sub-basement contains parking for 55 vehicles in a card access-controlled secure parking area limited to specified court/law enforcement functions. Parking will not be provided for general staff or visitors who will be directed to the available nearby parking facilities.

The design provides a clear circulation strategy by physically separating primary entries for the public, staff, building services, and secure inmate movement. The existing Vehicular Sallyport will remain, with an entry from W. Doty Street and exit to S. Carroll Street. The use of the Vehicular Sallyport will be restricted to arrestees and processing, removing the transport function from this area and locating this function at the sub-basement level. On S. Carroll Street, a new public entry will be provided for individuals reporting for outstanding warrants, inmates being released, and public drop-off to Jail.

Public access for Inmate Visitation, Initial Appearance Court, Jail Diversion, and the Dane County Sheriff's Office will remain at the PSB's primary historically identified public entry at the existing W. Doty Street lobby. The W. Doty Street façade will be modified to add a new entrance door for the Huber Work Release Entry/Change-over/Exit. By providing a separate entry for inmates going to and from work and appointments outside of the Jail, the design alleviates congestion in the main lobby and provides an opportunity to improve the important public facing functions of the PSB lobby.

The additional floors will consist of housing for males and females, including orientation, Huber Work Release, minimum, medium, maximum, transitional classification, medical, mental health, as well as youthful inmate housing. No portion of the building will exceed the 187.2 foot (City datum) height restriction except for the elevator over-run.

The roof will utilize a green and a blue roof system to provide storm water management for the new addition.

Fire Department access around the building will be from the city streets. A Fire Command Center will be provided at the first floor off of W. Doty Street.

The exterior building design provides a unique approach to a jail structure within an urban setting. One of the driving factors of the design is to provide an increase in the amount of daylight that is provided for the residents. Because of this, the façade is a balance between glass curtainwall and opaque terracotta panels. The vertical panels of glass and terracotta are broken up with horizontal metal bands that express every other floor slab. The seemingly random pattern of glazing, vertical terracotta panels and mechanical louvers provides the flexibility to allow each floor layout to be different if required by the internal spatial functions. The composition of the panels create strong solid corners while the center of the building becomes more open with more transparency. The larger glass openings in the middle of the volume responds to the interior spatial organization of the common areas at the center of the building floors.

The terracotta panels provide a long lasting durable exterior façade for this civic building. The natural red clay panels will also provide color and texture, adding interest to the city block and city skyline as well as relating back to the existing Public Safety Building's red brick. The lower level of the building is clad with a medium warm gray brick, this serves to create a more durable exterior finish, provides a smaller scale texture, and helps to accentuate the recess of the base of the building. The metal at the horizontal bands, louvers and window framing will be a dark charcoal gray, this ties back to the dark window mullions on the Public Safety building and provides a strong contrast with the red clay colored terracotta panels. The terracotta panels will have a smooth and ribbed texture to create a subtle variation.

Exterior Lighting

Building lighting will meet City of Madison Ordinances and the Urban Design District guidelines. The concrete columns along West Wilson Street will be washed with light, and soffit down lighting will be provided at the recessed base of the building to light the ramps, loading aprons and pedestrian entrances.

Screening

New mechanical areas on the existing PSB roof will be screened by a louver screen wall similar to the existing louvers on the PSB. The loading dock and service doors along W. Wilson Street are set back from the sidewalk to provide separation from pedestrian traffic.

Sustainability

The project will extend the life of the existing building by renovating and reusing the Public Safety Building. The addition of the south tower will create a more dense urban use and utilize the existing surface parking lot in downtown Madison. The existing building will be fitted with updated mechanical equipment to improve occupant comfort and increase energy efficiency. The new Jail will focus on providing a better interior environment with an increase in daylight to all residents by increasing the amount of glass on the building façade. The terracotta panels were chosen because of their low life cycle cost and long-term durability with minimal maintenance. To reduce stormwater runoff the project will incorporate a green and blue roof system.

Construction Schedule

Construction is expected to commence in April 2021 with the completion of the South Tower project anticipated to be June 2023 with the completion of the renovation of the PSB anticipated to be September 2024.

Approvals Requested

Approvals requested are for the Alteration to an Existing Approved Development.

With your recommendations and approval, we look forward to providing Dane County and the Sheriff's Office with a new and renovated facility that is safe and secure for staff, volunteers, inmates, visitors, as well as the community.

Regards,

A handwritten signature in black ink, appearing to read "J. Horsfall". The signature is fluid and cursive, with a large loop at the beginning.

Jan D Horsfall, AIA
Potter Lawson, Inc.

Attachments

Zoning Text

Storm Water Management Plan Hydrology Concept Report

Revised CSM for Property

Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street
Madison, WI 53703

May 20, 2020 Land Use Application

Dane County Public Works
Project No.: 318025

Mead & Hunt Project No.:
4215400-161957.01

**Mead
& Hunt**

Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

**Potter
Lawson**

Success by Design

HR

DWG #	Drawing Title
LU-CD	Cover Drawing

GENERAL

LU-CD	Cover Drawing
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CIVIL

C001	EXISTING CONDITIONS
C002	EXISTING CONDITIONS
C003	EXISTING CONDITIONS
C101	DEMO PLANS
C102	DEMO PLANS
C201	PROPOSED SITE PLAN
C202	PROPOSED SITE PLAN
C203	PROPOSED SITE PLAN
C301	GRADING PLAN
C302	GRADING PLAN
C401	UTILITIES PLAN
C402	UTILITIES PLAN
C501	FIRE ACCESS PLAN

DWG #	Drawing Title
LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS
LU-A002	ILLUSTRATIVE SITE PLAN
LU-A003	RENDERED ELEVATIONS
LU-A004	AERIAL VIEWS
LU-A005	BUILDING PERSPECTIVES
LU-A098	SUB-BASEMENT 2 PLAN
LU-A099	SUB-BASEMENT PLAN
LU-A100	BASEMENT PLAN
LU-A101	FIRST FLOOR PLAN
LU-A102	SECOND FLOOR PLAN
LU-A103	THIRD FLOOR PLAN
LU-A104	FOURTH FLOOR PLAN
LU-A105	FIFTH FLOOR PLAN
LU-A106	SIXTH FLOOR PLAN
LU-A107	SEVENTH FLOOR PLAN
LU-A108	EIGHTH FLOOR PLAN

ARCHITECTURAL

LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS
LU-A002	ILLUSTRATIVE SITE PLAN
LU-A003	RENDERED ELEVATIONS
LU-A004	AERIAL VIEWS
LU-A005	BUILDING PERSPECTIVES
LU-A098	SUB-BASEMENT 2 PLAN
LU-A099	SUB-BASEMENT PLAN
LU-A100	BASEMENT PLAN
LU-A101	FIRST FLOOR PLAN
LU-A102	SECOND FLOOR PLAN
LU-A103	THIRD FLOOR PLAN
LU-A104	FOURTH FLOOR PLAN
LU-A105	FIFTH FLOOR PLAN
LU-A106	SIXTH FLOOR PLAN
LU-A107	SEVENTH FLOOR PLAN
LU-A108	EIGHTH FLOOR PLAN

DWG #	Drawing Title
LU-A109	ROOF PLAN
LU-A201	BUILDING ELEVATION - NORTH
LU-A202	BUILDING ELEVATION - EAST
LU-A203	BUILDING ELEVATION - SOUTH
LU-A204	BUILDING ELEVATION - WEST

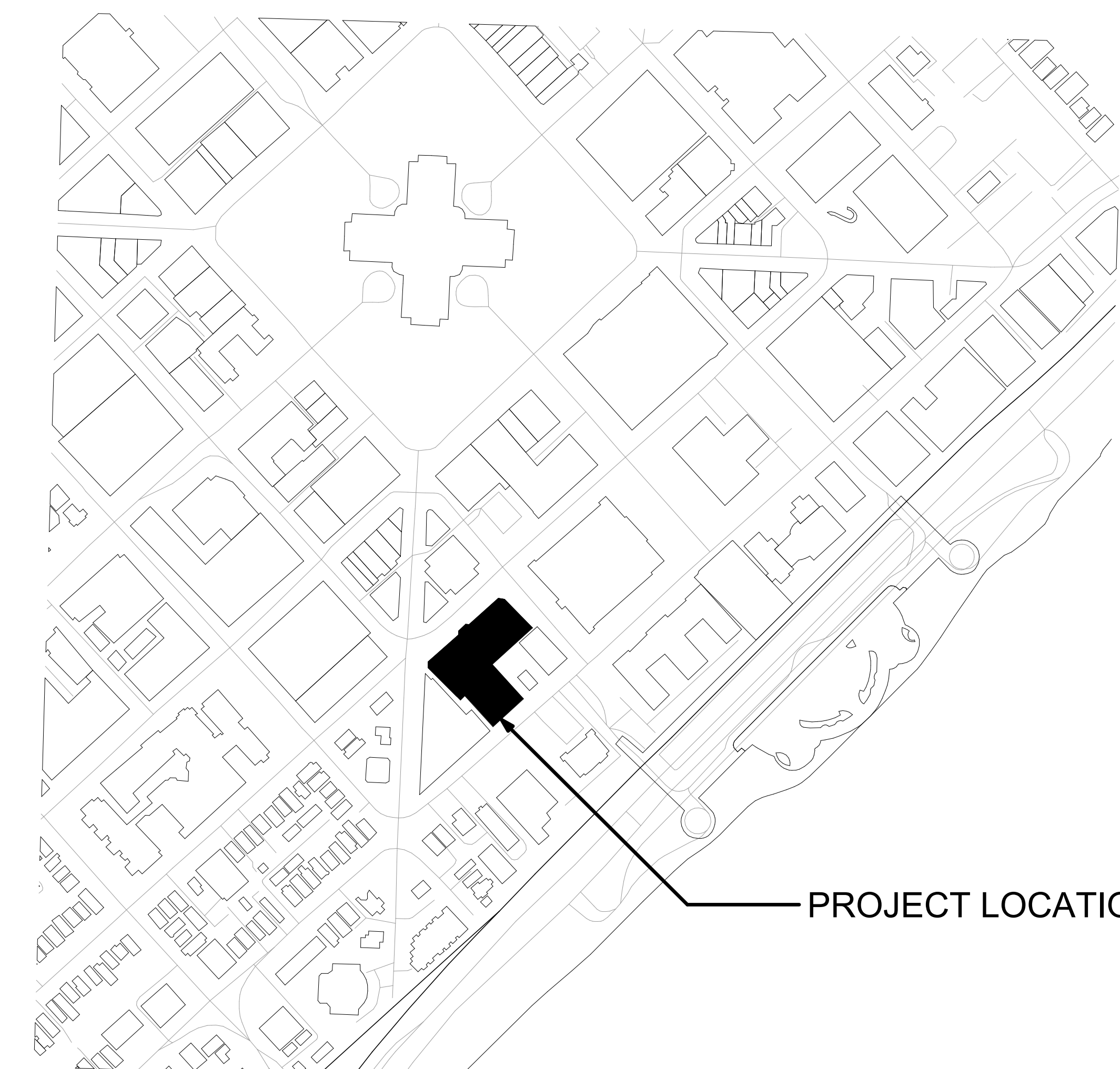
ELECTRICAL

LU-A109	ROOF PLAN
LU-A201	BUILDING ELEVATION - NORTH
LU-A202	BUILDING ELEVATION - EAST
LU-A203	BUILDING ELEVATION - SOUTH
LU-A204	BUILDING ELEVATION - WEST

DWG #	Drawing Title
ES-1	SITE LIGHTING
ES-2	SITE LIGHTING PHOTOMETRICS

ELECTRICAL

ES-1	SITE LIGHTING
ES-2	SITE LIGHTING PHOTOMETRICS



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agreement with Potter Lawson, Inc. and Mead & Hunt,
Inc. shall not be responsible for any unauthorized
use of, or alteration to these documents.



DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation
115 W. Doty Street
Madison, WI 53703

ISSUED

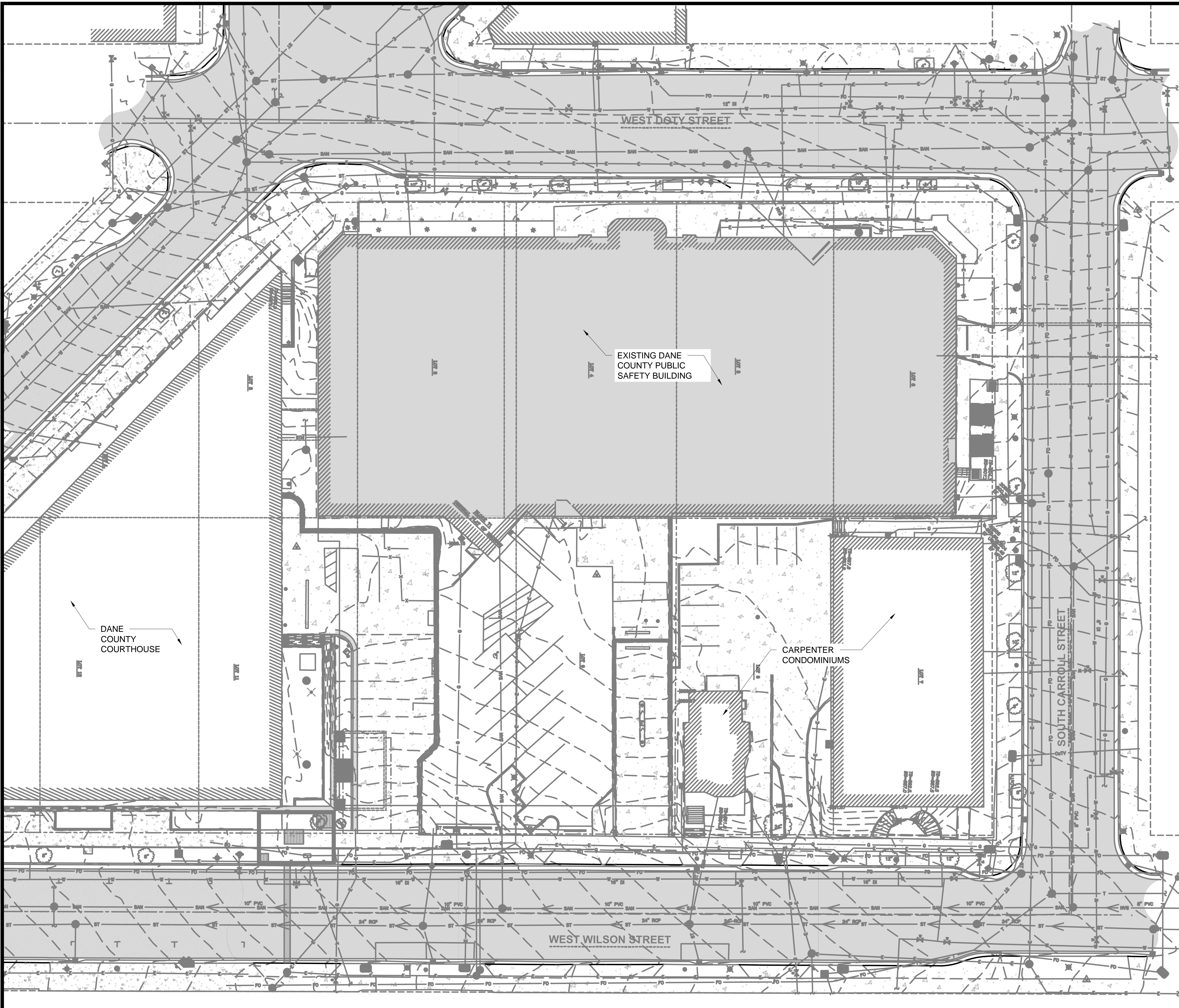
NOT FOR CONSTRUCTION

MM# NO: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
DO NOT SCALE DRAWINGS

SHEET CONTENTS
Cover Drawing

SHEET NO:

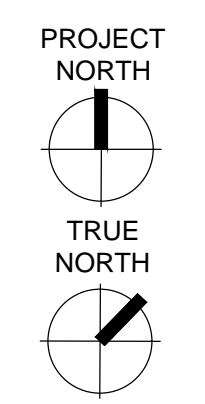
LU-CD



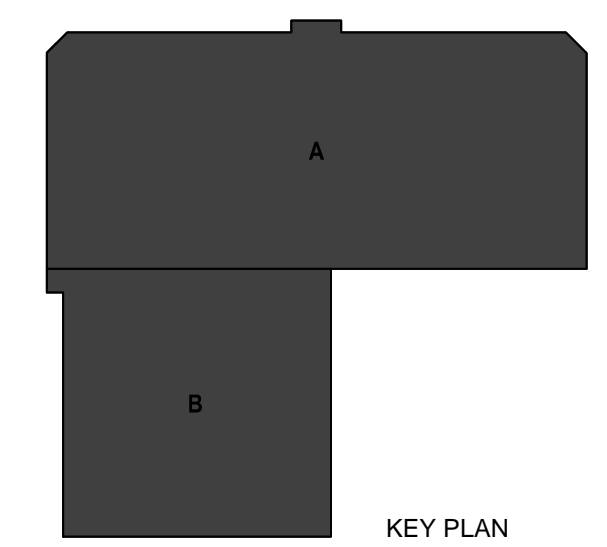
LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C001

EXISTING CONDITIONS - OVERALL
(SEE SHEETS C002 & C003 FOR ENLARGED AREAS A & B)
1" = 20'



- CIVIL NOTES (SHEETS C001-C003, C101-C102):
1. SURVEY CONDUCTED AND PRODUCED BY JSD PROFESSIONAL SERVICES, INC.
 2. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 3. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
 4. THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 5. RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
 6. PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
 7. VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
 8. CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
 9. REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
 10. COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
 11. PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
 12. MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
 13. RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
 14. PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
 15. PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
 16. ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
 17. DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
 18. EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
 19. PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
 20. PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.

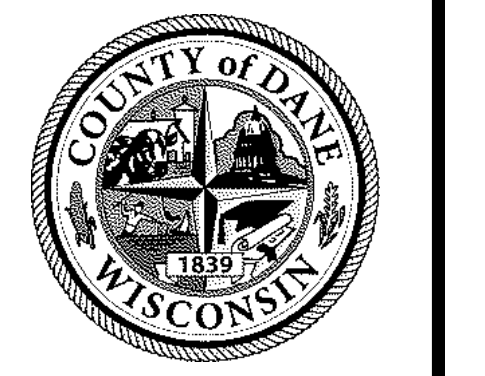


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1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

Dane County Jail Consolidation
South Tower Addition & Public Safety Building Renovation
115 W. Doty Street
Madison, WI 53703

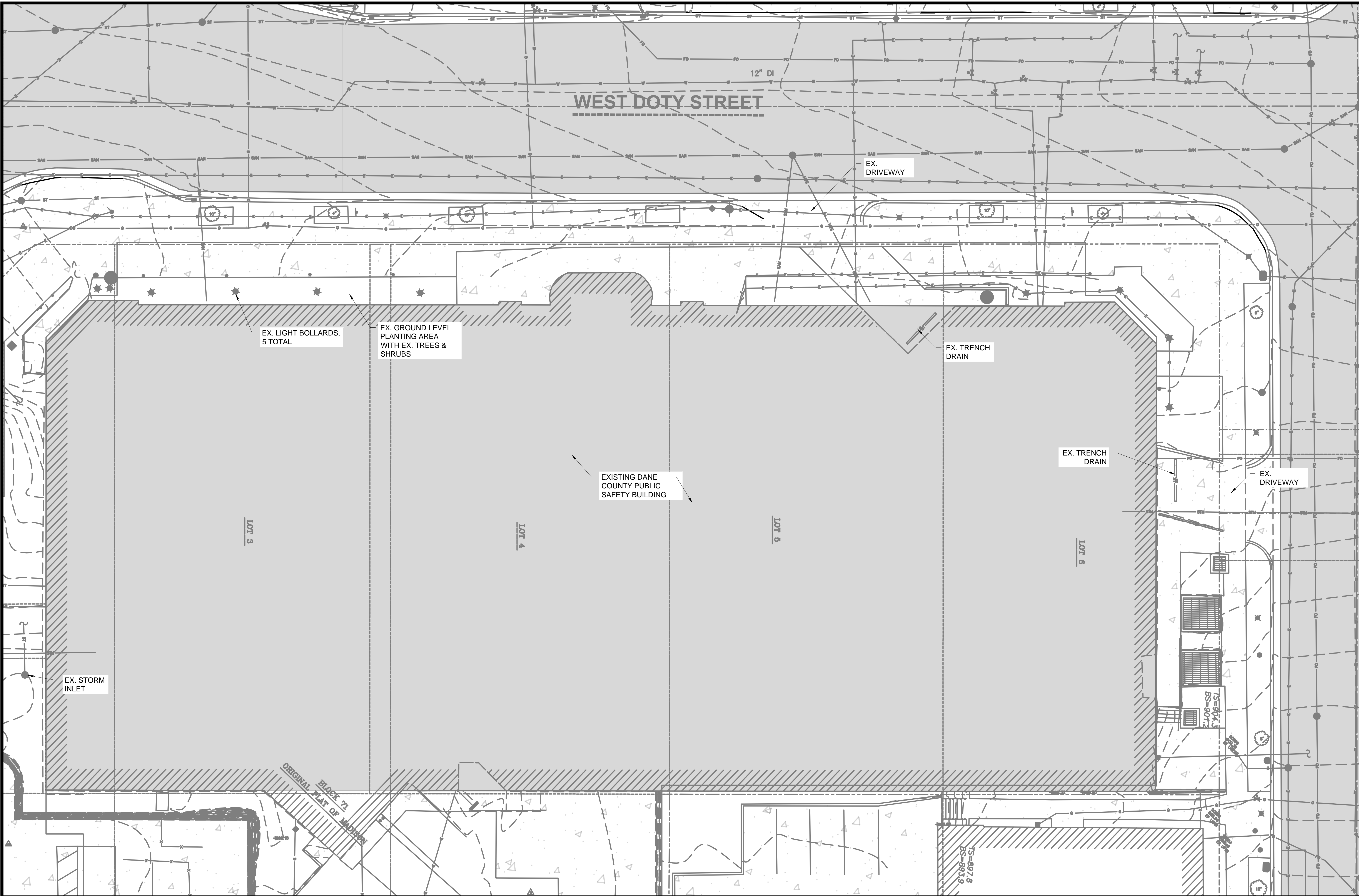
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MMH NO.: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: BRB
DRAWN BY: DAM
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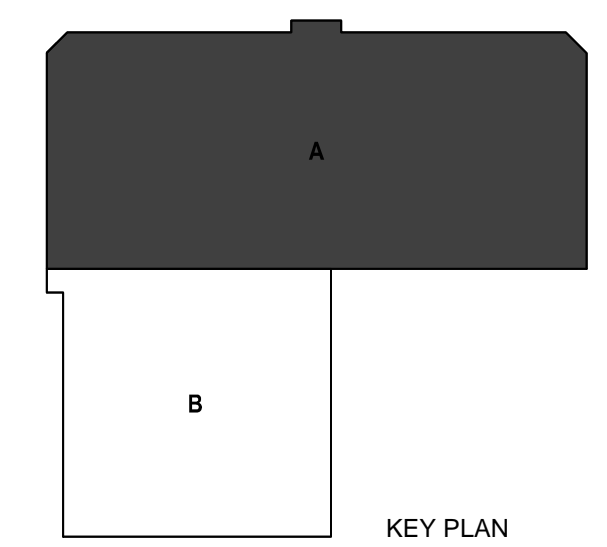
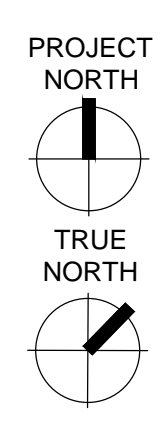
SHEET CONTENTS
EXISTING CONDITIONS

SHEET NO.:
C001



LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C002 EXISTING CONDITIONS - AREA A
1" = 10'

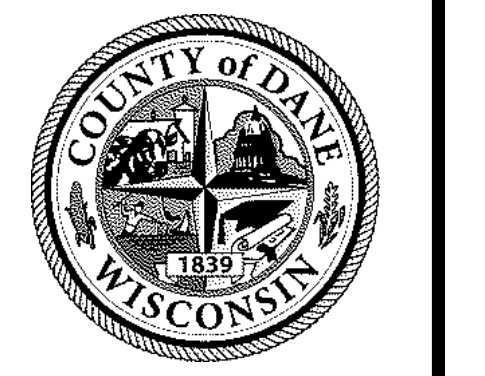


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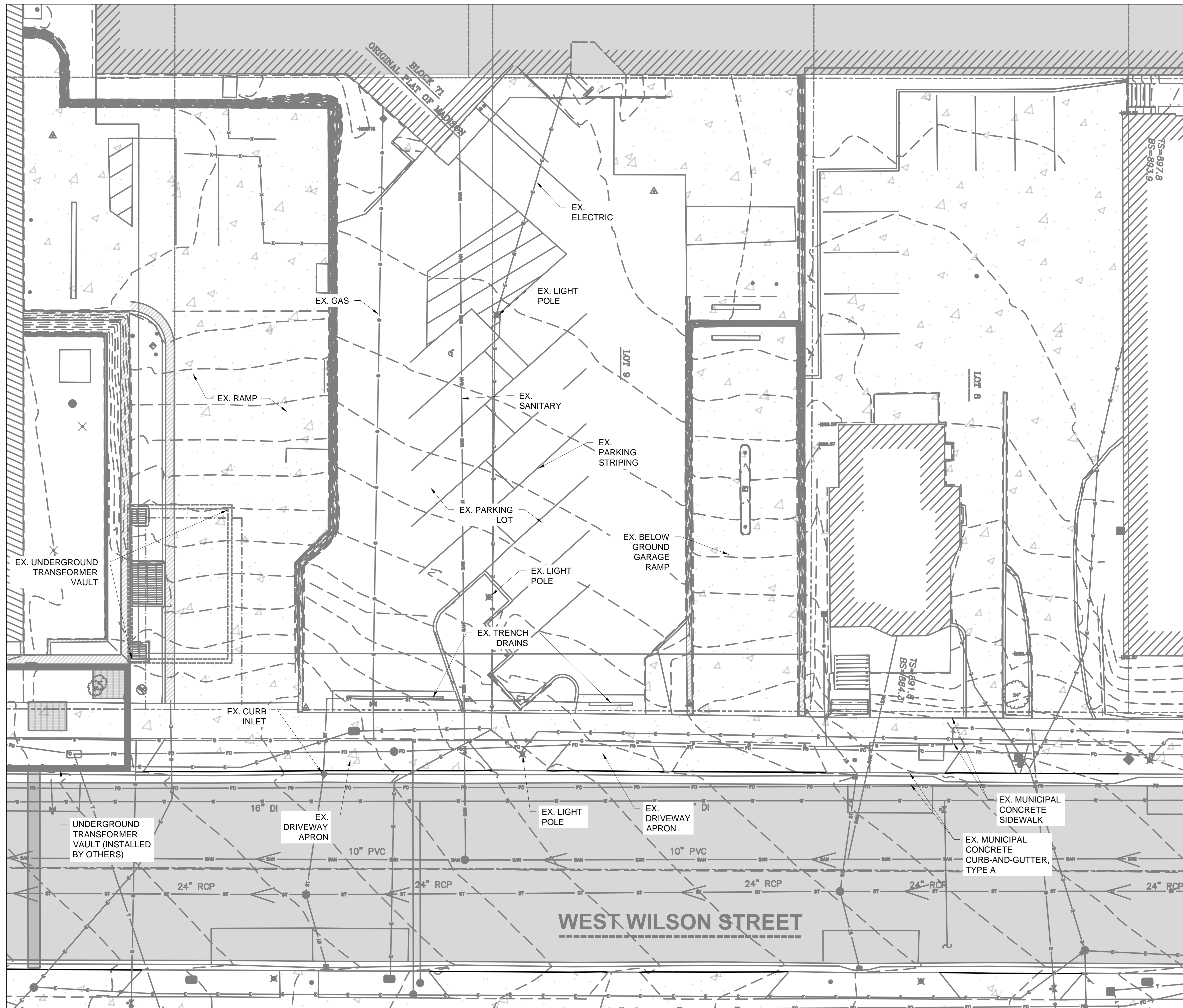
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SHEET CONTENTS
EXISTING CONDITIONS

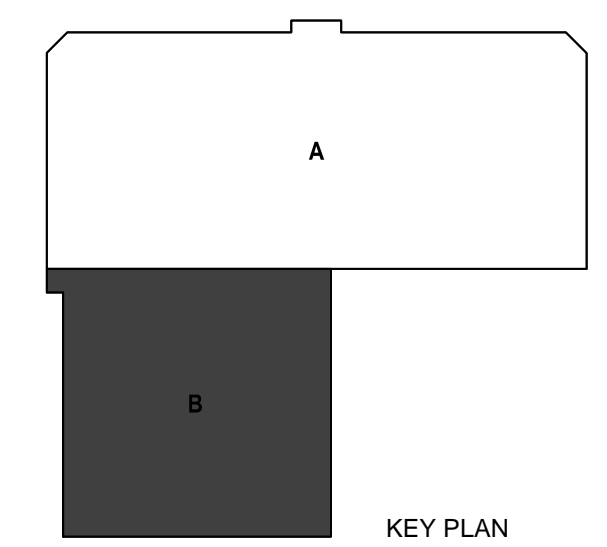
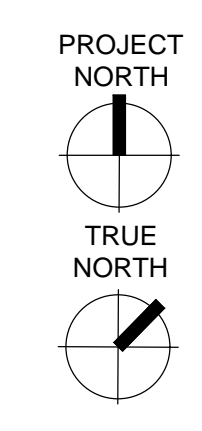
SHEET NO.:

C002



LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C003
EXISTING CONDITIONS - AREA B
1" = 10'

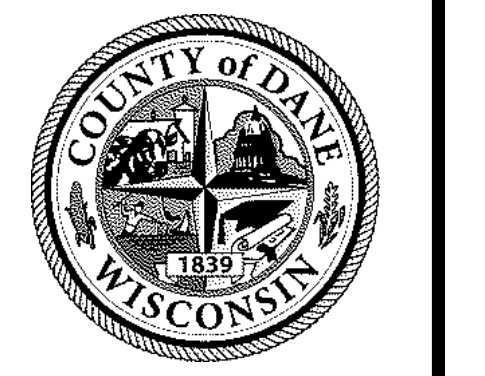


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SHEET CONTENTS
EXISTING CONDITIONS

SHEET NO.

C003

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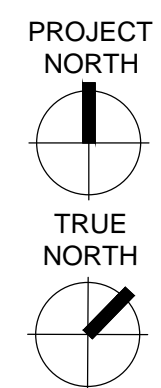
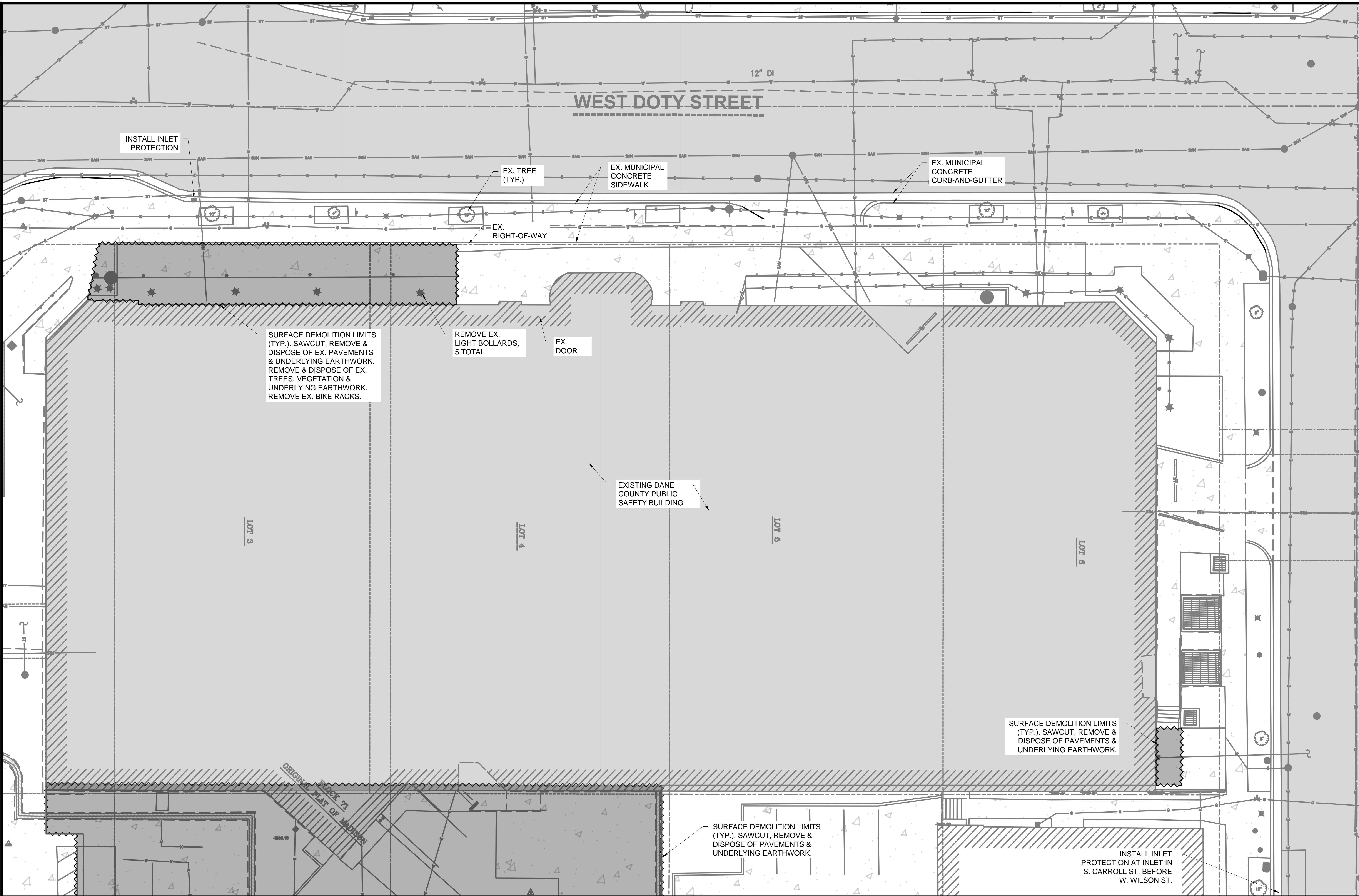
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SHEET CONTENTS
 DEMOLITION PLAN

SHEET NO.:

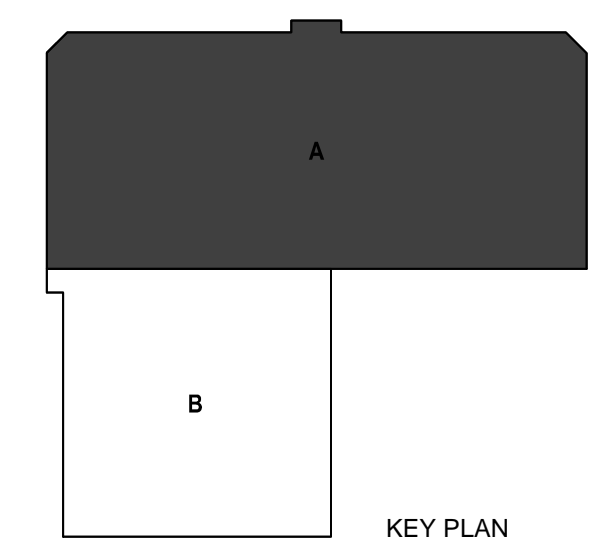
C101

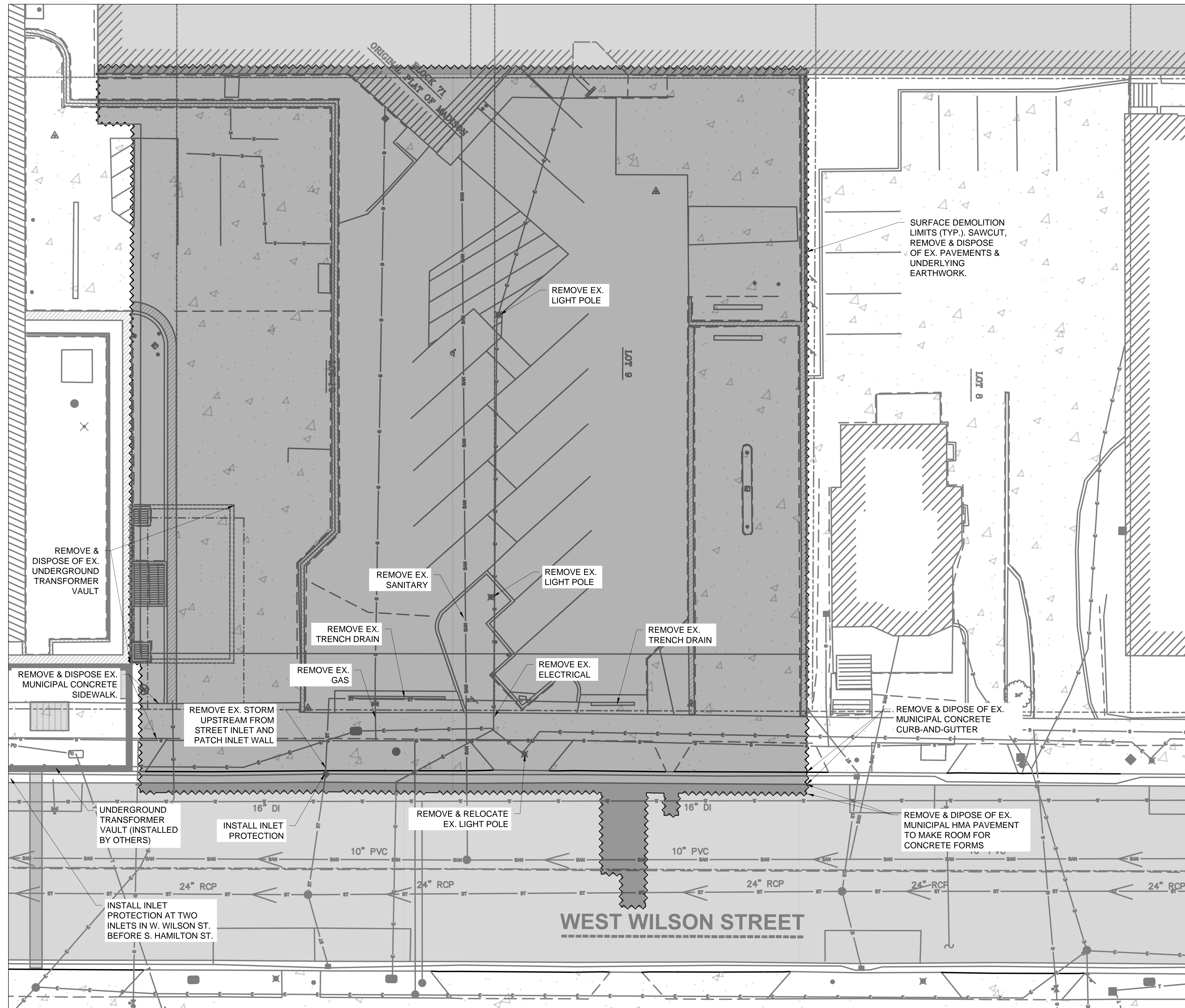
LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY CLEANOUT
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		SURFACE DEMOLITION LIMITS



1
C101 DEMOLITION PLAN - AREA A
 1" = 10'

- DEMOLITION PLAN NOTES:
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".





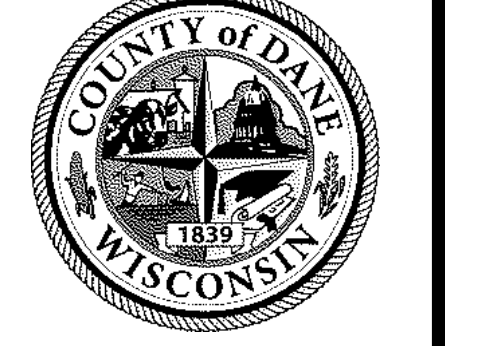
LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		SURFACE DEMOLITION LIMITS

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SHEET CONTENTS
 DEMOLITION PLAN

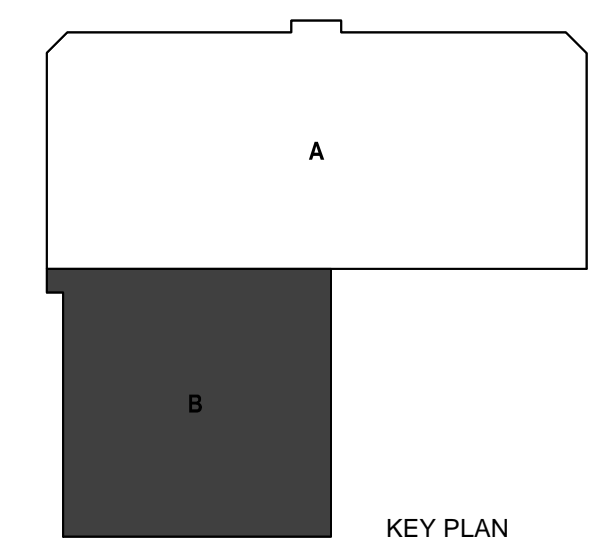
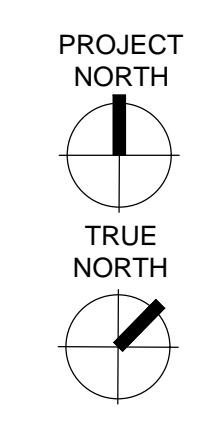
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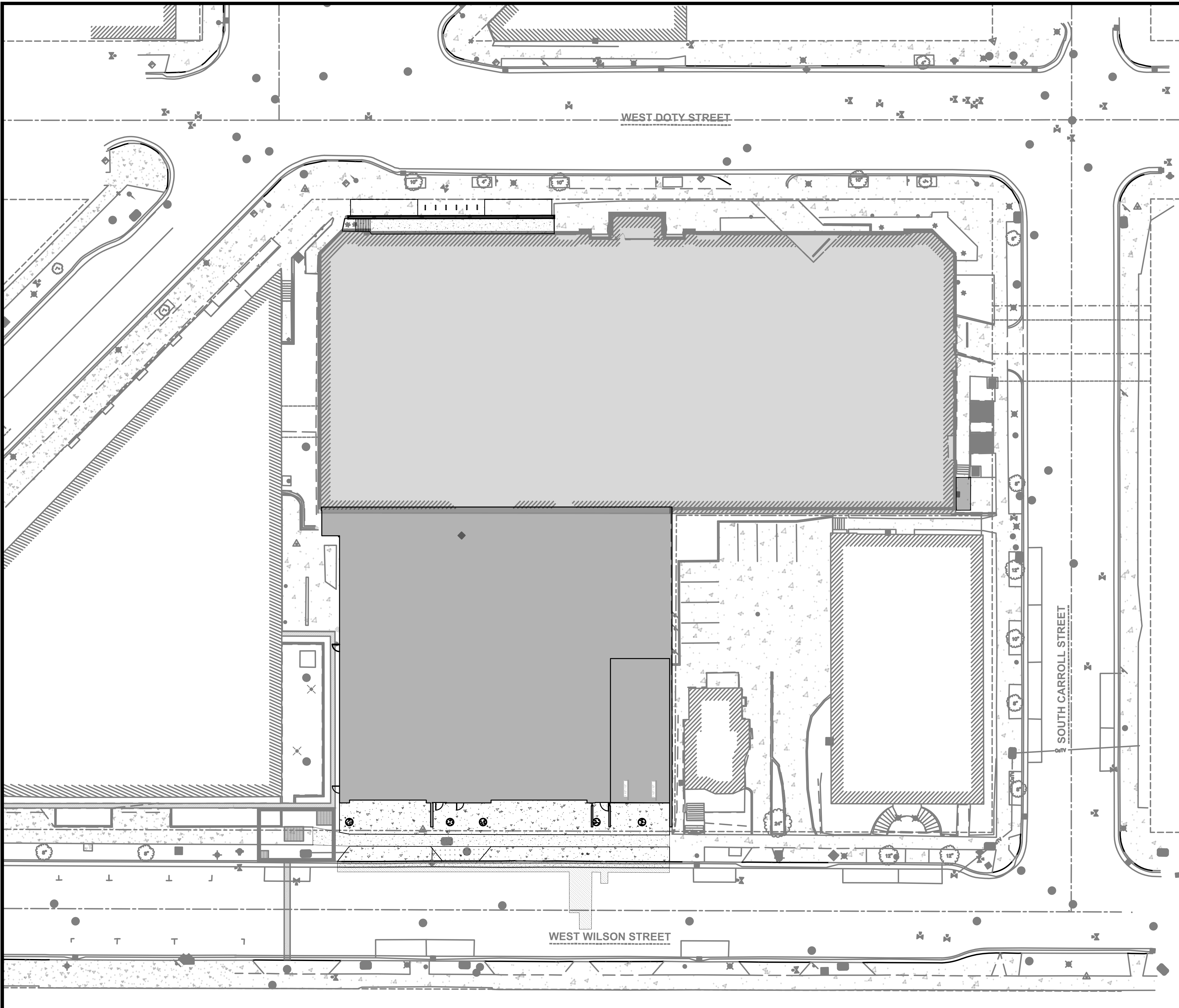
C102

1 DEMOLITION PLAN - AREA B
 C102 1" = 10'

DEMOLITION PLAN NOTES:

- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
- INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".



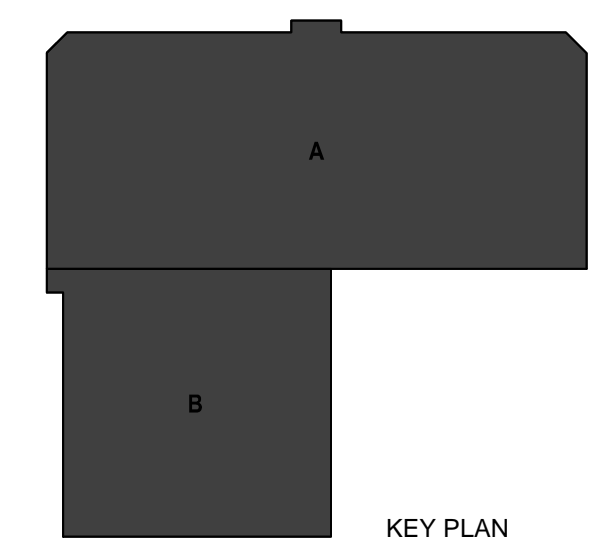
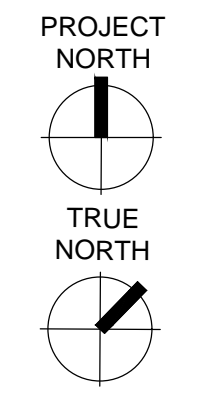


LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	E
E	WATER VALVE
	SANITARY CLEANOUT
	ROOF DRAIN CONNECTION
	HYDRANT
	LIGHT POLE
	PROPOSED BUILDING ENVELOPE
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED MUNICIPAL CONCRETE SIDEWALK
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED SODDING
	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX N:	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M) N:	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

CIVIL NOTES (SHEETS C201-C203, C301-C302, C401-C402):

1. SURVEY CONDUCTED AND PRODUCED BY JSD PROFESSIONAL SERVICES, INC.
2. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
3. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
4. THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
5. RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
6. PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
7. VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
8. CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
9. REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
10. COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
11. PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
12. MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
13. RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
14. PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
15. PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
16. ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
17. DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
18. EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
19. PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
20. PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.

1
C201
PROPOSED SITE PLAN - OVERALL
(SEE SHEETS C201 & C202 FOR ENLARGED AREAS A & B)
1" = 20'

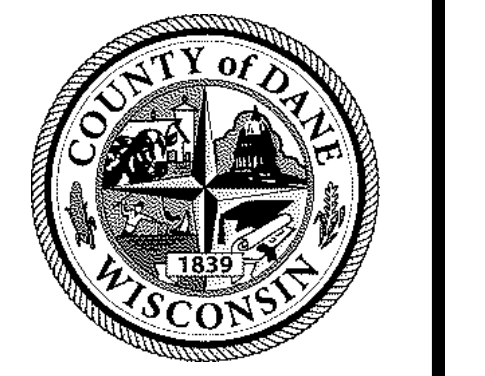


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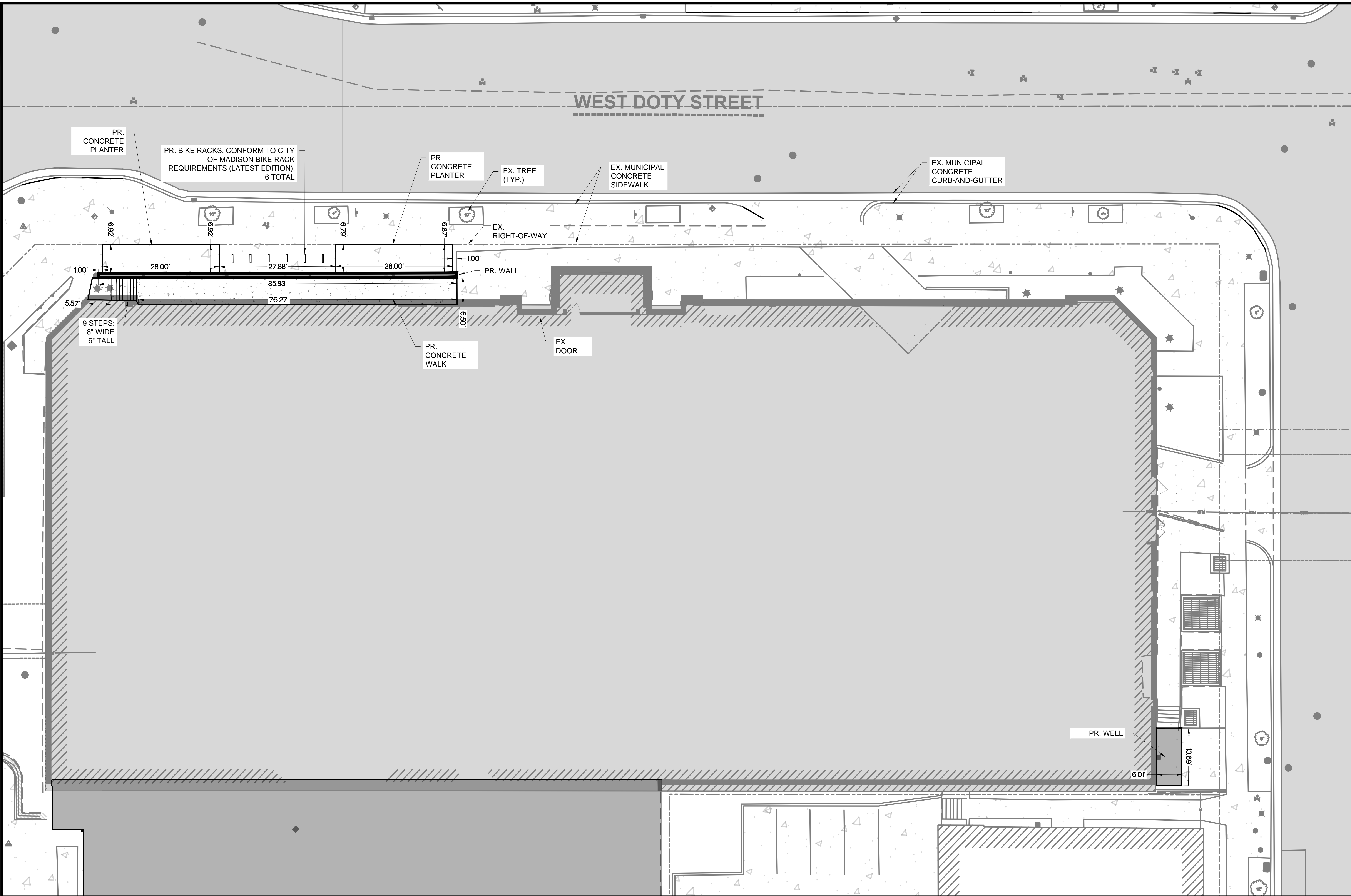
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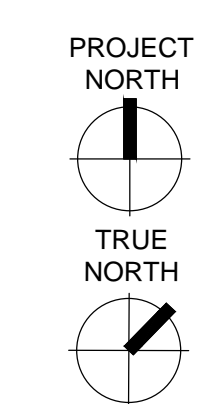
SHEET CONTENTS
PROPOSED SITE PLAN

SHEET NO.:
C201

LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
— T —	— W — WATER PIPE
— SAN —	— SAN — SANITARY CLEANOUT
— ST —	— ST — STORM PIPE
— E —	— E — ELECTRICAL CONDUIT
⊙	⊙ WATER VALVE
○	○ SANITARY CLEANOUT
○	○ ROOF DRAIN CONNECTION
○	○ HYDRANT
○	○ LIGHT POLE
■	■ PROPOSED BUILDING ENVELOPE
■	■ PROPOSED CONCRETE DRIVEWAY
■	■ PROPOSED MUNICIPAL CONCRETE SIDEWALK
■	■ PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
■	■ PROPOSED SODDING
■	■ PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
N:	
E:	
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING
N:	
E:	

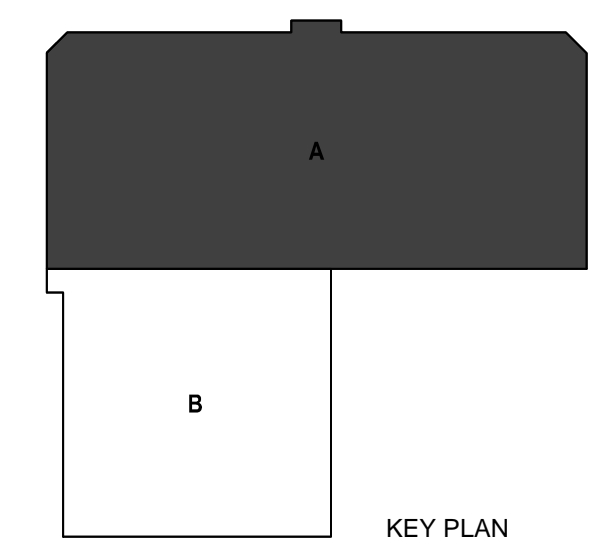


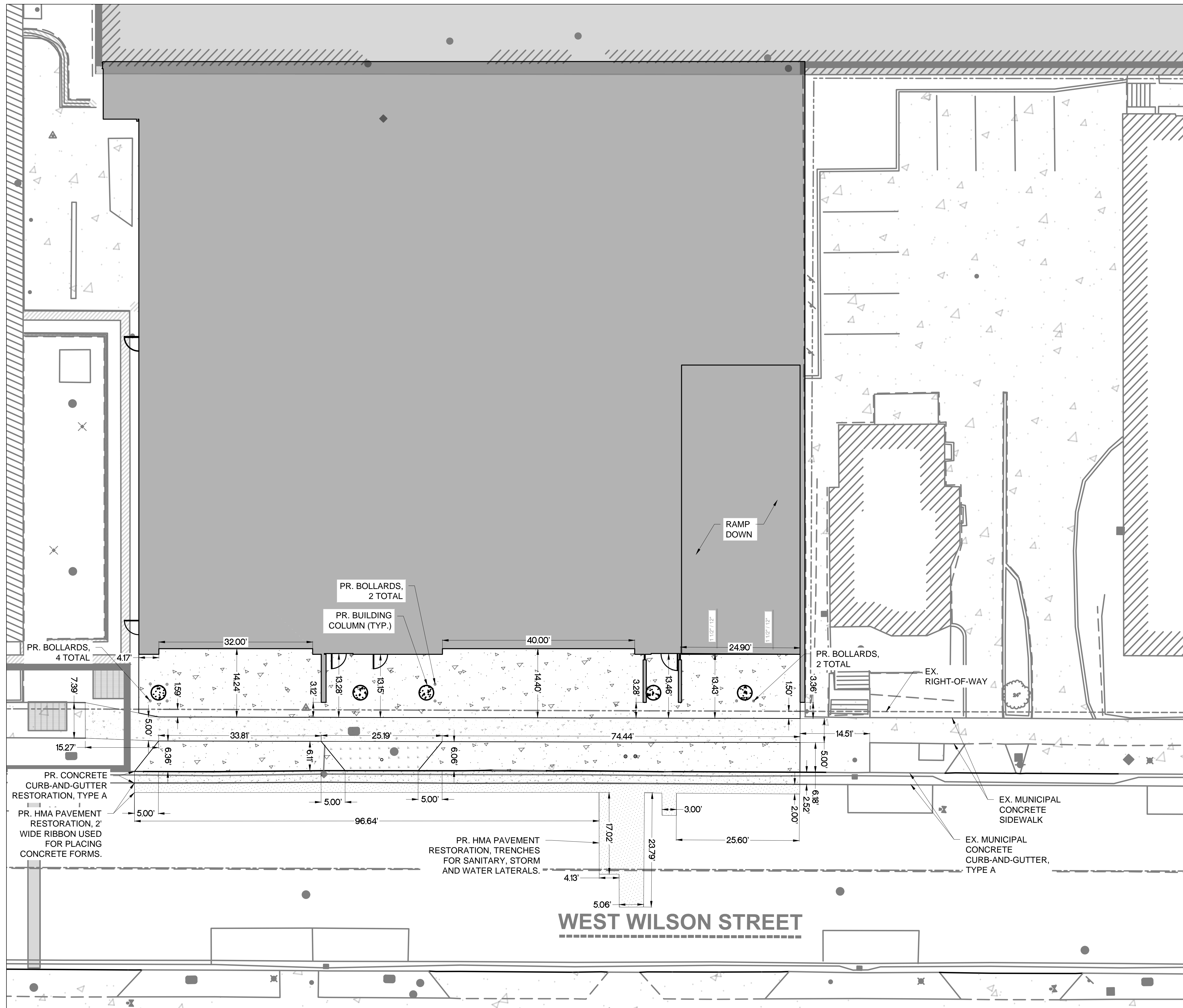
1
C202 PROPOSED SITE PLAN - AREA A
 1" = 10'



- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
 - CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION

TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

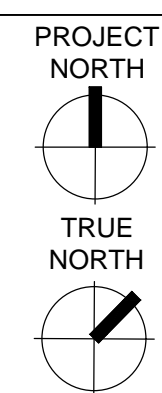




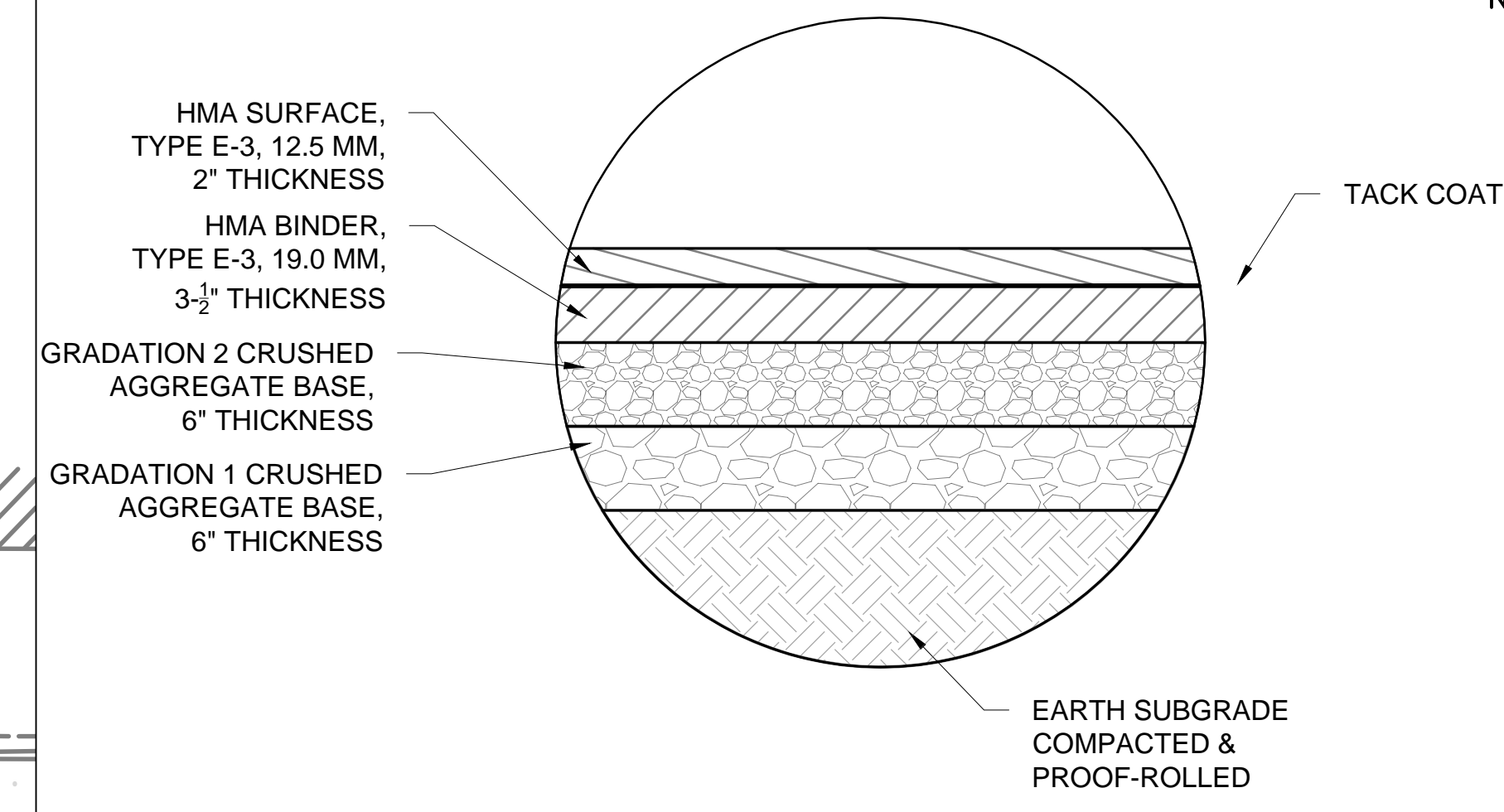
1 PROPOSED SITE PLAN - AREA B
1" = 10'

SITE AND GRADING PLAN NOTES:

- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
- ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
- CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
- CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
- DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

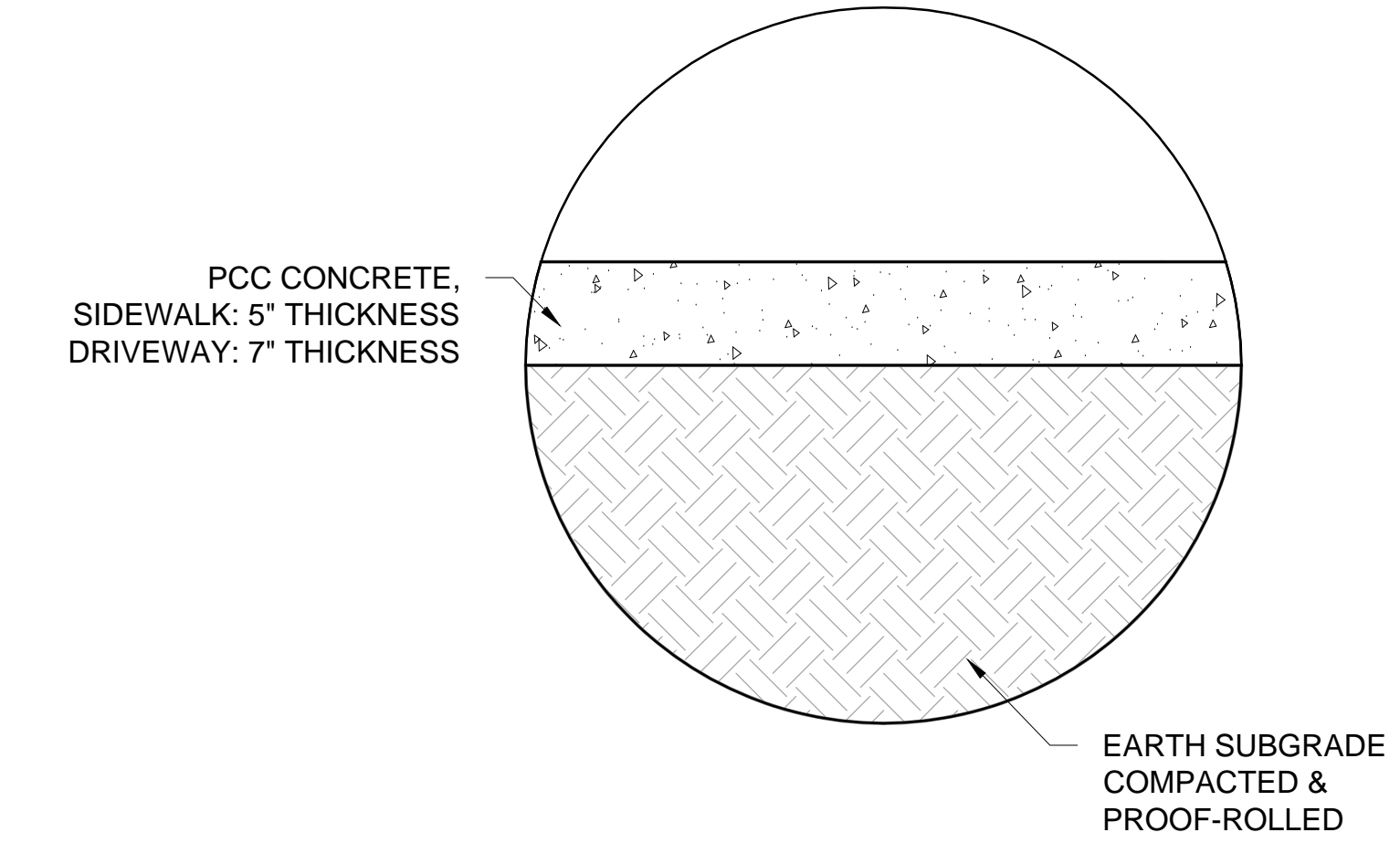


LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	E
E	WATER VALVE
	SANITARY CLEANOUT
	ROOF DRAIN CONNECTION
	HYDRANT
	LIGHT POLE
	PROPOSED BUILDING ENVELOPE
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED MUNICIPAL CONCRETE SIDEWALK
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED SODDING
	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
N:	
E:	
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING
N:	
E:	



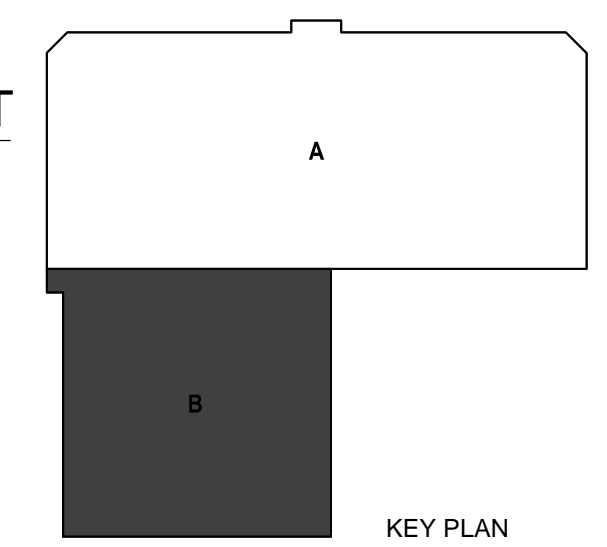
PAVEMENT CROSS-SECTION FROM CITY PROJECT NO. 11459 CONTRACT NO. 7848 DRAWINGS, SHEET D-1, DATED 6/23/2017.

2 ASPHALT PAVEMENT CROSS-SECTION, WILSON STREET
NTS



PAVEMENT CROSS-SECTION FROM CITY PROJECT NO. 11459 CONTRACT NO. 7848 DRAWINGS, SHEET D-1, DATED 6/23/2017.

3 CONCRETE PAVEMENT CROSS-SECTION, WILSON STREET
NTS

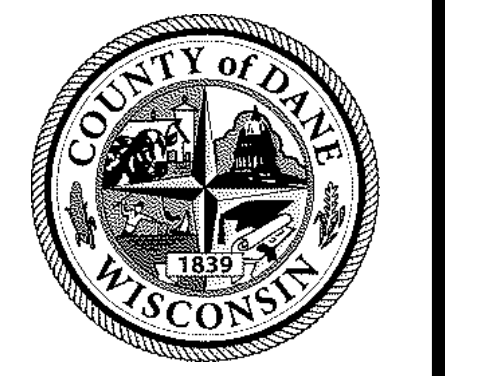


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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED: 05/29/2020
DESIGN DEVELOPMENT

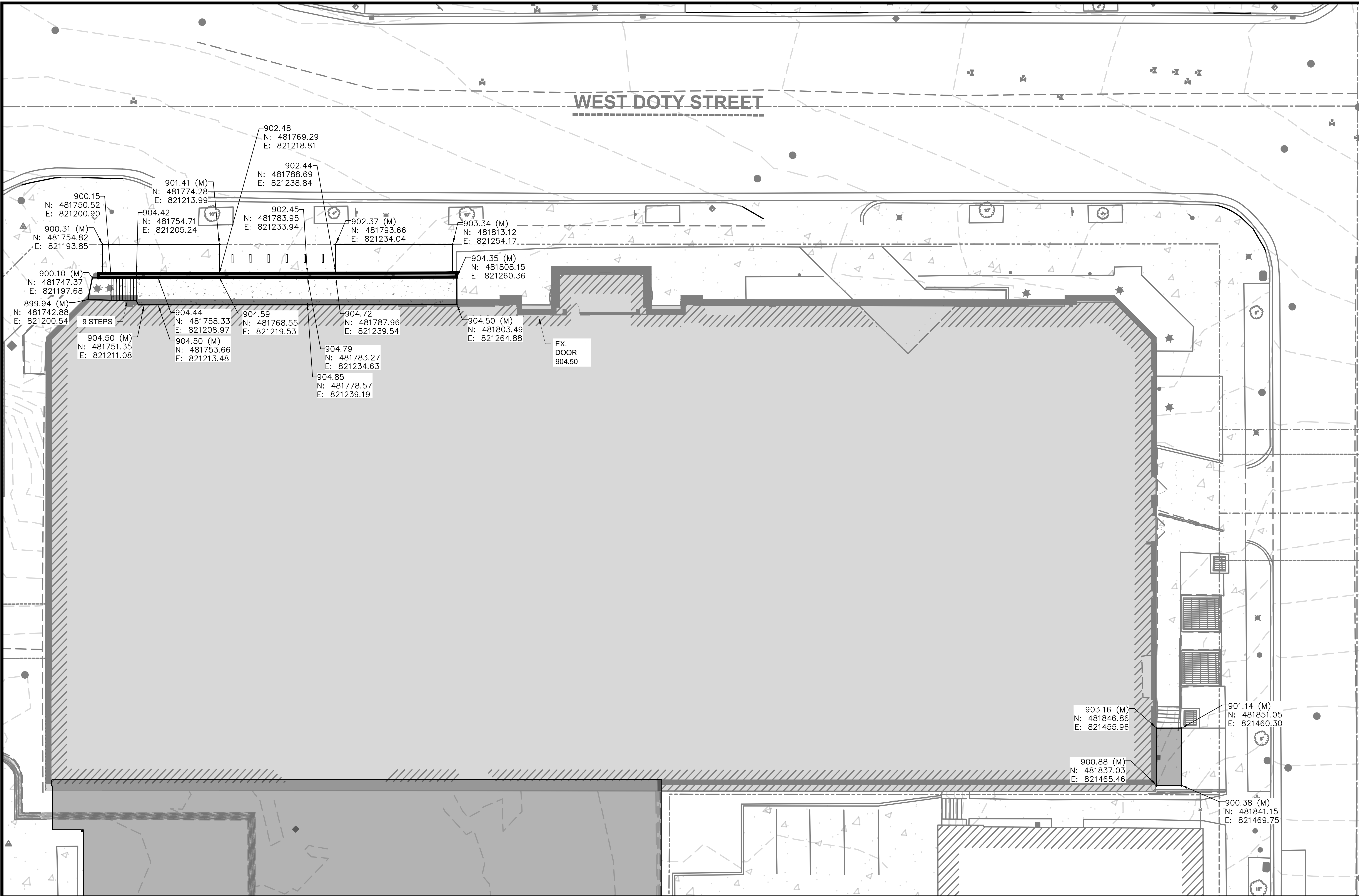
NOT FOR CONSTRUCTION

PLN NO.: 2018.18.00
MMH NO.: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: BRB
DRAWN BY: DAM
CHECKED BY: RJ
DO NOT SCALE DRAWINGS

SHEET CONTENTS
PROPOSED SITE PLAN

SHEET NO.:

C203



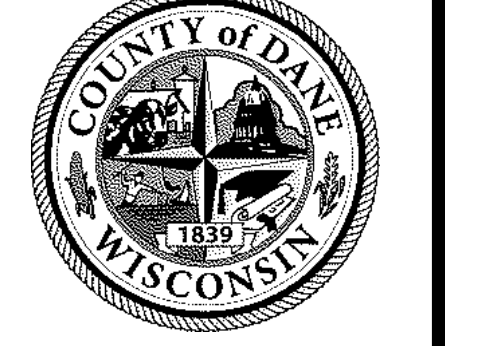
LEGEND	
---	EXISTING
- - -	PROPOSED
---	MAJOR CONTOUR
- - -	MINOR CONTOUR
— v —	WATER PIPE
— SAN —	SANITARY
— ST —	STORM PIPE
— E —	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊙	ROOF DRAIN CONNECTION
⊙	HYDRANT
⊙	LIGHT POLE
[Hatched Box]	PROPOSED BUILDING ENVELOPE
[Hatched Box]	PROPOSED CONCRETE DRIVEWAY
[Hatched Box]	PROPOSED MUNICIPAL CONCRETE SIDEWALK
[Hatched Box]	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
[Dotted Box]	PROPOSED SODDING
[Hatched Box]	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

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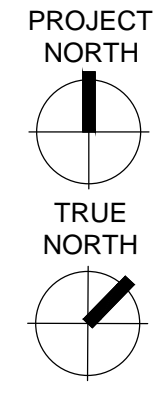
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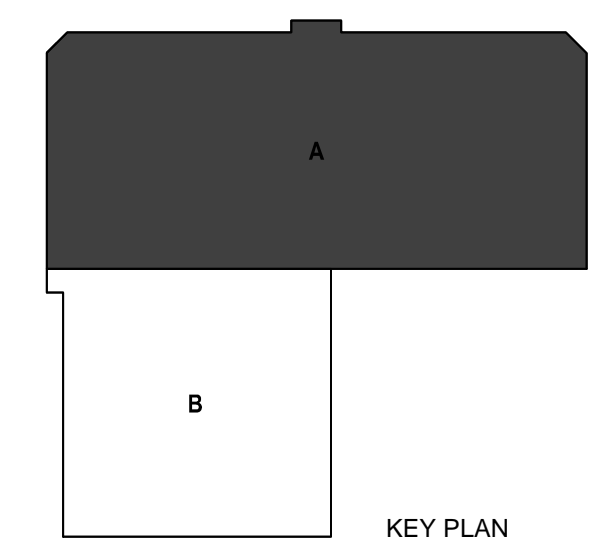
DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
 1919 ALLIANT ENERGY CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

Dane County Jail Consolidation
South Tower Addition & Public Safety Building Renovation
 115 W. Doty Street
 Madison, WI 53703



1
C301 GRADING PLAN - AREA A
 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.



ISSUED: 05/29/2020 DESIGN DEVELOPMENT

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 CHECKED BY: RJ
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SHEET CONTENTS
 GRADING PLAN

SHEET NO.: **C301**



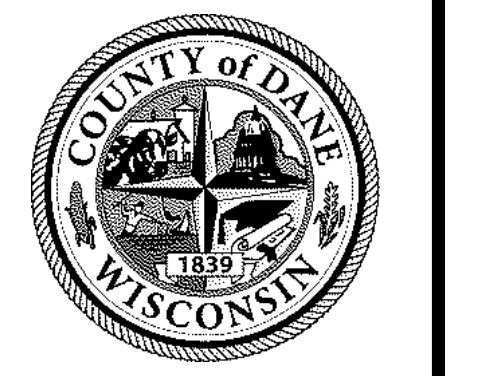
LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	STORM PIPE
E	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊘	ROOF DRAIN CONNECTION
⊚	HYDRANT
⊛	LIGHT POLE
▭ (Solid)	PROPOSED BUILDING ENVELOPE
▭ (Hatched)	PROPOSED CONCRETE DRIVEWAY
▭ (Dotted)	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭ (Cross-hatched)	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭ (Stippled)	PROPOSED SODDING
▭ (Horizontal lines)	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORthing & EASTING
N: XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORthing & EASTING
E: XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORthing & EASTING

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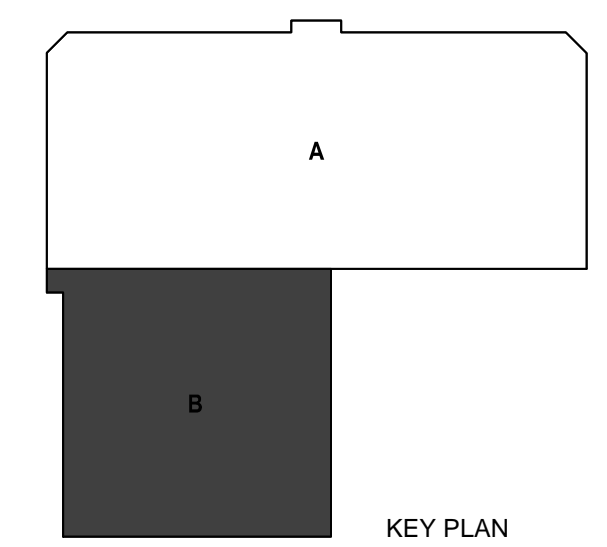
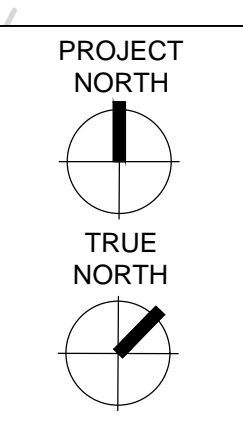


DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
 1919 ALLIANT ENERGY CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

**Dane County Jail Consolidation
 South Tower Addition & Public Safety Building Renovation**
 115 W. Doty Street
 Madison, WI 53703

1 GRADING PLAN - AREA B
 C302 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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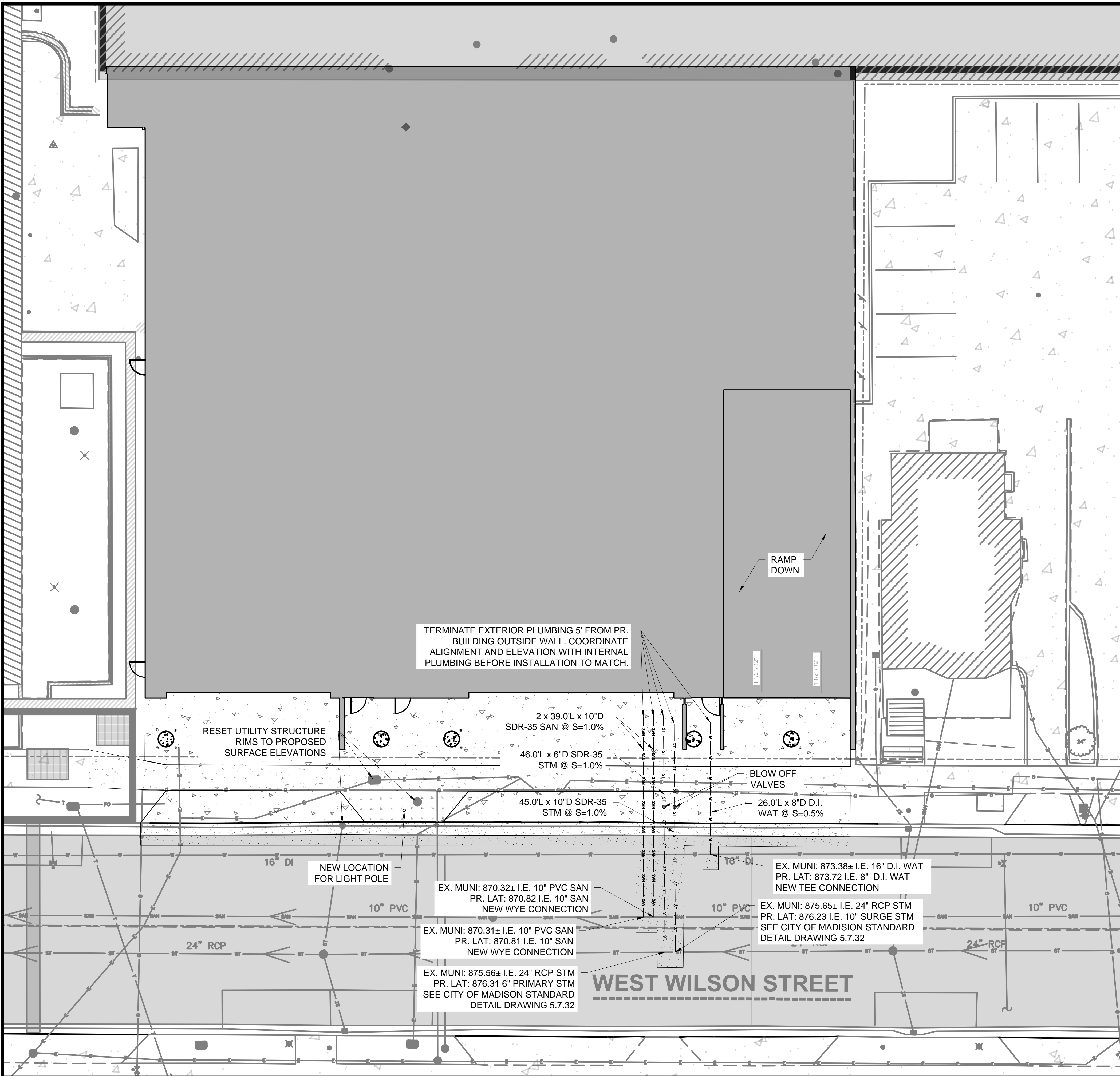
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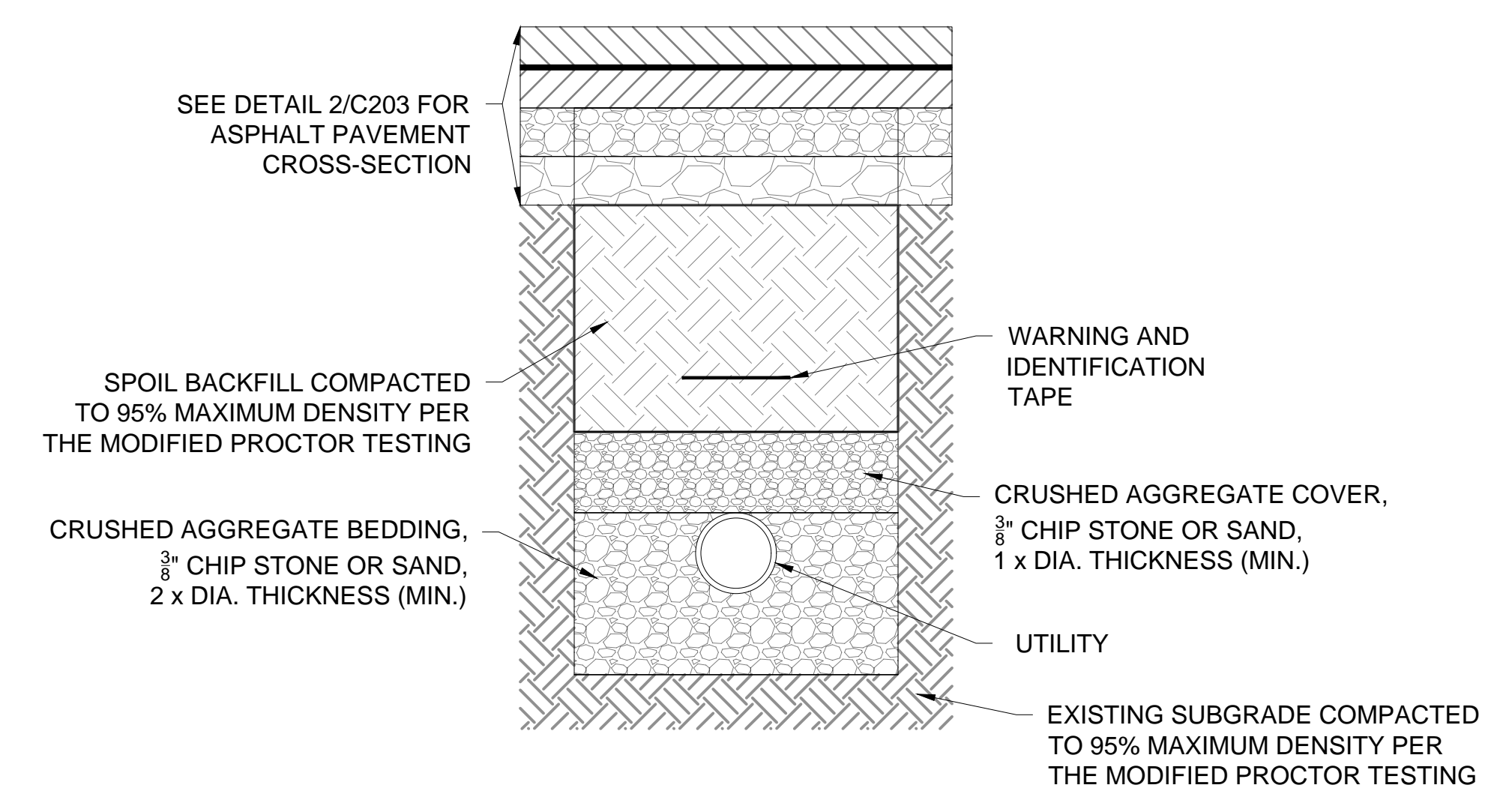
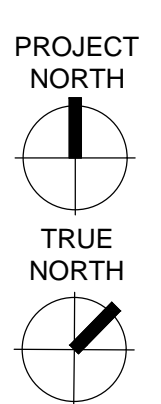
SHEET CONTENTS
 GRADING PLAN

SHEET NO.: C302

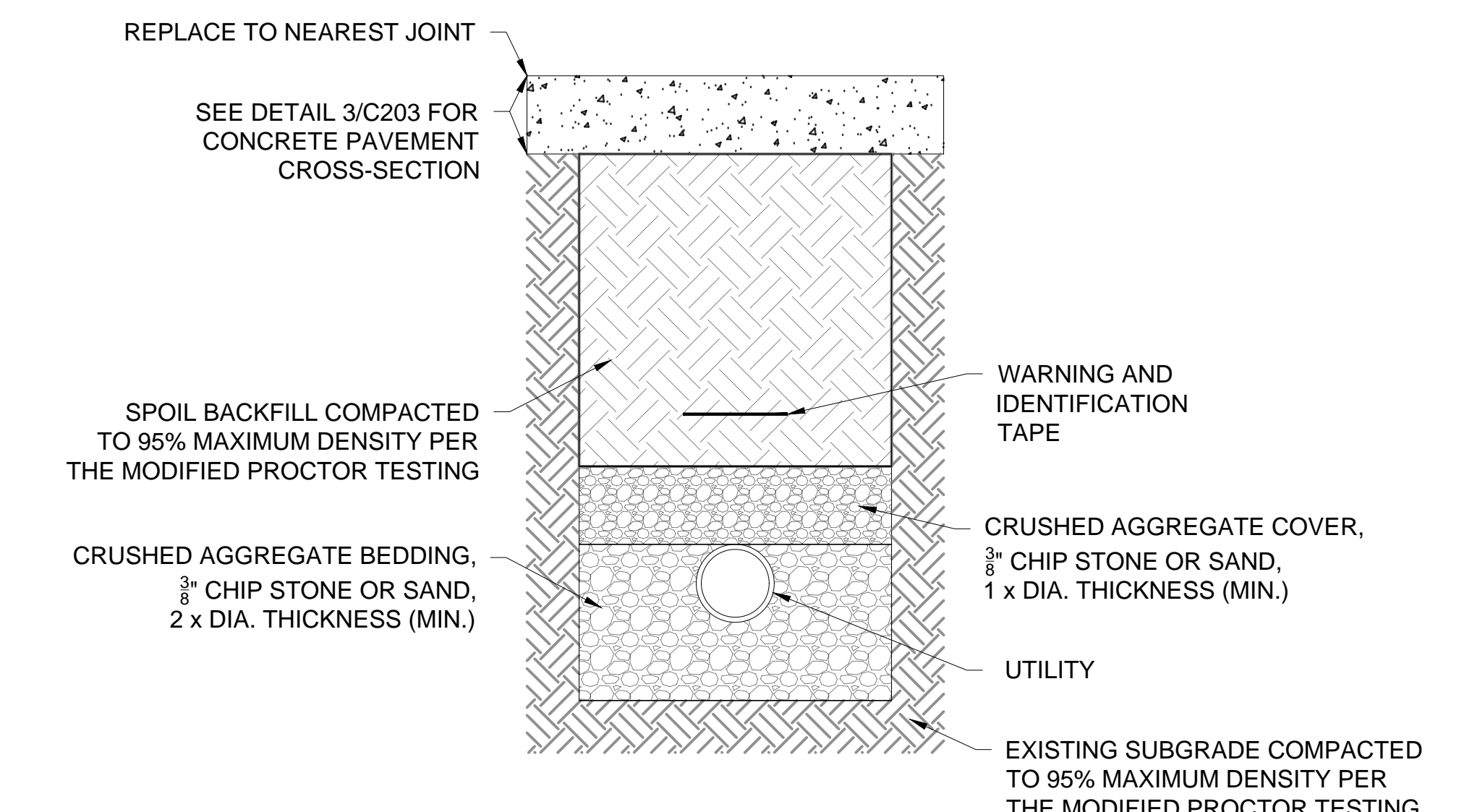


1
C402 UTILITIES PLAN - AREA B
 1" = 10'

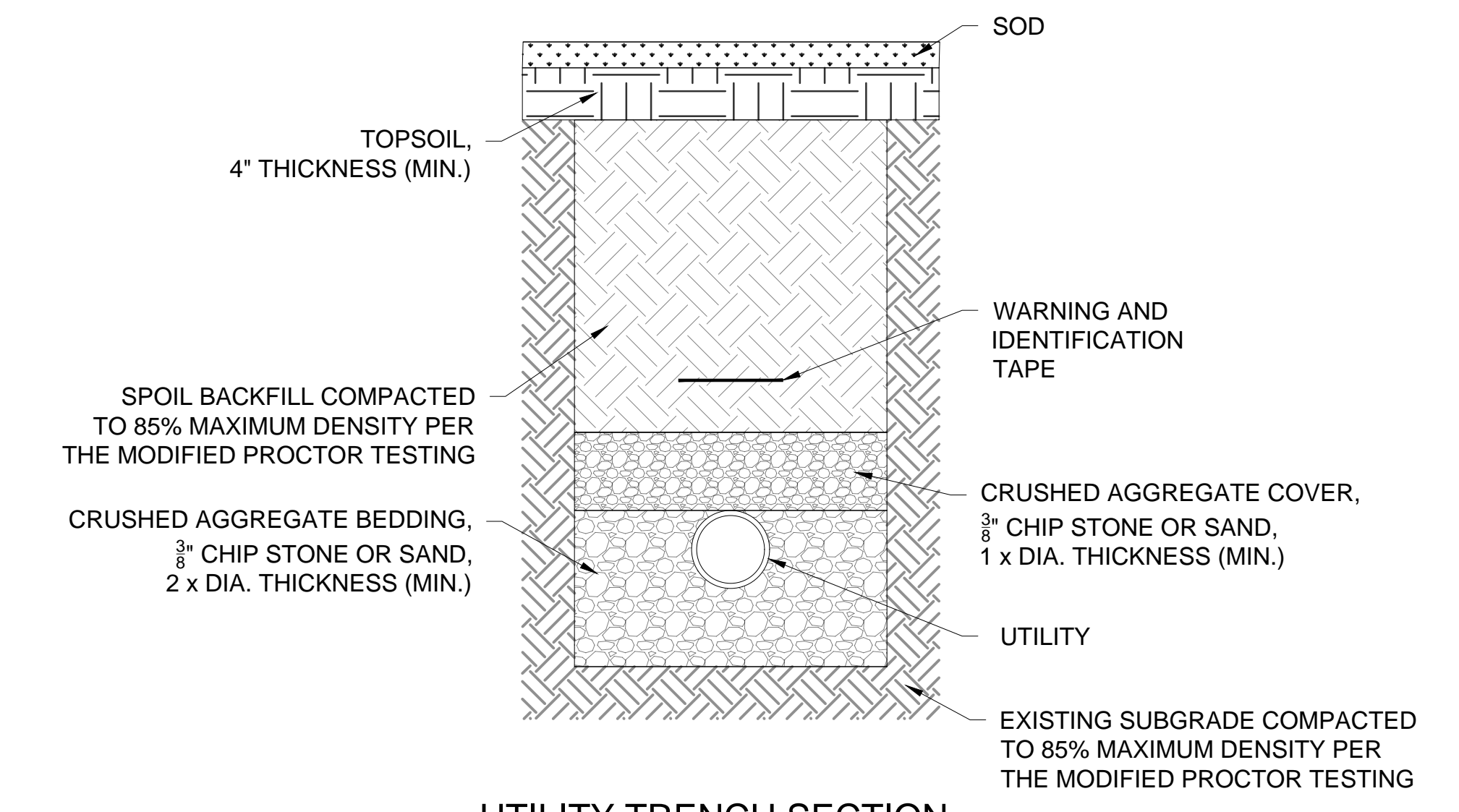
- UTILITY PLAN NOTES:
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - ALL UTILITIES: CONFORM TO SECTION 330500 "COMMON WORK RESULTS FOR UTILITIES" AND SECTION 315000 "EXCAVATION SUPPORT AND PROTECTION" OF PROJECT SPECIFICATIONS.
 - SANITARY: CONFORM TO SECTION 221313 "FACILITY SANITARY SEWERS" OF PROJECT SPECIFICATIONS.
 - WATER: CONFORM TO SECTION 221113 "FACILITY WATER DISTRIBUTION PIPING" OF PROJECT SPECIFICATIONS.
 - STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.



2
C402 UTILITY TRENCH SECTION,
 ASPHALT PAVEMENT CONDITION
 NTS



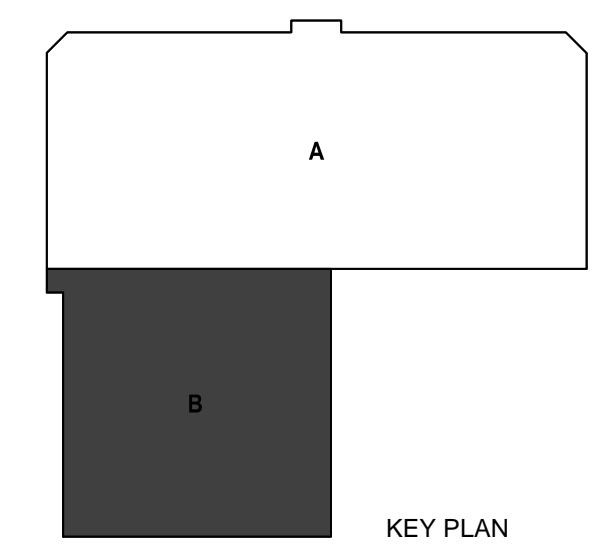
3
C402 UTILITY TRENCH SECTION,
 CONCRETE PAVEMENT CONDITION
 NTS

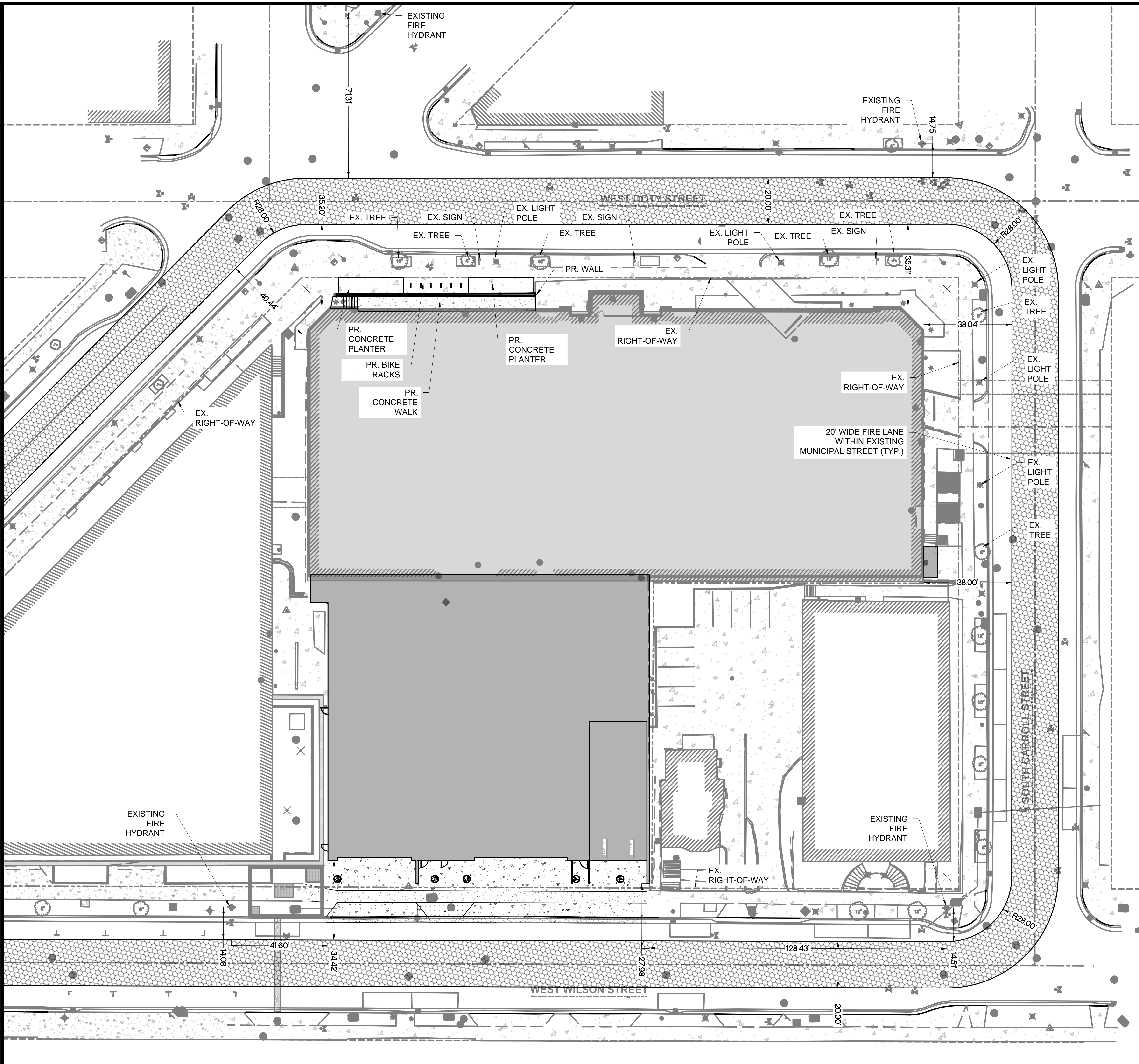


4
C402 UTILITY TRENCH SECTION,
 TURF CONDITION
 NTS

LEGEND

EXISTING	MAJOR CONTOUR	
PROPOSED	MINOR CONTOUR	
— T —	— V —	WATER PIPE
— W —	— SAN —	SANITARY CLEANOUT
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
⊗	⊗	WATER VALVE
⊙	⊙	SANITARY CONNECTION
⊕	⊕	ROOF DRAIN CONNECTION
⊖	⊖	HYDRANT
⊗	⊗	LIGHT POLE
▭	▭	PROPOSED BUILDING ENVELOPE
▭	▭	PROPOSED CONCRETE DRIVEWAY
▭	▭	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭	▭	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭	▭	PROPOSED SODDING
▭	▭	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	N:	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M)	N:	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

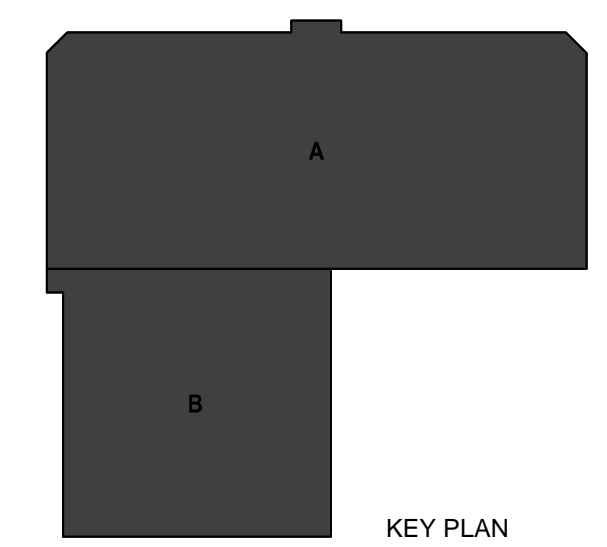
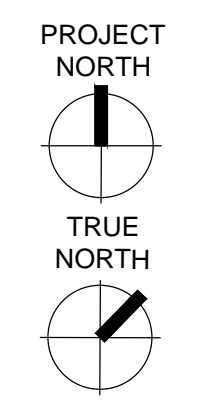




LEGEND

EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	E
E	WATER VALVE
	SANITARY CLEANOUT
	ROOF DRAIN CONNECTION
	HYDRANT
	LIGHT POLE
	PROPOSED BUILDING ENVELOPE
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED MUNICIPAL CONCRETE SIDEWALK
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED SODDING
	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
	EXISTING FIRE LANE

1 FIRE ACCESS PLAN - OVERALL
C501 1" = 20'

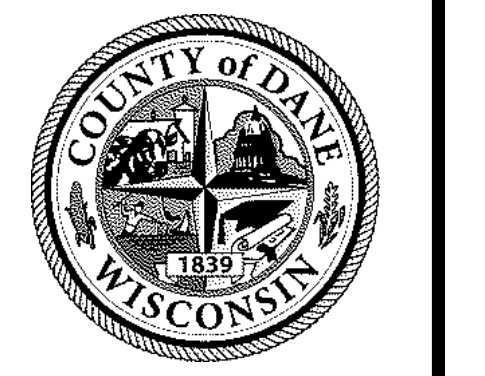


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1919 ALLIANT ENERGY CENTER WAY
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South Tower Addition & Public Safety Building Renovation
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SHEET CONTENTS
FIRE ACCESS PLAN

SHEET NO.:
C501



View of Dane County Courthouse along West Wilson Street



Context View from John Nolen Drive



Dane County Courthouse



View of 111 West Wilson (Left) and 131 West Wilson (Right)



View of Public Safety Building from West Wilson Street



View of 112 West Wilson Street



**Dane County Jail Consolidation
South Tower Addition & Public Safety
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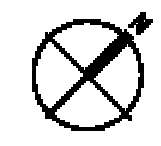
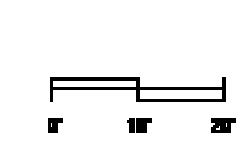
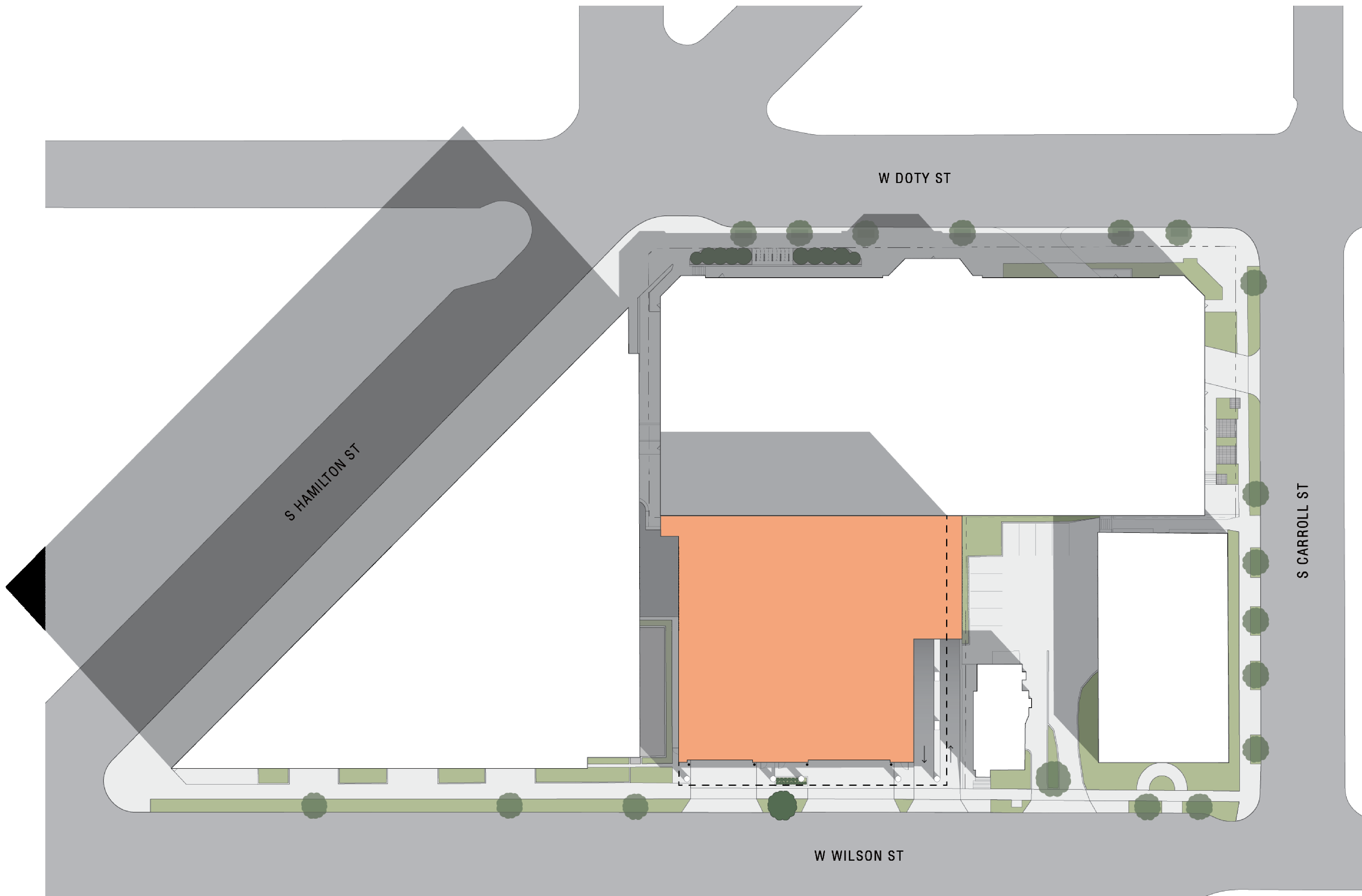
PLIN: 2018.18.00
M&H NO: 4215400-181957.01
DATE: 05/29/2020
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker

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SHEET CONTENTS
ILLUSTRATIVE SITE
PLAN

SHEET NO.:

LU-A002

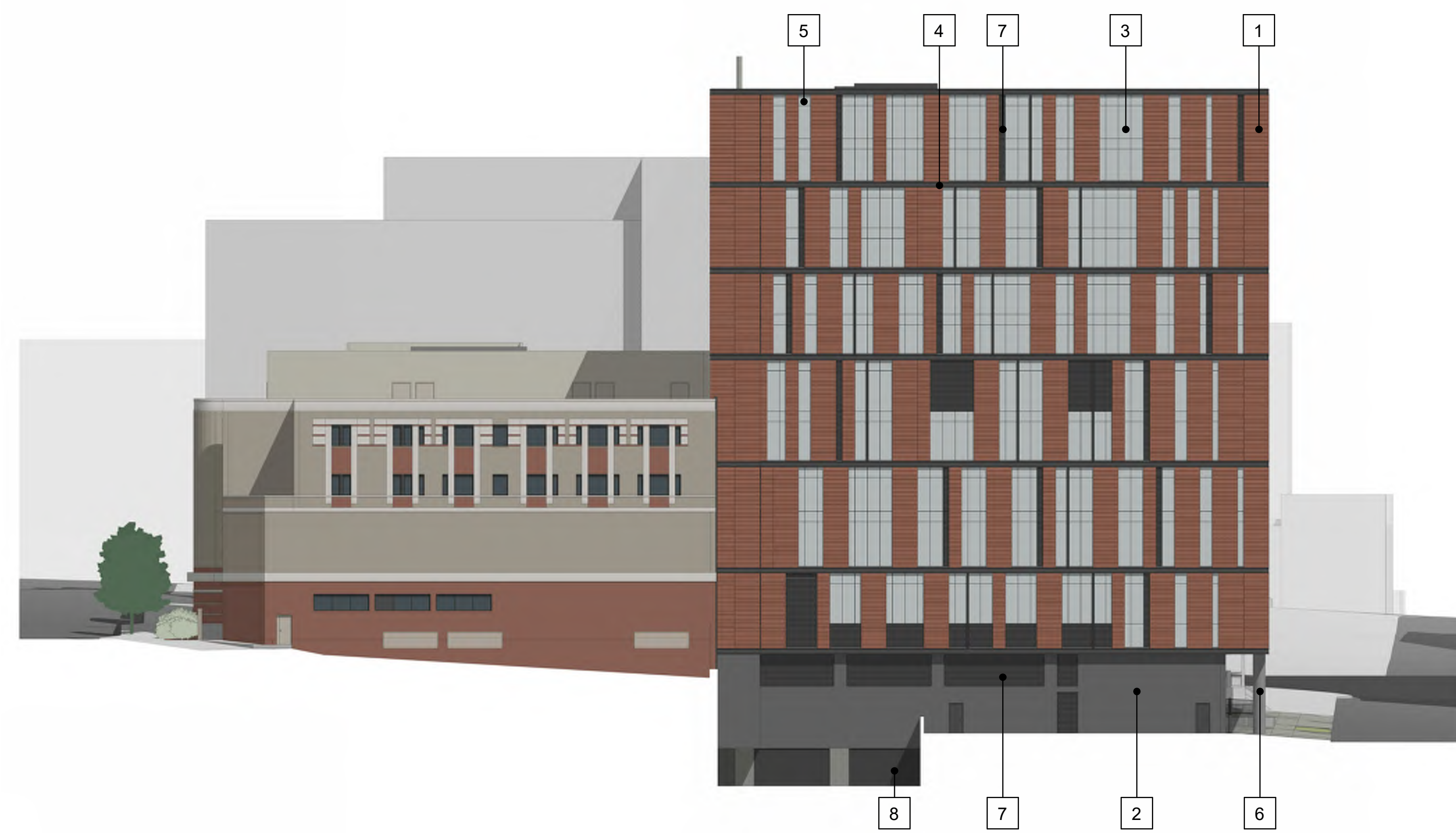




South Elevation



North Elevation

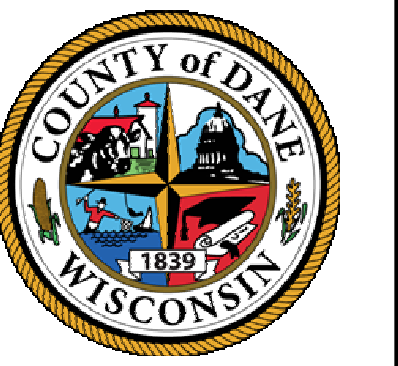


West Elevation



East Elevation

1	TERRACOTTA VENEER	4	BLACK ANODIZED ALUMINUM BAND	7	LOUVER
2	BRICK VENEER	5	SPANDREL GLAZING	8	OVERHEAD DOOR
3	SSS ANODIZED ALUMINUM CURTAIN WALL SYSTEM	6	CONCRETE COLUMN	9	MECHANICAL SCREEN





South Aerial View



North Aerial View



West Aerial View



East Aerial View



View from DOHS



View from John Nolen



South Elevation



Facade Detail



Street Level East



Street Level West

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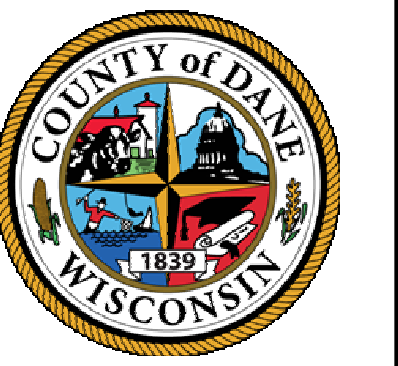
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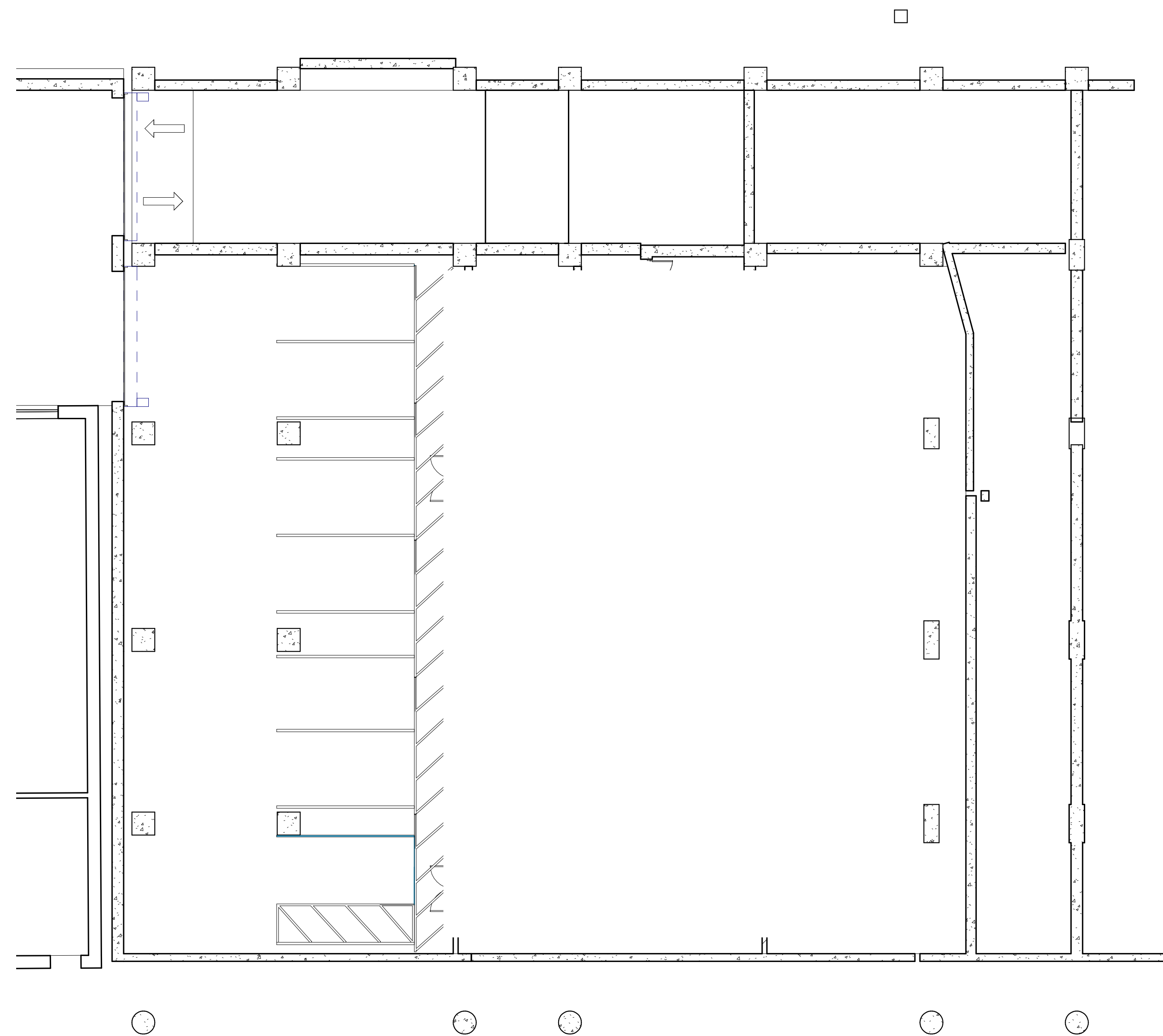
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DRAWN BY: Author
CHECKED BY: Checker

DO NOT SCALE DRAWINGS
SHEET CONTENTS
BUILDING
PERSPECTIVES

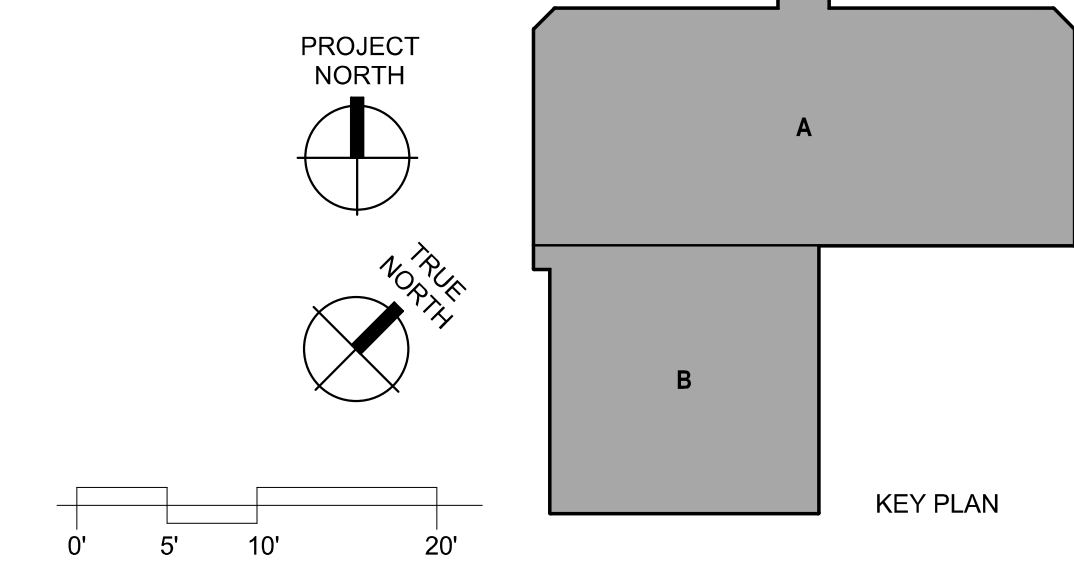
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LU-A005

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1 SUB-BASEMENT 2 FLOOR PLAN
 LU-A098 3/32" = 1'-0"



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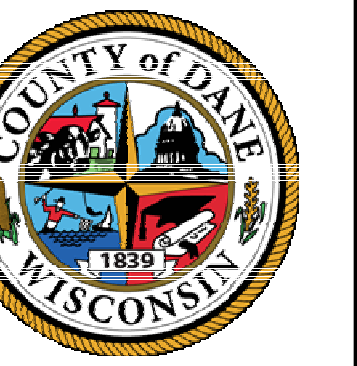
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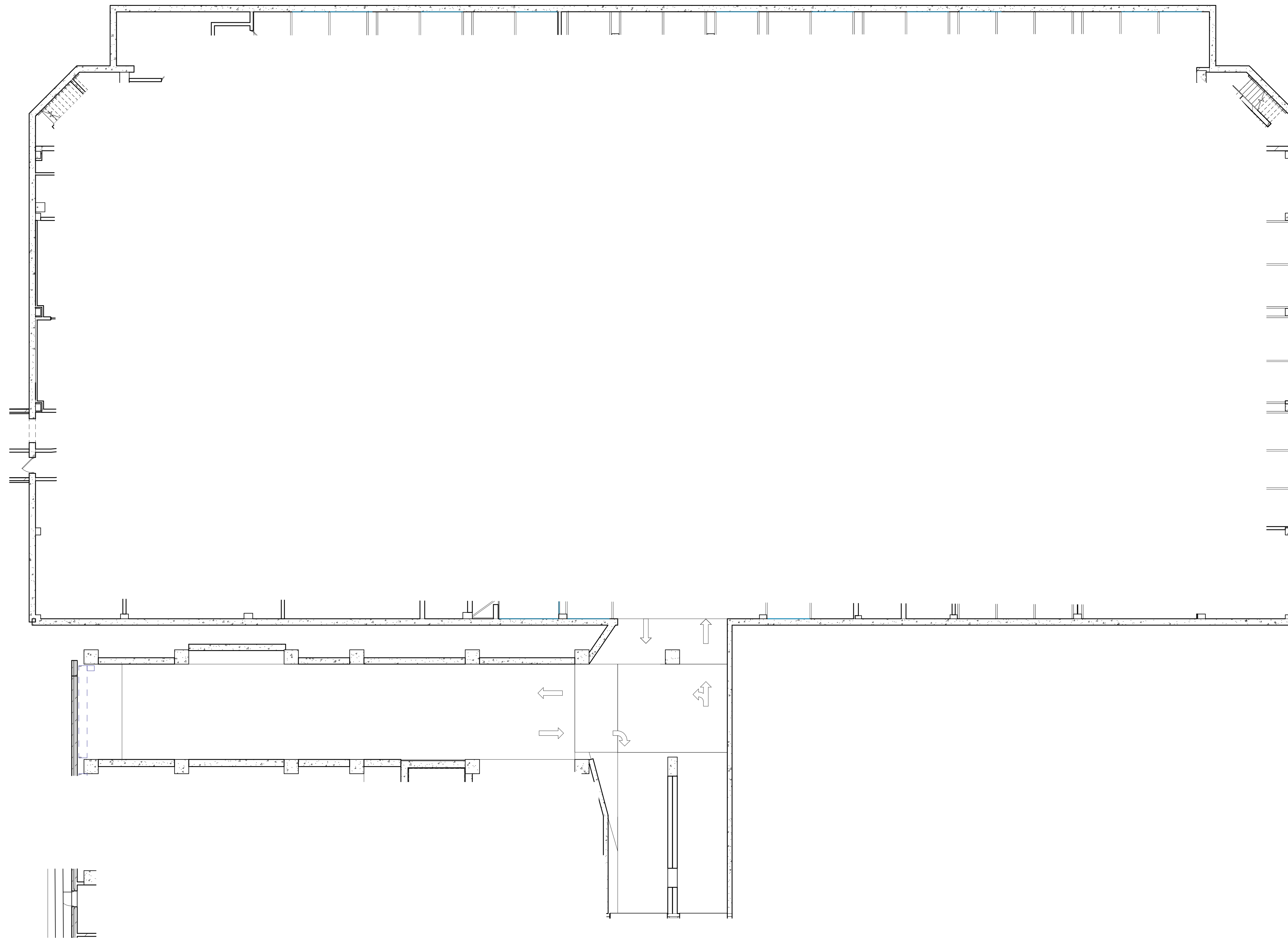
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NOT FOR CONSTRUCTION

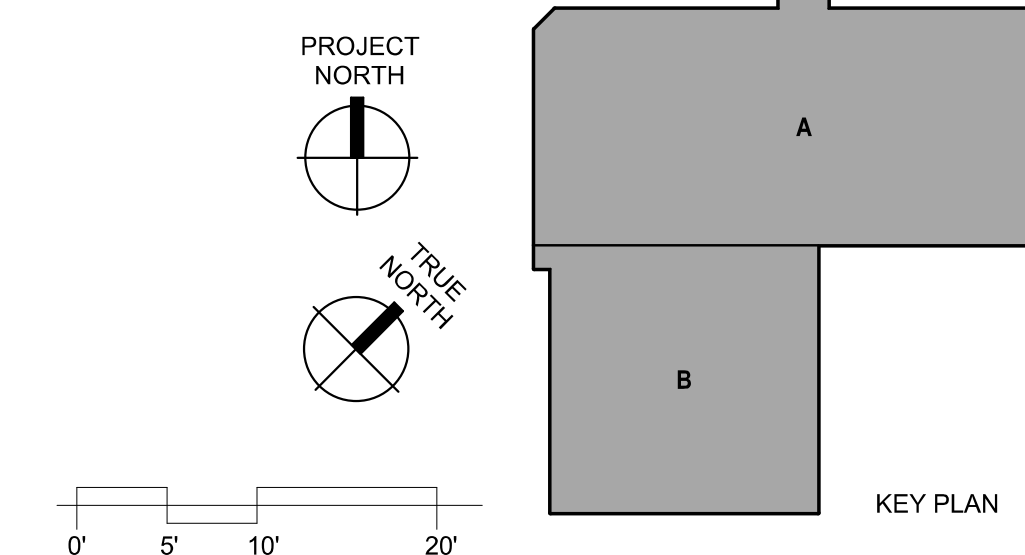
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 SHWNO: 4215400-181957.01
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 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECKED BY: Checker
DO NOT SCALE DRAWINGS
 SHEET CONTENTS
 SUB-BASEMENT 2
 PLAN

SHEET NO.:

LU-A098



1 SUB-BASEMENT FLOOR PLAN
 LU-A099 3/32" = 1'-0"



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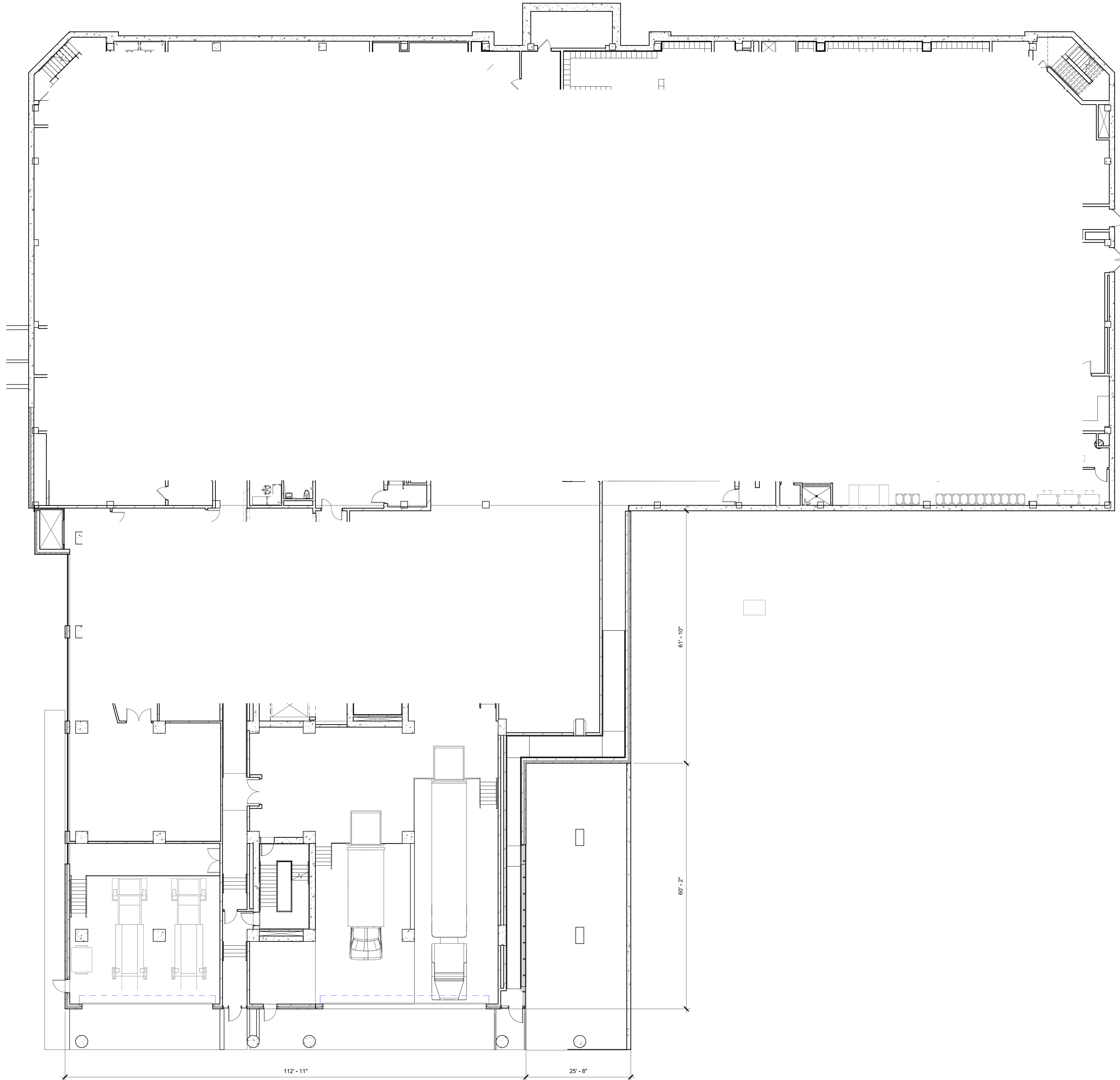
DANE COUNTY DEPT. OF
 PUBLIC WORKS, HIGHWAY &
 TRANSPORTATION
 1918 ALLIANT ENERGY
 CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

**Dane County Jail Consolidation
 South Tower Addition & Public Safety
 Building Renovation**
 115 W. Doty Street
 Madison, WI 53703

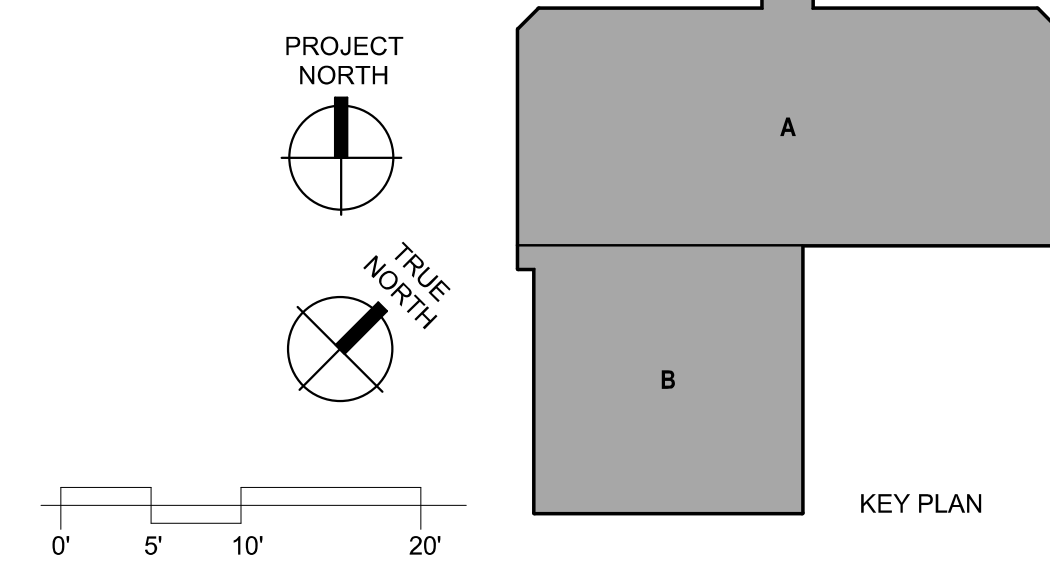
NOT FOR CONSTRUCTION
 PLNO: 2018.18.00
 MHNNO: 4215400-161957.01
 DATE: 05/29/2020
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECKED BY: Checker
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 SHEET CONTENTS
 SUB-BASEMENT
 PLAN

SHEET NO.:
LU-A099

5/20/2020 8:23:41 AM BIM_360/DCJ_Consolidation/2018.18.DC-DCJ-AD-2018.rvt



1 BASEMENT FLOOR PLAN
 LU-A100 3/32" = 1'-0"



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 Middleton, WI 53562
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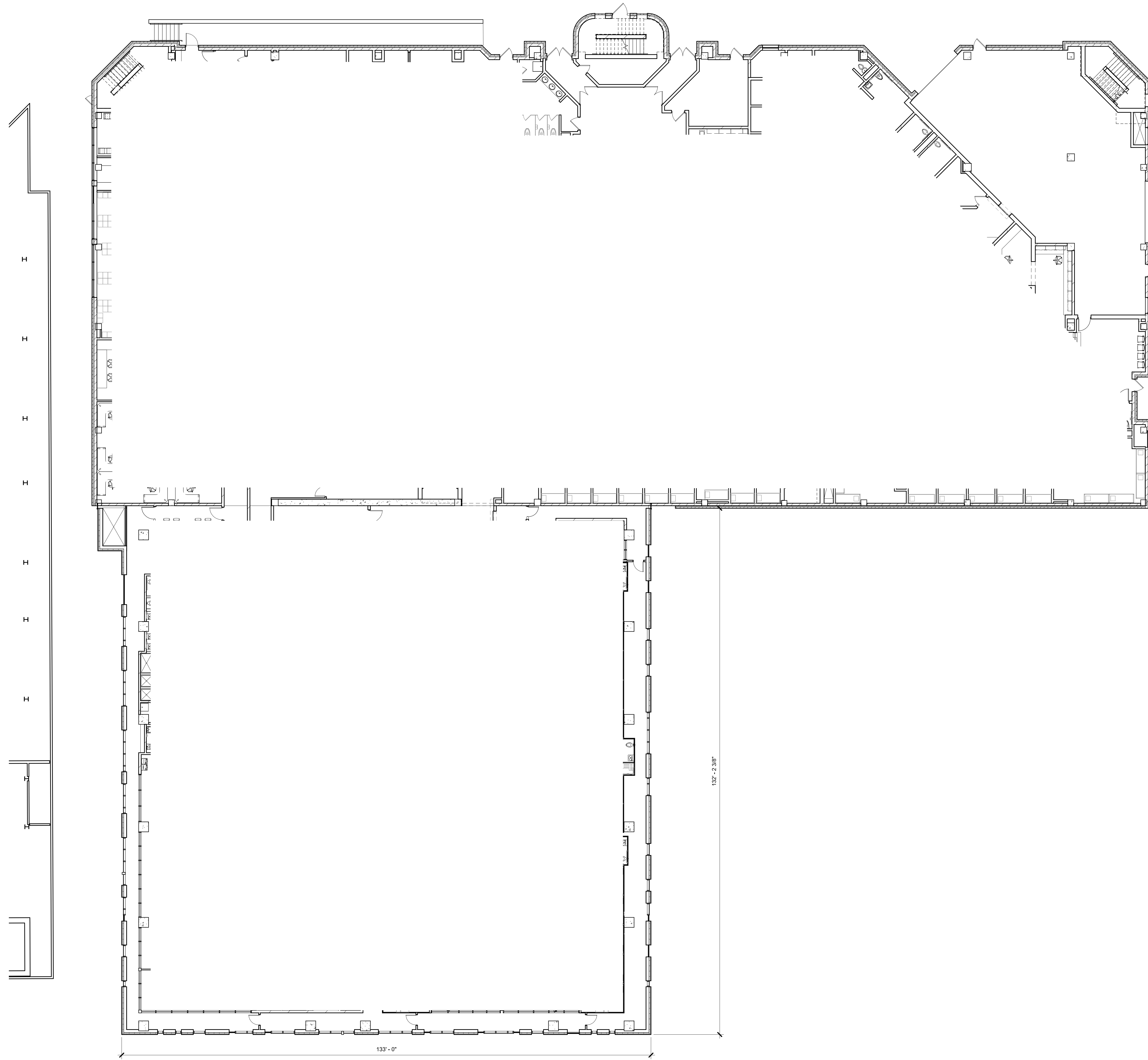
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SHEET CONTENTS
 BASEMENT PLAN

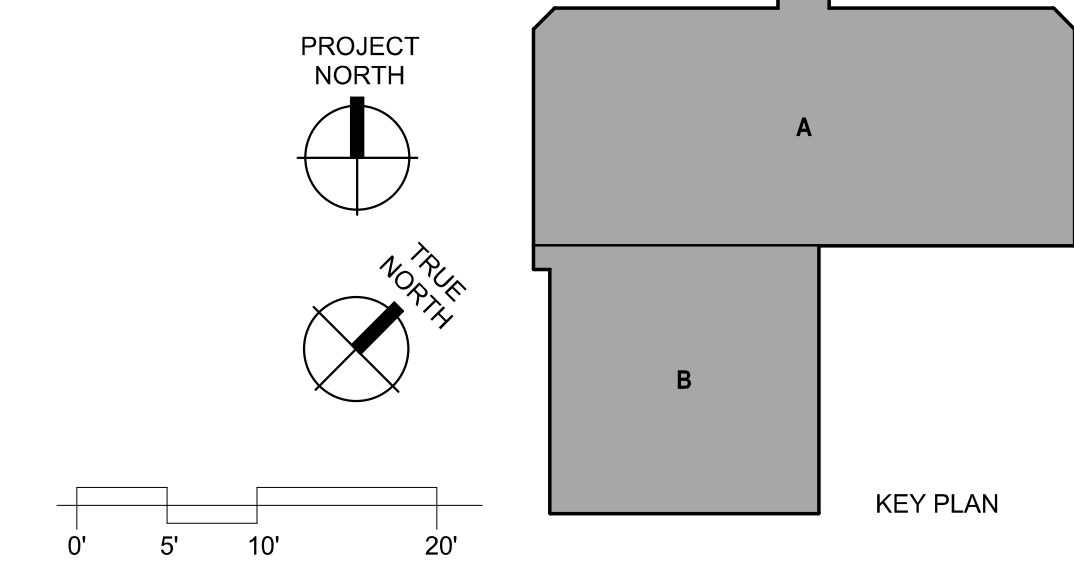
SHEET NO.:

LU-A100

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1 FIRST FLOOR PLAN
 LU-A101 3/32" = 1'-0"



5/20/2020 8:23:49 AM BIM 360://DCJ_Consolidation/2018.18.DCJ-AD-2018.rvt

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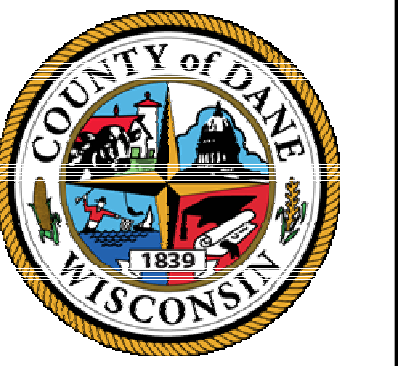
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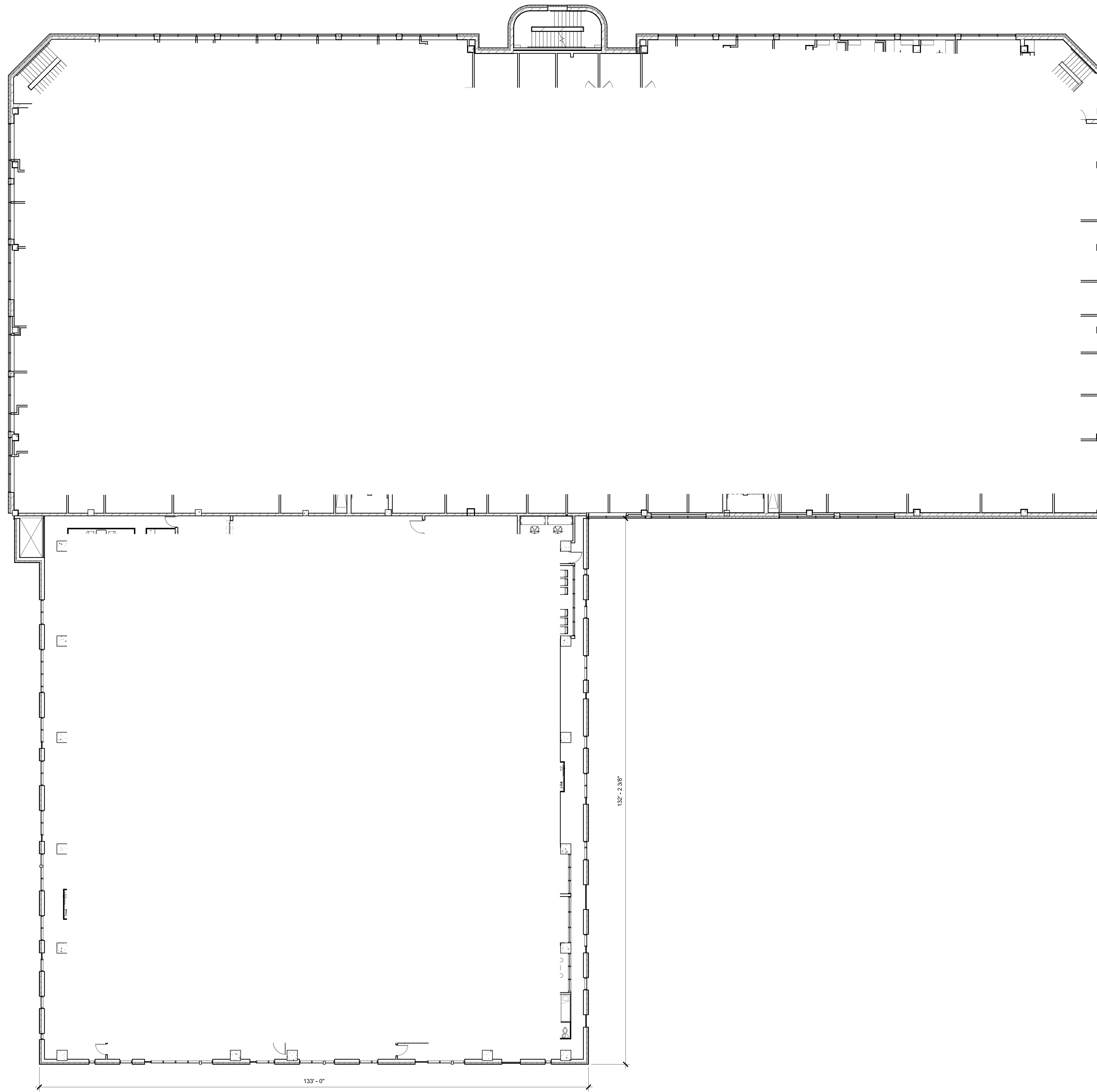
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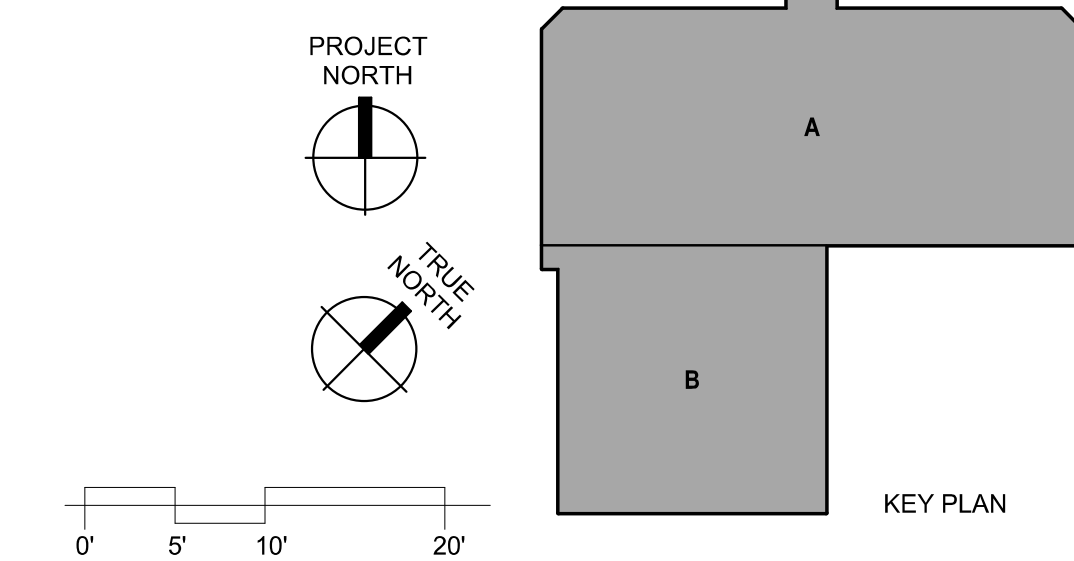
SHEET CONTENTS
 FIRST FLOOR PLAN

SHEET NO.:

LU-A101



1 SECOND FLOOR PLAN
 LU-A102 3/32" = 1'-0"



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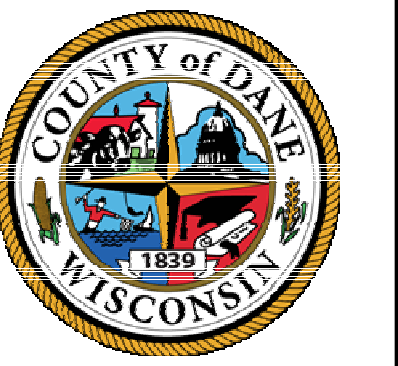
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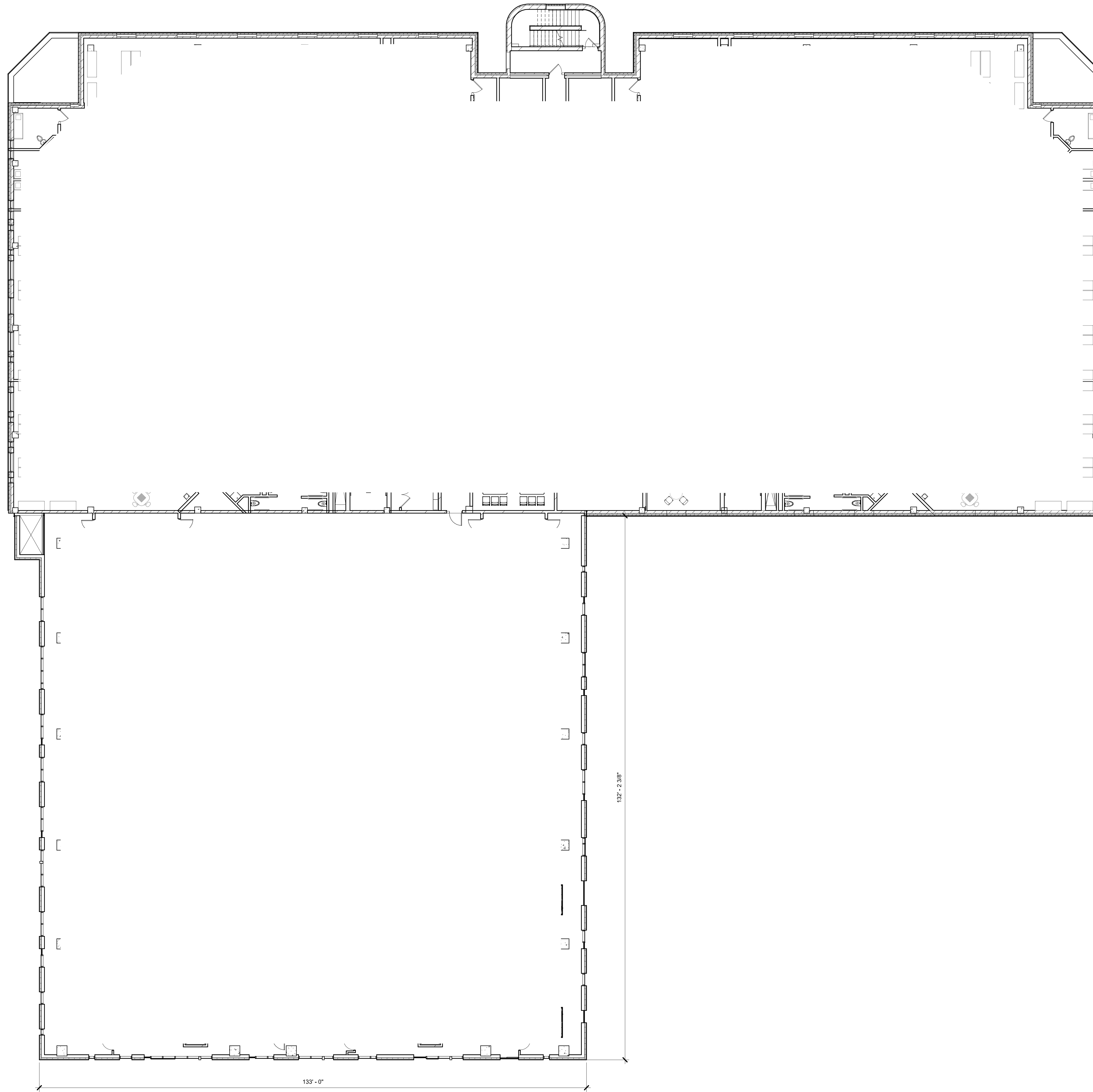
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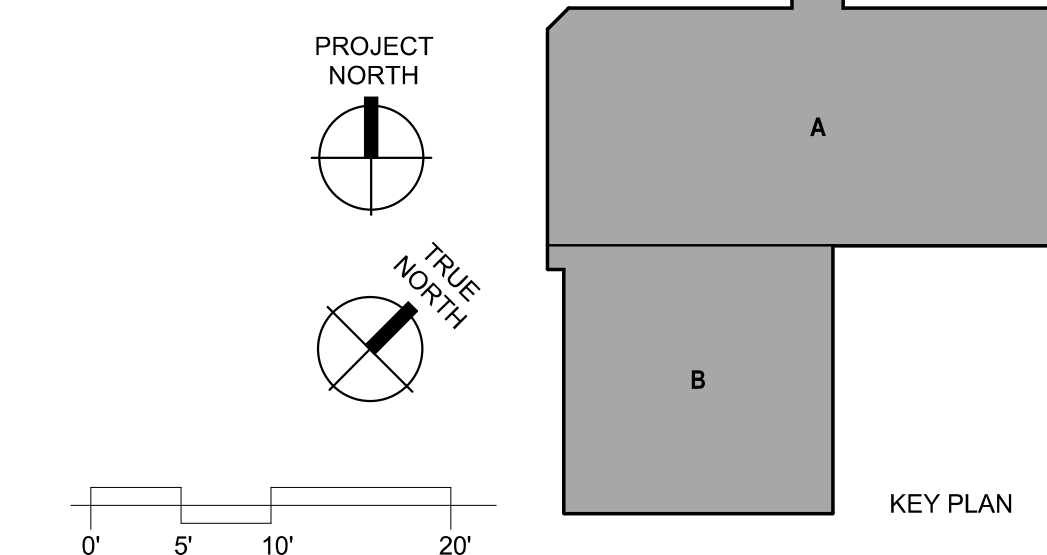
SHEET CONTENTS
 SECOND FLOOR
 PLAN

SHEET NO.:

LU-A102



1 THIRD FLOOR PLAN
 LU-A103 3/32" = 1'-0"



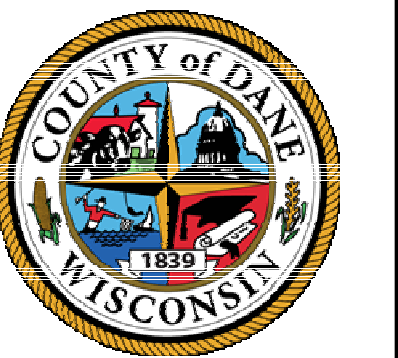
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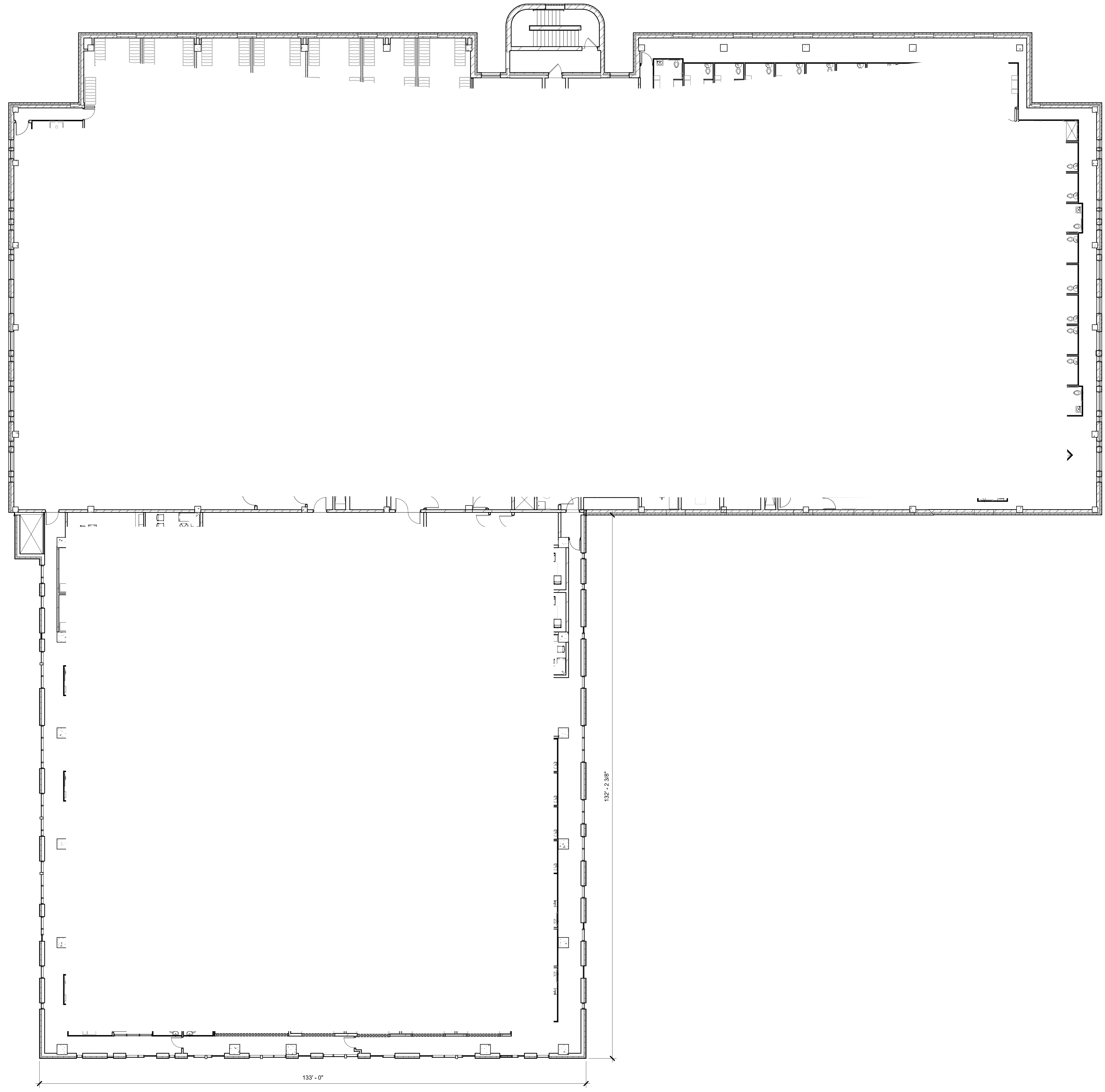
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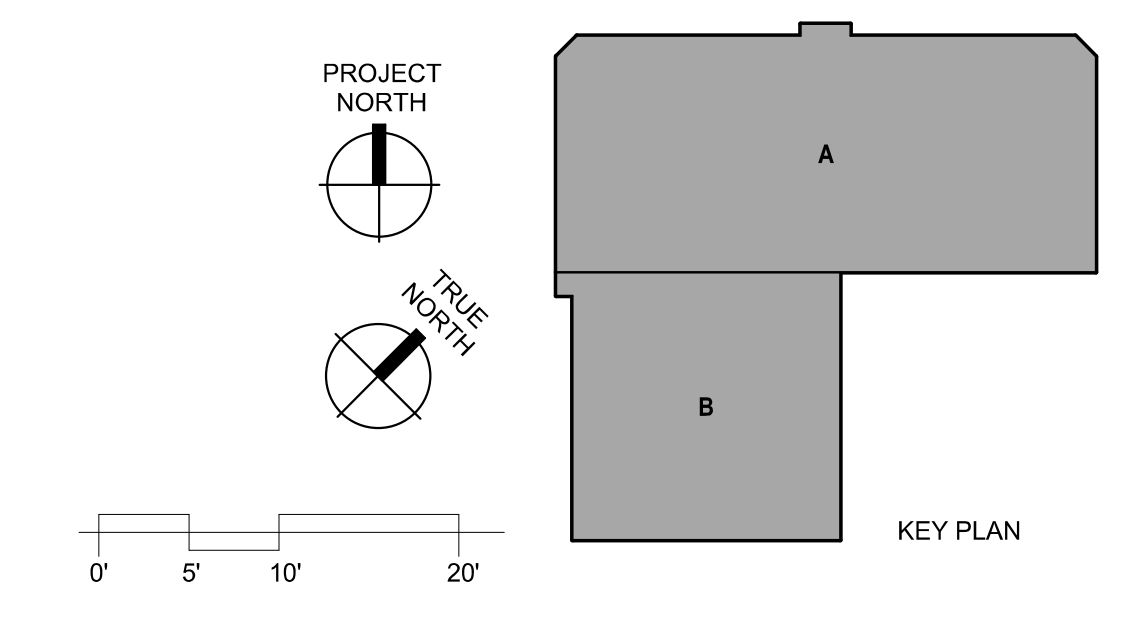
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 SHEET CONTENTS
 THIRD FLOOR PLAN

SHEET NO.:

LU-A103



1 FOURTH FLOOR PLAN
 LU-A104 3/32" = 1'-0"



5/20/2020 9:24:37 AM BIM_360/DCJ_Consolidation/2018.18.DCJ-AD-2018.rvt

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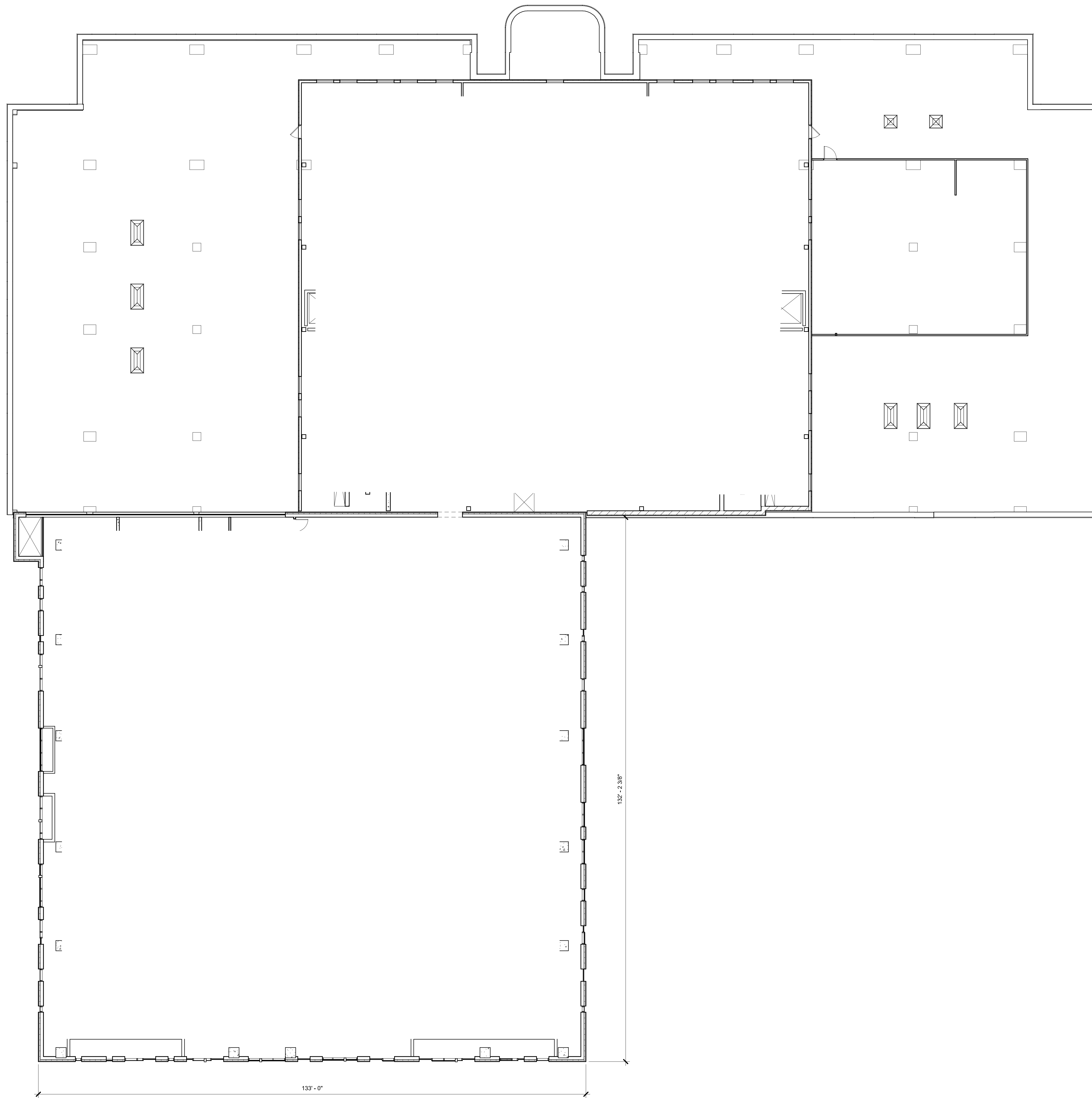
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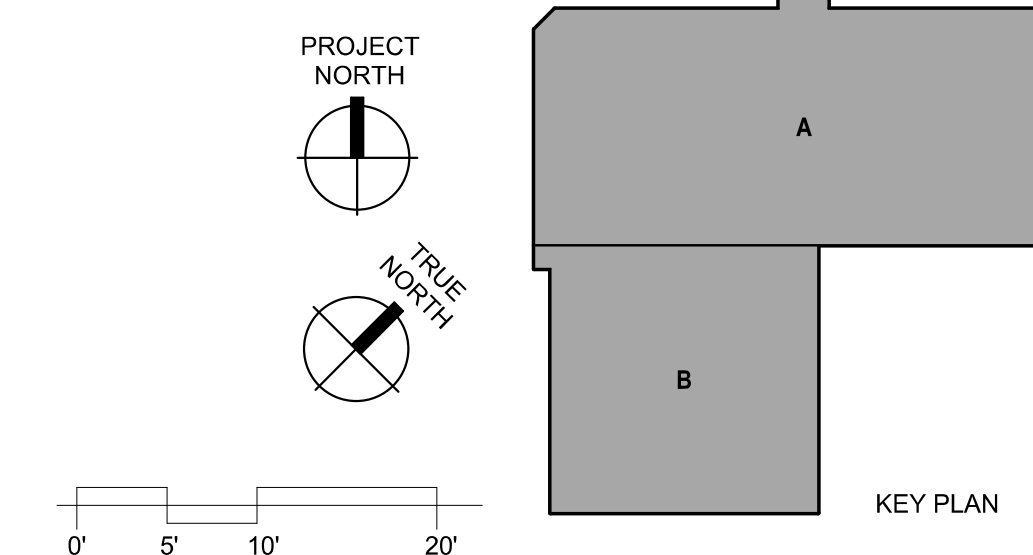
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 SHEET CONTENTS
 FOURTH FLOOR
 PLAN
LU-A104



1 FIFTH FLOOR PLAN
 LU-A105 3/32" = 1'-0"



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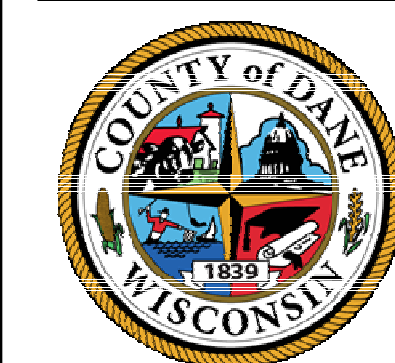
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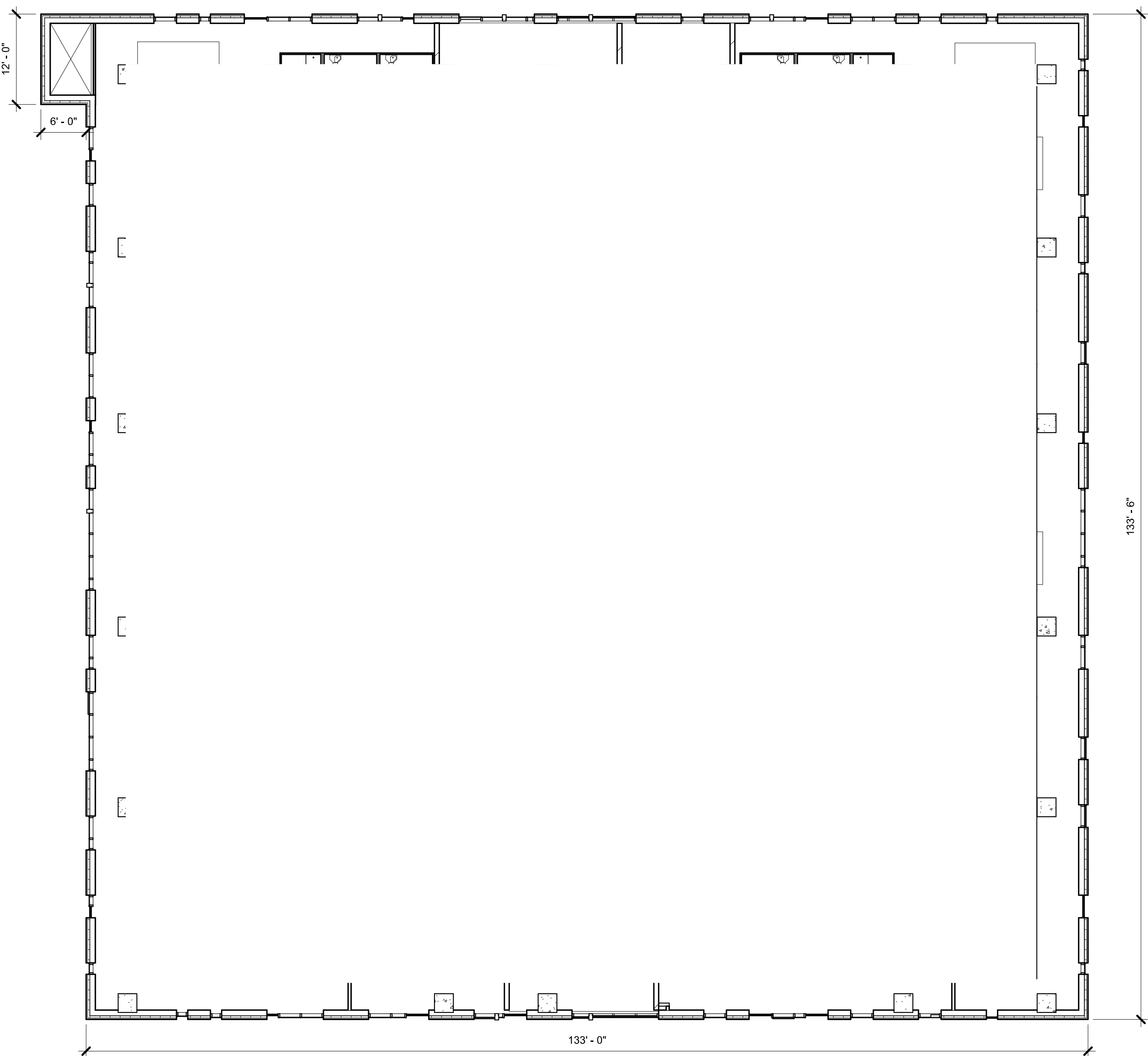
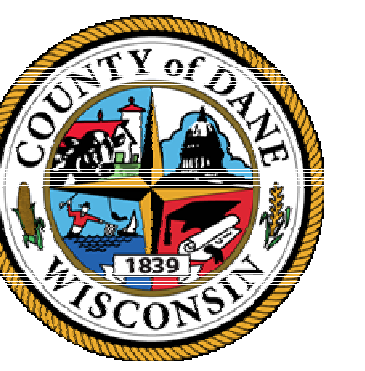
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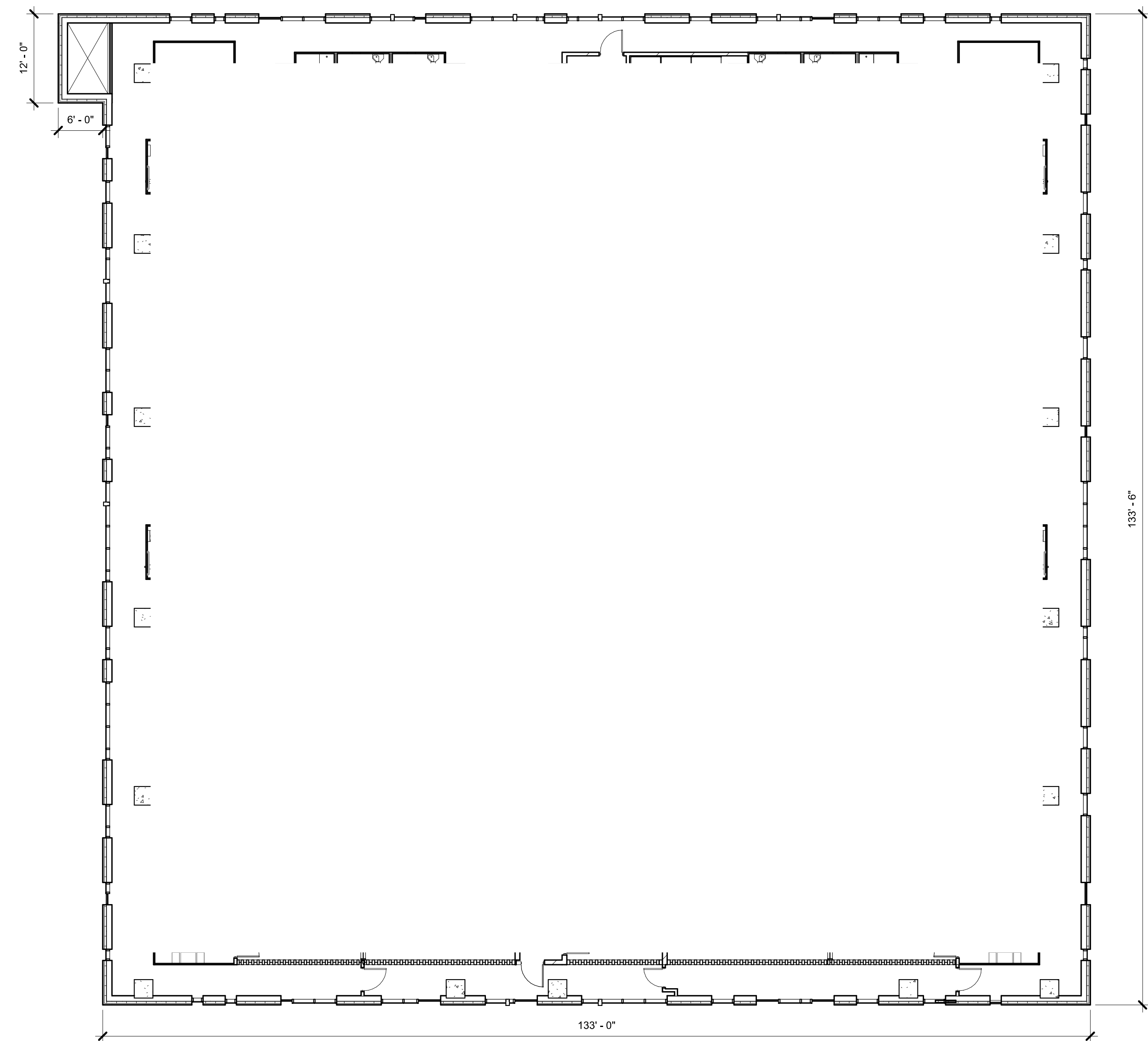
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 SHEET CONTENTS
 FIFTH FLOOR PLAN

SHEET NO.:

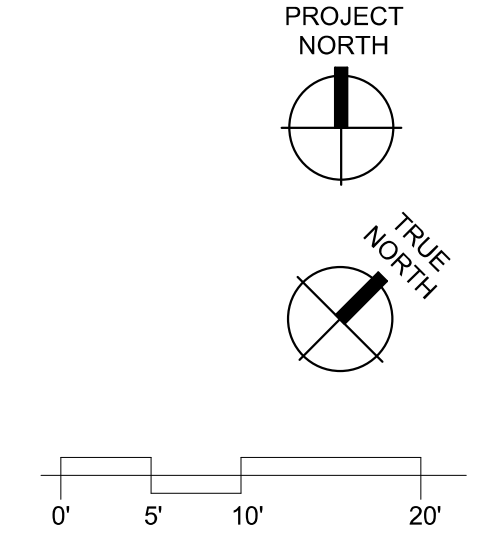
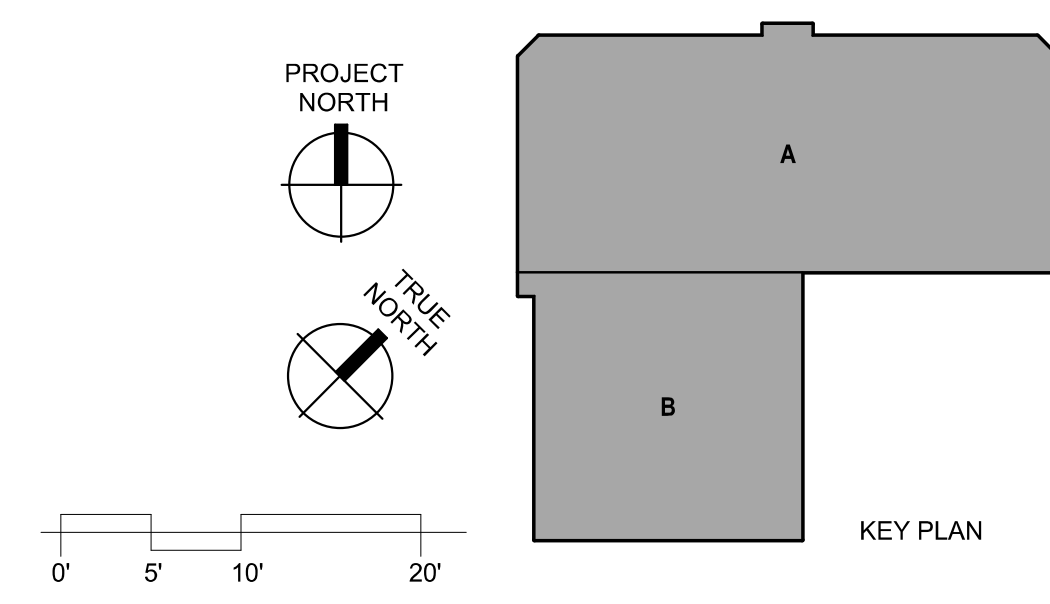
LU-A105

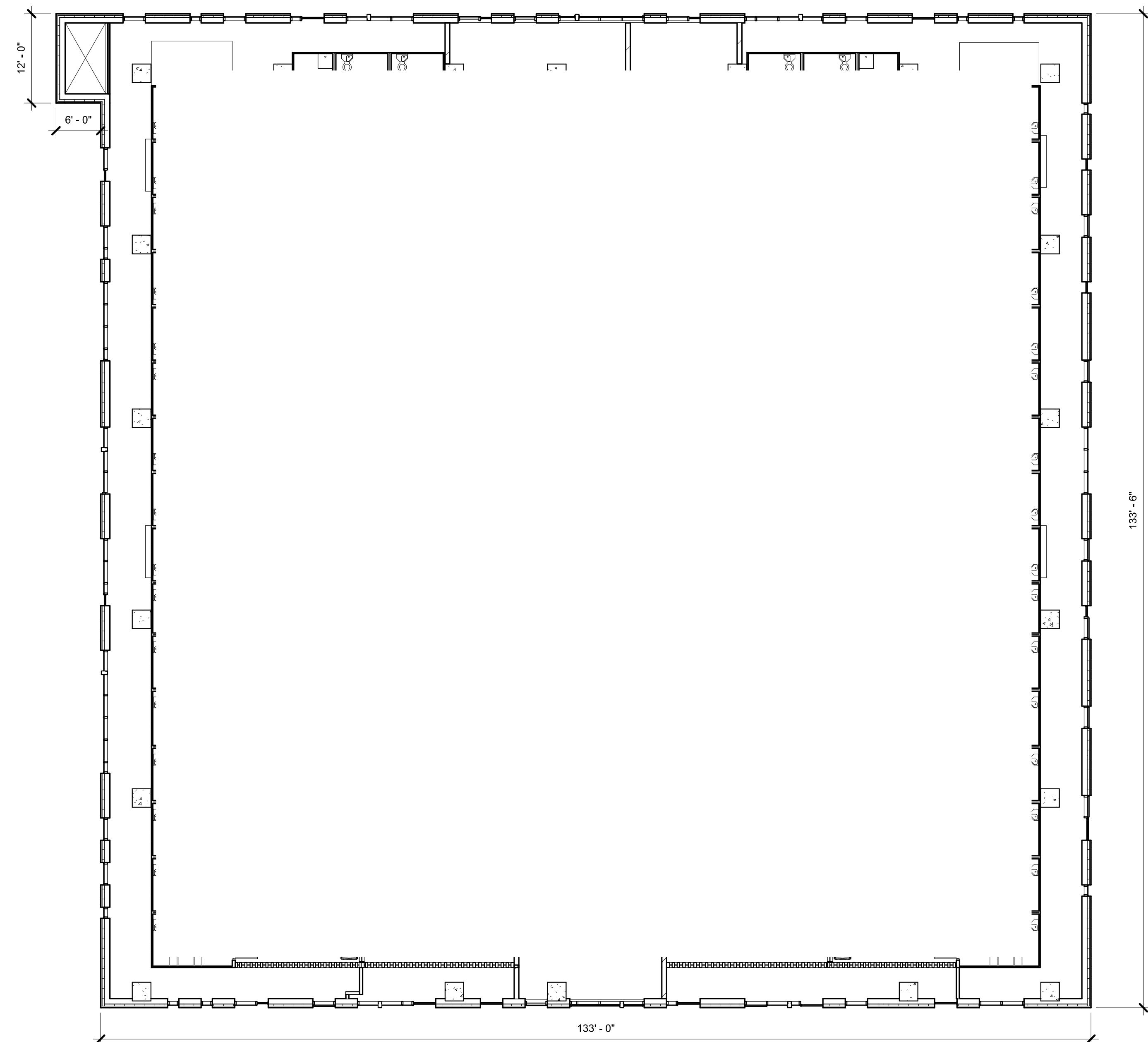
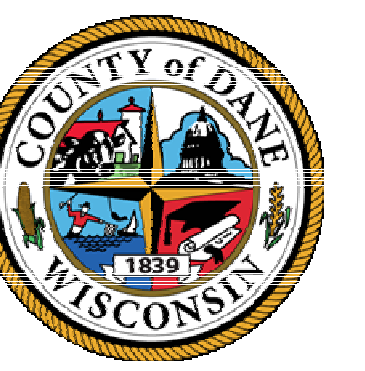


2 SIXTH M FLOOR PLAN
LU-A106 3/32" = 1'-0"

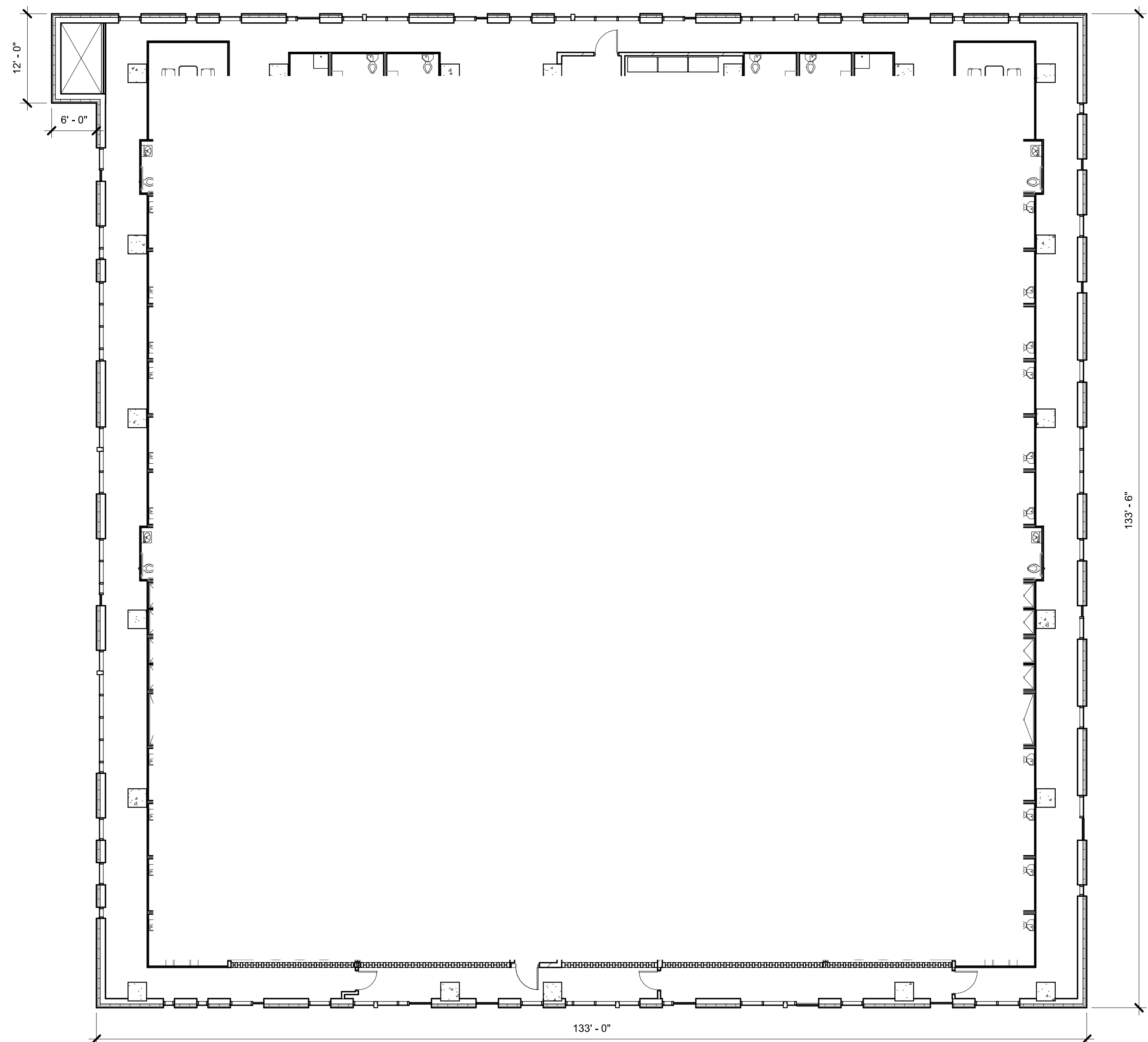


1 SIXTH FLOOR PLAN
LU-A106 3/32" = 1'-0"

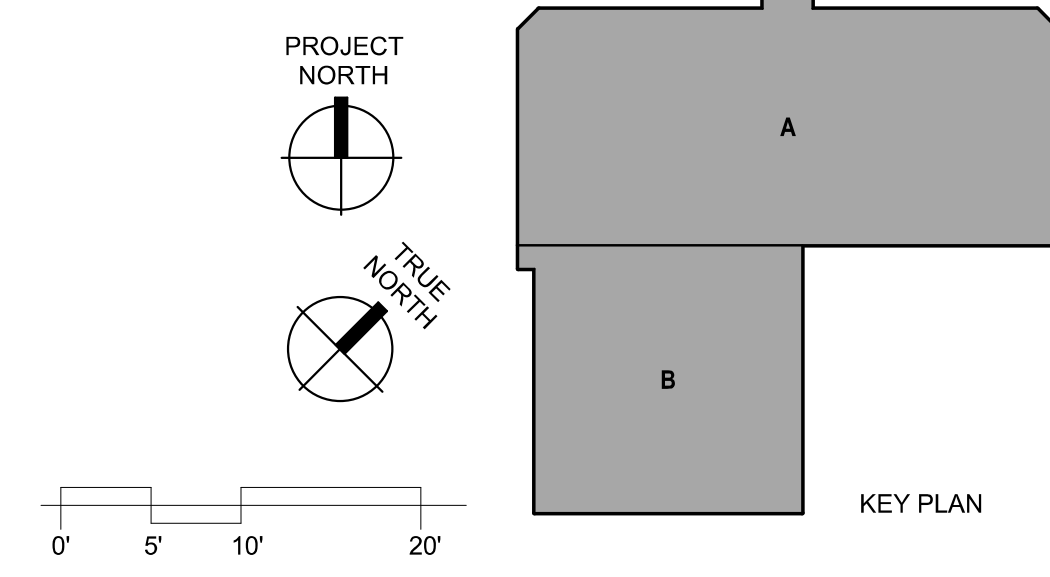


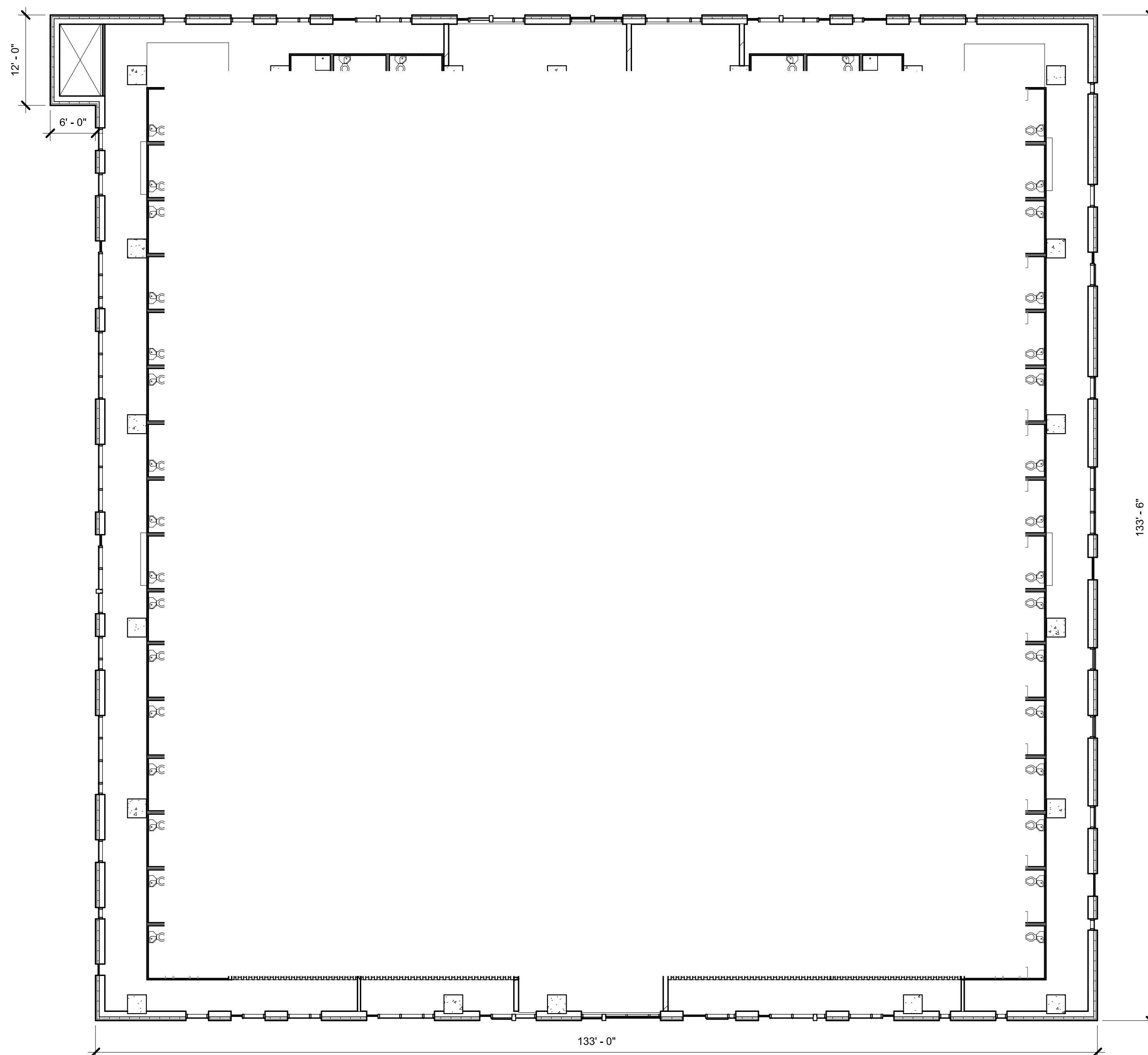
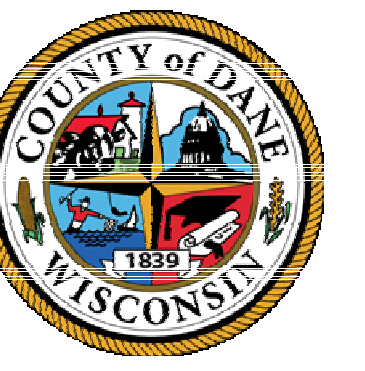


2 SEVENTH M FLOOR PLAN
LU-A107 3/32" = 1'-0"

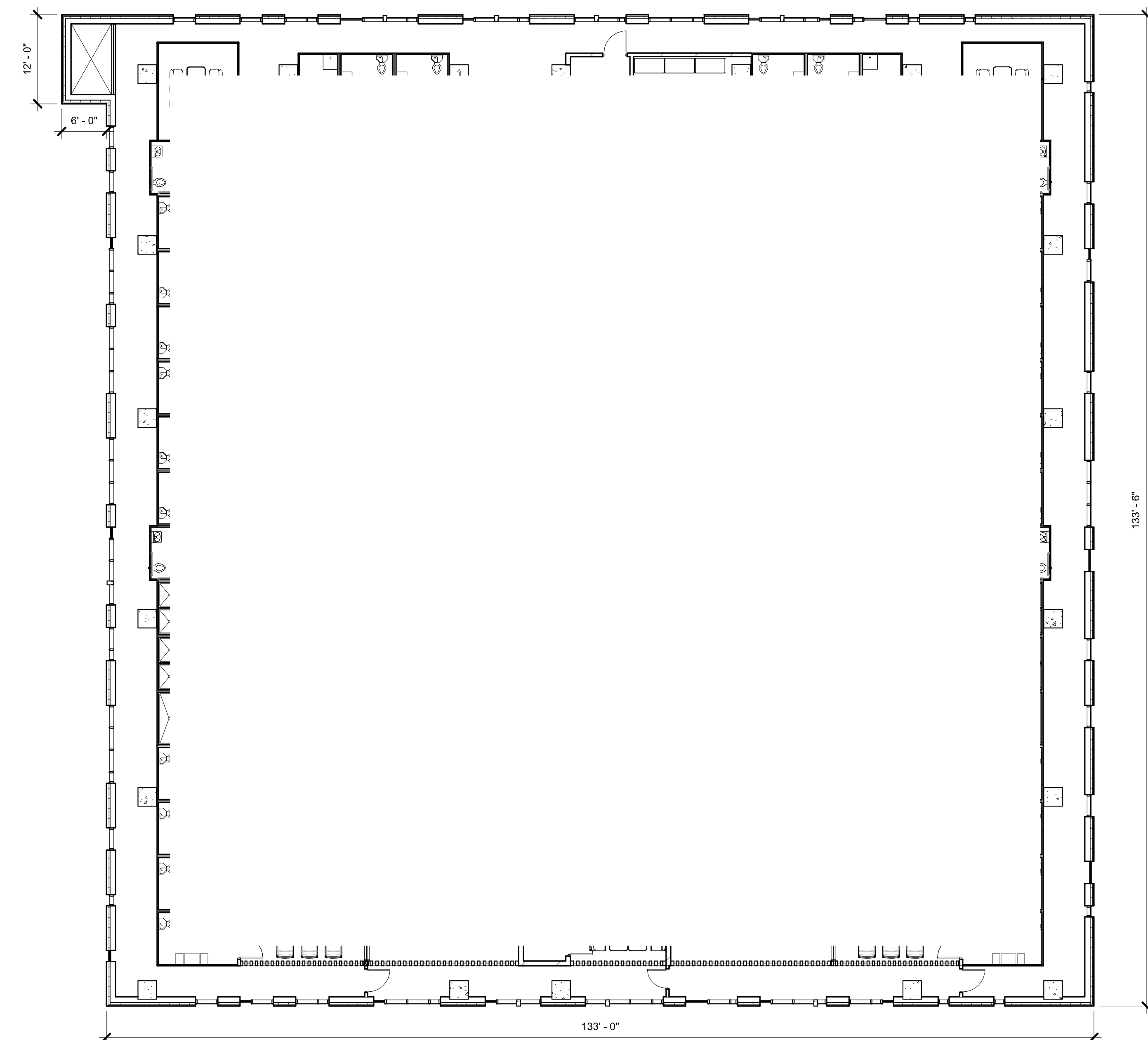


1 SEVENTH FLOOR PLAN
LU-A107 3/32" = 1'-0"

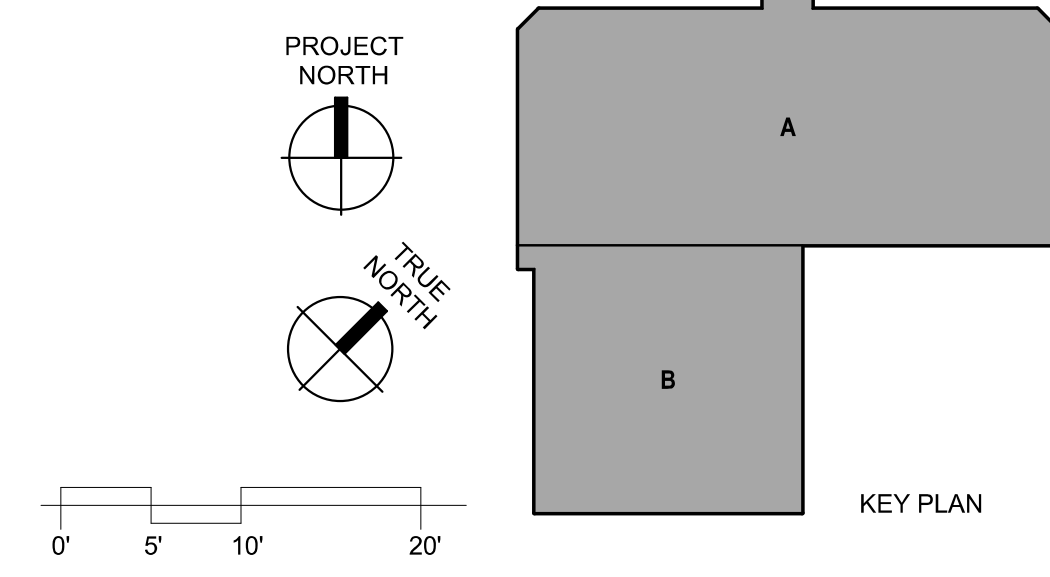


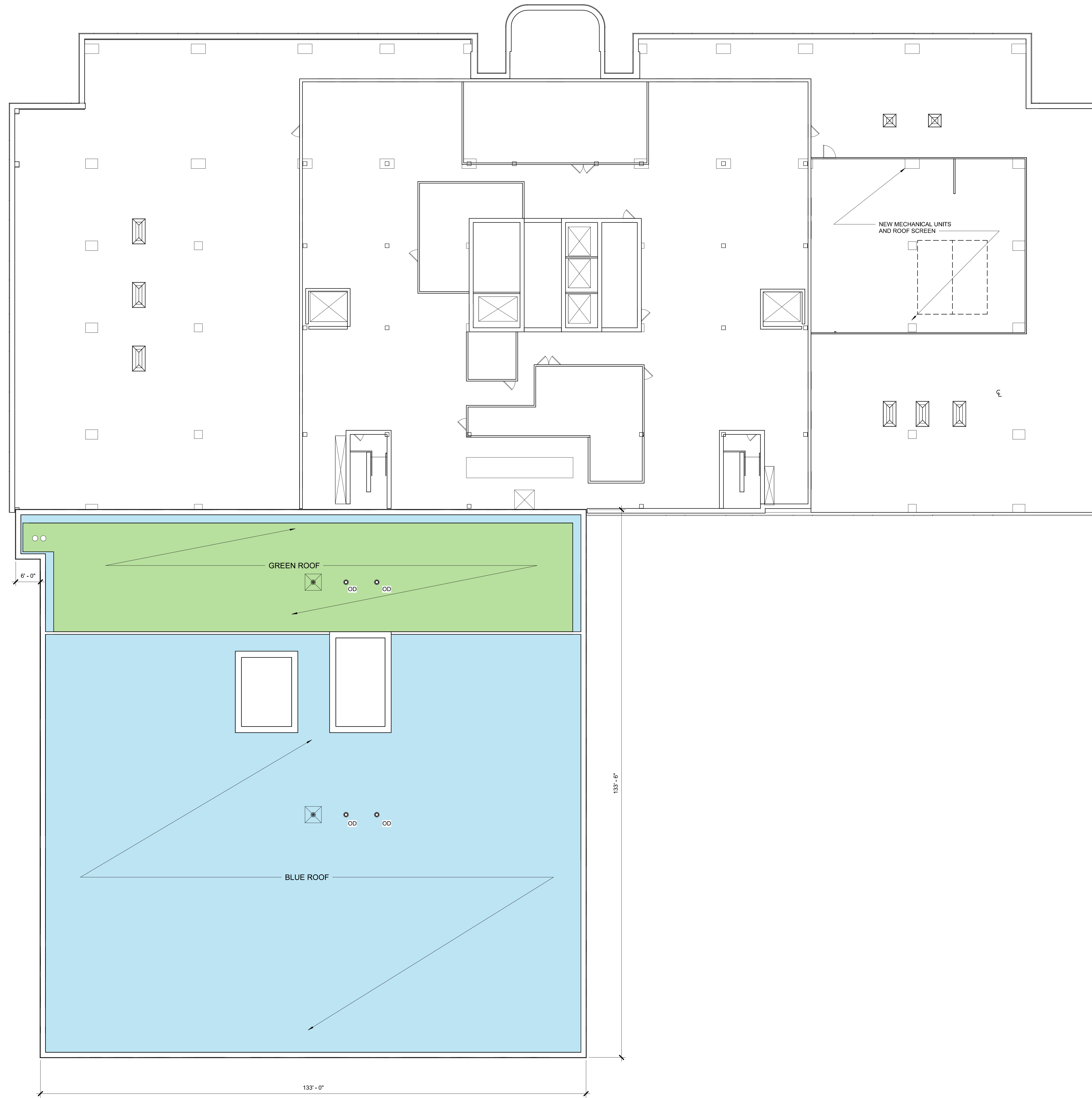


2 EIGHTH M FLOOR PLAN
LU-A108 3/32" = 1'-0"



1 EIGHTH FLOOR PLAN
LU-A108 3/32" = 1'-0"



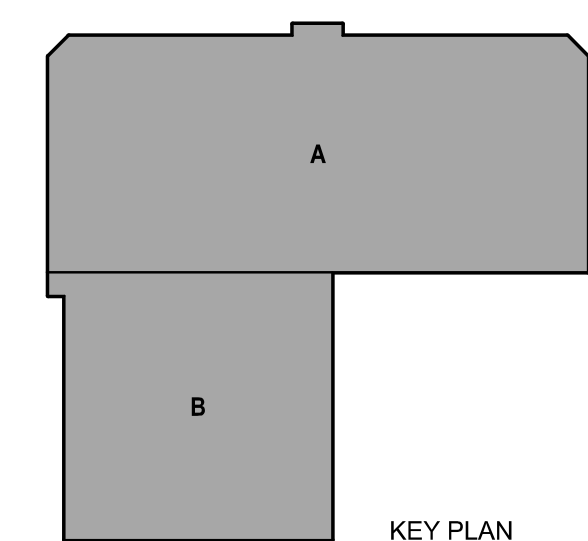
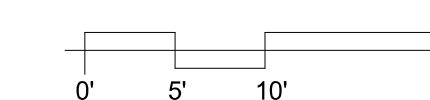
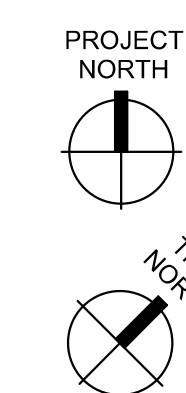


1 ROOF PLAN
 LU-A109 3/32" = 1'-0"

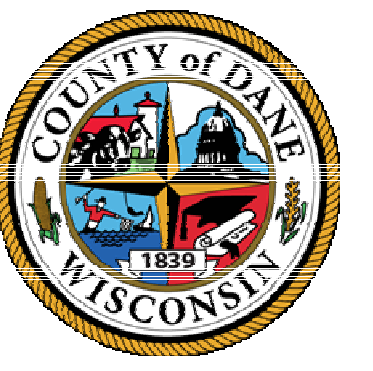
LEGEND:

NOTE: ROOF ASSEMBLY TO BE FULLY ADHERED EPDM SYSTEM, SEE SPECIFICATIONS
 SEE MECHANICAL ROOF PLAN FOR ADDITIONAL EQUIPMENT, FLASHING AND CURB REQUIREMENTS

- 3' X 3' SKYLIGHT WITH CURB AND SECURITY GRILLE
- 3' X 6' SKYLIGHT WITH CURB AND SECURITY GRILLE
- ROOF DRAIN (RD)
- OVERFLOW DRAIN (OD)
- ROOF PROTECTION PADS
- SLOPED INSULATION 1/4" PER FOOT



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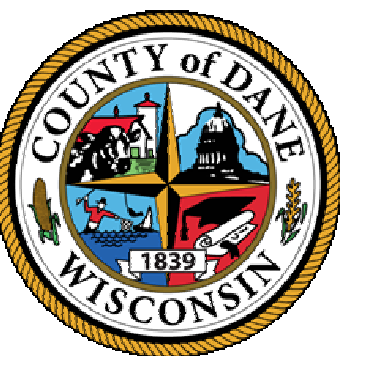
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SHEET CONTENTS
 ROOF PLAN

SHEET NO.:

LU-A109

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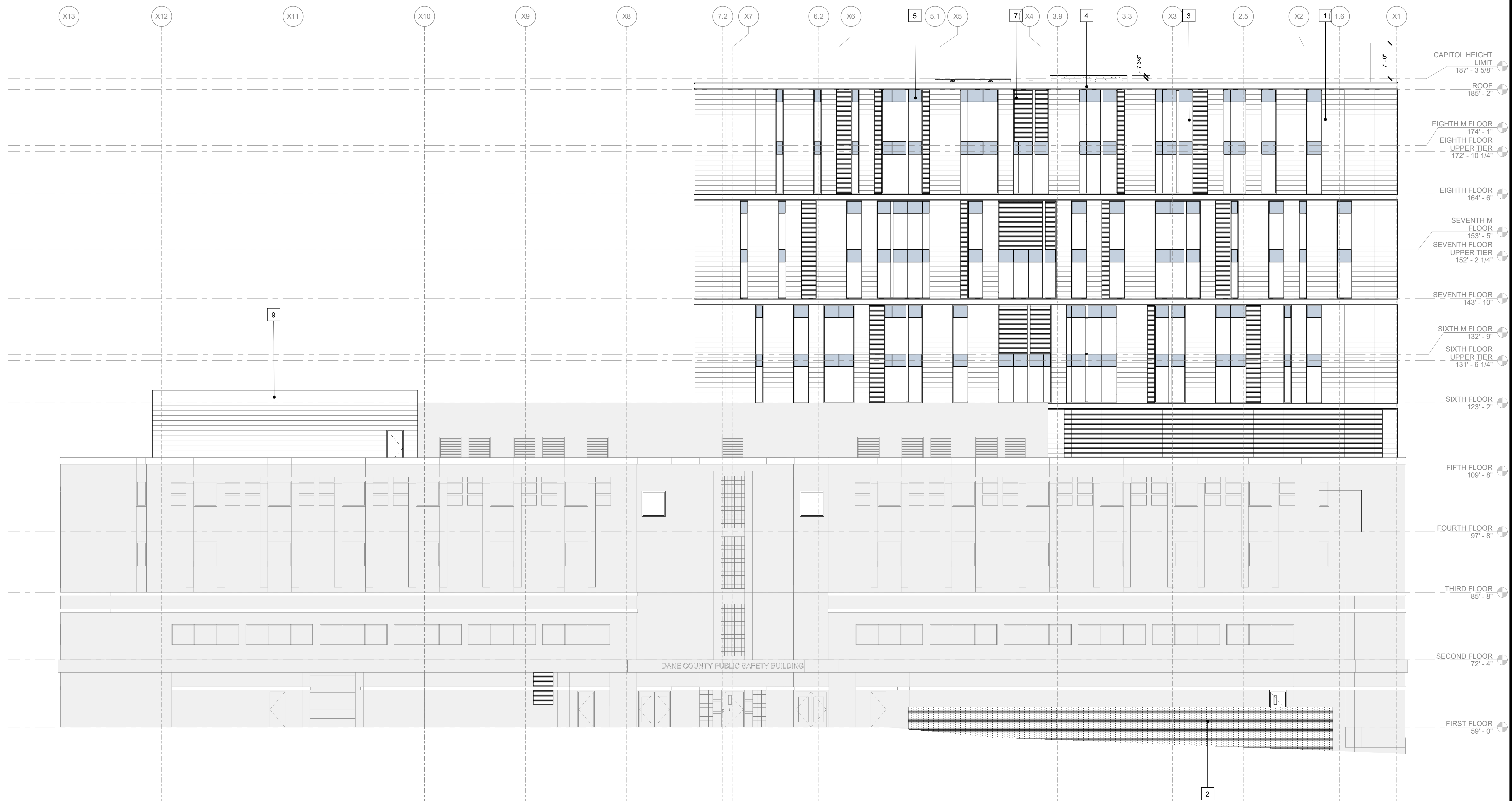
SHEET CONTENTS

BUILDING

ELEVATION - NORTH

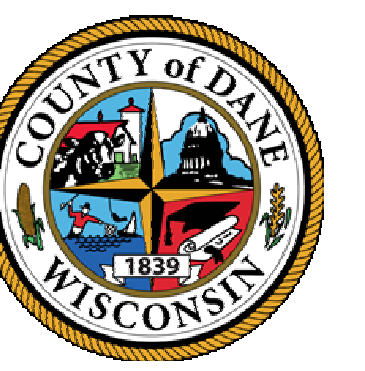
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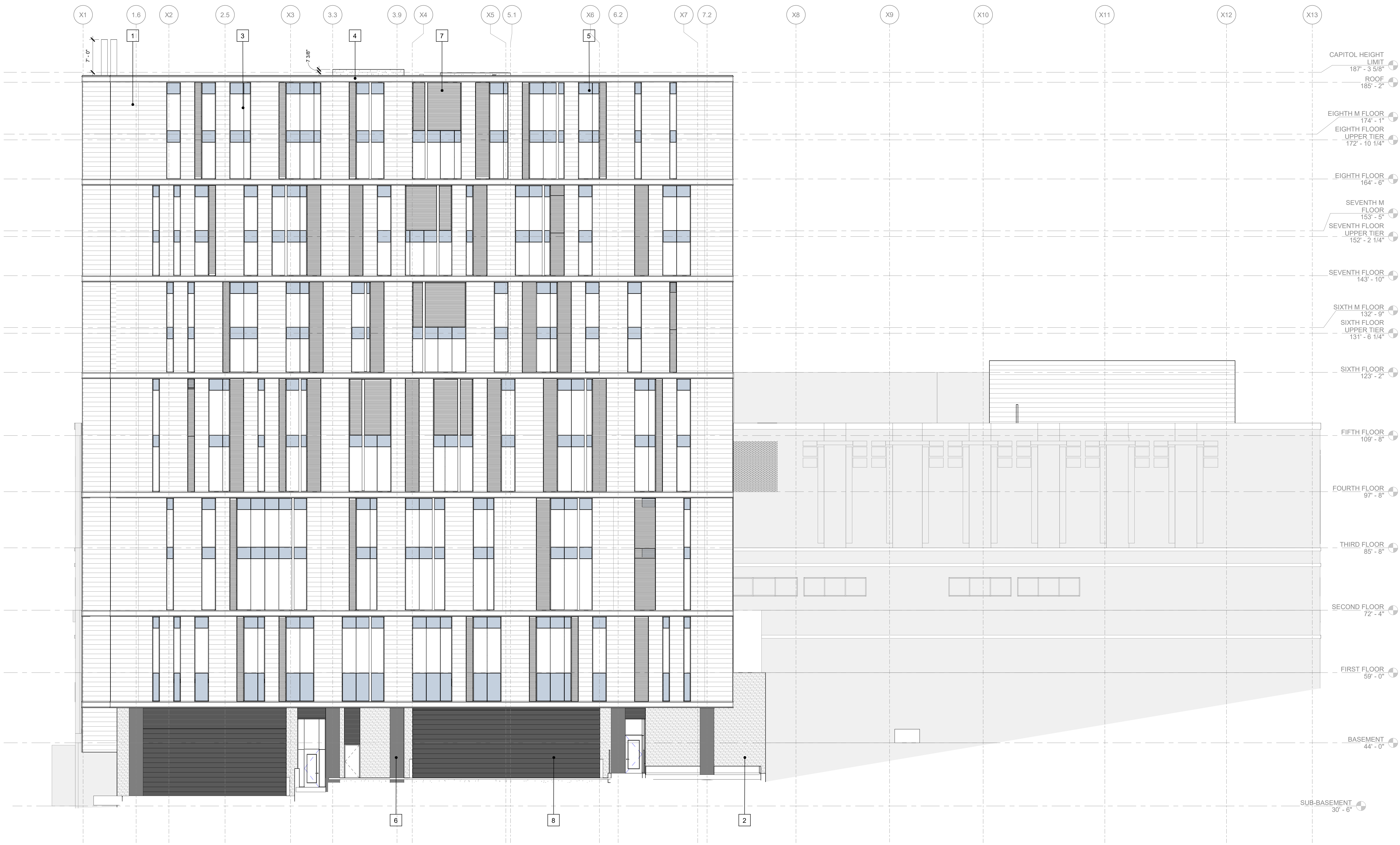
1 NORTH ELEVATION
1/8" = 1'-0"

5/20/2020 9:25:25 AM BIM_360/DCJ_Consolidation/2018.10.00/DCJ-AD-2018.rvt



1 EAST ELEVATION
1/8" = 1'-0"

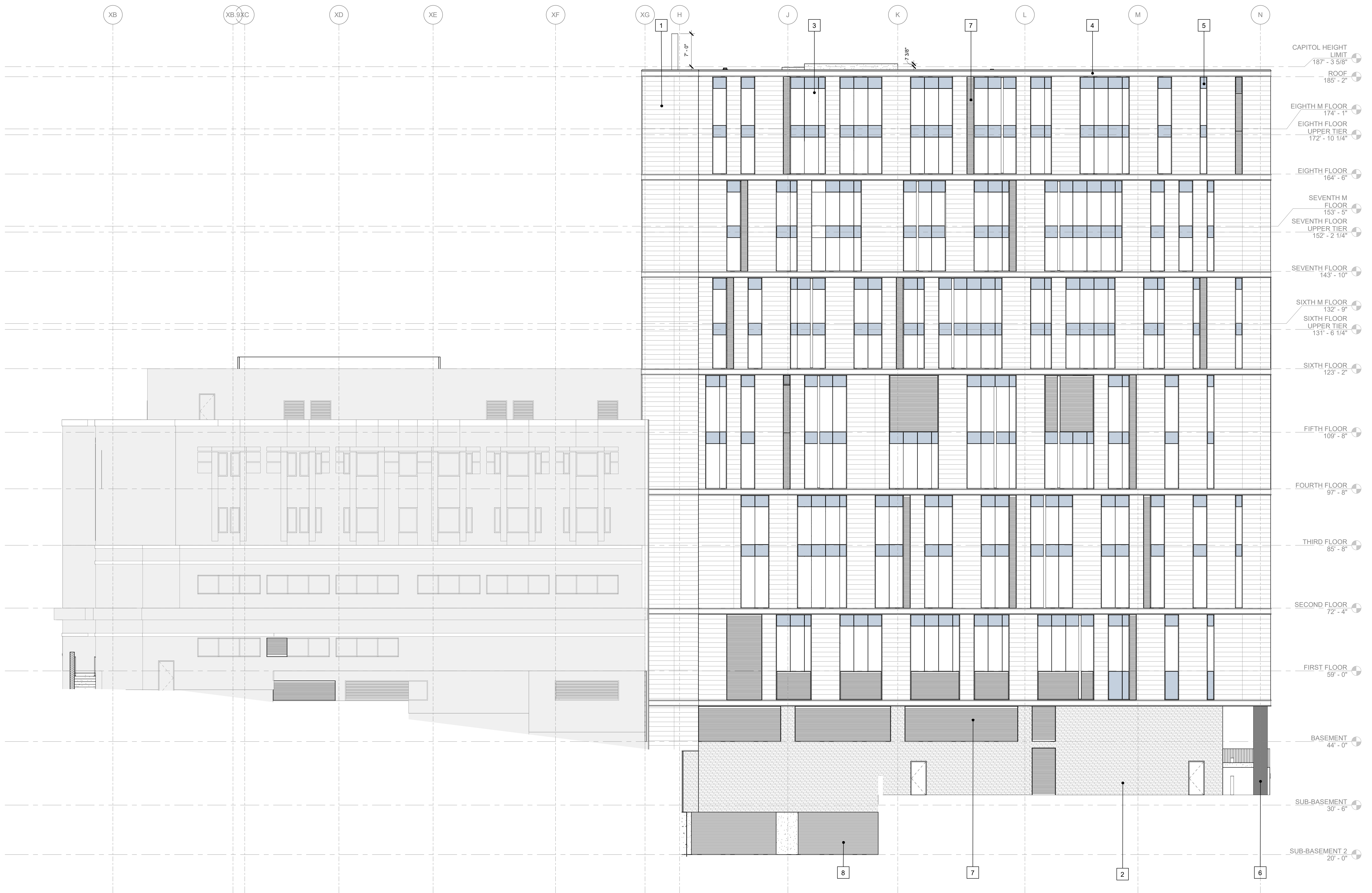
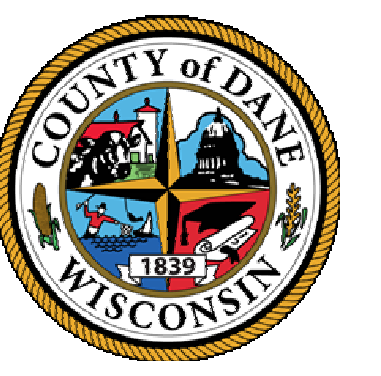
- | | | |
|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM SAND | 7 LOUVER |
| 2 BRICK VENEER | 5 SPANDREL GLAZING | 8 OVERHEAD DOOR |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 6 CONCRETE COLUMN | 9 MECHANICAL SCREEN |



1 SOUTH ELEVATION
1/8" = 1'-0"

- | | | |
|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM BAND | 7 LOUVER |
| 2 BRICK VENEER | 5 SPANDREL GLAZING | 8 OVERHEAD DOOR |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 6 CONCRETE COLUMN | 9 MECHANICAL SCREEN |

5/20/2020 9:29:13 AM BIM 360://DCJ_Consolidation/2018.10.00/DCJ_AD-2019.rvt



1 WEST ELEVATION
1/8" = 1'-0"

5/20/2020 8:30:39 AM BIM 360://DCJ_Consolidation/2018.10.00/DCJ_AD-2019.rvt

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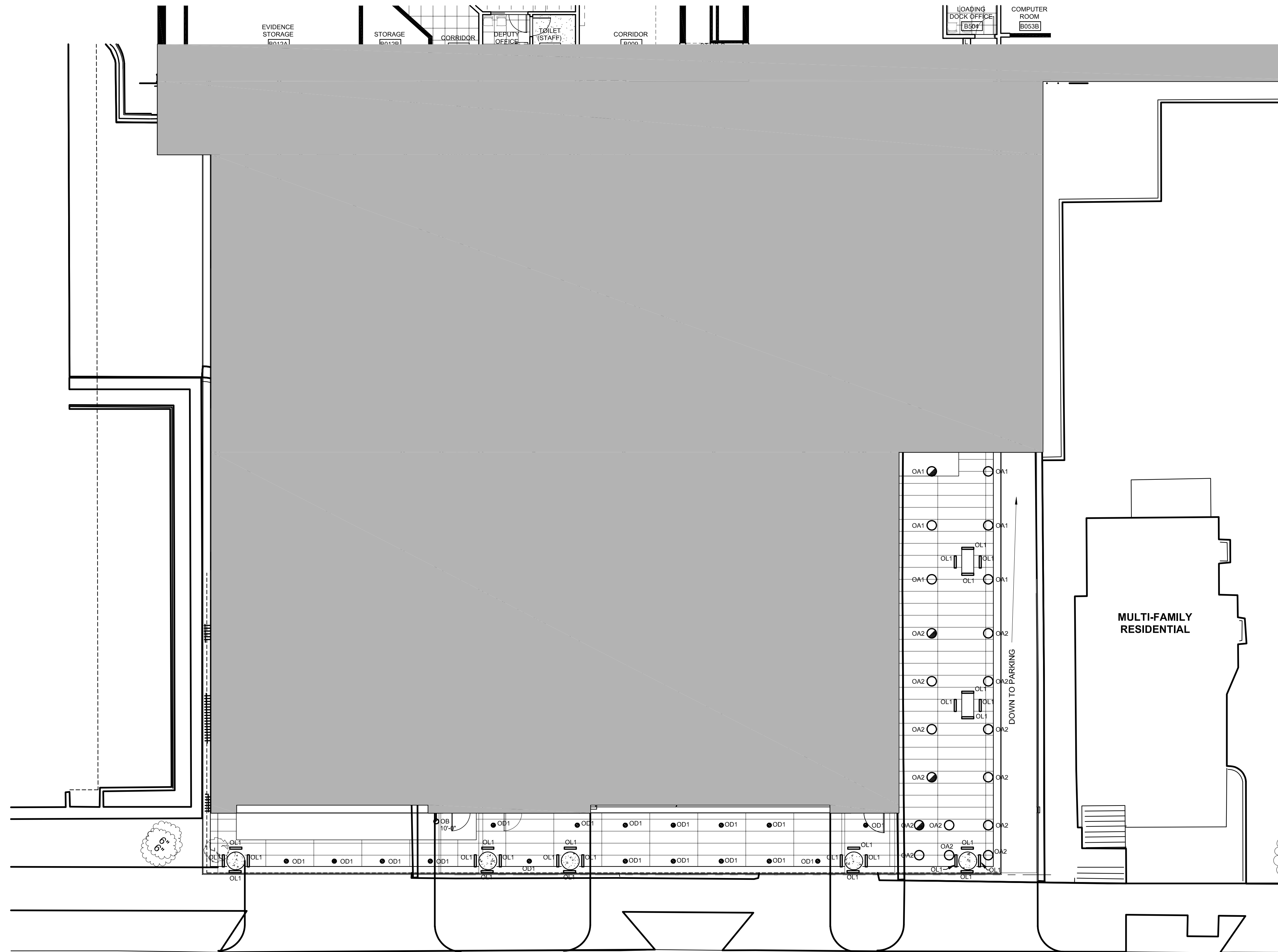
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SHEET CONTENTS
 SITE LIGHTING
 SUBMITTAL

SHEET NO:

ES-1



1
 ES-1
 SITE LIGHTING
 PLAN
 1" = 10'-0"

WEST WILSON STREET

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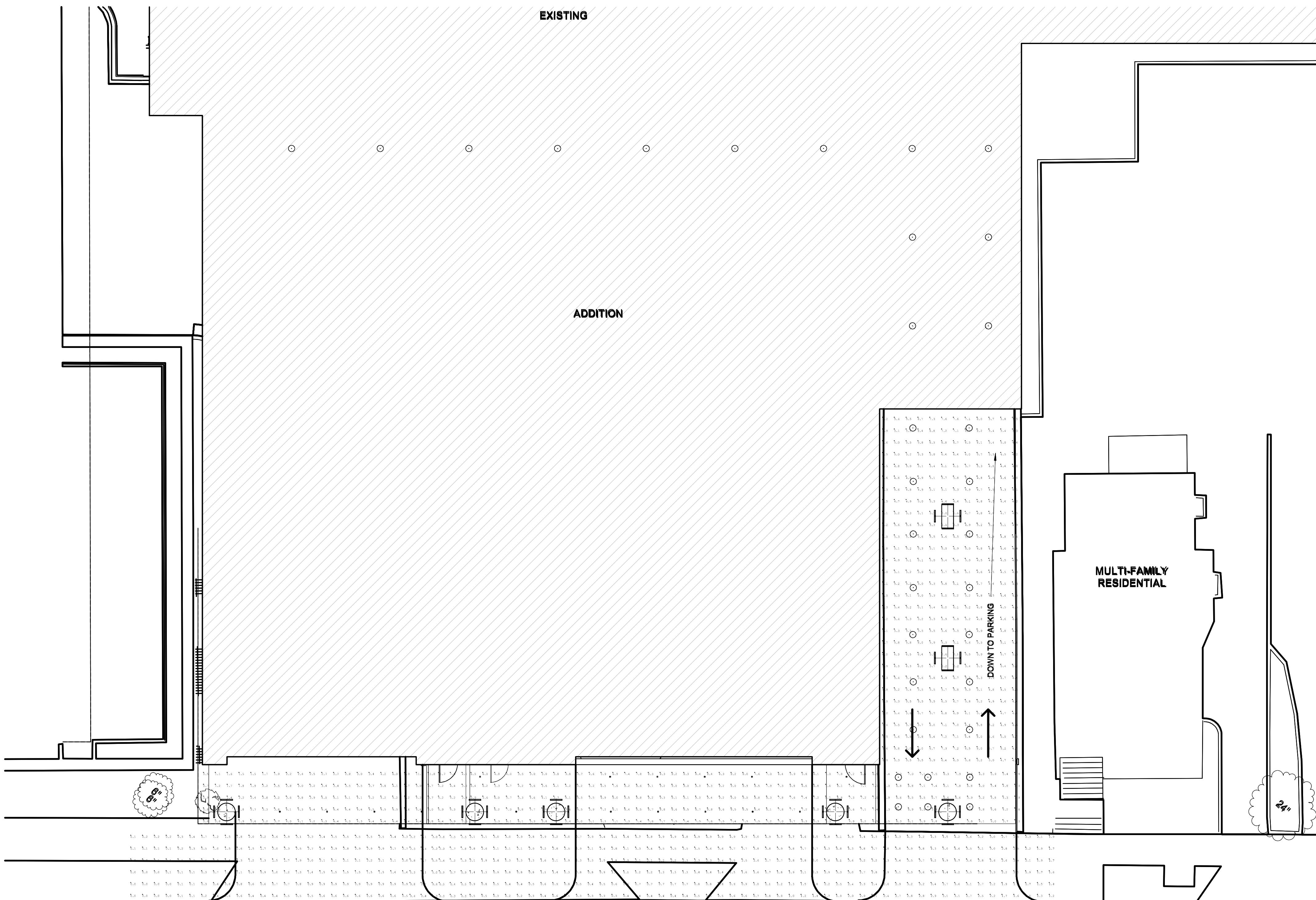
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SHEET NO:

ES-2



Calculation Summary						
Footcandle						
Label	Area	Min	Max	Avg	Min/Max	Avg/Min
Existing Area	4,400	1.1	2.3	1.44	1.44	1.44
Under canopy loading dock	2,700	2.1	2.2	1.70	1.70	1.70
Upper area in garage	1,200	1.2	1.2	1.20	1.20	1.20
Walk under canopy loading dock	1,400	2.1	2.2	1.70	1.70	1.70
Walk under canopy dock	1,400	1.1	1.2	1.14	1.14	1.14

1
 ES-1

**SITE LIGHTING PHOTOMETRIC
 PLAN**
 1" = 10'-0"

158 John Nolen Dr
Madison, Wisconsin

Google

Street View



Google

Navigation controls including a compass, zoom in (+) and zoom out (-) buttons, a street view pegman icon, and a home button.

152 John Nolen Dr
Madison, Wisconsin

Google

Street View



Google

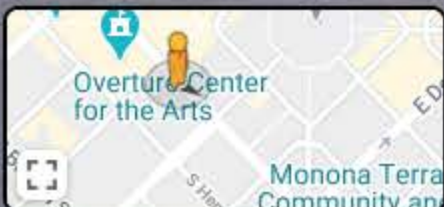
Navigation controls including a compass, zoom in (+) and zoom out (-) buttons, and a street view pegman icon.

15 N Fairchild St

Madison, Wisconsin

Google

Street View



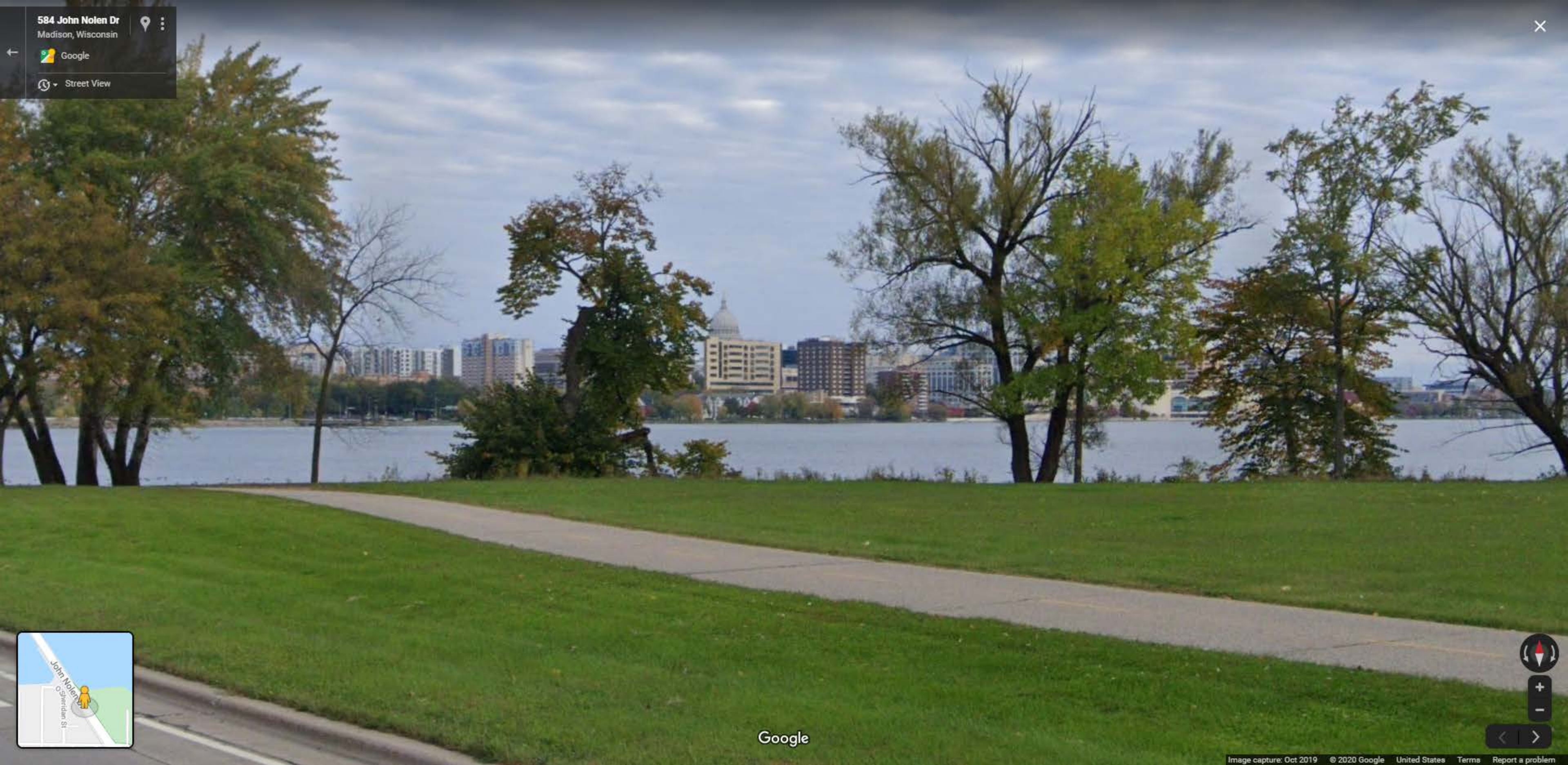
Google



584 John Nolen Dr
Madison, Wisconsin

← Google

↻ Street View



Google



View looking Southeast from South Fairchild Street and West Main Street



View looking North from John Nolen Drive



Wyldhaven Park

Guy Stalnaker

Photo - Aug 2016



Google

