

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**  
**Legistar # \_\_\_\_\_**

DATE SUBMITTED: **June 26, 2013**

UDC MEETING DATE: **July 10, 2013**

**Action Requested**

- Informational Presentation  
 Initial Approval and/or Recommendation  
 Final Approval and/or Recommendation

**PLEASE PRINT!**

**PLEASE PRINT!**

PROJECT ADDRESS: **610 John Nolen Drive**

ALDERMANIC DISTRICT: **Strasser**

OWNER/DEVELOPER (Partners and/or Principals)

**Nolen Hotel Investment, LLC**

**245 Horizon Drive #106**

**Verona, WI 53593**

CONTACT PERSON: **Josh Wilcox**

Address: (same as Architect above)

Phone: 608-829-1750

Fax: 608-829-3056

E-mail address: [josh.wilcox@garybrink.com](mailto:josh.wilcox@garybrink.com)

ARCHITECT/DESIGNER/OR AGENT:

**Gary Brink & Associates, Inc.**

**8401 Excelsior Drive**

**Madison, WI 53717**

**TYPE OF PROJECT:**

(See Section A for:)

- Planned Unit Development (PUD)  
 General Development Plan (GDP)  
 Specific Implementation Plan (SIP)  
 Planned Community Development (PCD)  
 General Development Plan (GDP)  
 Specific Implementation Plan (SIP)  
 Planned Residential Development (PRD)  
 New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)  
 School, Public Building or Space (Fee may be required)  
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.  
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



610 JOHN NOLEN DR.  
MADISON, WISCONSIN

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3 SITE PHOTOS  
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GARY BRINK & ASSOCIATES  
ARCHITECTS

8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)



## URBAN DESIGN COMMISSION

JUNE 19, 2013

### OWNER:

NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106  
VERONA, WISCONSIN 53593  
PHONE: (608) 443-1973

PRINCIPAL CONTACT: KEVIN PAGE

### ARCHITECT:

GARY BRINK & ASSOCIATES, INC.  
8401 EXCELSIOR DRIVE  
MADISON, WISCONSIN 53717  
PHONE: (608) 829-1750  
FAX: (608) 829-3056  
PRINCIPAL CONTACT: JOSH WILCOX

### CIVIL/SITE ENGINEER:

SCS ENGINEERS  
2830 DAIRY DRIVE  
MADISON, WISCONSIN  
PHONE: (608) 224-2830

PRINCIPAL CONTACT: MARK HUBER

### LANDSCAPE DESIGNER:

THE BRUCE COMPANY  
2830 PARMENTER STREET  
MIDDLETON, WISCONSIN  
PHONE: (608) 836-7041  
FAX: (608) 410-2284  
PRINCIPAL CONTACT: RICHARD STROHMENGER

PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI

CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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PROJECT: 201306

DRAWN BY: BP

DATE:

SCALE: AS NOTED

PC / UDC SUBMISSION: 06-19-2013

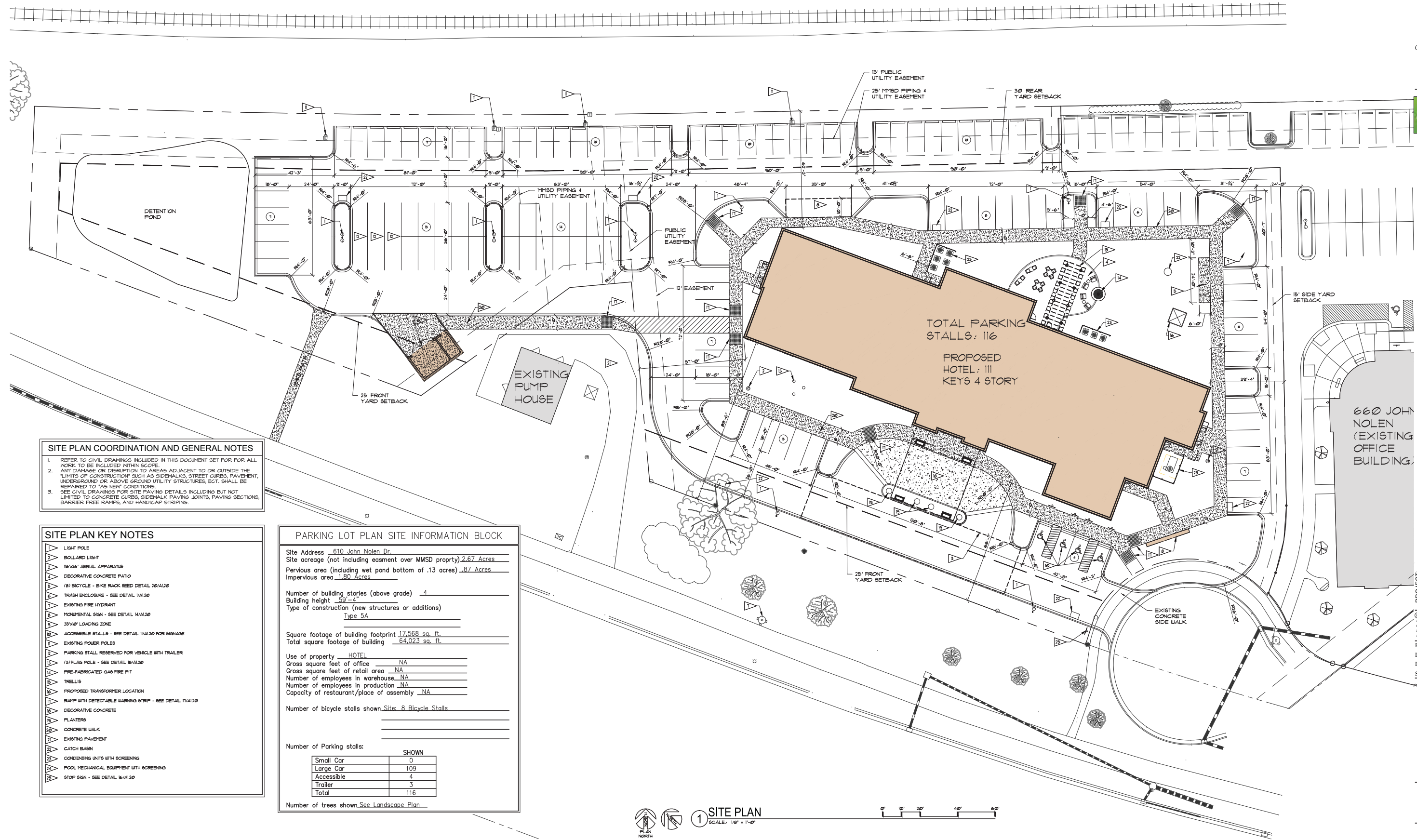
COVER SHEET  
AND PROJECT  
CONTACTS

T1

JOB #201306



GARY BRINK & ASSOCIATES  
ARCHITECTS  
8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)



**SITE PLAN COORDINATION AND GENERAL NOTES**

- REFER TO CIVIL DRAWINGS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
- ANY DAMAGE OR DISRUPTION TO AREAS ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ECT. SHALL BE REPAIRED TO "AS NEW" CONDITIONS.
- SEE CIVIL DRAWINGS FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK PAVING JOINTS, PAVING SECTIONS, BARRIER FREE RAMPS, AND HANDICAP STRIPING.

- SITE PLAN KEY NOTES**
- 1 LIGHT POLE
  - 2 BOLLARD LIGHT
  - 3 16"x26" AERIAL APPARATUS
  - 4 DECORATIVE CONCRETE PATIO
  - 5 (B) BICYCLE - BIKE RACK SEE DETAIL 20/A120
  - 6 TRASH ENCLOSURE - SEE DETAIL 14/A120
  - 7 EXISTING FIRE HYDRANT
  - 8 MONUMENTAL SIGN - SEE DETAIL 14/A120
  - 9 35'x10' LOADING ZONE
  - 10 ACCESSIBLE STALLS - SEE DETAIL 18/A120 FOR SIGNAGE
  - 11 EXISTING POWER POLES
  - 12 PARKING STALL RESERVED FOR VEHICLE WITH TRAILER
  - 13 (3) FLAG POLE - SEE DETAIL 18/A120
  - 14 PRE-FABRICATED GAS FIRE PIT
  - 15 TRELLIS
  - 16 PROPOSED TRANSFORMER LOCATION
  - 17 RAMP WITH DETECTABLE WARNING STRIP - SEE DETAIL 17/A120
  - 18 DECORATIVE CONCRETE
  - 19 PLANTERS
  - 20 CONCRETE WALK
  - 21 EXISTING PAVEMENT
  - 22 CATCH BASIN
  - 23 CONDENSING UNITS WITH SCREENING
  - 24 POOL MECHANICAL EQUIPMENT WITH SCREENING
  - 25 STOP SIGN - SEE DETAIL 16/A120

**PARKING LOT PLAN SITE INFORMATION BLOCK**

Site Address 610 John Nolen Dr.  
 Site acreage (not including easement over MMSD property) 2.67 Acres  
 Pervious area (including wet pond bottom of .13 acres) .87 Acres  
 Impervious area 1.80 Acres

Number of building stories (above grade) 4  
 Building height 59'-4"  
 Type of construction (new structures or additions) Type 5A

Square footage of building footprint 17,568 sq. ft.  
 Total square footage of building 64,023 sq. ft.

Use of property HOTEL  
 Gross square feet of office NA  
 Gross square feet of retail area NA  
 Number of employees in warehouse NA  
 Number of employees in production NA  
 Capacity of restaurant/place of assembly NA

Number of bicycle stalls shown Site: 8 Bicycle Stalls

Number of Parking stalls:

	SHOWN
Small Car	0
Large Car	109
Accessible	4
Trailer	3
Total	116

Number of trees shown See Landscape Plan

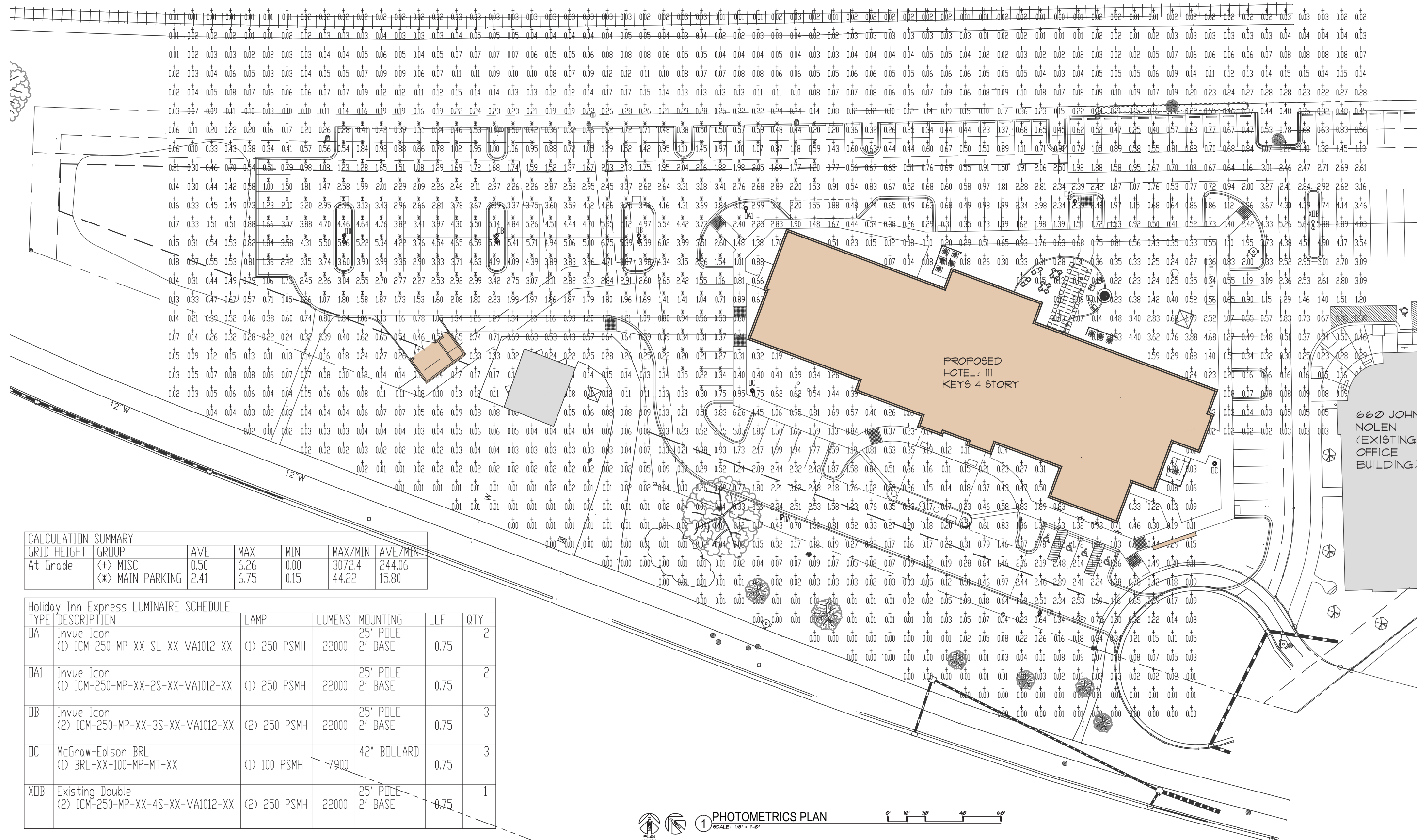
PROJECT: **HOLIDAY INN EXPRESS & SUITES**  
610 JOHN NOLEN DRIVE, MADISON WI

CLIENT: **NOLEN HOTEL INVESTMENT LLC**  
245 HORIZON DRIVE, SUITE 100, VERONA, WI 53593

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PROJECT: 201306  
 DRAWN BY: BP  
 DATE:  
 SCALE: AS NOTED  
 PC / UDC SUBMISSION: 06/19/2013

1 SITE PLAN  
SCALE: 1/8" = 1'-0"



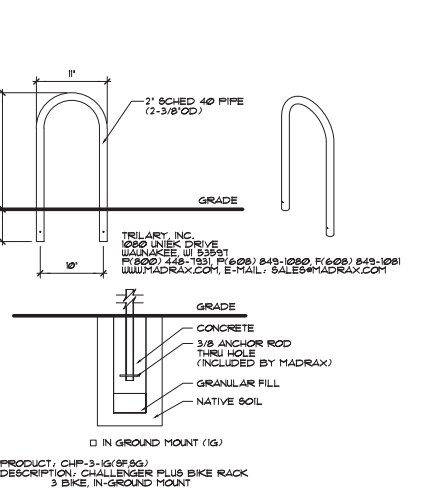
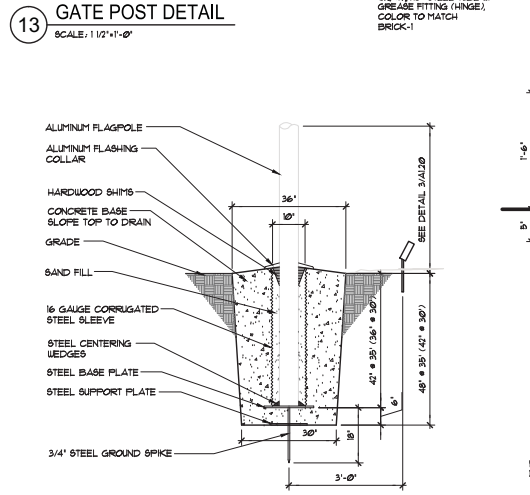
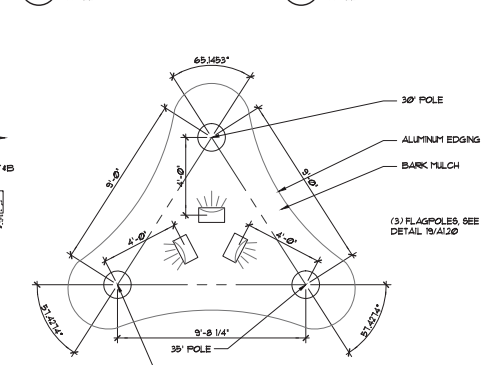
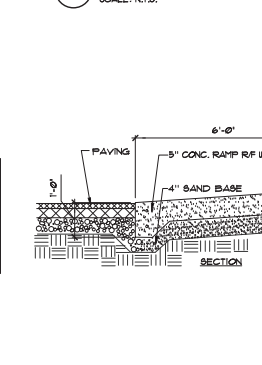
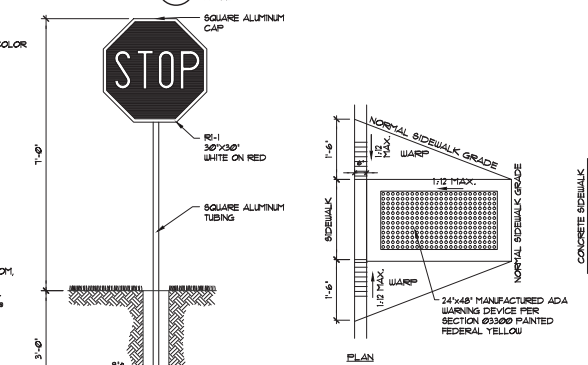
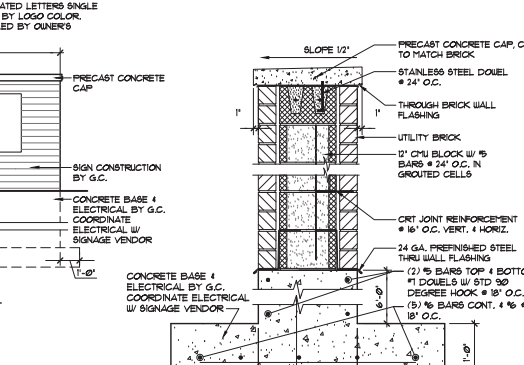
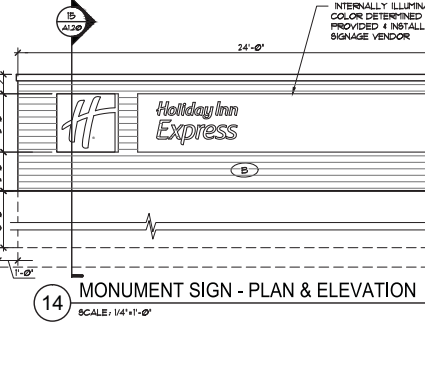
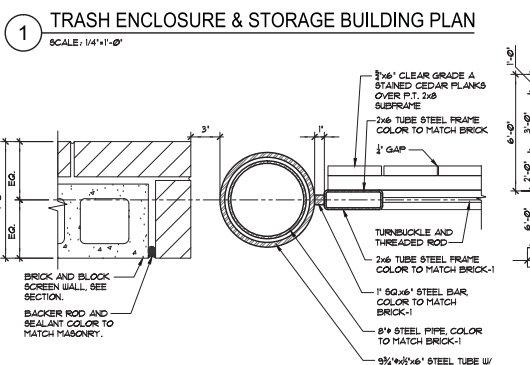
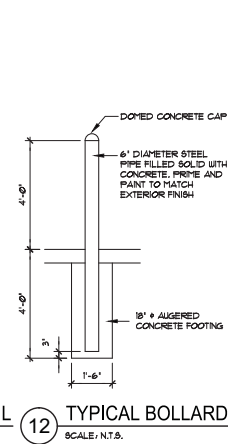
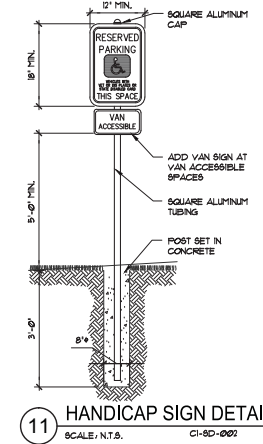
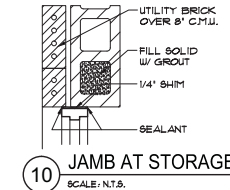
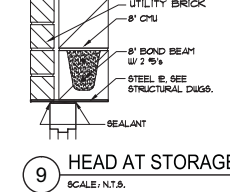
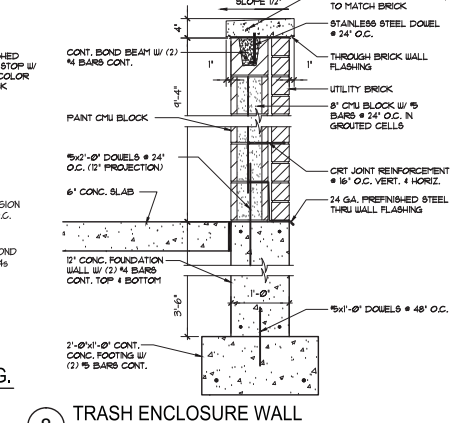
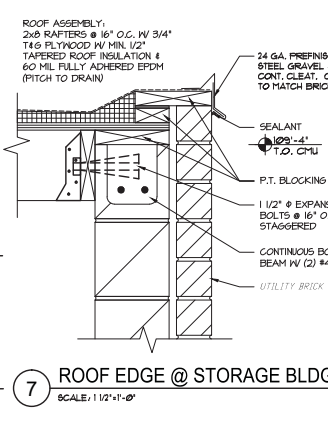
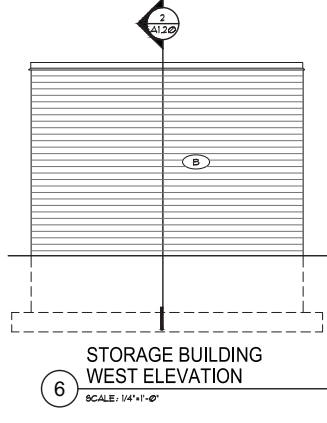
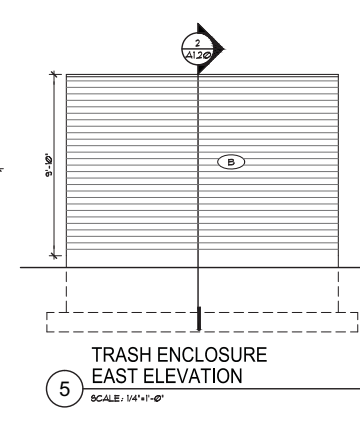
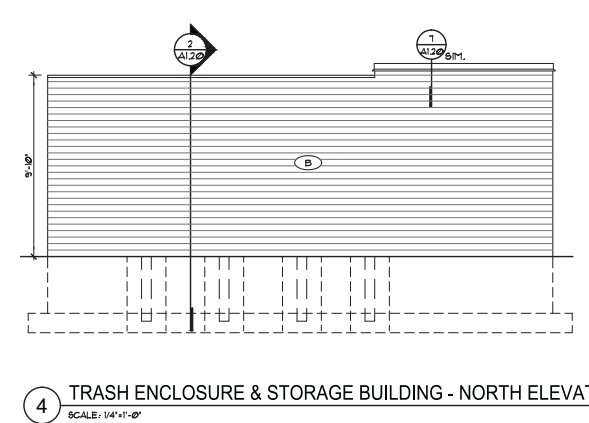
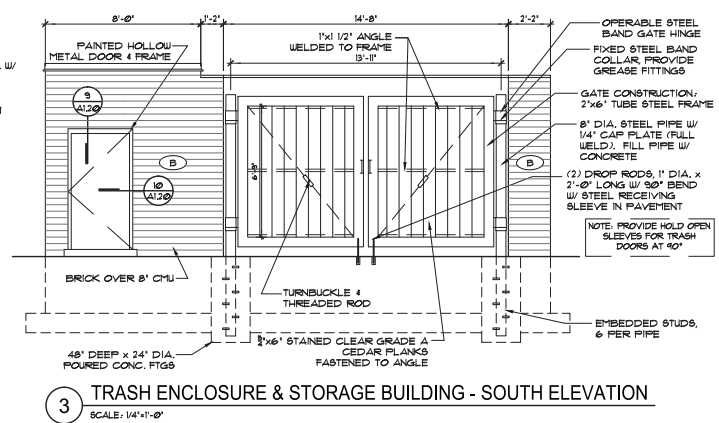
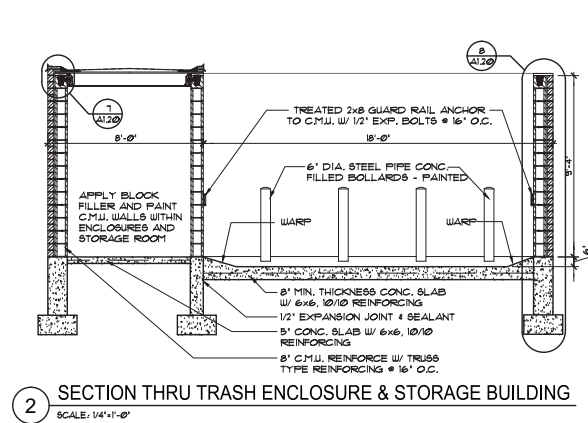
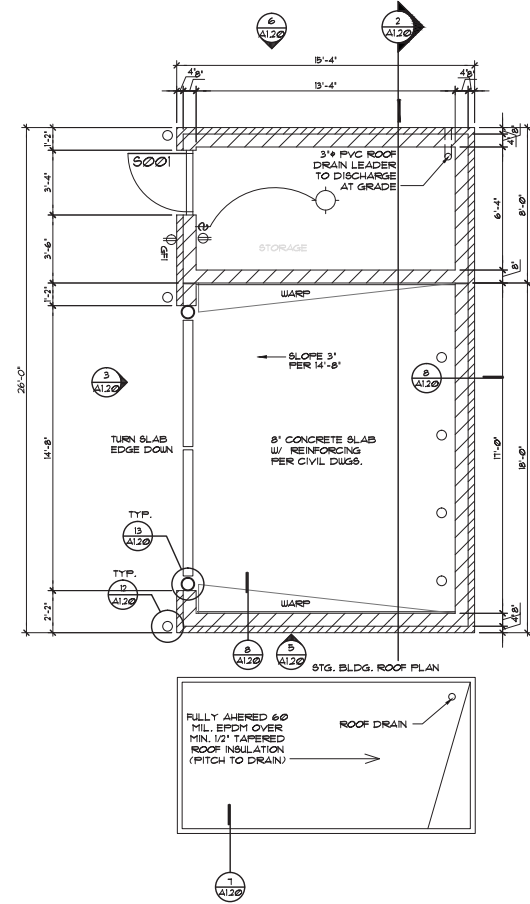
CALCULATION SUMMARY						
GRID HEIGHT	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
At Grade	(+) MISC	0.50	6.26	0.00	3072.4	244.06
	(*) MAIN PARKING	2.41	6.75	0.15	44.22	15.80

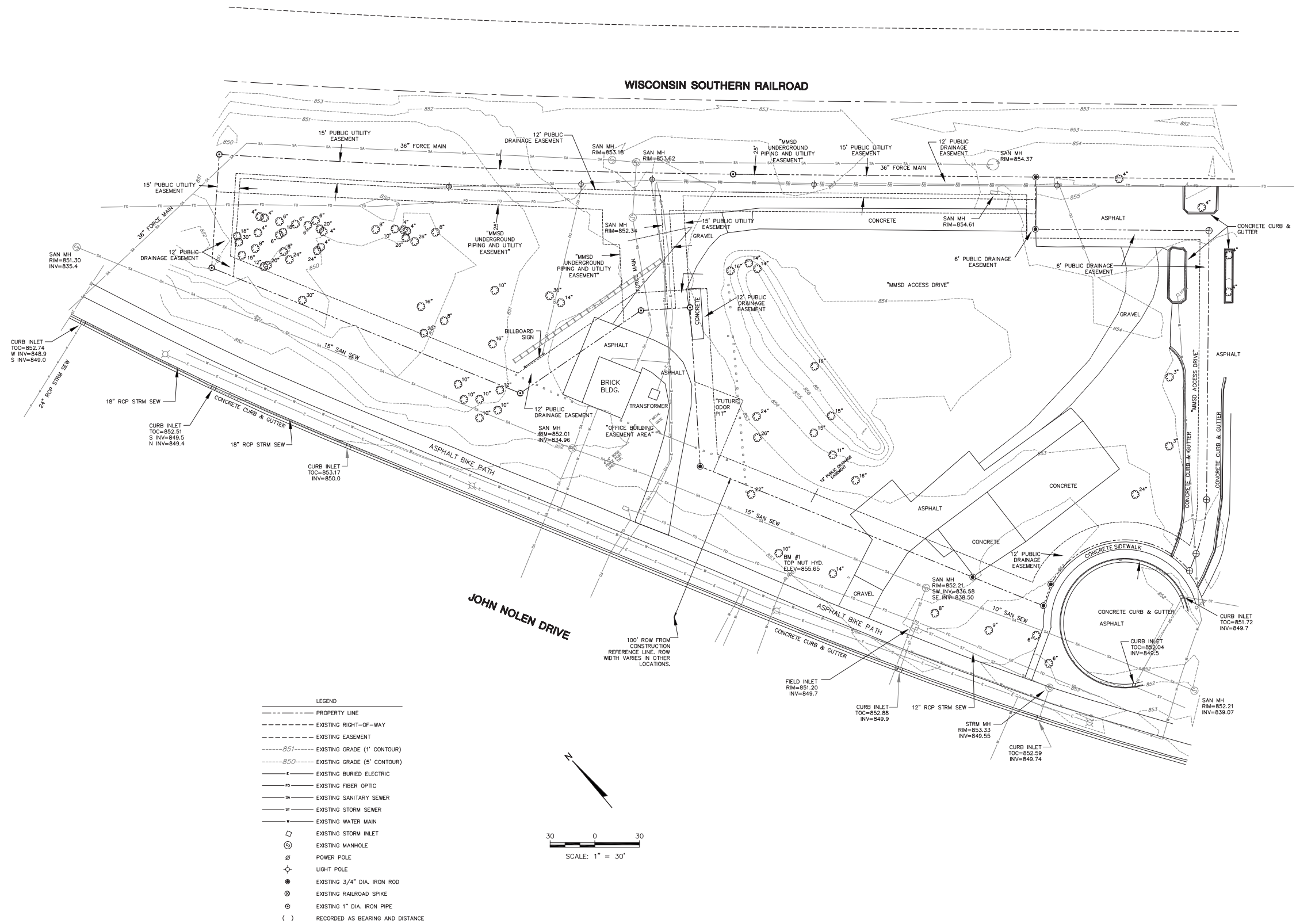
Holiday Inn Express LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	LAMP	LUMENS	MOUNTING	LLF	QTY
DA	Invue Icon (1) ICM-250-MP-XX-SL-XX-VA1012-XX	(1) 250 PSMH	22000	25' POLE 2' BASE	0.75	2
DA1	Invue Icon (1) ICM-250-MP-XX-2S-XX-VA1012-XX	(1) 250 PSMH	22000	25' POLE 2' BASE	0.75	2
DB	Invue Icon (2) ICM-250-MP-XX-3S-XX-VA1012-XX	(2) 250 PSMH	22000	25' POLE 2' BASE	0.75	3
DC	McGraw-Edison BRL (1) BRL-XX-100-MP-MT-XX	(1) 100 PSMH	7900	42" BOLLARD	0.75	3
XDB	Existing Double (2) ICM-250-MP-XX-4S-XX-VA1012-XX	(2) 250 PSMH	22000	25' POLE 2' BASE	0.75	1

1 PHOTOMETRICS PLAN  
SCALE: 1/8" = 1'-0"

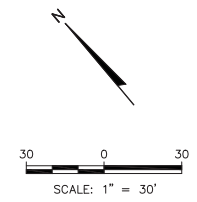
PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 100, VERONA, WI 53593

PROJECT: 201306  
DRAWN BY: BP  
DATE:  
SCALE: AS NOTED  
PC / UDC SUBMISSION: 06/19/2013





- LEGEND**
- PROPERTY LINE
  - - - EXISTING RIGHT-OF-WAY
  - - - EXISTING EASEMENT
  - 851--- EXISTING GRADE (1' CONTOUR)
  - 850--- EXISTING GRADE (5' CONTOUR)
  - - - EXISTING BURIED ELECTRIC
  - - - EXISTING FIBER OPTIC
  - - - EXISTING SANITARY SEWER
  - - - EXISTING STORM SEWER
  - - - EXISTING WATER MAIN
  - ◻ EXISTING STORM INLET
  - ⊙ EXISTING MANHOLE
  - ⊕ POWER POLE
  - ⊕ LIGHT POLE
  - EXISTING 3/4" DIA. IRON ROD
  - ⊗ EXISTING RAILROAD SPIKE
  - ⊙ EXISTING 1" DIA. IRON PIPE
  - ( ) RECORDED AS BEARING AND DISTANCE

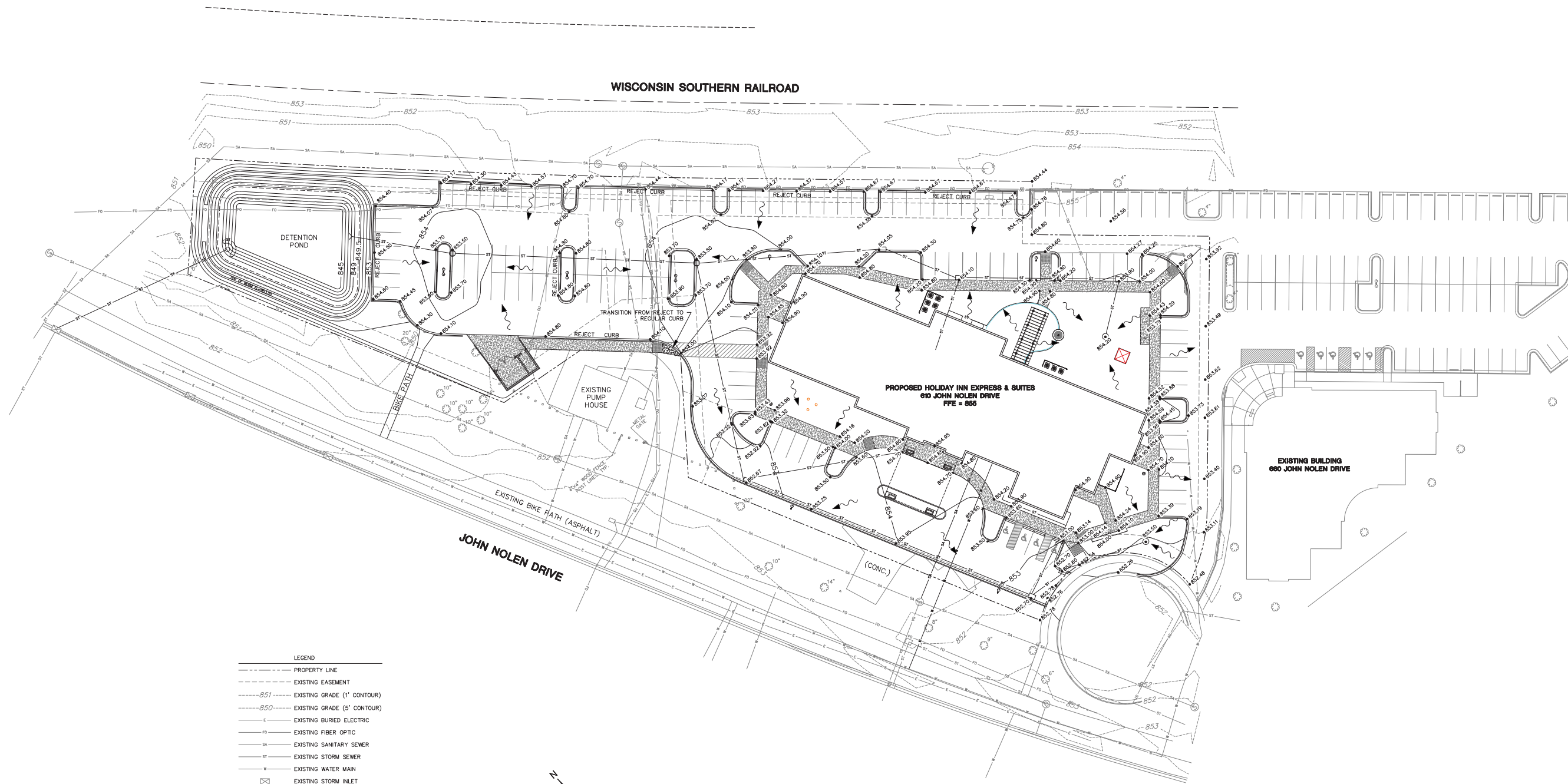


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610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

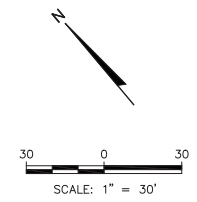
PROJECT: 25213114.00  
DRAWN BY: KP/AHB  
DATE: 06/19/13  
SCALE: AS NOTED

EXISTING  
CONDITIONS

C1.01



- LEGEND**
- PROPERTY LINE
  - - - EXISTING EASEMENT
  - 851 --- EXISTING GRADE (1' CONTOUR)
  - 850 --- EXISTING GRADE (5' CONTOUR)
  - EXISTING BURIED ELECTRIC
  - - - EXISTING FIBER OPTIC
  - SA --- EXISTING SANITARY SEWER
  - ST --- EXISTING STORM SEWER
  - W --- EXISTING WATER MAIN
  - ⊠ --- EXISTING STORM INLET
  - ⊙ --- EXISTING MANHOLE
  - ⊙ --- EXISTING TREE WITH DIAMETER
  - --- PROPOSED SPOT ELEVATION
  - 850 --- PROPOSED GRADE (1' CONTOUR)
  - 850 --- PROPOSED GRADE (5' CONTOUR)
  - SA --- PROPOSED SANITARY SEWER
  - ST --- PROPOSED STORM SEWER
  - W --- PROPOSED WATER MAIN
  - ⊠ --- PROPOSED CURB INLET
  - ⊠ --- PROPOSED INLET/MANHOLE
  - ⊙ --- PROPOSED YARD INLET
  - ⊙ --- PROPOSED LIGHT POLE
  - --- SURFACE FLOW DIRECTION

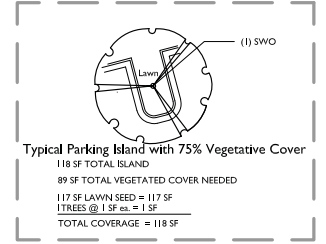
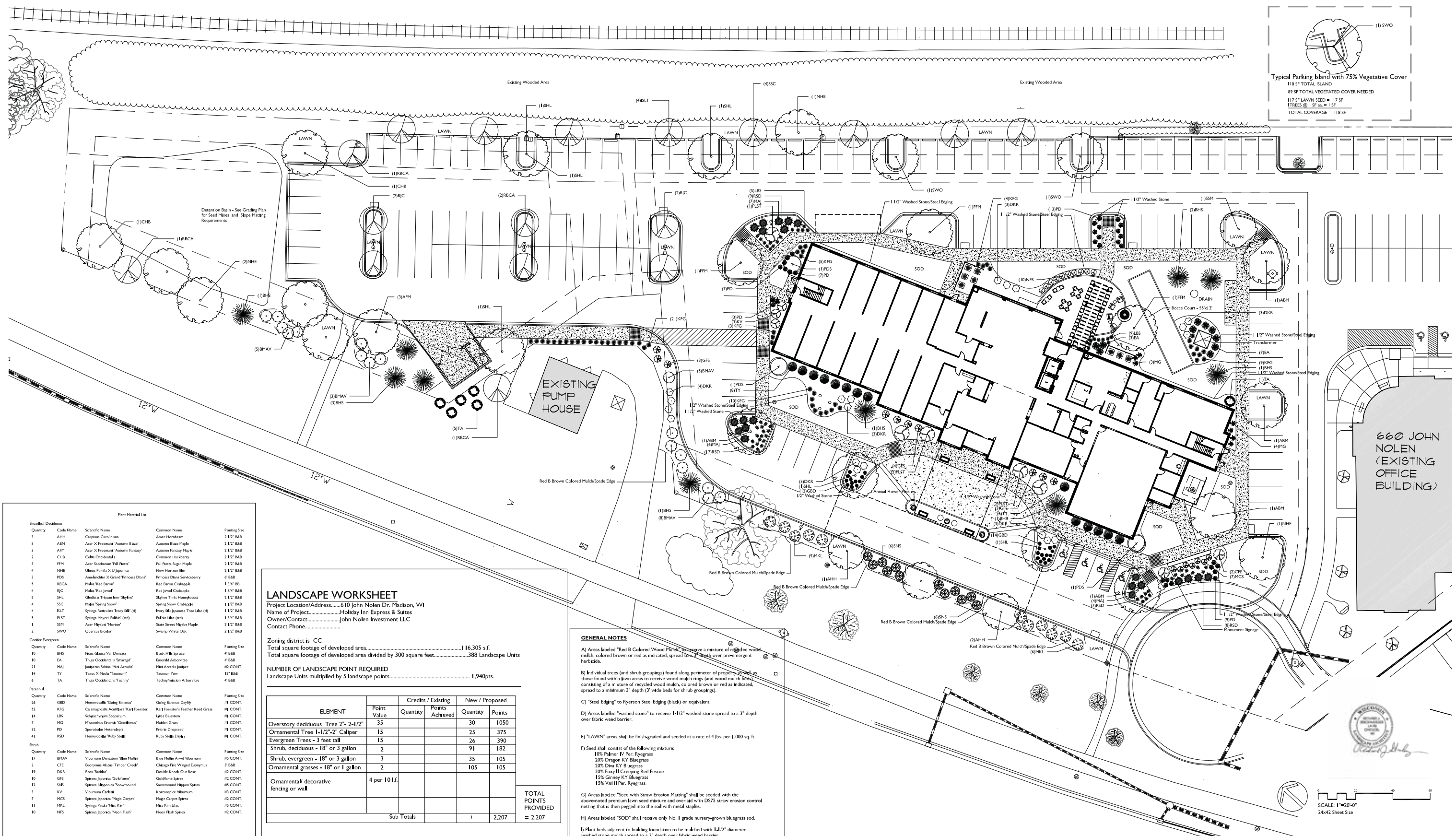


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PROJECT: 25213114.00  
DRAWN BY: KP/AHB  
DATE: 06/19/13  
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GRADING AND  
UTILITY PLAN

C1.02



**Plant Material List**

Quantity	Code Name	Scientific Name	Common Name	Planting Size
3	JH8	Caryopteris Canadensis	Aster Hortensia	2 1/2" B&B
5	ABH	Acer X Freeman 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" B&B
3	AFH	Acer X Freeman 'Autumn Fantasy'	Autumn Fantasy Maple	2 1/2" B&B
2	CHB	Callus Occidentalis	Common Hackberry	2 1/2" B&B
3	FFH	Acer Saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2 1/2" B&B
4	NHE	Ulmus Pumila X U Japonica	New Horizon Elm	2 1/2" B&B
3	PDS	Aucubacter X Grand 'Princess Diana'	Princess Diana Spineholberry	6" B&B
5	RBCA	Malus 'Red Baron'	Red Baron Crabapple	1 3/4" B&B
4	JYC	Malus 'Red Jewel'	Red Jewel Crabapple	1 3/4" B&B
5	SHL	Gleditsia Tripartita Iner 'Skyline'	Skyline Thru Honeylocust	2 1/2" B&B
4	SSC	Malus 'Spring Snow'	Spring Snow Crabapple	1 1/2" B&B
4	SLT	Syringa Reticulata Ivory Silk (tr)	Ivory Silk Japanese Tree Lilac (tr)	1 1/2" B&B
5	PLST	Syringa Phyllis 'Palen' (tr)	Phyllis Lilac (tr)	1 3/4" B&B
1	SMH	Acer 'Mable 'Morse'	Stone Stream Maple Maple	2 1/2" B&B
2	SWD	Quercus Beber	Swamp White Oak	2 1/2" B&B
<b>Conifer/Evergreen</b>				
10	BHS	Picea Glauca Var. Dorsata	Black Hills Spruce	4" B&B
10	EA	Thuja Occidentalis 'Smuragd'	Emerald Arborvitae	4" B&B
21	MAJ	Juniperus Sabina 'Miss Arcadia'	Miss Arcadia Juniper	#2 CONT.
14	TY	Taxus X Media 'Tutuwood'	Tutuwood	#2 B&B
4	TA	Thuja Occidentalis 'Trophy'	Trophy/Arboretum Arborvitae	4" B&B
<b>Perennial</b>				
26	GRD	Hemerocallis 'Golfing Banana's'	Golfing Banana Daylily	#1 CONT.
52	KFG	Callirhoe Acaulis 'Karl Foerster'	Karl Foerster's Feather Reed Grass	#1 CONT.
14	LBS	Schizanthus Scopolorum	Linda Bluestem	#1 CONT.
7	MG	Miscanthus Sinensis 'Goldilocks'	Golden Grass	#1 CONT.
32	PD	Sporobolus Horridulus	Prarie Dropseed	#1 CONT.
41	RSO	Hemerocallis 'Ruby Sails'	Ruby Sails Daylily	#1 CONT.
<b>Shrub</b>				
17	BMAV	Viburnum Dentatum 'Blue Muffin'	Blue Muffin Arnd Viburnum	#5 CONT.
2	CPE	Eonymus Alatus 'Timber Creek'	Chicago Fire Winged Eonymus	3" B&B
19	DKR	Rosa 'Kiddie'	Double Knock Out Rose	#2 CONT.
10	GF	Spiraea Japonica 'Goldflame'	Goldflame Spiraea	#2 CONT.
12	SBE	Spiraea Negundo 'Snowmound'	Snowmound Nippon Spiraea	#2 CONT.
3	KV	Viburnum Carleii	Kornspitze Viburnum	#3 CONT.
7	HCS	Spiraea Japonica 'Magic Carpet'	Magic Carpet Spiraea	#3 CONT.
11	MKL	Spiraea Prunifolia 'Miss Kim'	Miss Kim Lilac	#5 CONT.
10	NFS	Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	#2 CONT.

**LANDSCAPE WORKSHEET**  
 Project Location/Address: 610 John Nolen Dr. Madison, WI  
 Name of Project: Holiday Inn Express & Suites  
 Owner/Contact: John Nolen Investment LLC  
 Contact Phone: \_\_\_\_\_

Zoning district is CC  
 Total square footage of developed area: 116,305 s.f.  
 Total square footage of developed area divided by 300 square feet: 388 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED  
 Landscape Units multiplied by 5 landscape points: 1,940pts.

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2'-2-1/2"	35			30	1050
Ornamental Tree 1-1/2"-2" Caliper	15			25	375
Evergreen Trees - 3 feet tall	15			26	390
Shrub, deciduous - 18" or 3 gallon	2			91	182
Shrub, evergreen - 18" or 3 gallon	3			35	105
Ornamental grasses - 18" or 1 gallon	2			105	105
Ornamental/ decorative fencing or wall	4 per 10 l.f.				
<b>Sub Totals</b>				<b>+</b>	<b>2,207</b>

**TOTAL POINTS PROVIDED = 2,207**

**GENERAL NOTES**

A) Areas labeled "Red B Colored Woodchips" receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property shall be placed at those found within bins areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3" wide beds for shrub groupings).

C) "Steel Edging" to Ryerson Steel Edging (black) or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

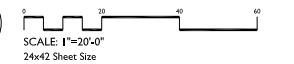
E) "LAWN" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

F) Seed shall consist of the following mixture:  
 10% Palmer Ry Per Ryegrass  
 20% Dragon KY Bluegrass  
 20% Diva KY Bluegrass  
 20% Foxy II Creeping Red Fescue  
 15% Givney KY Bluegrass  
 15% Vail II Per Ryegrass

G) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control matting that is then pegged into the soil with metal staples.

H) Areas labeled "SOD" shall receive only No. 1 grade nursery-grown bluegrass sod.

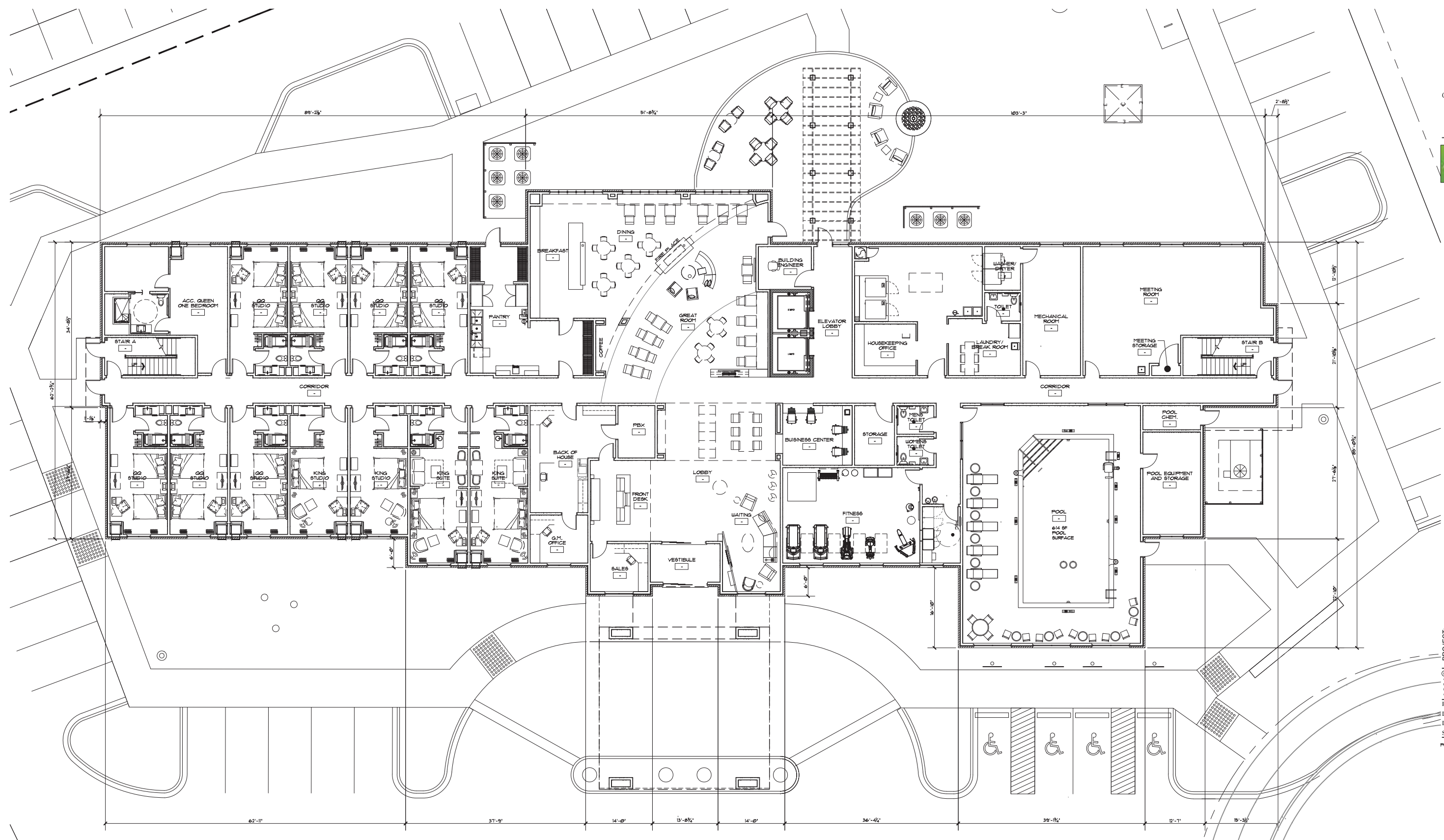
I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.







GARY BRINK & ASSOCIATES  
ARCHITECTS  
8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)



**1** FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

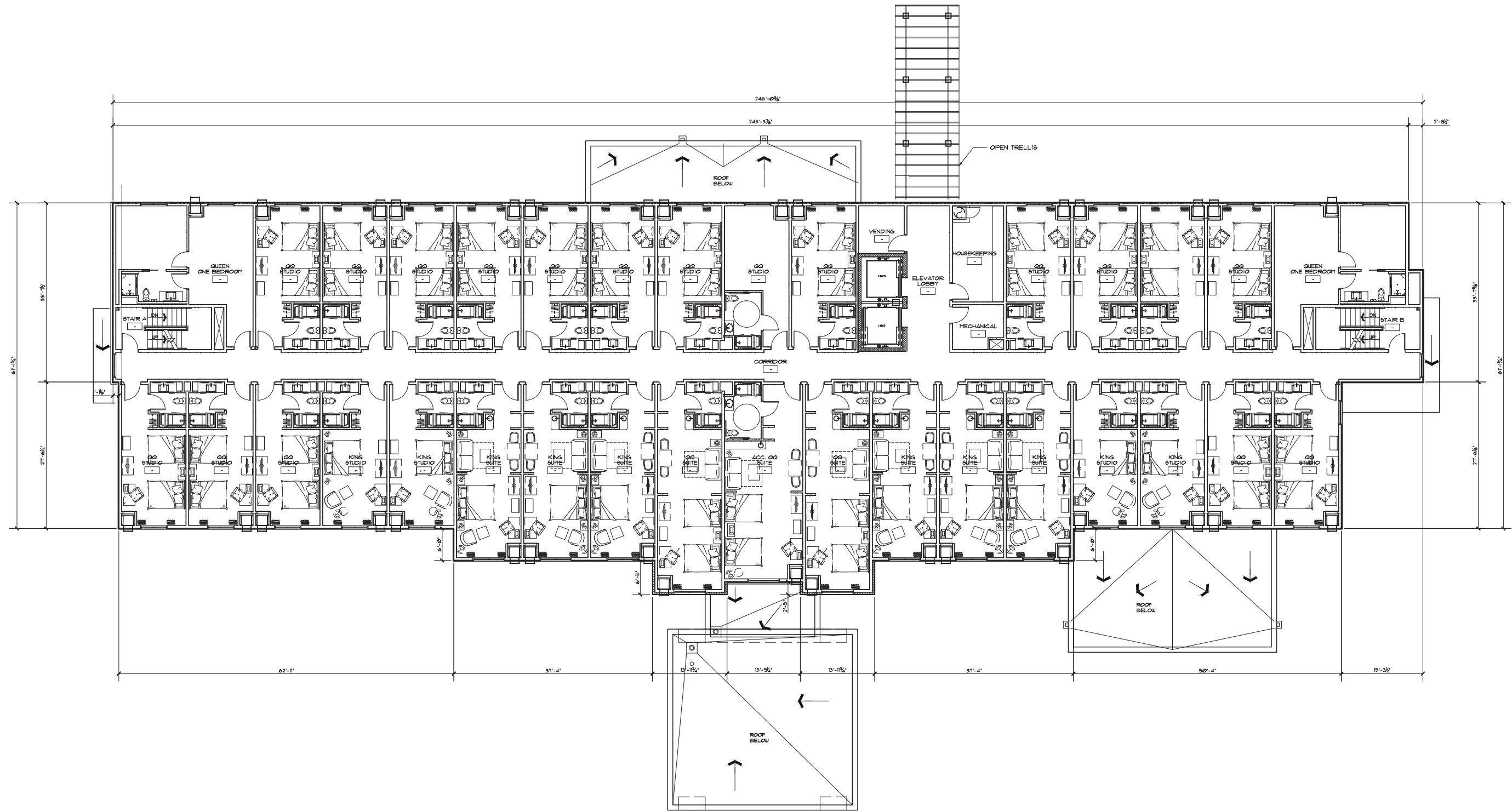
PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 100, VERONA, WI 53593

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PROJECT: 201306  
DRAWN BY: BP  
DATE:  
SCALE: AS NOTED  
PC / UDC SUBMISSION: 06.19.2013

FIRST FLOOR PLAN  
A2.01



GARY BRINK & ASSOCIATES  
ARCHITECTS  
8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
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SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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PROJECT: 201306

DRAWN BY: BP

DATE:

SCALE: AS NOTED

PC / LDC SUBMISSION: 06-13-13

FIRST  
FLOOR  
PLAN

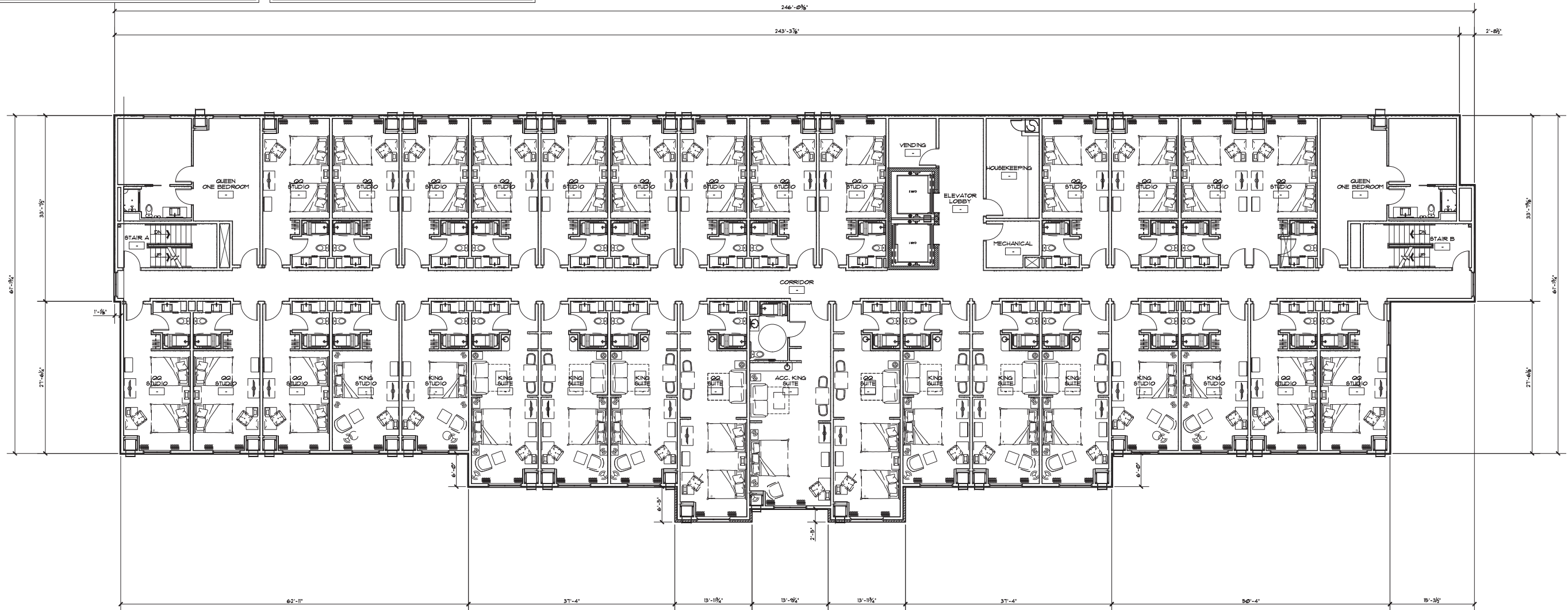
A2.02

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHING (OR MASONRY).
3. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE NECESSARY TO ACHIEVE UNBROKEN LINE.
4. SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
5. SEE SHEET A2.00 FOR WALL TYPE CONSTRUCTION.
6. SEE 1/8" PLANS FOR ALL COMMUNICATING GUESTROOM DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
7. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "W" DENIGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
8. SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
9. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ASSEMBLY ROOMS.

**PLAN SYMBOLS**

- ⊗ WALL-MOUNTED FIRE EXTINGUISHER 4-A 82BC 10-lb NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- ☒ FULLY-RECESSED FIRE EXTINGUISHER CABINET MODEL NO. 2409-R2 AND FIRE EXTINGUISHER 4-A 82BC 10-lb NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- X— INDICATES WALL TYPE. REFER TO DRAWING FOR WALL TYPE CONSTRUCTION
- ⊕ FLOOR DRAIN
- ⊗ DOOR TYPE. REFER TO DRAWING AB.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- ⊗ DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING AB.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.



**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



GARY BRINK & ASSOCIATES  
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8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)



PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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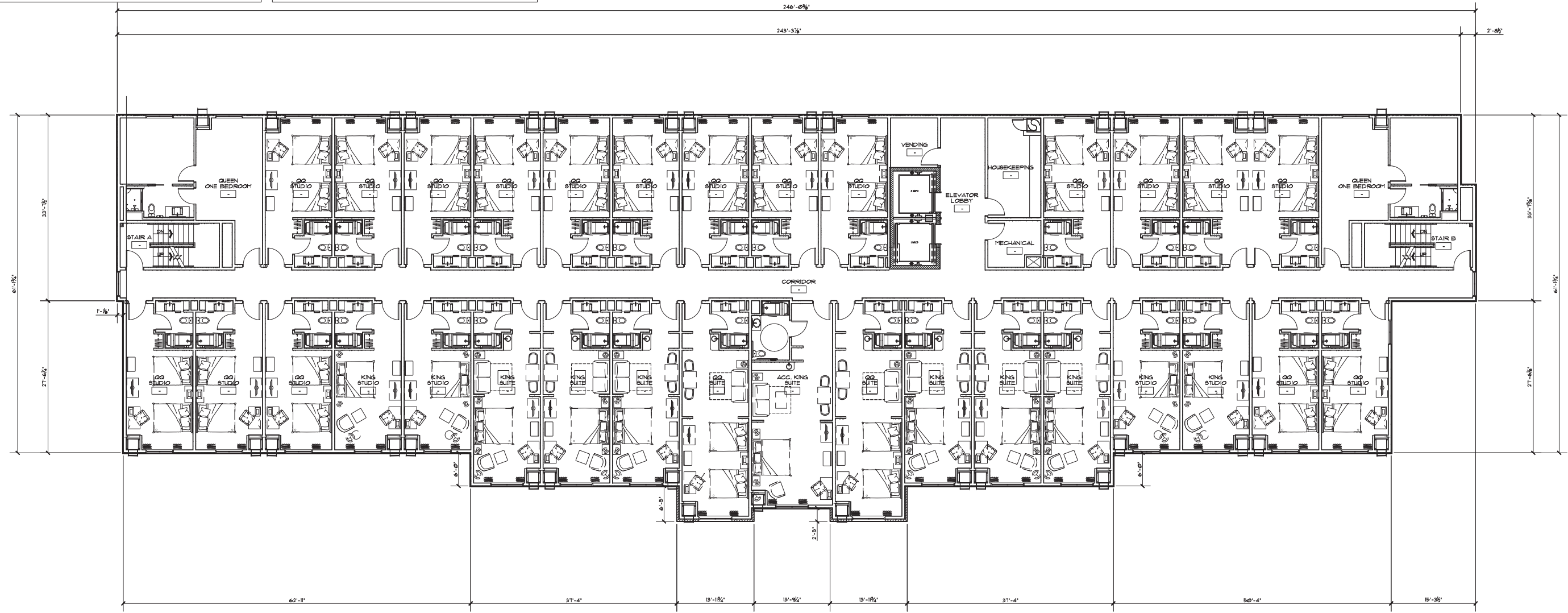
THIRD FLOOR PLAN  
A2.03

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHING (OR MASONRY).
3. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
4. SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
5. SEE SHEET A320 FOR WALL TYPE CONSTRUCTION.
6. SEE 1/8" PLANS FOR ALL COMMUNICATING GUESTROOM DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
7. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
8. SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
9. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ASSEMBLY ROOMS.

**PLAN SYMBOLS**

- ⊗ WALL-MOUNTED FIRE EXTINGUISHER, 4-A B0BC, 10-lb NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET, MODEL NO. 2409-R2, AND FIRE EXTINGUISHER, 4-A B0BC, 10-lb NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- INDICATES WALL TYPE, REFER TO DRAWING FOR WALL TYPE CONSTRUCTION
- Xx FLOOR DRAIN
- ⊕ DOOR TYPE REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- ⊖ DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.



**FOURTH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



GARY BRINK & ASSOCIATES  
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8401 EXCELSIOR DRIVE  
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608-829-3056 (FAX)



PROJECT: HOLIDAY INN EXPRESS & SUITES  
610 JOHN NOLEN DRIVE, MADISON WI  
CLIENT: NOLEN HOTEL INVESTMENT LLC  
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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SCALE: AS NOTED  
PC / LDC SUBMISSION: 06-10-2013



GARY BRINK & ASSOCIATES  
ARCHITECTS  
9401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-428-1170  
608-428-3556 (FAX)



SOUTH  
SCALE: 1/8" = 1'-0"



WEST  
SCALE: 1/8" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	M-1 METAL NO. 1 * COPING FACHAS AND STORMDOOR COLOR: DARK BRONZE
	E-1 EIFS NO. 1 FINISH: RED SAND COLOR: SANDST BEIGE
	B-1 BRICK NO. 1 SIZE: UTILITY COLOR: INTENSATE COPPERSTONE
	C-1 CAST STONE NO. 1 S. P. 24 INC. 4 X 8 COLOR: HERITAGE BLOCKING

PROJECT: PROPOSED SEVEN LEVEL PARKING STRUCTURE  
HIGGINS RD. & DES PLAINES RIVER ROAD  
ROSEMONT, ILLINOIS 60018  
CLIENT: RAYMOND MANAGEMENT COMPANY  
8333 GREENWAY BLVD., SUITE 2000  
MIDDLETON, WI 53562

PROJECT: 201214  
DRAWN BY: BP  
DATE:  
SCALE: AS NOTED

ELEVATIONS

A6.01



GARY BRINK & ASSOCIATES  
ARCHITECTS  
9401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-428-1170  
608-428-3556 (FAX)



NORTH  
SCALE: 1/8" = 1'-0"



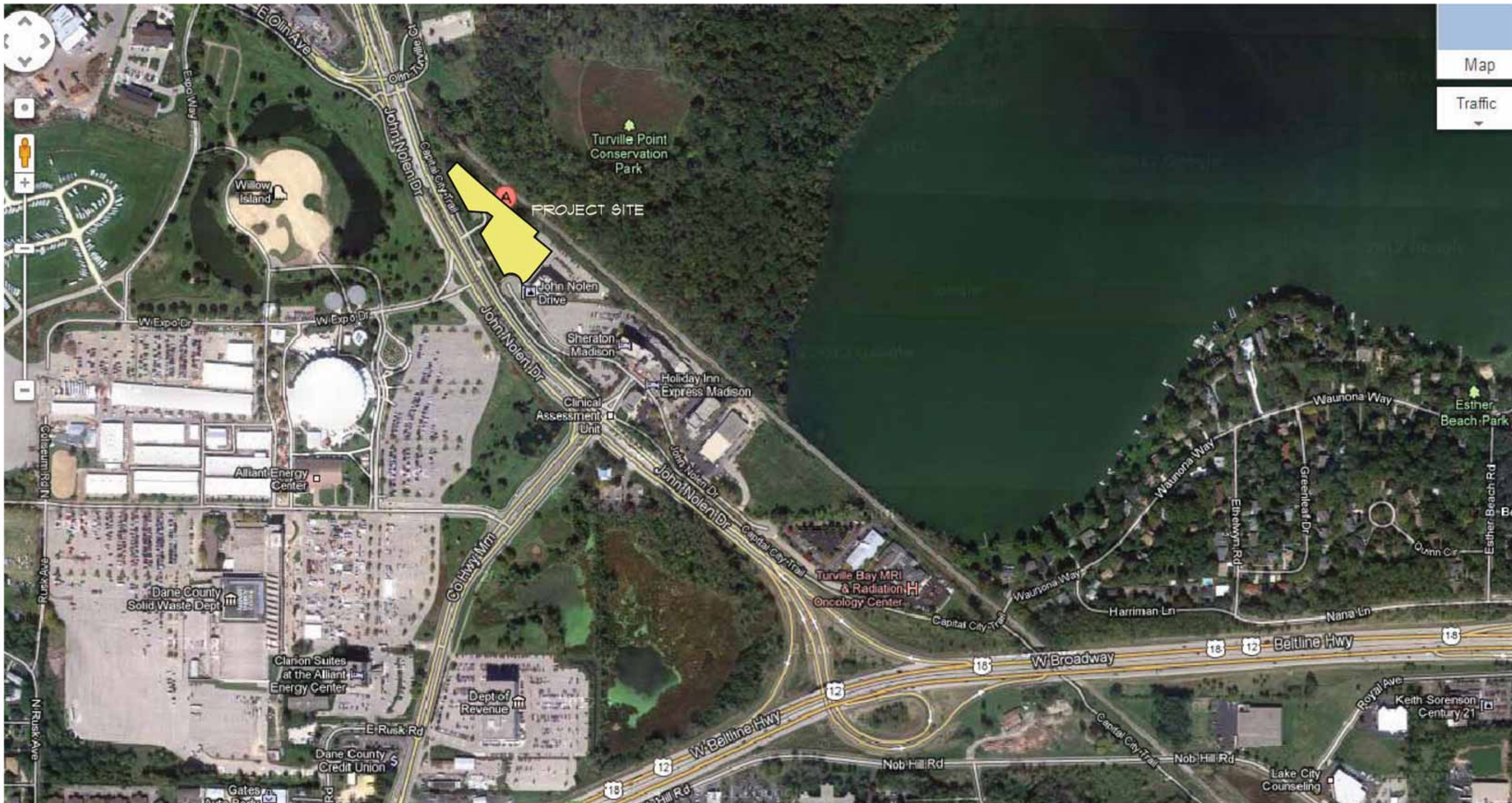
EAST  
SCALE: 1/8" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	(M-) METAL NO. 1 * COPING, FASCIAE AND STORMWATER COLOR: DARK BRONZE
	(E-1) EIFS NO. 1 FINISH: RED SAND COLOR: SANDST BEIGE
	(B-1) BRICK NO. 1 SIZE: UTILITY COLOR: INTERSTATE CONCRETE
	(C-1) CAST STONE NO. 1 8" X 24" HIG. 4" X 8" COLOR: HERITAGE BLOCKING

PROJECT: PROPOSED SEVEN LEVEL PARKING STRUCTURE  
HIGGINS RD. & DES PLAINES RIVER ROAD  
ROSEMONT, ILLINOIS 60018

CLIENT: RAYMOND MANAGEMENT COMPANY  
8333 GREENWAY BLVD., SUITE 200  
MIDDLETON, WI 53562

PROJECT: 201214  
DRAWN BY: BP  
DATE:  
SCALE: AS NOTED



Map  
Traffic



AERIAL MAP

N.T.S.

**PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC**  
**610 JOHN NOLEN DR., MADISON WI**

1  
 JUNE 19,  
 2013  
 201306



EXISTING 660 JOHN NOLEN DRIVE OFFICE BUILDING



ENTETRANCE TO EXISTING OFFICE BUILDING



SITE LOOKING NORTH



SITE LOOKING NORTH DOWN JOHN NOLEN



GARY BRINK  
& ASSOCIATES  
ARCHITECTS



**PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC**  
610 JOHN NOLEN DR., MADISON WI

JUNE 19,  
2013  
201306





SITE LOOKING NORTH AT EXISTING PUMP HOUSE



SITE LOOKING SOUTH DOWN JOHN NOLEN



SITE LOOKING SOUTH AT EXISTING OFFICE



SITE LOOKING WEST @ ALLIANT ENRGY CENTER / COLISEUM



GARY BRINK  
& ASSOCIATES  
ARCHITECTS



**PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC**  
610 JOHN NOLEN DR., MADISON WI

JUNE 19,  
2013  
201306



SITE LOOKING NORTH AT OVER HEAD POWER LINE



SITE LOOKING WEST AT BACK OF EXISTING PUMP HOUSE



SITE LOOKING @ OVER HEAD POWER LINE TOWARDS OLIN PARK



SITE LOOKING WEST @ ALLIANT ENRGY CENTER / COLISEUM



**PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC**  
610 JOHN NOLEN DR., MADISON WI

JUNE 19,  
2013  
201306