



Department of Planning & Community & Economic Development

## Planning Division

**Heather Stouder, Director**

215 Martin Luther King Jr Blvd, Suite 017

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Madison, Wisconsin 53701-2985

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[www.cityofmadison.com](http://www.cityofmadison.com)

November 15, 2021

Aaron Monroe  
Architectural Building Arts  
720 Hill St.  
Madison, WI 53705

Re: Certificate of Appropriateness for 848 Jenifer St

In accordance with the provisions of the Historic Preservation Ordinance, I have reviewed your plans to alter the exterior of the structure located at 848 Jenifer Street, located in the Third Lake Ridge Historic District, and am able to provide administrative approval for the following work:

- Repair of exterior details with materials in-kind, painting to match
- Relocation of specified exterior vents, replacement of specified vent caps, and installation of new kitchen range ventilation hood as proposed
- Replacement of specified basement windows and introduction of new basement window in currently enclosed opening
- Replacement of nonhistoric windows with period-appropriate windows
- Install new windows on 1980s rear enclosed porch area to replicate historic windows
- Replace concrete driveway with new concrete driveway
- Replace nonhistoric brick walkway with new concrete walkway to front entrance
- Relocate air conditioning condensers as proposed
- Install safety railing on accessible third-floor roof

This letter will serve as the "Certificate of Appropriateness" for the project described above. When you apply for a building permit, take this letter with you to the Building Inspection Counter, Department of Planning and Development, 215 Martin Luther King Jr Blvd, Suite 017.

Please note that any scope of work or design changes from the alterations approved herein must receive approval by the Landmarks Commission, or staff designee, prior to commencing with the work. This Certificate is valid for 24 months from the date of issuance.

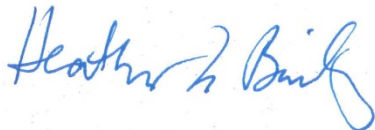
Please also note that failure to comply with the conditions of your approval is subject to a forfeiture of up to \$500 for each day during which a violation of the Landmarks Commission ordinance continues (see Madison General Ordinances Chapter 41, Historic Preservation Ordinance).

Please contact me at 608-266-6552 or [landmarkscommission@cityofmadison.com](mailto:landmarkscommission@cityofmadison.com) with any questions.

Sincerely,

November 15, 2021

Page 2

A handwritten signature in blue ink that reads "Heather L. Bailey". The signature is written in a cursive style with a large, looping initial 'H'.

Heather L. Bailey, Ph.D.

Preservation Planner

City of Madison Planning Division

cc: City preservation property file

# LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison  
Planning Division  
215 Martin Luther King Jr Blvd, Ste 017  
PO Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## 1. LOCATION

Project Address: 848 Jenifer Street, Madison, Wisconsin 53703


Aldermanic District: 6

## 2. PROJECT

Project Title/Description: 848 Jenifer Street Renovation

This is an application for: (check all that apply)

- New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify)\*\*:**
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)\*\*:**
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Demolition**
- Alteration/Addition to a building adjacent to a Designated Landmark**
- Variance from the Historic Preservation Ordinance (Chapter 41)**
- Landmark Nomination/Rescission or Historic District Nomination/Amendment**  
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):**

DPCED USE ONLY	Registrar #:
	<b>DATE STAMP</b>  10/11/21 11:50 am
	<b>Preliminary Zoning Review</b> Zoning Staff Initial: Date:        /        /

## 3. APPLICANT

Applicant's Name: Aaron Monroe Company: Architectural Building Arts Inc.

Address: 720 Hill Street, Suite 100, Madison, Wisconsin 53705

Telephone: (608) 233-2106 Email: aaron@designbuildmadison.com

Property Owner (if not applicant): Katherine Fu & Lois Fu & Jonathan Vander Woude

Address: 848 Jenifer Street, Madison, Wisconsin 53703

Property Owner's Signature: Katherine Fu Jonafhan Vander Woude Lois L. Fu Date: Oct 8, 2021

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: [https://www.cityofmadison.com/dpced/planning/documents/LC\\_Meeting\\_Schedule\\_Dates.pdf](https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf)



Landmarks Commission  
Planning Division, City of Madison  
215 Martin Luther King Jr Blvd, Ste 017  
Madison, Wisconsin 53701-2985  
landmarkscommission@cityofmadison.com

October 11, 2021

Commission Members,

This Letter of Intent concerns alterations to the residential home located at 848 Jenifer Street. This home is a Designated Madison Landmark (#161). Photos of the existing exterior condition are included on pages 5-9 of this letter. Additionally, we have attached a set of plans which include the current exterior elevations and current floor plans (sheets 003 through 010) followed by our project elevations and floor plans (sheet 011 through 018).

We are requesting a Certificate Of Appropriateness (COA) covering the following work:

1. Repairing existing exterior details where existing materials have failed  
The exterior of the home is in good condition, however, there are a few repairs that we will be undertaking to the existing cladding and exterior details. Examples of these repairs can be found in the included 'Gallery of Exterior Repairs' on pages 10 and 11 of this document.
2. Install new utility equipment venting through the foundation wall  
The basement utility room is currently located on the west side of the home with venting installed on the same side. The furnace vents through the foundation wall and the water heater vents through the rim. The new utility vents will exit the home in a similar manner and will be painted to blend with the foundation and siding as applicable. The areas where we would like to install this venting has been marked as 'UTILITY VENTS' on sheet 012 of the attached plan set. Photos showing the existing venting have been included on page 12 of this letter.
3. Replace existing bathroom fan vent cap on the exterior  
There is one existing bathroom fan vent cap on the east elevation that we would like to be replaced as part of the replacement of the bathroom fan. It will be replaced with a similar cap painted to blend with the siding. The location of this vent cap has been marked as 'CAP-1' on sheet 014 of the attached plan set and a photo has been included on page 13 of this letter.

4. Relocate dryer vent cap on the exterior

There is one existing dryer vent on the basement level that vents through a glass block window on the west elevation. We would like to replace that window with a more sympathetic window (see item seven below) and this will require the relocation of the dryer vent cap. The new dryer vent cap will be located three feet from the replacement window exiting through the foundation wall or the rim above. It will be painted to match either the foundation or the siding. The location of this vent cap has been marked as 'CAP-2' on sheet 012 of the attached plan set and a photo of the existing vent cap has been included on page 14 of this letter.

5. Install new dryer vent cap

Modifications to the interior include the installation of a washer and dryer on the second floor. This new laundry location requires a vent on the exterior for the dryer. The vent cap will be painted to blend with the siding. The approximate location of this new vent cap has been marked as 'CAP-3' on sheet 012 of the attached plan set.

6. Install new bathroom fan vent caps on the exterior for existing bathrooms

Two existing bathrooms on the second floor do not appear to be vented to the exterior as required. We would like to install new vent caps at locations 'CAP-4' on sheet 014 and 'CAP-5' on sheet 012.

7. Install new bathroom fan vent cap on the exterior for a new bathroom

A new basement bathroom will have a bath fan and related ventilation cap on the exterior. We would like to install this vent cap at the location marked 'CAP-6' on sheet 014.

8. Install a new kitchen range ventilation hood on the exterior

The existing kitchen range ventilation hood exhaust to an unknown location. We would like to install a new kitchen range ventilation hood cap at the location marked 'CAP-7' on sheet 012.

9. Install a new window in an existing basement window opening currently filled with concrete

There is a set of three openings in the west facing foundation wall, two have windows (presumed original) and one is filled with roughly finished, unpainted concrete. We would like to install a replacement window in the opening currently filled with concrete. The specifications of this window is line 1 in the attached Marvin quotation, the window is marked W1 on page 012 of the plan set, and a photo of the existing window has been included on page 15 of this letter.

10. Install a new window in an existing basement window opening currently filled with a damaged window

There is a set of three openings in the west facing foundation wall, two have intact windows (presumed original) and one has a damaged window modified to accommodate a utility vent. We would like to install a replacement window in the opening currently filled with a damaged window. The specifications of this window is line 2 in the attached Marvin quotation, the window is marked W2 on page 012 of the plan set, and a photo of the existing window has been included on page 12 of this letter.

11. Install new windows in three existing basement window openings currently filled with glass block

There is a set of three openings in the west facing foundation wall filled with glass block. We would like to install replacement windows in these openings. The specifications of these windows are lines 3 (W3/W4) and line 4 (W5) in the attached Marvin quotation, the windows are marked W3, W4, and W5 on page 012 of the plan set, and a photo of the existing windows has been included on page 14 of this letter.

12. Install new windows in four existing basement window openings with non-original windows  
There is a set of four openings in the north and east facing foundation walls that are filled with non-original windows likely installed as part of a renovation in the 1980's. We would like to install replacement windows in these openings that are more sympathetic to the original window design. The specifications of these windows is line 3 in the attached Marvin quotation with the frame size set to the existing rough openings. the windows are marked W17 and W18 on sheet 013 and W19/W20 on page 014 of the plan set, and a photo of the existing windows has been included on page 16 of this letter.
13. Install new windows in three existing basement window openings to harmonize the window appearance  
There is a set of three windows in the east facing foundation wall. One (marked W22 on page 014) was previously replaced with a window with a horizontal grille that is substantially different from the style of the original windows. The other two windows (marked W23 on page 014 and W21 on pages 013/014) are likely original. We would like to install replacement windows in these openings for two reasons: first, to harmonize the appearance of these three windows as they are in the same room and on the same side of the exterior facade. Second, we plan on conditioning the interior space and all three windows were originally fabricated for use in a rough basement, not a finished space. They are not constructed as carefully or as beautifully as the original windows on the upper levels of the home. The specifications of these windows are line 3 in the attached Marvin quotation with the frame size set to the existing rough openings. Photos of the existing windows have been included on pages 17 and 18 of this letter.
14. Install new windows in seven existing openings currently filled with non-original windows  
The kitchen on the first floor has seven windows which were likely replaced in the 1980's. This includes three in a bump-out located on the west elevation marked W6, W7, and W8 on page 012 of the plan set as well as four windows (including an arched unit) located on the north elevation marked W9, W10, W11, and W12 on page 013 of the plan set. We would like to install replacement windows in these openings that are more sympathetic to the original window design. The specifications of these windows are line 7 and 8/9/10 in the attached Marvin quotation. Photos of the original windows have been included on pages 19 and 20 of this letter.
15. Install new windows in a porch previously enclosed in a 1980's renovation  
A rear entry porch was enclosed in a 1980's renovation. We would like to remove one non-original window on the west facade marked W16 on page 014 of the plan set to provide room for a cabinet on the interior, and replace the other three windows marked W15 on page 014 and W13/W14 on page 013 of the plan set with more sympathetic windows. We would be eliminating the transom above each window which is not original and is not found as a design element anywhere else on the home. The specifications of these windows are line 5 in the attached Marvin quotation. Photos of the original windows have been included on page 21 of this letter.
16. Replace the concrete driveway with a new concrete driveway  
The existing concrete driveway is cracked and damaged. We would like to replace this driveway with a new concrete driveway which recreates the existing driveway extent. The new driveway will have control joints to minimize cracking but will not be colored or stamped. A photo of the existing driveway has been included on page 22 of this letter.

17. Replace the brick walkway leading from the sidewalk to the front porch with a concrete walkway  
The existing brick walkway is not original and was installed as part of the renovation in the 1980's. A photo showing an older concrete walkway, a photo showing the new walkway during the 1980's renovation, and a photo showing the current condition has been included on page 23. We would like to install a concrete walkway which is more original in nature using the same footprint as the brick walkway. The new walkway will have control joints to minimize cracking but will not be colored or stamped.
  
18. Replace and relocate two existing air-conditioning condensers  
There are two existing air-conditioning condensers that will be replaced as part of this project. We would like to install the new air-conditioning condensers in a new location on the east facade. The new location is not visible from the road and is marked on page 002 of the plan set. A photo of the existing location has been included on page 24 of this letter.
  
19. Install safety railing on accessible third floor roof  
There is a flat area on the top of the third floor roof that is accessible from the third floor using a pull-down staircase. This roof currently does not have any guards preventing falls from the roof. We would like to install a code-compliant guard fabricated from steel square stock. It will be painted to blend with the roofing material (dark gray or black). A guard railing detail is included on page 019 of the attached plan set.

Sincerely,

Aaron Monroe  
President  
Architectural Building Arts, Inc.

## Gallery of Existing Conditions



South Facing Elevation of 848 Jenifer Street





West Facing Elevation of 848 Jenifer Street



North/West Facing elevation of 848 Jenifer Street



North/East Facing Elevation of 848 Jenifer Street



South/East Facing Elevation of 848 Jenifer Street

## Gallery of Exterior Repairs (Item 1)



Several poorly attached low-voltage cables are located on the exterior of the home. These cables will be re-installed and painted to reduce their visible appearance. Any holes left in the facade related to this work will be patched with suitable material for exterior wood painted siding and then finished to blend.



On the front porch some areas of trim along the edge of the decking have begun to fail. These pieces will be reattached if feasible and painted to blend. If they require replacement they will be replaced with similar materials (likely cedar will be a proper match) fabricated to match the existing appearance and painted to blend.



On the front porch there is damage evident to the deck boards. The damaged deck boards will be removed and replaced with similar materials (likely cedar will be a proper match) fabricated to match the existing appearance and painted to blend.



There are a few locations where the foundation stone or related mortar has degraded, creating a small amount of grit visible on the exterior. These areas will be cleaned and the mortar repaired with period appropriate materials. The repaired areas will be painted to blend with the rest of the painted foundation.



Where cladding has been damaged or is missing it will be replaced with similar materials (likely cedar will be a proper match) fabricated to match the existing appearance and painted to blend.

**Photo of Existing Utility Venting on West Facade (Item 2) and Damaged Window (Item 10)**



Photo of Existing Bathroom Vent on East Facade (Item 3)





**Photo of Existing Dryer Vent on East Facade (Item 4) and Existing Glass Block Windows (Item 11)**



**Photo of Existing Missing Window (Item 9)**



**Photos of Basement Windows with Non-Original Windows (Item 12)**

Two of the windows are located under the porch behind the lattice. An interior view has been provided.



Photos of Basement Windows in New Conditioned Space, One Non-Original (Item 13)



**Photos of Basement Windows in New Conditioned Space, One Non-Original (Item 13)**

Top left is non-original. Top right may be original. Bottom image shows layout of all three.



Photos of Previously Replaced Windows in Original Openings on West Facade (Item 14)



Photos of Previously Replaced Windows in Original Openings on North Facade (Item 14)



**Photos of 1980's Windows in Porch Enclosed in the 1980's (Item 15)**





Photo of Existing Driveway (Item 16)



Photos Showing Concrete Walkway, Brick Walkway in the 1980's, and Current Condition (Item 17)

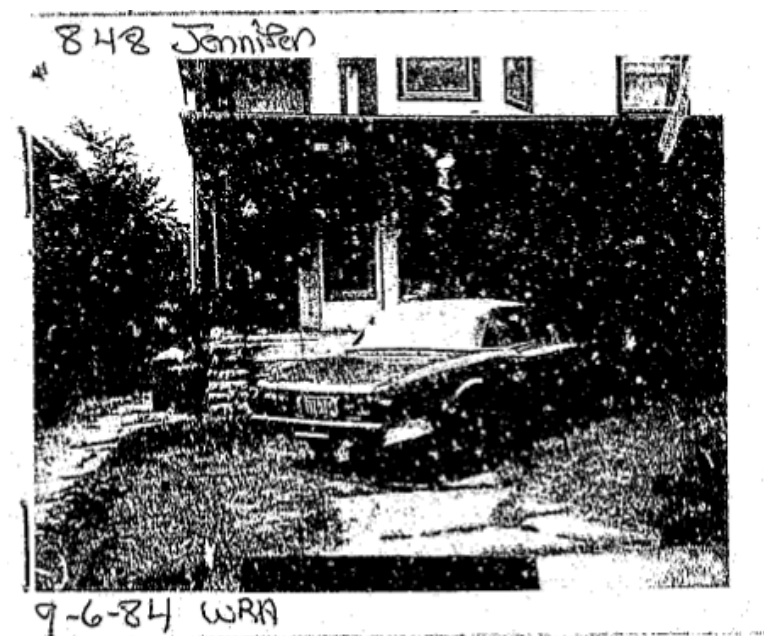


Photo of Existing Air Conditioning Condensers(Item 18)



# 848 JENIFER STREET: RESIDENTIAL RENOVATION

848 Jenifer Street  
Madison, WI 53703







**QUARTER.**  
design studio

WWW.QUARTERDESIGNSTUDIO.COM  
916 FRANKLIN AVENUE #2  
PITTSBURGH, PENNSYLVANIA  
15221

design by:  
**EMMA DAVISON**  
QUARTER.DESIGNSTUDIO@GMAIL.COM  
303-378-4681

**848 JENNIFER STREET:  
RESIDENTIAL RENOVATION**

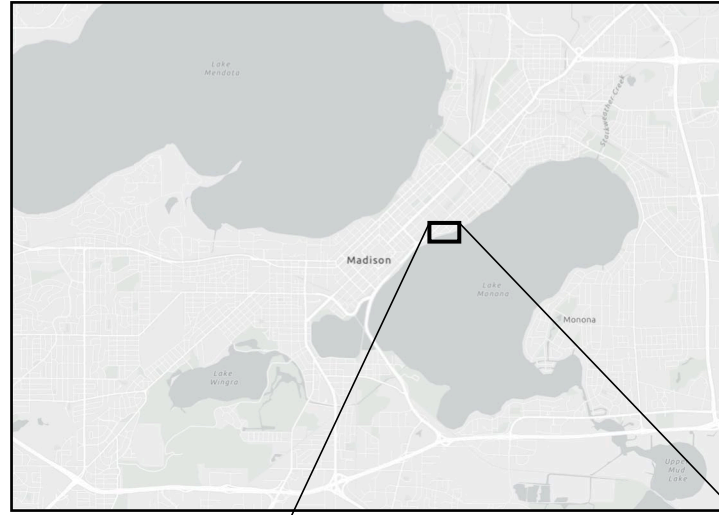
KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE  
848 Jenifer Street  
Madison, WI  
53703

PROJECT DATA	DRAWING INDEX	ABBREVIATIONS	SYMBOL LEGEND
<p>PARCEL NUMBER 070913414309</p> <p>LOCATION CITY OF MADISON, WI</p> <p>PROJECT DESCRIPTION INTERIOR RENOVATION OF A 3 STORY RESIDENCE.</p> <p>ZONING (HIS-L) HISTORIC, DESIGNATED LANDMARK (HIS-TL) HISTORIC, THIRD LAKE RIDGE HISTORIC DISTRICT (TR-V1) TRADITIONAL RESIDENTIAL - VARIED DISTRICT 1</p> <p>USE GROUPS (R-3) RESIDENTIAL</p>	<p><b>GENERAL</b></p> <p>001 GENERAL INFO</p> <p>002 SITE PLAN</p> <p><b>EXISTING CONDITIONS</b></p> <p>003 EXIST FRONT ELEV (S)</p> <p>004 EXIST SIDE ELEV (W)</p> <p>005 EXIST REAR ELEV (N)</p> <p>006 EXIST SIDE ELEV (E)</p> <p>007 EXIST BASEMENT PLAN</p> <p>008 EXIST 1ST FLOOR PLAN</p> <p>009 EXIST 2ND FLOOR PLAN</p> <p>010 EXIST 3RD FLOOR PLAN</p> <p><b>PROPOSED DESIGN</b></p> <p>011 FRONT ELEV (S)</p> <p>012 SIDE ELEV (W)</p> <p>013 REAR ELEV (N)</p> <p>014 SIDE ELEV (E)</p> <p>015 BASEMENT PLAN</p> <p>016 1ST FLOOR PLAN</p> <p>017 2ND FLOOR PLAN</p> <p>018 3RD FLOOR PLAN</p> <p><b>DETAILS</b></p> <p>019 GUARDRAIL DETAILS</p>	<p>AFF ABOVE FINISHED FLOOR</p> <p>BLDG BUILDING</p> <p>COND CONDENSER</p> <p>CONT CONTINUED</p> <p>DET(S) DETAIL(S)</p> <p>DIM(S) DIMENSION(S)</p> <p>EXIST EXISTING</p> <p>EXT EXTERIOR</p> <p>FLR FLOOR</p> <p>INT INTERIOR</p> <p>REFIN'D REFINISHED</p> <p>REQ'D REQUIRED</p> <p>RM ROOM</p> <p>SF SQUARE FEET</p> <p>TBD TO BE DETERMINED</p> <p>T.O. TOP OF</p> <p>TYP TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>VIF VERIFY IN FIELD</p>	<p>DRAWING CALLOUT  Drawing Description Scale: 0" = 0'-0"</p> <p>ELEVATION MARK </p> <p>DETAIL CALLOUT </p> <p>ROOM NAME &amp; NUMBER </p> <p>WINDOW NUMBER </p> <p>VENT CAP NUMBER </p>

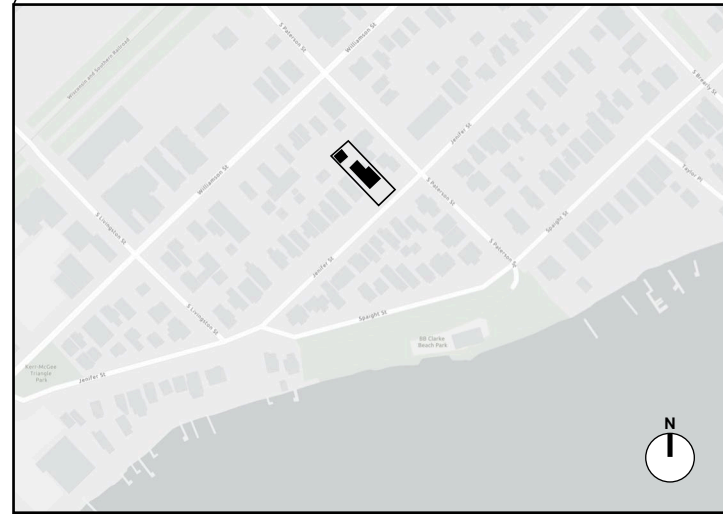
date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale:

sheet title:  
**GENERAL INFO**

sheet number:  
**001**

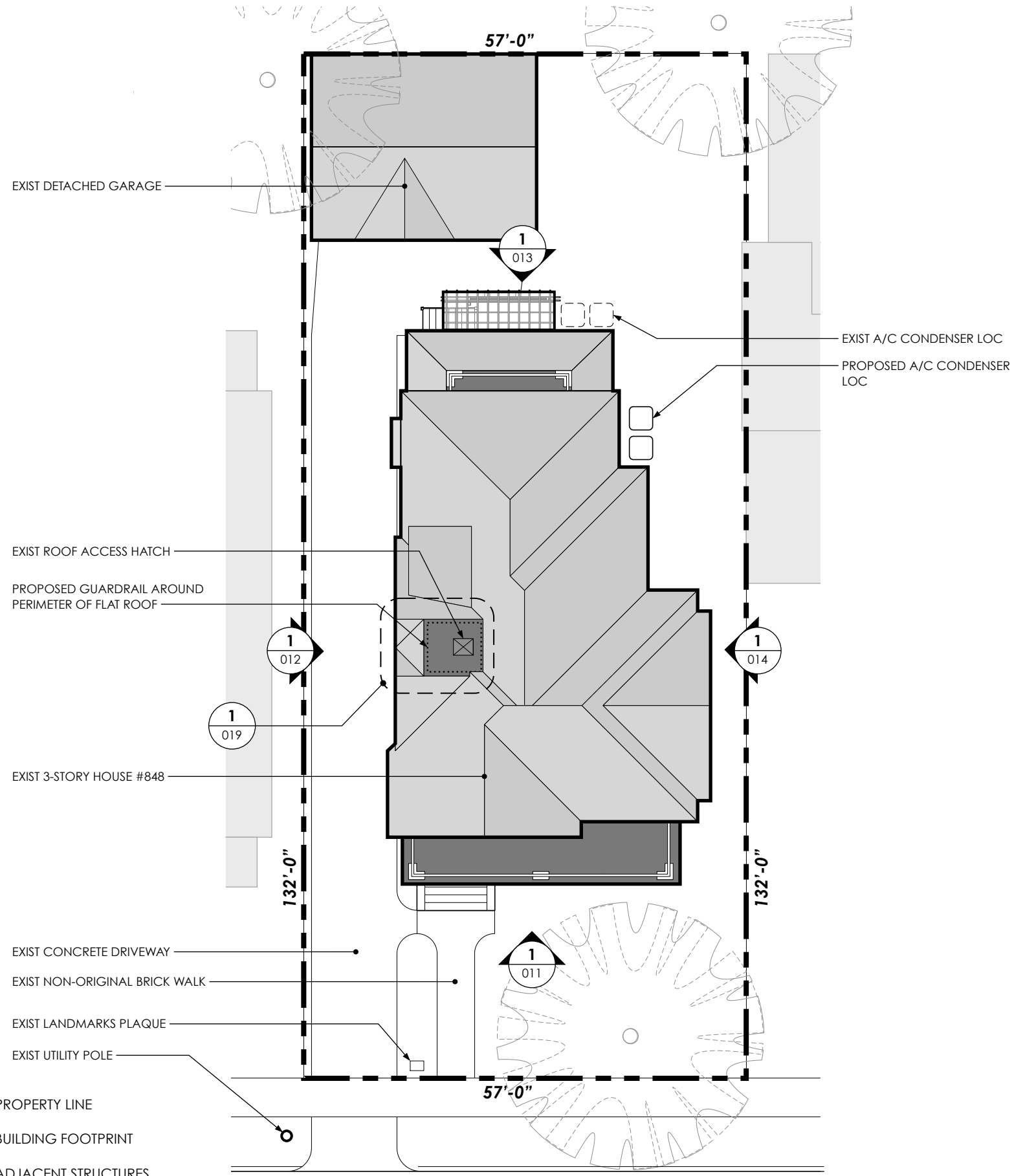


1 Area Map  
002 not to scale

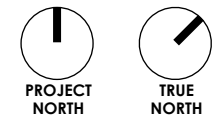


2 Location Map  
002 not to scale

3 Site Plan  
002 Scale: 1/16" : 1'-0"



- PROPERTY LINE
- BUILDING FOOTPRINT
- ADJACENT STRUCTURES



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**848 JENNIFER STREET:  
RESIDENTIAL RENOVATION**  
  
KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE  
848 Jennifer Street  
Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/16" : 1'-0"

sheet title:  
**SITE PLAN**

sheet number:  
**002**



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## 848 JENNIFER STREET: RESIDENTIAL RENOVATION

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703

date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 3/16" : 1'-0"

sheet title:

EXIST FRONT  
ELEVATION (SOUTH)

sheet number:

# 003

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**848 JENNIFER STREET:  
RESIDENTIAL RENOVATION**

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



**1** Existing Side Elevation (West)  
004 Scale: 1/8" : 1'-0"

date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 1/8" : 1'-0"

sheet title:

EXIST SIDE  
ELEVATION (WEST)

sheet number:

**004**



1 Existing Rear Elevation (North)  
005 Scale: 3/16" : 1'-0"

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## 848 JENNIFER STREET: RESIDENTIAL RENOVATION

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703

date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 3/16" : 1'-0"

sheet title:  
EXIST REAR  
ELEVATION (NORTH)

sheet number:

# 005





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**848 JENNIFER STREET:  
RESIDENTIAL RENOVATION**

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703

date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 1/8" : 1'-0"

sheet title:

EXIST SIDE  
ELEVATION (EAST)

sheet number:

**006**

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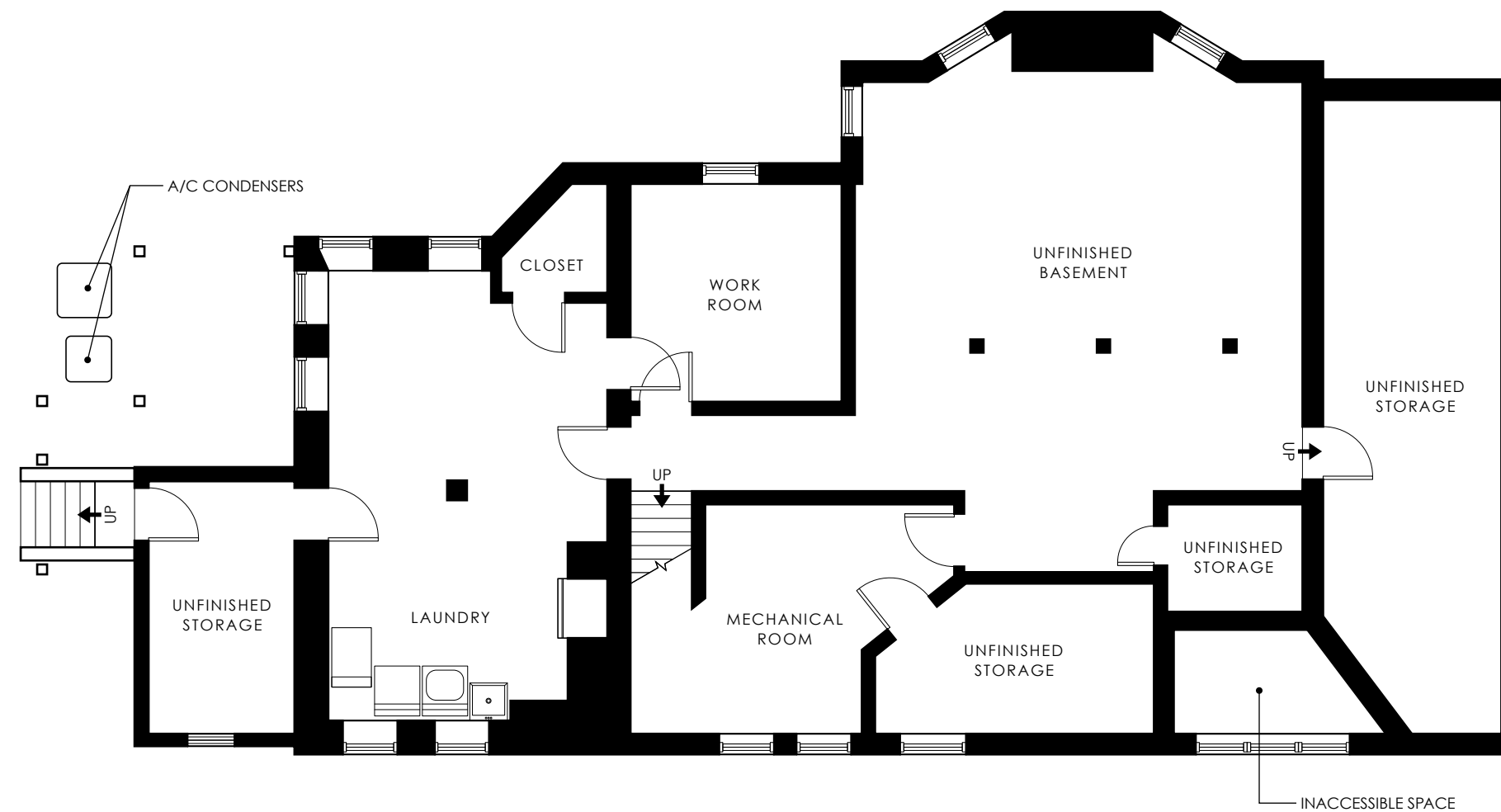
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KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**EXISTING  
BASEMENT PLAN**

sheet number:  
**007**

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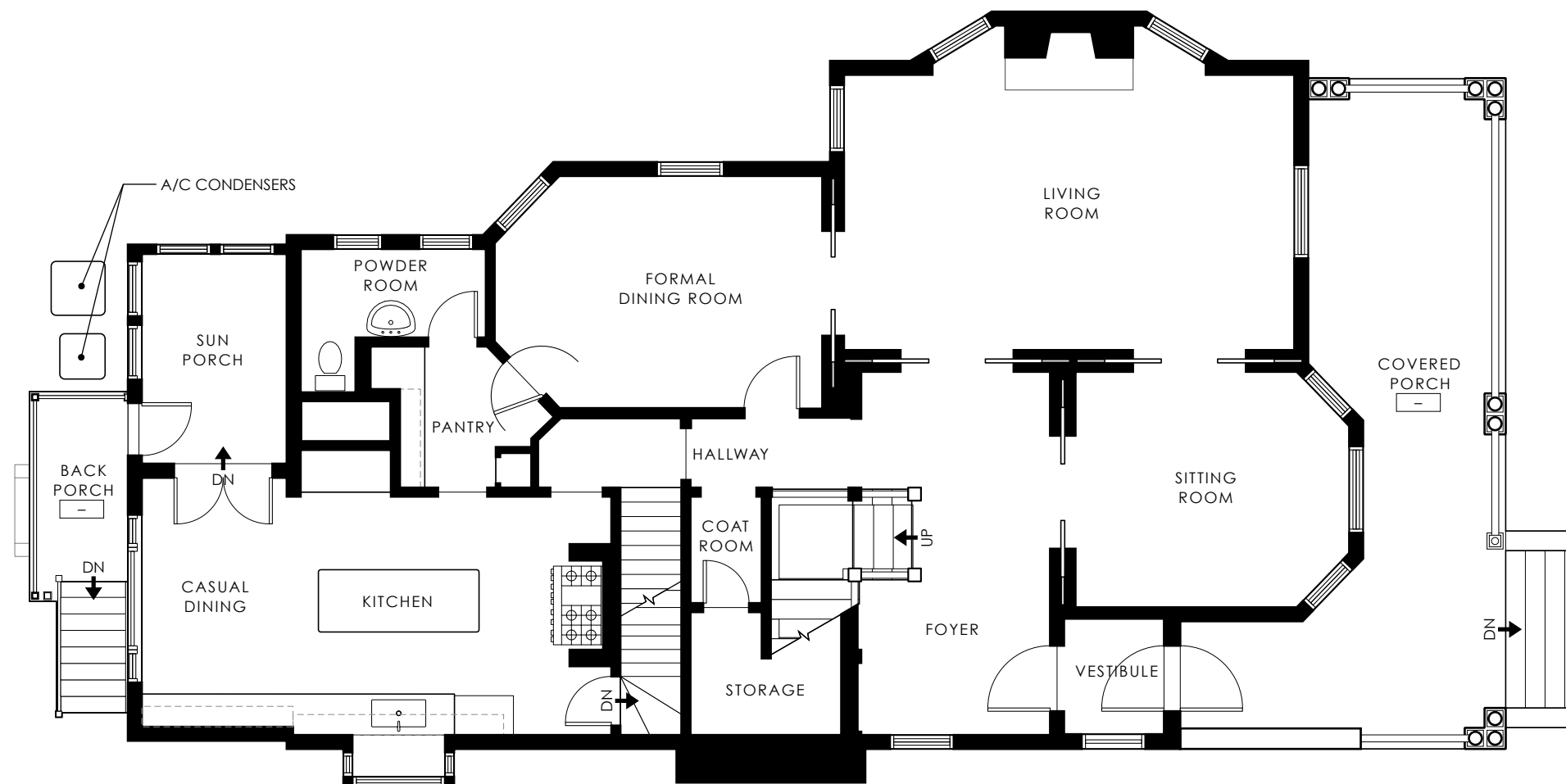
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## 848 JENNIFER STREET: RESIDENTIAL RENOVATION

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**EXISTING  
FIRST FLOOR PLAN**

sheet number:

**008**

# QUARTER. design studio

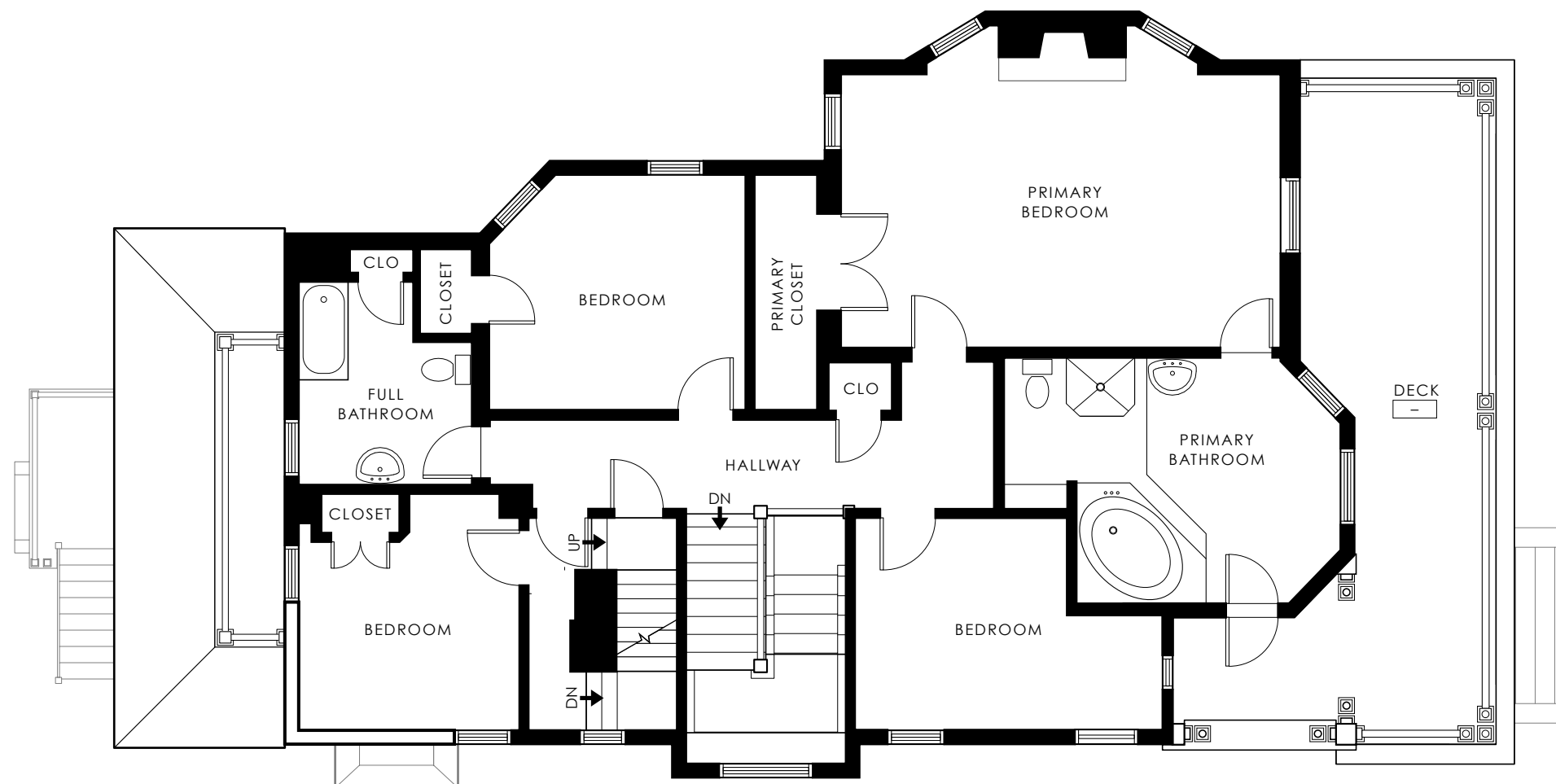
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916 FRANKLIN AVENUE #2  
PITTSBURGH, PENNSYLVANIA  
15221

design by:

**EMMA DAVISON**

QUARTER.DESIGNSTUDIO@GMAIL.COM  
303-378-4681



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Madison, WI  
53703

date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 1/8" : 1'-0"

sheet title:

EXISTING  
SECOND FLOOR PLAN

sheet number:

009



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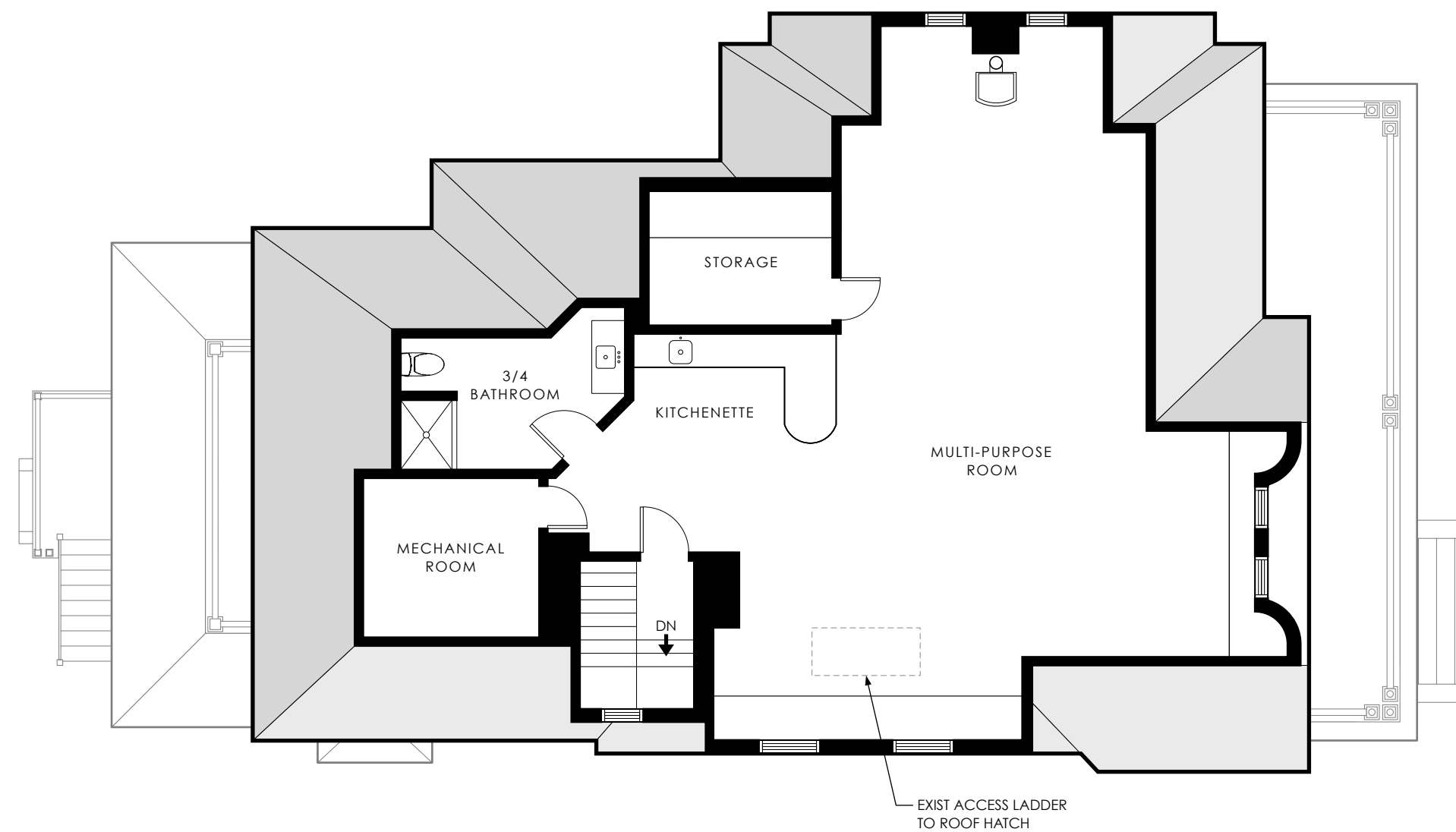
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Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**EXISTING  
THIRD FLOOR PLAN**

sheet number:  
**010**



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RESIDENTIAL RENOVATION**

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 3/16" : 1'-0"

sheet title:  
**PROPOSED FRONT  
ELEVATION (SOUTH)**

sheet number:  
**011**

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848 Jennifer Street  
Madison, WI  
53703



1 Proposed Side Elevation (West)  
012 Scale: 1/8" : 1'-0"

date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
PROPOSED SIDE  
ELEVATION (WEST)

sheet number:

012



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RESIDENTIAL RENOVATION**

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703

date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 3/16" : 1'-0"

sheet title:

**PROPOSED REAR  
ELEVATION (NORTH)**

sheet number:

**013**



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JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



date drawn: 10/11/2021

date revised:

drawn by: ED

scale: 1/8" : 1'-0"

sheet title:

**PROPOSED SIDE  
ELEVATION (EAST)**

sheet number:

**014**

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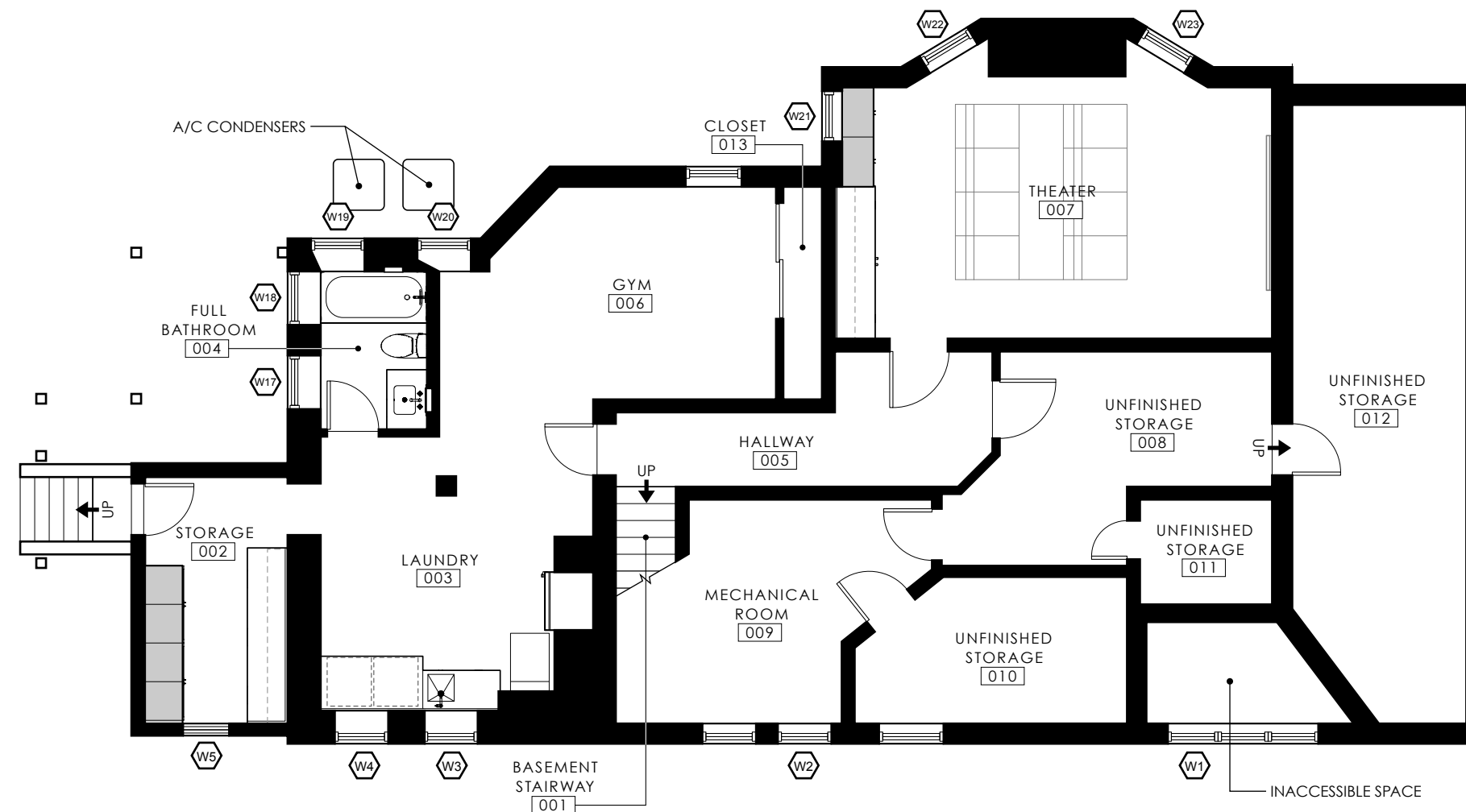
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53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**PROPOSED  
BASEMENT PLAN**

sheet number:  
**015**

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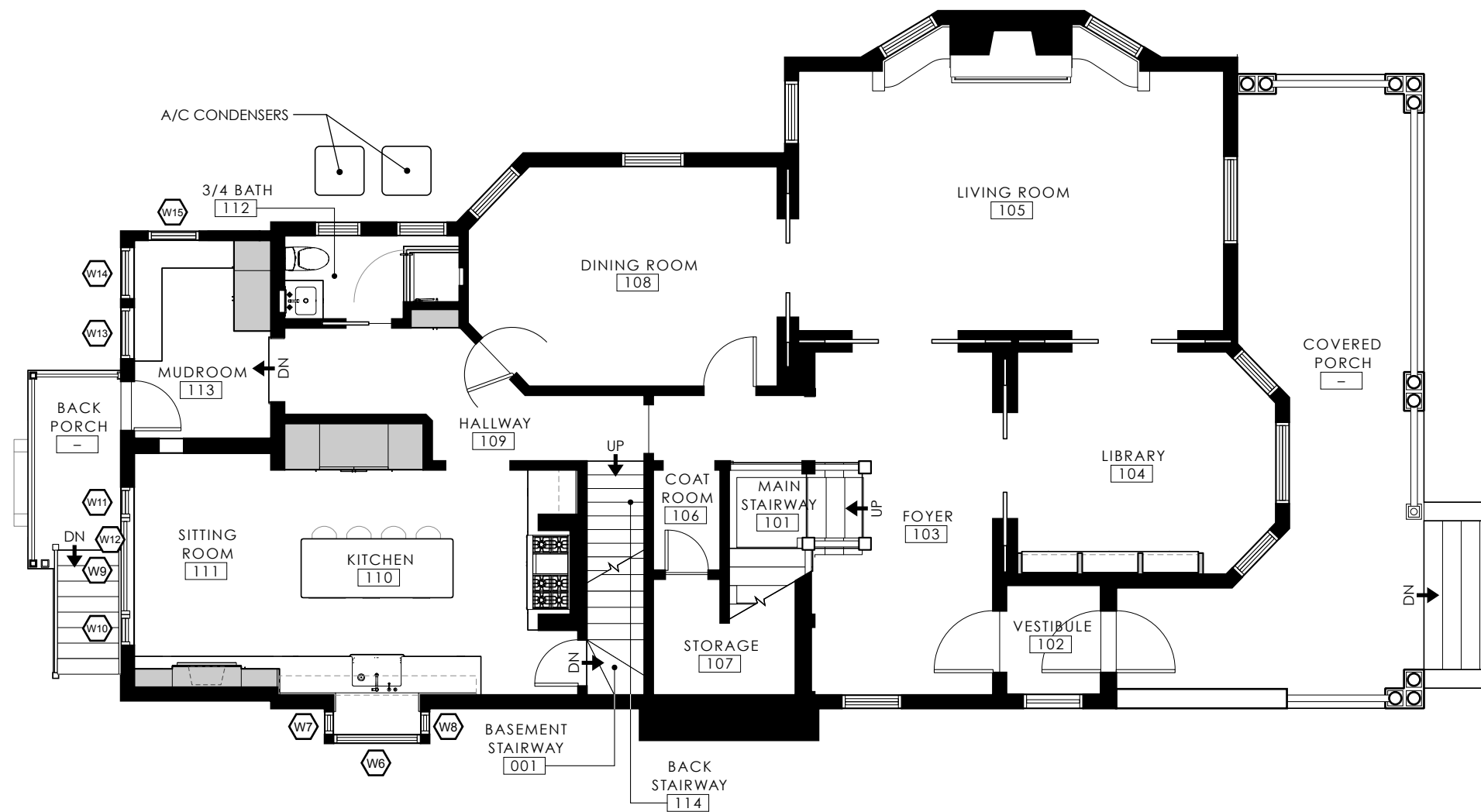
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Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**PROPOSED  
FIRST FLOOR PLAN**

sheet number:

# 016

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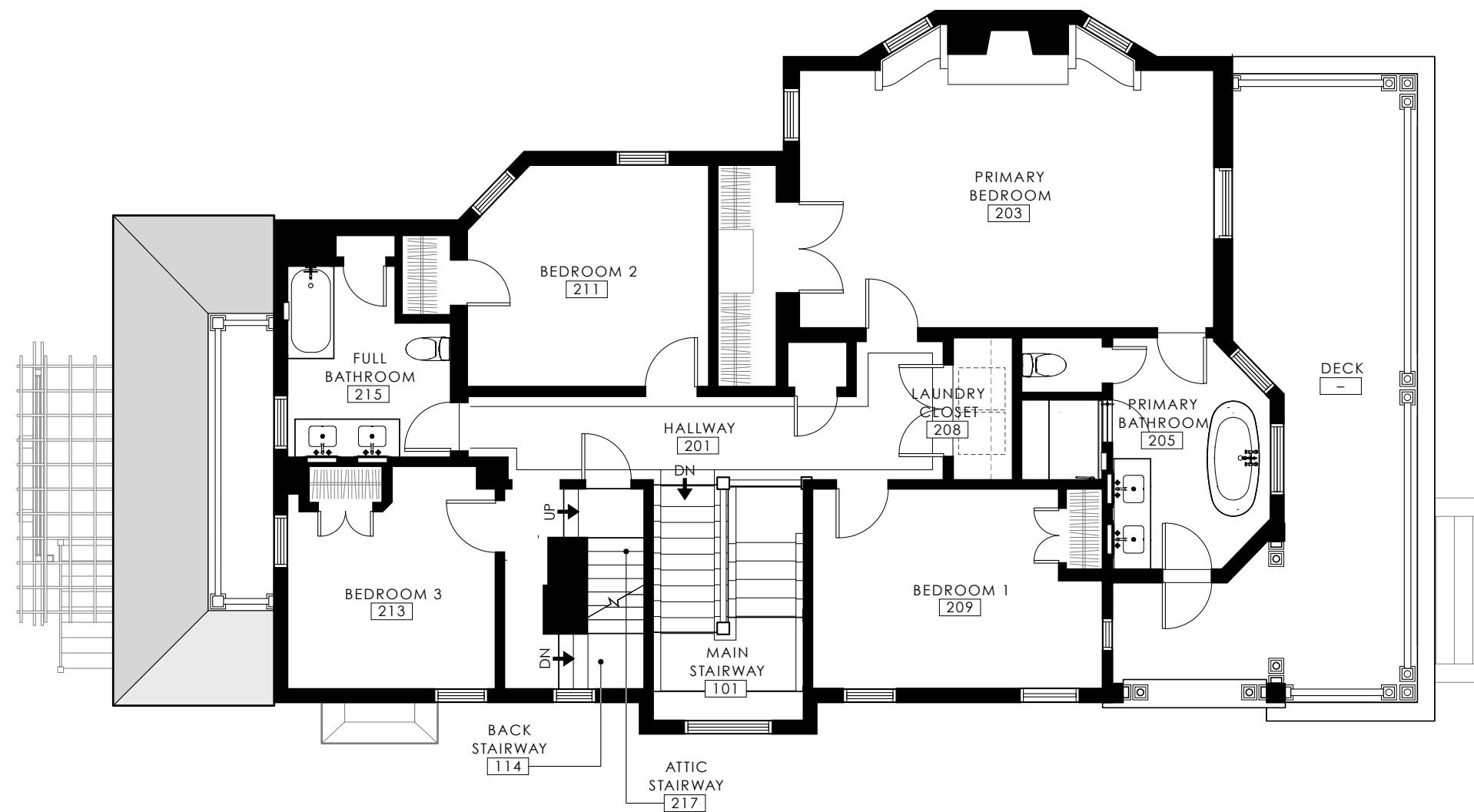
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KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

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date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

sheet title:  
**PROPOSED  
SECOND FLOOR PLAN**

sheet number:

**017**

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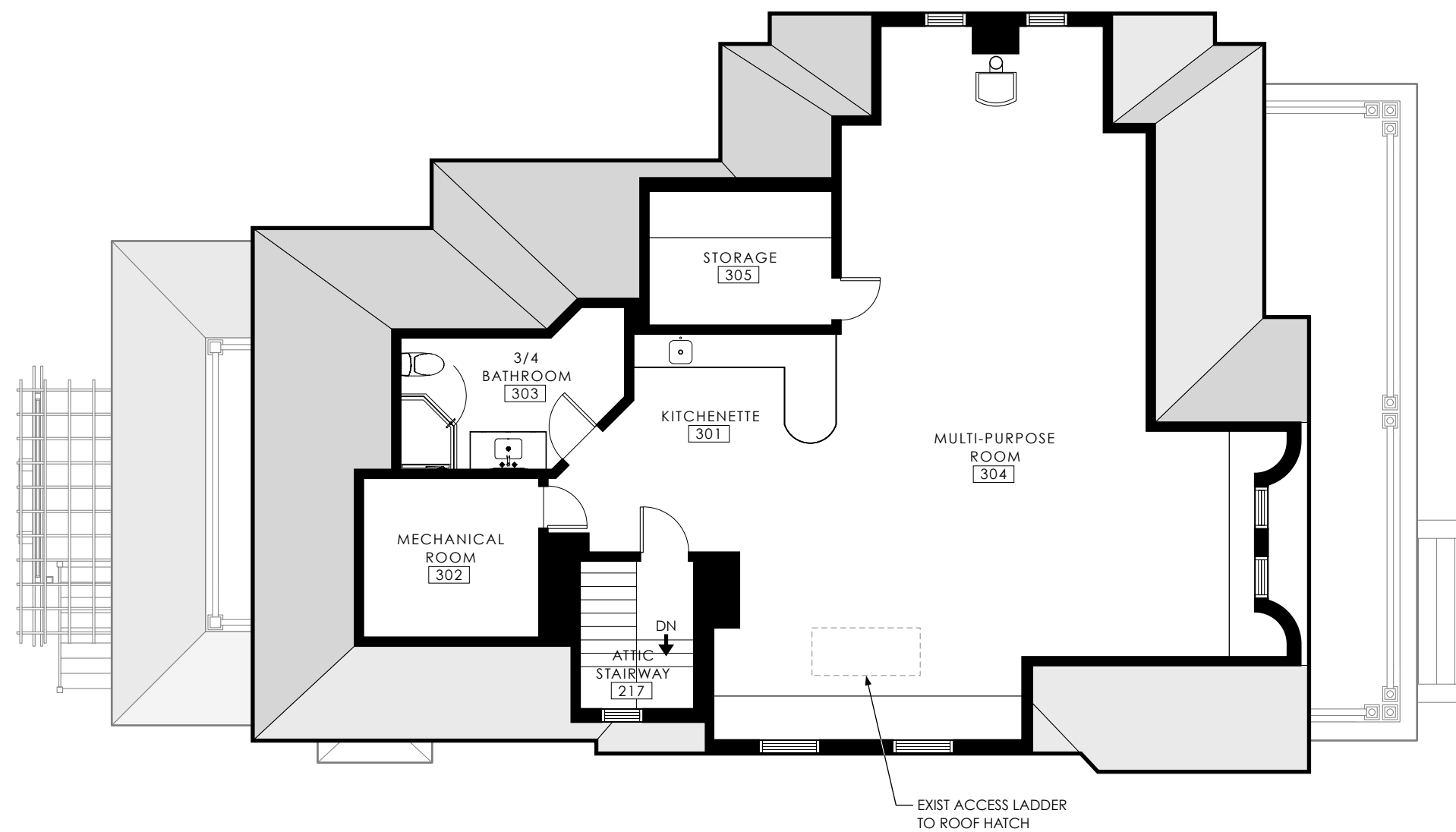
**EMMA DAVISON**

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## 848 JENNIFER STREET: RESIDENTIAL RENOVATION

KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

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Madison, WI  
53703



date drawn: 10/11/2021  
date revised:  
drawn by: ED  
scale: 1/8" : 1'-0"

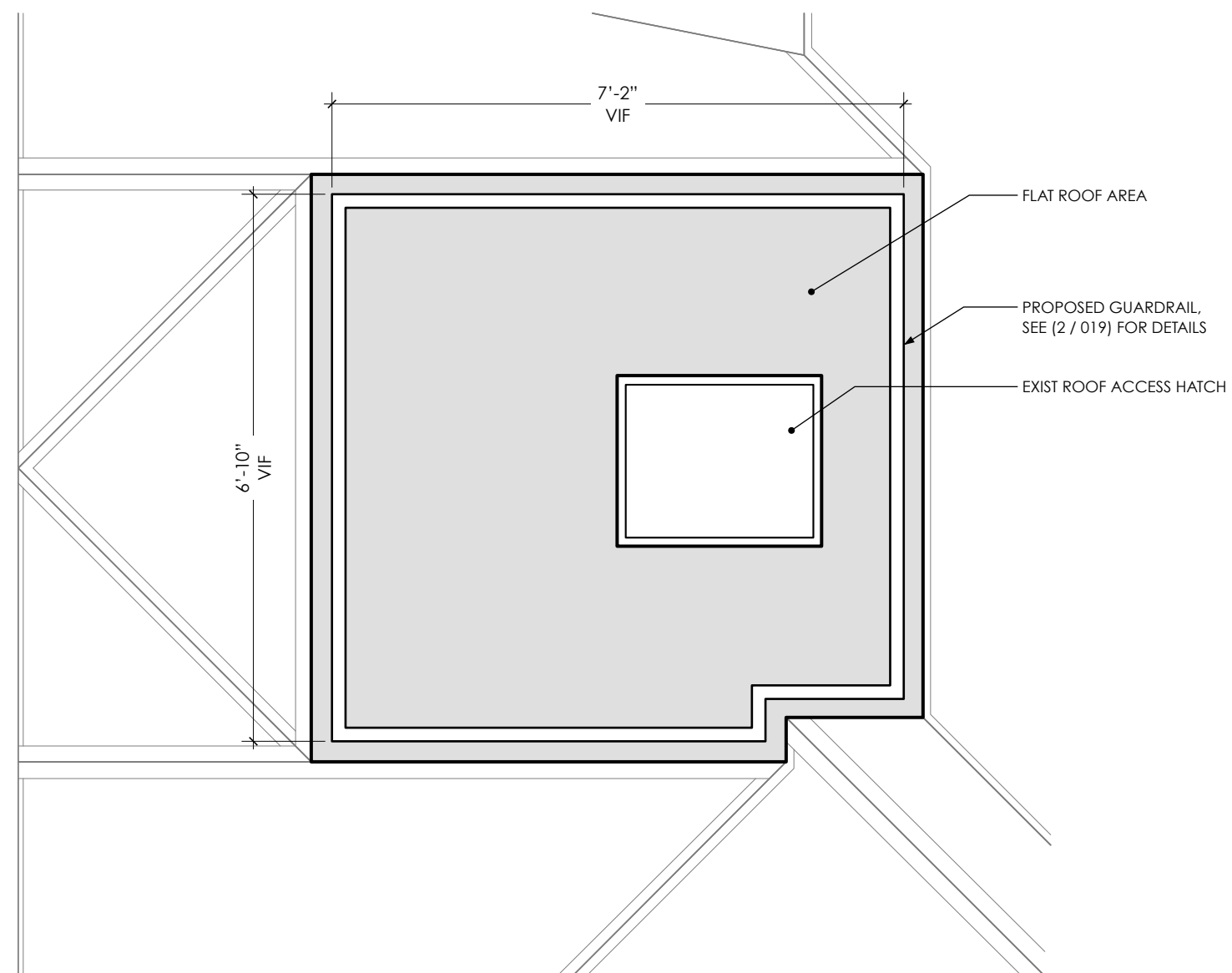
sheet title:  
**PROPOSED  
THIRD FLOOR PLAN**

sheet number:  
**018**

**848 JENNIFER STREET:  
RESIDENTIAL RENOVATION**

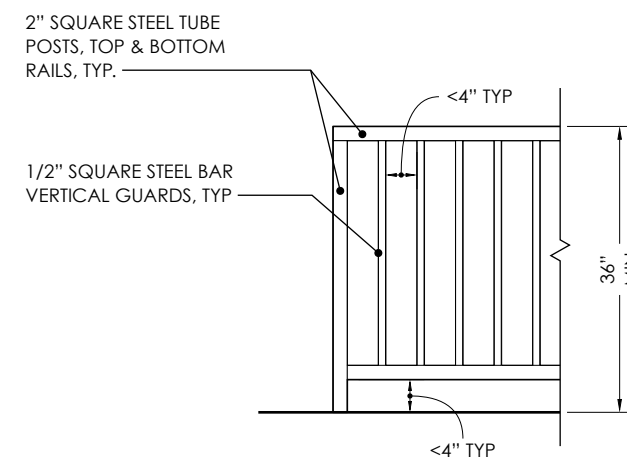
KATHERINE FU, LOIS FU &  
JONATHAN VANDER-WOUDE

848 Jennifer Street  
Madison, WI  
53703



NOTES

1. ALL DIMS & EXIST CONDITIONS SHALL BE CHECKED & VERIFIED BY CONTRACTOR ON THE SITE.
2. NEW GUARDRAILS SHALL COMPLY W/ IRC (R312.1).



# ABA - Fu

## 10/06/21 - Signature

Quote #: RVRHYJC

A Proposal for Window and Door Products prepared for:

**Job Site:**  
53703

**Shipping Address:**

WINDOW DESIGN CENTER FROM ZUERN  
6524 Seybold Rd  
Madison, WI 53719-1306

**Featuring products from:**



RENEE HAGEN  
WINDOW DESIGN CENTER FROM ZUERN  
PO BOX 278  
ALLENTON, WI 53002  
Phone: (608) 271-8002

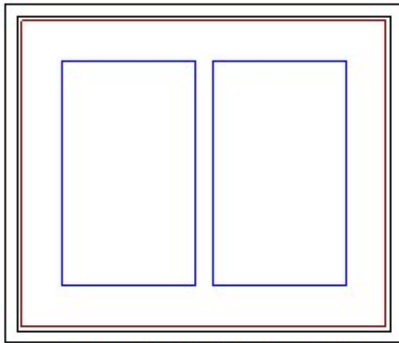
Email: [renee.hagen@zuerns.com](mailto:renee.hagen@zuerns.com)

This report was generated on 10/11/2021 8:41:54 AM using the Marvin Order Management System, version 0003.10.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:			
Qty: 1				



As Viewed From The Exterior

Entered As: BF

FS 20 1/4" X 17 1/4"

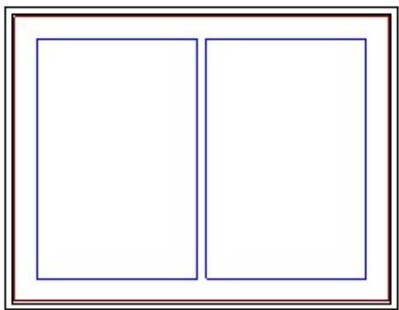
RO 21 1/4" X 17 3/4"

**Egress Information**

No Egress Information available.

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Awning - Stationary  
 Basic Frame 20 1/4" X 17 1/4"  
 Rough Opening w/o Subsill  
 21 1/4" X 17 3/4"  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 2W1H  
 Primed Pine Ext - Bare Pine Int  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 Beige Weather Strip  
 Solid Wood Covers  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit:			
Qty: 1				



As Viewed From The Exterior

Entered As: BF

FS 36" X 27 3/4"

RO 37" X 28 1/4"

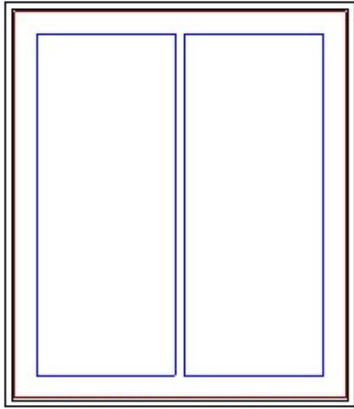
**Egress Information**

No Egress Information available.

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Awning - Stationary  
 Basic Frame 36" X 27 3/4"  
 Standard CN Width 36  
 Rough Opening w/o Subsill  
 37" X 28 1/4"  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 2W1H  
 Primed Pine Ext - Bare Pine Int  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 Beige Weather Strip  
 Solid Wood Covers  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Unit Availability and Price is Subject to Change



Line #3	Mark Unit:			
Qty: 2				

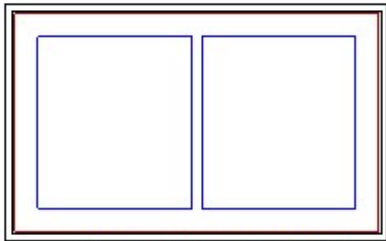


As Viewed From The Exterior

**Entered As:** BF  
**FS** 32" X 37"  
**RO** 33" X 37 1/2"  
**Egress Information**  
 No Egress Information available.

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Awning - ~~Stationary~~ **unit will be operable**  
 Basic Frame 32" X 37"  
 Standard CN Width 32  
 Rough Opening w/o Subsill  
 33" X 37 1/2"  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 2W1H  
 Primed Pine Ext - Bare Pine Int  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 Beige Weather Strip  
 Solid Wood Covers  
 4 9/16" Jambs  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit:			
Qty: 1				

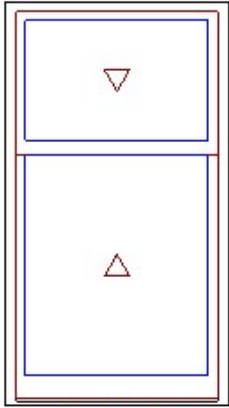


As Viewed From The Exterior

**Entered As:** BF  
**FS** 34" X 21"  
**RO** 35" X 21 1/2"  
**Egress Information**  
 No Egress Information available.

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Awning - Stationary  
 Basic Frame 34" X 21"  
 Rough Opening w/o Subsill  
 35" X 21 1/2"  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Black Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Black  
 Rectangular - Special Cut 2W1H  
 Primed Pine Ext - Bare Pine Int  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 Beige Weather Strip  
 Solid Wood Covers  
 4 9/16" Jambs  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit:			
Qty: 3				



As Viewed From The Exterior

Entered As: CN  
 FS 35 3/8" X 63 29/32"  
 RO 36 3/8" X 64 13/32"

**Egress Information**  
 No Egress Information available.

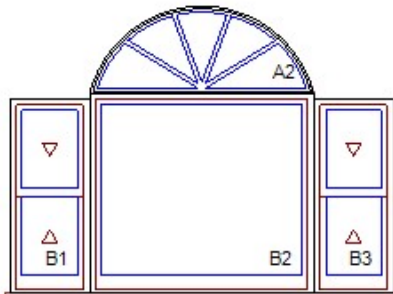
Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Double Hung  
 CN 3028  
 Rough Opening w/o Subsill  
 36 3/8" X 64 13/32"  
 Cottage 20.0:56.0  
 Top Sash  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 G.S. 30" X ~~20"~~ **28**  
 IG - 1 Lite  
 Low E2 w/Argon  
 Black Perimeter Bar  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Bottom Sash  
 Primed Pine Sash Exterior  
 Bare Pine Sash Interior  
 G.S. 30" X ~~36"~~ **28**  
 IG - 1 Lite  
 Low E2 w/Argon  
 Black Perimeter Bar  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Satin Taupe Sash Lock  
 Beige Jamb Hardware  
 Wood Screen  
 Bright Aluminum Wire  
 Primed Pine Finish  
 \*\*\*Screen/Combo Ship Loose  
 2-Lite Storm Sash  
 Primed Pine Storm Sash Finish  
 \*\*\*Storm Sash Ship Loose  
 4 9/16" Jambs  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill.  
 Field application may require special sizing.  
 \*\*\*Note: Unit Availability and Price is Subject to Change

**The upper and lower sashes will be the same size to reflect the design of the closest original windows found on the east facade.**

Line #6	Mark Unit:			
Qty: 1				

NOT USED

Line #7	Mark Unit:			
Qty: 1				



As Viewed From The Exterior

**Entered As:** Size by Units  
**FS** 103" X 78 3/32"  
**RO** 104" X 78 19/32"  
**Egress Information A2, B2**  
No Egress Information available.  
**Egress Information B1, B3**  
Width: 17 13/16" Height: 20 1/4"  
Net Clear Opening: 2.50 SqFt

Placement of DG RT Casing to match UDH  
**Feature Mismatch: Exterior Glazing Profile, Interior Glazing Profile**

Primed Pine Exterior  
Bare Pine Interior  
3W2H - Shape by Units Assembly  
Assembly Rough Opening w/ Subsill  
104" X 78 19/32"  
Uneven Header

Unit: A2  
Ultimate Wood Double Hung Direct Glaze Round Top - RT5  
Basic Frame 60 1/4" X 23 1/2"  
Rough Opening w/o Subsill  
61 9/32" X 24"  
IG - 1 Lite  
Low E2 w/Argon  
Black Perimeter Bar  
1 1/8" SDL - No SBAR  
Starburst  
5 Radius Lites  
Primed Pine Ext - Bare Pine Int  
Extended Ovolo Exterior Divided Lite Sticking

Unit: B1  
Ultimate Wood Double Hung  
CN 1622  
Rough Opening w/ Subsill  
22 3/8" X 53 1/2"  
\*\*\*Sash Ship Loose  
Top Sash  
Primed Pine Sash Exterior  
Bare Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon  
Black Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile  
Bottom Sash  
Primed Pine Sash Exterior  
Bare Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon  
Black Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile  
Satin Taupe Sash Lock  
Beige Jamb Hardware  
Wood Screen  
Bright Aluminum Wire  
Primed Pine Finish  
\*\*\*Screen/Combo Ship Loose  
2-Lite Storm Sash  
Primed Pine Storm Sash Finish  
\*\*\*Storm Sash Ship Loose

Unit: B2  
Ultimate Wood Double Hung Picture 1 5/8 inch Sash  
Basic Frame 60 1/4" X 53 1/2"  
Rough Opening w/ Subsill  
61 1/4" X 55 3/32"  
\*\*\*Sash Ship Loose  
Primed Pine Sash Exterior  
Bare Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon

Black Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile  
1-Lite Storm Sash  
Primed Pine Storm Sash Finish  
\*\*\*Storm Sash Ship Loose

Unit: B3  
Ultimate Wood Double Hung  
CN 1622  
Rough Opening w/ Subsill  
22 3/8" X 53 1/2"  
\*\*\*Sash Ship Loose

Top Sash  
Primed Pine Sash Exterior  
Bare Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon  
Black Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile

Bottom Sash  
Primed Pine Sash Exterior  
Bare Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon  
Black Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile

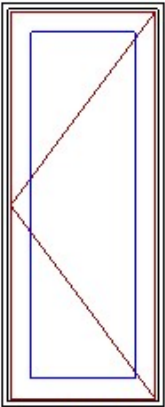
Satin Taupe Sash Lock  
Beige Jamb Hardware  
Wood Screen  
Bright Aluminum Wire  
Primed Pine Finish  
\*\*\*Screen/Combo Ship Loose

2-Lite Storm Sash  
Primed Pine Storm Sash Finish  
\*\*\*Storm Sash Ship Loose

Primed Pine Exterior Mull Cover  
Standard Mull Charge  
4 9/16" Jamb  
#OK JILL H - RVRHYJC 10/7/21  
Exterior Casing - None  
#NO SUBSILL - ACTUAL RO HEIGHT W/O SUBSILL = 77 1/2"  
No Installation Method  
# Non system generated Pricing  
\*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill.  
Field application may require special sizing.  
\*\*\*Note: Non-Certified mull: check with local code officials for project  
specific requirements.  
\*\*\*Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit:			
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Qty: 1				
--------	--	--	--	--

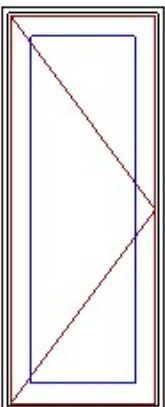


As Viewed From The Exterior

Entered As: FS  
 FS 16" X 40"  
 RO 17" X 40 1/2"  
**Egress Information**  
 Width: 6 13/32" Height: 34 57/64"  
 Net Clear Opening: 1.55 SqFt

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Casement - Left Hand  
 Frame Size w/o Subsill  
 16" X 40"  
 Standard CN Width 16  
 Rough Opening w/o Subsill  
 17" X 40 1/2"  
     Primed Pine Sash Exterior  
     Bare Pine Sash Interior  
     IG - 3/4" - 1 Lite  
     Low E2 w/Argon  
     Black Perimeter Bar  
     Ogee Interior Glazing Profile  
     Standard Bottom Rail  
     Beige Weather Strip  
     Satin Taupe Folding Handle  
     \*\*\*Handles/Covers Ship Loose  
     Satin Taupe Multi - Point Lock  
 Aluminum Screen  
     Satin Taupe Surround  
     Charcoal Fiberglass Mesh  
     \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jambs  
 Exterior Casing - None  
 No Subsill  
 No Installation Method  
 \*\*\*Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Line #9	Mark Unit:			
Qty: 1				



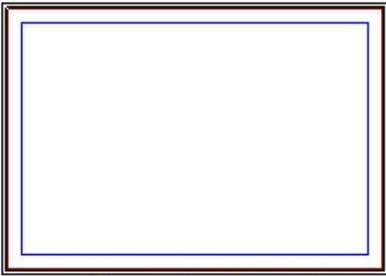
As Viewed From The Exterior

Entered As: FS  
 FS 16" X 40"  
 RO 17" X 40 1/2"  
**Egress Information**  
 Width: 6 13/32" Height: 34 57/64"  
 Net Clear Opening: 1.55 SqFt

Primed Pine Exterior  
 Bare Pine Interior  
 Basic Unit  
 Ultimate Wood Casement - Right Hand  
 Frame Size w/o Subsill  
 16" X 40"  
 Standard CN Width 16  
 Rough Opening w/o Subsill  
 17" X 40 1/2"  
     Primed Pine Sash Exterior  
     Bare Pine Sash Interior  
     IG - 3/4" - 1 Lite  
     Low E2 w/Argon  
     Black Perimeter Bar  
     Ogee Interior Glazing Profile  
     Standard Bottom Rail  
     Beige Weather Strip  
     Satin Taupe Folding Handle  
     \*\*\*Handles/Covers Ship Loose  
     Satin Taupe Multi - Point Lock  
 Aluminum Screen  
     Satin Taupe Surround  
     Charcoal Fiberglass Mesh  
     \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jambs  
 Exterior Casing - None  
 No Subsill  
 No Installation Method

\*\*\*Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".  
\*\*\*Note: Unit Availability and Price is Subject to Change

Line #10 Qty: 1	Mark Unit:			
--------------------	------------	--	--	--



As Viewed From The Exterior

Entered As: FS  
FS 57" X 40"  
RO 58" X 40 1/2"  
Egress Information  
No Egress Information available.

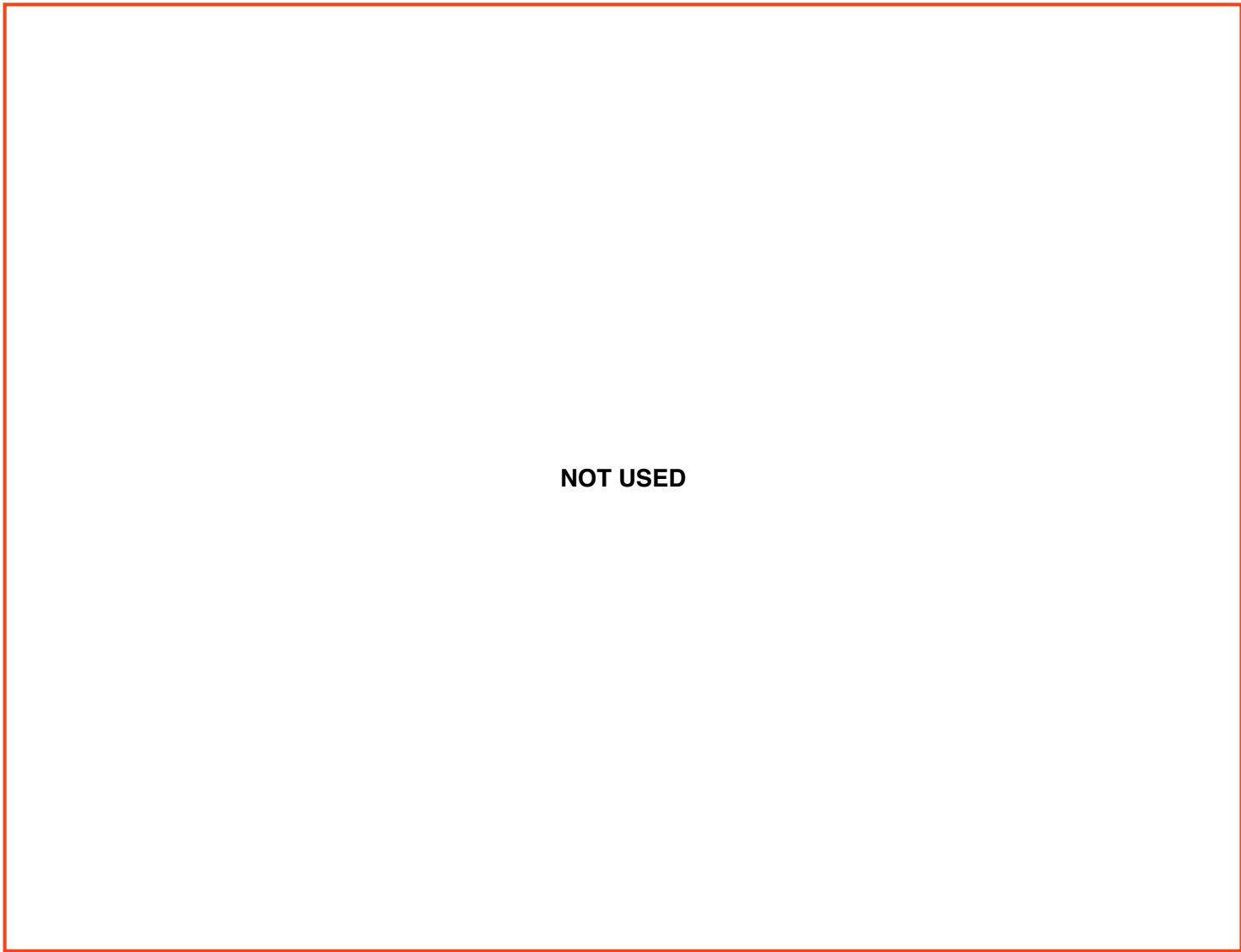
Primed Pine Exterior  
Bare Pine Interior  
Basic Unit  
Ultimate Wood Casement Picture  
Frame Size w/o Subsill  
57" X 40"  
Rough Opening w/o Subsill  
58" X 40 1/2"  
    Primed Pine Sash Exterior  
    Bare Pine Sash Interior  
    IG - 3/4" - 1 Lite  
    Low E2 w/Argon  
    Black Perimeter Bar  
    Ogee Interior Glazing Profile  
    Standard Bottom Rail  
    Beige Weather Strip  
    Solid Wood Covers  
4 9/16" Jambs  
Exterior Casing - None  
No Subsill  
No Installation Method  
\*\*\*Note: Unit Availability and Price is Subject to Change

Line #11 Qty: 2	Mark Unit:			
--------------------	------------	--	--	--

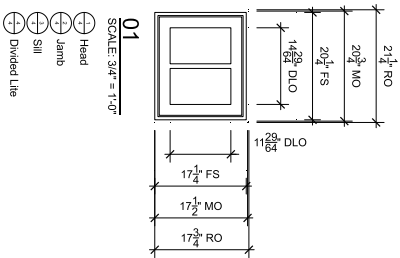
NOT USED

Primed Pine Storm Sash Finish  
\*\*\*Storm Sash Ship Loose  
4 9/16" Jambs  
Exterior Casing - None  
No Subsill  
No Installation Method  
\*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill.  
Field application may require special sizing.  
\*\*\*Note: Unit Availability and Price is Subject to Change

Line #12	Mark Unit:			
Qty: 2				

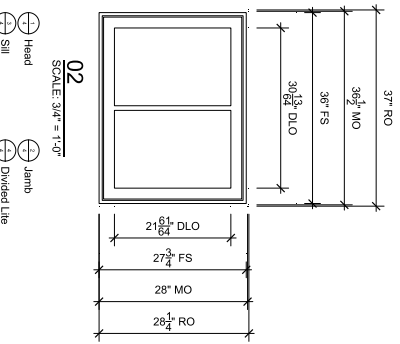






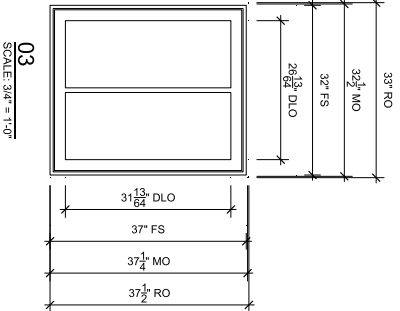
**SPECIFICATIONS**

Line #: 1  
Qty: 1  
Mark Unit: None  
Product Line: Ultimate Wood  
Unit Description: Awning  
Rough Opening: 21 1/4" X 17 3/4"  
Frame Size: 20 1/4" X 17 1/4"  
Masonry Opening: 20 3/4" X 17 1/2"  
Exterior Finish: Primed  
Species: Pine  
Interior Finish: Bare  
Call Number: None  
Glass Information: IG - 3/4" Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL w/ Spacer - Black  
Hardware Type: None  
Screen Type: None  
Hardware Color: None  
Screen Surround Color: None  
Jamb Depth: 4 9/16"  
Exterior Casing Type: None  
Subsill: Subsill Type: None



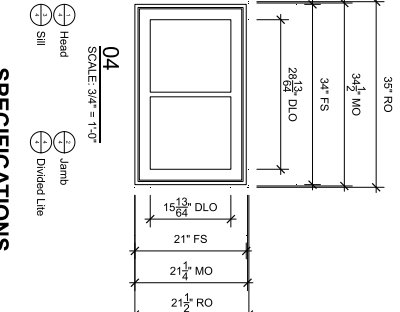
**SPECIFICATIONS**

Line #: 2  
Qty: 1  
Mark Unit: None  
Product Line: Ultimate Wood  
Unit Description: Awning  
Rough Opening: 37" X 28 1/4"  
Frame Size: 36" X 27 3/4"  
Masonry Opening: 36 1/2" X 28"  
Exterior Finish: Primed  
Species: Pine  
Interior Finish: Bare  
Call Number: None  
Glass Information: IG - 3/4" Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL w/ Spacer - Black  
Hardware Type: None  
Screen Type: None  
Hardware Color: None  
Screen Surround Color: None  
Jamb Depth: 4 9/16"  
Exterior Casing Type: None  
Subsill: Subsill Type: None



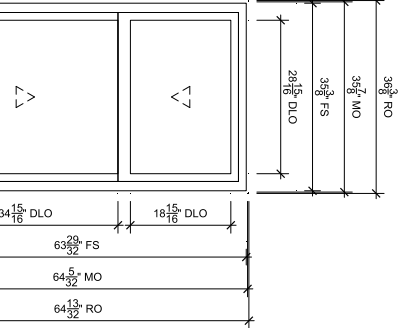
**SPECIFICATIONS**

Line #: 3  
Qty: 2  
Mark Unit: None  
Product Line: Ultimate Wood  
Unit Description: Awning  
Rough Opening: 33 1/2" X 37 1/2"  
Frame Size: 32" X 37 1/2"  
Masonry Opening: 32 1/2" X 37 1/4"  
Exterior Finish: Primed  
Species: Pine  
Interior Finish: Bare  
Call Number: None  
Glass Information: IG - 3/4" Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL w/ Spacer - Black  
Hardware Type: None  
Screen Surround Color: None  
Jamb Depth: 4 9/16"  
Exterior Casing Type: None  
Subsill: Subsill Type: None



**SPECIFICATIONS**

Line #: 4  
Qty: 1  
Mark Unit: None  
Product Line: Ultimate Wood  
Unit Description: Awning  
Rough Opening: 35" X 21 1/2"  
Frame Size: 34" X 21 1/2"  
Masonry Opening: 34 1/2" X 21 1/4"  
Exterior Finish: Primed  
Species: Pine  
Interior Finish: Bare  
Call Number: None  
Glass Information: IG - 3/4" Low E2 w/Argon, Black  
Divider Type: 7/8" Rectangular SDL w/ Spacer - Black  
Hardware Type: None  
Screen Surround Color: None  
Jamb Depth: 4 9/16"  
Exterior Casing Type: None  
Subsill: Subsill Type: None



**SPECIFICATIONS**

Line #: 5  
Qty: 3  
Mark Unit: None  
Product Line: Ultimate Wood  
Unit Description: Double Hung  
Rough Opening: 38 3/8" X 64 13/32"  
Frame Size: 35 3/8" X 63 29/32"  
Masonry Opening: 35 7/8" X 64 5/32"  
Exterior Finish: Primed  
Species: Pine  
Interior Finish: Bare  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: Sash Lock, Lin Type: None, No Finger Pull  
Screen Type: Wood Screen  
Hardware Color: Sash Trim  
Screen Surround Color: None  
Jamb Depth: 4 9/16"  
Exterior Casing Type: None  
Subsill: Subsill Type: None

The upper and lower sashes will be the same size to reflect the design of the closest original windows found on the east facade.



NOT USED



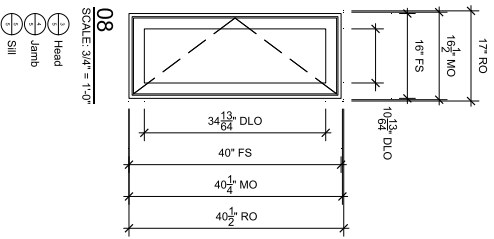
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PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN  
DRAWN: RENEE HAGEN  
QUOTE#: RVRHYJC

PK VERSION: 0003.10.00

CREATED: 10/06/2021

REVISION:



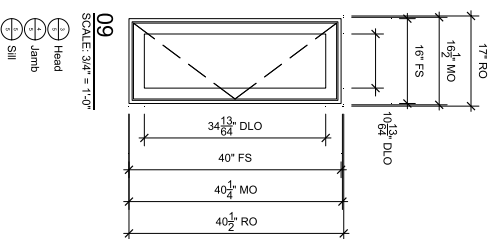
**08**

SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Jamb
- ⊕ Sill

**SPECIFICATIONS**

Line # 8  
 Qty: 1  
 Mark Unit: None  
 Product Line: Ultimate Wood  
 Unit Description: Casement Picture  
 Rough Opening: 17' X 40 1/2"  
 Frame Size: 16' X 40"  
 Masonry Opening: 16 1/2" X 40 1/4"  
 Exterior Finish: Primed  
 Species: Pine  
 Interior Finish: Bare  
 Call Number: None  
 Glass Information: G - 3/4" Low E2 w/Argon, Black  
 Diver Type: None  
 Hardware Color: None  
 Screen Surround Color: None  
 Screen Type: None  
 Hardware Type: Folding Handle, No Sash Travel Limiter  
 Hardware Type: None  
 Disabler Type: None  
 Screen Type: Aluminum Screen  
 Hardware Color: Salm Taupe  
 Screen Surround Color: Salm Taupe  
 Jamb Depth: 4 9/16"  
 Exterior Casings: Casings Type: None  
 Sill: Sill Type: None



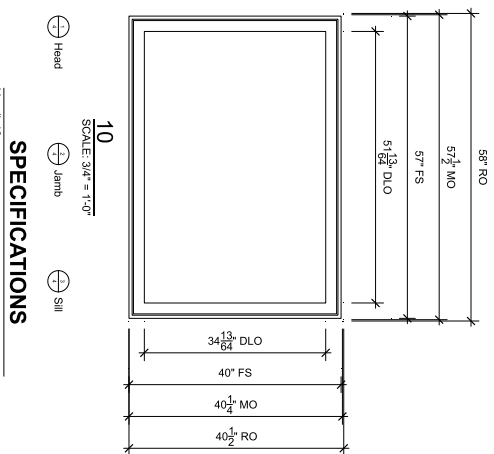
**09**

SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Jamb
- ⊕ Sill

**SPECIFICATIONS**

Line # 9  
 Qty: 1  
 Mark Unit: None  
 Product Line: Ultimate Wood  
 Unit Description: Casement Picture  
 Rough Opening: 17' X 40 1/2"  
 Frame Size: 16' X 40"  
 Masonry Opening: 16 1/2" X 40 1/4"  
 Exterior Finish: Primed  
 Species: Pine  
 Interior Finish: Bare  
 Call Number: None  
 Glass Information: G - 3/4" Low E2 w/Argon, Black  
 Diver Type: None  
 Hardware Color: None  
 Screen Surround Color: None  
 Screen Type: None  
 Hardware Type: Folding Handle, No Sash Travel Limiter  
 Hardware Type: None  
 Disabler Type: None  
 Screen Type: Aluminum Screen  
 Hardware Color: Salm Taupe  
 Screen Surround Color: Salm Taupe  
 Jamb Depth: 4 9/16"  
 Exterior Casings: Casings Type: None  
 Sill: Sill Type: None



**10**

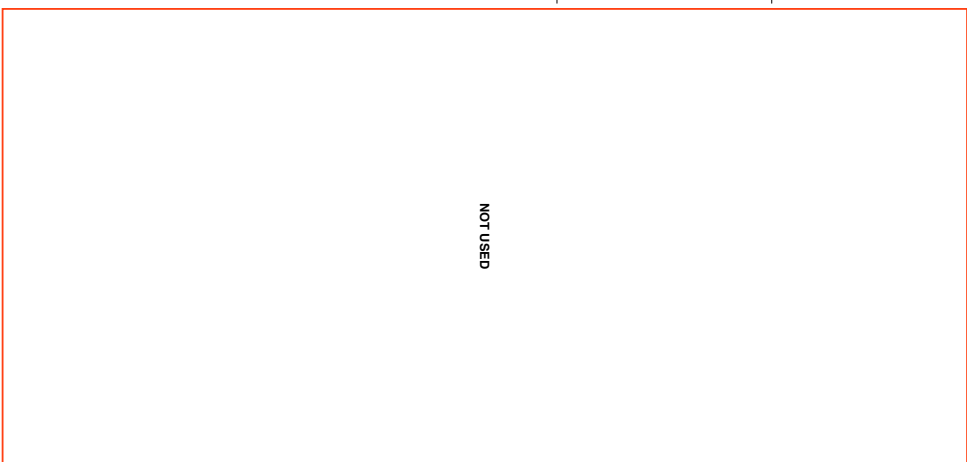
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Jamb
- ⊕ Sill

**SPECIFICATIONS**

Line # 10  
 Qty: 1  
 Mark Unit: None  
 Product Line: Ultimate Wood  
 Unit Description: Casement Picture  
 Rough Opening: 58' X 40 1/2"  
 Frame Size: 57' X 40"  
 Masonry Opening: 57 1/2" X 40 1/4"  
 Exterior Finish: Primed  
 Species: Pine  
 Interior Finish: Bare  
 Call Number: None  
 Glass Information: G - 3/4" Low E2 w/Argon, Black  
 Diver Type: None  
 Hardware Color: None  
 Screen Surround Color: None  
 Screen Type: None  
 Hardware Type: Folding Handle, No Sash Travel Limiter  
 Hardware Type: None  
 Disabler Type: None  
 Screen Type: Aluminum Screen  
 Hardware Color: Salm Taupe  
 Screen Surround Color: Salm Taupe  
 Jamb Depth: 4 9/16"  
 Exterior Casings: Casings Type: None  
 Sill: Sill Type: None

NOT USED



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REVISION:

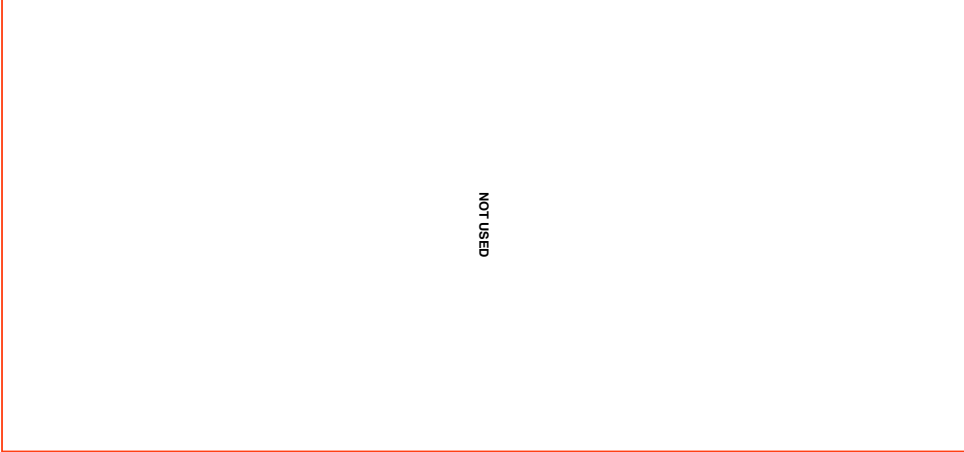
CREATED: 10/06/2021

PK VERSION: 0003.10.00

QUOTE#: RVRHYJC

PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
 DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN

DRAWN: RENEE HAGEN



NOT USED

OF 5

3

SHEET

PROJ/JOB: ABA - Fu / 10/06/21 - Signature

DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN

DRAWN: RENEE HAGEN

QUOTE#: RVRHYJC

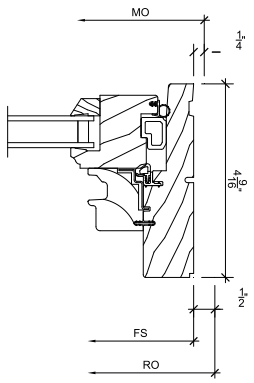
PK VERSION: 0003.10.00

CREATED: 10/06/2021

REVISION:

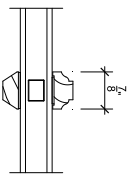
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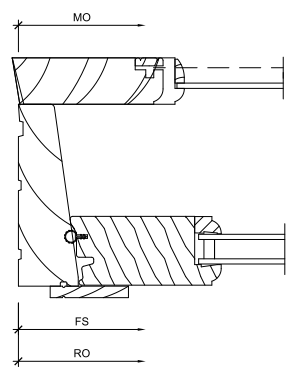
1  
4 Head

SCALE: 6" = 1'-0"



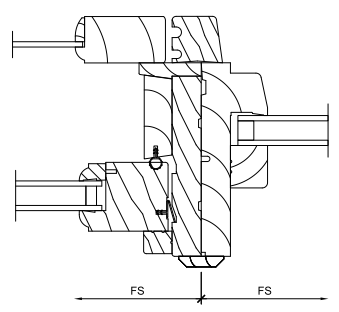
4  
4 Divided Lite

SCALE: 6" = 1'-0"



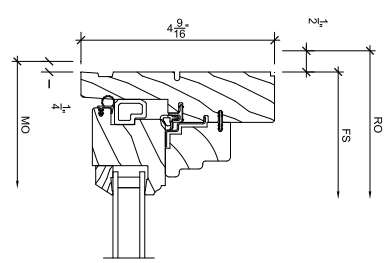
7  
4 Sill

SCALE: 6" = 1'-0"



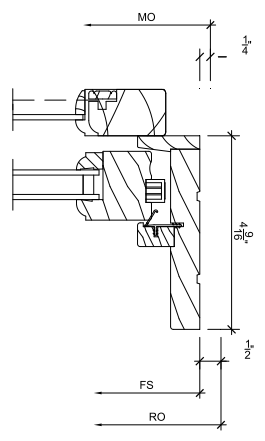
10  
4 Horizontal Mullion

SCALE: 6" = 1'-0"



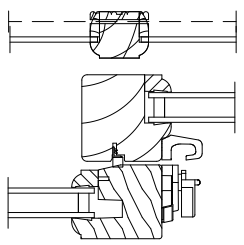
2  
4 Jamb

SCALE: 6" = 1'-0"



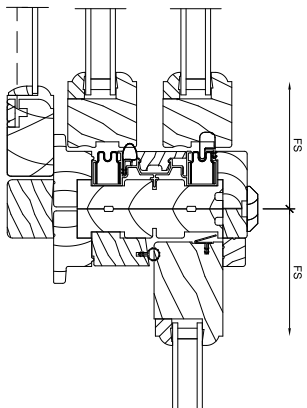
5  
4 Head

SCALE: 6" = 1'-0"



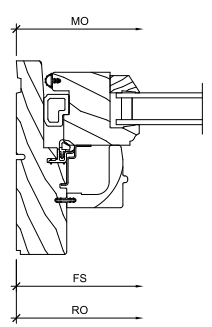
8  
4 Checkrail

SCALE: 6" = 1'-0"



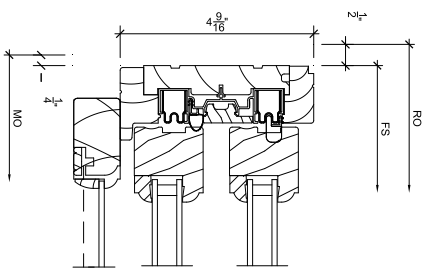
11  
4 Vertical Mullion

SCALE: 6" = 1'-0"



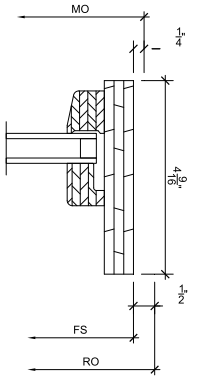
3  
4 Sill

SCALE: 6" = 1'-0"



6  
4 Jamb

SCALE: 6" = 1'-0"



9  
4 Head

SCALE: 6" = 1'-0"

12  
4

SCALE: 6" = 1'-0"

PROJ/JOB: ABA - Fu / 10/06/21 - Signature

DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN

DRAWN: RENEE HAGEN

QUOTE#: RVRHYJC

PK VERSION: 0003.10.00

CREATED: 10/06/2021

REVISION:

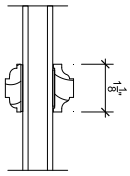
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1  
5

Sill

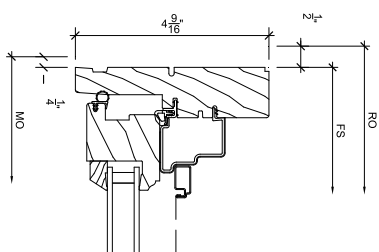
SCALE: 6" = 1'-0"



4  
5

Jamb

SCALE: 6" = 1'-0"



7  
5

NOT USED

SCALE: 6" = 1'-0"

10  
5

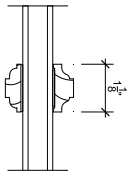
NOT USED

SCALE: 6" = 1'-0"

2  
5

Divided Lite

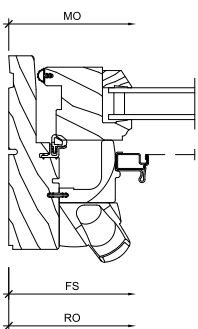
SCALE: 6" = 1'-0"



5  
5

Sill

SCALE: 6" = 1'-0"



8  
5

NOT USED

SCALE: 6" = 1'-0"

11  
5

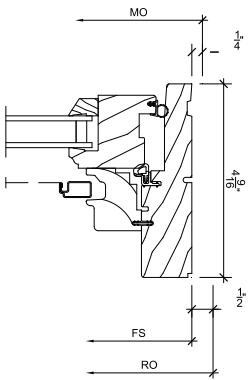
NOT USED

SCALE: 6" = 1'-0"

3  
5

Head

SCALE: 6" = 1'-0"



6  
5

NOT USED

SCALE: 6" = 1'-0"

9  
5

NOT USED

SCALE: 6" = 1'-0"

12  
5

NOT USED

SCALE: 6" = 1'-0"

PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN  
DRAWN: RENEE HAGEN  
QUOTE#: RVRHYJC

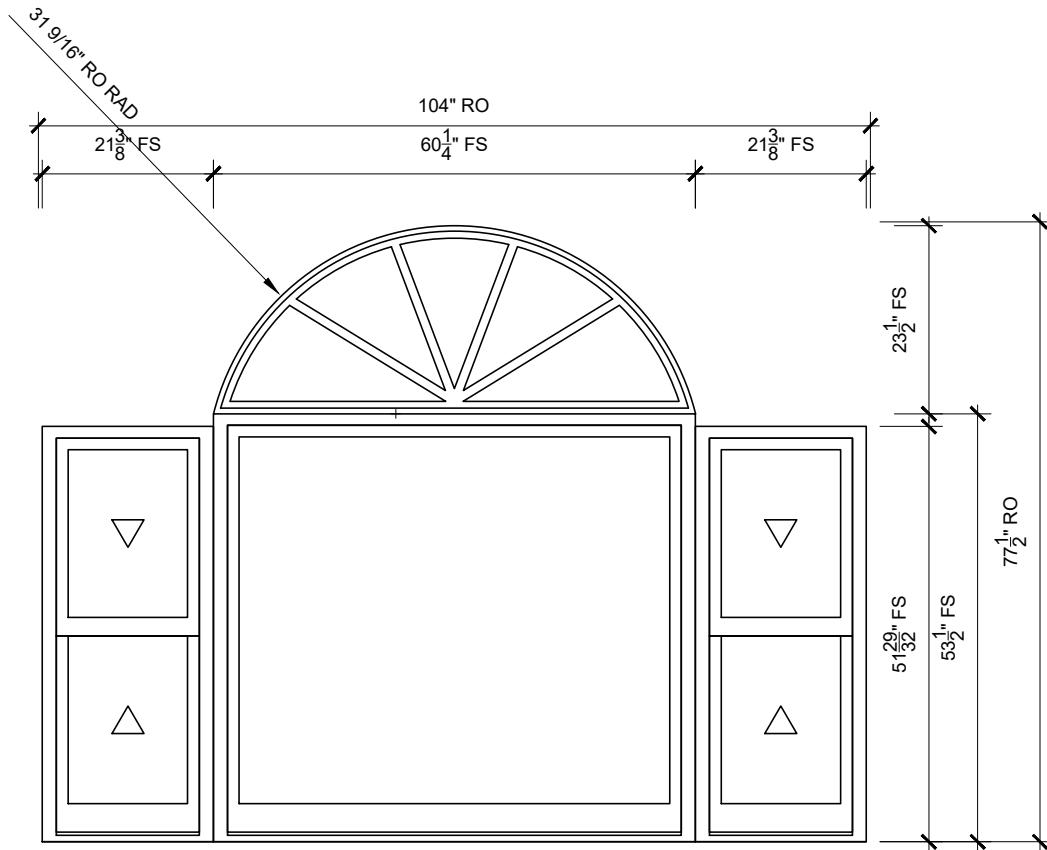
PK VERSION: 0003.10.00

CREATED: 10/06/2021

REVISION:

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**07**

SCALE: 1/2" = 1'-0"

- $\frac{1}{2}$  Head
- $\frac{4}{2}$  Jamb
- $\frac{3}{3}$  Sill

- $\frac{2}{2}$  Head
- $\frac{1}{3}$  Vertical Mullion
- $\frac{4}{3}$  Divided Lite

- $\frac{3}{2}$  Horizontal Mullion
- $\frac{2}{3}$  Sill
- $\frac{1}{4}$  Checkrail



PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
 DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN  
 DRAWN: JILL HELGESON  
 QUOTE#: RVRHYJC

PK VER: 0003.10.00

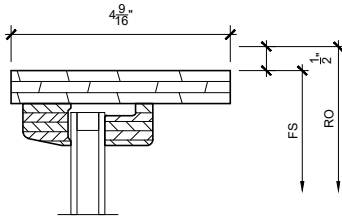
CREATED: 10/07/2021

REVISION:

SHEET

1

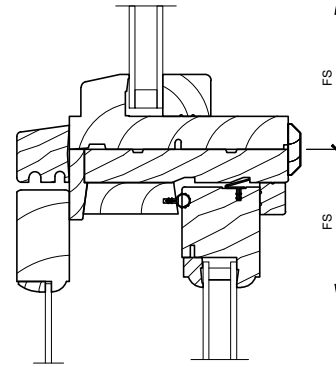
OF 4



1  
2

Head

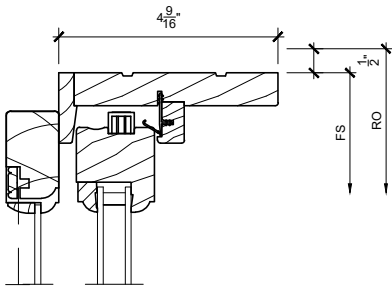
SCALE: 3" = 1'-0"



3  
2

Horizontal Mullion

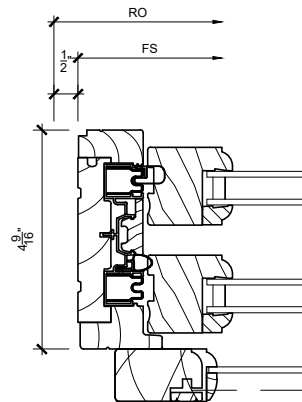
SCALE: 3" = 1'-0"



2  
2

Head

SCALE: 3" = 1'-0"



4  
2

Jamb

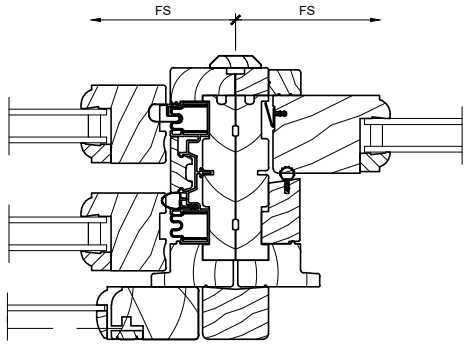
SCALE: 3" = 1'-0"



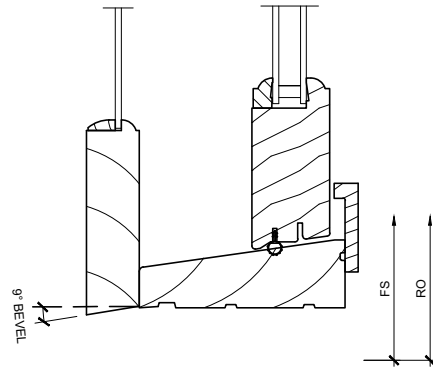
PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
 DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN  
 DRAWN: JILL HELGESON  
 QUOTE#: RVRHYJC PK VER: 0003.10.00

CREATED: 10/07/2021 REVISION:

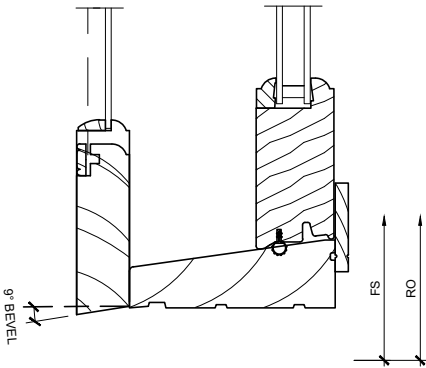
SHEET  
 2  
 OF 4



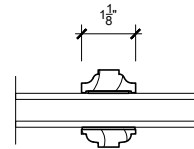
1  
3
**Vertical Mullion**  
 SCALE: 3" = 1'-0"



3  
3
**Sill**  
 SCALE: 3" = 1'-0"

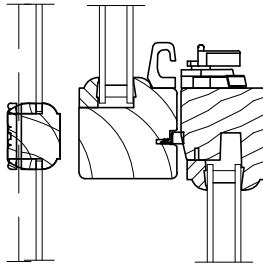


2  
3
**Sill**  
 SCALE: 3" = 1'-0"



4  
3
**Divided Lite**  
 SCALE: 3" = 1'-0"





1  
4

### Checkrail

SCALE: 3" = 1'-0"



PROJ/JOB: ABA - Fu / 10/06/21 - Signature  
DIST/DEALER: WINDOW DESIGN CENTER FROM ZUERN  
DRAWN: JILL HELGESON  
QUOTE#: RVRHYJC

PK VER: 0003.10.00

CREATED: 10/07/2021

REVISION:

SHEET

4

OF 4