

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 4708 Creekwood Ln

Title: Hidden Creek 3 Residences

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested July 29, 2020

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Hidden Creek 3 Residences, LLC
Street address 1818 Parmenter St
Telephone 608-826-4000

Company Hidden Creek 3 Residences, LLC
City/State/Zip Middleton, WI 53562
Email nick@twallenterprises.com

Project contact person Nick Patterson
Street address 1818 Parmenter St, Suite 400
Telephone 608-220-8940

Company T. Wall Enterprises, LLC
City/State/Zip Middleton, WI 53562
Email nick@twallenterprises.com

Property owner (if not applicant) _____
Street address _____
Telephone _____

City/State/Zip _____
Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

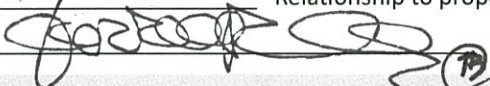
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaser on July 15, 2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Hidden Creek 3 Residences, LLC Relationship to property Owner
 Authorizing signature of property owner  Date July 24, 2020

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

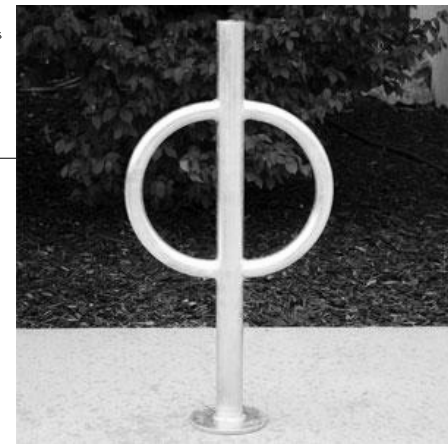
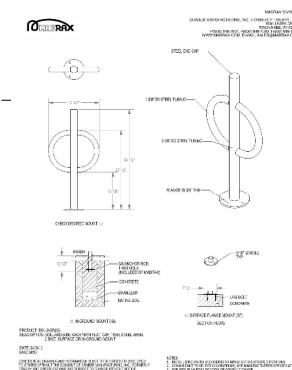
Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

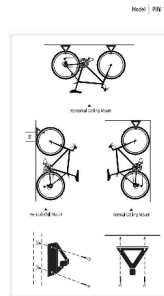
Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**



EXTERIOR BIKE RACKS
 EXTERIOR BIKE RACKS SHALL BE MADRAX-BOL-2-51" OR EQUAL WITH SURFACE MOUNT (SHOWN IN PHOTO) & STAINLESS STEEL FINISH. RACKS SHALL BE LOCATED AS NOTED ON THE PLANS.



PROSTOR BIKE Hanger



Racor PIW-1R/PIW-1W Pro Wall-Mount Bike Hanger

- Mounts on wall or ceiling
- Durable powder-coated for corrosion resistance
- Cable lock slot for optimal security
- Laser-cut, 12-gauge steel for unsurpassed durability
- Easy installation with provided hardware

SITE DATA

BLDG	UNITS						PARKING			
	ST	1BR	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	33	46	2	16	97	113	57	44	101	.89 / BR
A2	33	46	2	16	97	113	57	43	100	.88 / BR
B1	44	30	0	8	82	90	46	40	86	.96 / BR
T.	110	122	4	40	276	316	160	127	287	.91 / BR
		40%	44%	1%	15%					1.04 / U

NOTE: ALL PARKING STALLS TO BE 9'-0" x 18'-0" UNLESS NOTED OTHERWISE.

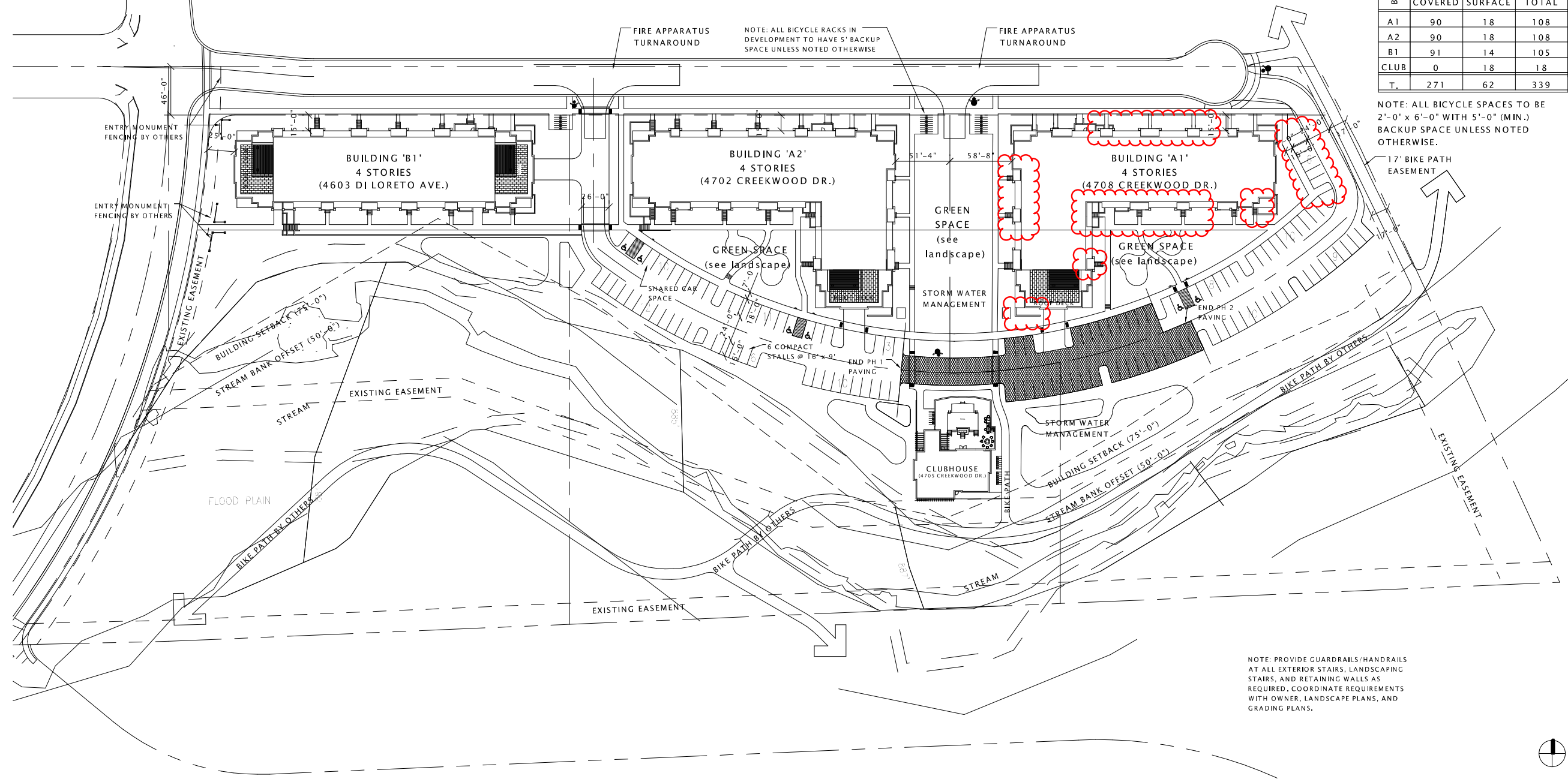
1 TYPICAL EXTERIOR BIKE RACK
 1/4" = 1'-0"

3 TYPICAL BIKE HOOK SYSTEM
 1/4" = 1'-0"

SITE DATA

BLDG	BICYCLE PARKING		
	COVERED	SURFACE	TOTAL
A1	90	18	108
A2	90	18	108
B1	91	14	105
CLUB	0	18	18
T.	271	62	339

NOTE: ALL BICYCLE SPACES TO BE 2'-0" x 6'-0" WITH 5'-0" (MIN.) BACKUP SPACE UNLESS NOTED OTHERWISE.



NOTE: PROVIDE GUARDRAILS/HANDRAILS AT ALL EXTERIOR STAIRS, LANDSCAPING STAIRS, AND RETAINING WALLS AS REQUIRED. COORDINATE REQUIREMENTS WITH OWNER, LANDSCAPE PLANS, AND GRADING PLANS.



JLA
 ARCHITECTS

MADISON : MILWAUKEE
 jla-ap.com

JLA PROJECT NUMBER: 14-0314-01

HIDDEN CREEK RESIDENCES 2, LLC.

HIDDEN CREEK RESIDENCES - PHASE II

CONSTRUCTION DOCUMENTS

DATE OF ISSUANCE MAY 9, 2018

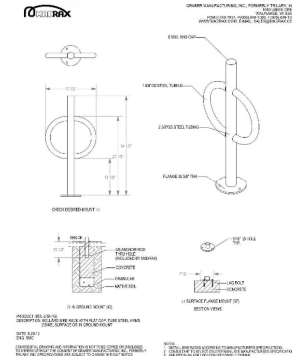
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
 ARCHITECTURAL SITE PLAN - OVERALL AS APPROVED

SHEET NUMBER

ASP-100

EXTERIOR BIKE RACKS:
EXTERIOR BIKE RACKS SHALL BE 'MADRAX-BOL-2-SF' OR EQUAL WITH SURFACE MOUNT (SHOWN IN PHOTO) & STAINLESS STEEL FINISH. RACKS SHALL BE LOCATED AS NOTED ON THE PLANS.



PROSTOR
BIKE Hanger



Racor PIW-1R/PIW-1W Pro Wall-Mount Bike Hanger

- Mounts on wall or ceiling
- Double screw holes for corrosion resistance
- Cable lock slot for optimal security
- Laser-cut, 12-gauge steel for unsurpassed durability
- Easy installation with provided hardware

BLDG	UNITS						PARKING			
	ST	1BR	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	33	46	2	16	97	113	57	45	102	.90 / BR
A2	33	46	2	16	97	113	58	43	101	.89 / BR
B1	44	30	0	8	82	90	46	40	86	.96 / BR
T.	110	122	4	40	276	316	161	128	289	.91 / BR
	40%	44%	1%	15%						1.05 / U

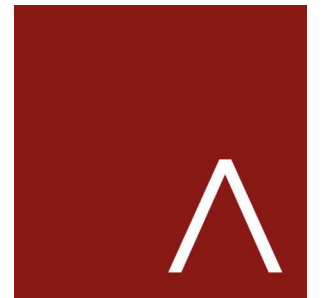
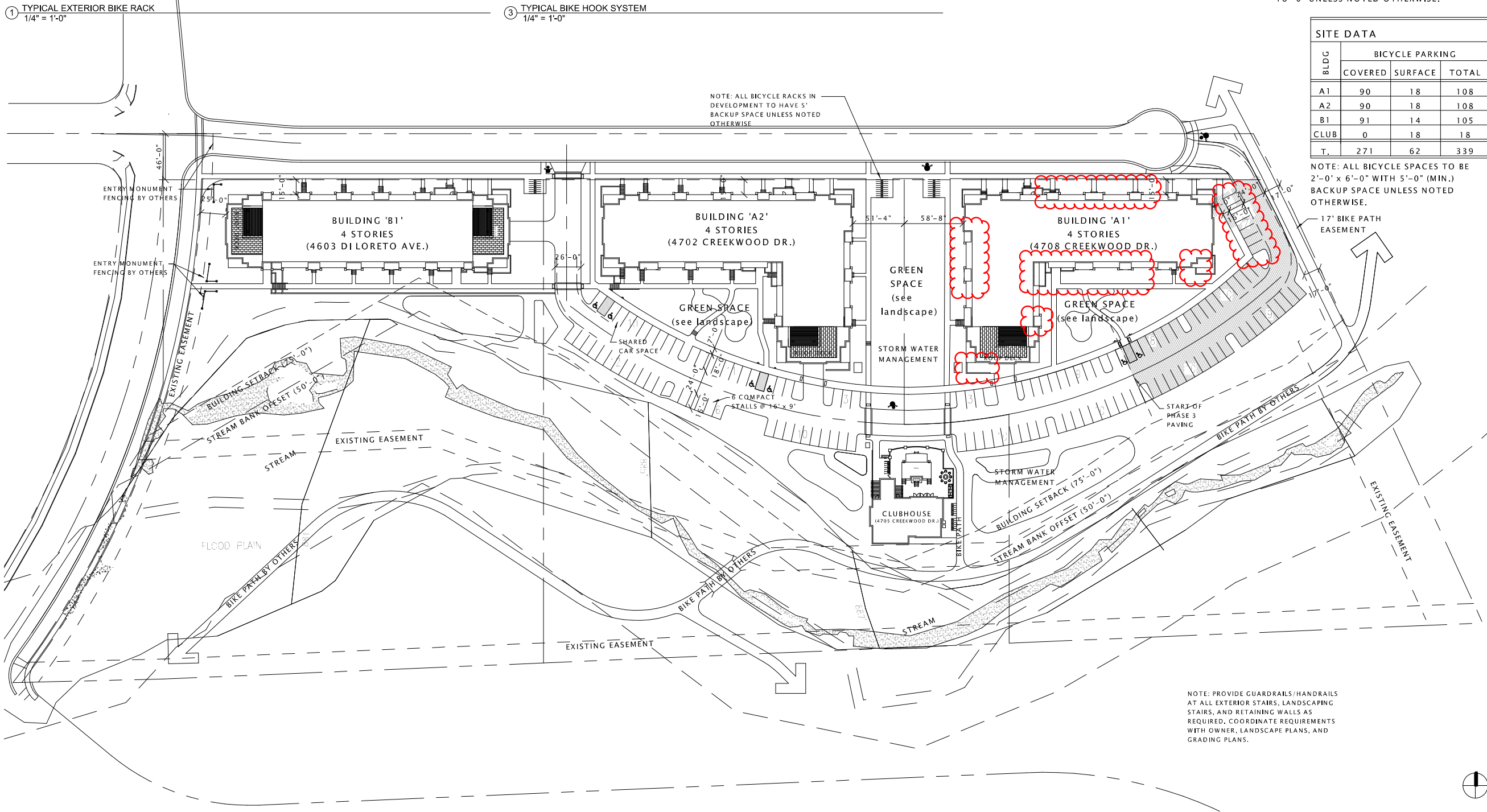
NOTE: ALL PARKING SPACES TO BE 9'-0" x 18'-0" UNLESS NOTED OTHERWISE.

1 TYPICAL EXTERIOR BIKE RACK
1/4" = 1'-0"

3 TYPICAL BIKE HOOK SYSTEM
1/4" = 1'-0"

BLDG	BICYCLE PARKING		
	COVERED	SURFACE	TOTAL
A1	90	18	108
A2	90	18	108
B1	91	14	105
CLUB	0	18	18
T.	271	62	339

NOTE: ALL BICYCLE SPACES TO BE 2'-0" x 6'-0" WITH 5'-0" (MIN.) BACKUP SPACE UNLESS NOTED OTHERWISE.



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:

HIDDEN CREEK

MINOR ALTERATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JUNE 16, 2020

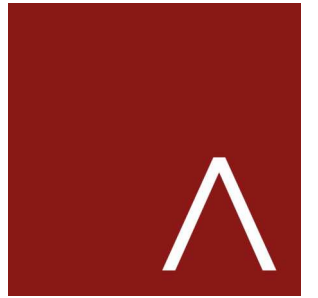
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL AS PROPOSED

SHEET NUMBER

ASP-100



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

HIDDEN CREEK

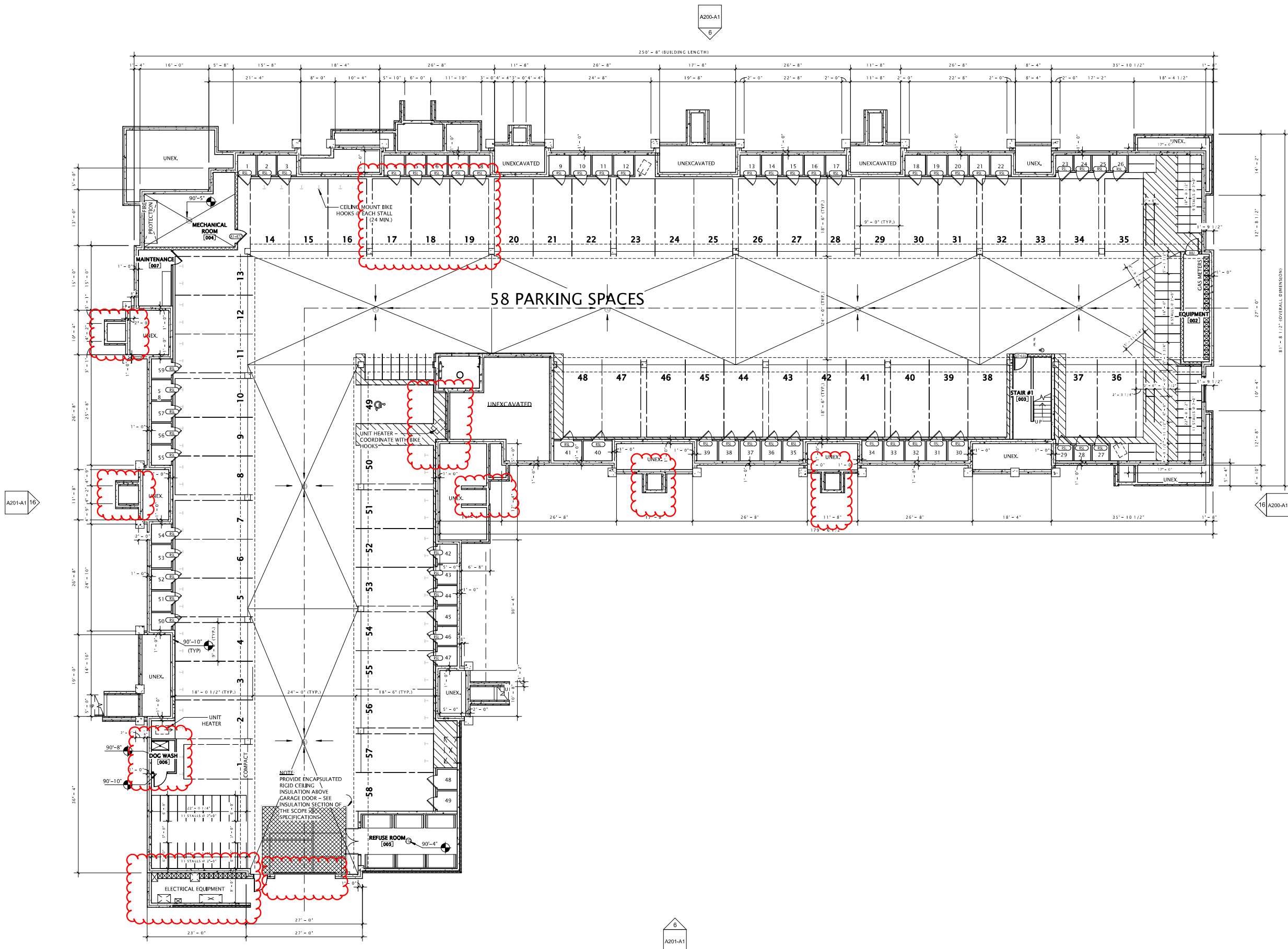
MINOR ALTERATION

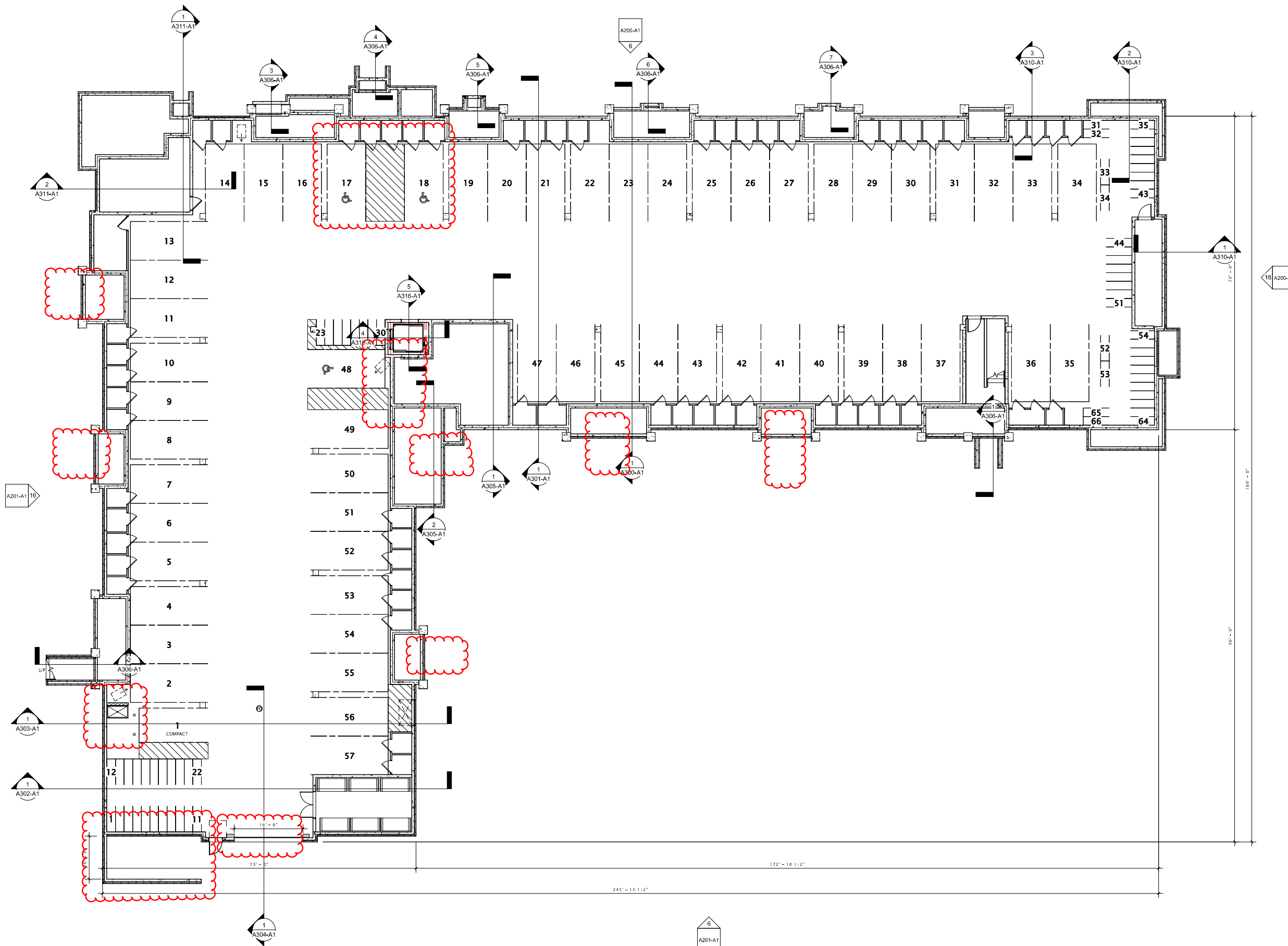
DATE OF ISSUANCE JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LOWER LEVEL PLAN
AS APPROVED

SHEET NUMBER
A100-A1





16 BUILDING 'A1' - LOWER LEVEL PLAN
3/32" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:

HIDDEN CREEK

MINOR ALTERATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JUNE 16, 2020

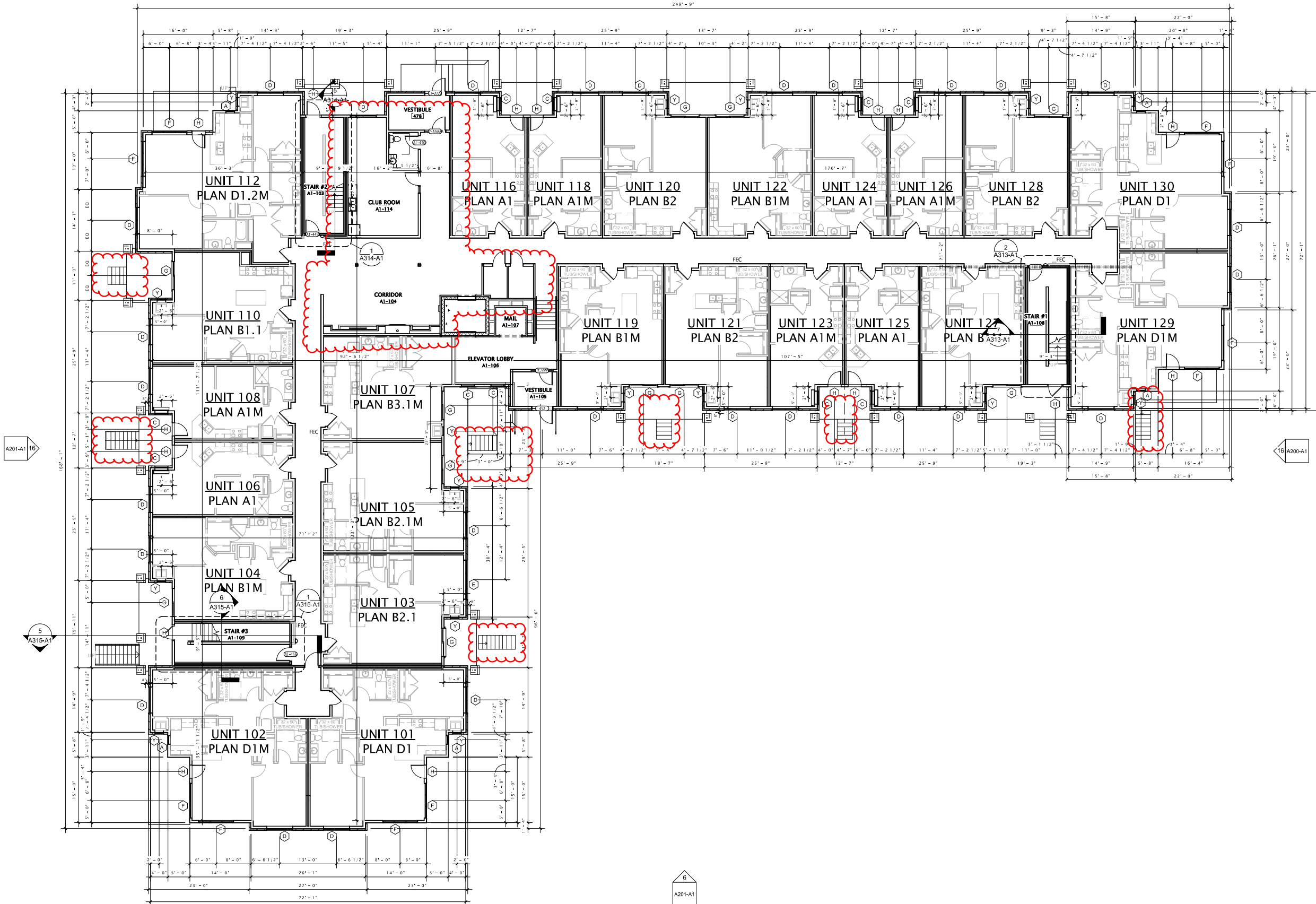
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**LOWER LEVEL PLAN
AS PROPOSED**

SHEET NUMBER
A100-A1

A200-A1
6

249'-9"



A201-A1 16

16 A200-A1

5
A315-A1

A201-A1
6



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

HIDDEN CREEK

MINOR ALTERATION

DATE OF ISSUANCE JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN
AS APPROVED

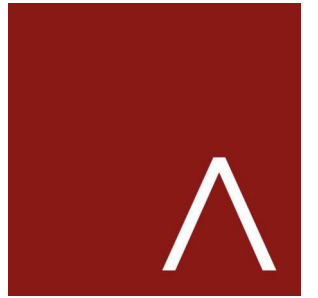
SHEET NUMBER

A101-A1

16 BUILDING 'A1' - FIRST FLOOR PLAN
3/32" = 1'-0"



6/15/2020 4:45:22 PM



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:

HIDDEN CREEK

MINOR ALTERATION

PROGRESS DOCUMENTS

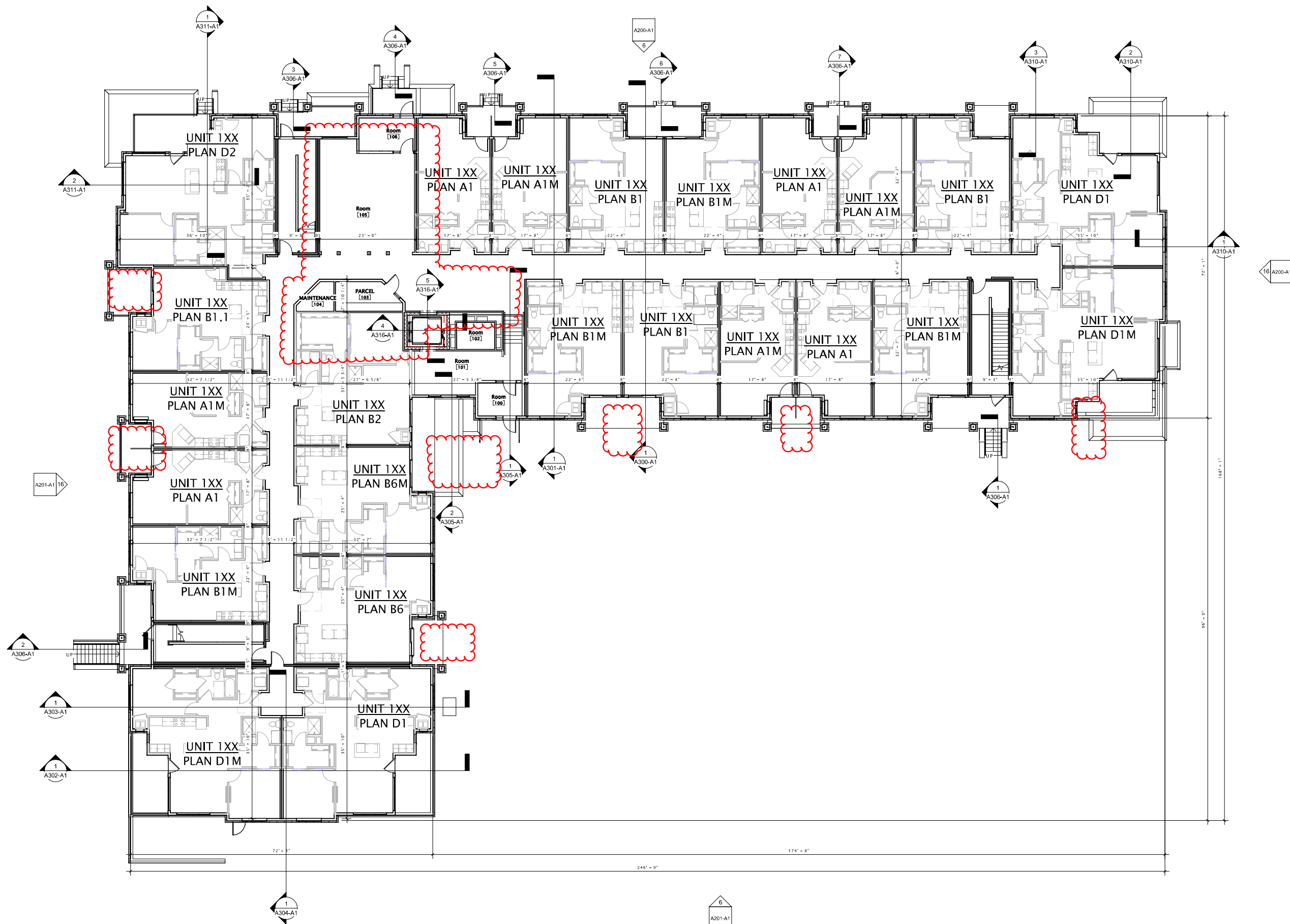
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

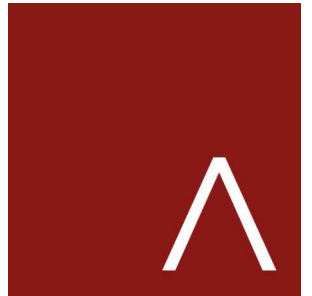
DATE OF ISSUANCE JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**FIRST FLOOR PLAN
AS PROPOSED**

SHEET NUMBER
A101-A1





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com



⑥ NORTH ELEVATION - A1
3/32" = 1'-0"

HIDDEN CREEK

MINOR ALTERATION

DATE OF ISSUANCE JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS AS
APPROVED

SHEET NUMBER

A200-A1



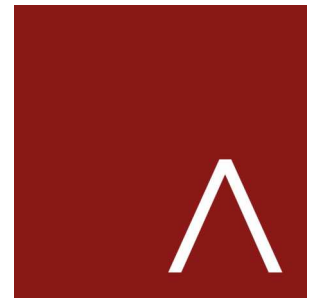
⑩ EAST ELEVATION - A1
3/32" = 1'-0"



⑥ NORTH ELEVATION
3/32" = 1'-0"



⑬ EAST ELEVATION
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:

HIDDEN CREEK

MINOR ALTERATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JUNE 16, 2020

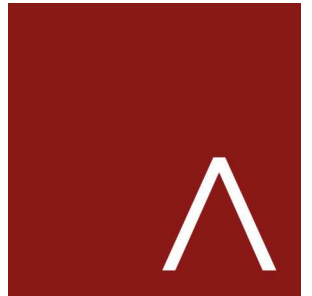
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS AS
PROPOSED

SHEET NUMBER

A200-A1



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com



6 SOUTH ELEVATION - A1
3/32" = 1'-0"

HIDDEN CREEK

MINOR ALTERATION

DATE OF ISSUANCE JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS AS
APPROVED

SHEET NUMBER

A201-A1



16 WEST ELEVATION - A1
3/32" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:

HIDDEN CREEK

MINOR ALTERATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: JUNE 16, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS AS PROPOSED

SHEET NUMBER
A201-A1

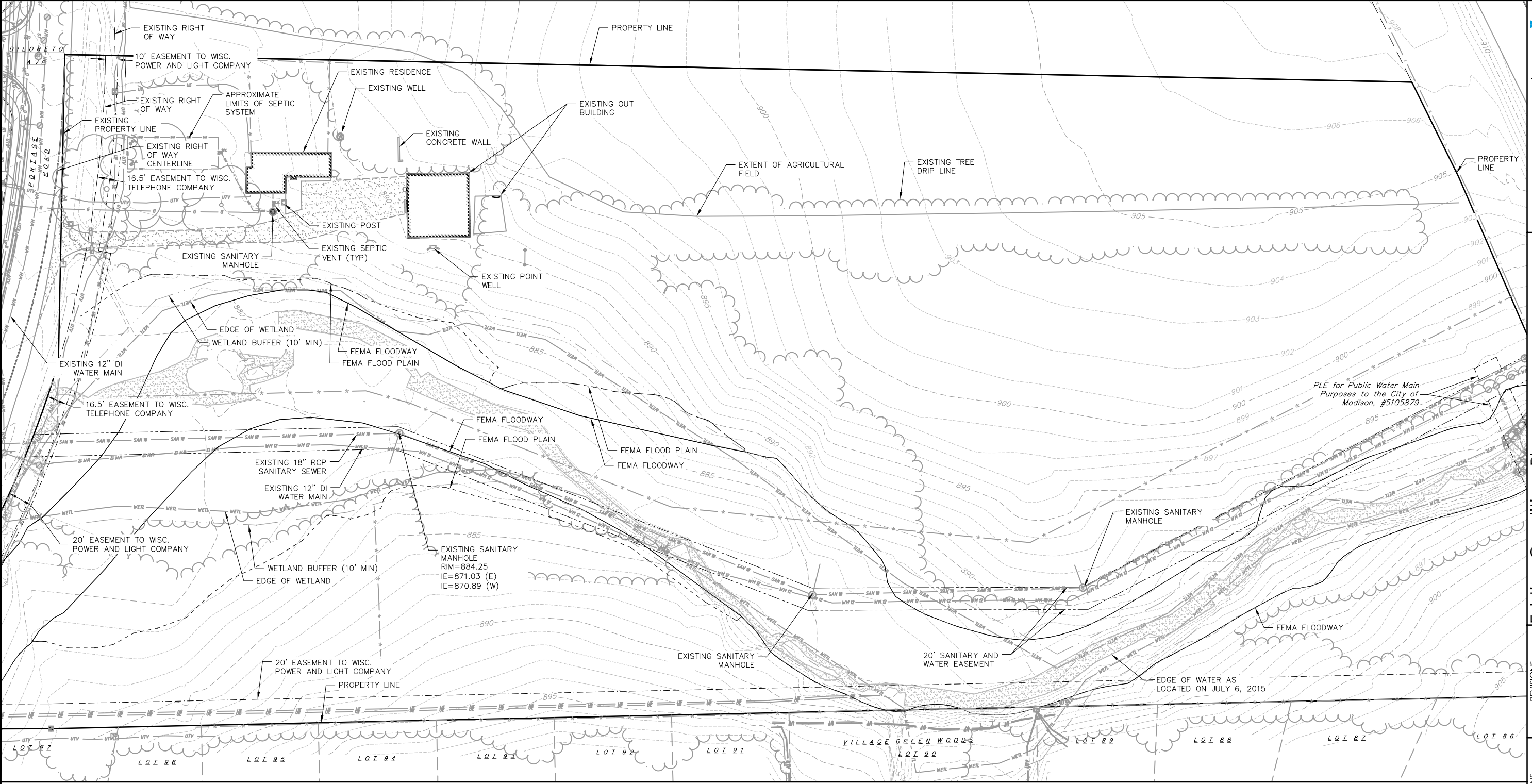


6 SOUTH ELEVATION
3/32" = 1'-0"



16 WEST ELEVATION
3/32" = 1'-0"

17 Jun 2020 - 3:52p M:\T Wall Enterprises LLC\130287_Portage Rd\CADD\5422 Portage Rd\Phase 3.dwg By: rjph



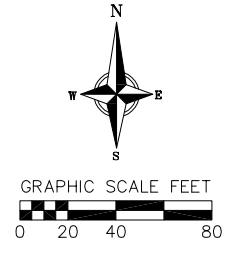
TOPOGRAPHIC SYMBOL LEGEND

- ⊠ EXISTING POST
- ⊠ EXISTING SIGN (TYPE NOTED)
- ⊠ EXISTING ENDWALL
- ⊠ EXISTING STORM MANHOLE
- ⊠ EXISTING SANITARY MANHOLE
- ⊠ EXISTING SEPTIC VENT
- ⊠ EXISTING FIRE HYDRANT
- ⊠ EXISTING POINT WELL
- ⊠ EXISTING WATER MAIN VALVE
- ⊠ EXISTING WELL
- ⊠ EXISTING TRANSFORMER
- ⊠ EXISTING LIGHT POLE
- ⊠ EXISTING TELEPHONE PEDESTAL
- ⊠ EXISTING MAILBOX

LINE LEGEND

- SAN — = SANITARY SEWER
- ST — = STORM SEWER
- FO — = FIBER OPTIC
- WM — = WATER MAIN
- UT — = UNDERGROUND COMMUNICATION
- UE — = UNDERGROUND ELECTRIC
- G — = UNDERGROUND GAS MAIN
- * — = FENCE

- WETL — = EDGE OF WETLAND
- — — = WETLAND BUFFER
- — — = FLOODWAY
- — — = FLOODPLAIN
- — — = PROPERTY LINE
- 820 — = EXISTING MAJOR CONTOUR
- 818 — = EXISTING MINOR CONTOUR
- — — = EXISTING TREE DRIP LINE
- ⊠ = EXISTING TREE



NOTE: THIS PLAN DEPICTS EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF PHASE 1 CONSTRUCTION.

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020

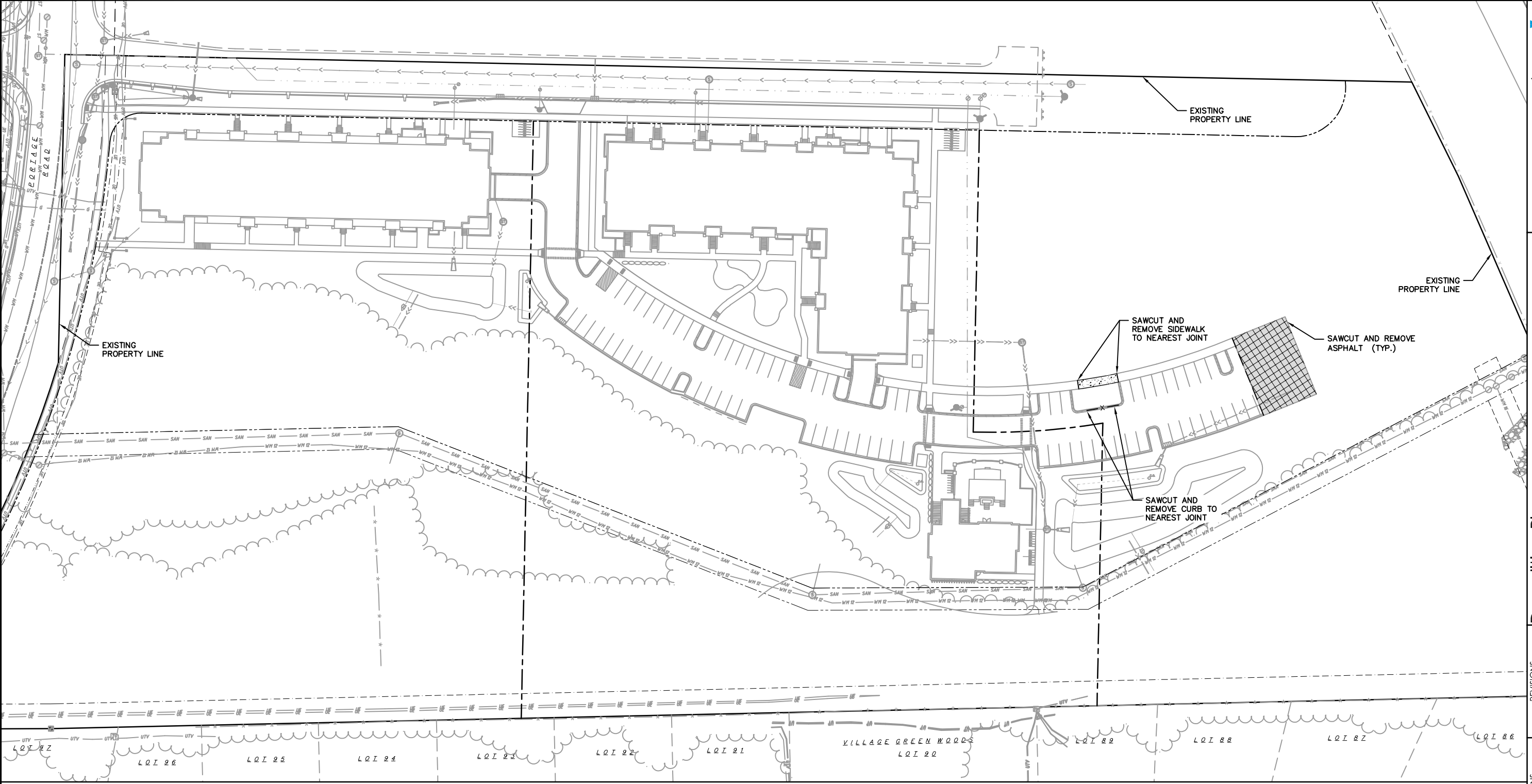
DRAFTER: AMEA

CHECKED: RKOL

PROJECT NO.: 130287

C

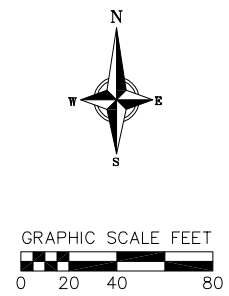
1.0



DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	SIGN REMOVAL
	SAWCUT

- NOTES:**
- 1.) PROPOSED HARD-SCAPE IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE DEPICTED ON THIS PLAN TO INDICATE DEMOLITION ITEMS REQUIRED AS PART OF PHASE 3 CONSTRUCTION. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 2.) TREE DEMOLITION IS ASSUMED TO BE COMPLETED AS PART OF PHASE 1 CONSTRUCTION. SEE SHEET C-3.0, TREE PLAN, FOR INFORMATION REGARDING TREE DEMOLITION, IF CONFLICT ARISES IN THE FIELD.
 - 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



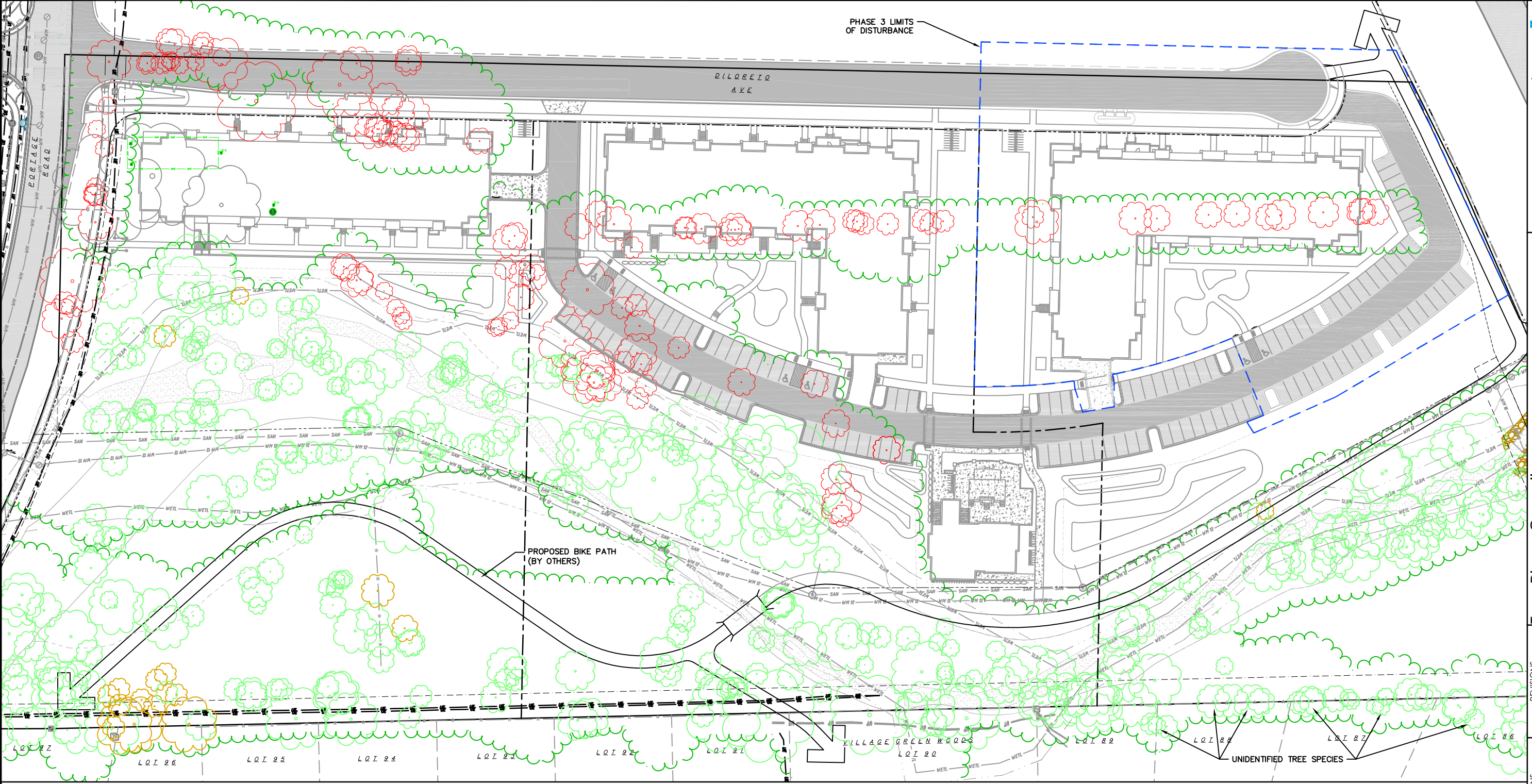
REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 130287

C
2.0

18 Jun 2020 - 11:53a MAT Wolf Enterprises LLC\130287_Portage Rd\CADD\130287_Base - Phase 3.dwg by: njh



--- WETL --- = EDGE OF WETLAND
 --- WETL --- = WETLAND BUFFER
 --- FLOODWAY ---
 --- FLOODPLAIN ---
 --- ENVIRONMENTAL CORRIDOR ---
 --- OVERALL LIMITS OF DISTURBANCE ---

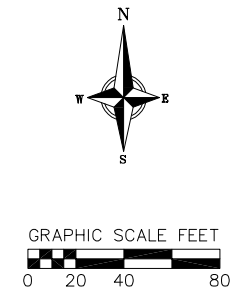
[Green circle] = EXISTING TREE TO REMAIN
 [Red circle] = EXISTING TREE TO BE REMOVED
 [Orange circle] = EXISTING RESTRICTED TREE TO REMAIN
 [Green dashed line] = EXISTING TREE DRIP LINE
 [Blue dashed line] = LIMITS OF DISTURBANCE, SILT FENCE, AND TREE PROTECTION FENCE
 [Red dashed line] = TEMPORARY TREE PROTECTION FENCE

[Small green circle] = 8" TREE
 [Medium green circle] = 12" TREE
 [Large green circle] = 18" TREE
 [Very large green circle] = 24" TREE
 [Large green circle] = 30" TREE
 [Large green circle] = 36" TREE
 [Very large green circle] = 42" TREE

TREE PROTECTION NOTES:
 1. THE TREE PROTECTION ZONE SHALL BE KEPT CLEAR OF ALL BUILDING MATERIALS, WASTE, AND EXCESS SOIL. NO DIGGING, TRENCHING, OR OTHER SOIL DISTURBANCE SHALL BE ALLOWED WITHIN THE FENCED AREA. FAILURE TO COMPLY WITH THESE TERMS SHALL RESULT IN A \$500.00 FINE PER OCCURRENCE.
 2. SIGNS SHALL BE POSTED ON THE TREE PROTECTION FENCING STATING, "TREE PROTECTION ZONE."
 3. FERTILIZATION OF THE TREES IMMEDIATELY SOUTH OF THE SNOW FENCE SHALL OCCUR FOLLOWING CONSTRUCTION.
 4. DISTURBANCE NEAR THE ROOT ZONE OF ALL TREES TO REMAIN SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL. DISTURBANCES WILL BE DELAYED, IF PRACTICAL, TO MINIMIZE IMPACT TO THE TREES.

TREE SPECIES LEGEND			
#	ARBORIST CLASSIFICATION	#	ARBORIST CLASSIFICATION
1	GREEN ASH	9	WHITE MULBERRY (RESTRICTED)
2	SIBERIAN ELM (RESTRICTED)	10	BLACK CHERRY
3	COMMON HACKBERRY	11	COMMON BUCKTHORN (RESTRICTED)
4	WHITE OAK	12	COTTONWOOD
5	NORWAY MAPLE	13	RED OAK
6	BLACK WALNUT	14	SILVER MAPLE
7	BOX ELDER	15	BUR OAK
8	APPLE		

NOTE: ONLY TREES WITH A DIAMETER OF 8" OR GREATER ARE SHOWN ON THIS PLAN. ALL TREES WITHIN THE OVERALL LIMITS OF DISTURBANCE WILL BE REMOVED DURING PHASE 1, AS NECESSARY.



REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020

DRAFTER: AMEA

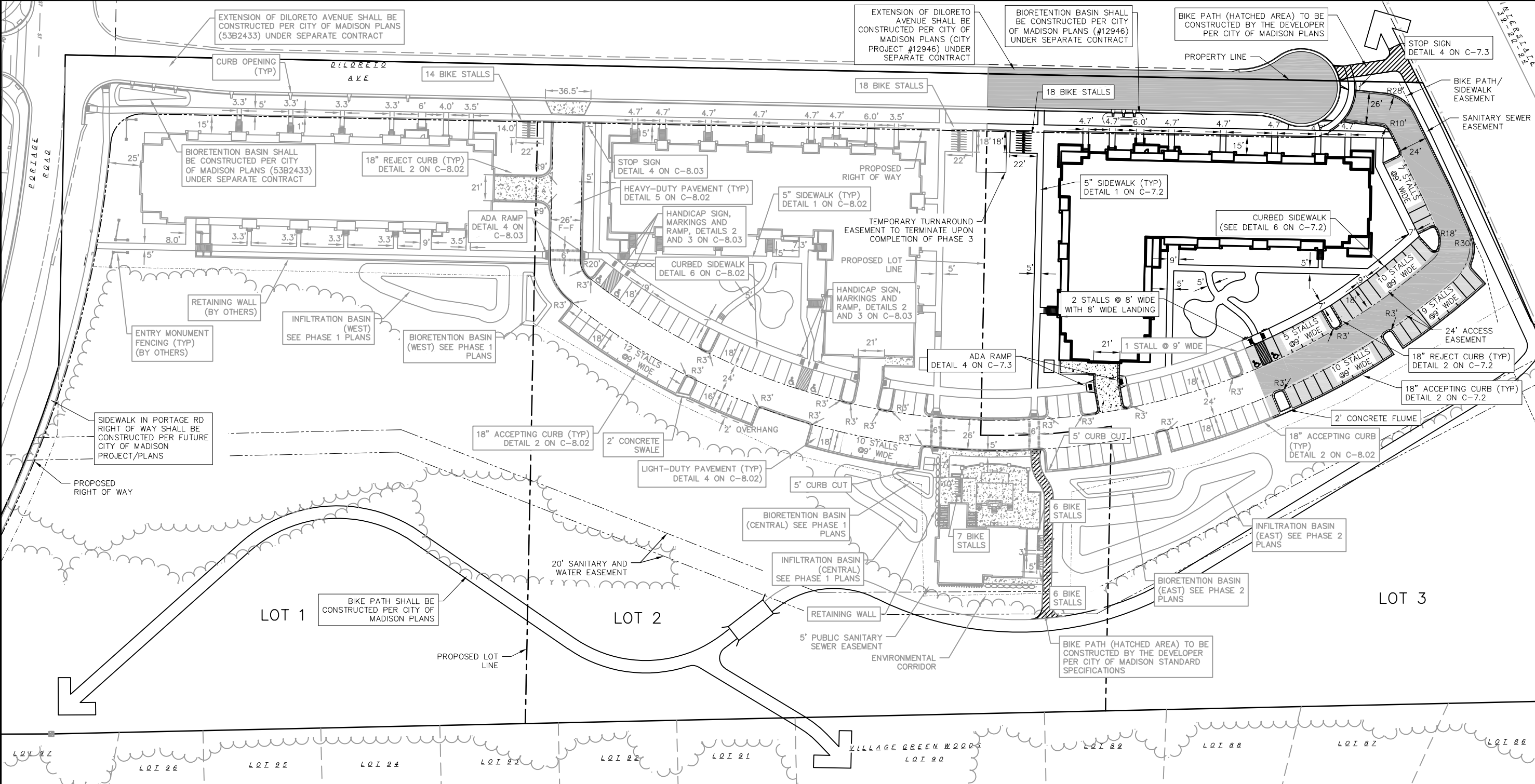
CHECKED: RKOL

PROJECT NO.: 130287

C

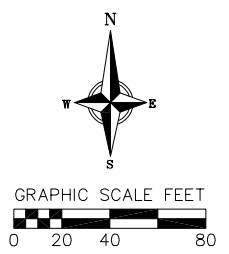
3.0

18 Jun 2020 - 11:47a MAT Wolf Enterprises LLC \130287_5422 Portage Rd\CADD\130287_Base - Phase 3.dwg by: njoh



SITE PLAN LEGEND

- = PROPERTY LINE
 - - - = LOT LINE
 - - - - = RIGHT OF WAY
 - = RETAINING WALL (BY OTHERS)
 - = RETAINING WALL
 - = EXISTING TREE DRIP LINE
 - = PROPOSED TREE DRIP LINE
 - = CURB AND GUTTER (REVERSED CURB HATCHED)
 - [Pattern] = PROPOSED CONCRETE
 - [Pattern] = PROPOSED LIGHT-DUTY ASPHALT
 - [Pattern] = PROPOSED HEAVY-DUTY ASPHALT
 - = ADA HANDICAP PARKING SIGN
 - = ADA COMPLIANT RAMP
 - = SANITARY SEWER EASEMENT
 - = BIKE PATH/SIDEWALK EASEMENT
 - = ACCESS EASEMENT
 - = LIMITS OF ENVIRONMENTAL CORRIDOR AND EASEMENT TO THE CITY OF MADISON FOR BIKE PATH, STORMWATER CONVEYANCE, ACCESS, AND MAINTENANCE AND MANAGEMENT OF STORM SEWER & SANITARY SEWER FACILITIES
- F-F = FACE-TO-FACE
 ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



- NOTES:**
- 1.) PROPOSED HARD-SCAPE IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN IN 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 2.) 'GREY-SCALED' NOTES INDICATE SITE IMPROVEMENTS THAT WERE CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION.
 - 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

vierbicher
planners | engineers | advisors
Phone: (800) 261-3998

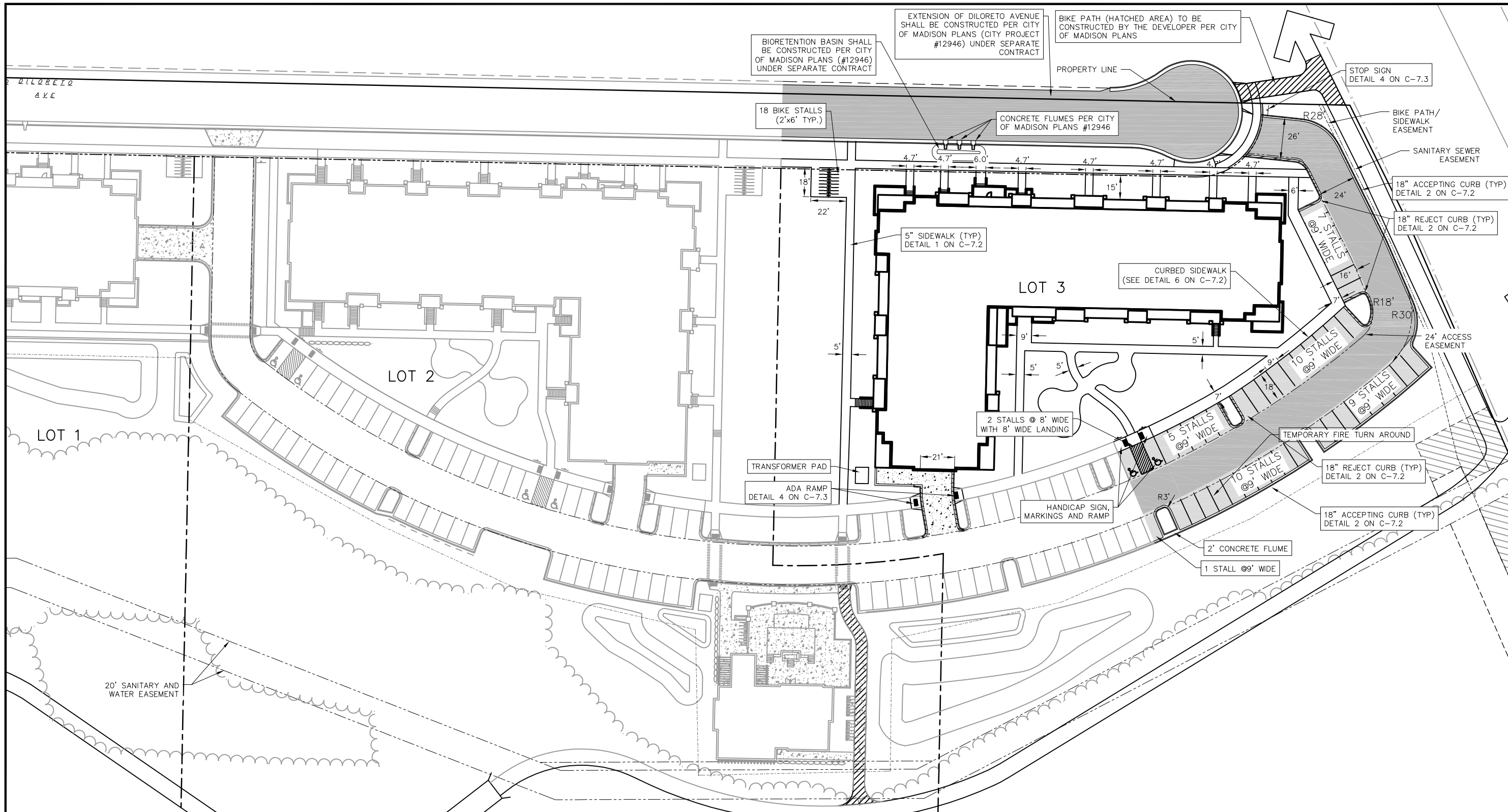
Site Plan - Overall
5422 Portage Road - Phase 3
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 130287

C
4.0



SITE PLAN LEGEND

- = PROPERTY LINE
- - - = LOT LINE
- · - · - = RIGHT OF WAY
- = RETAINING WALL (BY OTHERS)
- = RETAINING WALL (BY OTHERS)
- = EXISTING TREE DRIP LINE
- = PROPOSED TREE DRIP LINE
- = CURB AND GUTTER (REVERSED CURB HATCHED)

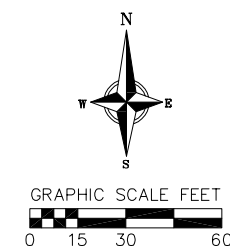
- [Pattern] = PROPOSED CONCRETE
- [Pattern] = PROPOSED LIGHT-DUTY ASPHALT
- [Pattern] = PROPOSED HEAVY-DUTY ASPHALT
- = ADA HANDICAP PARKING SIGN
- = TYPE III BARRICADE
- = ADA COMPLIANT RAMP

F-F = FACE-TO-FACE
 ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

- - - = ACCESS EASEMENT
- · - · - = LIMITS OF ENVIRONMENTAL CORRIDOR AND EASEMENT TO THE CITY OF MADISON FOR BIKE PATH, STORMWATER CONVEYANCE, ACCESS, AND MAINTENANCE AND MANAGEMENT OF STORM SEWER & SANITARY SEWER FACILITIES

NOTES:

- 1.) PROPOSED HARD-SCAPE IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN IN 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT 'AS-BUILT' CONDITIONS.
- 2.) 'GREY-SCALED' NOTES INDICATE SITE IMPROVEMENTS THAT WERE CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION.
- 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020

DRAFTER: AMEA

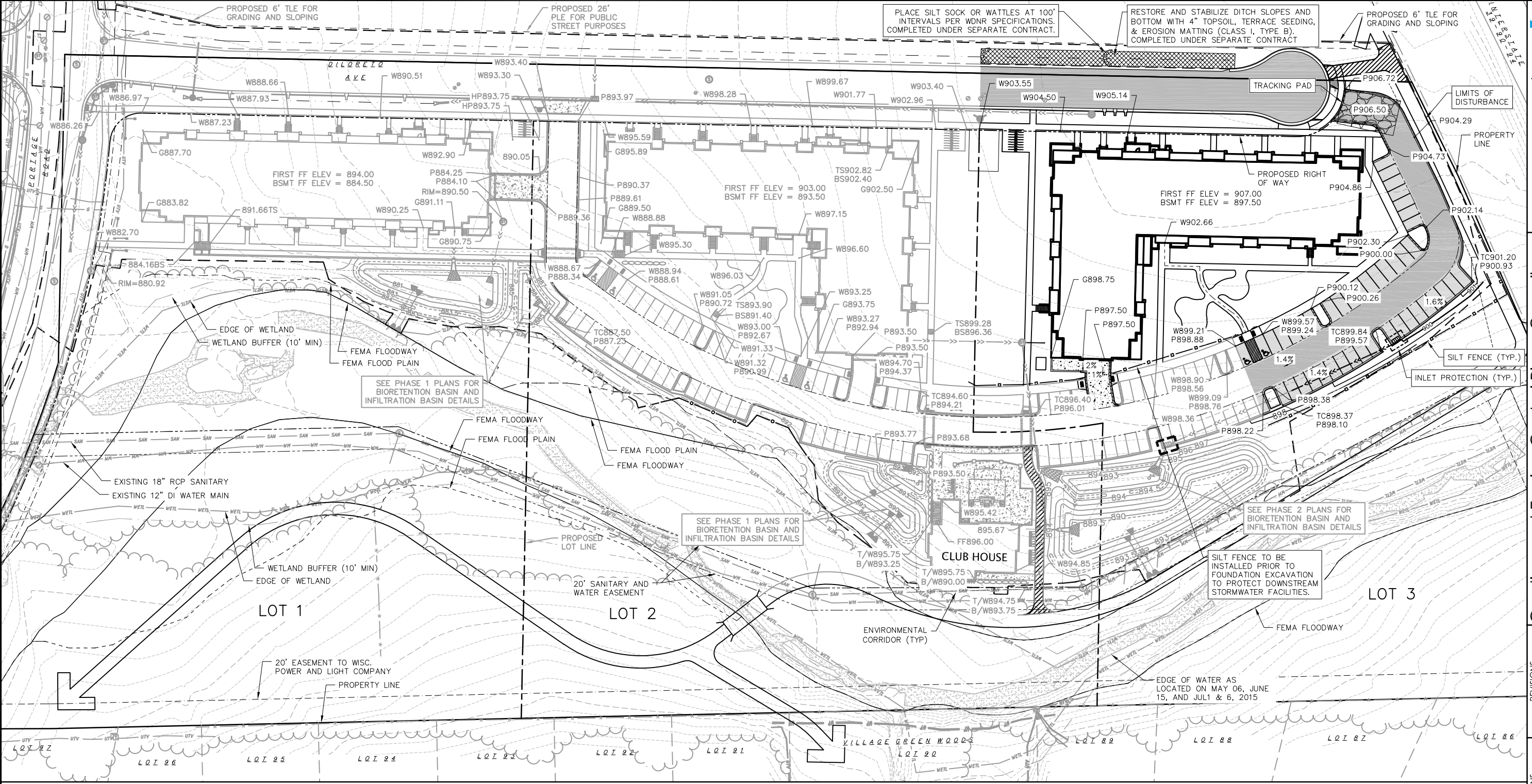
CHECKED: RKOL

PROJECT NO.: 130287

C

4.1

18 Jun 2020 - 10:54a MAT Wolf Enterprises LLC \130287_5422 Portage Rd\CADD\130287_Base - Phase 3.dwg by: njoh



GRADING LEGEND

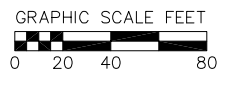
- | | | | | | | | |
|-------------|--------------------------|------------------|----------------------------------|------------------|--|----------------------|---------------------------------------|
| --- 820 --- | EXISTING MAJOR CONTOURS | --- WETL --- | EDGE OF WETLAND | --- (Dashed) --- | EXISTING TREE DRIP LINE | --- (Hatched) --- | CURB AND GUTTER (REJECT CURB HATCHED) |
| --- 818 --- | EXISTING MINOR CONTOURS | --- (Dashed) --- | WETLAND BUFFER | --- (Dashed) --- | PROPOSED TREE DRIP LINE | --- (Stippled) --- | PROPOSED CONCRETE |
| --- 820 --- | PROPOSED MAJOR CONTOURS | --- (Dashed) --- | FLOODWAY | --- (Dashed) --- | EXISTING TREE | --- (Light Grey) --- | PROPOSED LIGHT-DUTY ASPHALT |
| --- 818 --- | PROPOSED MINOR CONTOURS | --- (Dashed) --- | FLOODPLAIN | --- (Dashed) --- | ACCESS EASEMENT | --- (Dark Grey) --- | PROPOSED HEAVY-DUTY ASPHALT |
| --- | DITCH CENTERLINE | --- | PROPERTY LINE | --- | LIMITS OF ENVIRONMENTAL CORRIDOR AND EASEMENT TO THE CITY OF MADISON FOR BIKE PATH, STORMWATER CONVEYANCE, ACCESS, AND MAINTENANCE AND MANAGEMENT OF STORM SEWER & SANITARY SEWER FACILITIES | --- (Pattern) --- | TRACKING PAD |
| --- | DISTURBED LIMITS | --- | LOT LINE | --- | SWALE | | |
| --- | SILT FENCE | --- | RIGHT OF WAY | --- | | | |
| --- | ADA ROUTE | --- | PERMANENT LIMITED EASEMENT (PLE) | --- | | | |
| --- | RETAINING WALL | --- | TEMPORARY LIMITED EASEMENT (TLE) | --- | | | |
| 2.92% | PROPOSED SLOPE ARROWS | | | | | | |
| 1048.61 | EXISTING SPOT ELEVATIONS | | | | | | |
| 1048.61 | PROPOSED SPOT ELEVATIONS | | | | | | |

ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
HP	HIGH POINT
W	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
P	FINISHED PAVEMENT

NOTES:

- 1.) PROPOSED HARD-SCAPE AND UTILITY IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN AS 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
- 2.) 'GREY-SCALED' SPOT ELEVATIONS AND SLOPES REPRESENT PHASE 1 AND 2 DESIGN ELEVATIONS AND DO NOT REPRESENT AS-BUILT CONDITIONS.
- 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- 4.) ADA REQUIREMENTS SPECIFY PARKING STALLS SLOPE BE LESS THAN 2% IN ANY DIRECTION



REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE: 06/18/2020

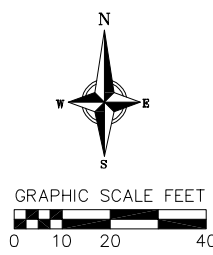
DRAFTER: AMEA

CHECKED: RKOL

PROJECT NO.: 130287

C

5.0

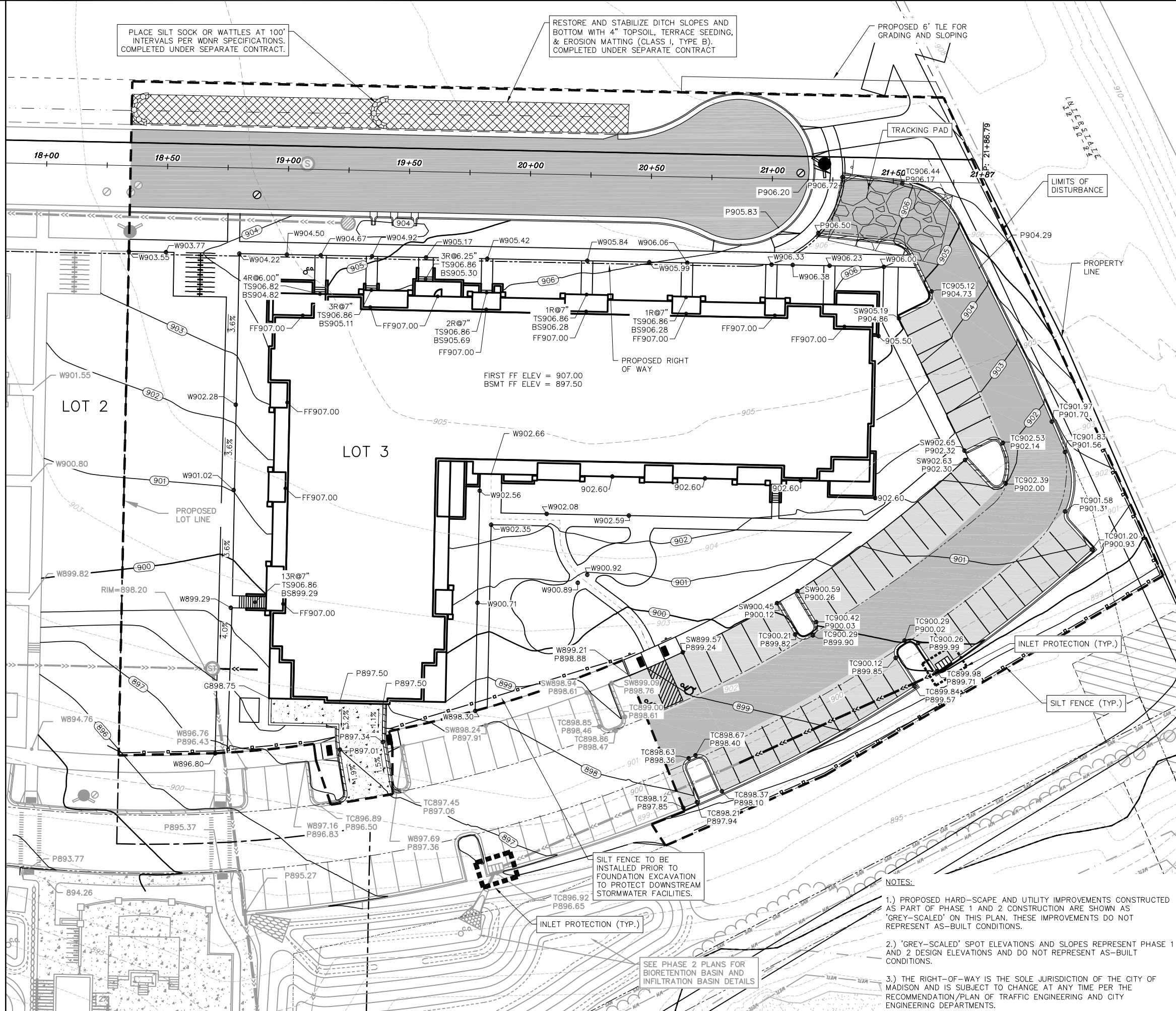


- GRADING AND EROSION CONTROL LEGEND**
- 820- EXISTING MAJOR CONTOURS
 - 818- EXISTING MINOR CONTOURS
 - 820— PROPOSED MAJOR CONTOURS
 - 818— PROPOSED MINOR CONTOURS
 - - - DITCH CENTERLINE
 - - - DISTURBED LIMITS
 - - - SILT FENCE
 - - - ADA ROUTE
 - 2.92% PROPOSED SLOPE ARROWS
 - 1048.61 EXISTING SPOT ELEVATIONS
 - 1048.61 PROPOSED SPOT ELEVATIONS

- SITE LEGEND**
- TRACKING PAD
 - EROSION MAT CLASS 1 TYPE A
 - RIP RAP
 - INLET PROTECTION
 - RETAINING WALL
 - SWALE
 - CURB AND GUTTER (REJECT CURB HATCHED)
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED HEAVY-DUTY ASPHALT
 - TYPE III BARRICADE
 - HANDICAP SIGN

- EXISTING LEGEND**
- WETL- EDGE OF WETLAND
 - WETL- BUFFER WETLAND BUFFER
 - FLOODWAY
 - FLOODPLAIN
 - PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PERMANENT LIMITED EASEMENT (PLE)
 - TEMPORARY LIMITED EASEMENT (TLE)
 - EXISTING TREE DRIP LINE
 - PROPOSED TREE DRIP LINE
 - EXISTING TREE
 - ACCESS EASEMENT
 - LIMITS OF ENVIRONMENTAL CORRIDOR AND EASEMENT TO THE CITY OF MADISON FOR BIKE PATH, STORMWATER CONVEYANCE, ACCESS, AND MAINTENANCE AND MANAGEMENT OF STORM SEWER & SANITARY SEWER FACILITIES

- ABBREVIATIONS**
- TC - TOP OF CURB
 - FF - FINISHED FLOOR
 - HP - HIGH POINT
 - W - TOP OF WALK
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL
 - P - FINISHED PAVEMENT



- NOTES:**
- 1.) PROPOSED HARD-SCAPE AND UTILITY IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN AS 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 2.) 'GREY-SCALED' SPOT ELEVATIONS AND SLOPES REPRESENT PHASE 1 AND 2 DESIGN ELEVATIONS AND DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020

DRAFTER: AMEA

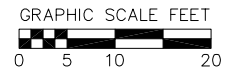
CHECKED: RKOL

PROJECT NO.: 130287

C

5.1

© 2019 Vierbicher Associates, Inc. MAT Wolf Enterprises LLC \130287_5422 Portage Rd\CADD\130287_Base - Phase 3.dwg by: njh 18 Jun 2020 - 10:54a



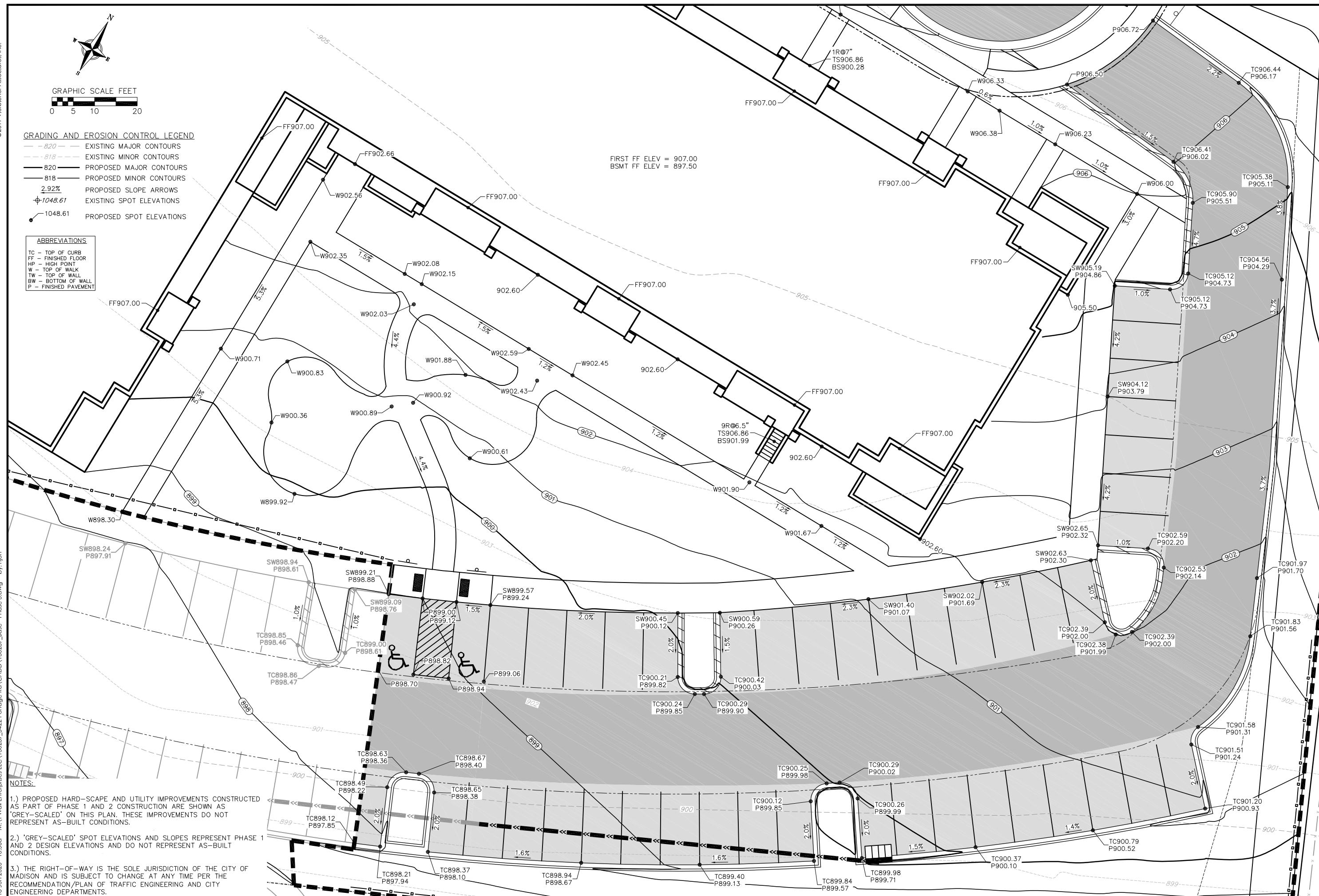
GRADING AND EROSION CONTROL LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 — PROPOSED MAJOR CONTOURS
- 818 — PROPOSED MINOR CONTOURS
- 2.92% PROPOSED SLOPE ARROWS
- +1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

TC	- TOP OF CURB
FF	- FINISHED FLOOR
HP	- HIGH POINT
W	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL
P	- FINISHED PAVEMENT

FIRST FF ELEV = 907.00
BSMT FF ELEV = 897.50



- NOTES:**
- 1.) PROPOSED HARD-SCAPE AND UTILITY IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN AS 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 2.) 'GREY-SCALED' SPOT ELEVATIONS AND SLOPES REPRESENT PHASE 1 AND 2 DESIGN ELEVATIONS AND DO NOT REPRESENT AS-BUILT CONDITIONS.
 - 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN

DATE: 06/18/2020

DRAFTER: AMEA

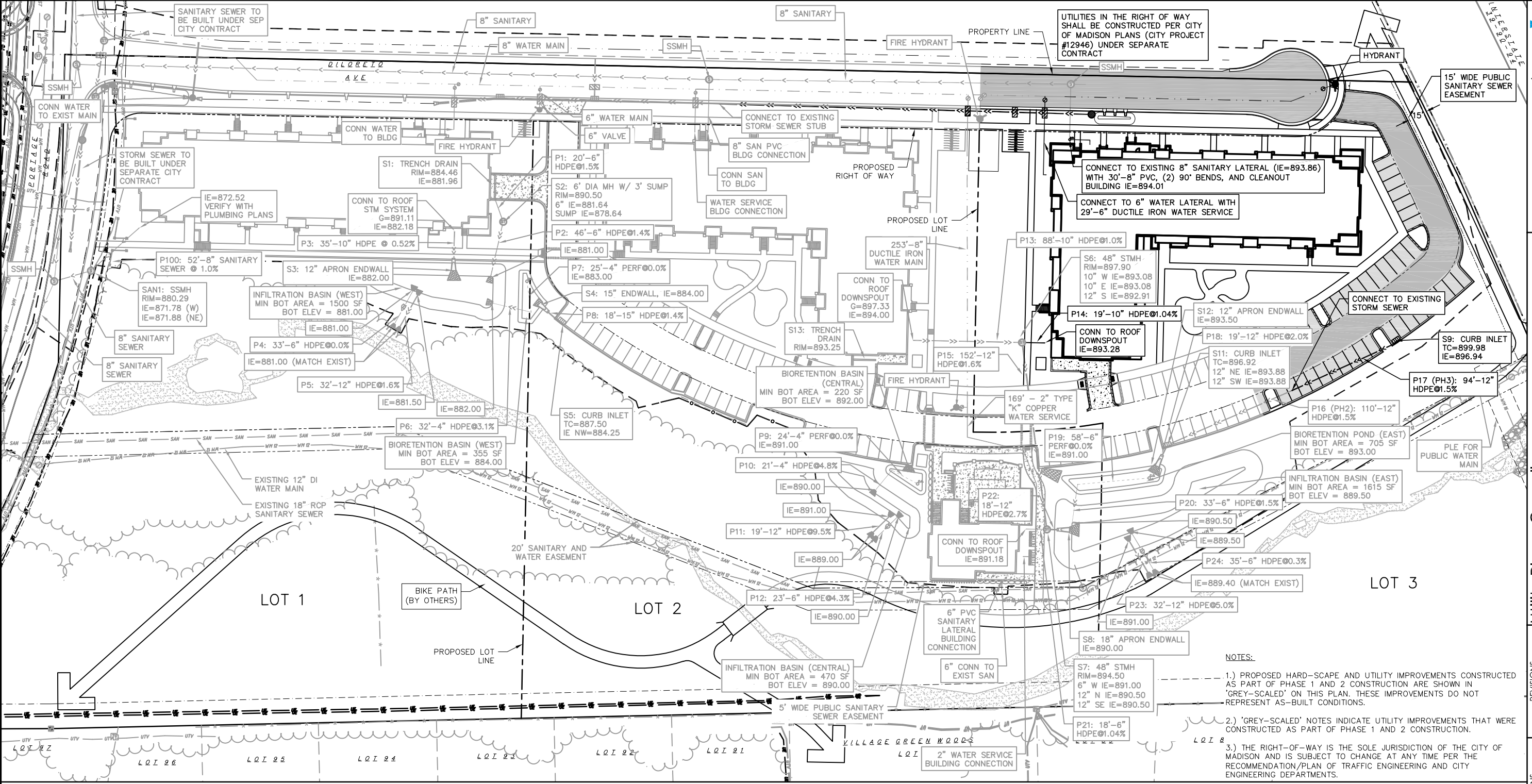
CHECKED: RKOL

PROJECT NO.: 130287

C

5.2

18 Jun 2020 - 11:57a MAT Wolf Enterprises LLC\130287_5422 Portage Rd\CADD\130287_Base - Phase 3.dwg by: njob



NOTES:

- 1.) PROPOSED HARD-SCAPE AND UTILITY IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN IN 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
- 2.) 'GREY-SCALED' NOTES INDICATE UTILITY IMPROVEMENTS THAT WERE CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION.
- 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

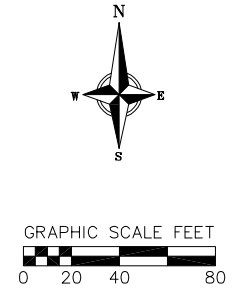
CALL DIGGER'S HOTLINE
 1-800-242-8511
 TOLL FREE
 TELEFAX: 1-800-338-3860
 TDC (FOR HEARING IMPAIRED):
 1-800-542-2289
 WS. STATUTE 182.0175 (1979)
 REQUIRES MINIMUM OF 3 WORKING DAYS
 NOTICE BEFORE YOU EXCAVATE.

PROPOSED UTILITY LEGEND

	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER ENDWALL
	STORM SEWER CURB INLET
	STORM SEWER CURB INLET W/MANHOLE
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	STORM SEWER PIPE TO BE BUILT UNDER SEPARATE CITY CONTRACT
	STORM SEWER MANHOLE TO BE BUILT UNDER SEPARATE CITY CONTRACT
	STORM SEWER ENDWALL TO BE BUILT UNDER SEPARATE CITY CONTRACT
	STORM SEWER FIELD INLET TO BE BUILT UNDER SEPARATE CITY CONTRACT
	STORM SEWER CURB INLET TO BE BUILT UNDER SEPARATE CITY CONTRACT
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER MANHOLE

	SANITARY SEWER PIPE (GRAVITY) TO BE BUILT UNDER SEPARATE CITY CONTRACT
	SANITARY SEWER MANHOLE TO BE BUILT UNDER SEPARATE CITY CONTRACT
	WATER MAIN
	WATER SERVICE LATERAL PIPE
	FIRE HYDRANT
	WATER VALVE
	PROPOSED PIPE INSULATION
	RIP RAP
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	PROPOSED HEAVY-DUTY ASPHALT

	PROPERTY LINE
	LOT LINE
	RIGHT OF WAY
	ACCESS EASEMENT
	SANITARY SEWER EASEMENT
	SWALE
	EXISTING TREE DRIP LINE
	PROPOSED TREE DRIP LINE
	EXISTING TREE



REVISIONS	NO.	DATE	REMARKS

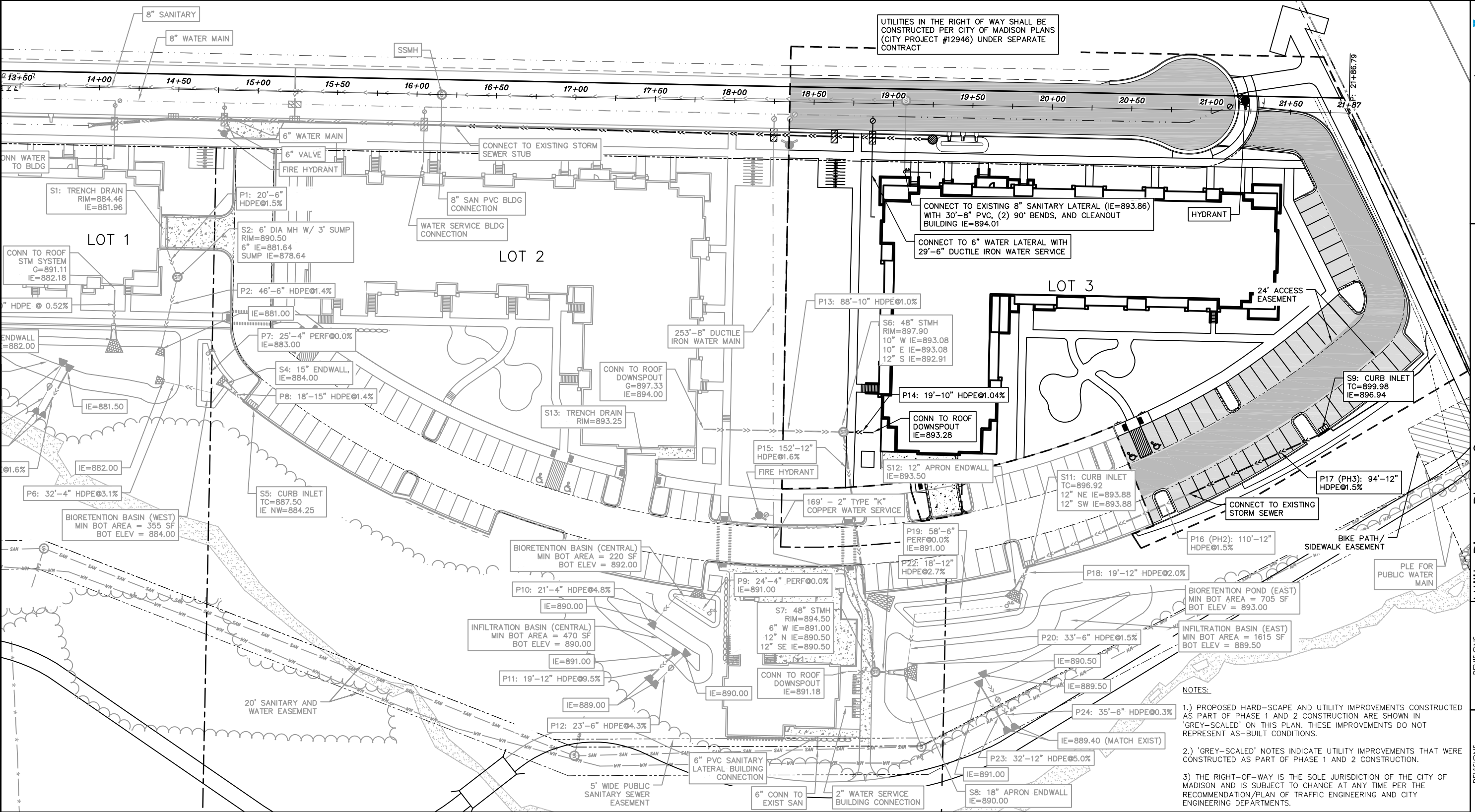
SCALE AS SHOWN

DATE: 06/18/2020
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 130287

C
6.0

©2019 Vierbicher Associates, Inc.

18 Jun 2020 - 11:54a MAT Wolf Enterprises LLC\130287_Portage Rd\CADD\130287_Base - Phase 3.dwg by: njh



UTILITIES IN THE RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY OF MADISON PLANS (CITY PROJECT #12946) UNDER SEPARATE CONTRACT

NO.	DATE	REVISIONS	REMARKS

NOTES:

- 1.) PROPOSED HARD-SCAPE AND UTILITY IMPROVEMENTS CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION ARE SHOWN IN 'GREY-SCALED' ON THIS PLAN. THESE IMPROVEMENTS DO NOT REPRESENT AS-BUILT CONDITIONS.
- 2.) 'GREY-SCALED' NOTES INDICATE UTILITY IMPROVEMENTS THAT WERE CONSTRUCTED AS PART OF PHASE 1 AND 2 CONSTRUCTION.
- 3.) THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE

TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289

WS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

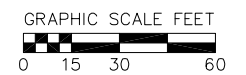
- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER CURB INLET W/MANHOLE
 - STORM SEWER FIELD INLET
 - ROOF DRAIN CLEANOUT
 - STORM SEWER PIPE TO BE BUILT UNDER SEPARATE CITY CONTRACT
 - STORM SEWER MANHOLE TO BE BUILT UNDER SEPARATE CITY CONTRACT
 - STORM SEWER ENDWALL TO BE BUILT UNDER SEPARATE CITY CONTRACT
 - STORM SEWER FIELD INLET TO BE BUILT UNDER SEPARATE CITY CONTRACT
 - STORM SEWER CURB INLET TO BE BUILT UNDER SEPARATE CITY CONTRACT
 - SANITARY SEWER LATERAL PIPE
 - SANITARY SEWER MANHOLE

- SANITARY SEWER PIPE (GRAVITY) TO BE BUILT UNDER SEPARATE CITY CONTRACT
- SANITARY SEWER MANHOLE TO BE BUILT UNDER SEPARATE CITY CONTRACT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- PROPOSED PIPE INSULATION
- RIP RAP
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- ACCESS EASEMENT
- SANITARY SEWER EASEMENT
- SWALE
- EXISTING TREE DRIP LINE
- PROPOSED TREE DRIP LINE
- EXISTING TREE

ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SSMH - SANITARY MANHOLE



SCALE AS SHOWN

DATE 06/18/2020

DRAFTER AMEA

CHECKED RKOL

PROJECT NO. 130287

C

6.1

17 Jun 2020 - 3:52p M:\T Wall Enterprises LLC\130287_Porfage Rd\CADD\130287_Base - Phase 3.dwg By: rjph ©2019 Vierbicher Associates, Inc.

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 12946).

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-8.02 FOR DETAILS.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 12946).
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

DEMOLITION PLAN NOTES:

1. DEMOLITION ACTIVITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEMOLITION PERMIT, INCLUDING BUT NOT LIMITED TO, THE REUSE AND RECYCLING PLAN.

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 12946).

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY).
3. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
4. ROUGH GRADE FOR BUILDING PADS AND WALKS.
5. CONSTRUCT BUILDING
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, AND CURB AND GUTTER.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

UTILITY NOTES:

1. THE PROPOSED PUBLIC WATER MAIN AND WATER SERVICE LATERALS SHALL BE INSTALLED BY A STANDARD CITY OF MADISON CONTRACT FOR SUBDIVISION IMPROVEMENTS.
2. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(4)(d).
3. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(2)(c).
4. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
5. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
6. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
7. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
8. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
9. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
11. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
12. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
13. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
15. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
16. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 12946)
17. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



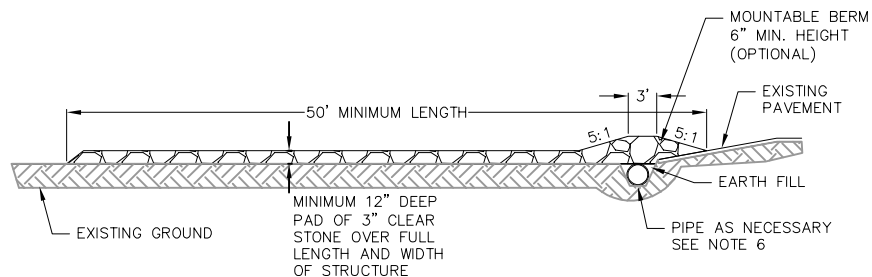
vierbicher
planners | engineers | advisors
Phone: (800) 261-3998

Construction Notes
5422 Portage Road - Phase 3
City of Madison
Dane County, Wisconsin

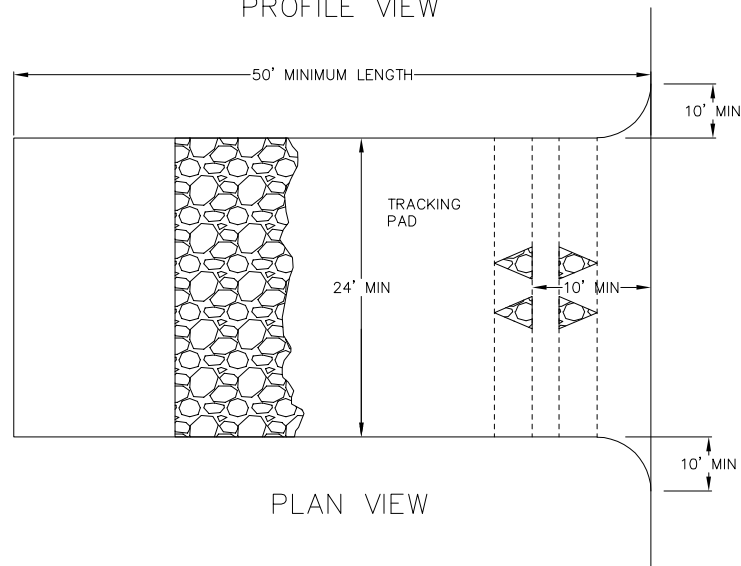
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 06/18/2020
DRAFTER AMEA
CHECKED RKOL
PROJECT NO. 130287

C
7.0



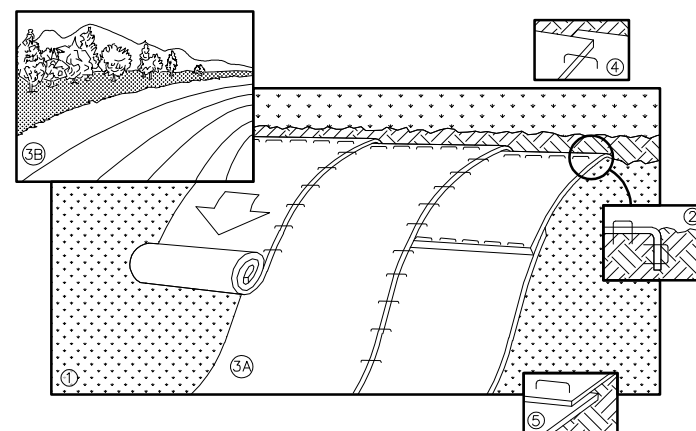
PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

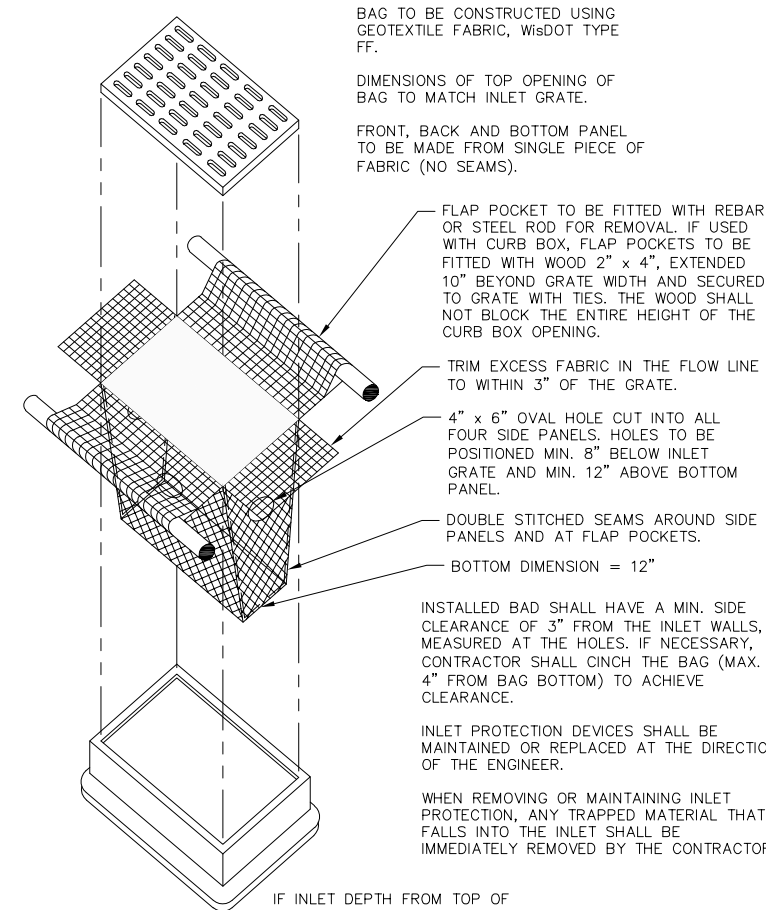
1
7.1 TRACKING PAD
NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

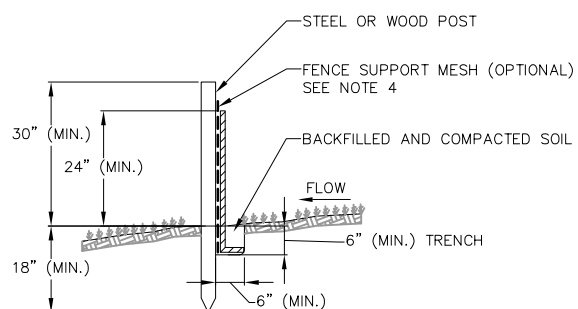
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-0-SEED, DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

2
7.1 EROSION MAT
NOT TO SCALE



IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WISDOT TYPE C INLET PROTECTION.

4
7.1 INLET PROTECTION TYPE D
NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

3
7.1 SILT FENCE
NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

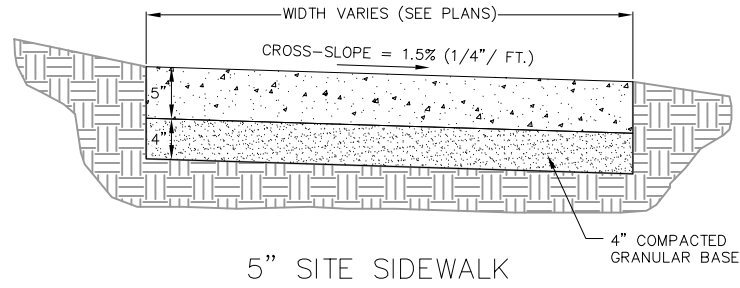
SCALE: AS SHOWN

DATE: 06/18/2020

DRAFTER: AMEA

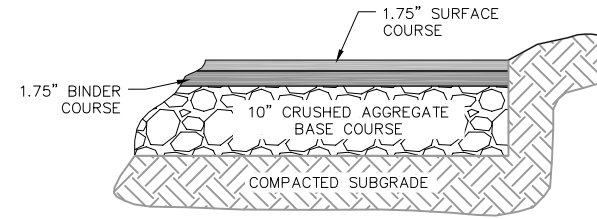
CHECKED: RKOL

PROJECT NO.: 130287



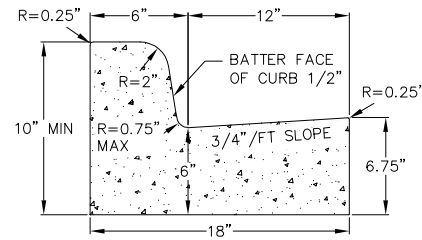
5" SITE SIDEWALK

1 5" SIDEWALK
7.2 NOT TO SCALE

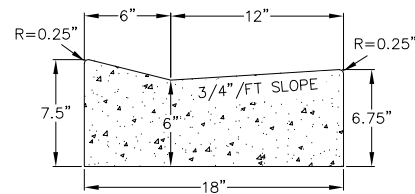


BITUMINOUS PAVEMENT
PARKING LOT

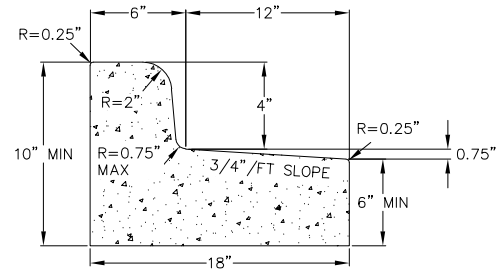
3 LIGHT-DUTY PAVEMENT
7.2 NOT TO SCALE



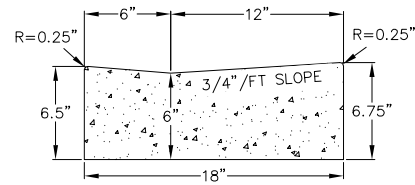
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION

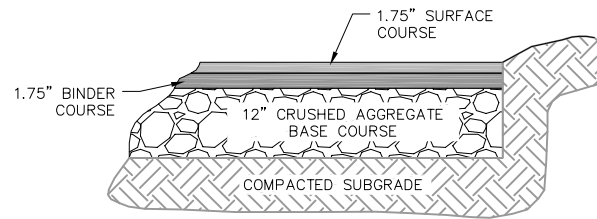


CURB AND GUTTER
REJECT SECTION



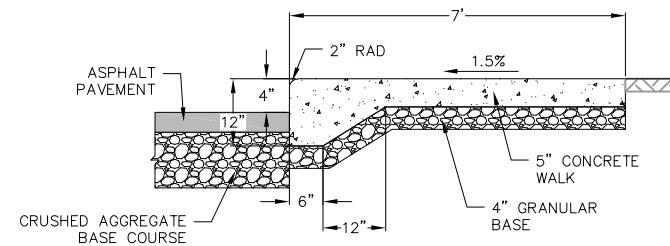
HANDICAP RAMP
GUTTER CROSS SECTION

2 18" CONCRETE CURB AND GUTTER
7.2 NOT TO SCALE



BITUMINOUS PAVEMENT
PARKING LOT

4 HEAVY-DUTY PAVEMENT
7.2 NOT TO SCALE



5 CURBED SIDEWALK SITE DETAIL
7.2 NOT TO SCALE



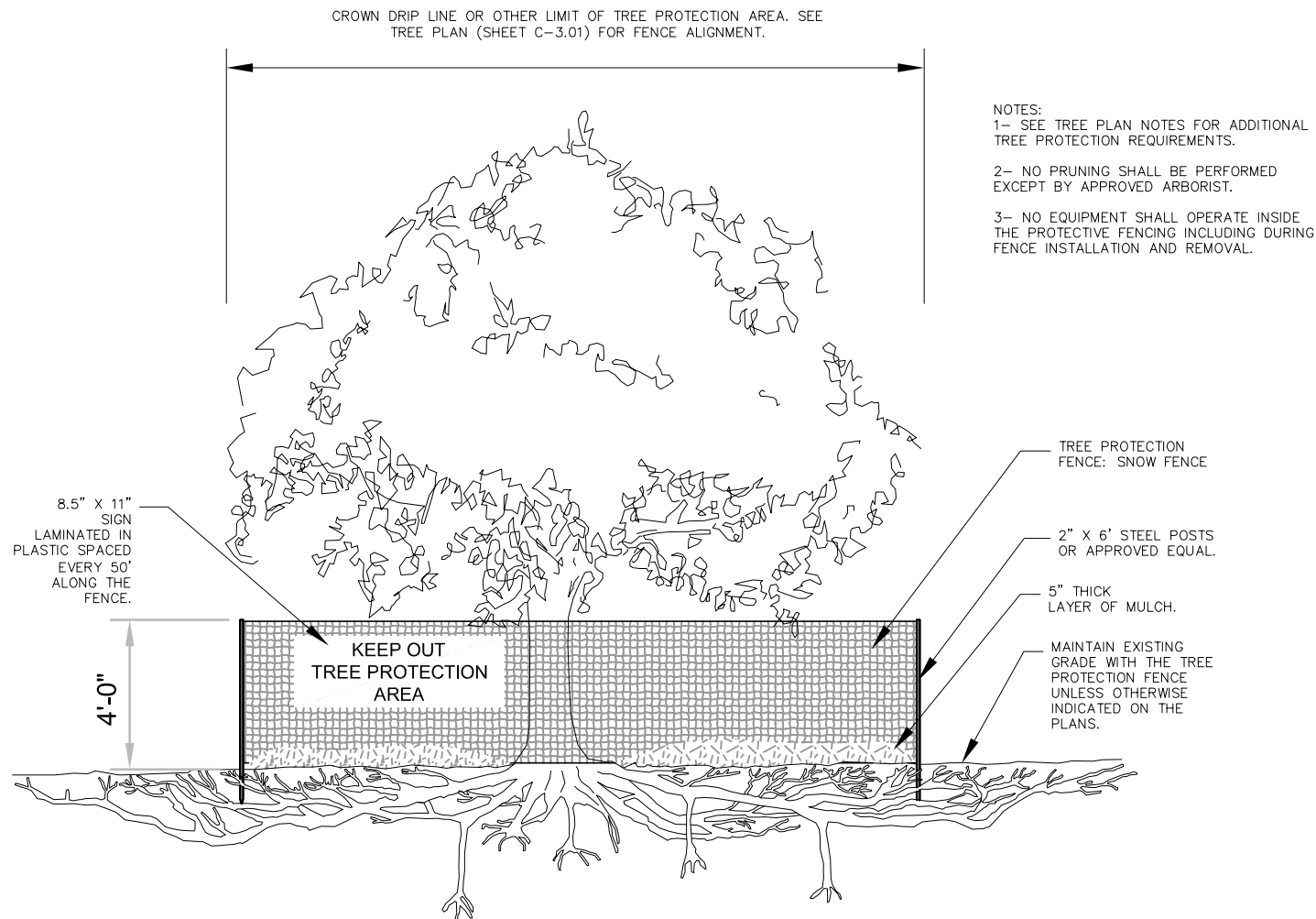
vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

Construction Details
5422 Portage Road - Phase 3
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

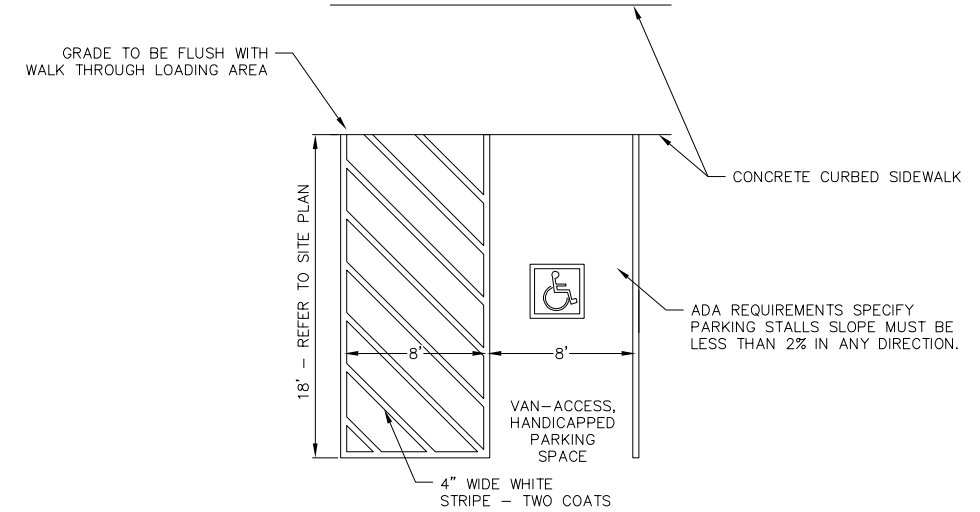
SCALE	AS SHOWN
DATE	06/18/2020
DRAFTER	AMEA
CHECKED	RKOL
PROJECT NO.	130287

C
7.2



NOTES:
 1- SEE TREE PLAN NOTES FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 2- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 3- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

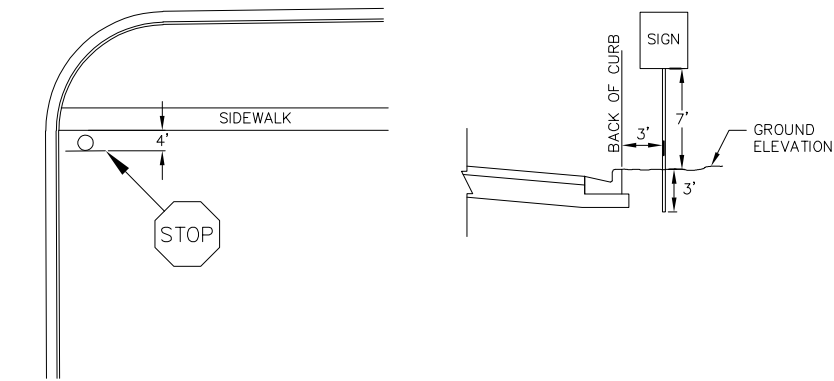
1 TREE PROTECTION FENCE
 7.3 NOT TO SCALE



2 HANDICAP STRIPING
 7.3 NOT TO SCALE

SIGNAGE NOTES:

1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND (IF APPLICABLE).
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



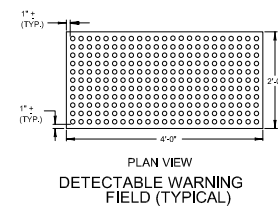
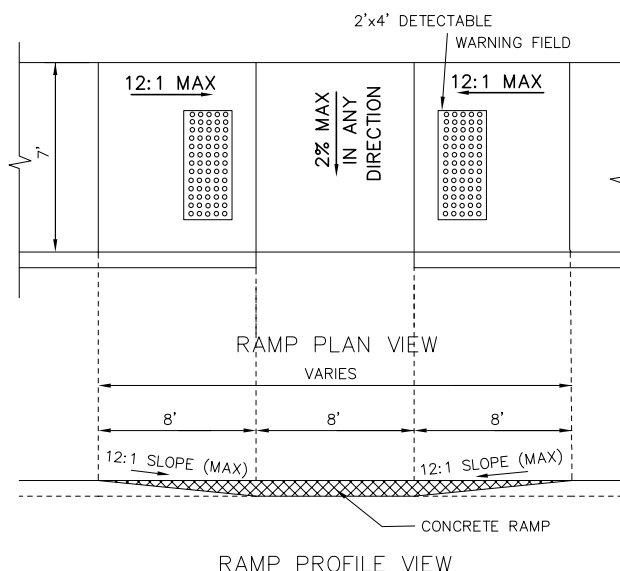
4 STOP SIGN
 7.3 NOT TO SCALE

GENERAL NOTES:

DETAILS OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

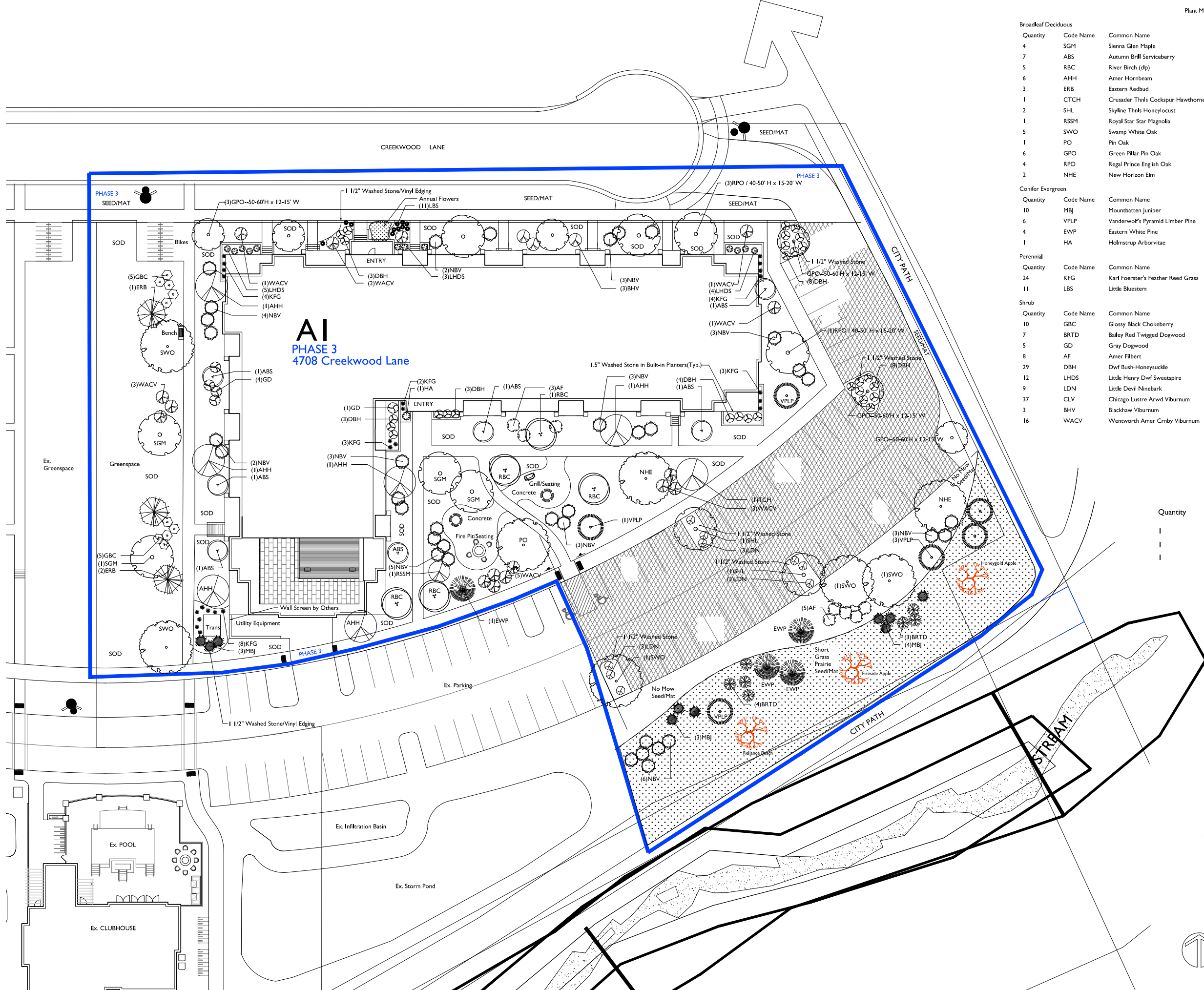
RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER, WHEN NECESSARY. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SAFETY YELLOW.



3 CURB RAMP DETAIL – HANDICAP STALLS
 7.3 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS



A1
PHASE 3
4708 Creekwood Lane

Plant Material List

Broadleaf Deciduous			
Quantity	Code Name	Common Name	Scientific Name
4	SGM	Sienna Glen Maple	Acer X Freemanii 'sienna'
7	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'
5	RBC	River Birch (dp)	Betula Nigra (dp)
6	AHH	Amer Hornbeam	Carpinus Caroliniana
3	ERB	Eastern Redbud	Cercis Canadensis
1	CTCH	Crusader Thins Cockspur Hawthorne	Crataegus Crus-Galli Var Iner
2	SHL	Skyline Thins Honeylocust	Gleditsia Triacina Iner 'skycole'
1	RSSM	Royal Star Star Magnolia	Magnolia Stellata 'royal Star'
5	SWO	Swamp White Oak	Quercus Bicolor
1	PO	Pin Oak	Quercus Palustris
6	GPO	Green Pillar Pin Oak	Quercus Palustris 'springgreen'
4	RPO	Regal Prince English Oak	Quercus Robur 'long'
2	NHE	New Horizon Elm	Ulmus 'new Horizon'

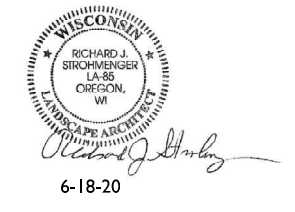
Conifer Evergreen			
Quantity	Code Name	Common Name	Scientific Name
10	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'
6	VPLP	Vanderwolf's Pyramid Limber Pine	Pinus Flexilis 'vanderwolf's Pyramid'
4	EVP	Eastern White Pine	Pinus Strobus
1	HA	Holmstrup Arborvitae	Thuja Occidentalis 'holmstrup'

Perennial			
Quantity	Code Name	Common Name	Scientific Name
24	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'
11	LBS	Little Bluestem	Schizachyrium Scoparium

Shrub			
Quantity	Code Name	Common Name	Scientific Name
10	GBC	Glossy Black Chokeberry	Aronia Melanocarpa Var Elata
7	BRD	Bailey Red Twigg'd Dogwood	Cornus Baileyi
5	GD	Gray Dogwood	Cornus Racemosa
8	AF	Amer Filbert	Corylus Americana
29	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera
12	LHDS	Little Henry Dwf Sweetspire	Itea Virginica 'sprich'
9	LDN	Little Devil Ninebark	Physocarpus Opulifolius 'donna May'
37	CLV	Chicago Lustre Arwd Viburnum	Viburnum Dentatum 'synnstedt'
3	BHV	Blackhaw Viburnum	Viburnum Prunifolium
16	WACV	Wentworth Amer Crnb Viburnum	Viburnum Trilobum 'wentworth'

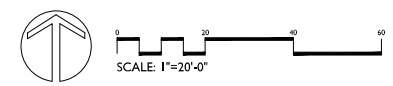
PHASE 3
Fruit Tree Key

Quantity	Common Name	Planting Size
1	Honeygold Apple	#7 Cont.
1	Fireside Apple	#7 Cont.
1	Reliance Peach	#7 Cont.



6-18-20

PHASE 3



the bruce company
 LANDSCAPE ARCHITECTS
 LANDSCAPE CONTRACTORS
 2830 PARKER STREET
 P.O. BOX 620330
 MIDDLETON, WI 53562-0330
 TEL. (608) 836-7041
 FAX (608) 831-6266

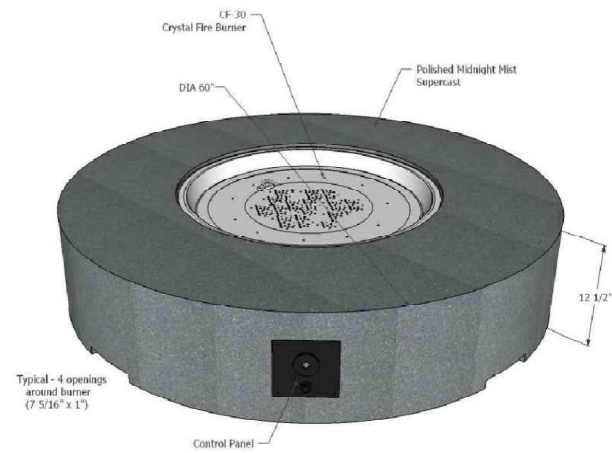
HIDDEN CREEK APARTMENTS
PHASE 3
4708 CREEKWOOD LANE
MADISON, WISCONSIN 53704

Checked By: SS
 Drawn By: 6/18/20 RS

Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:

L1

This plan made exclusively for the project named in the title block. It remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.



CF-DSI-60MT Timer

Short Prairie for Medium Soils #50002

- | | |
|-------------------------|----------------------|
| Wildflowers | |
| Lavender Hyssop | Meadow Blazingstar |
| Nodding Pink Onion | Prairie Blazingstar |
| Butterfly Weed for Clay | Wild Quinine |
| Sky Blue Aster | Smooth Penstemon |
| Smooth Aster | Great Solomon's Seal |
| Canada Milk Vetch | Meadow Rose |
| Lanceleaf Coreopsis | Black Eyed Susan |
| White Prairie Clover | Brown Eyed Susan |
| Purple Prairie Clover | Stiff Goldenrod |
| Shootingstar | Ohio Spiderwort |
| Pale Purple Coneflower | |
| Purple Coneflower | Grasses |
| Rattlesnake Master | Sideoats Grama |
| Roundhead Bushclover | Little Bluestem |
| Rough Blazingstar | Prairie Dropseed |

Contains at least 18 wildflowers and 2 or more grasses.

NOTE: Gas and Electric Supply and Connection by Others

NOTE: Gas Requires 90K BTU

NOTE: See Link Below for Fire Pit Burner Manual
<https://www.outdoorrooms.com/sites/default/files/files/crystal-fire-burner-manual.pdf>

L-300

I

GAS FIRE RING (2 Total)

Outdoor Greatroom Fire Pit with Gas Insert

(400 lbs. approximate weight each)

GENERAL NOTES

- A) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive processed wood mulch rings, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- B) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- C) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- D) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- E) Seed shall consist of the following mixture:
 - 10% Palmer IV Perennial Ryegrass
 - 20% Dragon Kentucky Bluegrass
 - 20% Diva Kentucky Bluegrass
 - 20% Foxy II Creeping Red Fescue
 - 15% Vail II Perennial Ryegrass
 - 15% Ginney Kentucky Bluegrass
- F) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting pegged into the soil with biodegradable staples.
- G) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- H) Areas labeled "No Mow Seed/Mat" shall be seeded with Low Grow Seed Mix with the following mix and overlaid with DS75 straw erosion control netting pegged into soil with biodegradable staples.
 - 34% Sheep Fescue
 - 33% Hard Fescue
 - 33% Chewings Fescue
- I) Areas labeled "Short Grass Prairie" shall be seeded with Prairie Nursery Mix #50002 and overlaid with DS75 straw erosion control netting pegged into soil with biodegradable staples.
- J) Plant beds adjacent to building foundation and parking islands to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
- K) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-
<http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>.
- L) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.

HIDDEN CREEK APARTMENTS

 PHASE 3

 4708 CREEKWOOD LANE

 MADISON, WISCONSIN 53704

Checked By: SS

 Drawn By: 6/18/20 RS

Revised:

 Revised:

 Revised:

 Revised:

 Revised:

 Revised:

 Revised:

L2

This plan made exclusively for the party named in the title block. It remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.