



# City of Madison

## Conditional Use

Location  
201 Corry Street

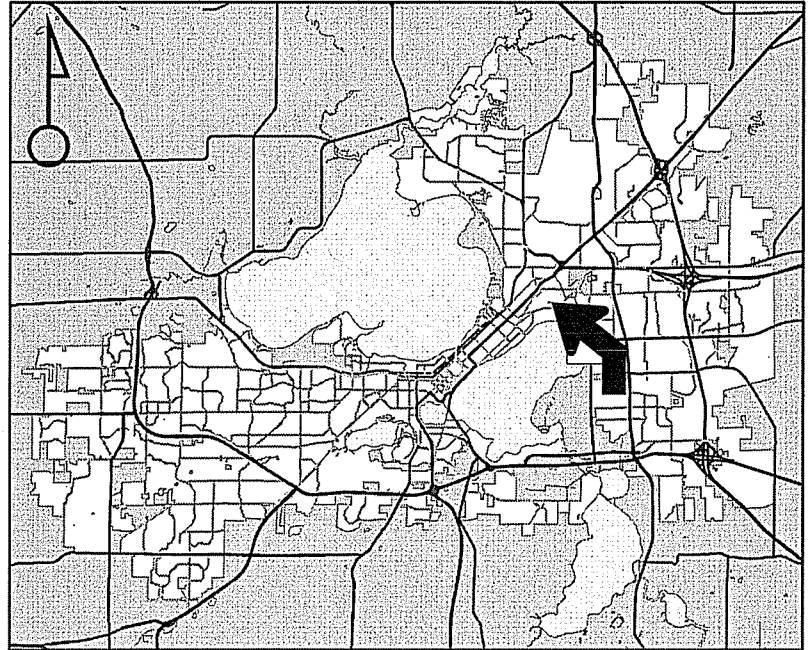
Project Name  
Private Parking Facility –  
Madison-Kipp Corp

Applicant  
Madison-Kipp Corporation / Cliff  
Goodhart, Eppstein Uhen Architects

Existing Use  
Parking Lot

Proposed Use  
Create private parking facility

Public Hearing Date  
Plan Commission  
08 May 2017



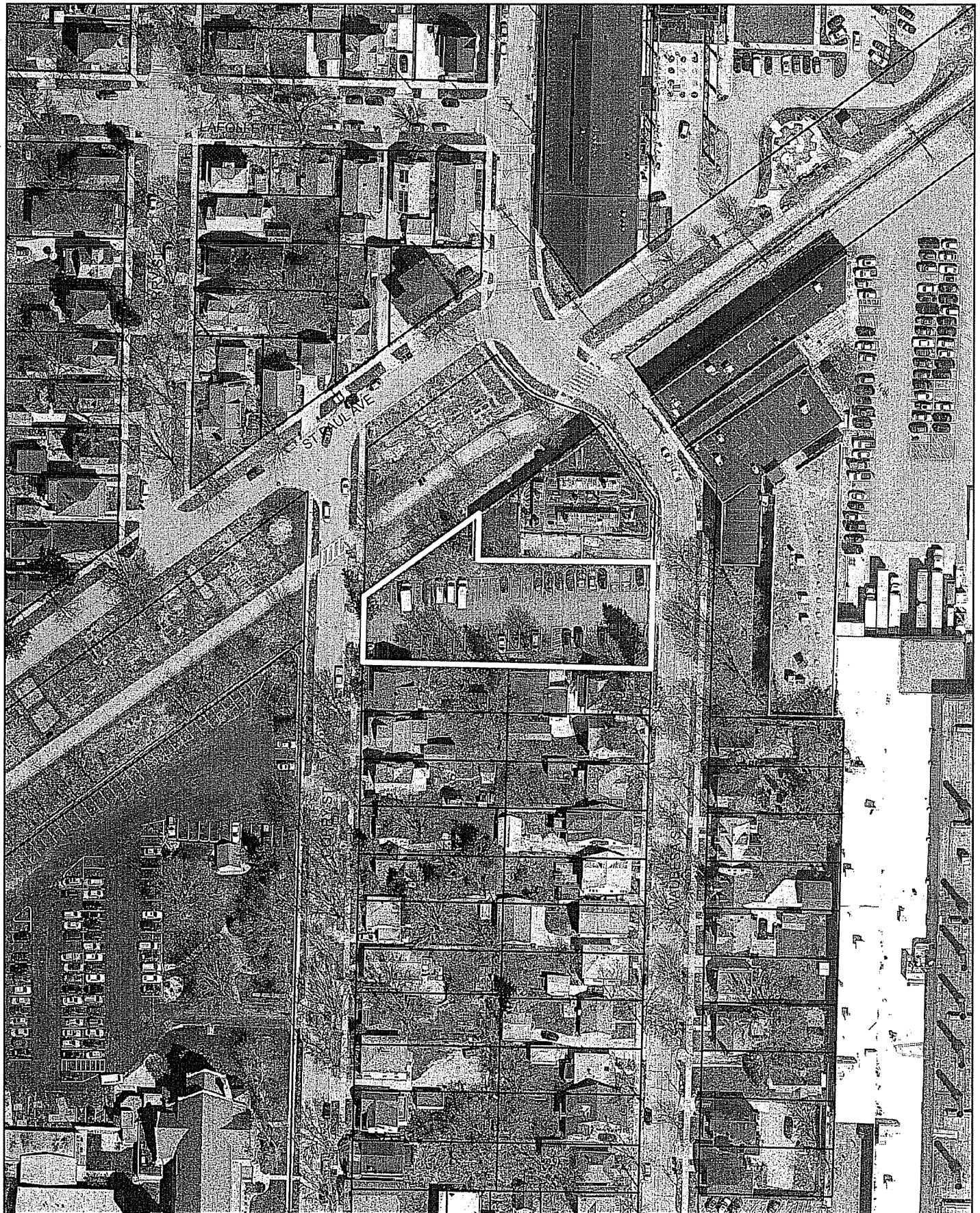
For Questions Contact: Chris Wells at: 261-9135 or [cwells@cityofmadison.com](mailto:cwells@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 1 May 2017

6



**LAND USE APPLICATION**

**LND-B**

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



**FOR OFFICE USE ONLY:**

Paid 600- Receipt # 02797A 0002  
Date received 3/24/17  
Received by JSP  
Parcel # 0710 053 07014  
Aldermanic district 6- Rummel  
Zoning district TE  
Special requirements RR FRONTAGE  
Review required by \_\_\_\_\_  
 UDC  PC  
 Common Council  Other \_\_\_\_\_  
Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

**1. Project Information**

Address: 201 Corry Street  
Title: Private Parking Facility for Madison-Kipp Corporation

**2. This is an application for (check all that apply)**

- Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use - Private Parking Facility
- Demolition Permit
- Other requests

**3. Applicant, Agent and Property Owner Information**

Applicant name Cliff Goodhart Company Eppstein Uhen Architects  
Street address 309 West Johnson Street City/State/Zip Madison, WI 53705  
Telephone 442-6684 Email cliffg@eua.com

Project contact person See above Company \_\_\_\_\_  
Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Email \_\_\_\_\_

Property owner (if not applicant) Madison-Kipp Corporation  
Street address 210 Waubesa Street City/State/Zip Madison, WI 53704  
Telephone 242-5339 Email tkoblinski@madison-kipp.com

6

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Private parking facility related to new CSM application for 214 Waubesa Street and 201 Corry Street

Scheduled start date July, 2017 Planned completion date July, 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Chris Wells Date February 7, 2017
Zoning staff Jenny Kirchgatter Date February 7, 2017

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)
Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices: Met with Alder February 12, 2017, official notification sent to alder February 14, Met with SASY neighborhood association March 1, 2017.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Cliff Goodhart Relationship to property Architect
Authorizing signature of property owner [Signature] Date 3/20/17

6



March 22, 2017

Plan Commission:

Madison-Kipp Corporation is pleased to submit this Conditional Use and CSM application for the reconfiguration of a Private Parking Facility at 201 Corry Street. This project is being initiated in order to assist the Goodman Community Center with their expansion plans at the former Madison Brass works building, which occupies the adjacent parcel. That project is also being submitted for Conditional Use approval under a separate application.

Presently, a large portion of the Brass Works building is constructed along the common Madison-Kipp property line with no setback. Relocating the common property line enables a new Brass Works addition to be constructed with a setback that permits windows in the building and a sidewalk in front of the parking stalls.

Two lots presently exist and their common property line will be moved south. The size of Madison-Kipp's parcel will be reduced from approximately 21,250 SF to 15,959 SF and the existing parking lot will be reconfigured to conform with the City's parking lot standards. The northern lot (Lot 1) presently contains a vacant manufacturing building that will be renovated by the Goodman Center for an expansion of their programs.

The work is scheduled to begin in the summer of 2017, with completion of projects on both lots expected by fall, 2018. The project team consists of:

- Madison Kipp Corporation – Owner Lot 2
- Goodman Community Center – Owner Lot 1
- Eppstein Uhen Architects – Building Designer
- Ken Saiki Design – Landscape Architect
- Snyder Associates – Civil Engineer
- Vogel Brothers Building Co. – General Contractor

Sincerely,

Madison-Kipp Corporation

A handwritten signature in black ink, appearing to read "Anthony C. Koblinski", is written over the printed name.

Anthony C. Koblinski  
President and CEO



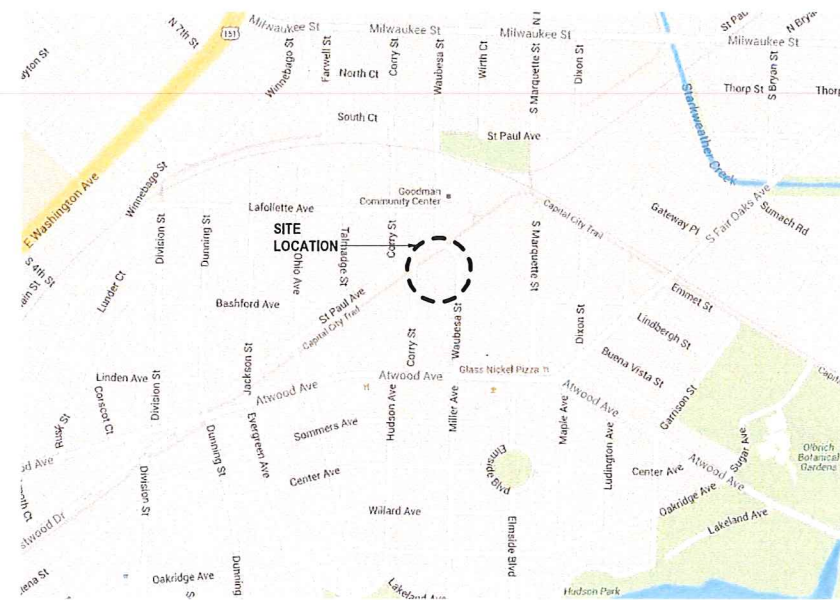


# PRIVATE PARKING FACILITY - MADISON-KIPP CORP.

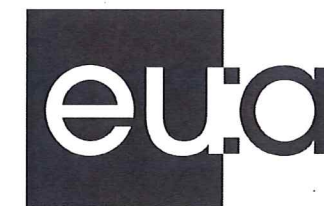
201 CORRY STREET, MADISON, WI

## INDEX

- C100 EXISTING SITE PLAN
- C101 DEMOLITION PLAN
- C200 PROPOSED SITE PLAN
- C300 GRADING AND UTILITY PLAN
- C301 EROSION CONTROL PLAN
- C400 MISC. DETAILS
- C401 MISC. DETAILS
- L100 LANDSCAPE PLAN
- L101 LANDSCAPE DATA
- E101 SITE PLAN PHOTOMETRICS



VICINITY MAP



epstein uhen : architects

## PLAN COMMISSION SUBMITTAL

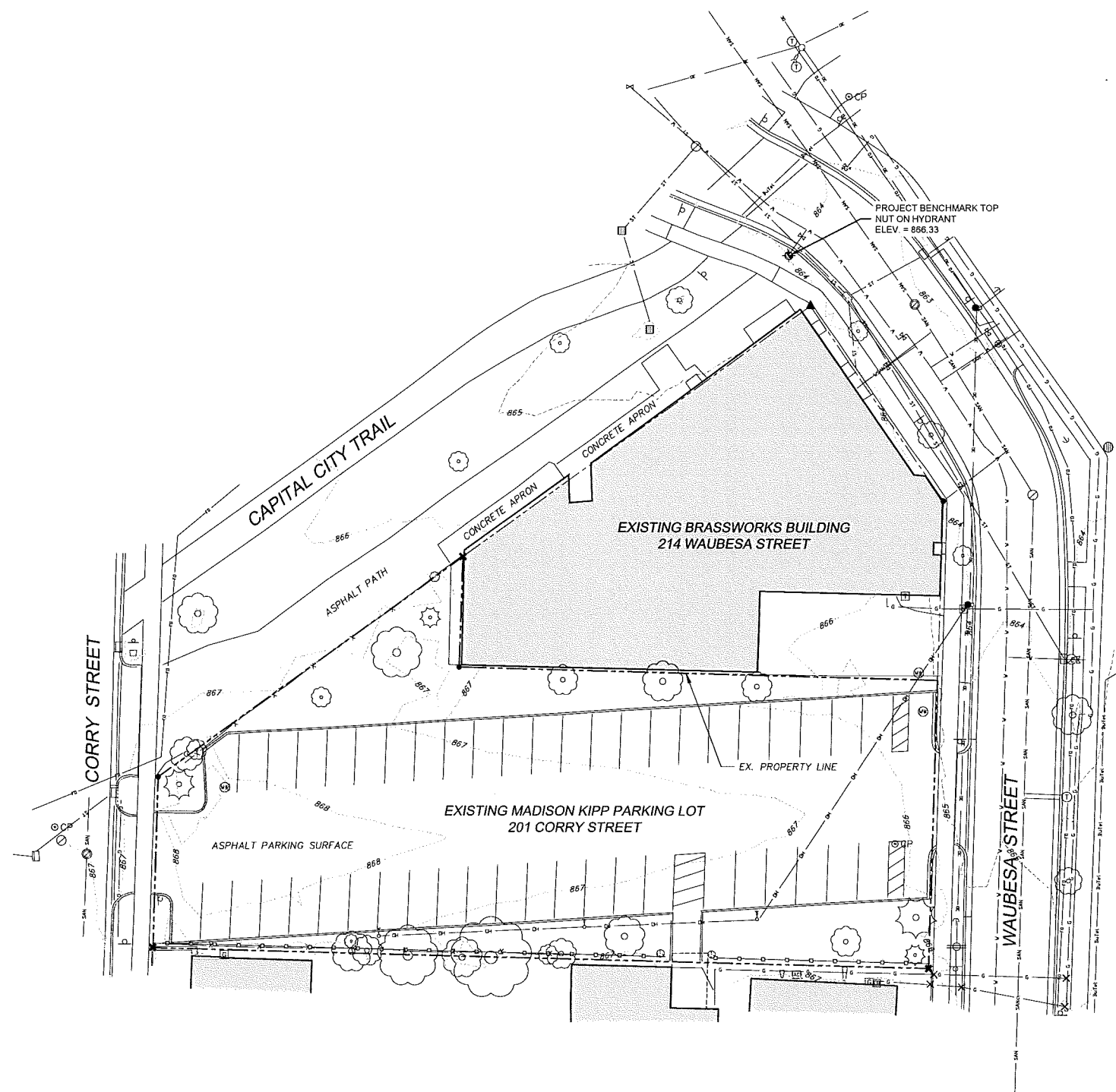
03/22/2017

PROJECT NUMBER: 716140-01



**LEGEND**

- ST - ST - STORM SEWER LINE
- W - W - WATER MAIN LINE
- SAN - SAN - SANITARY SEWER LINE
- OH - OH - OVERHEAD UTILITY LINE
- G - G - BURIED GAS LINE
- TEL - TEL - BURIED TELEPHONE LINE
- E - E - BURIED ELECTRIC LINE
- CTV - CTV - BURIED CABLE TV LINE
- FO - FO - BURIED FIBER OPTIC LINE
- X - X - FENCE LINE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- DECIDUOUS TREE (SIZE VARIES)
- CONIFEROUS TREE (SIZE VARIES)
- BENCH MARK
- UTILITY POLE W/LIGHT
- AIR CONDITIONER
- STORM SEWER MANHOLE
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- TELEPHONE JUNCTION BOX
- GAS METER
- CABLE TV BOX
- MONITORING WELL
- SQUARE INTAKE/INLET
- TRAFFIC SIGN



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
WS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

**GENERAL NOTES**

- A. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE
- B. CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE
- C. EXISTING SITE CONDITIONS BASED ON SURVEY BY DESIGN ENGINEER.
- D. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER CITY SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED.
- E. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.



**epstein uhen : architects**  
 milwaukee 333 East Chicago Street  
 Milwaukee, Wisconsin 53202  
 telephone 414.271.5350  
 madison 309 West Johnson Street, Suite 202  
 Madison, Wisconsin 53703  
 telephone 608.442.5350

**PROJECT INFORMATION**

**PRIVATE PARKING FACILITY - MADISON KIPP CORP.**

**201 CORRY STREET, MADISON, WI**

**ISSUANCE AND REVISIONS**

PLAN COMMISSION SUBMITTAL

#	DATE	DESCRIPTION

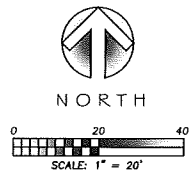


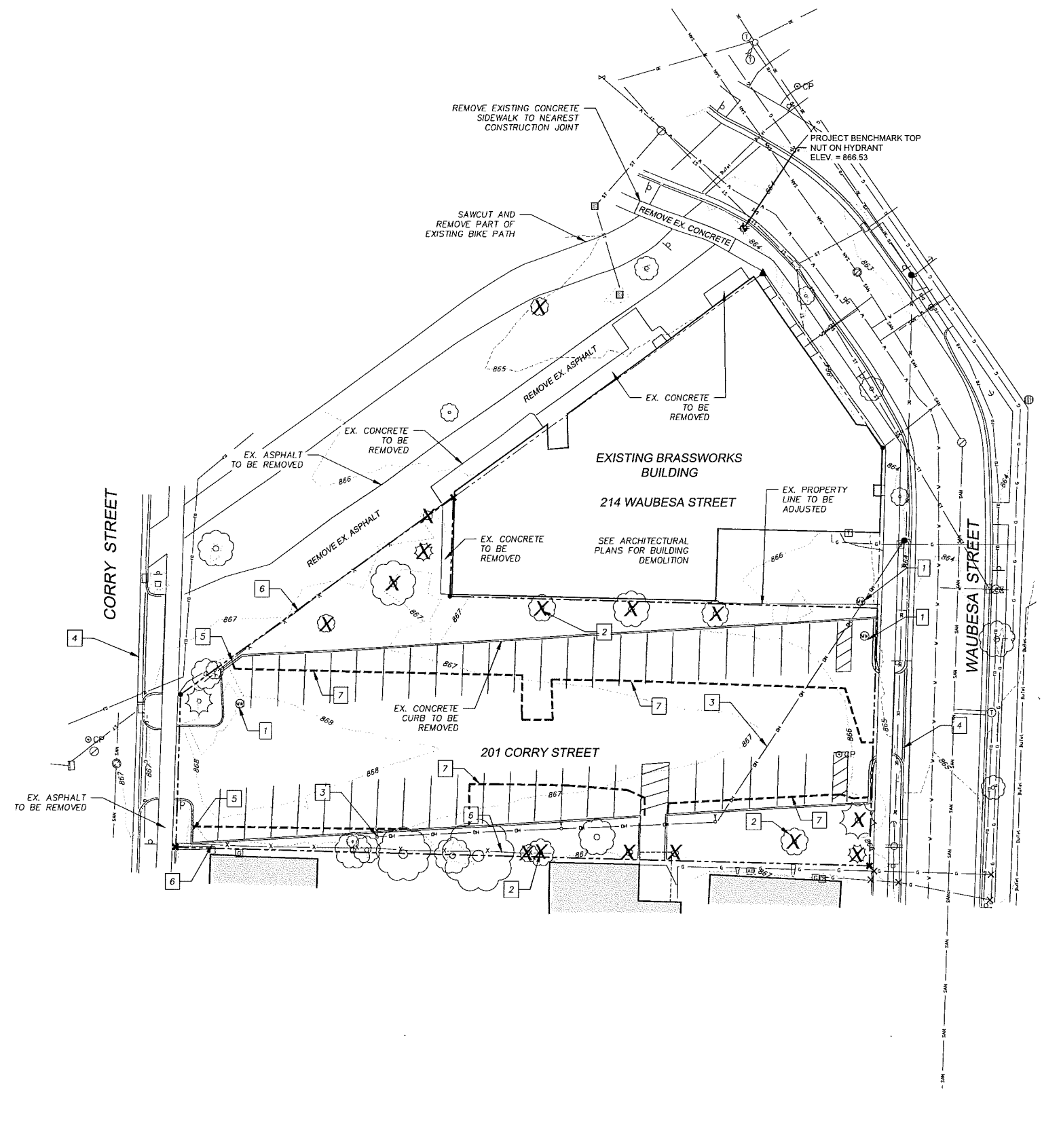
**SHEET INFORMATION**

PROJECT MANAGER CG  
 PROJECT NUMBER 716140-01  
 DATE 03/22/2017

**EXISTING SITE PLAN**

**C100**





**KEY NOTES**

1. PROTECT MONITORING WELL DURING CONSTRUCTION. ADJUST MONITORING WELL CASTING TO NEW GRADE.
2. REMOVE TREE AND ROOT BALL FOR NEW CONSTRUCTION.
3. REMOVE OVERHEAD LINES AND POLES WITHIN PROJECT LIMITS. COORDINATE LOCATION OF NEW PARKING LOT LIGHT POLES AND ELECTRIC SUPPLY FOR SUCH.
4. REMOVE EXISTING DRIVEWAY APRON AND CORRESPONDING CURB & GUTTER. CONTRACTOR SHALL SAWCUT ALL EDGES OF PAVEMENT AS NEEDED TO REMOVE CONCRETE AS NOTED. ANY ASPHALT PATCHING IN CORRY OR WAUBESA STREET SHALL FOLLOW CITY OF MADISON CRITERIA.
5. BEGIN CURB & GUTTER REMOVAL.
6. EXISTING FENCE TO BE REMOVED.
7. APPROXIMATE SAWCUT LIMITS.

**GENERAL NOTES**

- A. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- B. CONTRACTOR SHALL OBTAIN PERMIT TO WORK IN RIGHT OF WAY FROM THE CITY OF MADISON PRIOR TO THE START OF WORK.
- C. EROSION CONTROL SHALL BE INSTALLED PRIOR TO THE START OF WORK ON DEMOLITION ACTIVITIES.



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**PROJECT INFORMATION**

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**201 CORRY STREET, MADISON, WI**

**ISSUANCE AND REVISIONS**

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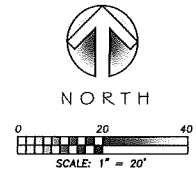


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 DATE 03/22/2017

**DEMOLITION PLAN**

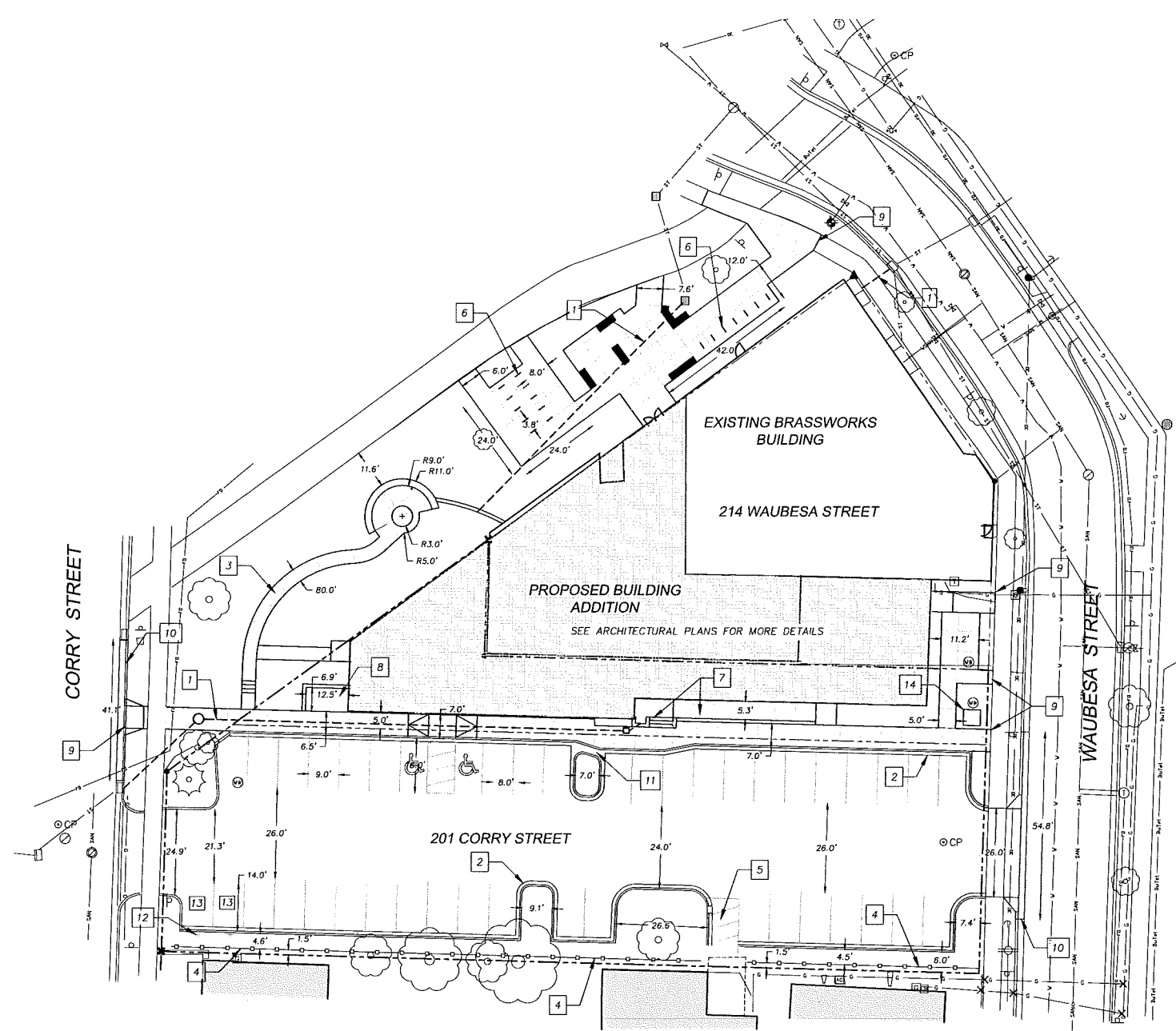
**C101**



D  
C  
B  
A



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
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 TOLL FREE  
 WS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



214 WAUBESA STREET SITE DATA	201 CORRY STREET SITE DATA
<b>ZONING DISTRICT:</b> TE - TRADITIONAL EMPLOYMENT DISTRICT	<b>ZONING DISTRICT:</b> TE - TRADITIONAL EMPLOYMENT DISTRICT
<b>TOTAL SITE AREA:</b> 16,754 SF	<b>TOTAL SITE AREA:</b> 15,959 SF
<b>NON OPEN SPACE:</b> 14,187 SF (84.6%) (LOT COVERAGE)	<b>PRO. IMPERVIOUS:</b> 13,493 SF (84.6%) (LOT COVERAGE)
<b>OPEN SPACE:</b> 2,567 SF (15.3%)	<b>PRO. PERVIOUS:</b> 2,466 SF (15.4%)
<b>PARKING REQUIREMENTS</b> PARKING REQUIRED - DETERMINED BY ZONING ADMINISTRATOR PARKING PROVIDED - 0	<b>PARKING REQUIREMENTS</b> PARKING REQUIRED - 0 PARKING PROVIDED - 43
<b>BUILDING HEIGHTS</b> 30' MAXIMUM	<b>BUILDING HEIGHTS</b> NO BUILDINGS
<b>BUILDING SETBACKS</b> FRONT = NONE REAR = 20' SIDE YARD = NONE TWO STORY 6' MAX LOT COVERAGE = 85%	<b>BUILDING SETBACKS</b> FRONT = NONE REAR = 20' SIDE YARD = NONE AT NORTH, AS REQUIRED BY RESIDENTIAL DISTRICT ON SOUTH  MAX LOT COVERAGE = 85%
	<b>PAVED AREA:</b> 13,493 SF (84.6%) <b>BUILDING AREA:</b> 0 SF (0.0%) <b>PAVED PERVIOUS:</b> 2,466 SF (15.4%)

**UTILITY COMPANY INFORMATION:**

ELECTRICITY - ALLIANT - 608-233-2014  
 NATURAL GAS - MG&E - 608-252-7373  
 PHONE - AT&T - 800-778-9140  
 COMMUNICATIONS - CHARTER - 877-906-9121  
 SANITARY SEWER - CITY OF MADISON - 608-265-4430  
 WATER SERVICE - CITY OF MADISON - 608-266-4651

**NOTE:**

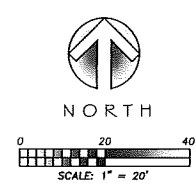
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

**FIRE LANE:**

WAUBESA STREET WILL ACT AS THE FIRE LANE ACCESS TO THE EAST SIDE OF THE BUILDING.  
 THE PARKING LOT AREA OFF OF CORRY STREET AND WAUBESA STREET WILL BE THE FIRE LANCE ACCESS TO THE SOUTH OF THE BUILDING.

**KEY NOTES**

1. PROPOSED STORM SEWER LINE.
2. PROPOSED 18" CONCRETE CURB & GUTTER.
3. PROPOSED CONCRETE SIDEWALK.
4. PROPOSED 6' HIGH WOODED FENCE.
5. MAINTAIN ACCESS TO EXISTING ONE STALL CARPORT.
6. CITY OF MADISON APPROVED BIKE RACK, TYP.
7. RAMP DOWN & STAIRS TO PROPOSED NEW DOORWAY
8. PROPOSED TRASH ENCLOSURE
9. CONNECT TO CITY SIDEWALK
10. REMOVE EXISTING DRIVEWAY CUT, ADD NEW 30" CURB & GUTTER THAT MATCHES IN PLACE CURB. ALL SAWCUT AND PATCHING SHALL IN STREET SHALL FOLLOW CITY OF MADISON STANDARDS FOR SUCH.
11. PASS THRU CURB & GUTTER FOR TREE ISLAND
12. SIGN STATING "COMPACT CAR PARKING ONLY"
13. COMPACT PARKING STALLS
14. PROPOSED TRANSFORMER LOCATION



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 madison 309 West Johnson Street, Suite 202  
 Madison, Wisconsin 53703  
 telephone 608.442.5350

**PROJECT INFORMATION**

**PRIVATE PARKING FACILITY - MADISON KIPP CORP.**

**201 CORRY STREET, MADISON, WI**

**ISSUANCE AND REVISIONS**

**PLAN COMMISSION SUBMITTAL**

#	DATE	DESCRIPTION



**SHEET INFORMATION**

PROJECT MANAGER CG  
 PROJECT NUMBER 716140-01  
 DATE 03/22/2017

**PROPOSED SITE PLAN**

**C200**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
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**PROJECT INFORMATION**  
**PRIVATE PARKING FACILITY - MADISON KIPP CORP.**  
 201 CORRY STREET, MADISON, WI

**ISSUANCE AND REVISIONS**  
**PLAN COMMISSION SUBMITTAL**

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**GRADING & UTILITY PLAN**

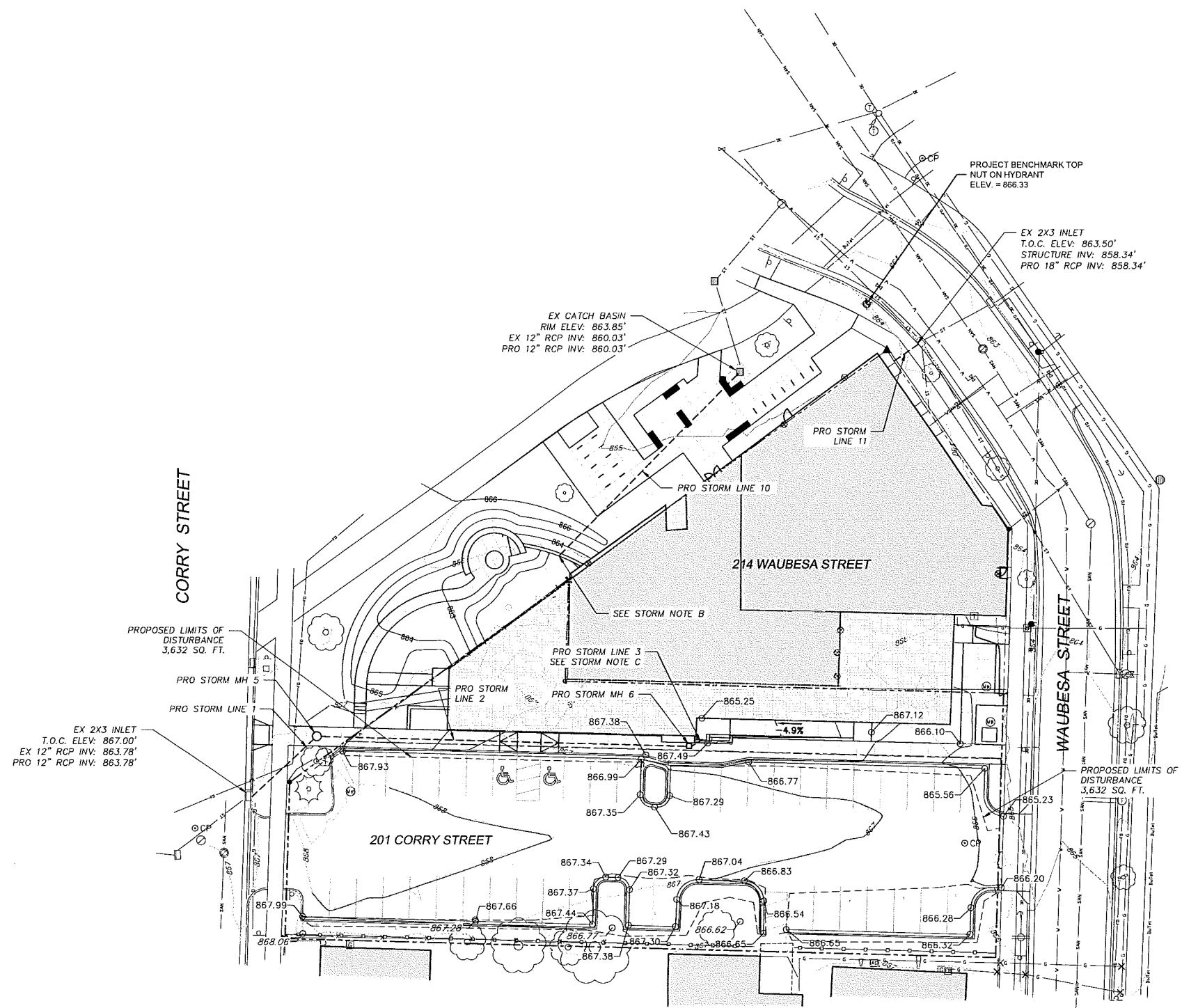
**C300**

**214 WAUBESA STREET GENERAL NOTES**

A. THE LIMITS OF DISTURBANCE SHOWN IS THE AREA IN WHICH THE GRADE IS CHANGING. OTHER AREAS OUTSIDE OF THE DISTURBANCE LINE WILL HAVE THE ASPHALT REMOVED AND REPLACES AS NEEDED AS PART OF THE CONSTRUCTION.

**201 CORRY STREET GENERAL NOTES**

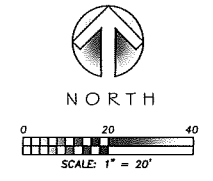
1. THE LIMITS OF DISTURBANCE SHOWN IS THE AREA IN WHICH THE GRADE IS CHANGING. OTHER AREAS OUTSIDE OF THE DISTURBANCE LINE WILL HAVE THE ASPHALT REMOVED AND REPLACES AS NEEDED AS PART OF THE CONSTRUCTION.



**STORM SEWER NOTES**

- |                                    |   |
|------------------------------------|---|
| STORM LINE 1 - 28'~12" RCP @ 0.5%  | A. EXTEND STORM LINE 11 TO PROPERTY LINE AT ELEV: 858.44'. BUILDING PLUMBER WILL CONNECT FROM THERE.              |
| STORM LINE 2 - 123'~12" RCP @ 0.5% | B. DAYLIGHT STORM LINE 10 TO KNEE WALL AT ELEV: 860.46'. PROVIDE DECORATIVE COVER OVER PIPE FOR RODENT DETERRENT. |
| STORM LINE 3 - 4'~8" PVC @ 11.5%   | C. DAYLIGHT STORM LINE 3 TO KNEE WALL AT ELEV: 865.00'. PROVIDE DECORATIVE COVER OVER PIPE FOR RODENT DETERRENT.  |
| STORM LINE 10 - 86'~12" RCP @ 0.5% |   |
| STORM LINE 11 - 10'~15" RCP @ 1.0% |   |

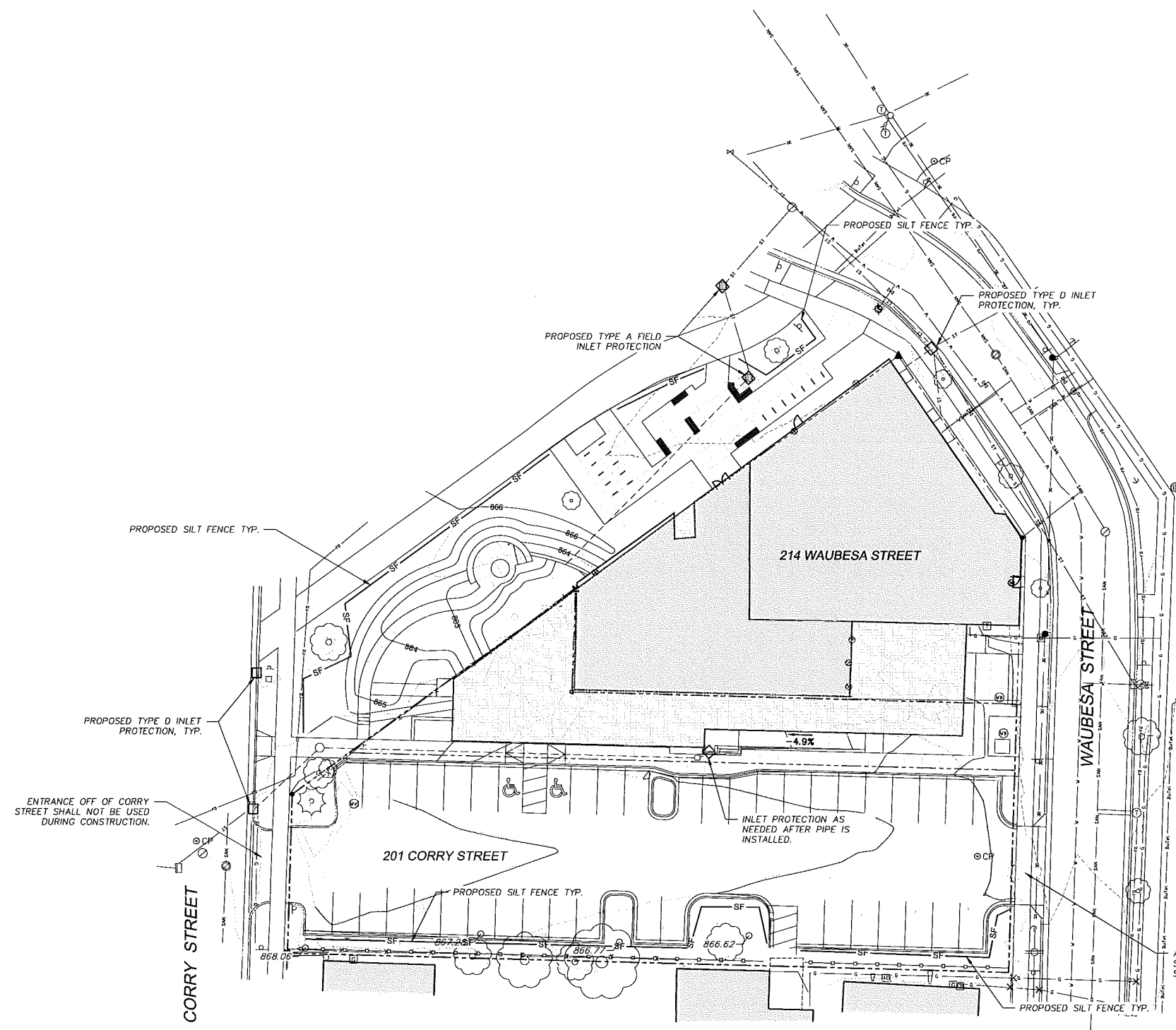
- |  |   |
|--|---|
| <b>STORM MH 5</b><br>4' DIA PRECAST NEENAH SOLID LID 1500<br>RIM ELEV: 867.30<br>SW 12" INV: 863.92'<br>E 12" INV: 863.92'<br>DEPTH: 3.38' | <b>STORM MH 6</b><br>CUSTOM 2'X2' SQUARE CONCRETE CAST IN PLACE NEENAH SOLID LID 1500<br>RIM ELEV: 867.50<br>W 12" INV: 864.54'<br>NE 8" INV: 864.54'<br>DEPTH: 2.96' |
|--|---|



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**EROSION CONTROL NOTES**

- ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.
- SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.
- CONSTRUCTION TRAFFIC SHALL USE THE WAUBESA STREET ENTRANCE ONLY. THE CARRY STREET ENTRANCE SHALL NOT BE USED DURING CONSTRUCTION.
- WAUBESA STREET SHALL BE SWEEPED ON A AS NEEDED BASIS.



**eua**  
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 madison 309 West Johnson Street, Suite 202  
 Madison, Wisconsin 53703  
 telephone 608.442.5390

**PROJECT INFORMATION**  
 PRIVATE PARKING FACILITY - MADISON  
 KIPP CORP.  
 201 CARRY STREET,  
 MADISON, WI

**ISSUANCE AND REVISIONS**  
 PLAN COMMISSION  
 SUBMITTAL

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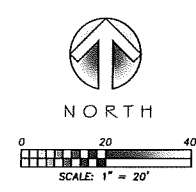


**SHEET INFORMATION**

PROJECT MANAGER CG  
 PROJECT NUMBER 716140-01  
 DATE 03/22/2017

**EROSION CONTROL PLAN**

**C301**

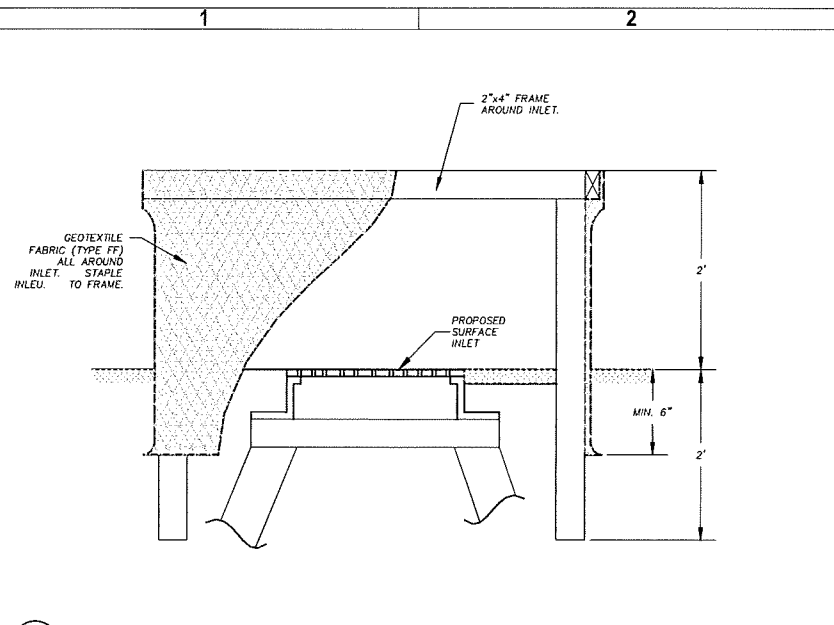


ALL CONSTRUCTION TRAFFIC SHALL USE THE WAUBESA STREET ENTRANCE

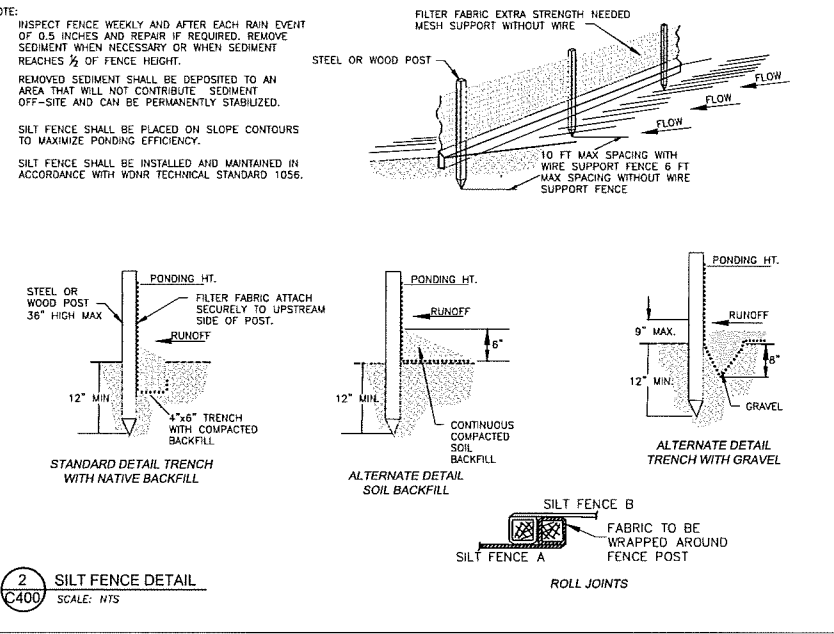
ENTRANCE OFF OF CARRY STREET SHALL NOT BE USED DURING CONSTRUCTION.

INLET PROTECTION AS NEEDED AFTER PIPE IS INSTALLED.

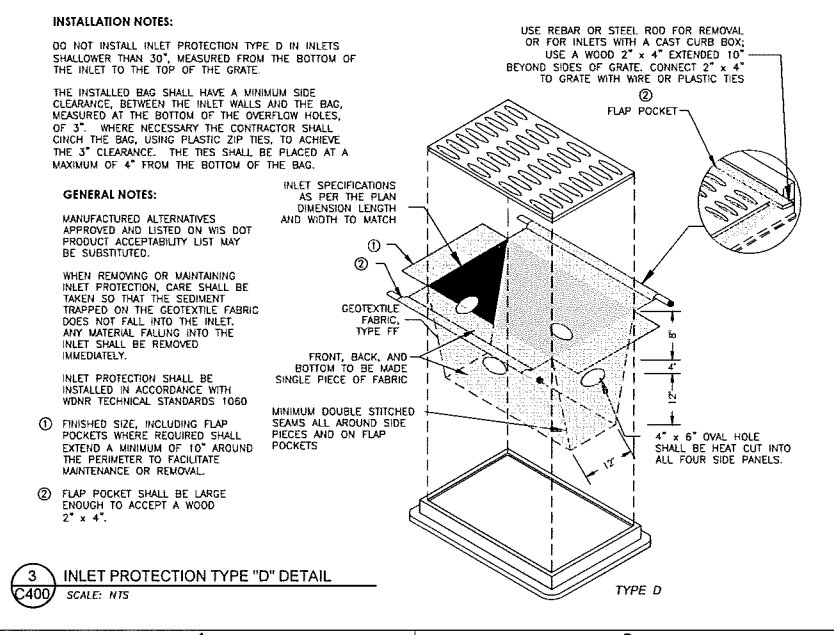




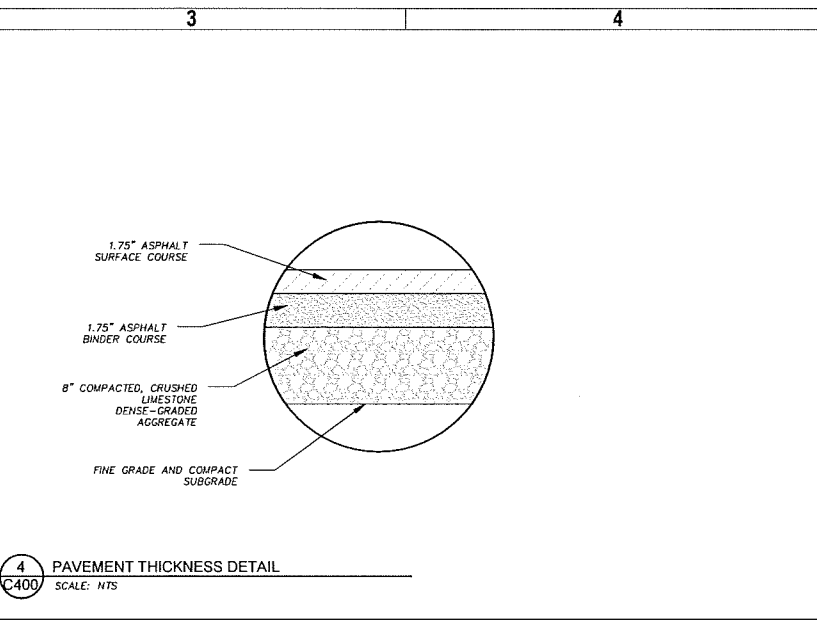
1 INLET PROTECTION TYPE "A" DETAIL  
SCALE: NTS



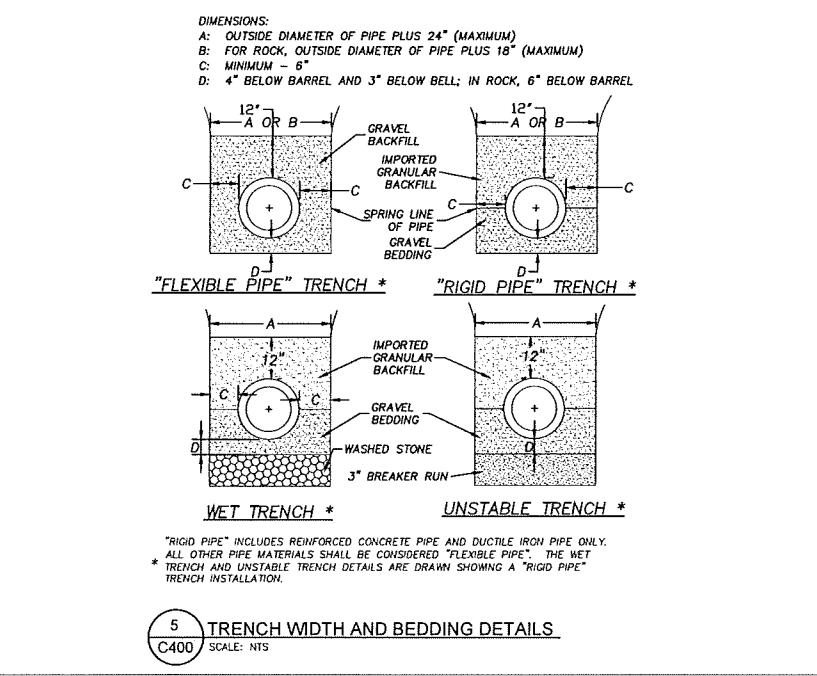
2 SILT FENCE DETAIL  
SCALE: NTS



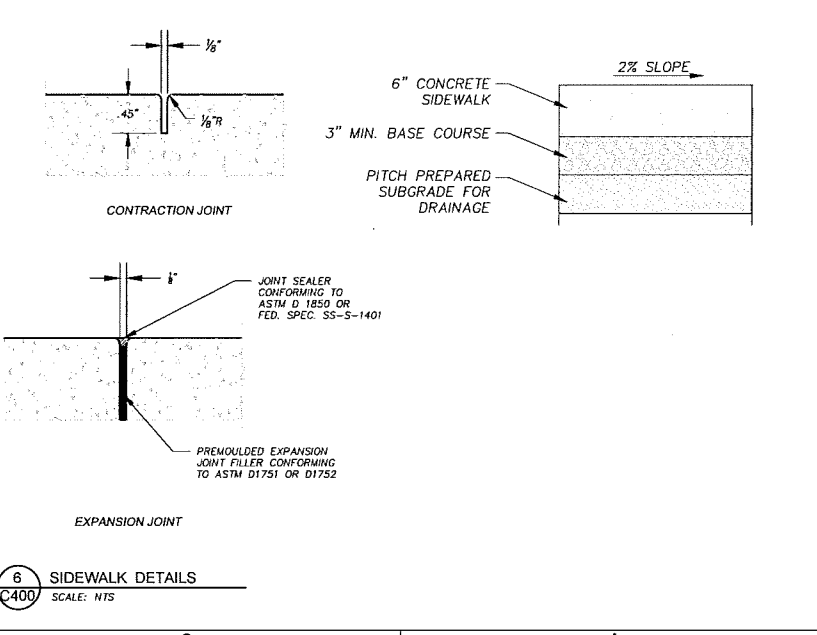
3 INLET PROTECTION TYPE "D" DETAIL  
SCALE: NTS



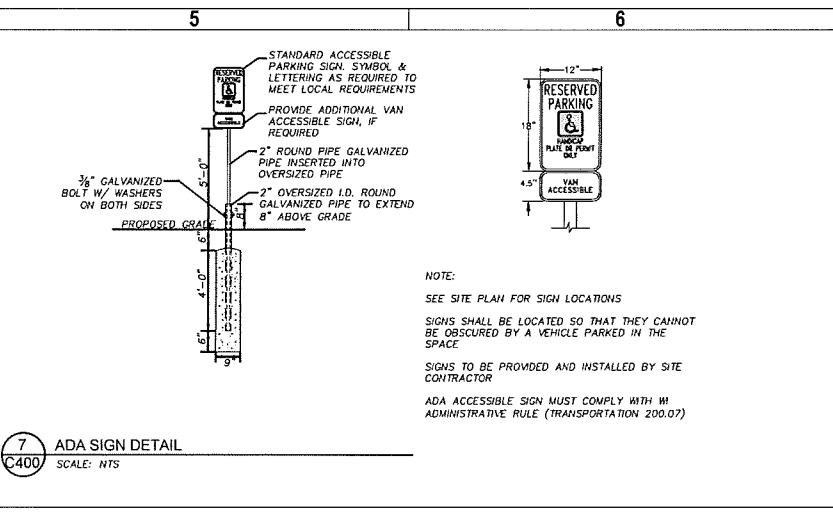
4 PAVEMENT THICKNESS DETAIL  
SCALE: NTS



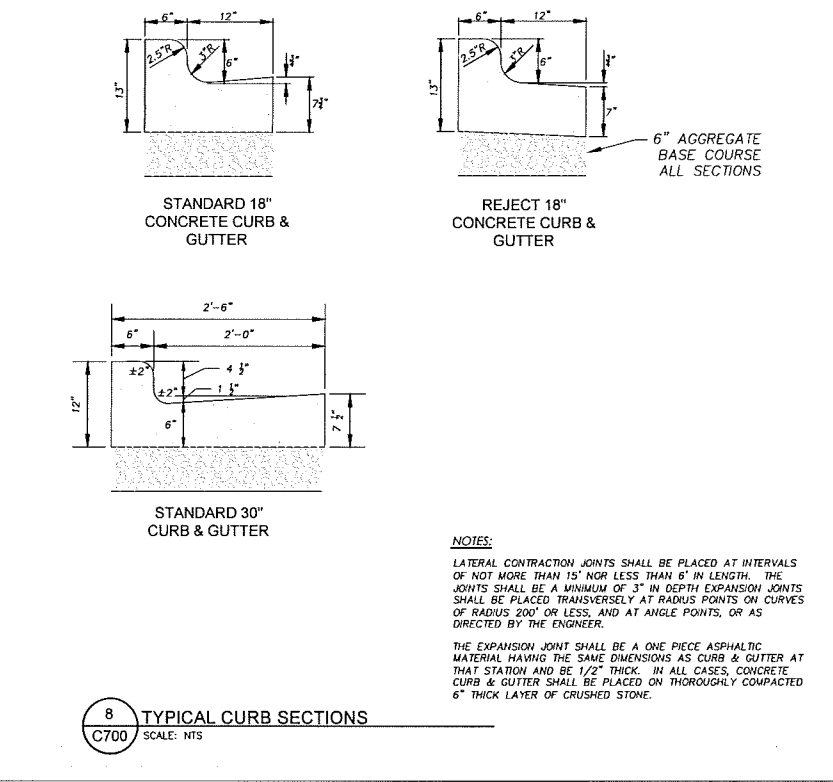
5 TRENCH WIDTH AND BEDDING DETAILS  
SCALE: NTS



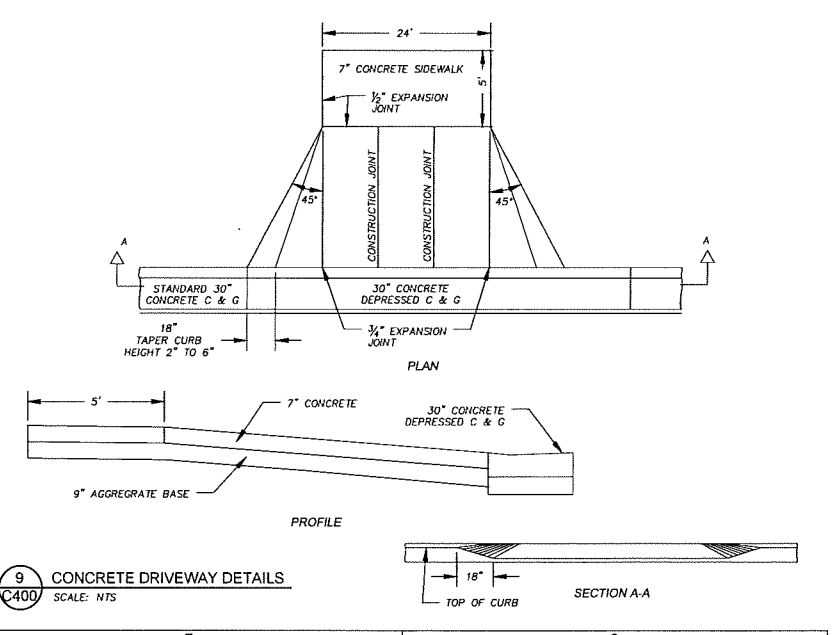
6 SIDEWALK DETAILS  
SCALE: NTS



7 ADA SIGN DETAIL  
SCALE: NTS



8 TYPICAL CURB SECTIONS  
SCALE: NTS



9 CONCRETE DRIVEWAY DETAILS  
SCALE: NTS



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PROJECT INFORMATION  
**PRIVATE PARKING FACILITY - MADISON KIPP CORP.**

201 CORRY STREET,  
 MADISON, WI

ISSUANCE AND REVISIONS  
 PLAN COMMISSION SUBMITTAL

#	DATE	DESCRIPTION

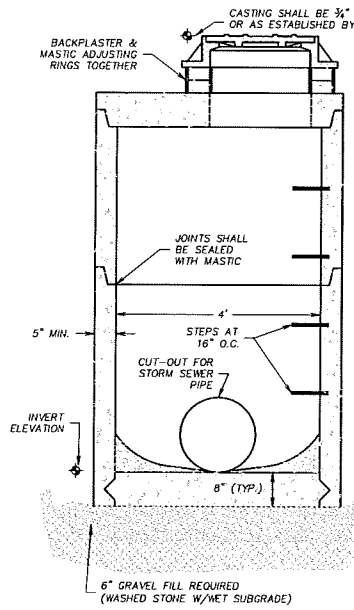


SHEET INFORMATION

PROJECT MANAGER CG  
 PROJECT NUMBER 716140-01  
 DATE 03/22/2017

MISC. DETAILS

**C400**



**NOTES:**

CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1-2% AIR ENTRAINMENT.

MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.

ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO.3 STEEL BAR CENTERED WITHIN EACH RING.

A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY R-1550-A WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES.

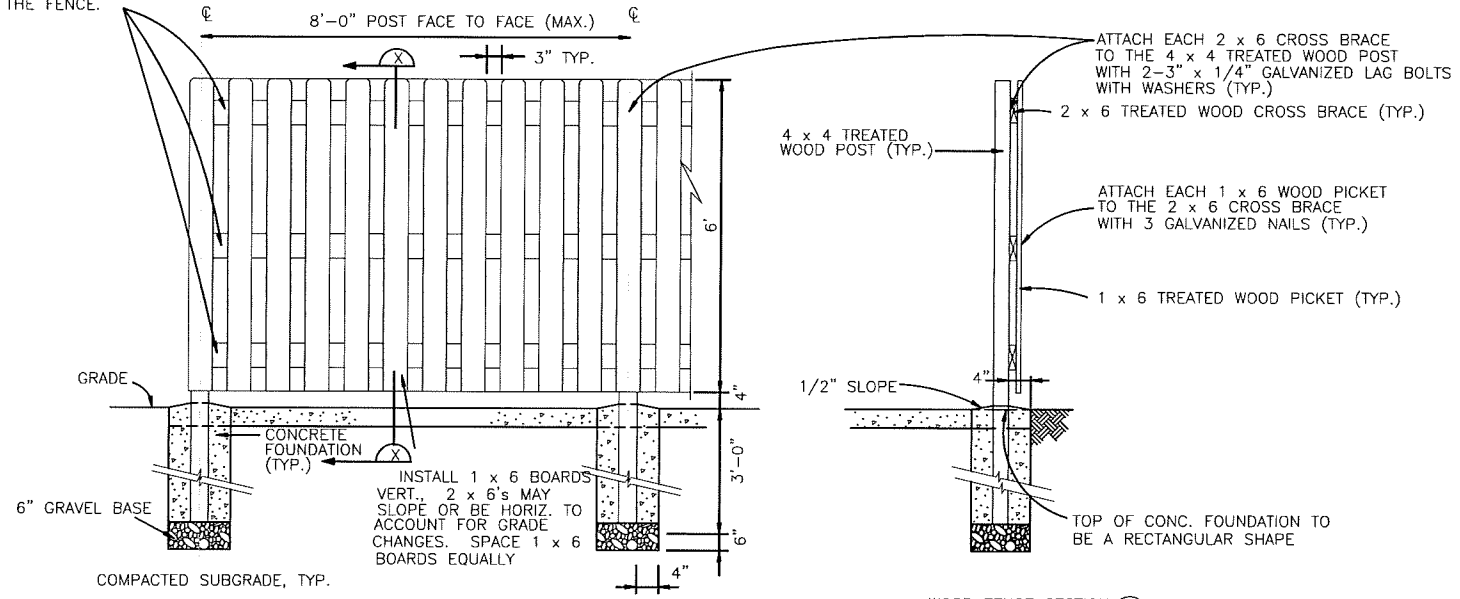
MANHOLE INLET CASTING SHALL BE NEENAH FOUNDRY R-2050 WITH TYPE "C" NON-ROCKING GRATE.

MANHOLE-TYPE CURB INLET CASTING SHALL BE NEENAH FOUNDRY R-3067 WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE CURB INLET.

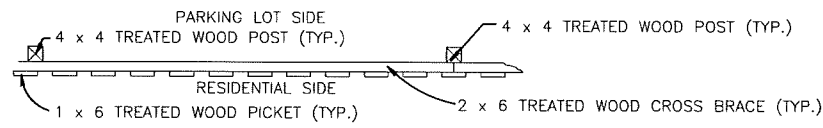
A 2x3 LID OPENING IS REQUIRED FOR MANHOLE-TYPE CURB INLETS. ADJUSTING RINGS SHOULD THEN BE LIMITED TO 6" MAX.

**1 STORM SEWER MANHOLE**  
C401 SCALE: NTS

THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.

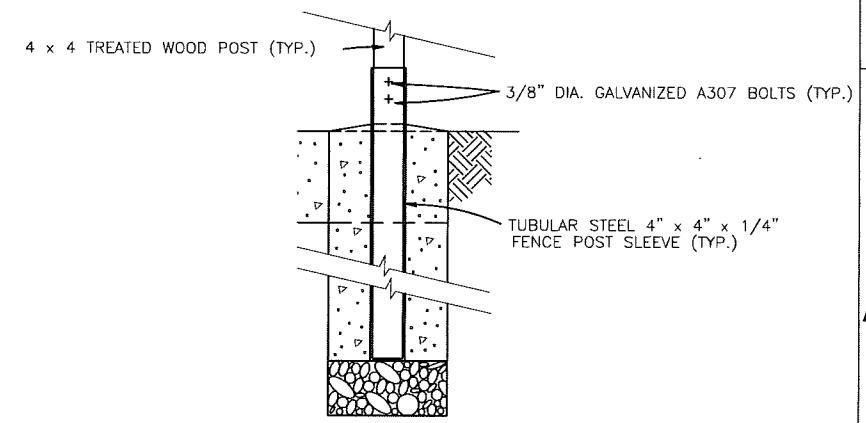


**ELEVATION**



**PLAN VIEW**

**2 WOOD FENCE DETAILS**  
C401 SCALE: NTS



**3 WOOD POST DETAILS**  
C401 SCALE: NTS



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**C401**





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201 CORRY STREET,  
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SCHEMATIC DESIGN

#	DATE	DESCRIPTION



SHEET INFORMATION

PROJECT MANAGER

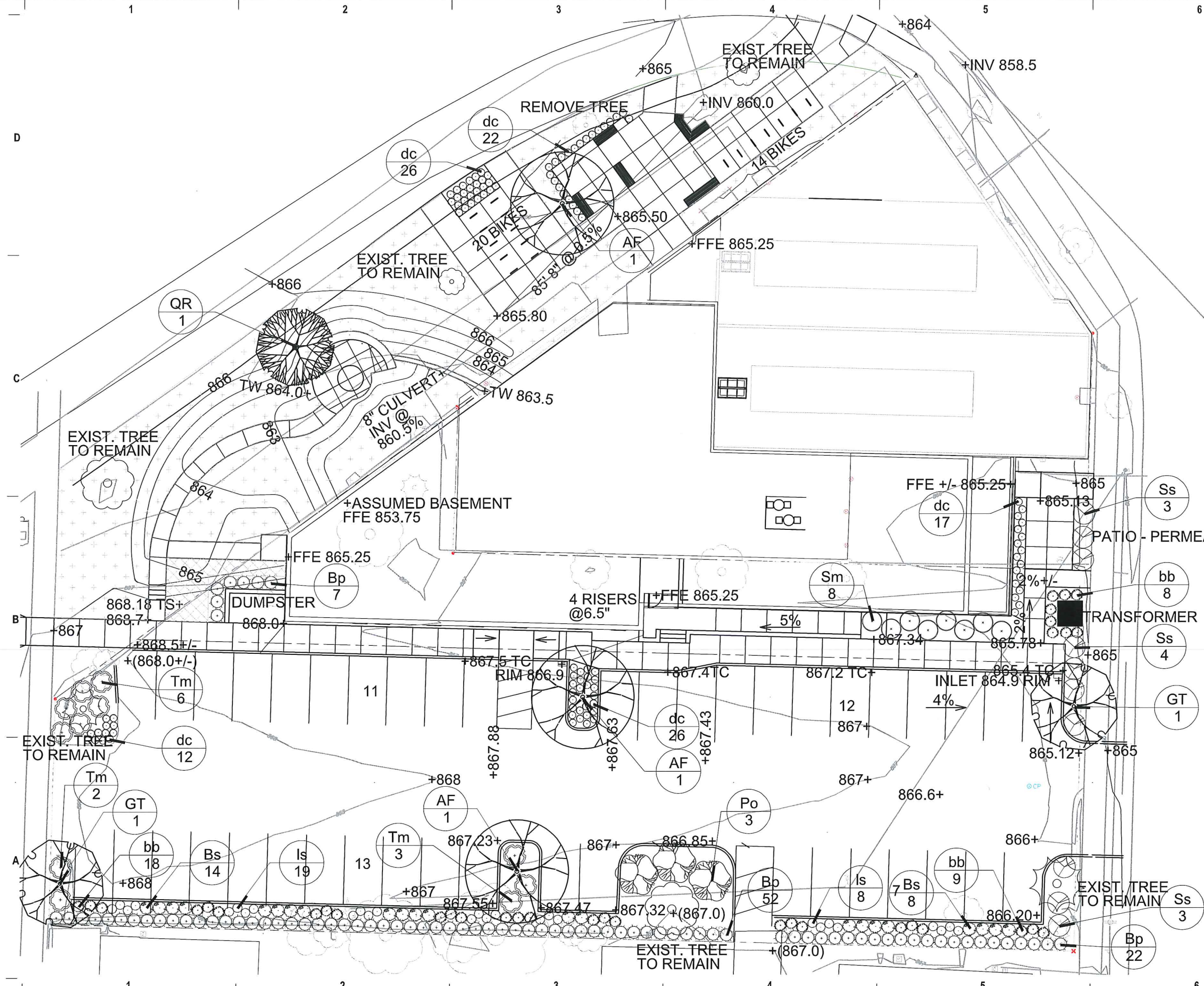
PROJECT NUMBER

DATE

LANDSCAPE PLAN

L100

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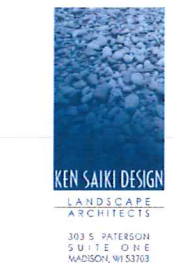
PRIVATE PARKING  
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SHEET INFORMATION

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LANDSCAPE DATA

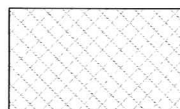
L101

PLANT PALETTE

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
<b>Deciduous Trees</b>						
AF	<i>Acer x freemanii</i> 'Sienna'	Sienna Glenn Maple	3	2 1/2" Cal.	B&B	Heavy / Symmetrical Canopy
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Impcole'	Imperial Honeylocust	2	2 1/2" Cal.	B&B	Heavy / Symmetrical Canopy
QR	<i>Quercus robur</i> 'Pyramich' PP 3,707	Skymaster English Oak	1	2 1/2" Cal.	B&B	Symmetrical Canopy
<b>Deciduous Shrubs</b>						
Bs	<i>Baptisia</i> 'Solar Flare' PP20,408	Solar Flare Prairieblues False Indigo	22	1 Gal. or #1	CG	Space 3'-6" o.c.
Po	<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Ninebark	3	24" Ht.	Cont.	Space 8'-0" o.c.
Ss	<i>Sorbaria sorbifolia</i> 'Sem'	Sem Ash Leaf False Spirea	10	18" Ht.	Cont.	Space 4'-6" o.c.
Sm	<i>Syringa meyeri</i> 'Palibin'	Meyer Korean Lilac	8	30" Ht.	Cont.	Space 4'-0" o.c.
<b>Evergreen Shrubs</b>						
Bp	<i>Buxus sempervirens</i> 'pullman'	Pullman Boxwood	81	#5	Cont.	Space 3'-0" o.c.
Tm	<i>Taxus media</i> 'Everlow'	Everlow Yew	11	18" Ht./Spr.	Cont.	Space 4'-0" o.c.
<b>Perennials / Ornamental Grasses</b>						
bb	<i>Bouteloua</i> 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	35	1 Gal. or #1	CG	Space 27" o.c.
dc	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	101	1 gal.	Cont.	Space 30" o.c.
ls	<i>Liatris spicata</i>	Gayfeather, Spike Blazingstar	27	1 Gal. or #1	CG	Space 18-20" o.c.



NO-MOW FESCUE



BARK MULCH ONLY

City of Madison, WI Landscape Worksheet - Applies to Parking Lot Parcel Only

21-Mar-17  
Planned Development District

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	13,573	2,715	45	226
<b>Landscape Points Required</b>				<b>226</b>

Interior Parking Lot	SF	Overstory Trees Required	Shrubs Required
Total Parking Lot Area	13,573		
Min. Parking Lot Islands (5%)	679	4	

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	4	3	245
Ornamental Tree	15	0	0	0
Evergreen Tree	15			0
Shrub, deciduous	3	43		129
Shrub, evergreen	4	92		368
Ornamental Grass/Perennial	2	165		330
<b>Interior Parking Lots Points Total</b>				<b>1072</b>

**TOTAL LANDSCAPE POINTS 1072**



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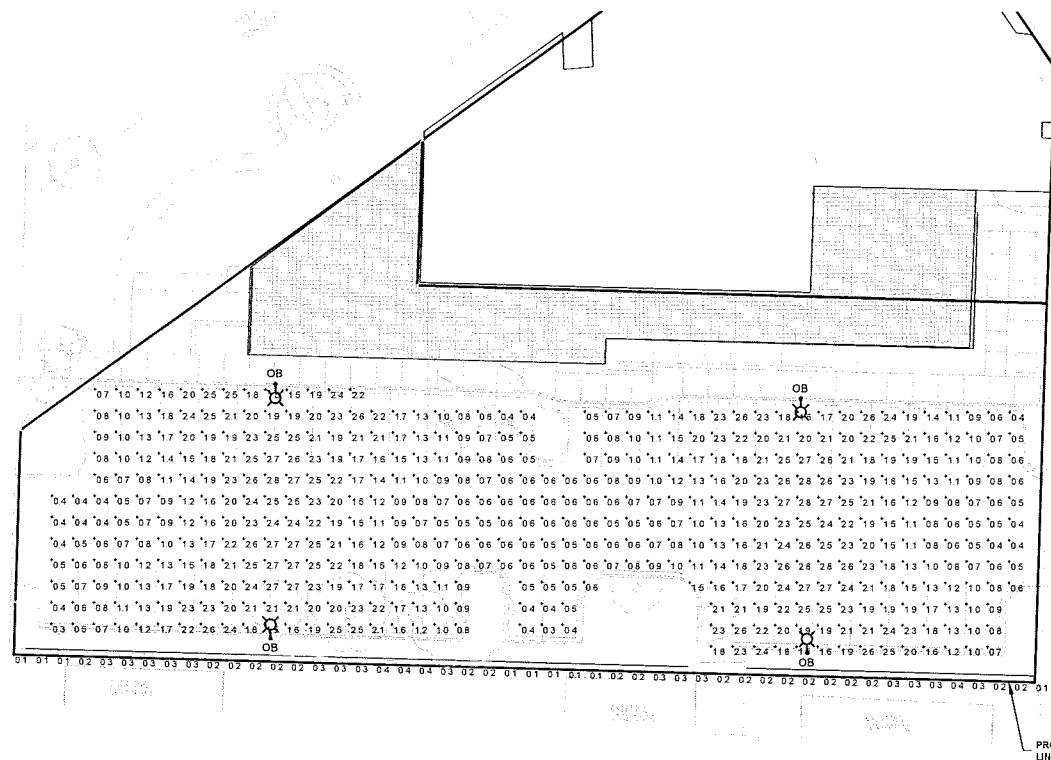
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SITE PLAN -  
PHOTOMETRICS

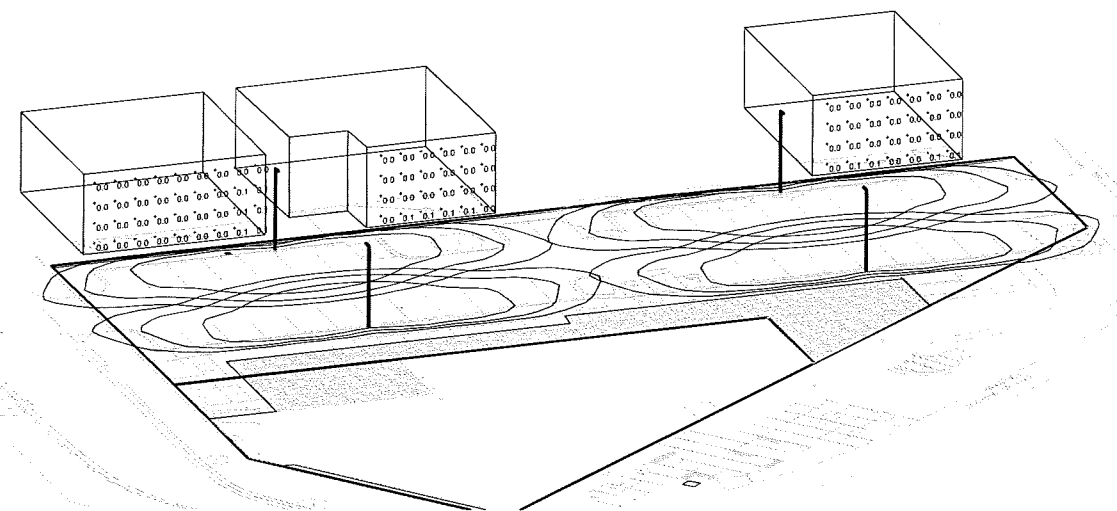
E101



PROPOSED CALCULATION SUMMARY				
AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
1.5fc	2.8fc	0.3fc	9.3:1	5.0:1

LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMENS
OB	1 HEAD LED, 20' HEIGHT, 40LEDS	CREE	ARE-EDG-2MB-DA-04-E-UL-XX-525-40K	5600

1 PHOTOMETRIC PLAN - LIGHTING



2 VERTICAL PHOTOMETRICS PLAN - EXISTING RESIDENCES

