



**Location**

2607 Monroe Street &  
2628 Arbor Drive

**Applicant**

James Corcoran – J Michael Real Estate/  
Randy Bruce – Knothe & Bruce Architects

From: PUD-SIP      To: Amended  
PUD-GDP-SIP

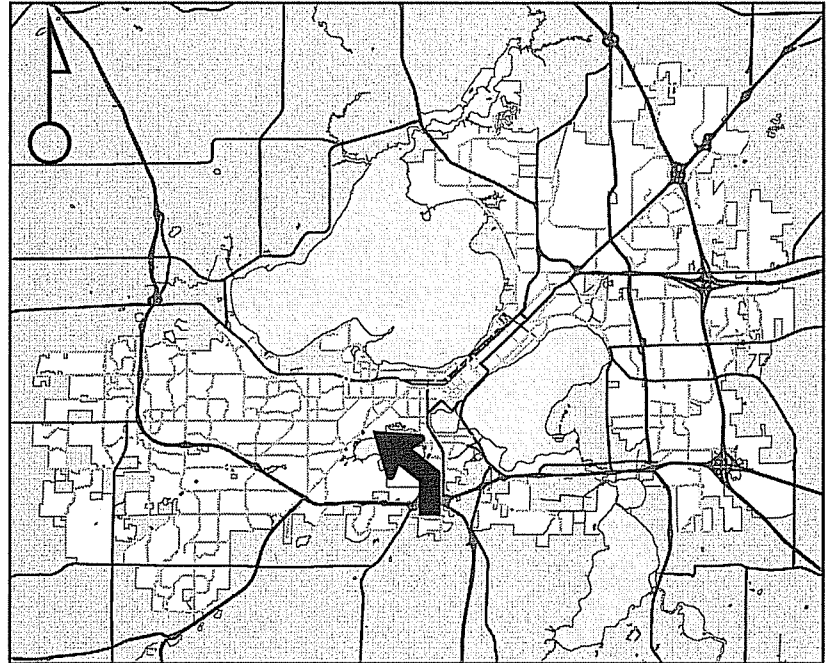
**Proposed Use**

Construct previously approved 45-unit  
condominium building as a 24-unit  
apartment building and separate 21-unit  
condominium building and remove  
inclusionary dwelling unit provision

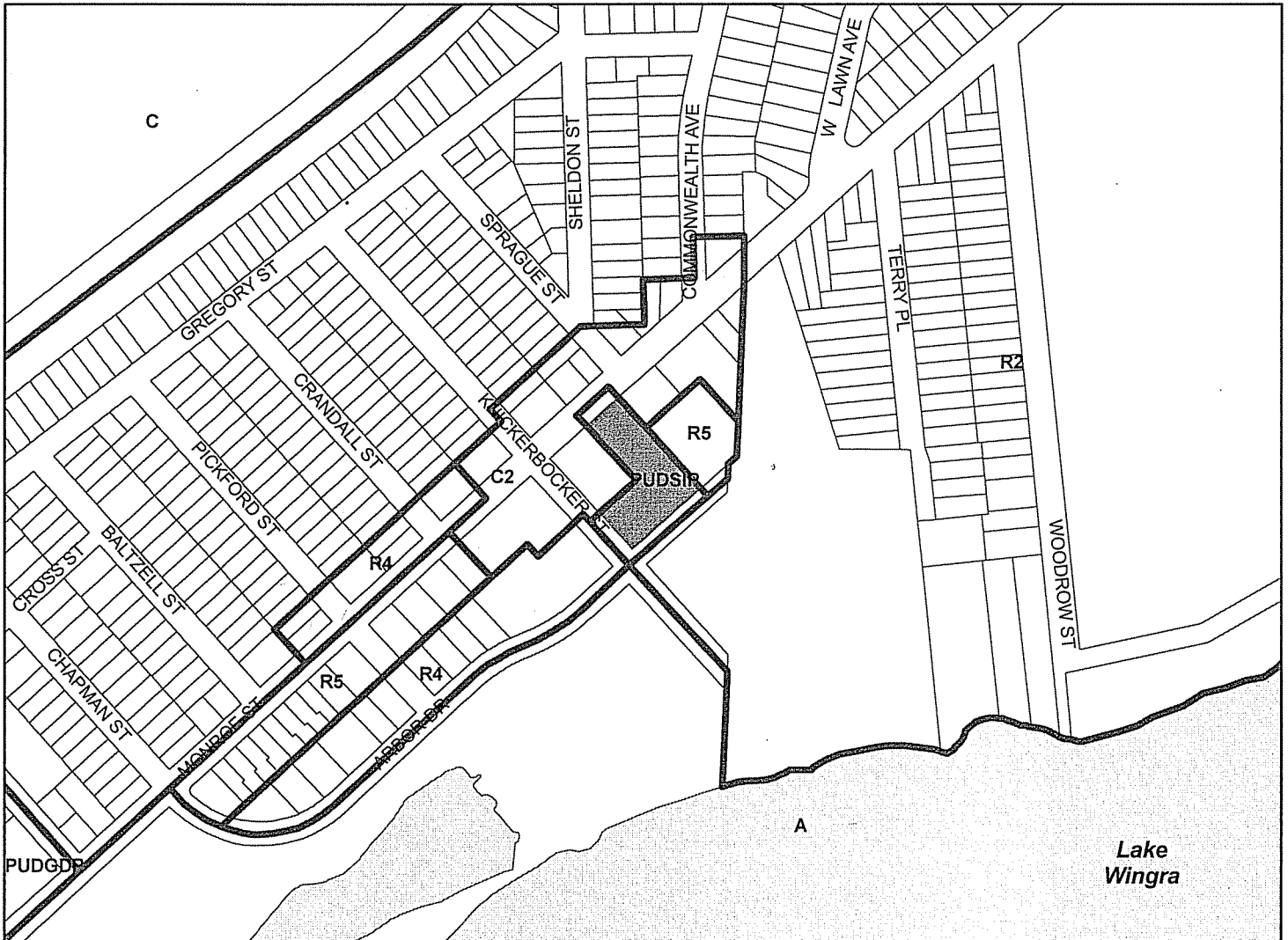
**Public Hearing Date**

Plan Commission  
20 June 2011

Common Council  
05 July 2011

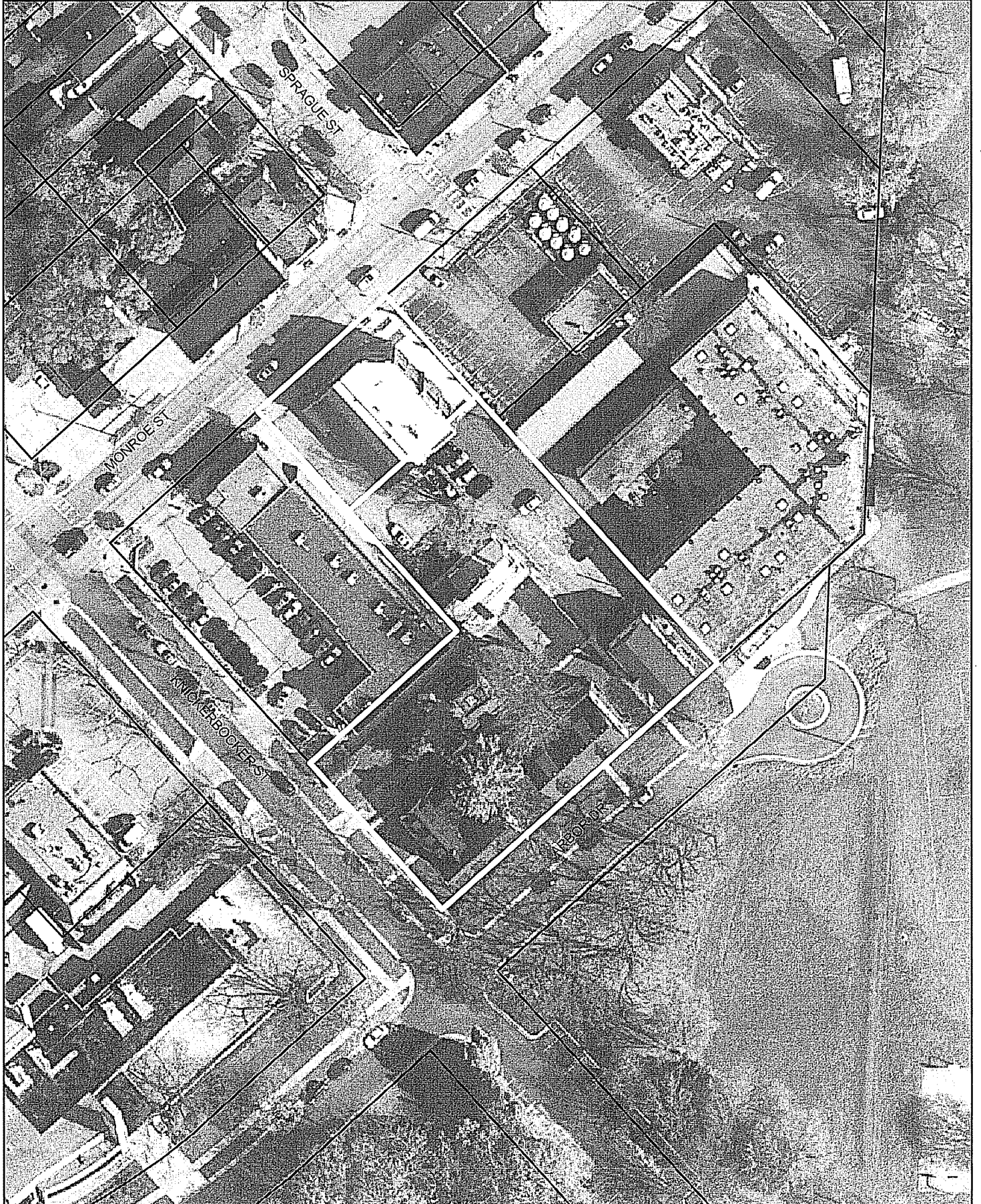


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 June 2011





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>1450</u> - Receipt No. <u>119627</u>
Date Received	<u>4/20/11</u>
Received By	<u>MAP</u>
Parcel No.	<u>07091 - 281-1513-2</u>
Aldermanic District	<u>10 - SALOMON</u>
GQ	<u>PUDSIP</u>
Zoning District	<u>PUDSIP</u>
For Complete Submittal	
Application	Letter of Intent <input checked="" type="checkbox"/>
IDUP	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	Zoning Text <input checked="" type="checkbox"/>
Alder Notification	Waiver <input checked="" type="checkbox"/>
Ngrbrd. Assn Not.	Waiver <input checked="" type="checkbox"/>
Date Sign Issued	<u>4/20/11</u>

1. **Project Address:** 2607 Monroe Street & 2628 Arbor Drive **Project Area in Acres:** 1.05

**Project Title (if any):** \_\_\_\_\_

2. **This is an application for:**

<b>Zoning Map Amendment</b> (check the appropriate box(es) in only one of the columns below)	
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> <b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input checked="" type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>
<input type="checkbox"/> <b>Other Requests (Specify):</b> _____	

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: James Corcoran Company: J. Michael Real Estate  
 Street Address: 2607 Monroe Street City/State: Madison, WI Zip: 53711  
 Telephone: (608) 233-4440 Fax: (608) 233-9130 Email: \_\_\_\_\_

Project Contact Person: Randy Bruce Company: Knothe & Bruce Architects, LLC  
 Street Address: 7601 University Ave, Suite 201 City/State: Middleton, WI Zip: 53562  
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_

The commercial bldg is completed. The original 45 unit condo bldg is being divided into two buildings: 24 unit apt bldg & 21 unit condo bldg

Development Schedule: Commencement summer 2011 Completion fall 2012

**5. Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 1,450 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

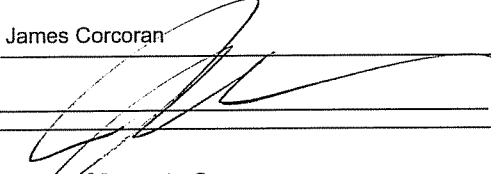
**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - The site is located within the limits of City of Madison Comprehensive Plan, which recommends: Neighborhood Mixed-Use for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
  - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
 Brian Solomon- Alder District #10 3/16/11 Dudgeon-Monroe Neigh. Assoc. 4/9/11 + 5/4/11
  - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
  - Planning Staff: 3/30/11 Tim Parks Date: \_\_\_\_\_ Zoning Staff: \_\_\_\_\_ Date: \_\_\_\_\_
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name James Corcoran Date 4/15/2011  
 Signature  Relation to Property Owner Owner  
 Authorizing Signature of Property Owner \_\_\_\_\_ Date \_\_\_\_\_

April 20, 2011

Mr. Brad Murphy  
Director of Planning  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, Wisconsin 53701

Re: Letter of Intent  
Alteration to approved PUD-GDP-SIP  
2603 Monroe Street & 2628 Arbor Drive (a.k.a. 2605 Monroe Street)  
Madison, Wisconsin

Dear Mr. Murphy:

The following information is submitted together with the plans and application and zoning text for staff and Plan Commission..

**Organizational structure:**

Owner: Jim Corcoran  
J. Michael Real Estate  
2607 Monroe Street  
Suite 15  
Madison, WI 53711  
608-233-4440  
608-233-9130 fax  
[jcorcoran@charterinternet.net](mailto:jcorcoran@charterinternet.net)

Architect: Knothe & Bruce Architects, LLC  
7601 University Avenue, Ste 201  
Middleton, WI 53562  
608-836-3690  
608-836-6934 fax  
Contact: J. Randy Bruce  
[rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

Engineer: Burse Surveying & Engineering  
1400 E. Washington Ave.  
Suite 158  
Madison, WI 53703  
608-250-9263  
608-250-9266fax  
Contact: Pete Fortlage  
[Pfortlage.bursesurveyengr@chorus.net](mailto:Pfortlage.bursesurveyengr@chorus.net)

Landscape Design: Ken Saiki Design  
303 S. Paterson St.  
Suite 1  
Madison, WI 53703  
(608) 251-3600  
Contact: Ken Saiki  
[ksaiki@ksd-la.com](mailto:ksaiki@ksd-la.com)

This property was rezoned to PUD-GDP-SIP in 2007. The approved development plans proposed a mixed use development consisting of a 4,000 square foot, 2 story commercial building on Monroe Street and a 45 unit, 4 story condominium building facing Arbor Drive. Phase I of the development, the commercial building, was constructed in 2008 and is fully occupied. Although many people have expressed interest in the proposed condominiums, the financial markets and condominium market in general will not support construction of the 45 unit building.

This alteration proposes separating the original "L" shaped 45 unit residential building into two buildings to allow the development to continue. Phase II of the project will consist of 24 apartments located to the interior of the site. Phase III will consist of 21 condominiums facing Arbor Drive. The site plan, locations and massing are very similar to the original approved PUD-SIP except for the separation between the residential components of the project. Minor modifications are proposed to the exterior architecture to accommodate adjustments to the floor plans and to provide some differentiation between the two residential buildings.

Construction of Phase II of the development is planned for August, 2011 with completion by Summer of 2012. The three existing apartment buildings on Arbor Drive will remain until Phase III of the project is started. Phase III will start construction when the financial and condominium markets have recovered.


**Site Development Data:**

	<u>Original SIP</u>	<u>Amended SIP</u>	
<u>Densities:</u>			
Lot Area	45,732 SF or 1.05 acres		
Lot Area / D.U.	973 SF/unit		
Density	45 units/acre		
 <u>Building Heights:</u>			
	2, 3 and 4 Stories	4 Story	
 <u>Floor Area Ratio:</u>			
Total Floor Area	67,800 S.F. Residential	63,480 S.F.	
(excluding parking)	<u>6,000 S.F. Commercial</u>	<u>6,000 S.F.</u>	
	73,800 S.F. Total	69,480 S.F.	
Floor Area Ratio	1.65	1.52	
 <u>Dwelling Unit Mix:</u>			
		<u>PHASE II</u>	<u>PHASE III</u>
Existing apartments	2	2	0
Efficiency		6	0
One-Bedroom	3	15	0
One-Bedroom + Den	8	0	0
Two-Bedroom	22	3	1
Two-Bedroom + Den	6	0	0
Three-Bedroom	<u>6</u>	<u>0</u>	<u>20</u>
Total dwelling Units	47	26	21
 <u>Provided Parking and Ratios:</u>			
Vehicular parking (underground)	57 stalls	16	29
<u>Vehicular parking (surface)</u>	<u>31 stalls</u>	<u>27</u>	<u>0</u>
Total Vehicular Parking	88 stalls	43	29
Bicycle parking (underground)	25 stalls	2	14
<u>Bicycle parking (surface)</u>	<u>24 stalls</u>	<u>20</u>	<u>6</u>
Total Bicycle Parking	49 stalls	22	20

Amended PUD-SIP Letter of Intent  
2603 Monroe Street & 2628 Arbor Drive (a.k.a. 2605 Monroe Street)  
April 20, 2011  
Page 3 of 3

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruce, AIA  
Managing Member

**Zoning Text**

Amended PUD-GDP-SIP

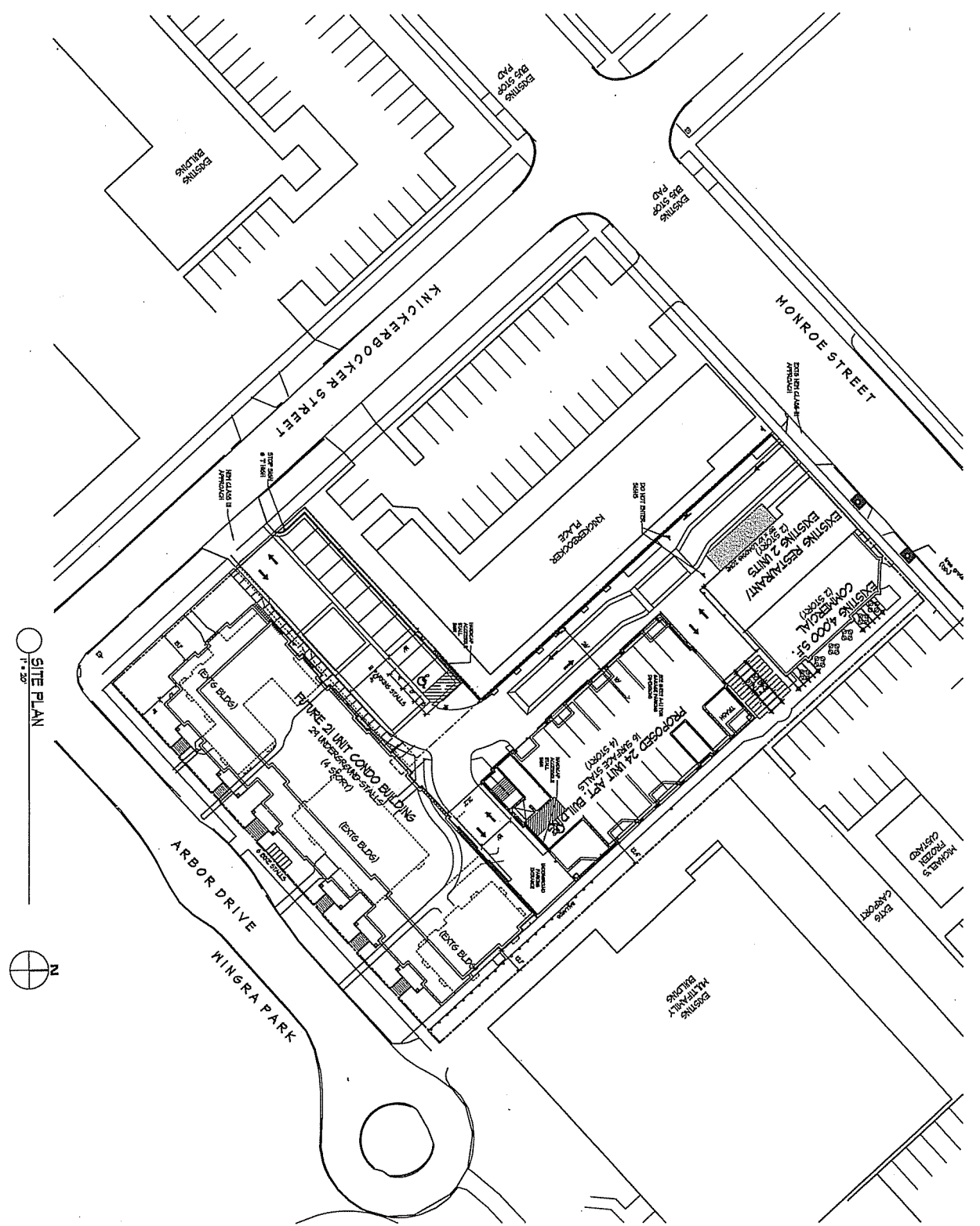
2603 Monroe Street & 2628 Arbor Drive (a.k.a. 2605 Monroe Street)

April 20, 2011

**Legal Description:** The lands subject to this Planned Unit Development District shall include the lands described in Exhibit A.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a mixed-use development with 45 dwelling units and 6,000 square feet of commercial space.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
  - 1. Multifamily residential uses as shown on the approved plans.
  - 2. Commercial uses as allowed in the C-2 zoning district as permitted uses;
  - 2. Accessory uses including but not limited to:
    - a. Accessory uses directly associated with those permitted uses, including parking for residents and guests, and outdoor eating areas as shown on the approved plans.
    - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-2 zoning district.
- J. **Signage:** Signage for the commercial buildings shall be limited to the maximum permitted in the C2 zoning district and to the maximum permitted in the R-5 district for the residential building, as approved by the Urban Design Commission and Zoning Administrator.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.





SITE PLAN  
1/1/20



**SHEET INDEX**

C-11 SITE PLAN  
 C-12 IMPROVEMENT ACCESS  
 C-13 SITE LAYOUT PLAN  
 C-21 GRADING & EROSION CONTROL  
 C-31 SITE UTILITY PLAN  
 C-41 PAINTING PLAN  
 C-42 PAWER PLAN  
 A-10 BASEMENT PLAN  
 A-11 FIRST FLOOR PLAN  
 A-12 SECOND & THIRD FLOOR PLAN  
 A-21 ELEVATIONS  
 A-22 ELEVATIONS

**KNOTTHE & BRUCE ARCHITECTS**

7101 Lindenway Avenue, Suite 101  
 Madison, Wisconsin 53712  
 608.835.3100 Fax 608.835.4114

1. HATCHED AREAS IN ALL ACCOMPANYING PLANS SHALL INDICATE AREAS OF EXISTING IMPROVEMENTS TO BE MAINTAINED OR REPLACED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE.

2. ALL IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.

3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.

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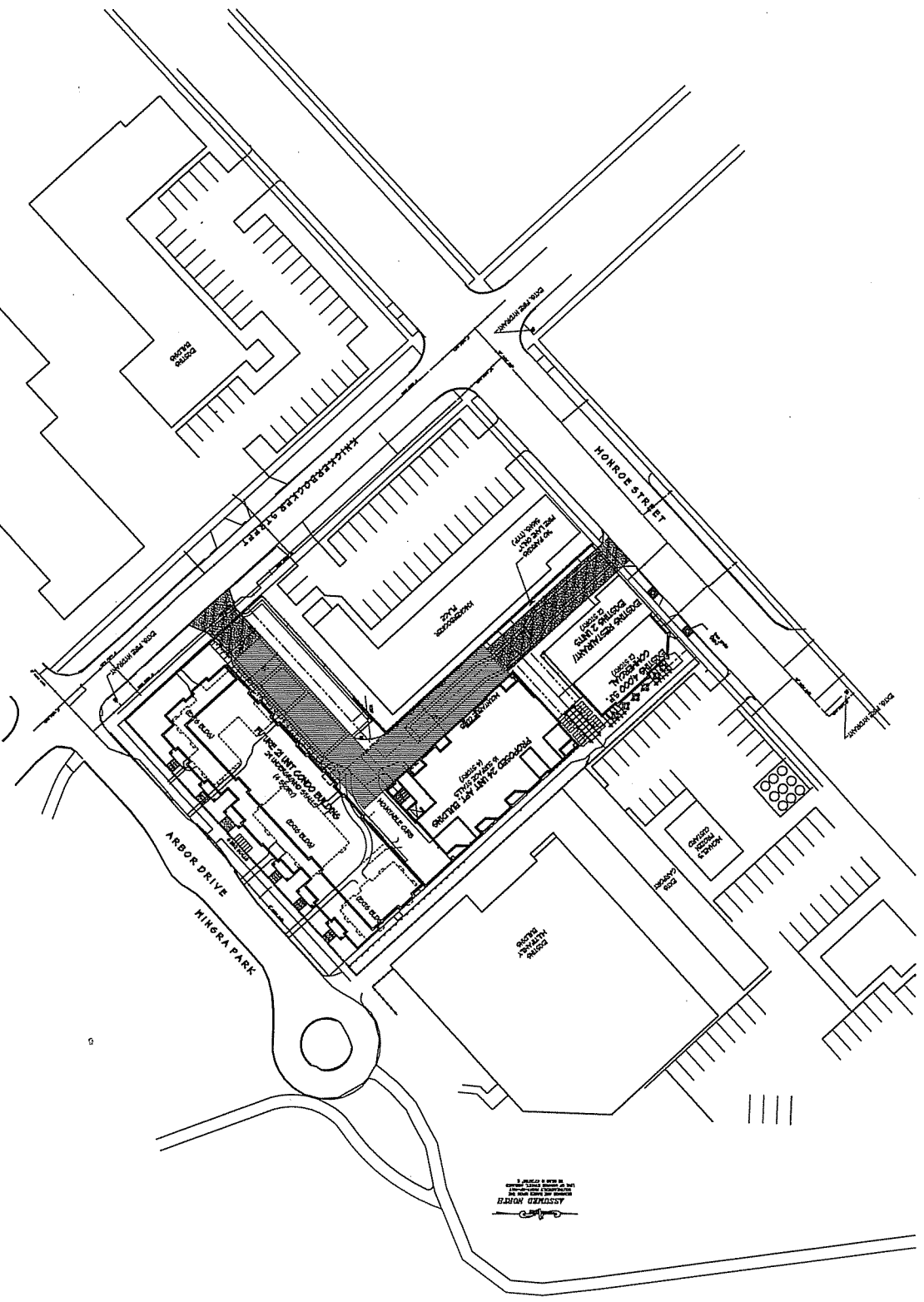
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Project No. **0522**  
 Drawing No. **C-11**

Project Title: **2603 Monroe Street & 2628 Arbor Drive (aka 2605 Monroe Street)**

Site Plan

**FIRE DEPARTMENT ACCESS PLAN**



1. Access to water in  
 emergency situations should be  
 provided at all times for vehicles  
 at all times for vehicles  
**BERTON GENOUSTY**

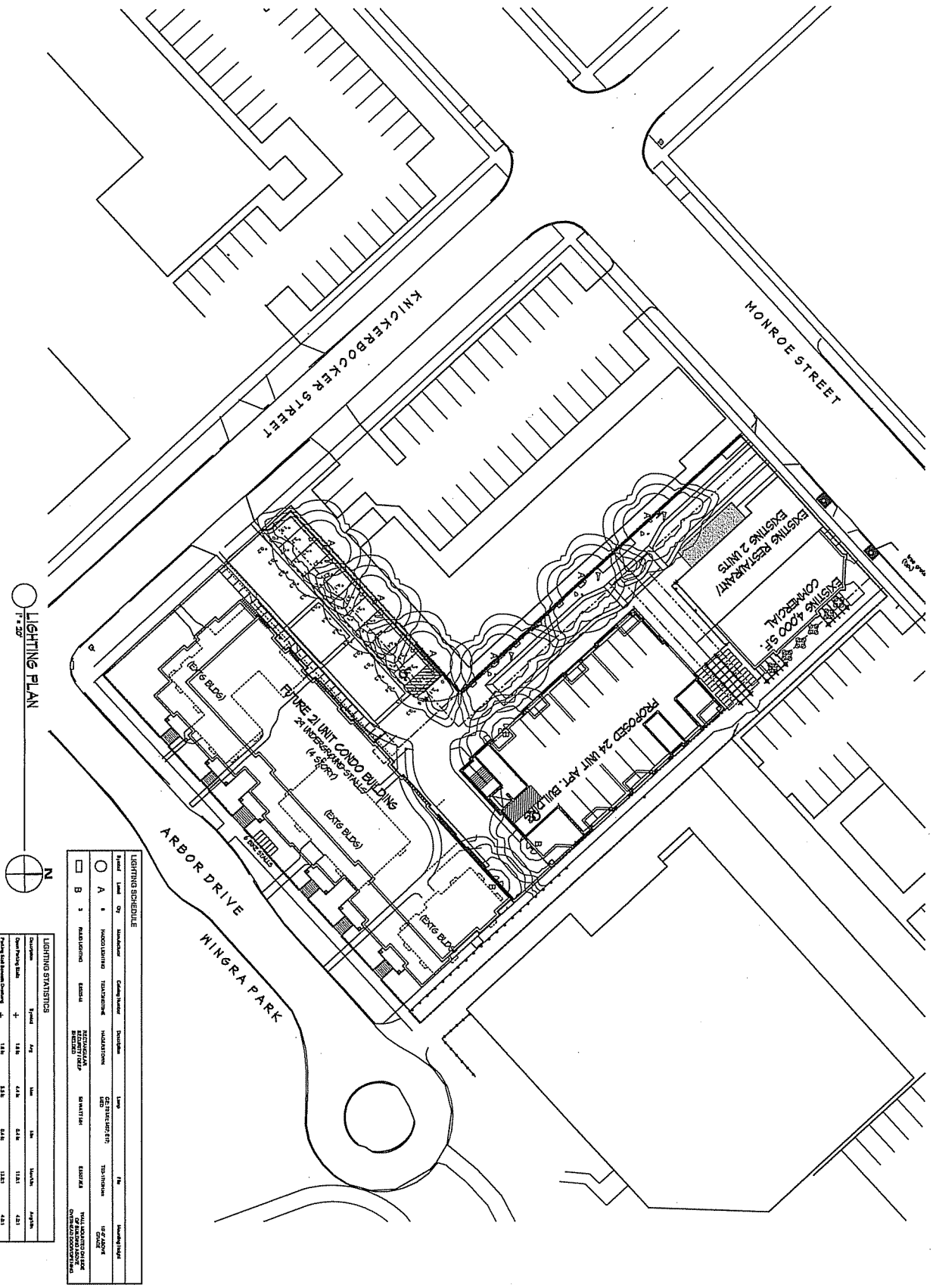
**KNOTHE & BRUCE ARCHITECTS**  
 7101 University Avenue, Suite 201  
 Middleton, Wisconsin 53522  
 (608) 281-9400 FAX (608) 281-9411

- 1. 3" FIRE HOSE, JAWBARS AND LINE AVAILABLE TO FIRE DEPT. AT ALL TIMES.
- 2. 4" FIRE HOSE, JAWBARS AND LINE AVAILABLE TO FIRE DEPT. AT ALL TIMES.

Revised:  
 Approved for Schedule - April 24, 2004

Project No:  
**2603 Monroe Street & 2628 Arbor Drive**  
 (also 2605 Monroe Street)

Drawn By:  
**Fire Dept. Access Plan**  
 Checked By:  
**0522 C-12**



○ LIGHTING PLAN  
1/1-2/27



LIGHTING SCHEDULE	
Symbol	Description
○ A	RECESSED DOWN LIGHTING
○ B	RECESSED DOWN LIGHTING

LIGHTING STATISTICS	
Item	Quantity
Recessed Down Lighting (A)	12
Recessed Down Lighting (B)	12
<b>Total</b>	<b>24</b>

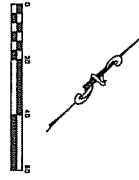
Project Title  
**2603 Monroe Street &  
 262B Arbor Drive**  
 (aka 2605 Monroe Street)

Project Title  
**Lighting Plan**

Project No.  
**0522**  
 Drawing No.  
**C-13**

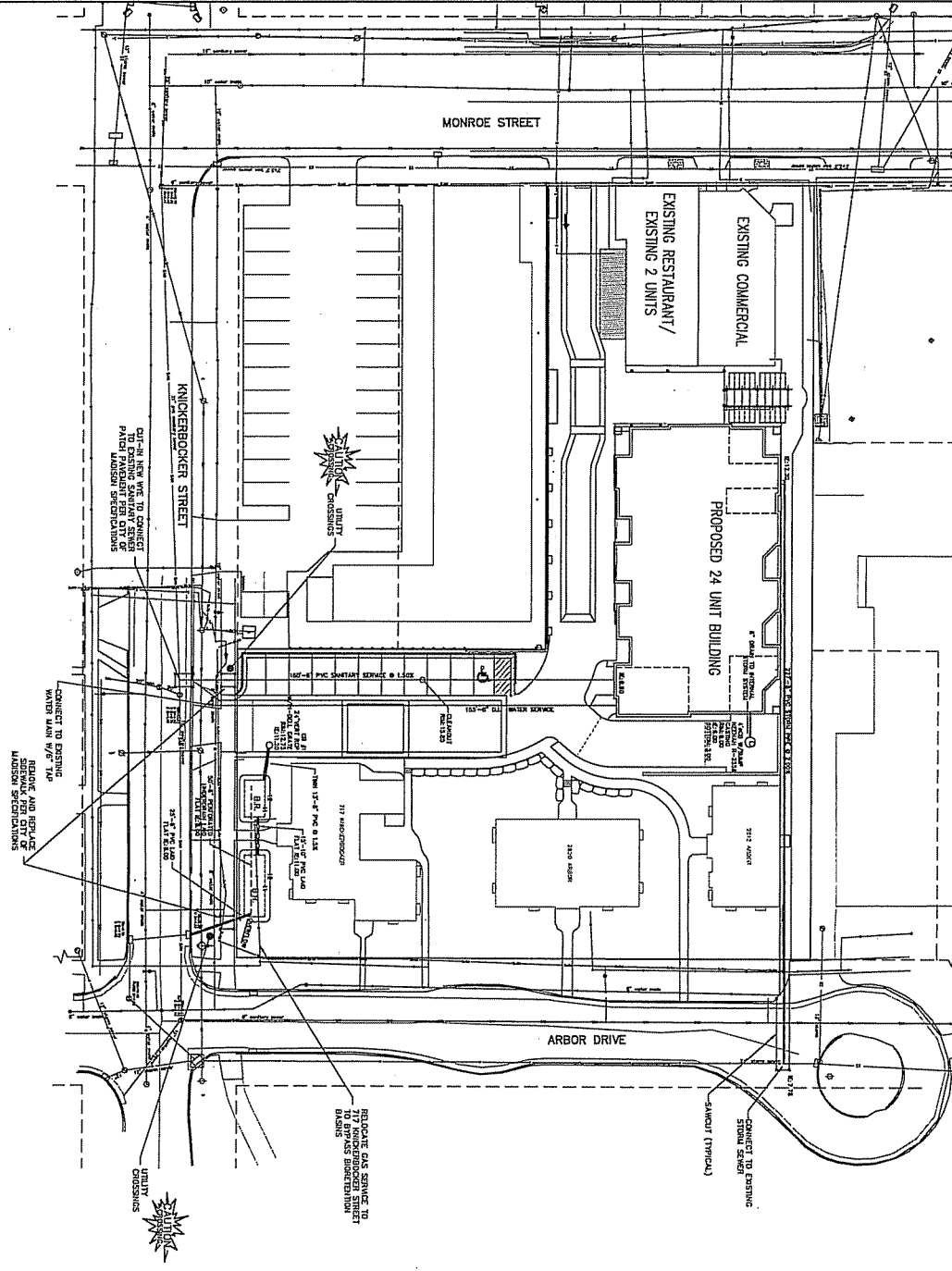
Contractor  
**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Suite 201  
 Omaha, NE 68131-1900  
 Phone: 402.491.1900  
 Fax: 402.491.1901





**LEGEND**

---	OVERHEAD UTILITY	□	POLE STRUCTURE
---	BASED GAS MAIN	□	STORM SEWER INLET
---	WATER MAIN	○	EXTENSIVE MANHOLE
---	SEWER MAIN	○	TERRACE MANHOLE
---	STORM SEWER	○	STORM SEWER MANHOLE
---	BASED WATER	○	STORM SEWER MANHOLE
---	BASED SEWER	○	STORM SEWER MANHOLE
---	BASED GAS SERVICE	○	UTILITY POLE
●	WATER VALVE	○	SOFT MET
●	GAS VALVE	○	TELEPHONE POLE/TOWER
□	CAST IRON PILE		



<b>2605 MONROE STREET</b>	
Madison, Wisconsin	
<b>JIM CORCORAN</b>	
2702 MONROE ST., SUITE 15	
MADISON, WI 53711	
<p><b>Product #</b> SEE ORDER</p> <p><b>Plot Date:</b> 04-11-11</p> <p><b>Issue Date:</b> 04-11-11</p> <p><b>Author/Designer:</b></p> <p><b>Check Date:</b> 04-11-11</p>	<p>1003 E. Washington Ave. Suite 154        Madison, WI 53703        Phone: 608-253-2222        Fax: 608-253-2222        Email: <a href="mailto:info@burseinc.com">info@burseinc.com</a>  <a href="http://www.burseinc.com">www.burseinc.com</a></p>
<p><b>Burse</b> Engineering and Design, Inc.</p> <p>UTILITY PLAN</p> <p><b>C-3.1</b></p> <p>DRWING NUMBER</p>	

**KNOTHE & BRUCE ARCHITECTS**  
 8011 University Avenue, Suite 201  
 Berkeley, CA 94703  
 510.841.4444  
 510.841.4442  
 510.841.4443  
 510.841.4444  
 510.841.4445  
 510.841.4446  
 510.841.4447  
 510.841.4448  
 510.841.4449  
 510.841.4450  
 Fax: 510-841-6144



DATE: 10/15/2011  
 PROJECT: 2605 MONROE STREET  
 DRAWING: LANDSCAPE PLAN

**PROJECT:**  
 2605 MONROE STREET  
 PHASE 1: 10/15/2011  
 PHASE 2: 10/15/2011  
 PHASE 3: 10/15/2011  
 PHASE 4: 10/15/2011  
 PHASE 5: 10/15/2011  
 PHASE 6: 10/15/2011  
 PHASE 7: 10/15/2011  
 PHASE 8: 10/15/2011  
 PHASE 9: 10/15/2011  
 PHASE 10: 10/15/2011

**PROJECT:**  
 2605 MONROE STREET

**PROJECT:**  
 Landscape Plan

**PROJECT:**  
 C-41

NOTES:  
 1) REQUIRED PERMITS PER CITY OF MADISON LANDSCAPE POINT SYSTEM HAVE LABELS IN SQUARES ON THE PLAN. HAVE CHECKED LABELS ON THE PLAN.  
 2) LANDSCAPE POINTS REQUIRED FOR 13 PARKING SPACES  
 12 PARKING SPACES REQUIRE 60 POINTS OF LANDSCAPE ELEMENTS  
 LANDSCAPE ELEMENTS POINTS REQUIRED  
 PLANTING 1 20  
 3.1' TYPICAL 2 20  
 BENCHES 3 10  
 BENCHES 4 10  
 BENCHES 5 10  
 TOTAL POINTS 60

THE PLAN IS TO BE READ FROM TOP TO BOTTOM

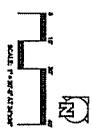
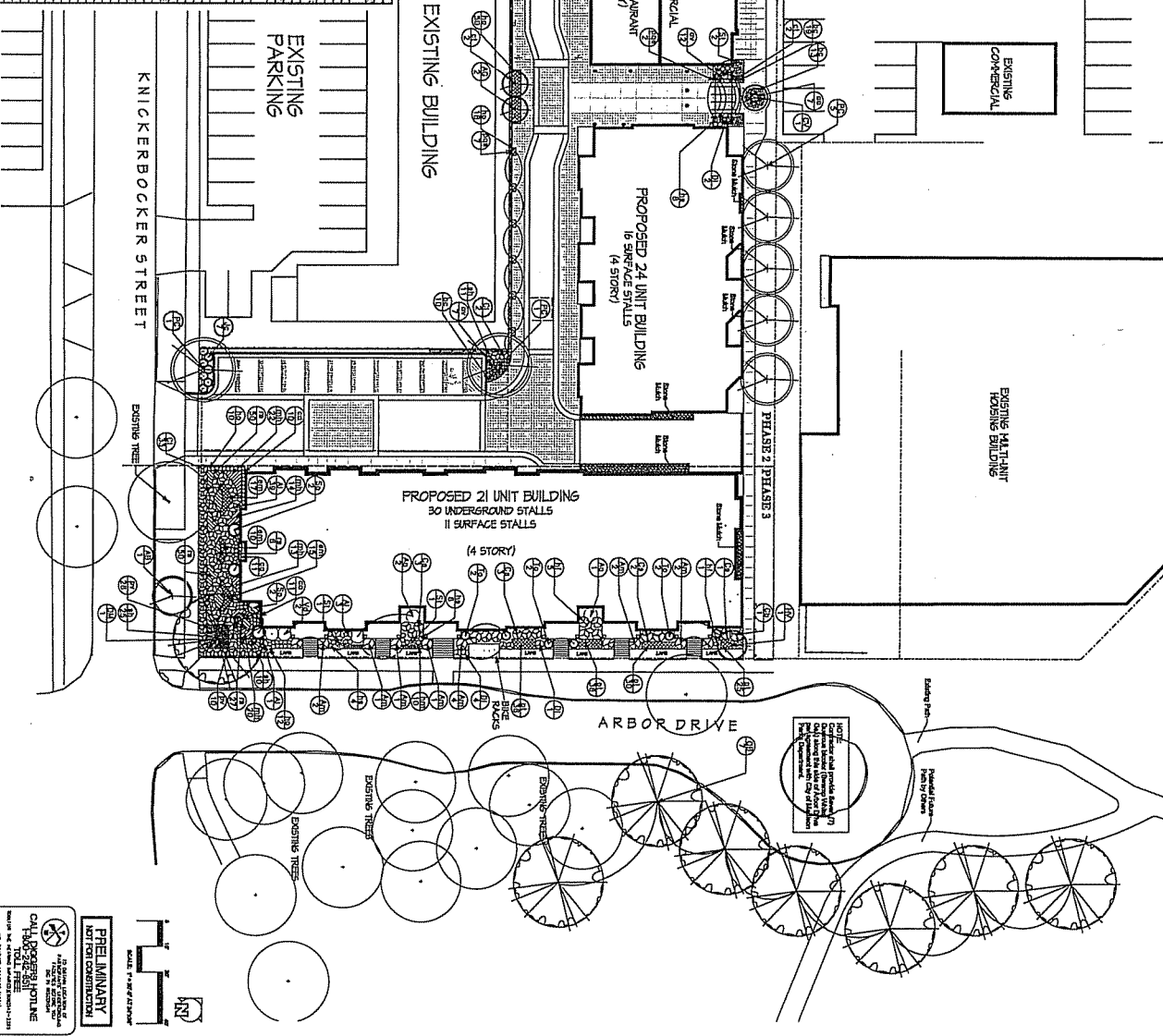
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DATE: 10/15/2011  
 PROJECT: 2605 MONROE STREET  
 DRAWING: LANDSCAPE PLAN

**PLANT SCHEDULE**

NO.	PLANT NAME	QUANTITY	NOTES
1	PLANTING	1	20 POINTS
2	3.1' TYPICAL	2	20 POINTS
3	BENCHES	3	10 POINTS
4	BENCHES	4	10 POINTS
5	BENCHES	5	10 POINTS
6	TOTAL POINTS	60	



**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 CALIFORNIA REGISTERED LANDSCAPE ARCHITECT  
 510.841.4444  
 510.841.4442  
 510.841.4443  
 510.841.4444  
 510.841.4445  
 510.841.4446  
 510.841.4447  
 510.841.4448  
 510.841.4449  
 510.841.4450  
 Fax: 510-841-6144



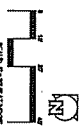
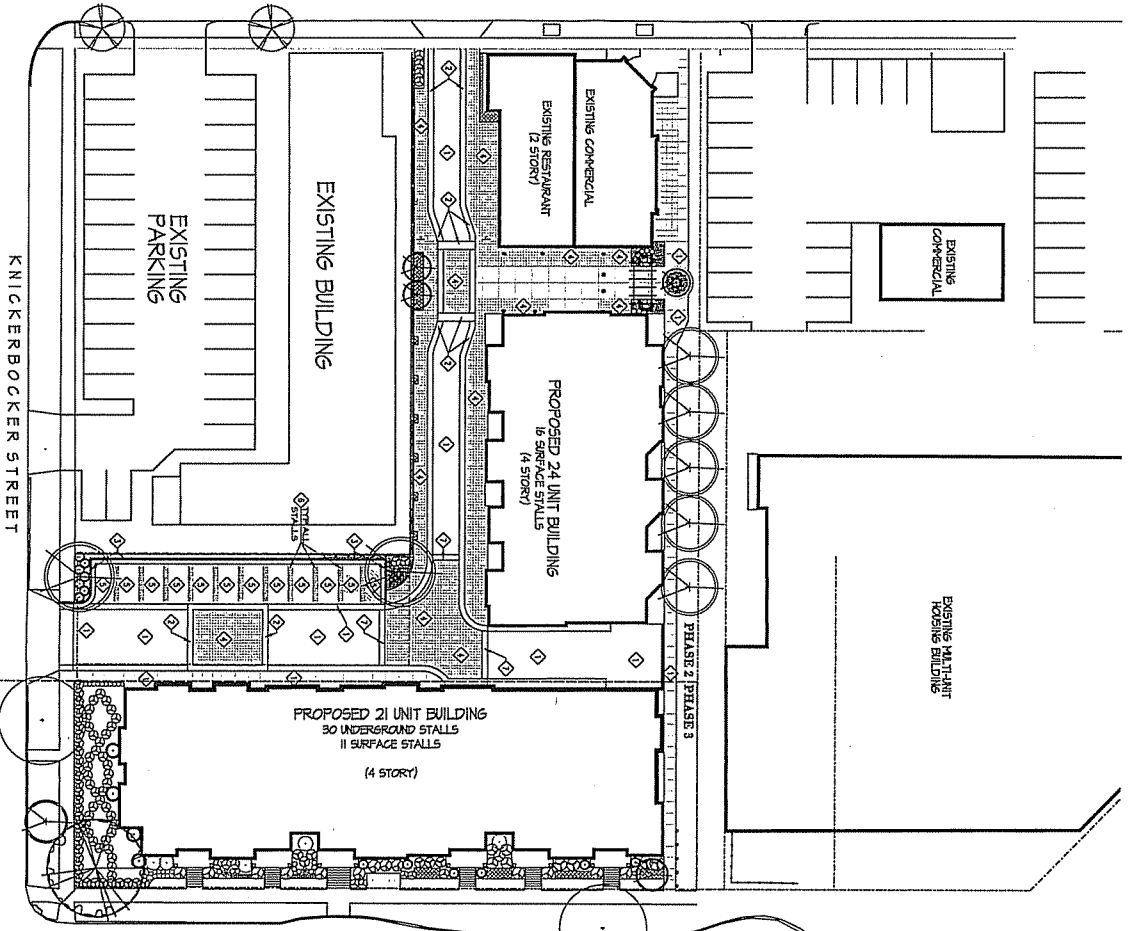


NOTES:  
 1) WOONERS SIGNS SHALL BE POSTED ON EITHER END OF THE PRIVATE DRIVE ONE AT THE MONROE STREET ENTRANCE AND ONE AT THE KNICKERBOCKER PLACE ENTRANCE.  
 2) THIS PAVING PLAN INDICATES FINAL PAVING LAYOUT AND PAVEMENT AFTER PHASE 2 AND PHASE 3 CONSTRUCTION. PHASE 1 SHALL BE COMPLETED BETWEEN PHASES TO ACCOMMODATE FUTURE CONSTRUCTION ACCESS AND STAGING.

**PAVING SCHEDULE**

- ◆ STANDARD CONCRETE PAVEMENT
- ◆ STANDARD CONCRETE ROLLED CURB ON HALVED SECTION
- ◆ STANDARD CONCRETE CURB AND GUTTER
- ◆ CONCRETE WITH TIGHT SCORING PATTERN FOR PEDESTRIAN AREAS
- ◆ POROUS CONCRETE
- ◆ STANDARD COLOR
- ◆ COLORED CONCRETE ON PAVEMENT MARKING
- ◆ COLORED CONCRETE ON PAVEMENT MARKING

MONROE STREET



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

CALL LOGGERS HOTLINE  
 800-455-5888

FOR MORE INFORMATION  
 VISIT US AT  
 WWW.KNOTHE-ARCHITECTS.COM

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7011 Lakeside Avenue, Suite 201  
 Dallas, Texas 75214  
 652-535-3100 Fax: 652-5344

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 Dallas, Texas 75214  
 652-535-3100 Fax: 652-5344

**REVISIONS**

ISSUED TO 0000 REVISED - JUN 14, 2007

ISSUED TO 0001 REVISED - FEB 20, 2007

ISSUED TO 0002 REVISED - FEB 20, 2007

PHYSICAL LOT SUBMITTAL - FEB. 20, 2008

PERMITS - JUN 03, 2008

REVISIONS - APR 20, 2008

REVISIONS - APR 20, 2008

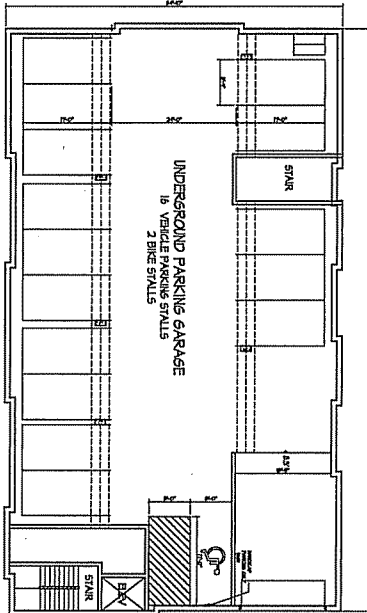
**Project No.**  
 2605 Monroe Street

**Project No.**  
 Paving Plan

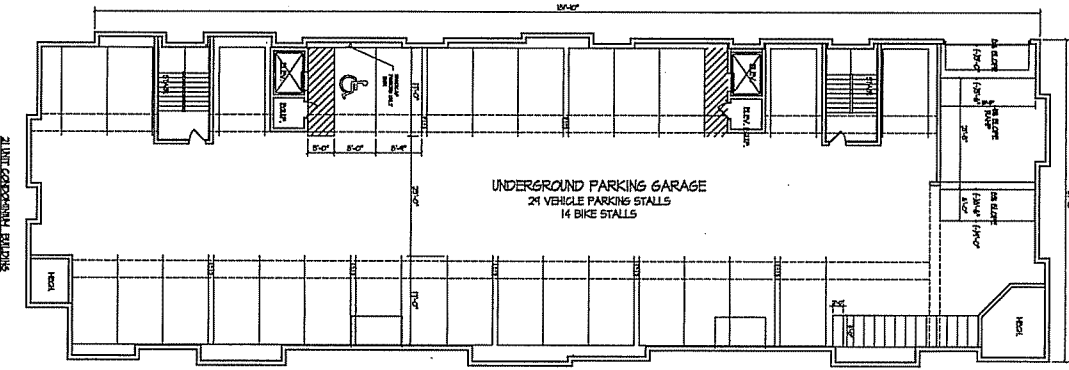
**Project No.**  
 0522 FOR REFERENCE



2



24 WEST ARBOR STREET BUILDING



24 WEST CORPORATE BUILDING

BASEMENT PLAN

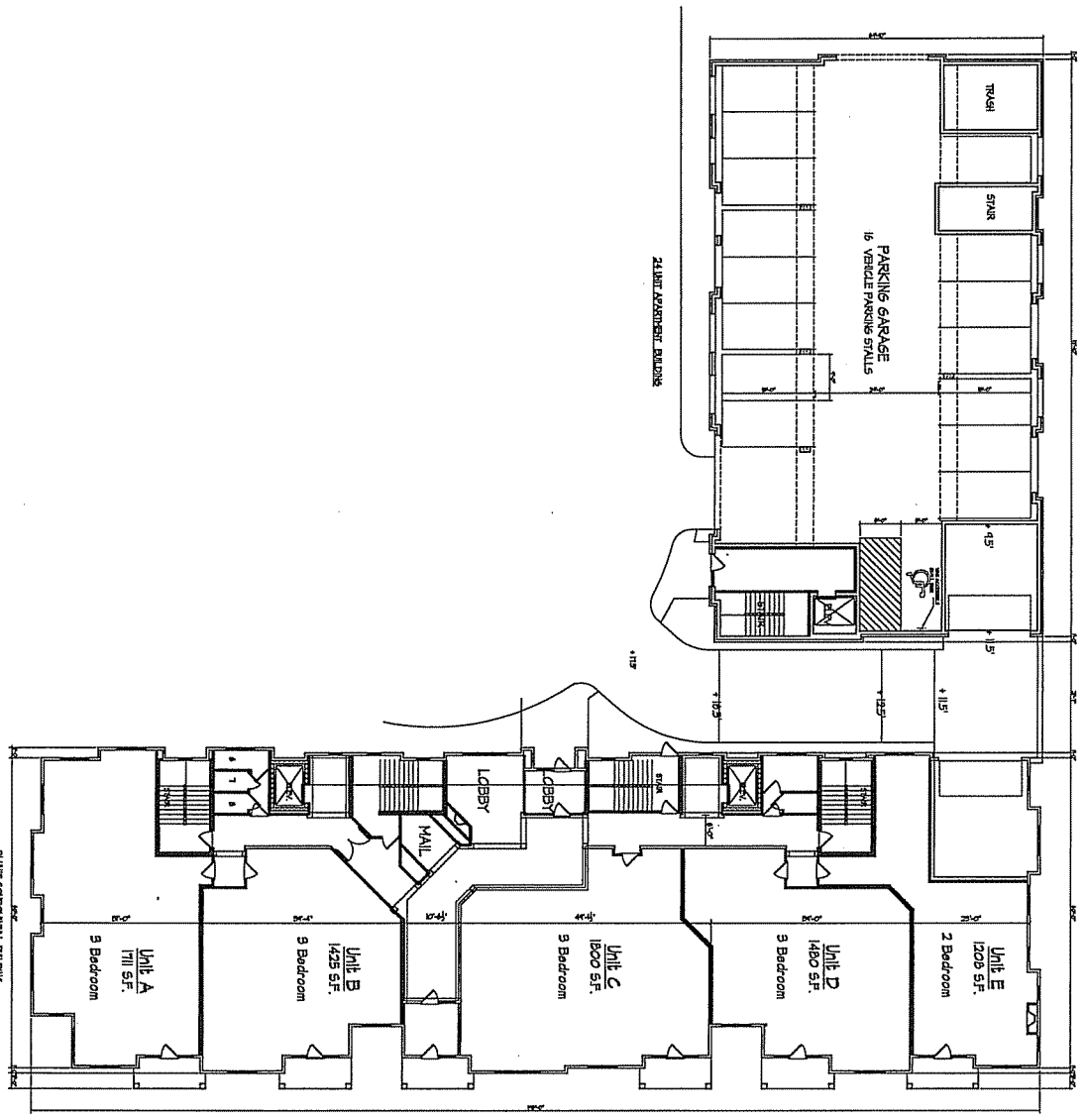
**KNOTHE & BRUCE ARCHITECTS**  
 7101 Liberty Avenue, Suite 201  
 Middletown, Wisconsin 53122  
 408-834-3390 Fax 408-834-8934

Notes

Revision  
Amended SIF Standard - April 20, 2011

Project Title  
**2603 Monroe Street  
 & 262B Arbor Drive**  
 (aka 2603 Monroe Street)

Drawing Title  
**Basement Plan**  
 24 West 4th Bldg 1 of 11th Condo Bldg  
 Project No. 0522  
 Drawing No. A-10



FIRST FLOOR PLAN

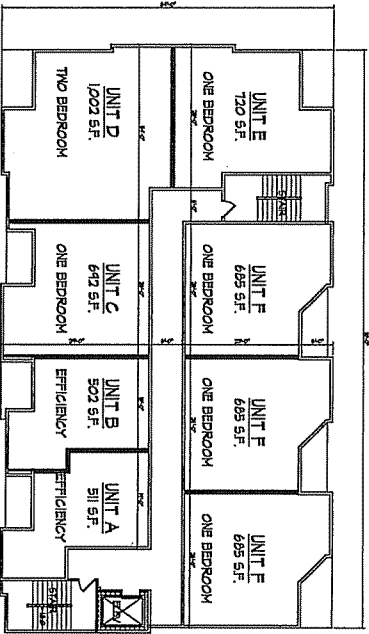
**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Suite 201  
 Middleton, Wisconsin 53122  
 608-831-1200 Fax 608-831-9794

Project: \_\_\_\_\_  
 Date: \_\_\_\_\_

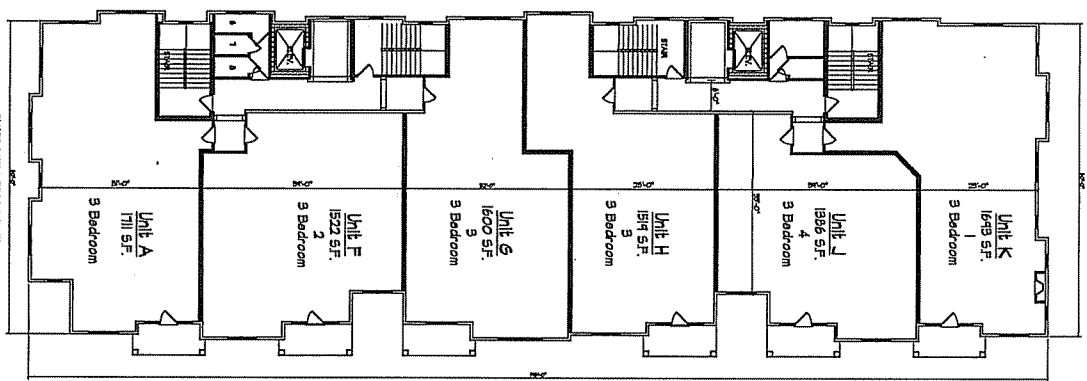
Revision: \_\_\_\_\_  
 Approved: S.P. Schmittler - April 20, 2001

Project No: \_\_\_\_\_  
 2603 Monroe Street  
 & 2628 Arbor Drive  
 (aka 2605 Monroe Street)

Drawing Title: \_\_\_\_\_  
 Drawing No: \_\_\_\_\_  
 24 Unit Apt Bldg & 2 Unit Carport Bldg  
 0522 A-11



24 UNIT APARTMENT BUILDING



24 UNIT EXPANSION BUILDING

SECOND & THIRD FLOOR PLAN

**KNOTHE & BRUCE ARCHITECTS**  
 7801 University Avenue, Suite 202  
 Middleton, Wisconsin 53522  
 608-834-1100 Fax 608-834-1134

Drawn: \_\_\_\_\_  
 Title: \_\_\_\_\_

Project Title: \_\_\_\_\_  
 Revised: \_\_\_\_\_  
 Approved: \_\_\_\_\_  
 Date: April 20, 2011

Project Title: \_\_\_\_\_  
 2603 Monroe Street  
 & 2628 Arbor Drive  
 (aka 2605 Monroe Street)

Project Title: \_\_\_\_\_  
 Second & Third Flr. Plan  
 24 Unit Apt Bldg & 21 Unit Condo Bldg  
 Drawn: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 A-12

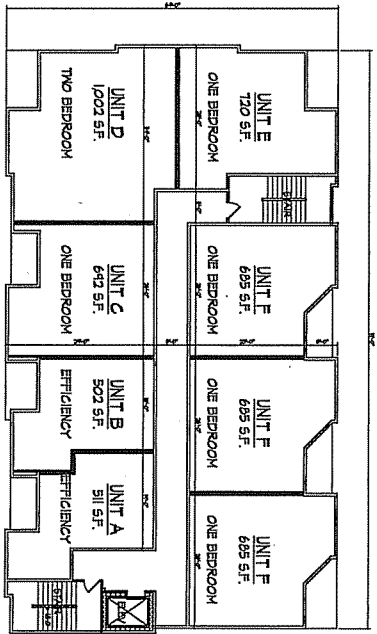
**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Suite 202  
 Middleton, Wisconsin 53122  
 408.834.1900 Fax 608.834.1934

**Project Title**  
 2603 Monroe Street  
 & 2628 Arbor Drive  
 (aka 2605 Monroe Street)

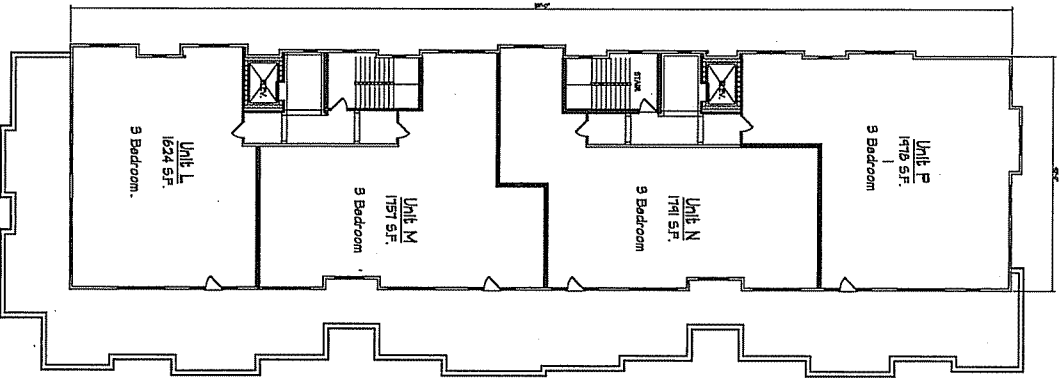
**Revision**  
 Approved SFP submitted - April 20, 2011

**Project Title**  
 2603 Monroe Street  
 & 2628 Arbor Drive  
 (aka 2605 Monroe Street)

**Project Title**  
 Fourth Floor Plan  
 24 and 4th Bldg & 21 Unit Condo Bldg  
 Project Title  
 Drawing Title  
 0522 A-1-B

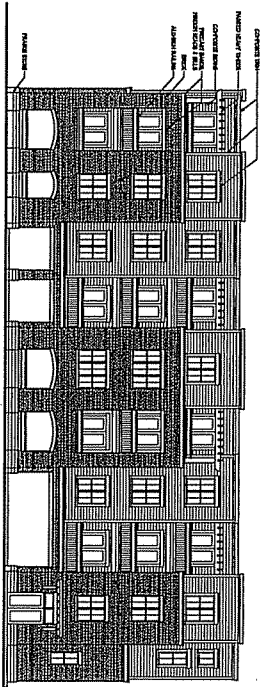


24 UNIT APARTMENT BUILDING

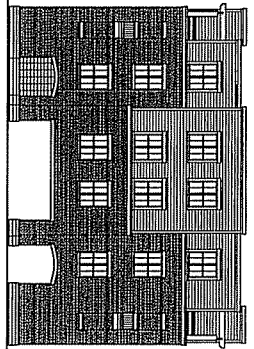


21 UNIT CONDOMINIUM BUILDING

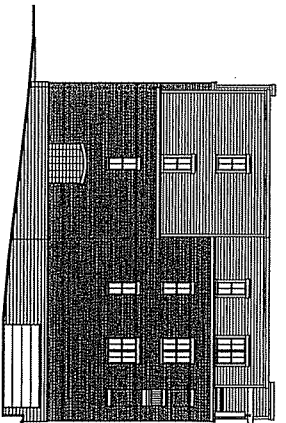
**FOURTH FLOOR PLAN**



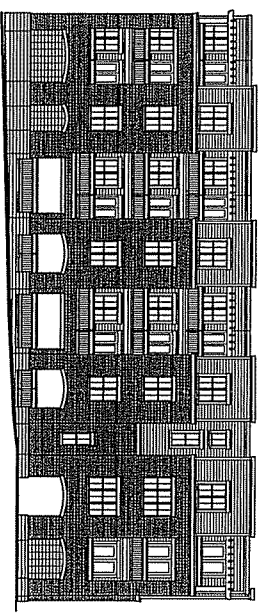
○ **SOUTHWEST ELEVATION (TOWARDS KNICKERBOCKER STREET)**



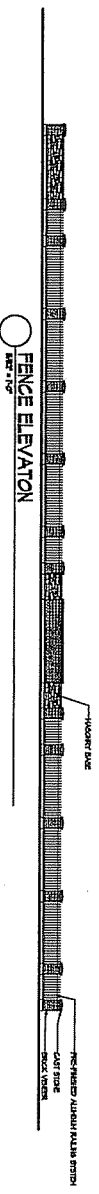
○ **NORTHWEST ELEVATION (TOWARDS MONROE ST.)**



○ **SOUTHEAST ELEVATION (TOWARDS ARBOR DRIVE)**



○ **NORTHEAST ELEVATION**



○ **FENCE ELEVATION**

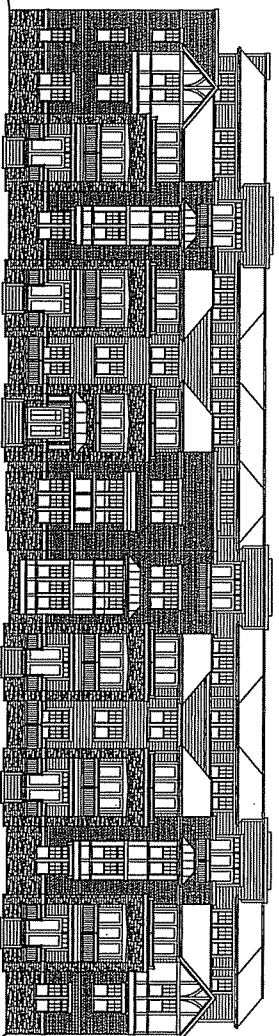
**KNOTT & BRUCE ARCHITECTS**  
 7601 Locking Avenue, Suite 200  
 Middleton, Wisconsin 53522  
 608-831-1100 Fax 608-831-4334

Notes

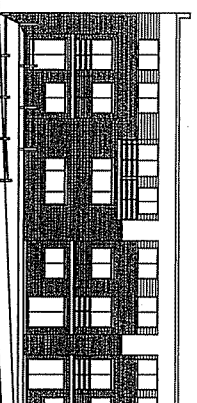
Project: 2603 Monroe Street  
 Architect: SPB Schindler - April 20, 2001

Project: 2603 Monroe Street  
 Architect: SPB Schindler - April 20, 2001

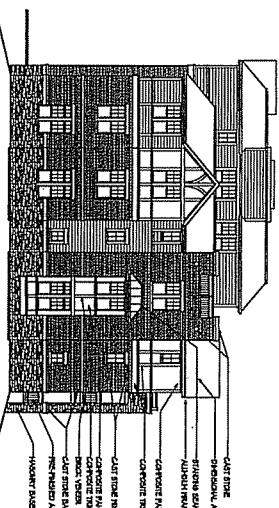
Project: 24 1/2th Apartments Bldg  
 Architect: SPB Schindler - April 20, 2001



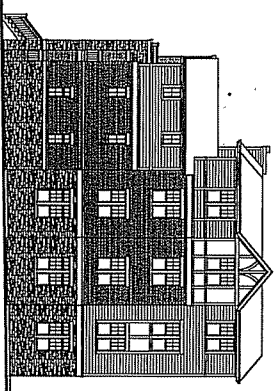
○ SOUTHEAST ELEVATION (ARBOR DR.)  
SCALE: 1/8" = 1'-0"



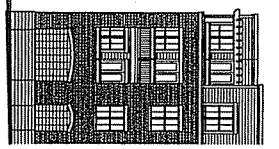
SCALE: 1/8" = 1'-0"



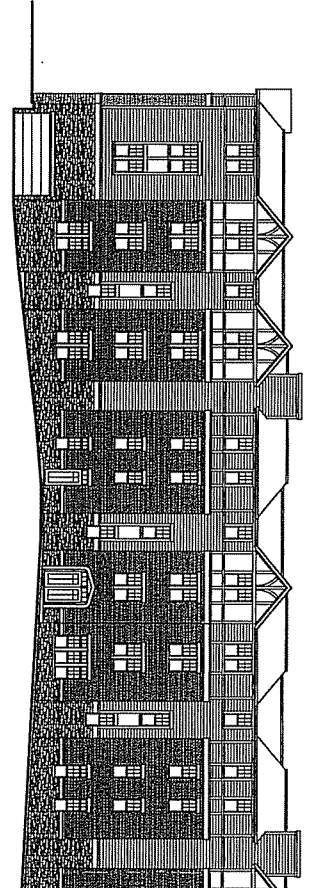
○ SOUTHWEST ELEVATION (KNICKERBOCKER ST.)  
SCALE: 1/8" = 1'-0"



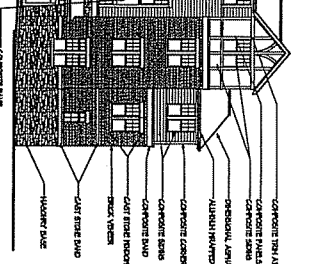
○ NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



○ NORTHWEST ELEVATION (TOWARDS MONROE STREET)  
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

**KNOTT & BRUCE ARCHITECTS**  
 7401 Liberty Avenue Suite 201  
 Middleton, Wisconsin 53522  
 608.812.2490 Fax 608.439.1744

Notes: \_\_\_\_\_

Project: 211th Condominium Bldg  
 Architect: SP Skanska - April 30, 2011

Project Title:  
**2603 Monroe Street  
 & 2628 Arbor Drive**  
 (aka: 2603 Monroe Street)

Project Title:  
**Elevations**  
 211th Condominium Bldg  
 Project No.: 0522  
 Drawing No.: A-22