



October 12, 2016

City of Madison
Department of Planning and Community Development
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701

Re: Land Use Application
Proposed new development
1109 S. Park St.
Madison, Wisconsin

City Staff and Commission Members:

On behalf of property owner Sue Jiang and our development team, I am submitting this "Letter of Intent" to the City of Madison for a requisite Land Use Application, and for Urban Design Commission Final Approval. Please find enclosed with this letter the necessary application form, fee, and drawings illustrating and supporting the information herein.

Development Team:

Owner:

Sue Jiang
Tri-River Realty
622 S. Park Street
Madison, WI 53713
608-283-9335

Civil Engineer:

JSD Professional Services, Inc.
Contact: Hans Justison, PE
161 Horizon Drive, Suite 101
Verona, WI 53593
608-848-5060

Property Manager:

Madison Property management
Contact: Jim Stoppie
1202 Regent Street
Madison, WI 53715
608-268-4912

Landscape Architect:

JSD Professional Services, Inc.
Contact: Kevin Yeska
161 Horizon Drive, Suite 101
Verona, WI 53593
608-848-5060

Architect:

Shulfer Architects, LLC
Contact: Nick Badura
7780 Elmwood Avenue, Suite 208
Middleton, WI 52562
08-836-7570

Structural Engineer:

MP-Squared Structural Engineers, LLC
Contact: Mark Puccio
583 D'Onofrio Drive
Suite 201
Madison, WI 53719

**Project Overview:**

The proposed project will include the redevelopment of four existing properties at the 1100 block of South Park Street, hereafter referred to collectively as 1109 S. Park Street. The development extends along the East side of S. Park Street, from Emerson Street south to the existing gas station/convenience store north of Olin Avenue.

The proposed building is a 4-story structure at Park Street. There will be a level of parking beneath the building, and beneath Park Street elevation, as well as a surface parking lot on the east side of the property, all of which will be accessed via an existing driveway/curb cut from Emerson Street, combined with an existing alleyway.

Demolition needed:

All existing structures on the properties affected are proposed to be razed in their entirety. There are no historically or architecturally significant structures, and all are in a state of deterioration requiring extensive costs to repair if saved.

Use and Occupancy:

This will be a mixed-use development with approximately 8,762 square feet of commercial space on the first floor. An outdoor patio area is proposed at the intersection of Emerson and Park Street for a possible restaurant tenant (future conditional use will be sought for this as the tenant is identified).

There will be 38 residential apartments on floors 2, 3 and 4, including three (single story) units accessed at grade on Emerson Street. Units above these three will be accessible from inside the building. All residential units will be standard market-rate apartment units. A specific breakdown of units, sizes, and gross building areas is provided later in this document.

The building Owner, Sue Jiang, has indicated she will most likely occupy one larger unit on the third floor.

A third floor common social room is provided for resident and possible community use.

Business Hours of Operation:

The commercial tenants have not yet been identified, as such we cannot speak for their specific hours. However, it is anticipated that there will be a mix of professional service, retail, and restaurant businesses. The normal hours of operation would be 8:00 am to 7:00 pm for office uses, 10:00 am to 7:00 pm for retail uses, and 11:00 am to 11:00 pm for restaurant uses. Some variances are to be expected for weekends and specific business models.

**Building Setback / Sidewalk:**

The existing buildings to be razed for this project currently have no setback from the property line, leaving a sidewalk and terrace combined dimension of approximately eight feet. At the request of staff and UDC, we have stepped the entire building back ten feet above grade, creating a pedestrian sidewalk/terrace width of 18-feet.

A paving setback of five feet will be maintained along the East property line, allowing for enhanced landscape and decorative screening walls.

Parking:

There will be approximately 53 parking stalls, 29 of which will be in the enclosed, secure parking garage, 24 on the surface parking lot.

Bicycle parking will be accommodated both internally and externally, on both sides of the building. Twelve bicycle parking placements will be accommodated on Park Street side. The total bicycle parking will be 48 on-ground bicycle stalls.

Access:

Entries to the commercial tenants will be gained via independent storefronts along the Park Street (west) side of the building. Most tenants, depending on size and location, will have access to the exit stairs, providing direct access to both the surface parking and underground parking lots.

Resident entry will be gained from either the egress stairs (accessed in two locations from the east side of the building, or internally), an adjacent elevator, or from a common resident entry on Park Street.

Building and Tenant Services:

Trash and recycling will be located in a decorative masonry enclosure located along the south property line (adjacent to and partially covering the existing concrete and masonry wall of the gas station). Further, a trash chute/room is proposed within the building.

Deliveries to the commercial tenants will be from the Park Street side of the building, via a proposed dedicated loading zone near the Emerson/Park intersection. Specific time limits can be accommodated pending discussions with City Traffic Engineering.

Gas and Electric utilities are proposed to enter the building from the south end, with a new transformer located between the building and the property line. (to be verified).

Unique characteristics:

The property slopes six to eight feet from West (Park Street) to the East. This provides best opportunity for underground parking access from the east side of the property.

As Park Street slopes from South to North, approximately three feet along the length of the building, the floor structure will be required to step to follow this grade. Two steps in the first floor height will be provided to overcome this grade change, and to provide accessible access to all spaces.



Accommodations & Considerations:

The building design has gone through many changes over the course of city and neighborhood meetings. Some of these requested changes that the Owner has agreed to have both added costs and reduced revenue-producing square footage for the development. The most recent changes have come about since the latest UDC meeting on September 21st:

- Reduced the height of the building by eliminating the 5th story social room, stairs, etc.
- Reduced the mass/height of the building at the corner to help reduce shadowing
- The Emerson façade has been enhanced with a taller townhouse element, and the social room was moved to above the townhouses with a green roof.
- The units along Emerson Street are single level units, with units above accessible from within the building
- Additional square footage was added to allow three units to face Emerson Street, versus the two previously shown
- Enhanced the corner element with additional glazing and roof form to define as a “tower” element
- One of the siding materials was eliminated to simplify the building.
- Balconies were lengthened along the neighborhood side of the building, per UDC suggestion

The following list describes earlier changes made to the design, and is provided to help show how city and neighborhood concerns have been addressed by the development team throughout the approval process:

- Reduce the proposed fifth floor to simply a social room, with no occupied residential space. Also reduced the size of the rooftop patio. (reduction of 6-8 units).
- Eliminated an originally proposed second-level of parking, (and driveway from Park Street) to reduce the mass of the East side of the property, and lowered an originally proposed 25-foot tall wall along the alley to surface parking only.
- The 5th story social room was stepped back away from the east roof line to further visually reduce the height of the building along Emerson Street/residential side.
- Exterior materials from Park Street were carried around to better create a cohesive four-sided architecture. This includes masonry, glazing, and more variation of materials.
- Stepped building back from Park Street to a total of 10-feet from the property line, resulting in a reduction of approximately 7,000 square feet over four floors.
- Parking lot entrance was moved East to combine with the alley entrance, which provides additional space for development along Emerson Street.
- To create more activity along Emerson Street, the northeast corner of the building was opened up with storefront windows along the back corner of the building, and wrapping the patio around the building with a trellis element to define seating areas. The trash was moved from inside the building near Emerson Street, to the end of the parking lot to alleviate noise/sound concerns for nearby residents.
- Added two, two-story townhouse style units on Emerson Street at Neighborhood request
- Added walkway and stair along south property line for neighborhood pass-through
- New trellis structures are proposed to buffer the parking lot from residential properties
- Reduced overall unit count from greater than 47, down to 39.
- Re-balanced unit size ratios, reducing the amount of efficiency units, and increasing the amount of 1 and 2-bedroom units.



- **Zoning District:**

The property is currently zoned TSS, Traditional Shopping Street.

The proposed development is a conforming use.

Three stories is an approved use, an extra two stories in height are allowed with City approval

UDC Design District:

The property is in the UDC Design District #7

Project Data:

Project Address:	1109 S. Park St.
Proposed Use:	Mixed Use Development Commercial/Retail & Residential apartment
Combined Lot size:	27,922 sf
Lot Coverage:	84% coverage
Sidewalk at Park St:	18'-0" from back curb to bldg. face
Automobile Parking:	53 parking stalls
Bicycle Parking:	48 total spaces provided
Building Height:	Proposed 4 stories at Park Street
Building Area:	See plan (+/- 42,000 finished, plus 14,000 lower level).
Usable Open Space:	2,536 sf pervious landscape area at grade ~ 1,520 sf pervious landscape area at rooftop Commercial patio area: 780 sf Residential patio & balcony area: 1,720 sf
Apartment Totals:	Studio Units- 15 1 Bedroom Units- 17 <u>2 Bedroom Units- 6</u> 38 Total Units



Project Schedule:

If granted approval, it is intended that this project will proceed into construction in early 2017. Completion and Occupancy would be in late 2017.

Jobs Created:

It is anticipated that this development will yield temporary construction work for up to forty FTE's. The commercial space will yield approximately 30 FTE's.

Project Cost:

This project is anticipated to cost approximately \$8,000,000.

Conclusion:

Please accept these documents for Land Use and Urban Design approval. You will find that our development team has gone to great lengths to bridge City and Neighborhood concerns with development objectives. The result is a fantastic addition to the South Park Street corridor, bringing a fresh and vibrant new addition to the community.

I thank you for your consideration, and look forward to discussing this project more in coming months.

Respectfully,

A handwritten signature in black ink, appearing to read 'Steve Shulfer', with a long horizontal flourish extending to the right.

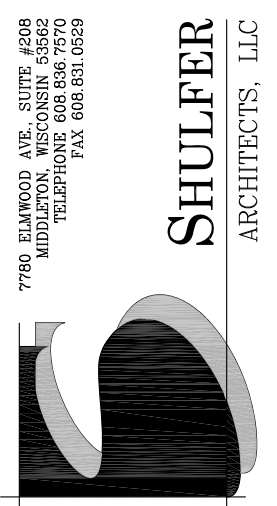
Steve Shulfer, AIA, LEED AP
SHULFER ARCHITECTS, LLC

1109 S. PARK STREET

MIXED-USE REDEVELOPMENT

1109 S. PARK ST.

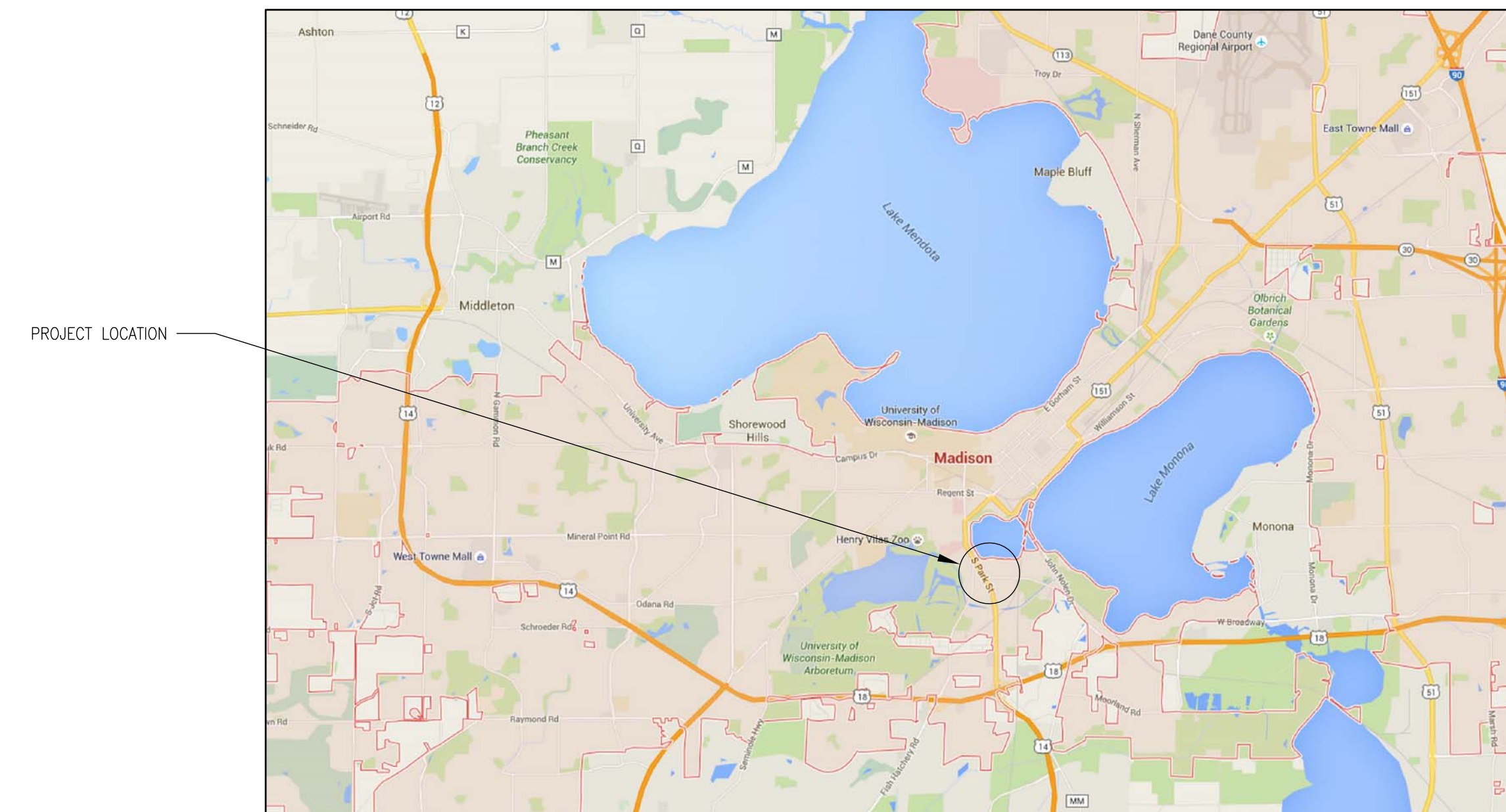
MADISON, WISCONSIN



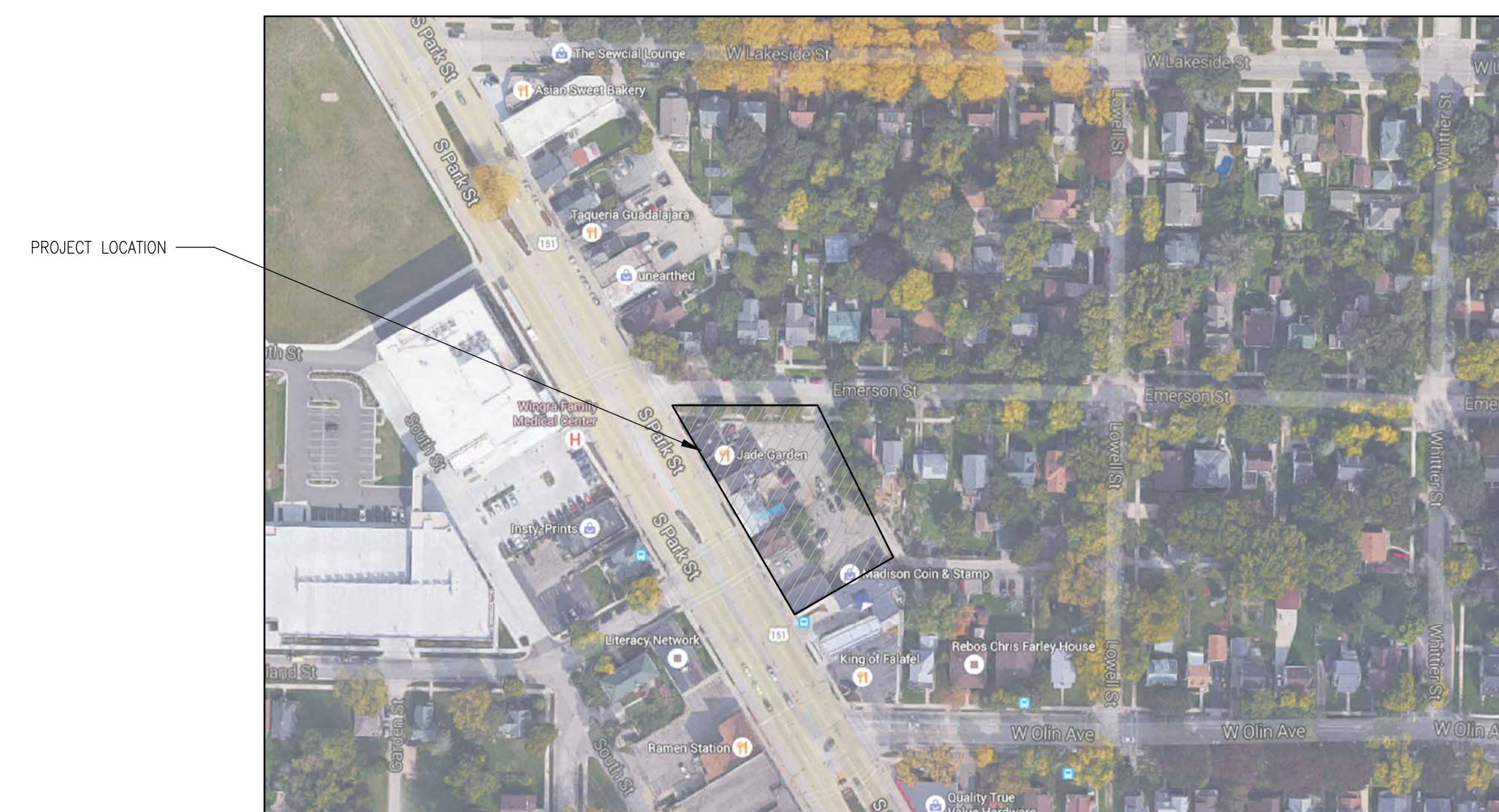
SHEET INDEX:

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A6.2	RENDERINGS
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A6.4	RENDERINGS

PROJECT LOCATION MAP:



PROJECT LOCATION:



CONTACTS:

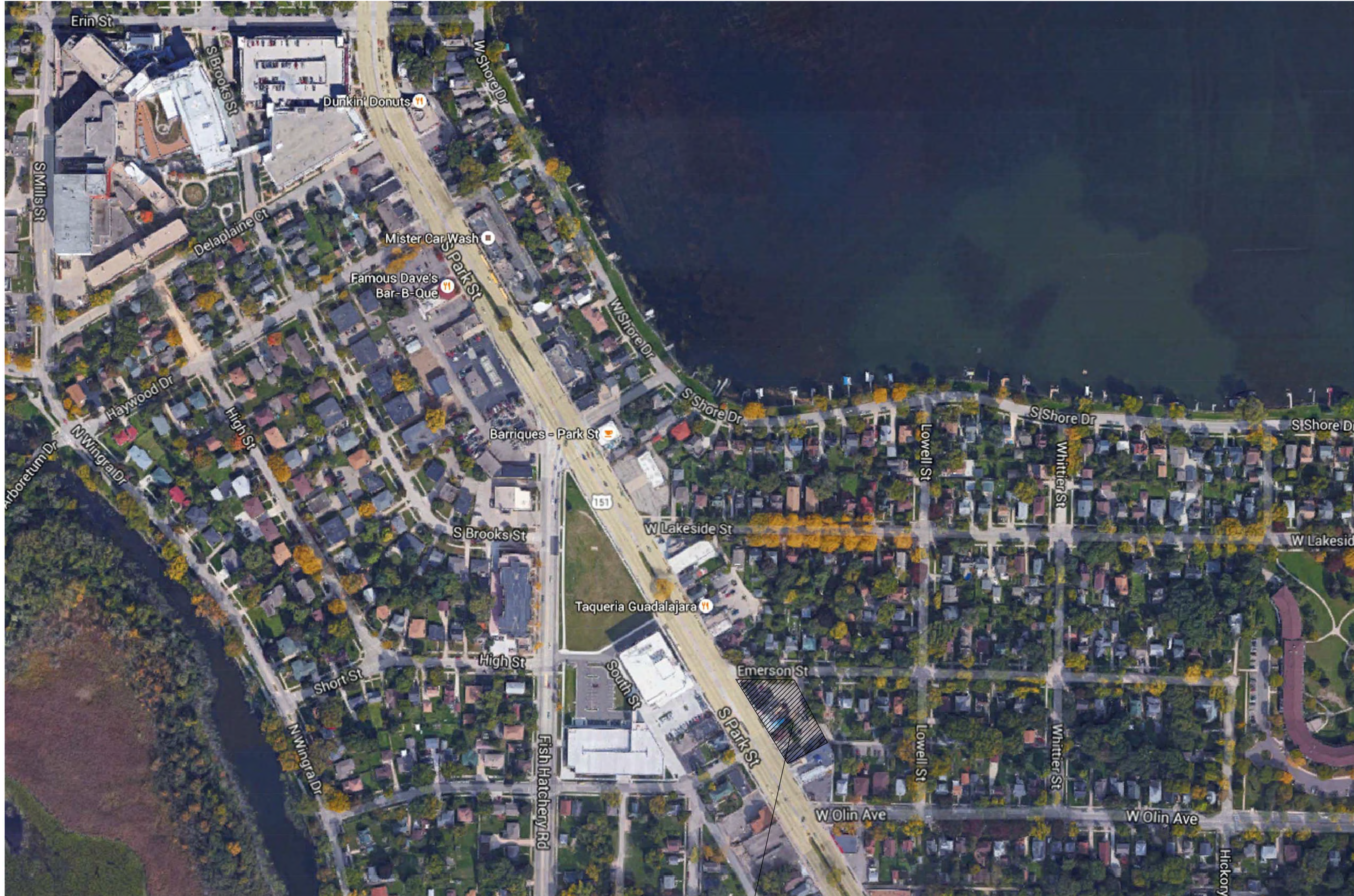
OWNER: SUE JIANG TRI-RIVER REALTY 622 S. PARK STREET MADISON, WI 53713 608-283-9335	PROPERTY MANAGER: MADISON PROPERTY MANAGEMENT CONTACT: JIM STOPPLE 1202 REGENT STREET MADISON, WI 53715 608-268-4912	ARCHITECT: SHULFER ARCHITECTS, LLC CONTACT: NICK BADURA 7780 ELMWOOD AVENUE, SUITE 208 MIDDLETON, WI 52562 08-836-7570
CIVIL ENGINEER: JSD PROFESSIONAL SERVICES, INC. CONTACT: HANS JUSTISON, PE 161 HORIZON DRIVE, SUITE 101 VERONA, WI 53593 608-848-5060	LANDSCAPE ARCHITECT: JSD PROFESSIONAL SERVICES, INC. CONTACT: KEVIN YESKA 161 HORIZON DRIVE, SUITE 101 VERONA, WI 53593 608-848-5060	STRUCTURAL ENGINEER: MP-SQUARED STRUCTURAL ENGINEERS, LLC CONTACT: MARK PUCCIO 583 D'ONOFRIO DRIVE SUITE 201 MADISON, WI 53719

1109 S. PARK STREET
MIXED-USE REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

COVER SHEET
LAND USE APPLICATION

10/12/16
LAND USE APPLICATION

A0.0



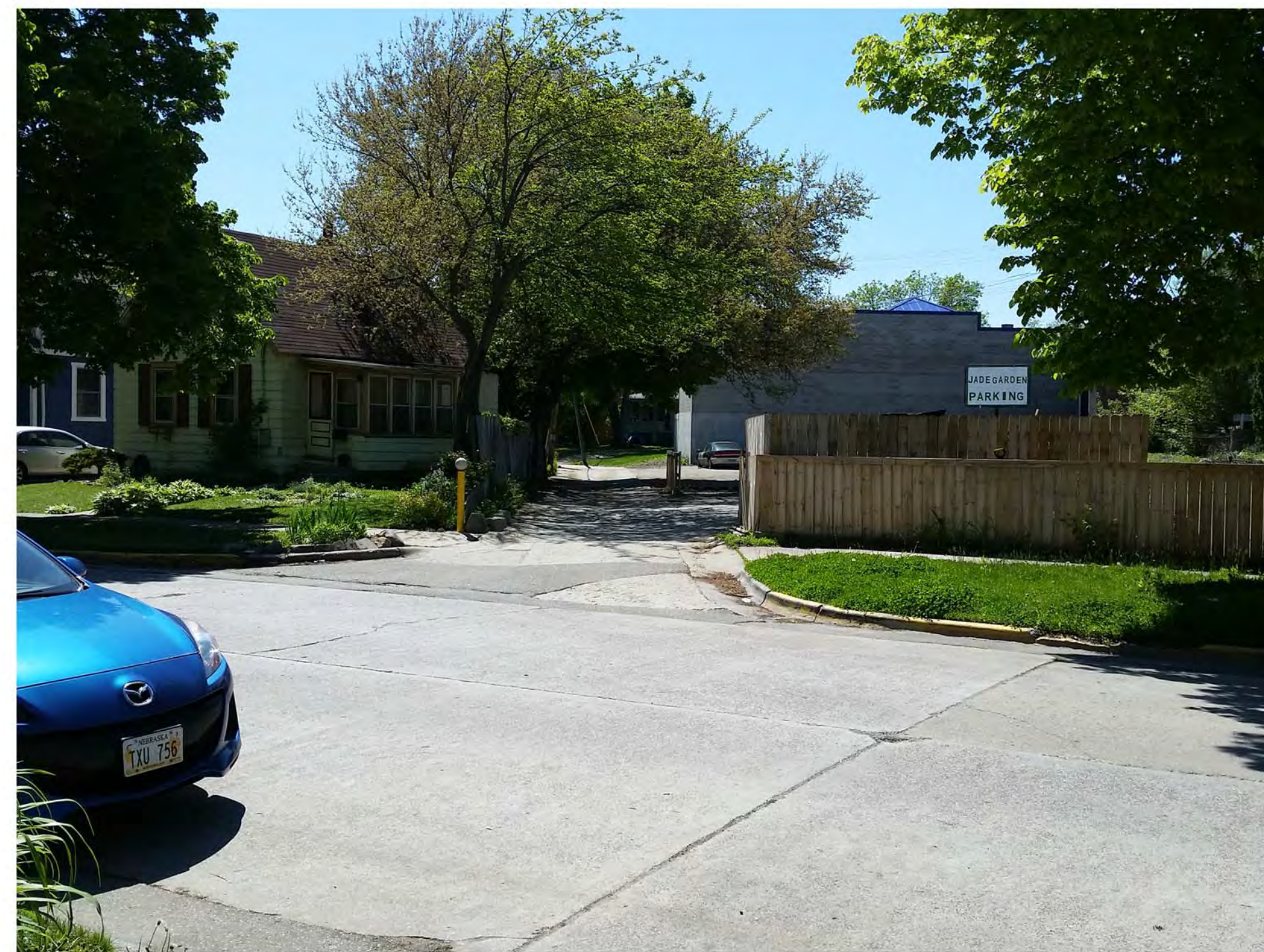
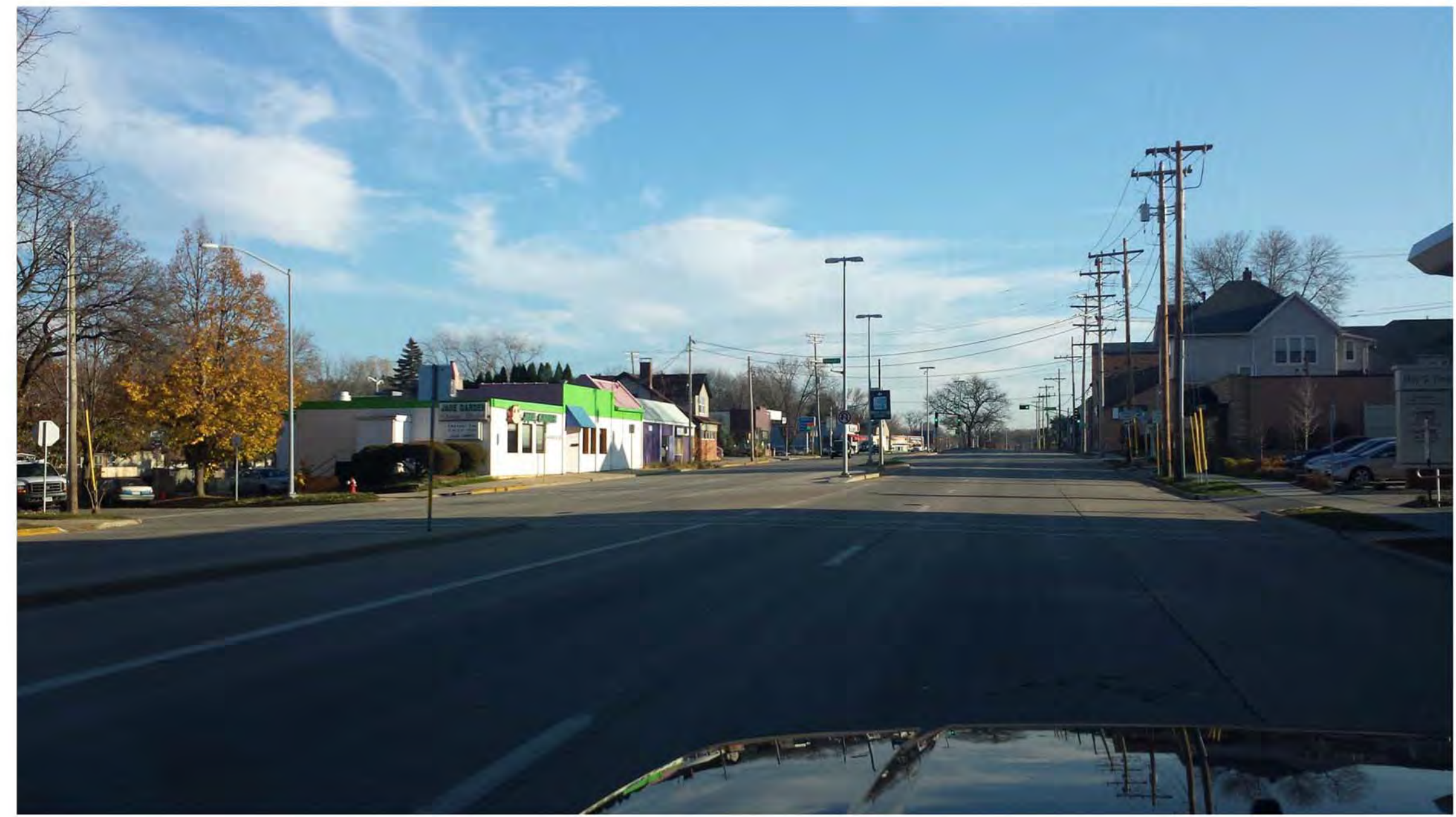
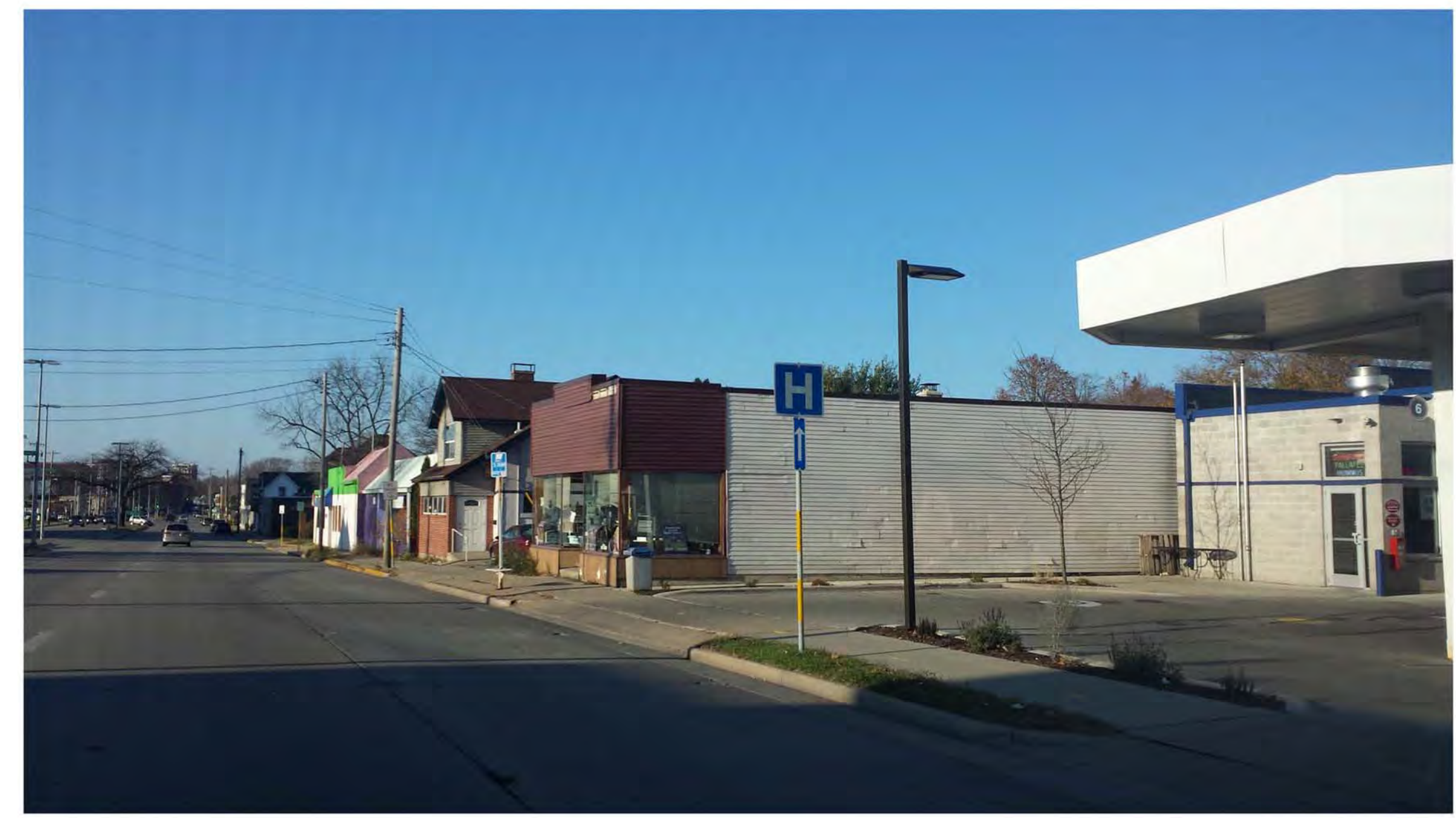
PROJECT SITE



1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

NEIGHBORHOOD CONTEXT

10/12/16
 LAND USE APPLICATION



1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

EXISTING SITE PHOTOS

10/12/16
LAND USE APPLICATION

A1.0

BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY

LOTS 8, 9, 10 AND 11, BLOCK 3, PLAT OF SOUTH MADISON, EXCEPT THE SOUTHWESTERLY 20 FEET THEREOF, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

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- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:

SHULFER ARCHITECTS, LLC
 1918 PARMENTER ST., STE. 2
 MIDDLETON, WI 53562

PROJECT:
1109 THRU 1117 SOUTH PARK STREET

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:
 DRAWN: JK 11/02/15
 APPROVED: TJB 11/03/15

PLAN MODIFICATIONS: DATE:
 Add LOT 7 05-17-16

DATE: _____

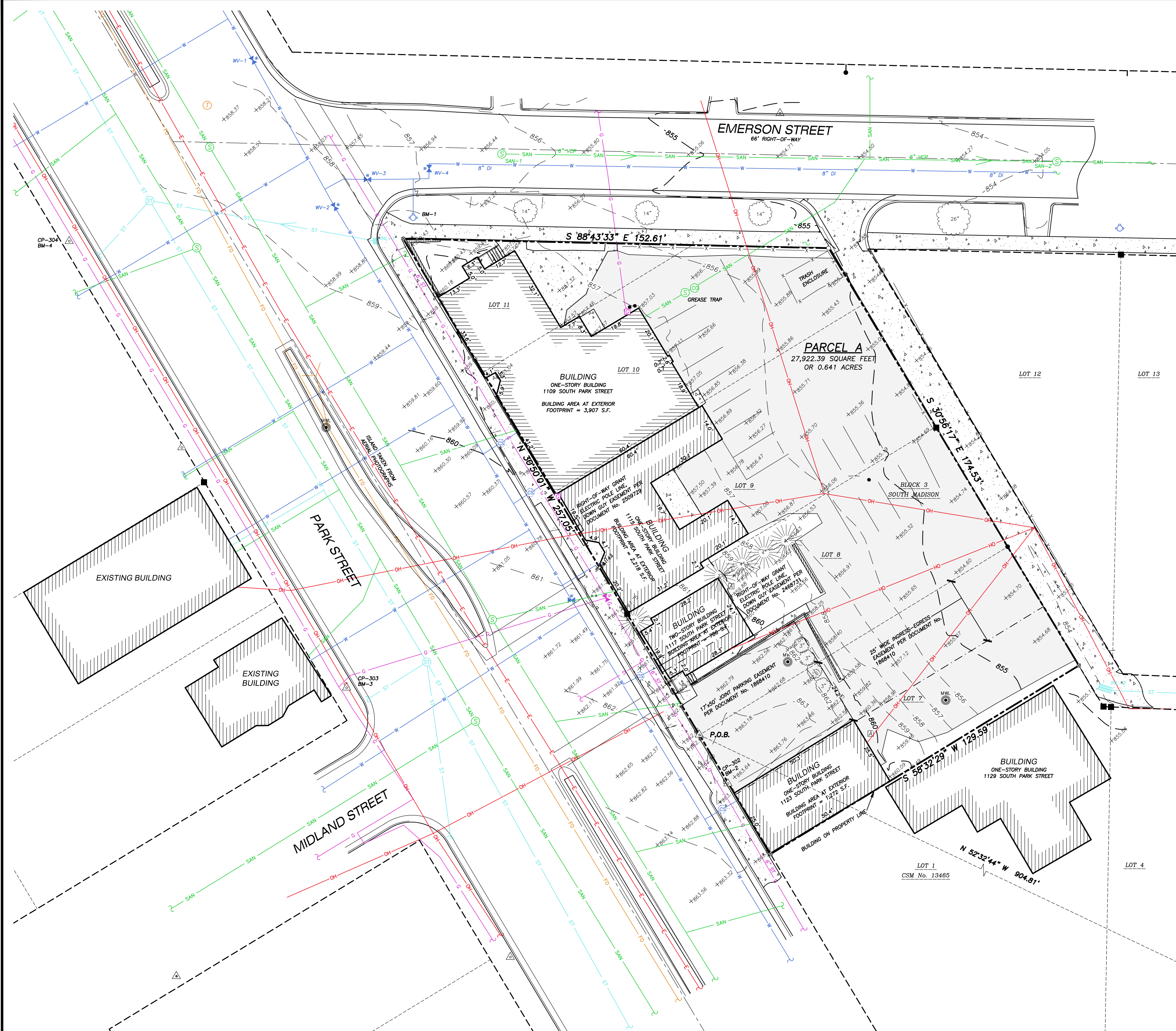
DATE: _____

DIGGERS HOTLINE

Call 811 or (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
BOUNDARY, TOPOGRAPHIC AND AND UTILITY SURVEY

MAP NO: C-396
 SHEET NUMBER:
CO.1



LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" REBAR FOUND
- CHISELED 'X' SET
- COTTON SPINDLE SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- BENCHMARK
- BOLLARD
- SIGN
- SANITARY MANHOLE
- CLEAN OUT
- HYDRANT
- WATER OR GAS VALVE
- CURB STOP/SERVICE VALVE
- STORM MANHOLE
- SQUARE CASTED INLET
- CURB INLET
- GAS REGULATOR/METER
- POWER POLE W/GUY
- LIGHT POLE
- TELEPHONE MANHOLE
- CONIFEROUS TREE

- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- SECTION LINE
- EASEMENT LINE
- FENCE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- BUILDING
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- RETAINING WALL
- CONCRETE PAVEMENT
- DISCONTINUED MAPPED PIPE LINE
- Denotes RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON OCTOBER 29, 2015 AND MAY 13, 2016.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY. THE EAST LINE OF THE SOUTHWEST QUARTER BEARS N 00°28'27" E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP WITNESS CORNER TO THE CENTER OF SECTION 26-07-09, ELEVATION = 865.99'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. S 20154208530 AND 20154208541, 20162011943, 20162011973 AND 20162011984.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11, BLOCK 3, PLAT OF SOUTH MADISON, EXCEPT THE SOUTHWESTERLY 20 FEET THEREOF, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

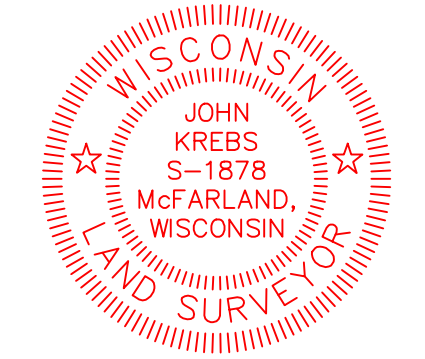
TAX KEY NO.'s:
 LOT 8 - 251/0709-262-0609-0
 LOT 9 - 251/0706-262-0608-2
 LOT 10 & 11 - 251/0709-262-0607-4
 LOT 7 - 251/0709-262-0610-7

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
 REGISTERED LAND SURVEYOR

DATE _____



STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	858.19	NW	855.74	12"	VCP
INL-2	853.52	SE	850.92	-	-

SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	856.37	N	849.91	*	*
		S	849.91	*	*
		E	849.88	6"	VCP
		W	847.54	6"	VCP
SAN-2	853.90	N	847.54	*	*
		S	847.54	*	*
		E	847.54	6"	VCP
		W	847.54	6"	VCP

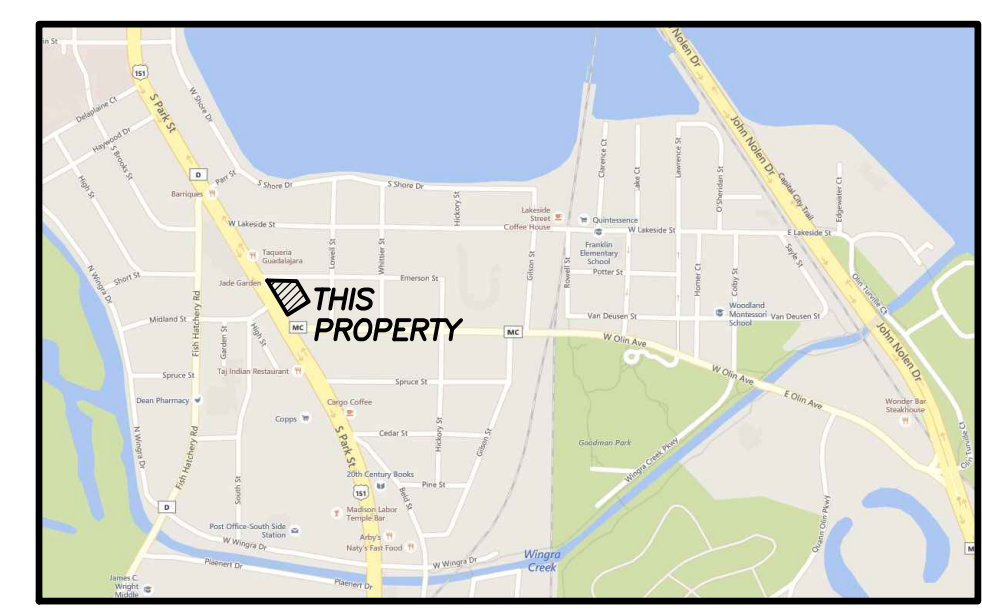
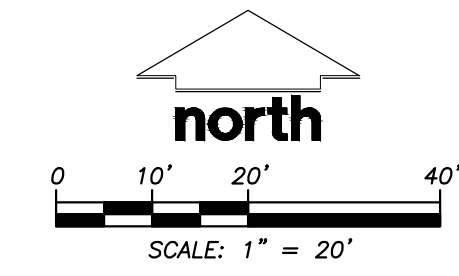
BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	860.83	TOP NUT ON HYDRANT, SE CORNER OF EMERSON AND PARK STREETS
BM-2	863.44	CP-302, CP-MAG NAIL, SOUTH CORNER OF LOT 7, BLOCK 3
BM-3	862.50	CP-303, CP-MAG NAIL, NORTH CORNER OF MIDLAND AND PARK ST.
BM-4	859.14	CP-304, CP-MAG NAIL, WEST OF EMERSON ST., WEST OF PARK ST.

WATER VALVES

VALVE No.	RIM ELEVATION	INVERT	ELEVATION
WV-1	857.72	TN	853.9
WV-2	858.40	TN	853.4
WV-3	857.61	TN	852.8
WV-4	856.85	TN	852.7

TN-TOP NUT OF WATER VALVE



CENTER OF SECTION 26-07-09
 FOUND CHISELED 'X' ON INLET
 N=874.929, 19
 E=818.549, 11

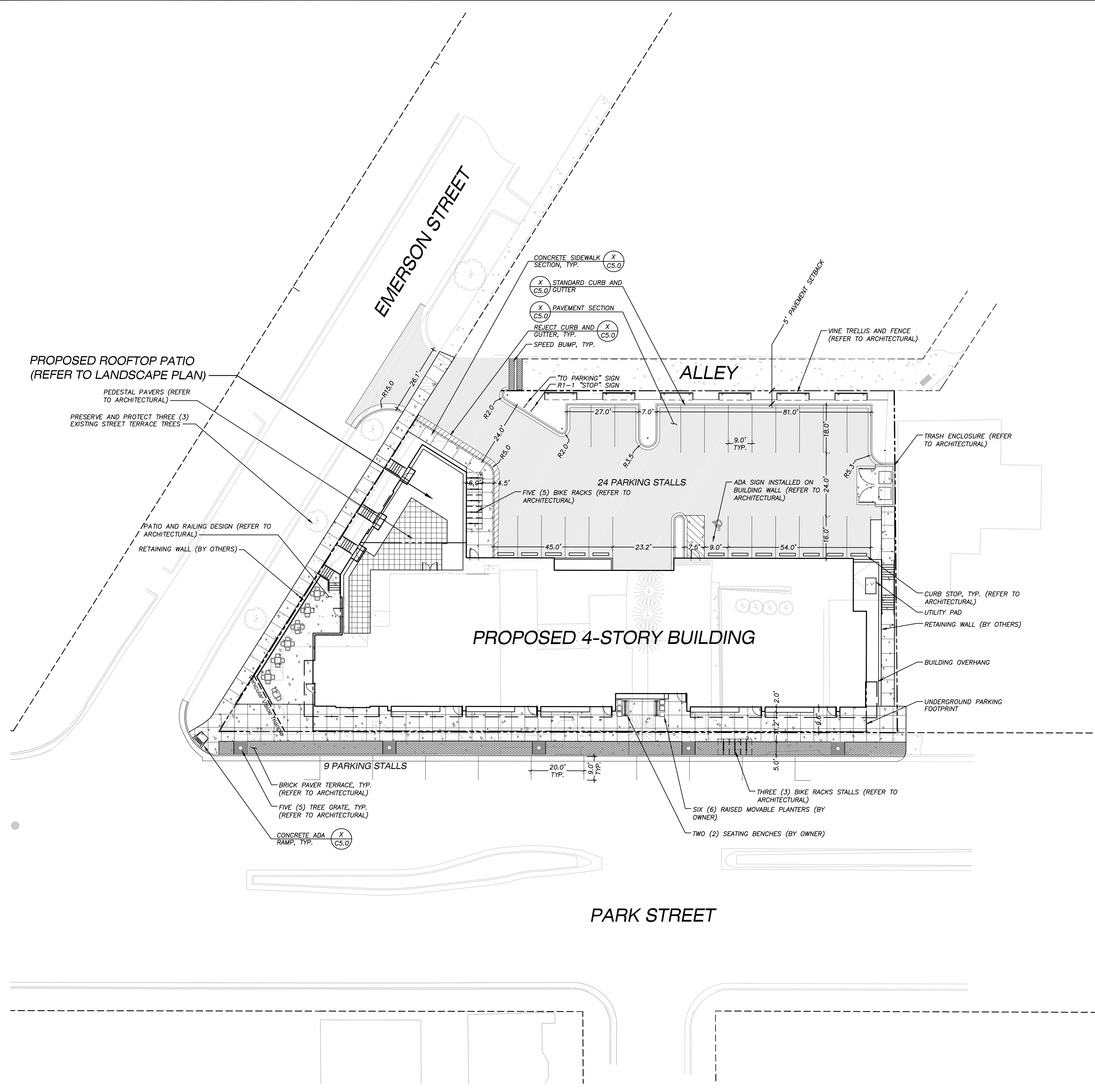
SOUTH QUARTER CORNER
 SECTION 26-07-09
 FOUND BRASS CAP
 N=872.932, 11
 E=818.572, 28

JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

File: I:\2015\157089.dwg | 157089-Excon.dwg Layout: CO.1 User: msaundera Plotted: Jun 10, 2016 2:09pm Xref:s

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LEGEND (PROPOSED)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- RAILING (BY OTHERS)
- SAN ----- SANITARY SEWER
- W ----- WATER LINE
- ST ----- STORM SEWER
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- ===== ASPHALT PAVEMENT
- ===== CONCRETE PAVEMENT
- LIGHT POLE

GENERAL NOTES:

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF MADISON REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. REFER TO GEOTECHNICAL REPORT FOR SITE EVALUATION, RECOMMENDATIONS AND CONSIDERATIONS.

SITE PLAN NOTES

1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
11. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	1109 S. PARK STREET
Site Acreage (total)	.641
Number of Building Stories (above grade)	4
Ground Level/Parking Square Footage	13,369 SF
First Floor Square Footage	12,178 SF
Second Floor Square Footage	12,502 SF
Third Floor Square Footage	10,826 SF
Fourth Floor Square Footage	6,382 SF
Use of property	Commercial/Retail/Residential
Number of parking stalls:	
Surface	
Large Stall	23
Accessible	1
Total Surface	24
Existing vs. Proposed Site Coverage:	
Existing Pavement Impervious Surface Area	17,222 S.F.
Existing Building(s) Impervious Surface Area	8,188 S.F.
Total Existing Impervious Surface Area	25,410 S.F.
Total Existing Pervious Surface Area	2,512 S.F.
Proposed Pavement Impervious Surface Area	13,208 S.F.
Proposed Building Impervious Surface Area	12,178 S.F.
Proposed Pervious Surface Area	2,536 S.F.
Proposed Impervious Surface Area Ratio	.90

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MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

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SERVICES PROVIDED TO:

SHULFER ARCHITECTS, LLC

7780 ELMWOOD AVENUE,
 MIDDLETON, WI 53562

PROJECT:

**1109 S PARK STREET
 ASIEN CENTER
 REDEVELOPMENT**

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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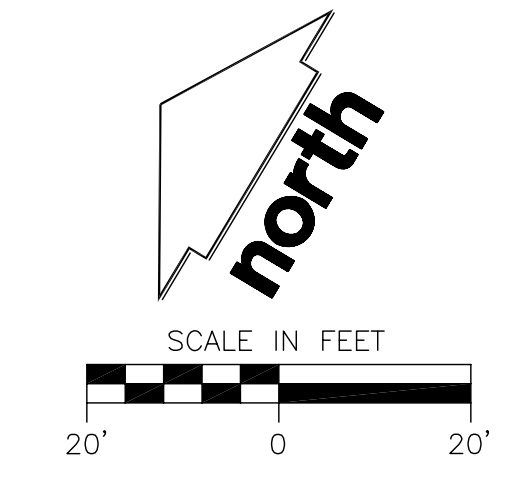
DIGGERS HOTLINE

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 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
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SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C2.0

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LEGEND (PROPOSED)

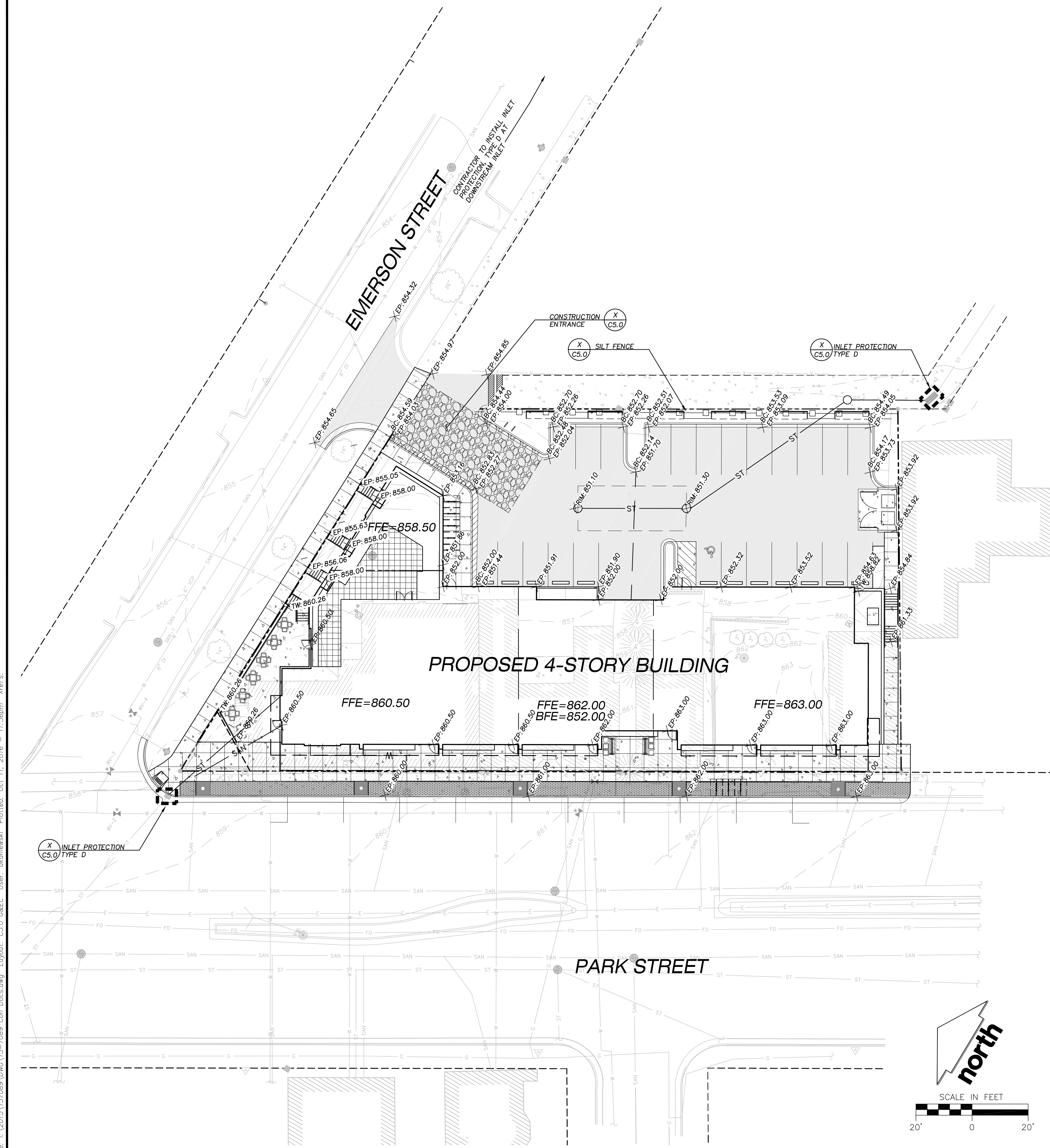
-----	PROPERTY LINE	-----	PROPOSED 1 FOOT CONTOUR
-----	RIGHT-OF-WAY	-----	PROPOSED 5 FOOT CONTOUR
-----	EASEMENT LINE	----->	DRAINAGE DIRECTION
-----	5' PAVEMENT SETBACK	□ □ □	SILT FENCE
-----	10' BUILDING SETBACK	□ □ □ □	INLET PROTECTION, TYPE D
-----	EDGE OF PAVEMENT	○	SPOT ELEVATION
-----	RAILING (BY OTHERS)	EP - EDGE OF PAVEMENT	FG - FINISH GRADE
-----	SAN	EC - EDGE OF CONCRETE	TS - TOP OF STEP
-----	W	TS - BOTTOM OF STEP	RIM - RIM ELEVATION
-----	ST	-----	GRADE BREAK
-----	STANDARD CURB AND GUTTER		
-----	REJECT CURB AND GUTTER		
-----	ASPHALT PAVEMENT		
-----	CONCRETE PAVEMENT		
○	LIGHT POLE		

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (GSECR) NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 106.3. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OR MORE OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
- SILT FENCE LOCATION REPRESENTED ON SHEET C3.0 INDICATES DISTURBANCE LIMITS.
- STABILIZATION PRACTICES:
 16.1. * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 16.2. * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 16.3. * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 16.4. * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 * HYDRO-MULCHING WITH A TACKIFIER
 * GEOTEXTILE EROSION MATTING
 * SODDING

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.



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LEGEND (PROPOSED)

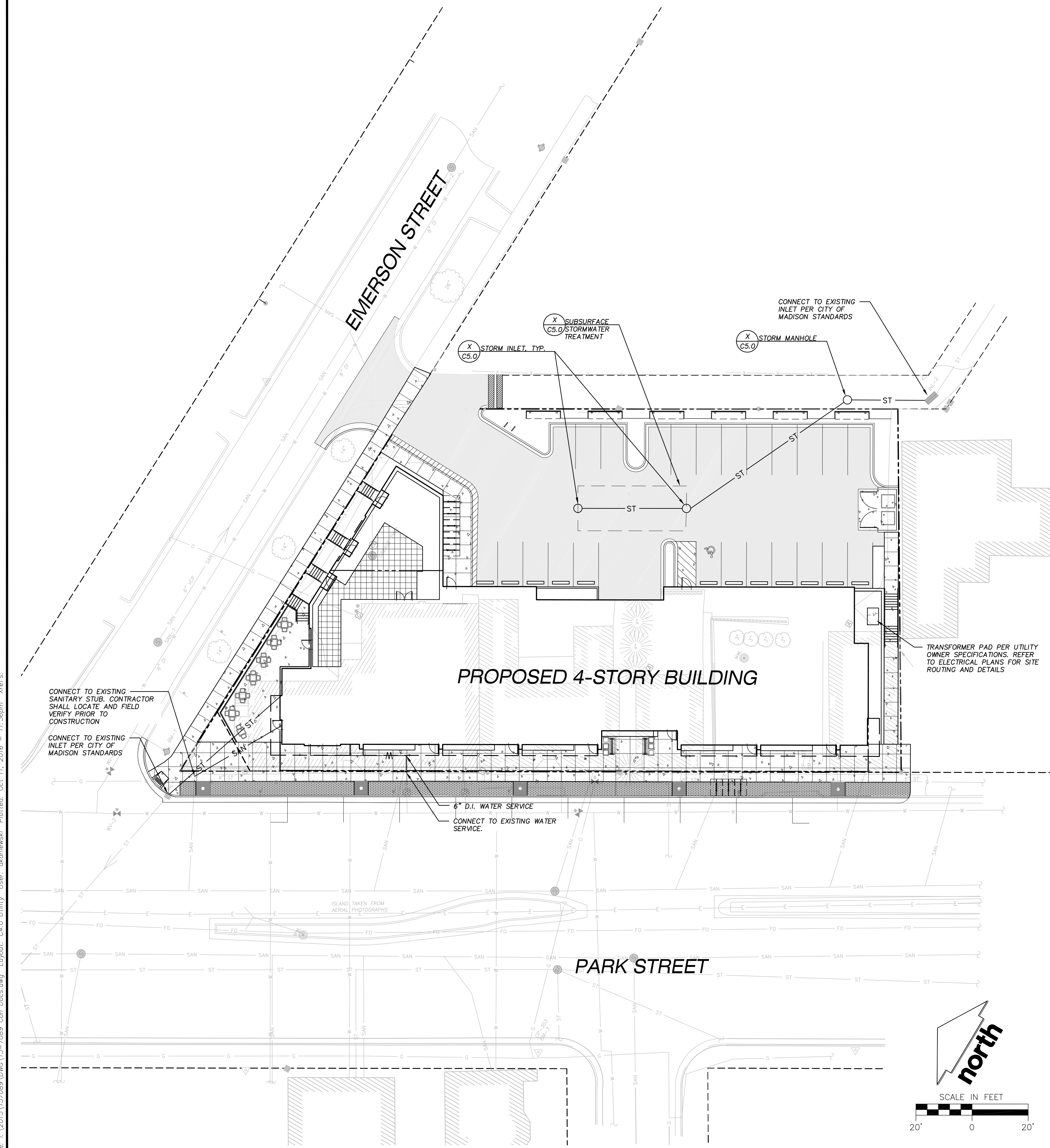
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- W — WATER LINE
- ST — STORM SEWER
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE

UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE CITY OF PEWAUKEE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF MADISON WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL WATER MAIN MUST BE GAPPED AT EVERY 2,000 FOOT INTERVAL. WATER MAIN MUST BE FILLED AND SAFE WATER TESTED PRIOR TO FILLING AND FLUSHING ANY ADDITIONAL 2,000 FOOT PIPE SEGMENTS, PER CITY OF MADISON WATER & SEWER UTILITY.

WATER MAIN INSTALLATION SEQUENCE:

 - INSTALL WATER MAIN — MUST LEAVE A GAP AT THE EXISTING MAIN.
 - FILL WATER MAIN (PRESSURE TEST THE WATER MAIN. CONTRACTOR OPTION)
 - OBTAIN A SAFE WATER SAMPLE
 - TAP SERVICES. TAPS MUST BE MADE UNDER SYSTEM PRESSURE
 - PRESSURE TEST MAIN
 - MAKE WET CONNECTION TO EXISTING WATER MAIN
 - CONNECTION WILL ALSO BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: WATER MAIN INSTALLATION UP TO 2000' AND/OR 30 DAYS OF INACTIVITY OF WATER MAIN INSTALLATION, WHICH EVER COMES FIRST.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)(B)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.

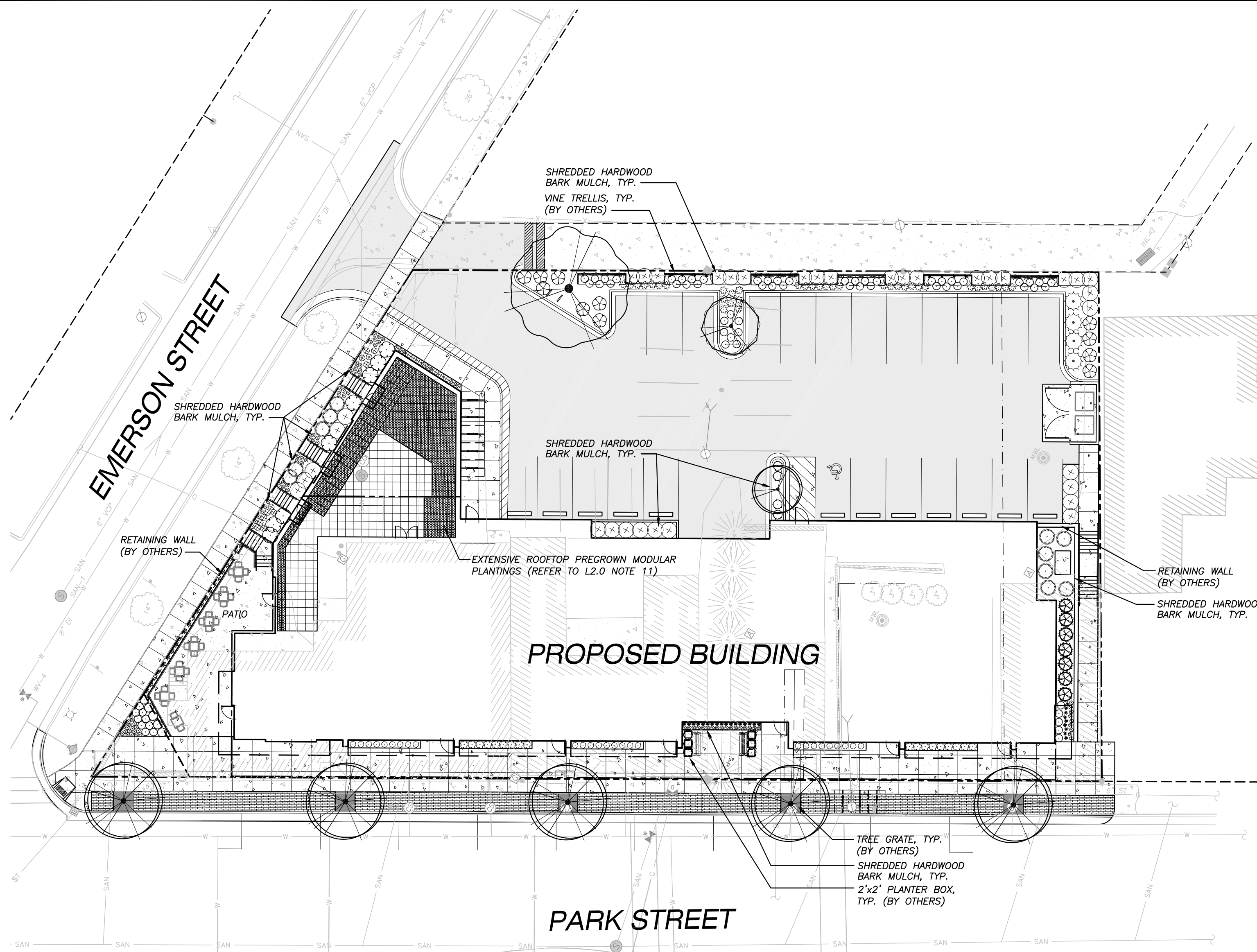


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LEGEND (PROPOSED)

---	PROPERTY LINE
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---	EASEMENT LINE
---	BUILDING SETBACK
---	PAVEMENT SETBACK
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	STANDARD REJECT CURB AND GUTTER
---	PROPOSED CONCRETE
---	PROPOSED CONCRETE

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

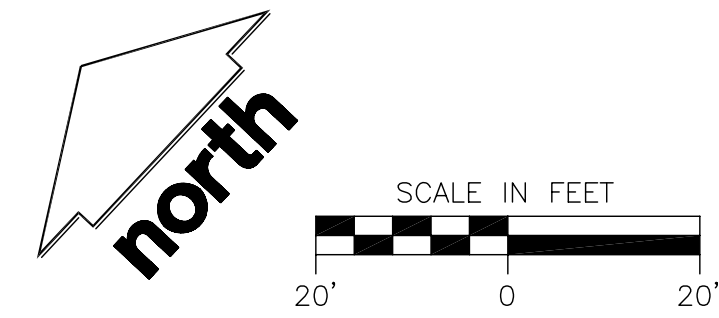
PLANT SCHEDULE

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	35	<i>Amsonia x 'Blue Ice'</i>	Blue Ice Amsonia	1 gal	10-12" Ht.	2
	59	<i>Brunnera macrophylla 'Jack Frost' TM</i>	Siberian Bugloss	1 gal	10-12" Ht.	2
	23	<i>Calamagrostis brachytricha</i>	Reed Grass	1 gal	10-12" Ht.	2
	8	<i>Campsis radicans</i>	Trumpet Creeper	2 gal	10-12" Ht.	2
	8	<i>Clematis virginiana</i>	Virgins Bower	2 gal	10-12" Ht.	2
	64	<i>Deschampsia cespitosa 'Goldtau'</i>	Gold Dew Tufted Hair Grass	1 gal	10-12" Ht.	2
	36	<i>Iris sibirica 'Caesar's Brother'</i>	Caesar's Brother Siberian Iris	1 gal	10-12" Ht.	2
	26	<i>Leucanthemum x 'Daisy Duke'</i>	Daisy May Shasta Daisy	1 gal	10-12" Ht.	2
	27	<i>Panicum virgatum 'Heavy Metal'</i>	Blue Switch Grass	2 gal	10-12" Ht.	2
	8	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	2 gal	10-12" Ht.	2
	18	<i>Perovskia x 'Little Spire'</i>	Russian Sage	1 gal	10-12" Ht.	2
	18	<i>Tradescantia ohiensis</i>	Spiderwort	1 gal	10-12" Ht.	2
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	8	<i>Aronia arbutifolia 'Erecta'</i>	Chokeberry Upright Red	5 gal	15-18" Min. Ht.	3
	11	<i>Ceanothus americanus</i>	New Jersey Tea	5 gal	10-12" Ht.	3
	35	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Smooth Hydrangea	2 gal	18" Min. Ht.	3
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	15	<i>Buxus x 'Green Velvet'</i>	Green Velvet Boxwood	3 gal	10-12" Ht.	4
	4	<i>Microbiota decussata</i>	Siberian Carpet Cypress	5 gal	10-12" Ht.	4
	11	<i>Taxus x media 'Tautonii'</i>	Tauton Yew	5 gal	12-24" Ht.	4

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	1	<i>Betula populifolia 'Whitespire'</i>	Whitespire Birch	B & B	2.5" Cal	20
	5	<i>Gleditsia triacanthos 'Draves'</i>	Honey Locust	B & B	2.5" Cal	35
	1	<i>Prunus virginiana 'Shubert'</i>	Canada Red Cherry	B & B	2" Cal	35
	1	<i>Tilia americana 'Redmond'</i>	Redmond American Linden	B & B	2.5" Cal	35
UPRIGHT EVERGREEN TREE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	LS POINTS
	7	<i>Thuja occidentalis 'Holmstrup'</i>	Holmstrup Arborvitae	B & B	Min. 4' tall	10

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SERVICES PROVIDED TO:
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7780 ELMWOOD AVENUE,
MIDDLETON, WI 53562

PROJECT:
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ASIAN CENTER
REDEVELOPMENT**

PROJECT LOCATION:
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DANE COUNTY, WI
JSD PROJECT NO.: 15-7089

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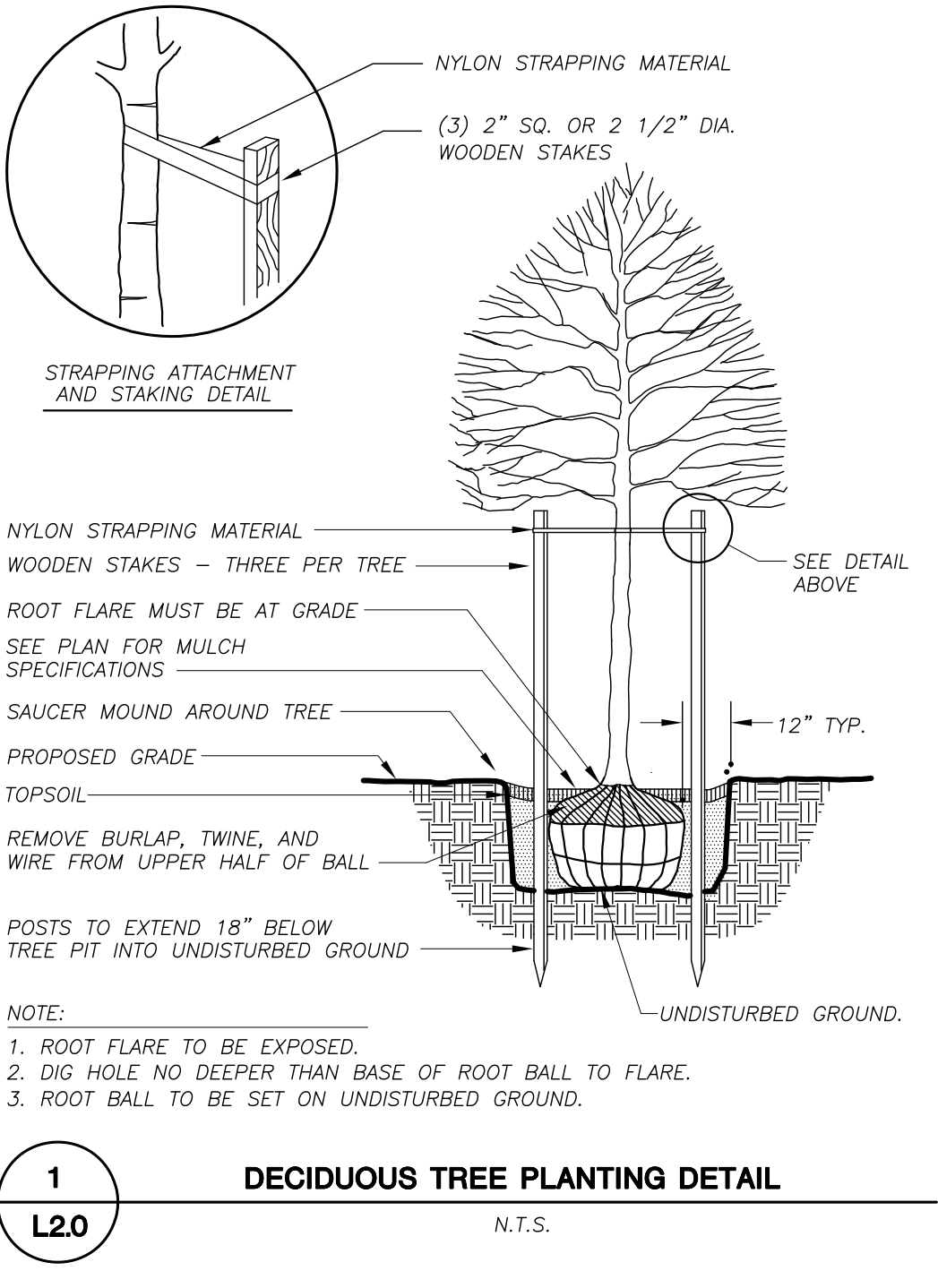
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SHEET TITLE:
LANDSCAPE PLAN

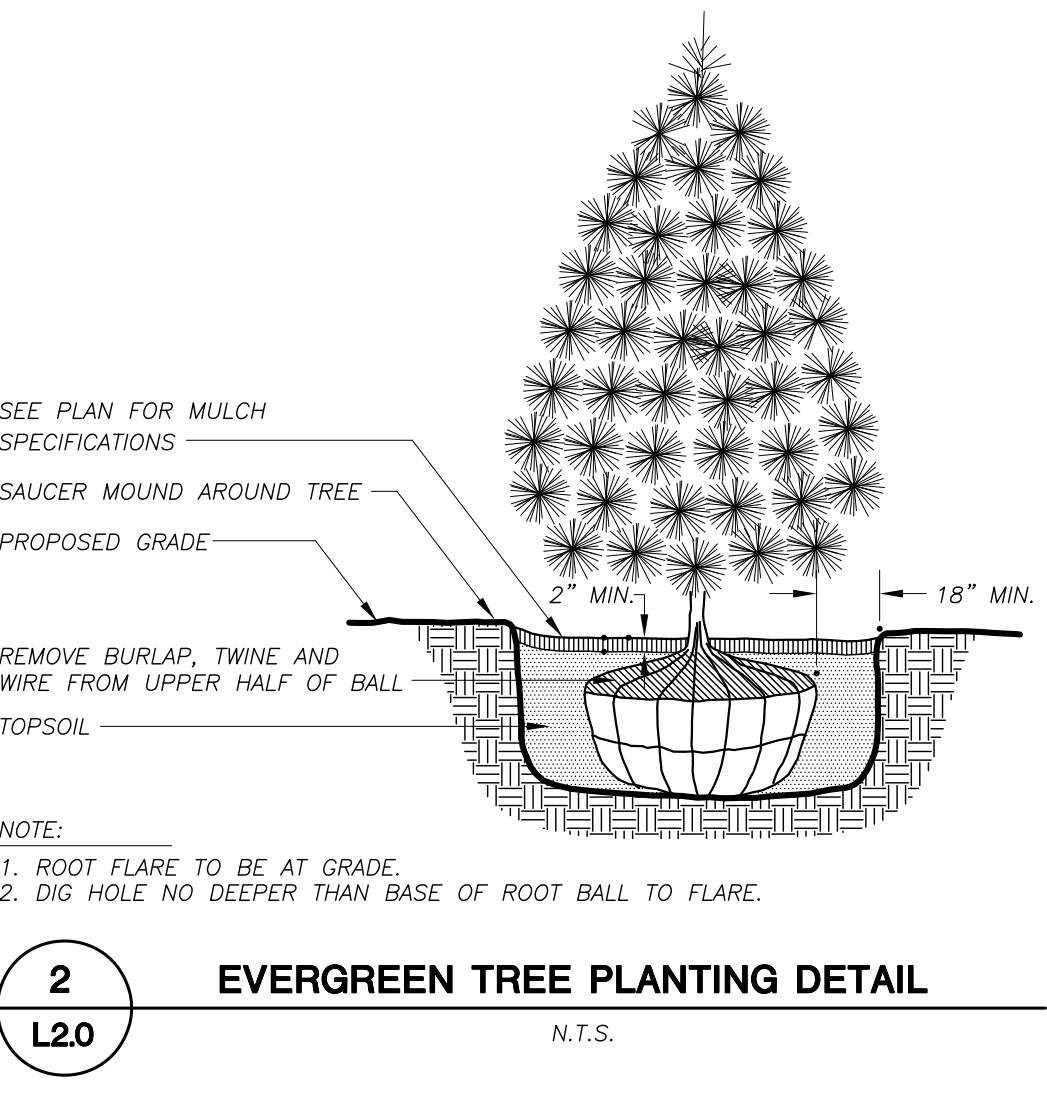
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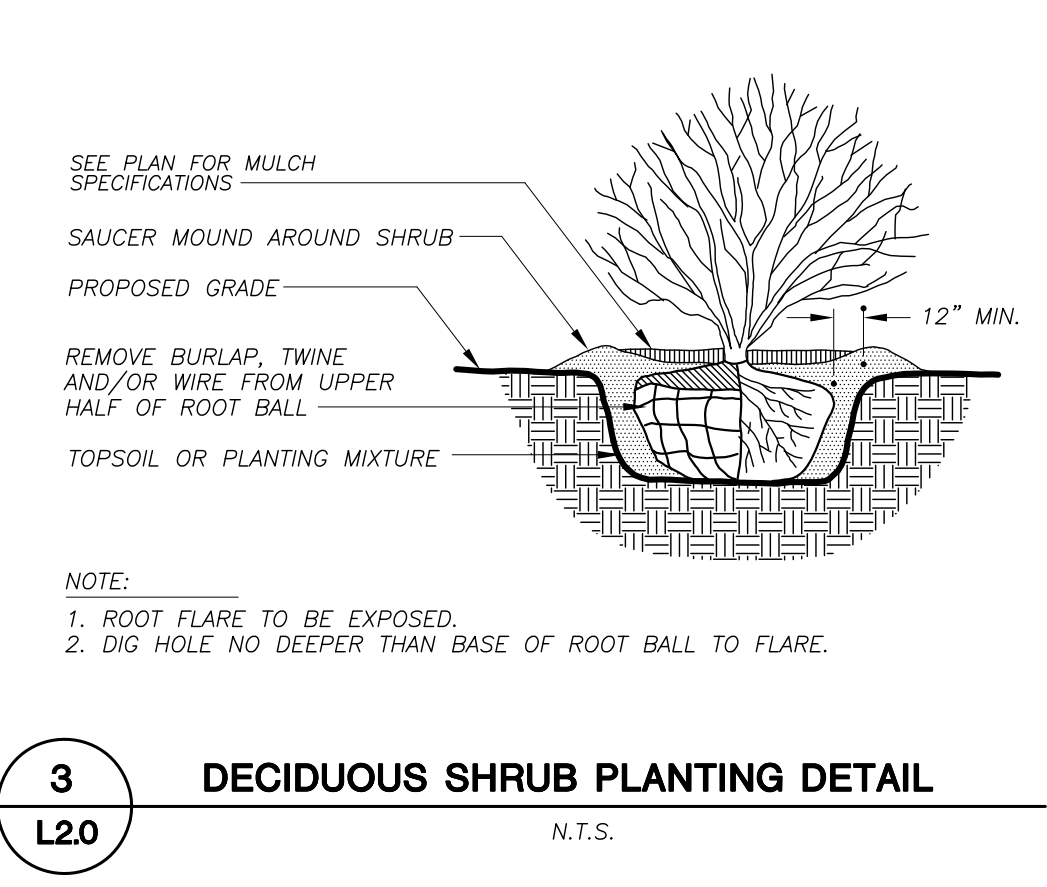
File: L:\2015\157089\DWG\15-7089_Landscape.dwg Layout: L2.0 User: aboniewski Plotted: Oct 11, 2016 11:35pm Xref's: 157089



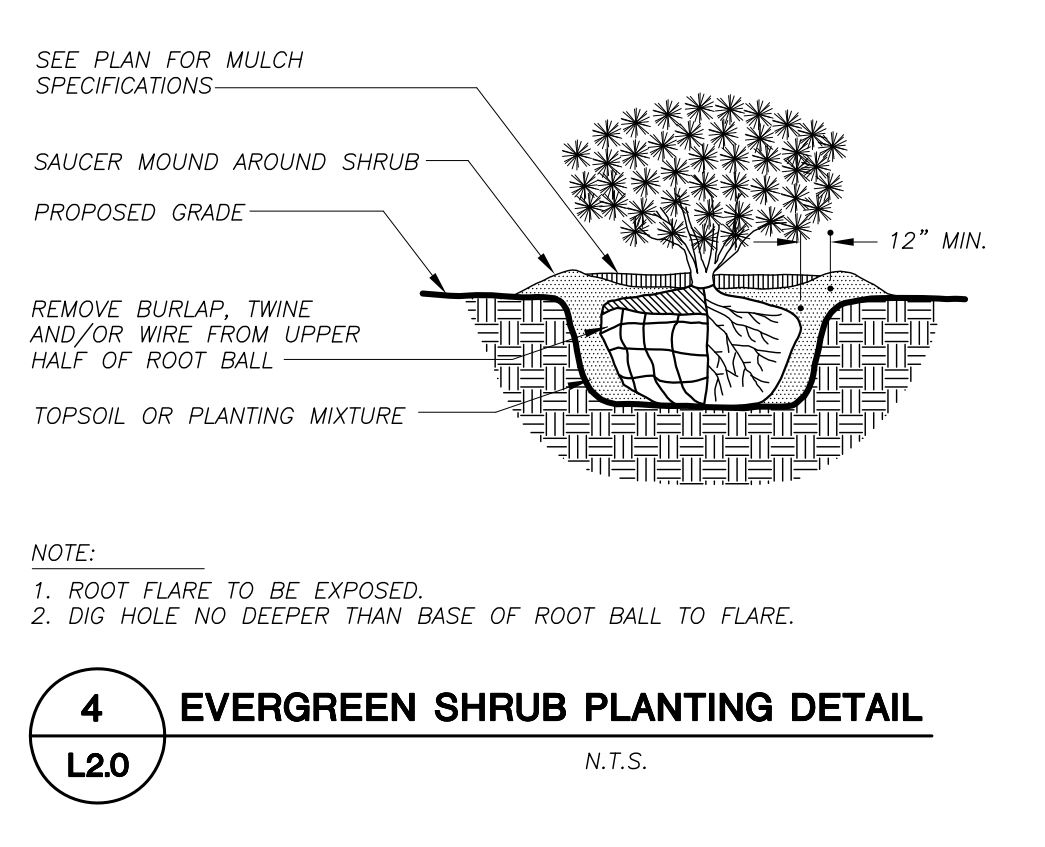
1 DECIDUOUS TREE PLANTING DETAIL
L2.0 N.T.S.



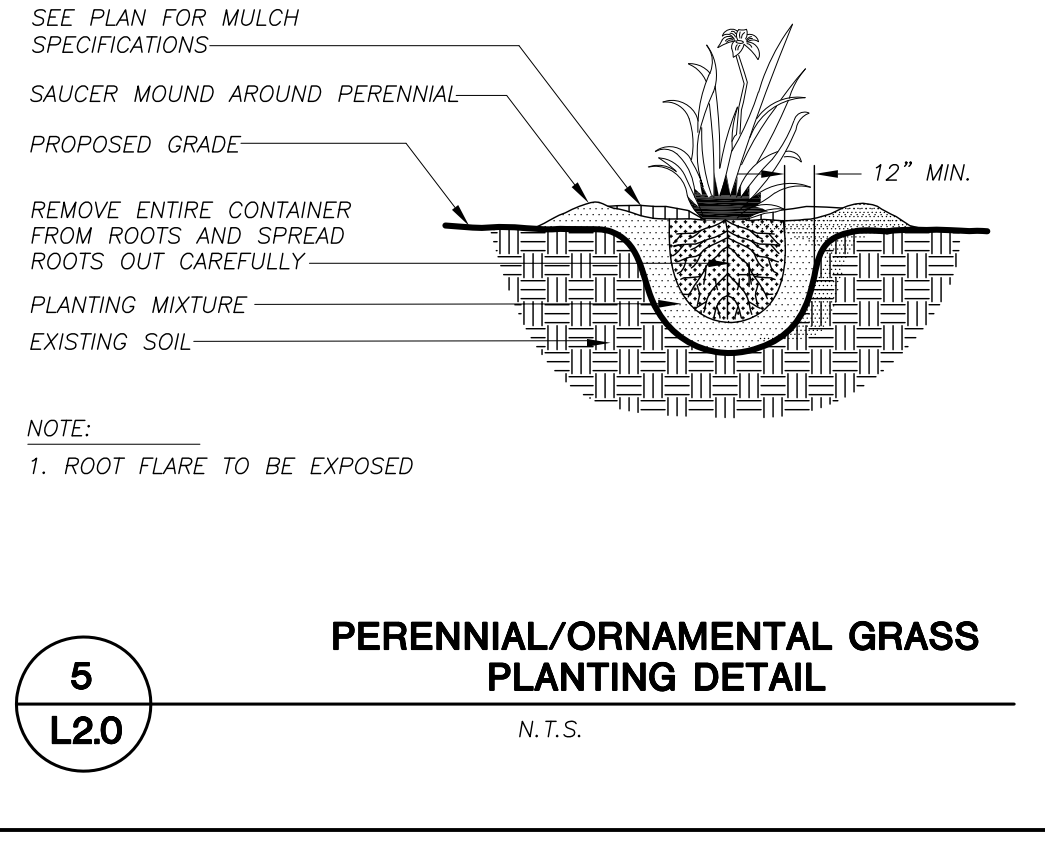
2 EVERGREEN TREE PLANTING DETAIL
L2.0 N.T.S.



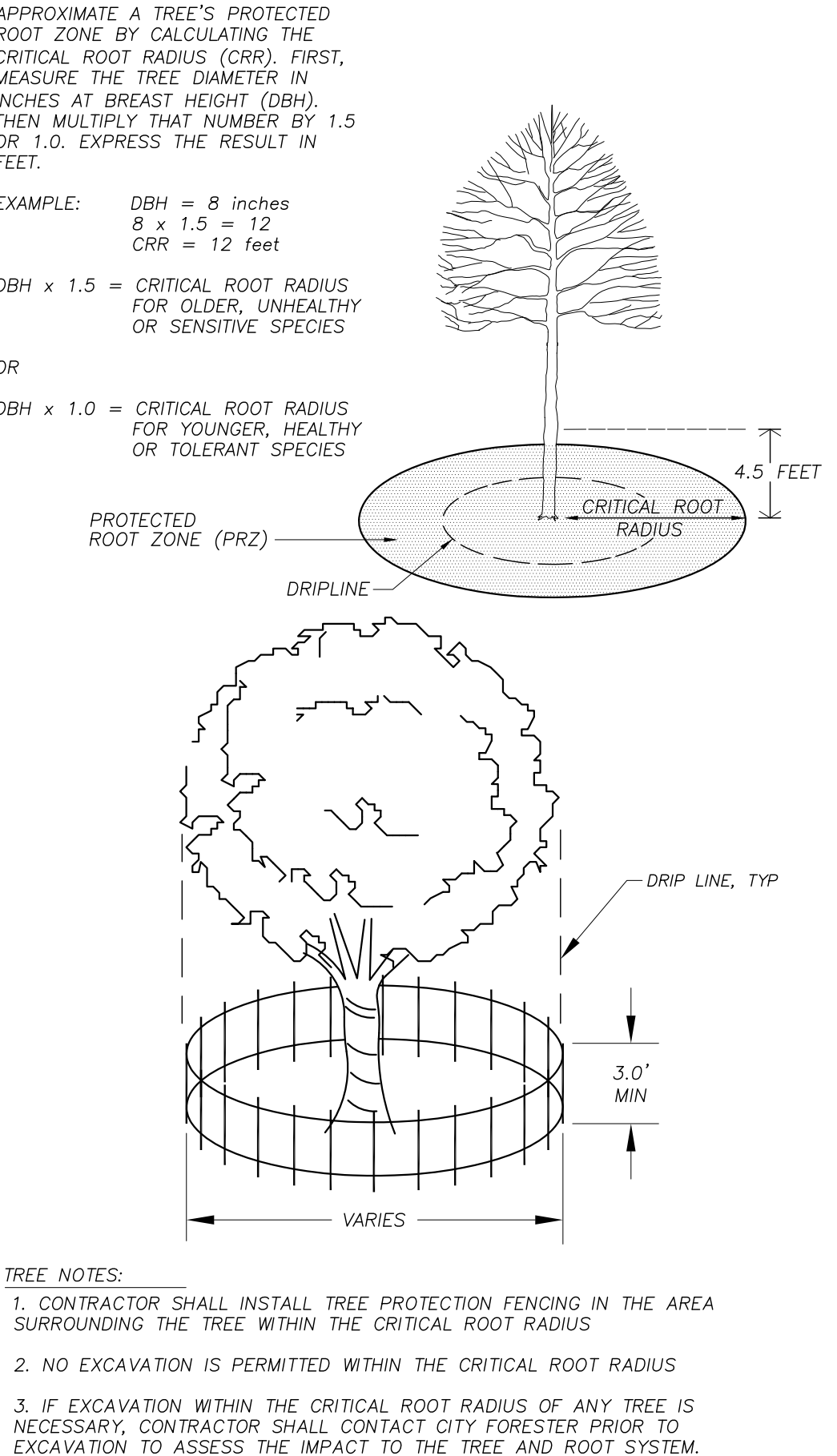
3 DECIDUOUS SHRUB PLANTING DETAIL
L2.0 N.T.S.



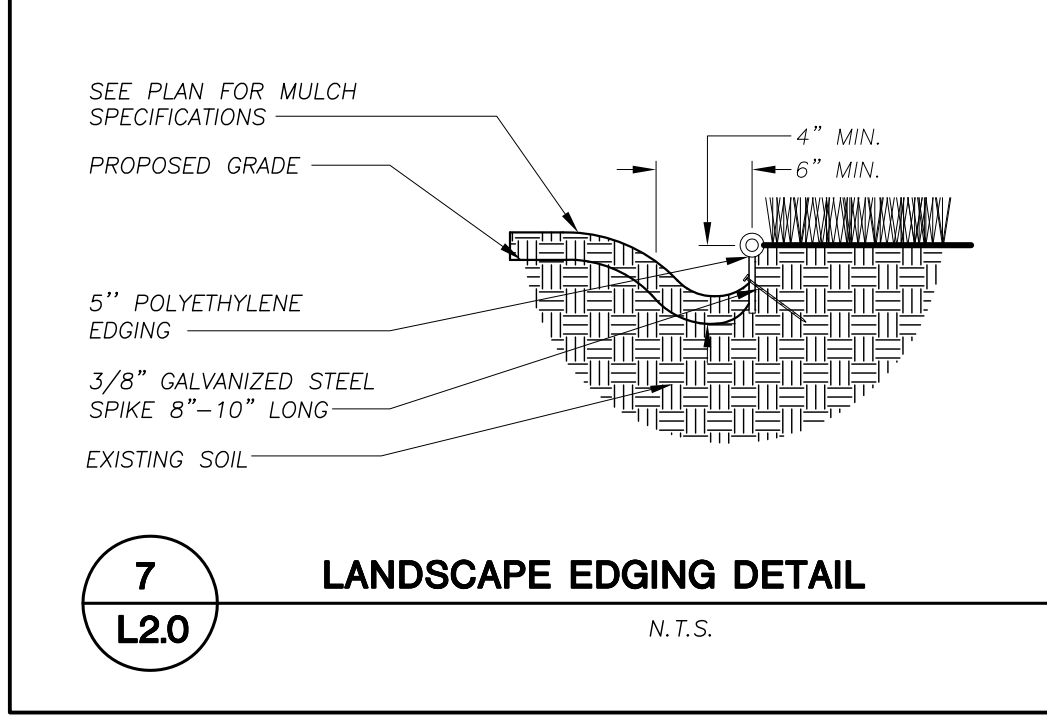
4 EVERGREEN SHRUB PLANTING DETAIL
L2.0 N.T.S.



5 PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
L2.0 N.T.S.



6 TREE PROTECTION DETAIL
L2.0 N.T.S.



7 LANDSCAPE EDGING DETAIL
L2.0 N.T.S.

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
A. PLANTING AREAS = 2"
B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL DECORATIVE STONE MULCH PLANTING AREAS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN, SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROW. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

CITY OF MADISON
LANDSCAPE WORKSHEET
Section 28.142 Madison General Ordinance

Project Location / Address: LOT 6 THE AMERICAN CENTER - 5102 AMCENTER DRIVE
Name of Project: ASIAN CENTER
Owner / Contact: ORMAN ENGINEERING, LLC
Contact Phone: (608) 848-5060 Contact Email: KEVIN.YESKA@JSDINC.COM

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
Total square footage of developed area: 13,208
Total landscape points required: 220
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
Total square footage of developed area: _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area: _____
Total landscape points required: _____
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
Total square footage of developed area: _____
Total landscape points required: _____

10/2013 1

Tabulation of Points and Credits
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			1	15
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			7	70
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			54	162
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			30	120
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			330	660
Ornamental/decorative fencing or wall	n/a	4 per 10 lined ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	*Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						1,097

Total Number of Points Provided 1,097

* As determined by ANSI ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MILWAUKEE
KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
SHULFER ARCHITECTS, LLC

7780 ELMWOOD AVENUE,
MIDDLETON, WI 53562

PROJECT:
**1109 S PARK STREET
ASIAN CENTER
REDEVELOPMENT**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: ABK/EJK 08/15/2016
DRAWN: ABK/EJK 08/15/2016
APPROVED: KYJ 08/15/2016

PLAN MODIFICATIONS: DATE:
LAND USE SUBMITTAL 08/17/2016
LAND USE RESUBMITTAL 10/12/2016

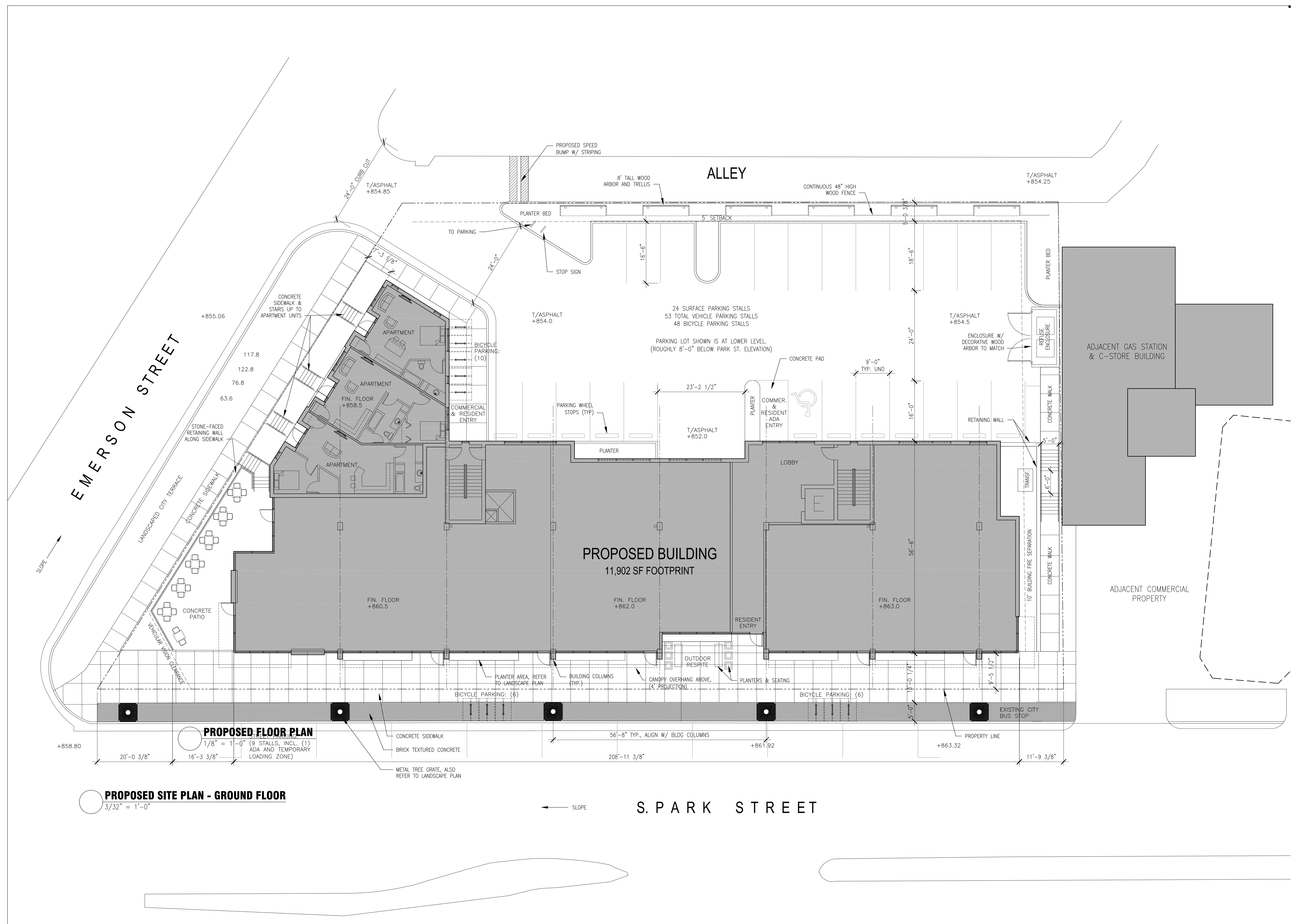
DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
**LANDSCAPE DETAILS,
NOTES AND
SPECIFICATIONS**

SHEET NUMBER:
L2.0

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PROPOSED FLOOR PLAN
1/8" = 1'-0"
(9 STALLS, INCL. (1) ADA AND TEMPORARY LOADING ZONE)

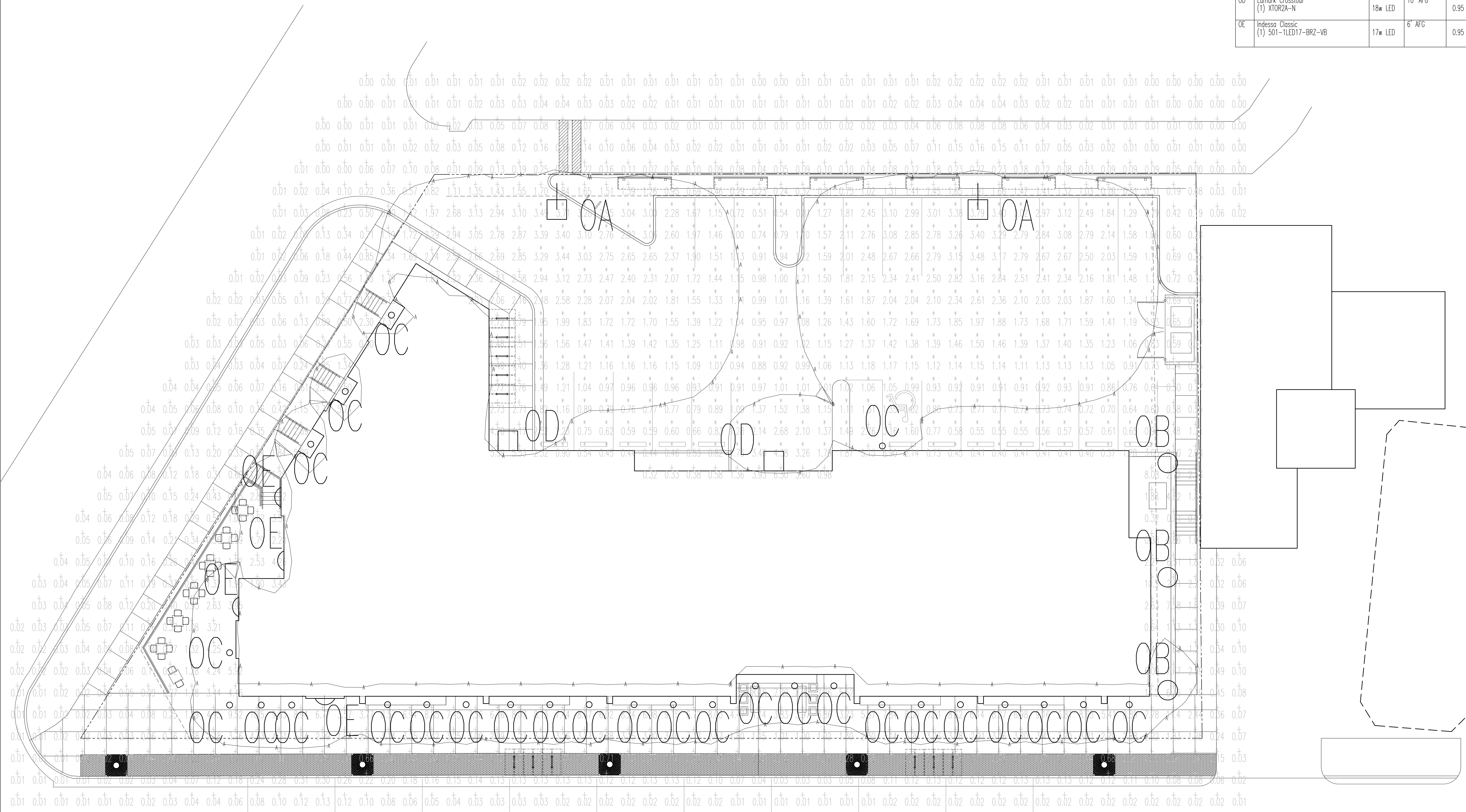
PROPOSED SITE PLAN - GROUND FLOOR
3/32" = 1'-0"

S. PARK STREET

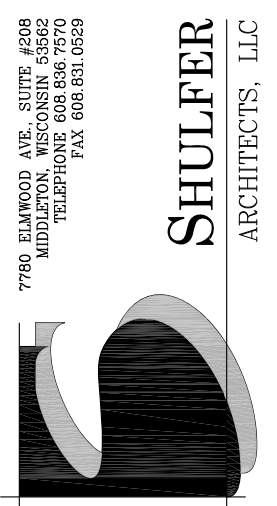
CONTOUR LEVELS: 0.50 FC AT 4' AFG

CALCULATION SUMMARY						
GRID HEIGHT	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
At Grade	<+> MISC	1.14	13.22	0.00	N/A	N/A
	<*> PARKING	1.60	4.38	0.37	11.76	4.29

1109 South Park Street LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	LAMP	MOUNTING	LLF	QTY	
OA	McGraw-Edison Galeon (1) GLEON-AF-02-LED-E1-SL4-BZ-HSS	113w LED	20' POLE FLUSH BASE	0.95	2	
OB	Invue Arbor Bollard (1) ABB-B2-LED-42-D1-S-BZ	23w LED	42" BOLLARD	0.95	3	
OC	Halo H7501/ML5609840-692H	13.4w LED	10' AFG	0.95	28	
OD	Lumark Crosstour (1) XTOR2A-N	18w LED	10' AFG	0.95	2	
OE	Indesso Classic (1) 501-1LED17-BRZ-VB	17w LED	6' AFG	0.95	4	



PROPOSED SITE LIGHTING PLAN
3/32" = 1'-0"

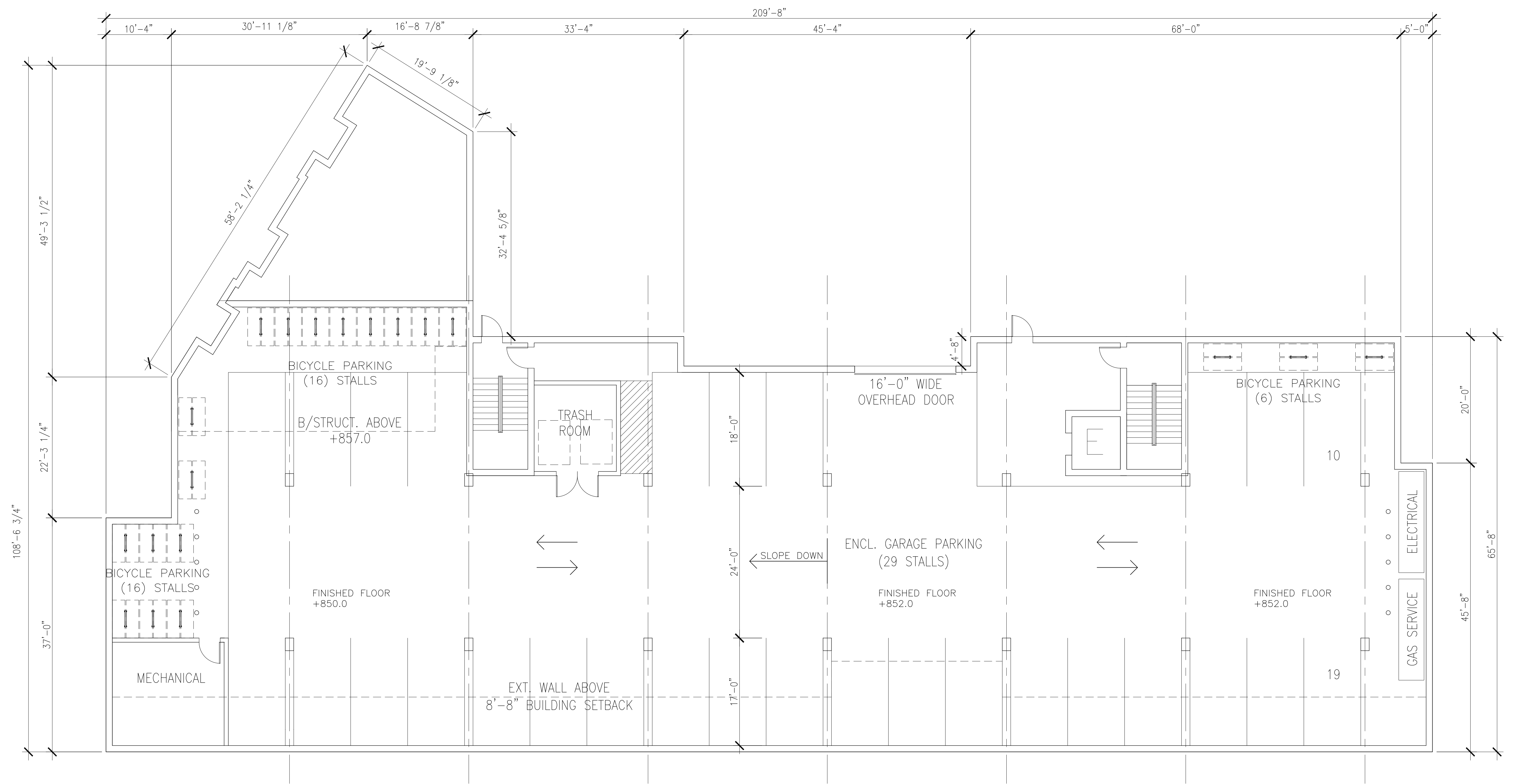


1109 S. PARK STREET
MIXED-USE DEVELOPMENT
1109 S. PARK STREET
MADISON, WI

SITE LIGHTING PLAN

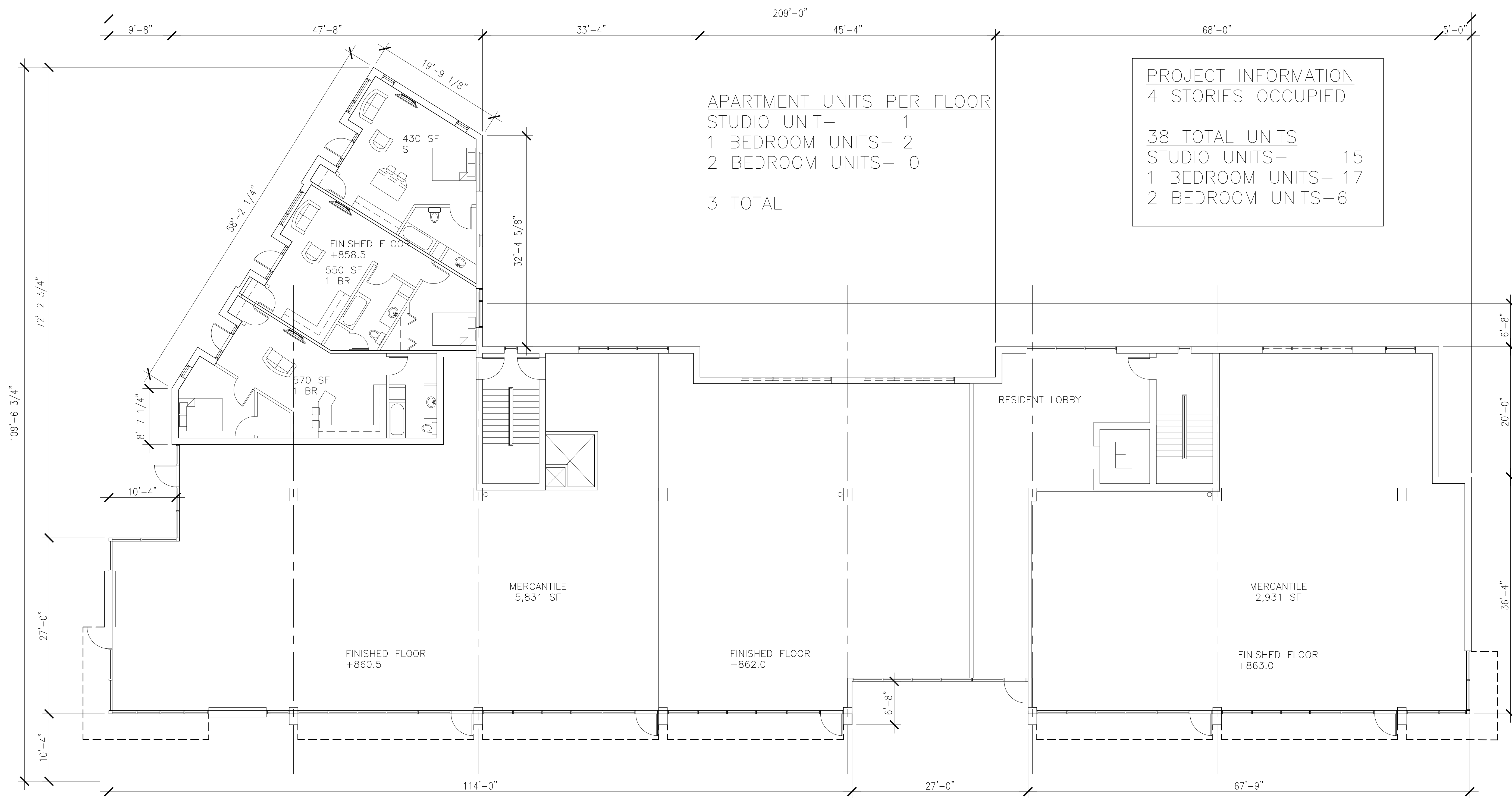
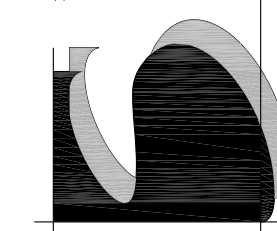
10/12/16
LAND USE PERMIT

A1.2



PROPOSED FLOOR PLAN
 1/8" = 1'-0"

GROUND LEVEL - PARKING
 GSF/FLOOR= 13,578 SF



APARTMENT UNITS PER FLOOR

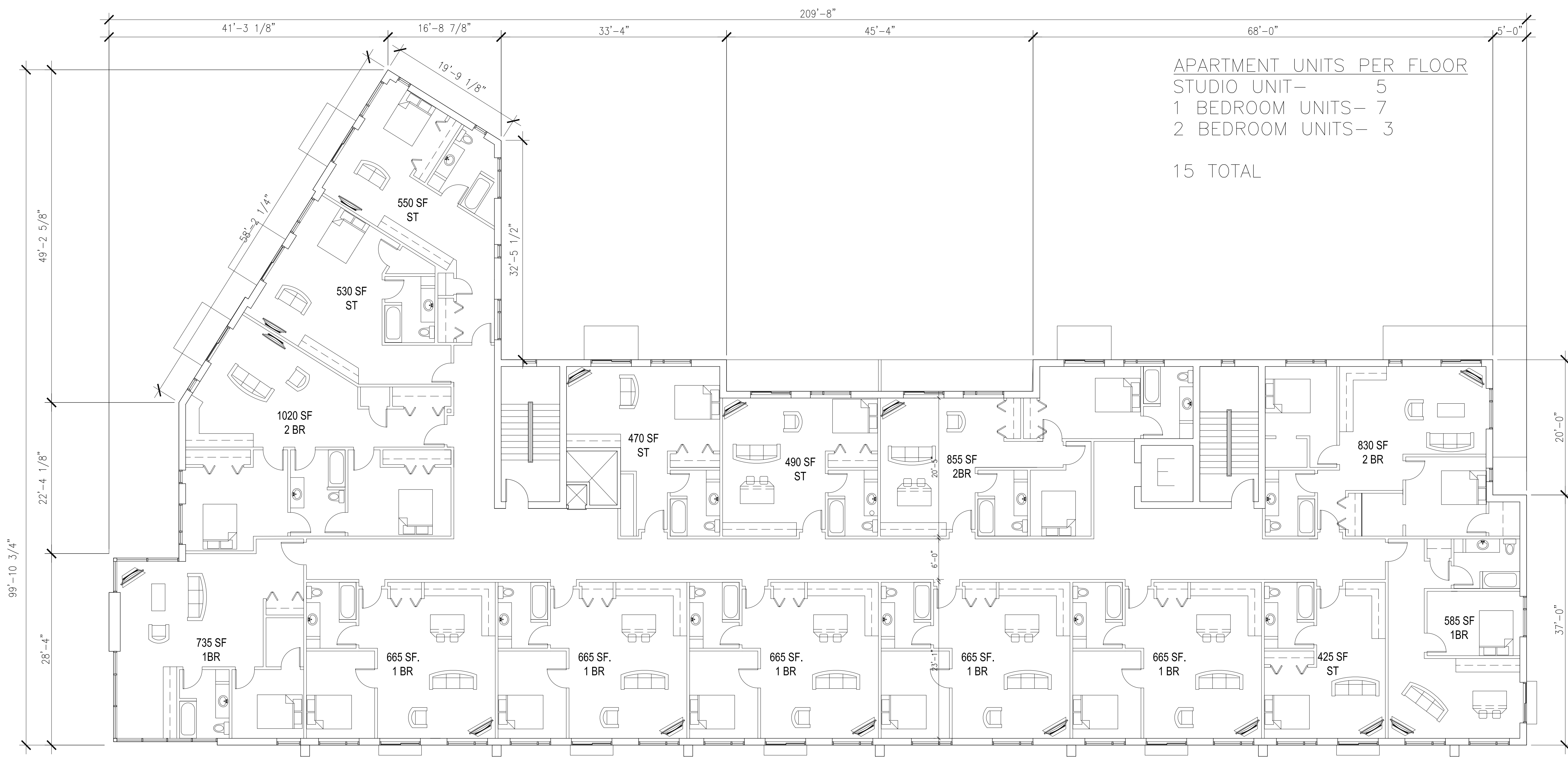
STUDIO UNIT-	1
1 BEDROOM UNITS-	2
2 BEDROOM UNITS-	0
3 TOTAL	

PROJECT INFORMATION

4 STORIES OCCUPIED	
38 TOTAL UNITS	
STUDIO UNITS-	15
1 BEDROOM UNITS-	17
2 BEDROOM UNITS-	6

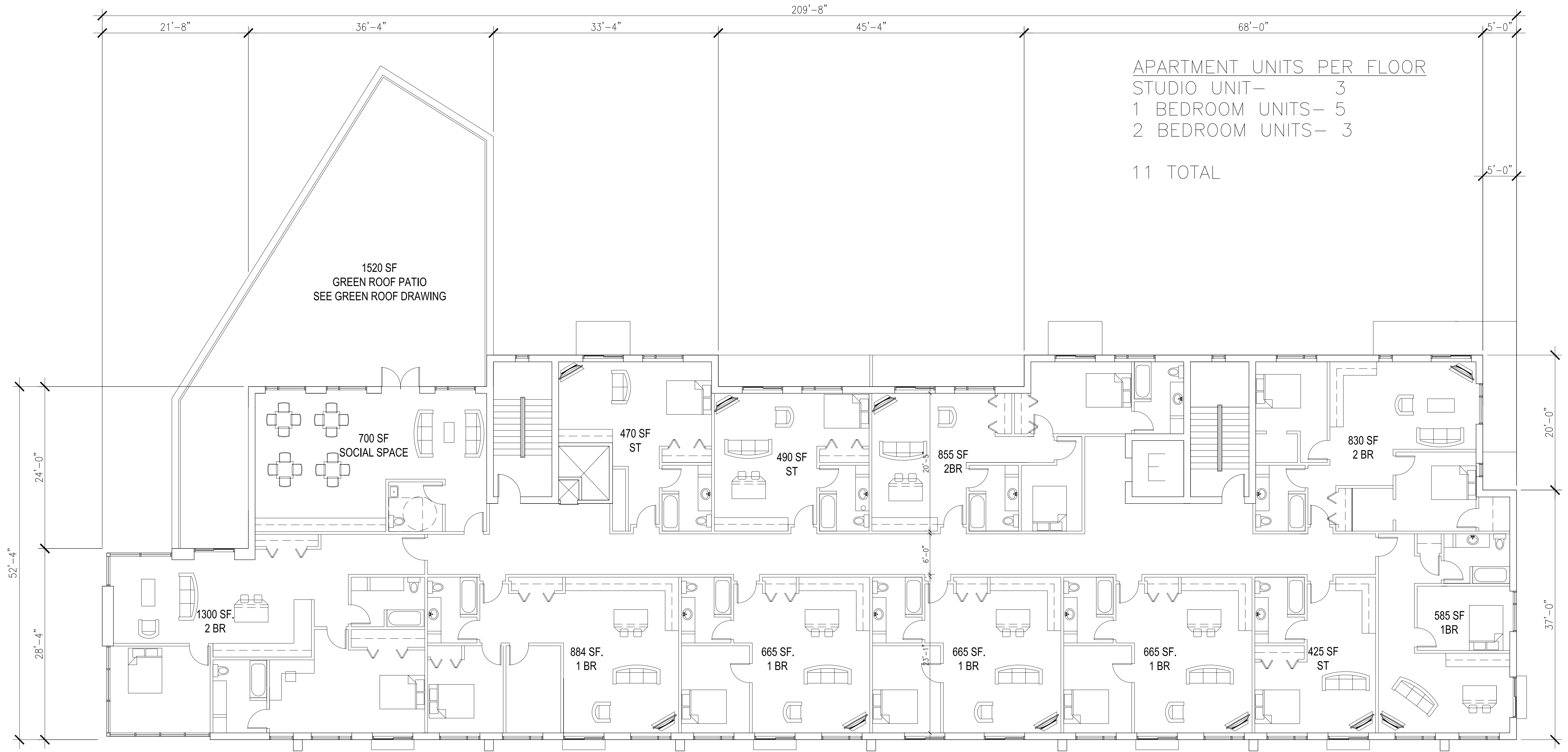
PROPOSED FLOOR PLAN
1/8" = 1'-0"

FIRST FLOOR-COMMERCIAL + SINGLE FLOOR UNITS
GSF/FLOOR= 12,172 SF



SECOND FLOOR- RESIDENTIAL
GSF/FLOOR= 12,502 SF

PROPOSED FLOOR PLAN
1/8" = 1'-0"

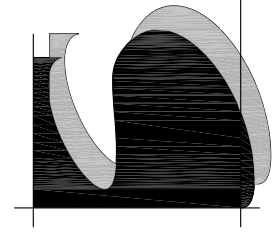


APARTMENT UNITS PER FLOOR
 STUDIO UNIT— 3
 1 BEDROOM UNITS— 5
 2 BEDROOM UNITS— 3
 11 TOTAL

THIRD FLOOR- RESIDENTIAL
 GSF/FLOOR= 10,826 SF

PROPOSED FLOOR PLAN
 1/8" = 1'-0"

1918 FARMINGTON RD., SUITE 102
 MADISON, WISCONSIN 53713
 TELEPHONE: 608.261.1234
 FAX: 608.261.0239

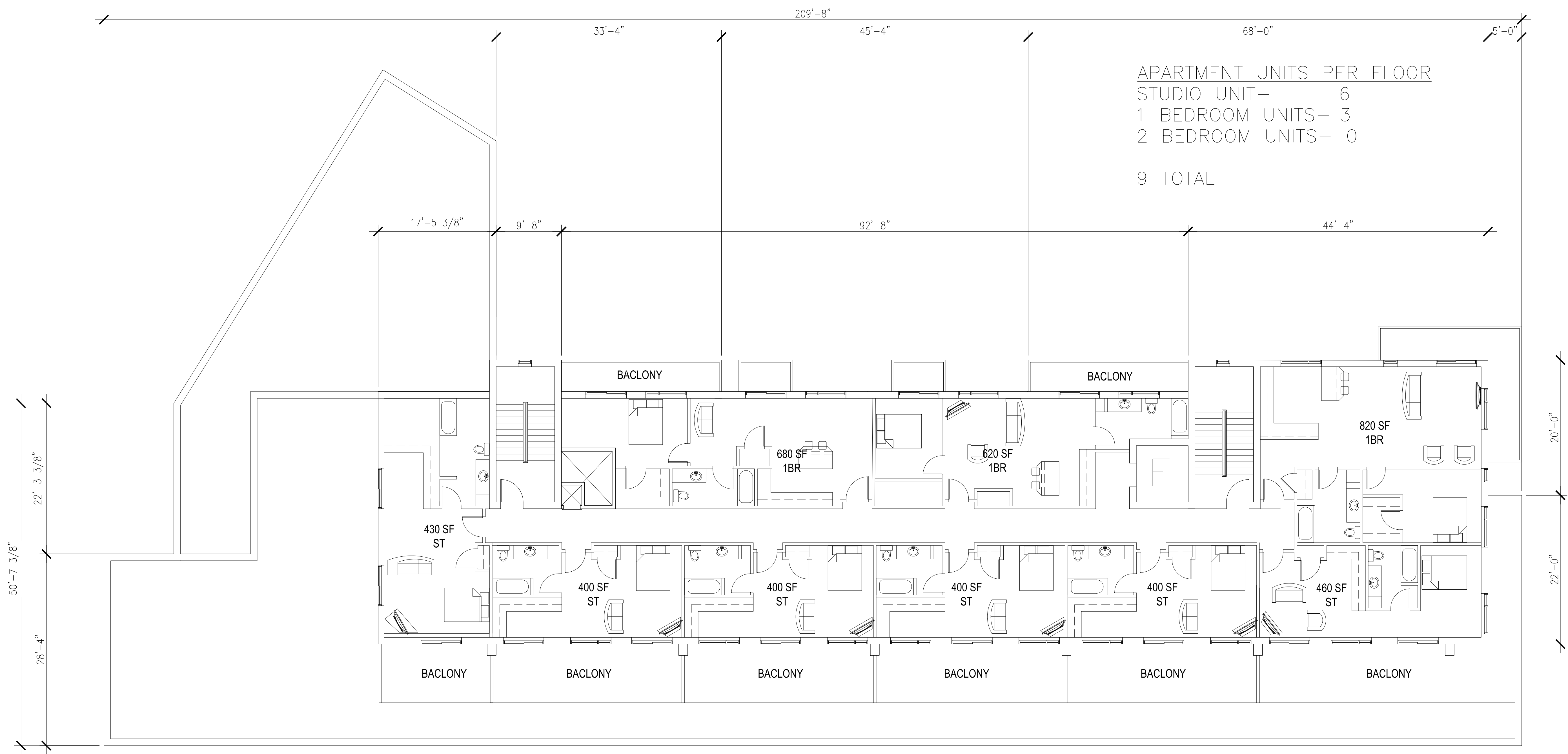


1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

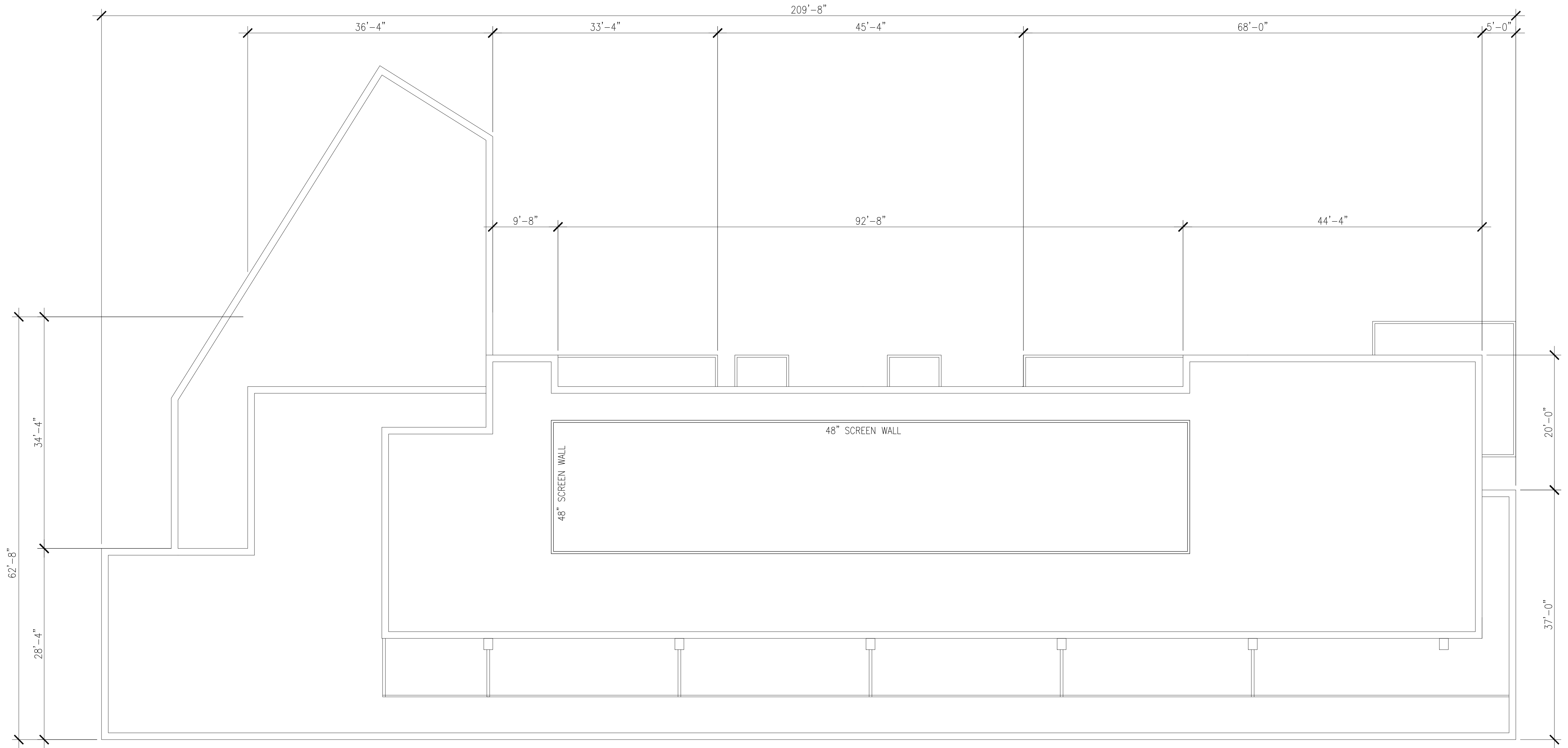
10/12/16
 LAND USE PERMIT

A2.4



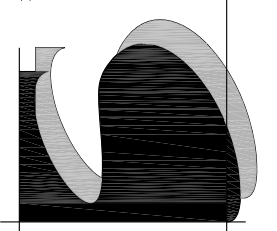
FOURTH FLOOR- RESIDENTIAL
GSF/FLOOR= 6,250 SF

PROPOSED FLOOR PLAN
1/8" = 1'-0"



PROPOSED ROOF PLAN
 1/8" = 1'-0"

1915 J. PARSONS BL. SUITE 102
 MADISON, WISCONSIN 53704
 TELEPHONE: FAX: 608.263.0239



1109 S. PARK STREET
 MIXED-USE REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

ROOF PLAN

10/12/16
 LAND USE PERMIT

A2.6



1 NORTH ELEVATION
1/8"=1'-0"

- MATERIAL KEY NOTES:**
- ① THERMALLY IMPROVED ALUMINUM STOREFRONT FRAMING W/ 1" LOW-E TINTED GLAZING. COLOR: BRONZE
 - ② FIBERGLASS WINDOWS WITH OPERABLE AWING PANEL. COLOR: BRONZE
 - ③ ARCHITECTURAL FLAT SEAM METAL PANEL- VERTICAL ORIENTATION. COLOR: GREY
 - ④ ALUMINUM CANOPY SYSTEM- COLOR: BURGUNDY
 - ⑤ BRICK VENEER
 - ⑥ CULTURED STONE- BUFF COLOR
 - ⑦ LP SMARTSIDE PREFINISHED SIDING- COLOR #1
 - ⑧ LP SMARTSIDE PREFINISHED TRIM
 - ⑨ STAINED WOOD PLANK SOFFIT
 - ⑩ PHENOLIC RESIN PANELS- WOOD GRAIN
 - ⑪ BREAK METAL CAP- COLOR CHARCOAL



2 WEST ELEVATION
1/8"=1'-0"



1 SOUTH ELEVATION
1/8"=1'-0"

- MATERIAL KEY NOTES:**
- ① THERMALLY IMPROVED ALUMINUM STOREFRONT FRAMING W/ 1" LOW-E TINTED GLAZING. COLOR: BRONZE
 - ② FIBERGLASS WINDOWS WITH OPERABLE AWING PANEL. COLOR: BRONZE
 - ③ ARCHITECTURAL FLAT SEAM METAL PANEL- VERTICAL ORIENTATION. COLOR: GREY
 - ④ ALUMINUM CANOPY SYSTEM- COLOR: BURGUNDY
 - ⑤ BRICK VENEER
 - ⑥ CULTURED STONE- BUFF COLOR
 - ⑦ LP SMARTSIDE PREFINISHED SIDING- COLOR #1
 - ⑧ LP SMARTSIDE PREFINISHED TRIM
 - ⑨ STAINED WOOD PLANK SOFFIT
 - ⑩ PHENOLIC RESIN PANELS- WOOD GRAIN
 - ⑪ BREAK METAL CAP- COLOR CHARCOAL



2 EAST ELEVATION
1/8"=1'-0"



MARCH 21-9AM / SEPT 21 SIM



MARCH 21-5 PM/SEPT 21 SIM



MARCH 21-12 NOON/SEPT 21 SIM



MARCH 21-3 PM /SEPT 21 SIM



JUNE 21-9AM



JUNE 21-5 PM



JUNE 21-12 NOON



JUNE 21-6:30PM



JUNE 21-3 PM



DECEMBER 21-9AM



DECEMBER 21-12 NOON



DECEMBER 21-3 PM



7700 ELWOOD AVE., SUITE 4000
MADISON, WI 53719
TEL: 608.261.1000
FAX: 608.261.1001

1109 S. PARK STREET
MIXED-USE REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

SHADOW STUDIES

10/12/16
LAND USE PERMIT

STREETSCAPE



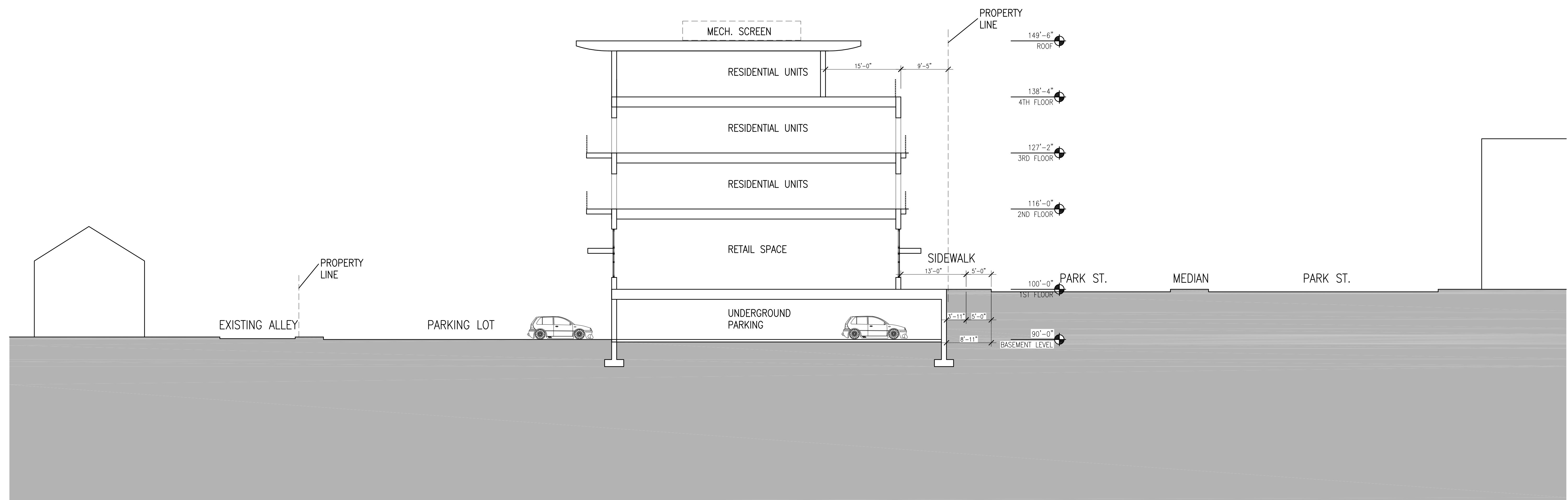
SHULFER ARCHITECTS, LLC
1109 S. PARK STREET
MADISON, WI 53704
TEL: 608.263.0000
WWW.SHULFERARCHITECTS.COM

1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

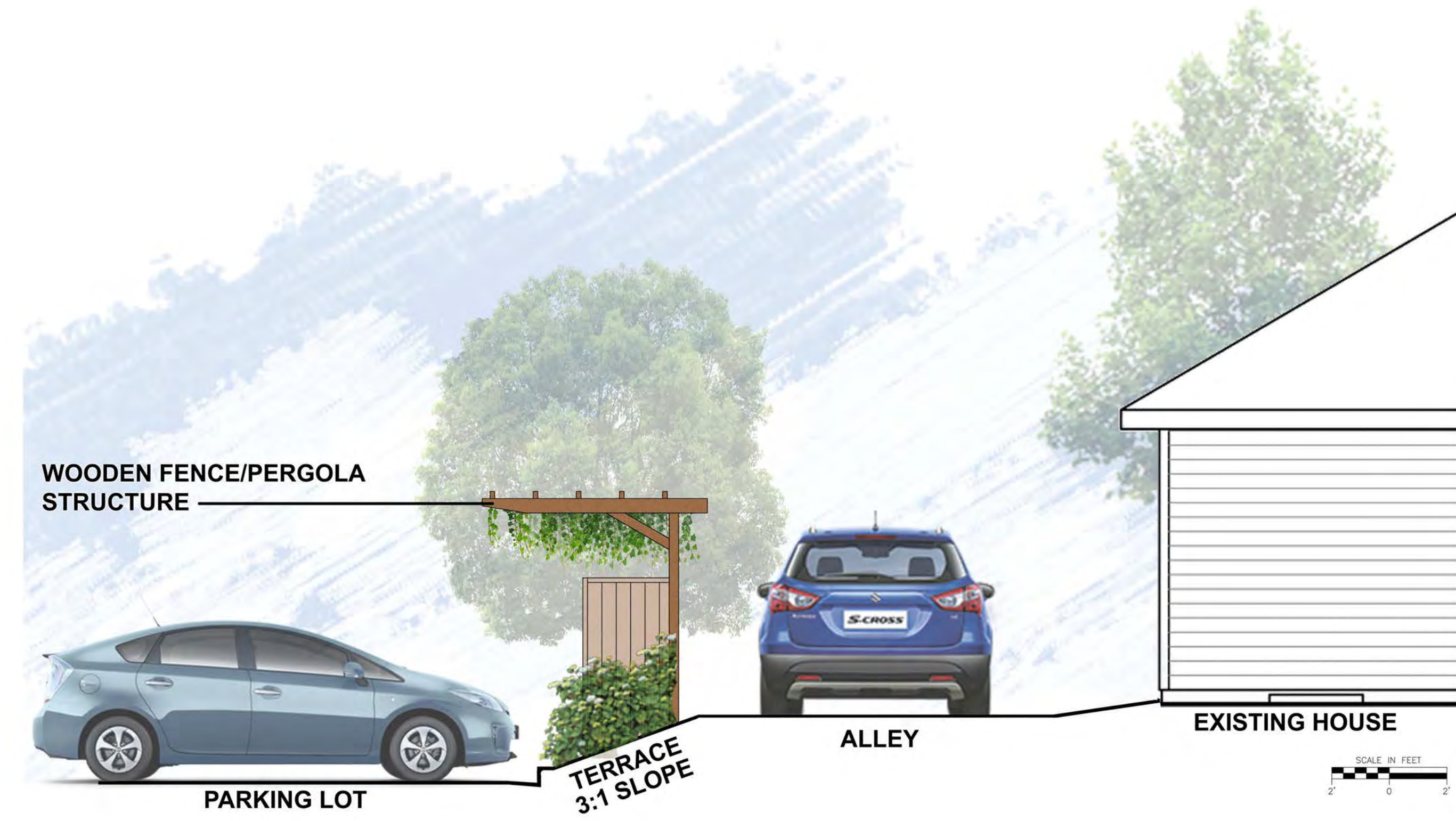
STREETSCAPE

10/12/16
LAND USE APPLICATION

A5.0



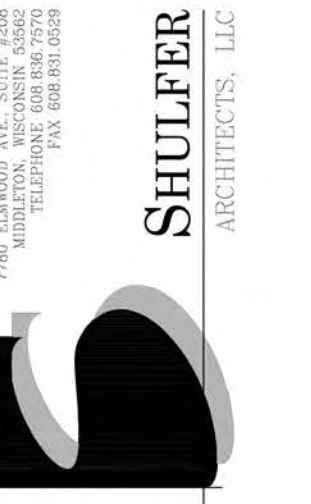
1 BUILDING SECTION
1"=10'-0"



Park Street Asian Center
Location: Madison, Wisconsin

Parking Lot/Alley Section

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners



1109 S. PARK STREET
MIXED-USE REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

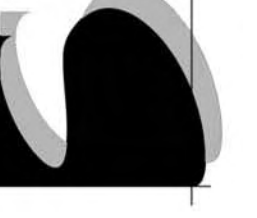
ALLEY TRANSITION

10/12/16
LAND USE PERMIT

A5.2



1109 PARKWAY, SUITE 200
MADISON, WISCONSIN 53705
TEL: 608.261.8000 FAX: 608.261.8009



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ARCHITECTS, LLC

1109 S. PARK STREET

ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

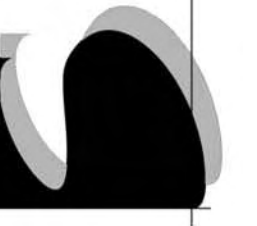
RENDERINGS

8/17/16
LAND USE APPLICATION

A6.1



1100 PARKWAY, SUITE 200
MADISON, WISCONSIN 53705
TEL: 608.261.0000 FAX: 608.261.0009



SHULFER
ARCHITECTS, LLC

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ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

RENDERINGS

10/12/16
LAND USE APPLICATION

A6.2



1109 PARKWAY ST., SUITE 400
MADISON, WISCONSIN 53706
TEL: 608.261.6000 FAX: 608.261.6009

SHULFER
ARCHITECTS, LLC

1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

RENDERINGS

8/17/16
LAND USE APPLICATION

A6.3



1109 PARKWAY, SUITE 200
MADISON, WISCONSIN 53705
TEL: 608.261.0000 FAX: 608.261.0009



1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

RENDERINGS

10/12/16
LAND USE APPLICATION

A6.4