



Certificate of Appropriateness for 1254 Rutledge St

September 16, 2019



Proposed Work

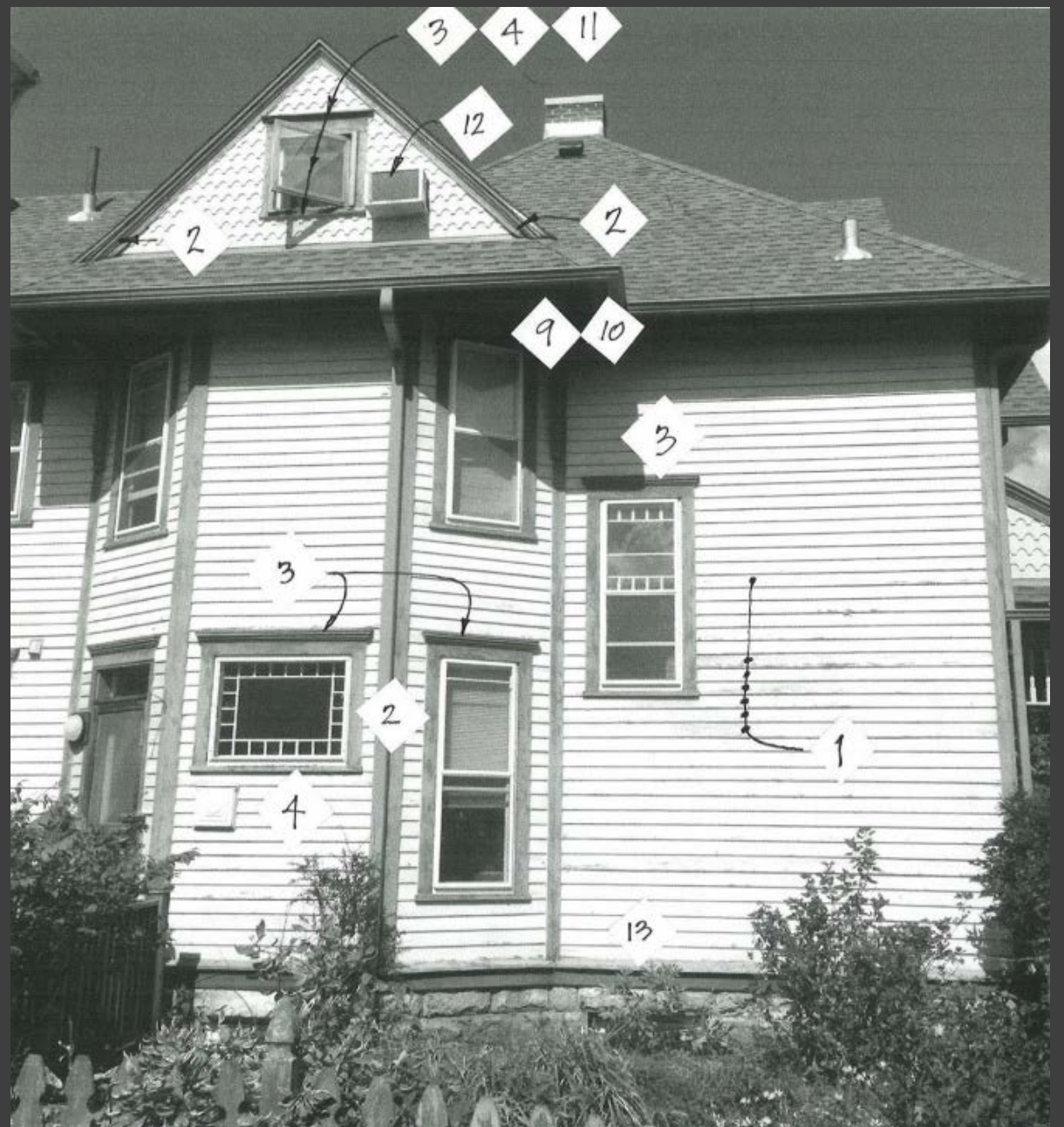
- Exterior alterations & repairs to include
 - Replacement of nonhistoric attic windows
 - Removal of side porch door
 - Replacement of cellar access door
 - Alteration of decoration in porch gable end



History of the Property

- Constructed 1892
- Queen Anne style



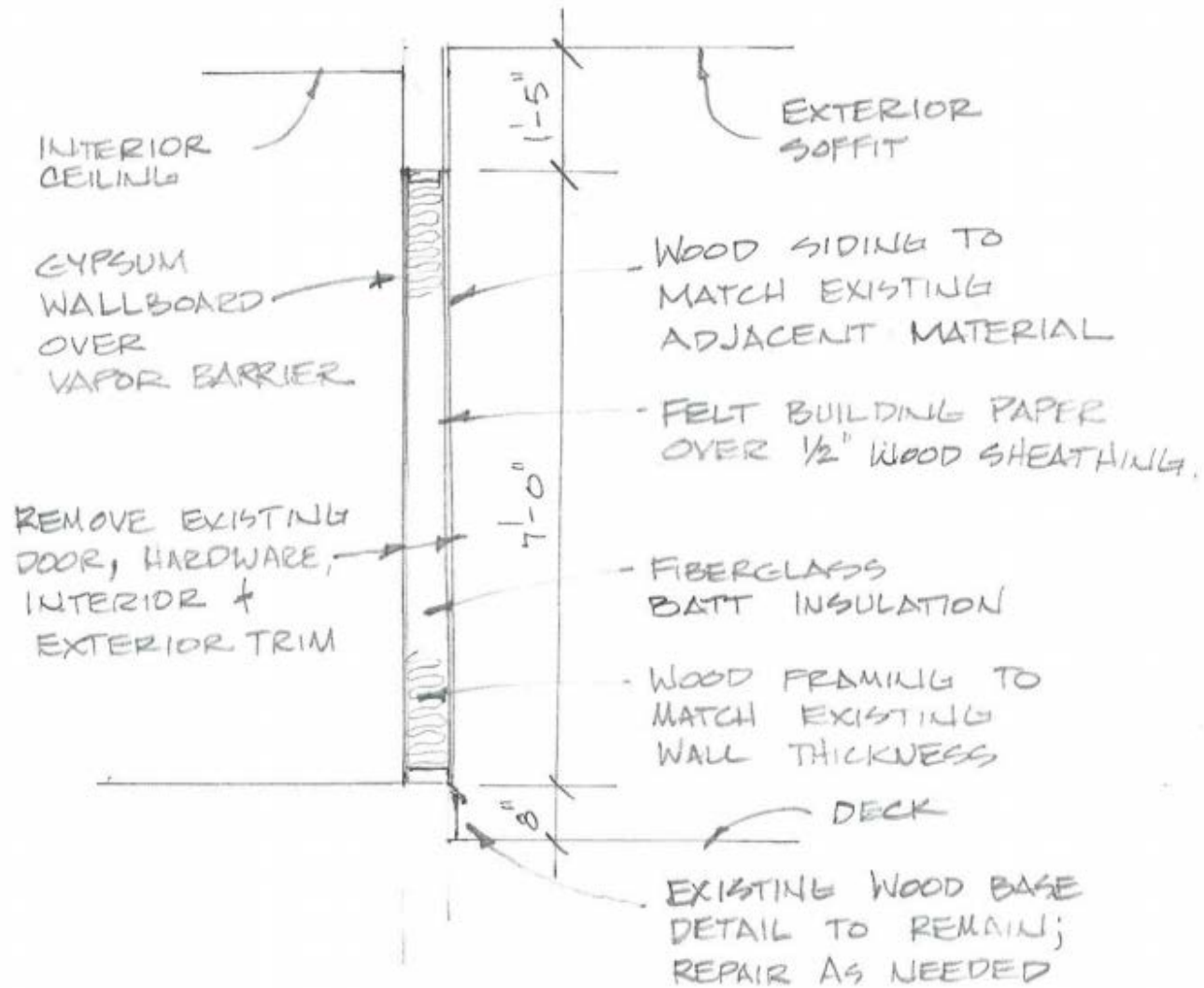




Photograph 8: South Elevation - North end facing Baldwin Street.



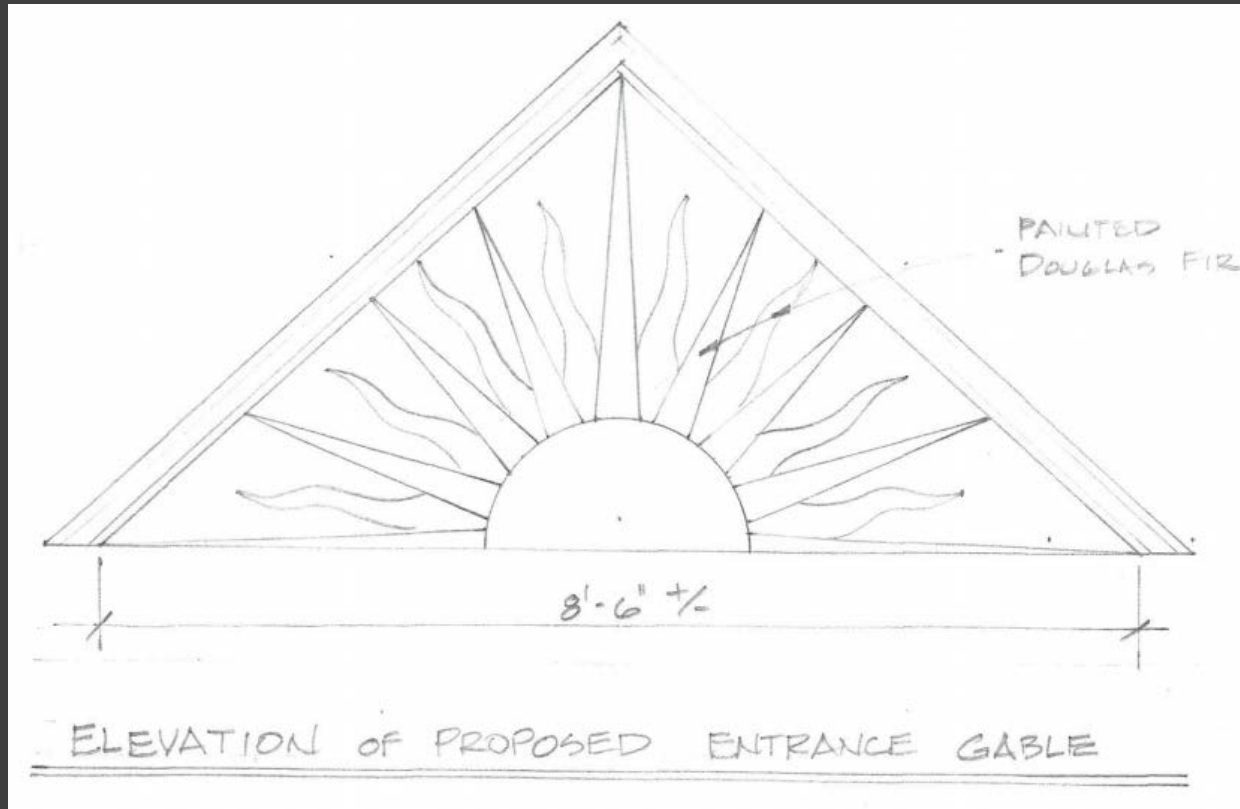
Photograph 9: Door to be replaced with siding.



SECTION AT PROPOSED DOOR INFILL

1/2" = 1'-0"





Applicable Standards

41.23 THIRD LAKE RIDGE HISTORIC DISTRICT.

(9) Standards for Exterior Alterations in the Third Lake Ridge Historic District - Parcels Zoned for Residential Use.

- (a) ~visually compatible with historic resources within 200 feet:
 - (iii) Rhythm of mass and spaces
- (b) Alterations of the street façade(s) of any existing structure shall retain the original or existing historical proportion and rhythm of solids to voids.
- (c) Alterations of the street façade(s) of any existing structure shall retain the original or existing historical materials.



Staff Recommendation

Staff believes that the standards for granting a Certificate of Appropriateness can be met and recommends the Landmarks Commission approve the proposal with the following conditions:

1. Cellar door specifications be approved by staff
2. New screen door specifications be approved by staff
3. New attic window specifications be approved by staff

