

1 BASEMENT PLAN

SCALE: 1/8" = 1'-0"



5 3 0 C I T Y C E N T E R J U N C T I O N

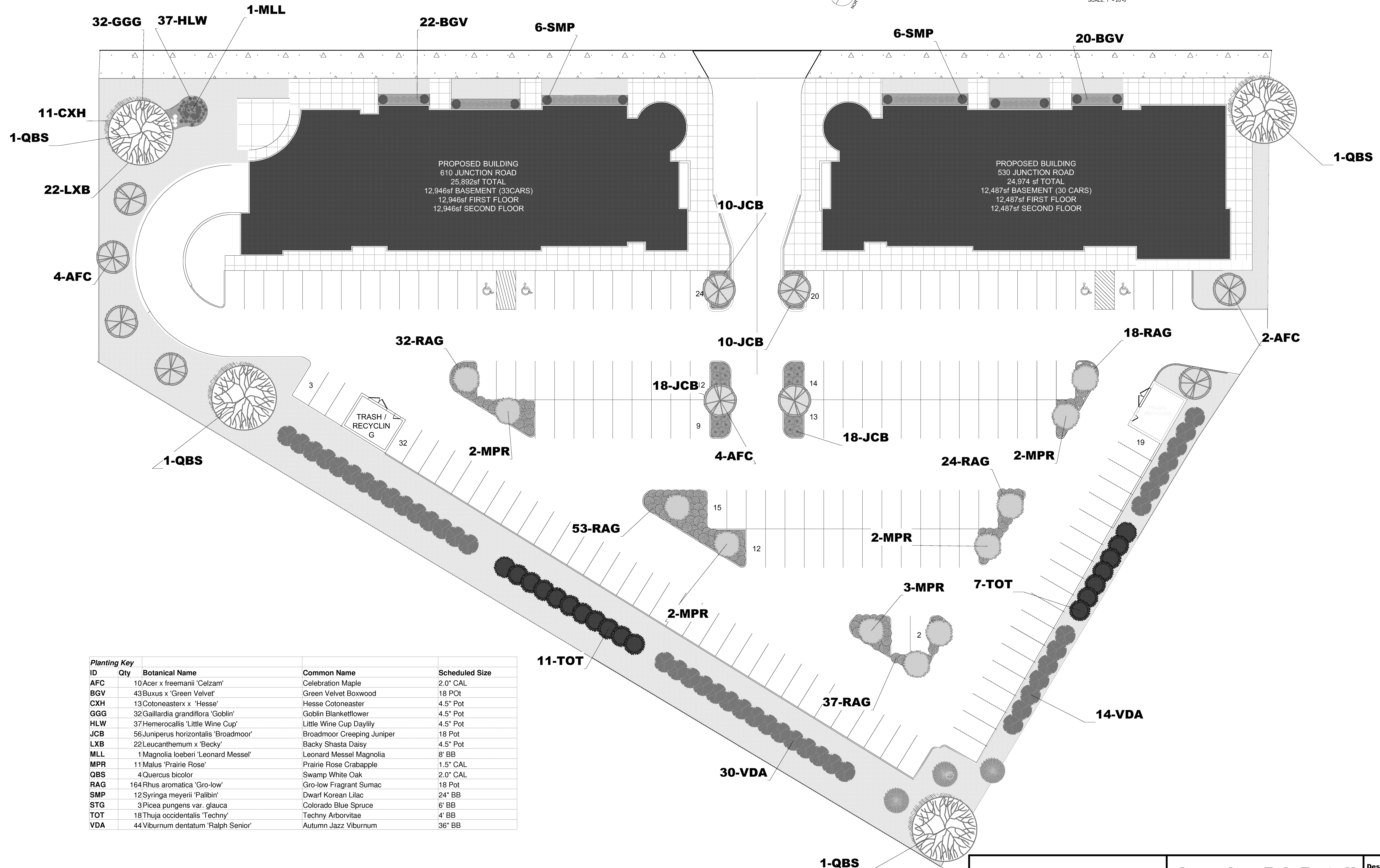


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DATE: 11-31-2006
JOB #: 26098

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A
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A
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Planting Key				
ID	Qty	Botanical Name	Common Name	Scheduled Size
AFC	10	Acer x freemanii 'Celzam'	Celebration Maple	2.0" CAL
BGV	43	Buxus x 'Green Velvet'	Green Velvet Boxwood	18 POT
CXH	13	Cotoneaster x 'Hesse'	Hesse Cotoneaster	4.5" Pot
GGG	32	Gaillardia grandiflora 'Goblin'	Goblin Blanketflower	4.5" Pot
HLW	37	Hemerocallis 'Little Wine Cup'	Little Wine Cup Daylily	4.5" Pot
JCB	56	Juniperus horizontalis 'Broadmoor'	Broadmoor Creeping Juniper	18 Pot
LXB	22	Leucanthemum x 'Becky'	Backy Shasta Daisy	4.5" Pot
MLL	1	Magnolia loeberi 'Leonard Messel'	Leonard Messel Magnolia	8' BB
MPR	11	Malus 'Prairie Rose'	Prairie Rose Crabapple	1.5" CAL
QBS	4	Quercus bicolor	Swamp White Oak	2.0" CAL
RAG	164	Rhus aromatica 'Gro-low'	Gro-low Fragrant Sumac	18 Pot
SMP	12	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" BB
STG	3	Picea pungens var. glauca	Colorado Blue Spruce	6' BB
TOT	18	Thuja occidentalis 'Techny'	Techny Arborvitae	4' BB
VDA	44	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	36" BB

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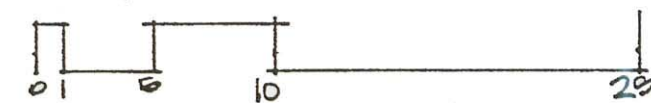
Design by: ACM
 Drawn by: ACM
 Date: 03/05/07
 Scale: 1" = 20'
 Sheet: L1



South Elevation



East Elevation

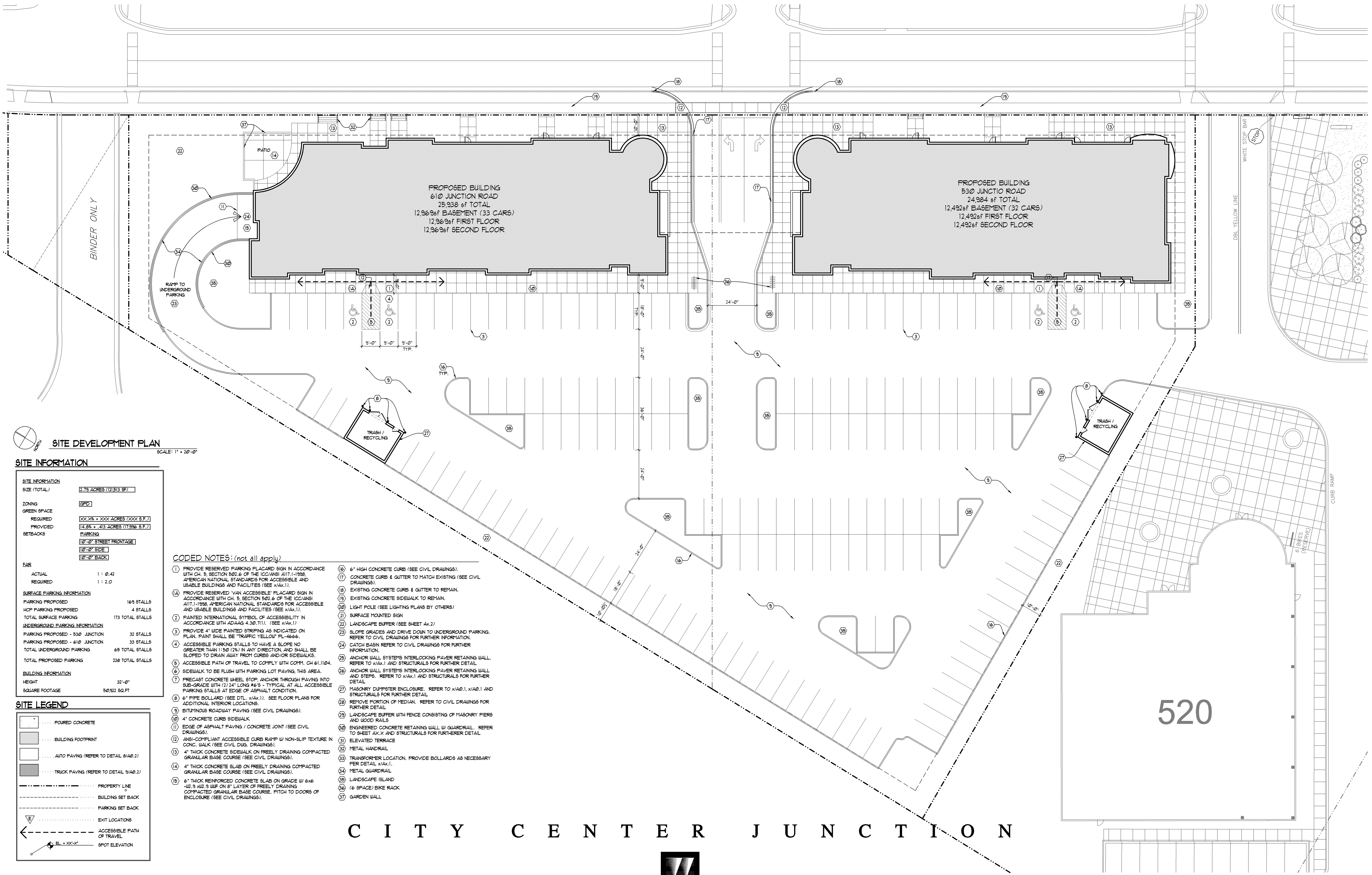


C I T Y C E N T E R J U N C T I O N



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SITE DEVELOPMENT PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION

SITE INFORMATION	
SIZE (TOTAL)	7.75 ACRES (171513 SF)
ZONING	[GPD]
GREEN SPACE	
REQUIRED	0.00 X'S = 0.00 ACRES (0.00 X S.F.)
PROVIDED	14.8% = .415 ACRES (171936 S.F.)
SETBACKS	
	10'-0" STREET FRONTAGE
	10'-0" SIDE
	10'-0" BACK
FAR	
ACTUAL	1 : 0.42
REQUIRED	1 : 2.0
SURFACE PARKING INFORMATION	
PARKING PROPOSED	169 STALLS
HCP PARKING PROPOSED	4 STALLS
TOTAL SURFACE PARKING	173 TOTAL STALLS
UNDERGROUND PARKING INFORMATION	
PARKING PROPOSED - 530 JUNCTION	32 STALLS
PARKING PROPOSED - 610 JUNCTION	33 STALLS
TOTAL UNDERGROUND PARKING	65 TOTAL STALLS
TOTAL PROPOSED PARKING	238 TOTAL STALLS
BUILDING INFORMATION	
HEIGHT	32'-0"
SQUARE FOOTAGE	50222 SQ.FT

SITE LEGEND

[Symbol]	POURED CONCRETE
[Symbol]	BUILDING FOOTPRINT
[Symbol]	AUTO PAVING (REFER TO DETAIL 9/A0.2)
[Symbol]	TRUCK PAVING (REFER TO DETAIL 9/A0.2)
[Symbol]	PROPERTY LINE
[Symbol]	BUILDING SET BACK
[Symbol]	PARKING SET BACK
[Symbol]	EXIT LOCATIONS
[Symbol]	ACCESSIBLE PATH OF TRAVEL
[Symbol]	SPOT ELEVATION

CODED NOTES: (not all apply)

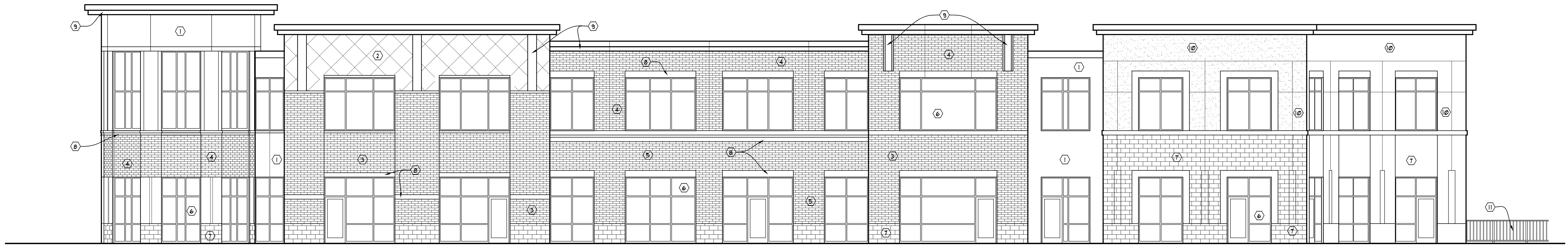
- (1) PROVIDE RESERVED PARKING PLACARD SIGN IN ACCORDANCE WITH CH. 5, SECTION 502.6 OF THE ICC/ANSI A117.1-1998, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (SEE X/AX.1).
- (2) PROVIDE RESERVED VAN ACCESSIBLE PLACARD SIGN IN ACCORDANCE WITH CH. 5, SECTION 502.6 OF THE ICC/ANSI A117.1-1998, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (SEE X/AX.1).
- (3) PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY IN ACCORDANCE WITH ADAAG 4.30.7(1). (SEE X/AX.1)
- (4) PROVIDE 4" WIDE PAINTED STRIPING AS INDICATED ON PLAN. PAINT SHALL BE TRAFFIC YELLOW PL-46666.
- (5) ACCESSIBLE PARKING STALLS TO HAVE A SLOPE NO GREATER THAN 1:50 (2%) IN ANY DIRECTION, AND SHALL BE SLOPED TO DRAIN AWAY FROM CURBS AND/OR SIDEWALKS.
- (6) ACCESSIBLE PATH OF TRAVEL TO COMPLY WITH COMM. CH 61.1104.
- (7) SIDEWALK TO BE FLUSH WITH PARKING LOT PAVING, THIS AREA.
- (8) PRECAST CONCRETE WHEEL STOP, ANCHOR THROUGH PAVING INTO SUB-GRADE WITH (2) 24" LONG #6'S - TYPICAL AT ALL ACCESSIBLE PARKING STALLS AT EDGE OF ASPHALT CONDITION.
- (9) 6" PIPE BOLLARDS (SEE DTL. X/AX.1). SEE FLOOR PLANS FOR ADDITIONAL INTERIOR LOCATIONS.
- (10) BITUMINOUS ROADWAY PAVING (SEE CIVIL DRAWINGS).
- (11) 4" CONCRETE CURB SIDEWALK.
- (12) EDGE OF ASPHALT PAVING / CONCRETE JOINT (SEE CIVIL DRAWINGS).
- (13) ANSI-COMPLIANT ACCESSIBLE CURB RAMP W/ NON-SLIP TEXTURE IN CONC. WALK (SEE CIVIL Dwg. DRAWINGS).
- (14) 4" THICK CONCRETE SIDEWALK ON FREELY DRAINING COMPACTED GRANULAR BASE COURSE (SEE CIVIL DRAWINGS).
- (15) 4" THICK REINFORCED CONCRETE SLAB ON GRADE W/ 6x6 #12, 9 #12'S W/ 8" LAYER OF FREELY DRAINING COMPACTED GRANULAR BASE COURSE. FITCH TO DOORS OF ENCLOSURE (SEE CIVIL DRAWINGS).
- (16) 6" HIGH CONCRETE CURB (SEE CIVIL DRAWINGS).
- (17) CONCRETE CURB & GUTTER TO MATCH EXISTING (SEE CIVIL DRAWINGS).
- (18) EXISTING CONCRETE CURB & GUTTER TO REMAIN.
- (19) EXISTING CONCRETE SIDEWALK TO REMAIN.
- (20) LIGHT POLE (SEE LIGHTING PLANS BY OTHERS)
- (21) SURFACE MOUNTED SIGN
- (22) LANDSCAPE BUFFER (SEE SHEET AX.2)
- (23) SLOPE GRADES AND DRIVE DOWN TO UNDERGROUND PARKING. REFER TO CIVIL DRAWINGS FOR FURTHER INFORMATION.
- (24) CATCH BASIN REFER TO CIVIL DRAWINGS FOR FURTHER INFORMATION.
- (25) ANCHOR WALL SYSTEMS INTERLOCKING PAVEMENT RETAINING WALL. REFER TO X/AX.1 AND STRUCTURALS FOR FURTHER DETAIL.
- (26) ANCHOR WALL SYSTEMS INTERLOCKING PAVEMENT RETAINING WALL AND STEPS. REFER TO X/AX.1 AND STRUCTURALS FOR FURTHER DETAIL.
- (27) MASONRY DUMPSTER ENCLOSURE. REFER TO X/A0.1, X/A0.1 AND STRUCTURALS FOR FURTHER DETAIL.
- (28) REMOVE PORTION OF MEDIAN. REFER TO CIVIL DRAWINGS FOR FURTHER DETAIL.
- (29) LANDSCAPE BUFFER WITH FENCE CONSISTING OF MASONRY PIERS AND WOOD RAILS.
- (30) ENGINEERED CONCRETE RETAINING WALL W/ GUARDRAIL. REFER TO SHEET AX.X AND STRUCTURALS FOR FURTHER DETAIL.
- (31) ELEVATED TERRACE
- (32) METAL HANDRAIL
- (33) TRANSFORMER LOCATION. PROVIDE BOLLARDS AS NECESSARY PER DETAIL X/AX.1.
- (34) METAL GUARDRAIL
- (35) LANDSCAPE ISLAND
- (36) (6 SPACE) BIKE RACK
- (37) GARDEN WALL

CITY CENTER JUNCTION



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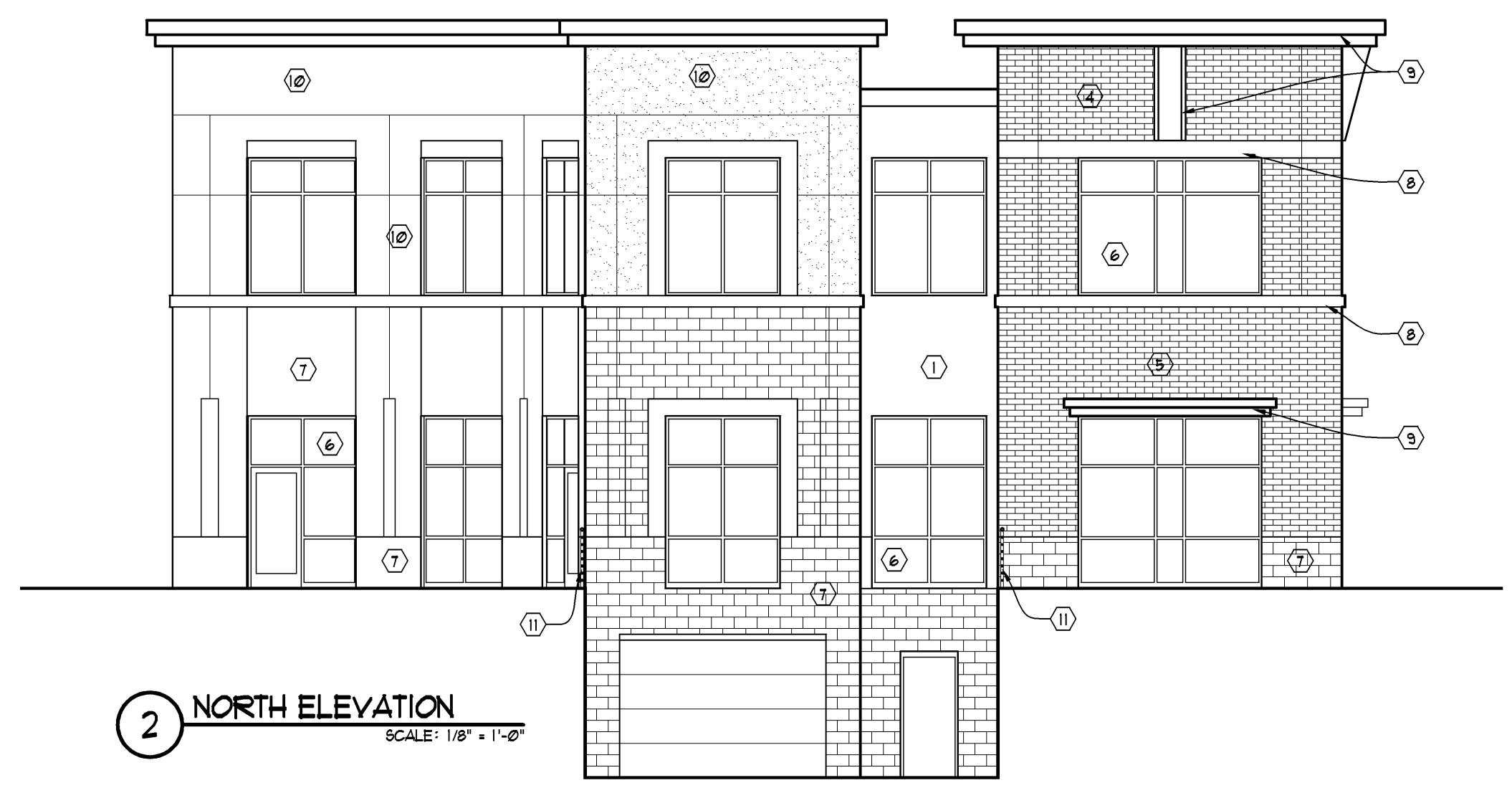


1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

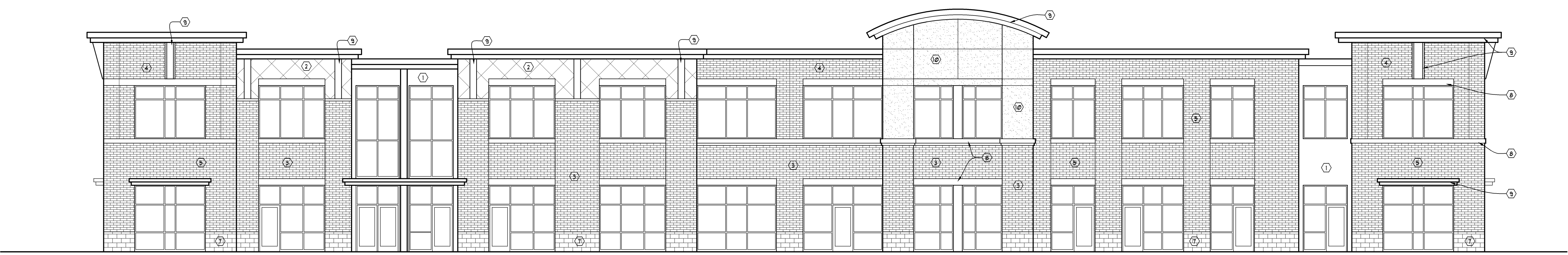


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION CODED NOTES:
- 1 METAL PANEL #1
 - 2 METAL PANEL #2
 - 3 BRICK #1
 - 4 BRICK #2
 - 5 BRICK #3
 - 6 ANNO. ALUMINUM STOREFRONT SYSTEM TYPICAL
 - 7 PRECAST STONE
 - 8 PRECAST BAND/INTEL
 - 9 METAL SOFFIT, FASCIA, AND TRIM
 - 10 EIFS
 - 11 METAL RAILING
- EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
 2. WINDOW SYSTEM TO BE EXTERIOR GLAZED.

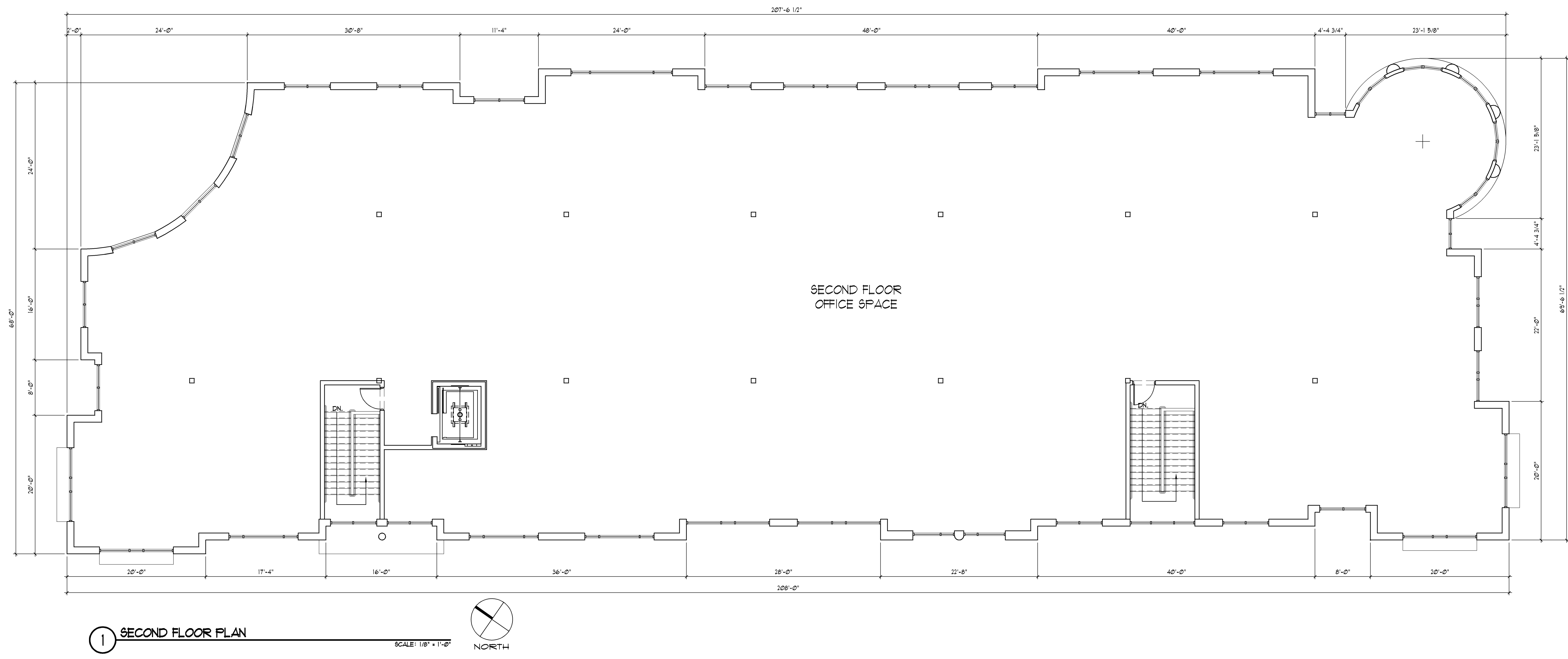


2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

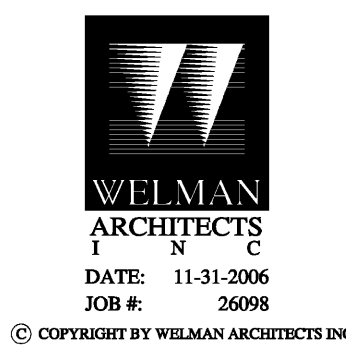


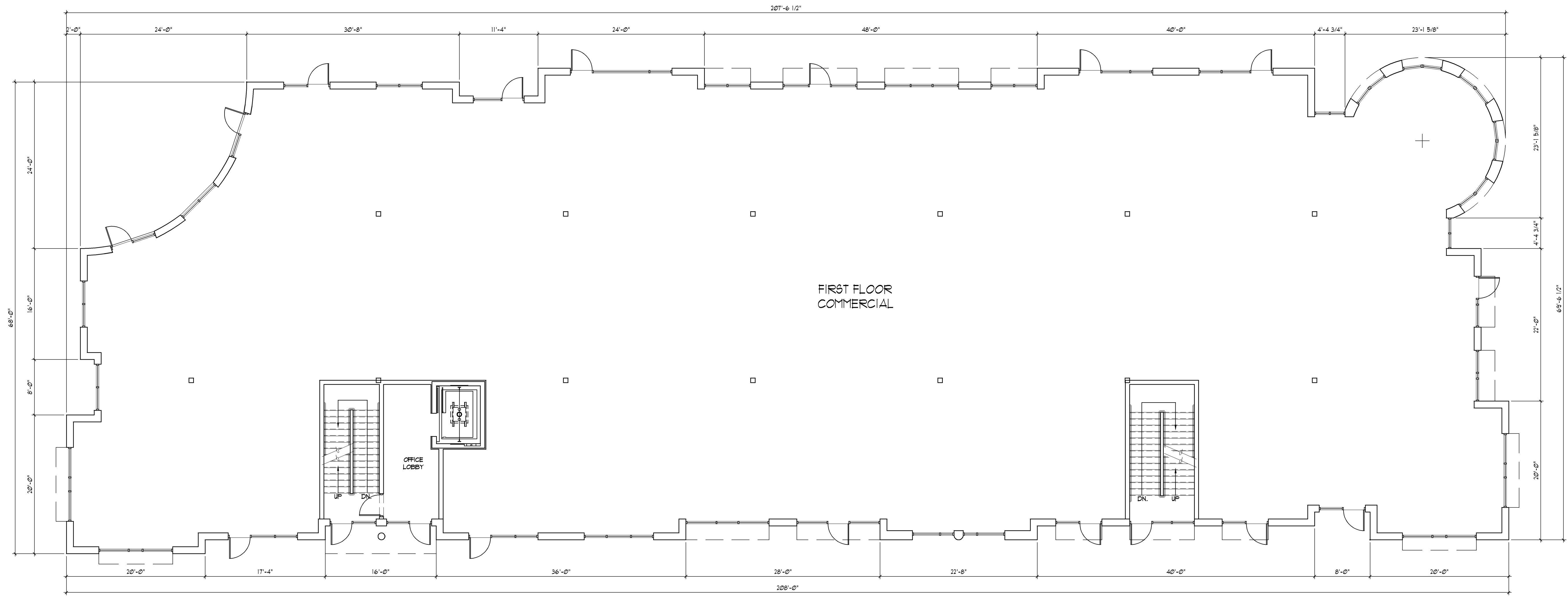
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

610 CITY CENTER JUNCTION



6 1 0 C I T Y C E N T E R J U N C T I O N





1 FIRST FLOOR PLAN

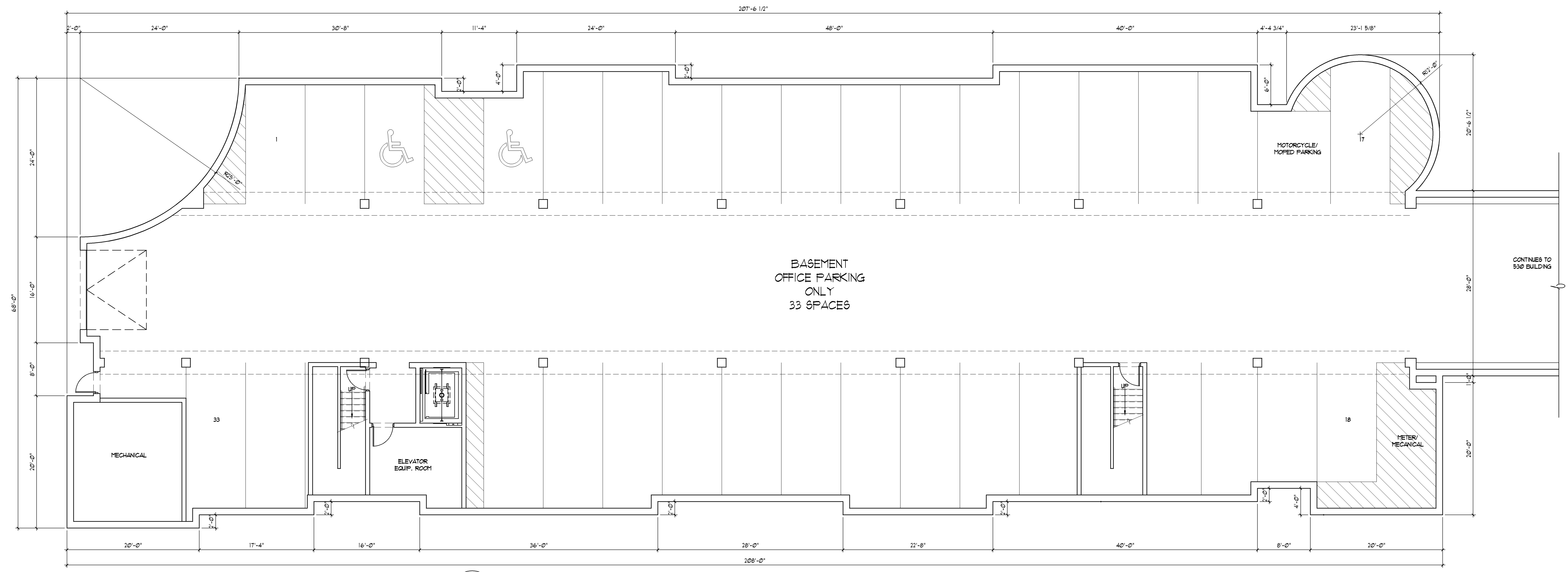
SCALE: 1/8" = 1'-0"



610 CITY CENTER JUNCTION



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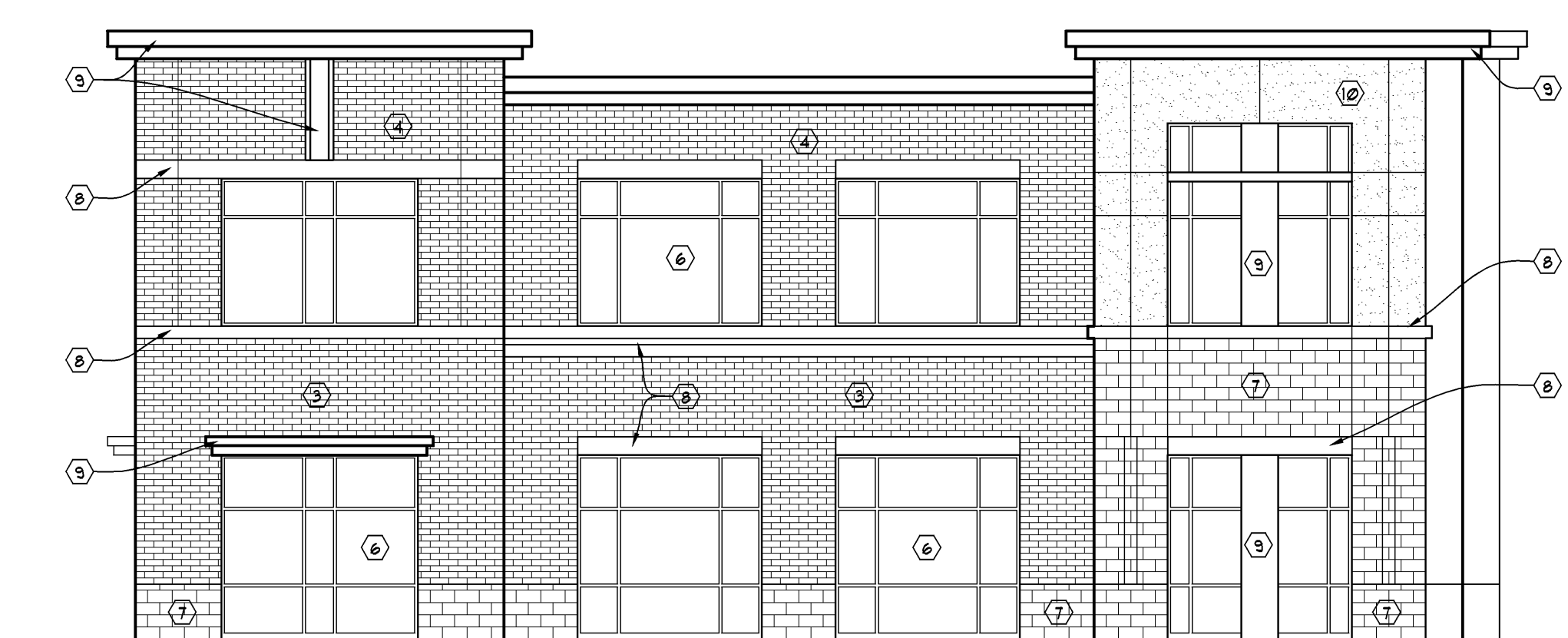
1 BASEMENT PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

6 1 0 C I T Y C E N T E R J U N C T I O N





1 EAST ELEVATION SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

- ELEVATION CODED NOTES:
- 1 METAL PANEL #1
 - 2 METAL PANEL #2
 - 3 BRICK #1
 - 4 BRICK #2
 - 5 BRICK #3
 - 6 ANOD. ALUMINUM STOREFRONT SYSTEM TYPICAL
 - 7 PRECAST STONE
 - 8 PRECAST BAND/LINTEL
 - 9 METAL SOFFIT, FASCIA, AND TRIM
 - 10 EIFS

- EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
 2. WINDOW SYSTEM TO BE EXTERIOR GLAZED.

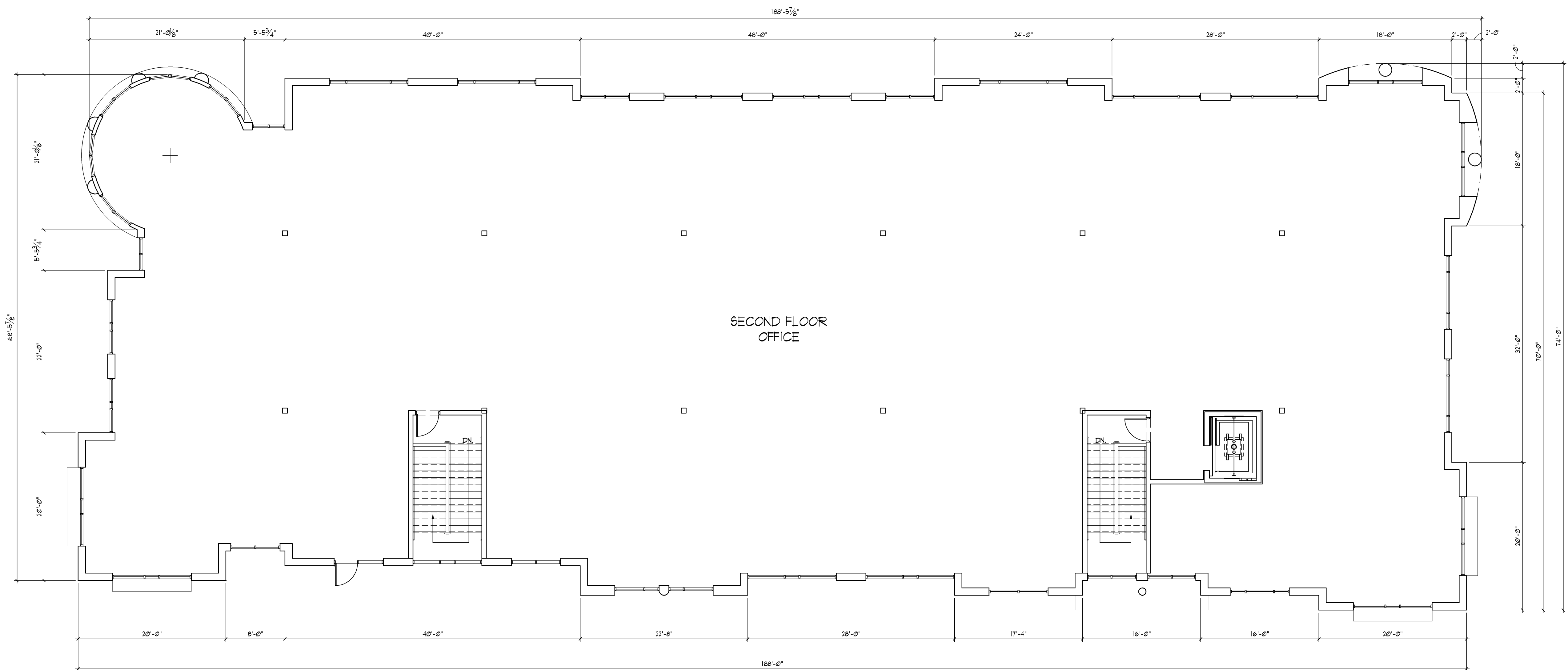


2 NORTH ELEVATION SCALE: 1/8" = 1'-0"



4 WEST ELEVATION SCALE: 1/8" = 1'-0"

530 CITY CENTER JUNCTION



1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

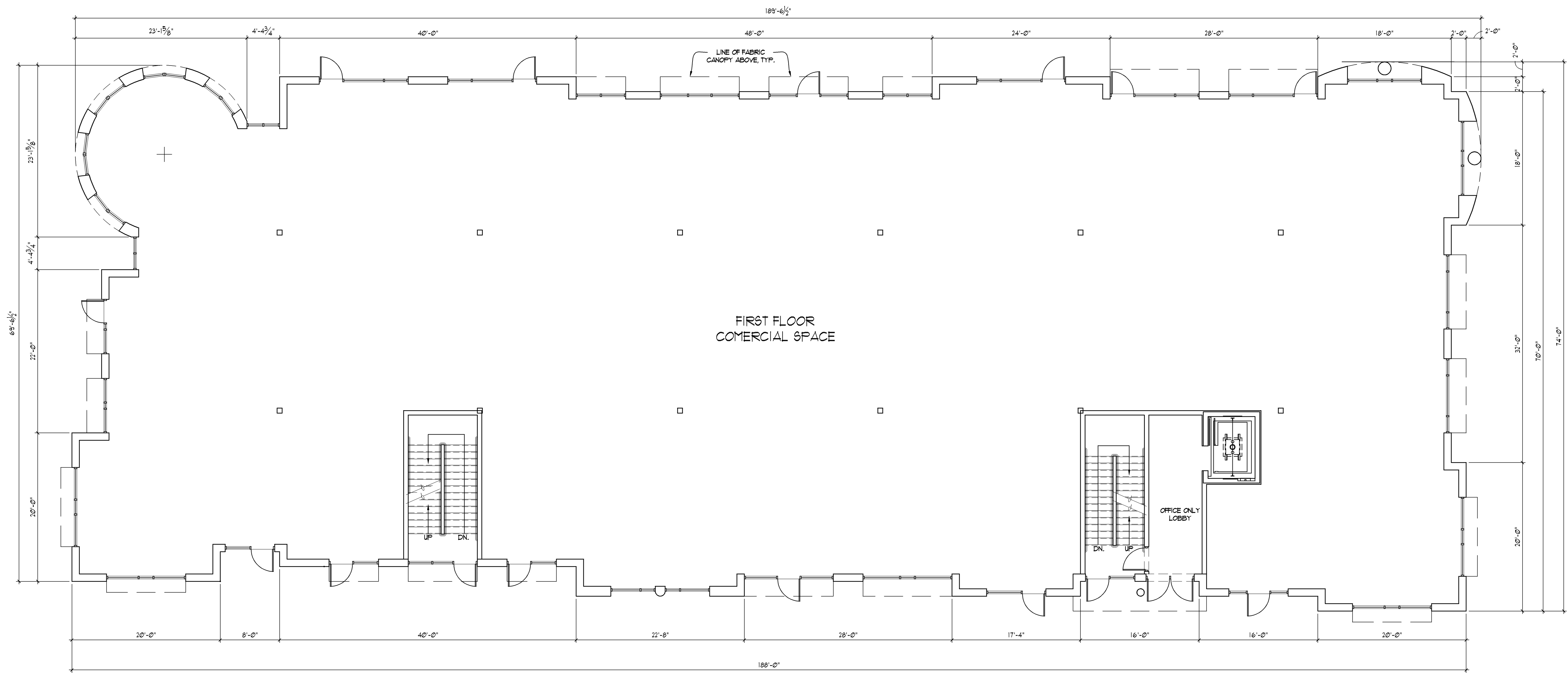


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1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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DATE: MARCH 13, 2007

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PROJECT No: 26098

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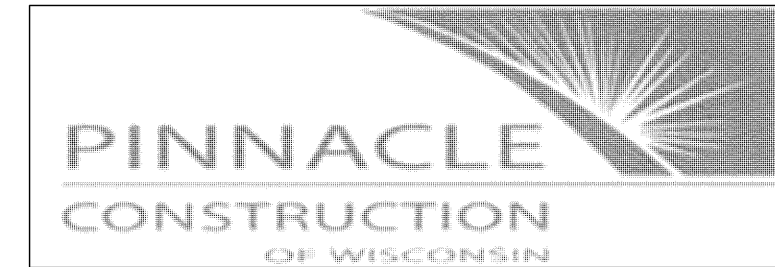
OWNER

CONTRACTOR

ENGINEERING CONSULTANTS



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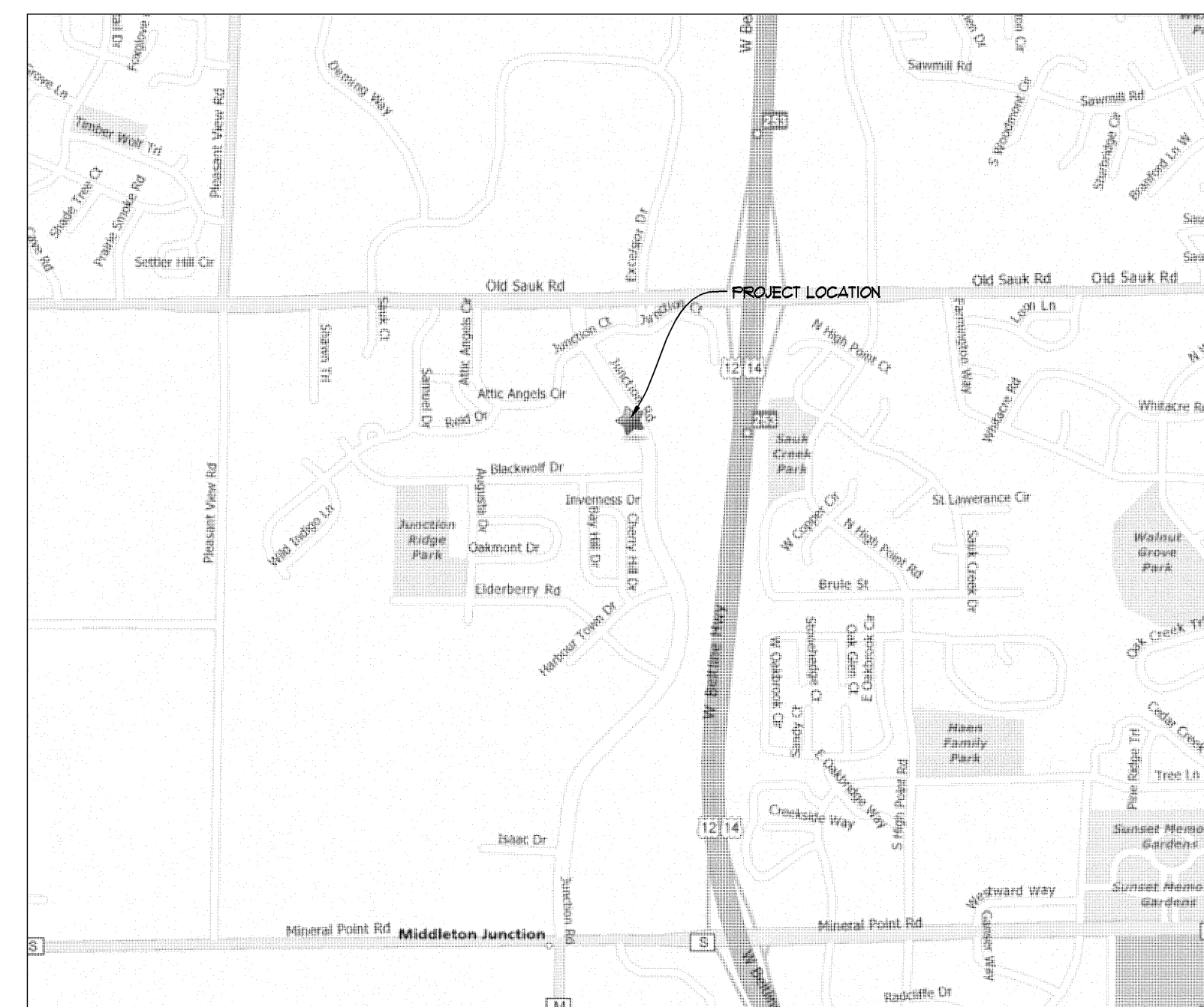


CIVIL

STRUCTURAL



KEY PLAN



BUILDING INFORMATION

BUILDING TYPE	II-B
OCCUPANCY	MIXED USE
SPRINKLER SYSTEM	YES
SQUARE FOOTAGE	
530 BUILDING	24,984 S.F.
610 BUILDING	25,338 S.F.
TOTAL	50,322 S.F.

VICINITY MAP

