

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # 6  
Project # 1-6-08  
08517

DATE SUBMITTED: <u>2/20/08</u>	Action Requested
UDC MEETING DATE: <u>2/27/08</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 89 EAST TOWNE MALL

ALDERMANIC DISTRICT: 17

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
CBL & ASSOCIATES PATRICK G. BLEES ARCHITECT  
2030 HAMILTON PL. BLVD. SUITE 500 219 NORTH 2ND ST. SUITE 301  
CHATTANOOGA, TN. 37421 MINNEAPOLIS, MN. 55401

CONTACT PERSON: RUSS KOWALSKI  
Address: GMK ARCHITECTURE  
3220 SYENE RD.  
Phone: 277-0585 x12  
Fax: .0597  
E-mail address: russgmk@gmkarch.com



- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

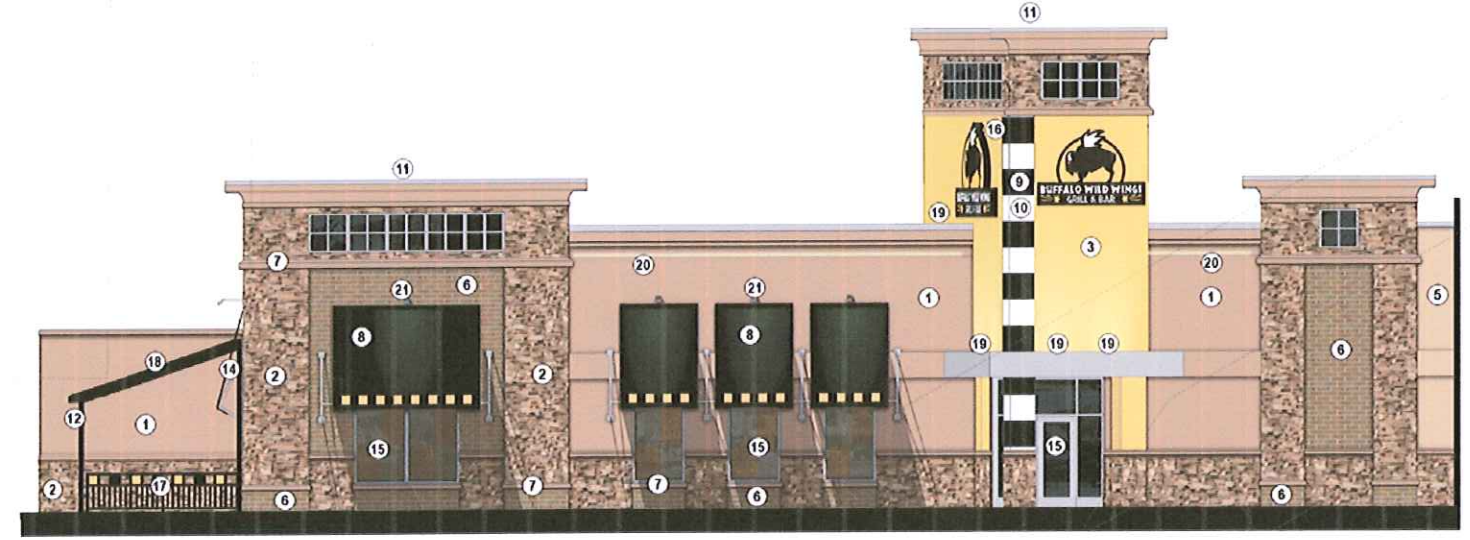
(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)  
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

- ① EIFS: DRYVIT EIFS "#139 ADOBE ACCENT" WITH SANDPEBBLE FINISH TO MATCH EXISTING
- ② CULTURED STONE VENEER "MOJAVE" TO MATCH EXISTING
- ③ EIFS: DRYVIT EIFS "SW SOCIAL BUTTERFLY" WITH SANDPEBBLE FINISH
- ④ EIFS: DRYVIT EIFS "#443A CANVAS" WITH SANDBLAST FINISH TO MATCH EXISTING
- ⑤ EIFS: DRYVIT EIFS "#112 SANDLEWOOD BEIGE" WITH SANDPEBBLE FINISH TO MATCH EXISTING
- ⑥ BRICK: CLOUD CERAMICS - CORAL SAND OR EQUAL
- ⑦ PRECAST SILL
- ⑧ FABRIC AWNING "JET BLACK 4608/6008" SUNBRELLA WITH PANTONE #116 COATED YELLOW SQUARES
- ⑨ PREFINISHED ALUMINUM PANELS "BLACK" UNA-CLAD
- ⑩ PREFINISHED ALUMINUM PANELS "BONE WHITE" UNA-CLAD
- ⑪ PREFINISHED METAL CAP FLASHING "SILVER METALLIC" UNA-CLAD
- ⑫ DOWNSPOUT AND SCUPPER "SILVER METALLIC" UNA-CLAD
- ⑬ 24" x 24" VENT WITH INSECT SCREEN "PAINTED TO MATCH ADJACENT EIFS" AIRLINE LOUVERS MOEL # LSA4W38
- ⑭ TELEVISION WITH EXTERIOR WEATHER PROOF MOUNTING BRACKET
- ⑮ WINDOW OR DOOR - TRANSPARENT GLASS UNLESS OTHERWISE NOTED AS SPANDREL GLASS - ANODIZED ALUMINUM FRAME
- ⑯ ILLUMINATED SIGNAGE - SEE SIGNAGE CRITERIA MANUAL FOR COLORS AND SIZES
- ⑰ BLACK POWDER COATED PATIO RAIL PAINTED WITH GLOSS YELLOW SQUARES
- ⑱ STANDING SEAM METAL ROOF "BLACK WITH YELLOW" CHECKER - STEEL CONSTRUCTION
- ⑲ 4-FOOT LIGHT FIXTURE: COLUMBIA SLA4-1-48HO-DR-SLBB-2-48HO-X-120
- ⑳ ONE ROWS OF 1" LED STRIP LIGHTING
- ㉑ AWNING LIGHT FIXTURE: KIM LIGHTING EL215BK/100T4/CL



① NORTH ELEVATION



② WEST ELEVATION

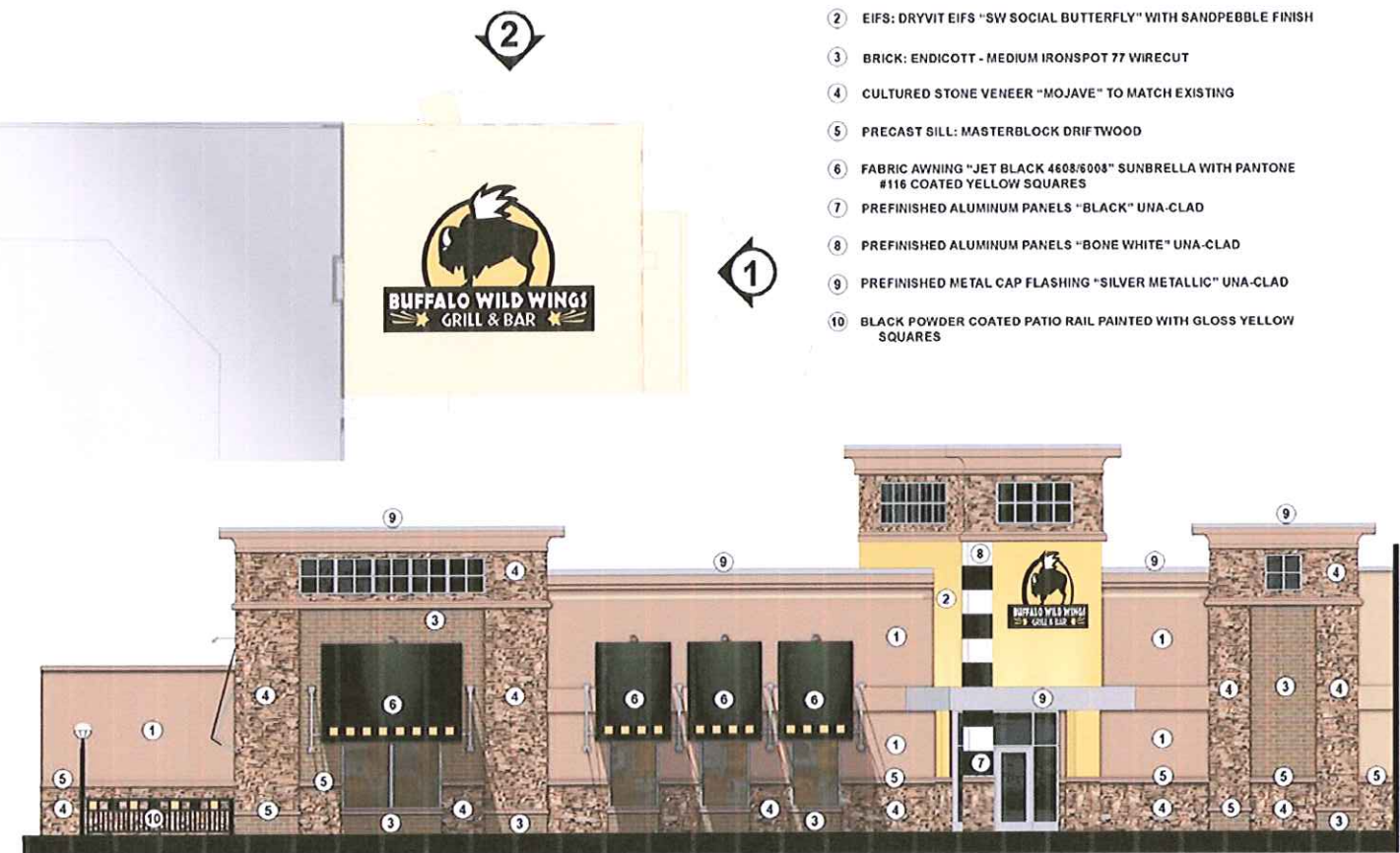
**CONSULTANTS:**  
**ERICKSEN ELLISON & ASSOCIATES, INC.**  
 2635 UNIVERSITY AVENUE, STE 200  
 ST. PAUL, MN 55114-1231  
 PHONE: (651) 632-2300  
 FAX: (651) 632-2397  
**ADVANCED STRUCTURAL TECHNOLOGIES, INC.**  
 2626 E. 82ND STREET, STE 235  
 BLOOMINGTON, MN 55425  
 PHONE: (952) 854-9302  
 FAX: (952) 854-9690

**MATERIAL KEY**

- ① EIFS: DRYVIT EIFS "#139 ADOBE ACCENT" WITH SANDPEBBLE FINISH TO MATCH EXISTING
- ② EIFS: DRYVIT EIFS "SW SOCIAL BUTTERFLY" WITH SANDPEBBLE FINISH
- ③ BRICK: ENDICOTT - MEDIUM IRONSPOT 77 WIRECUT
- ④ CULTURED STONE VENEER "MOJAVE" TO MATCH EXISTING
- ⑤ PRECAST SILL: MASTERBLOCK DRIFTWOOD
- ⑥ FABRIC AWNING "JET BLACK 4608/5008" SUNBRELLA WITH PANTONE #116 COATED YELLOW SQUARES
- ⑦ PREFINISHED ALUMINUM PANELS "BLACK" UNA-CLAD
- ⑧ PREFINISHED ALUMINUM PANELS "BONE WHITE" UNA-CLAD
- ⑨ PREFINISHED METAL CAP FLASHING "SILVER METALLIC" UNA-CLAD
- ⑩ BLACK POWDER COATED PATIO RAIL PAINTED WITH GLOSS YELLOW SQUARES



**1** NORTH ELEVATION



**2** WEST ELEVATION

SEAL:

PATRICK G. BLEES  
 DATE  
 DATE ISSUED A-9014  
 REG. NO.



EAST TOWNE MALL  
 80 EAST TOWN MALL  
 MADISON, WI 53704

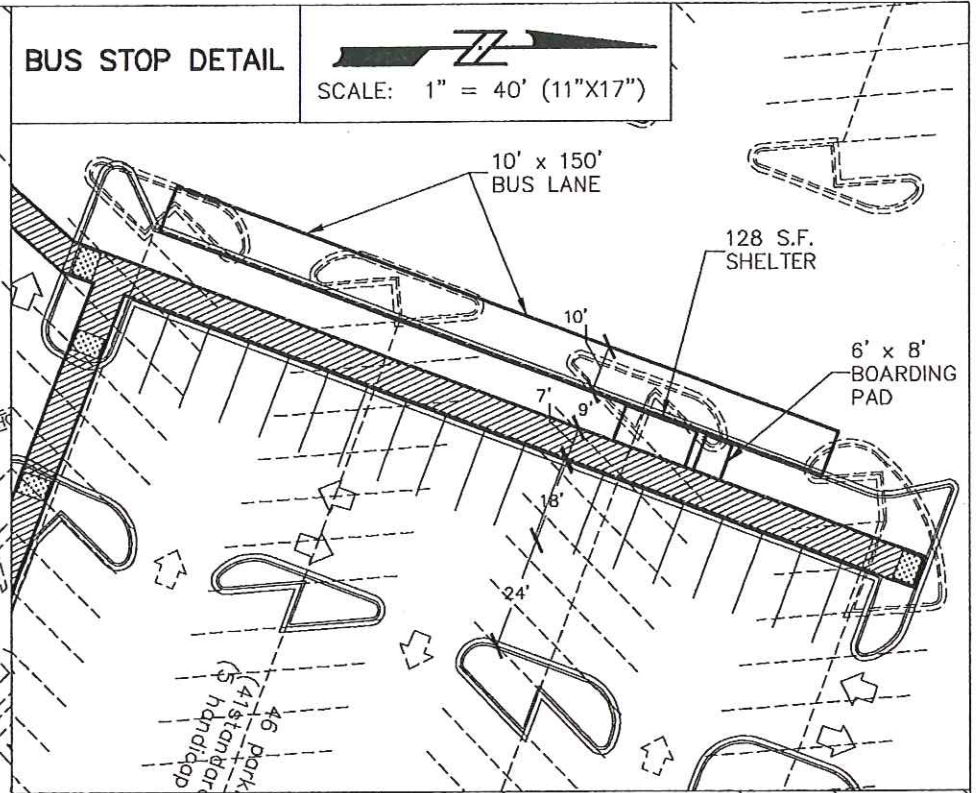
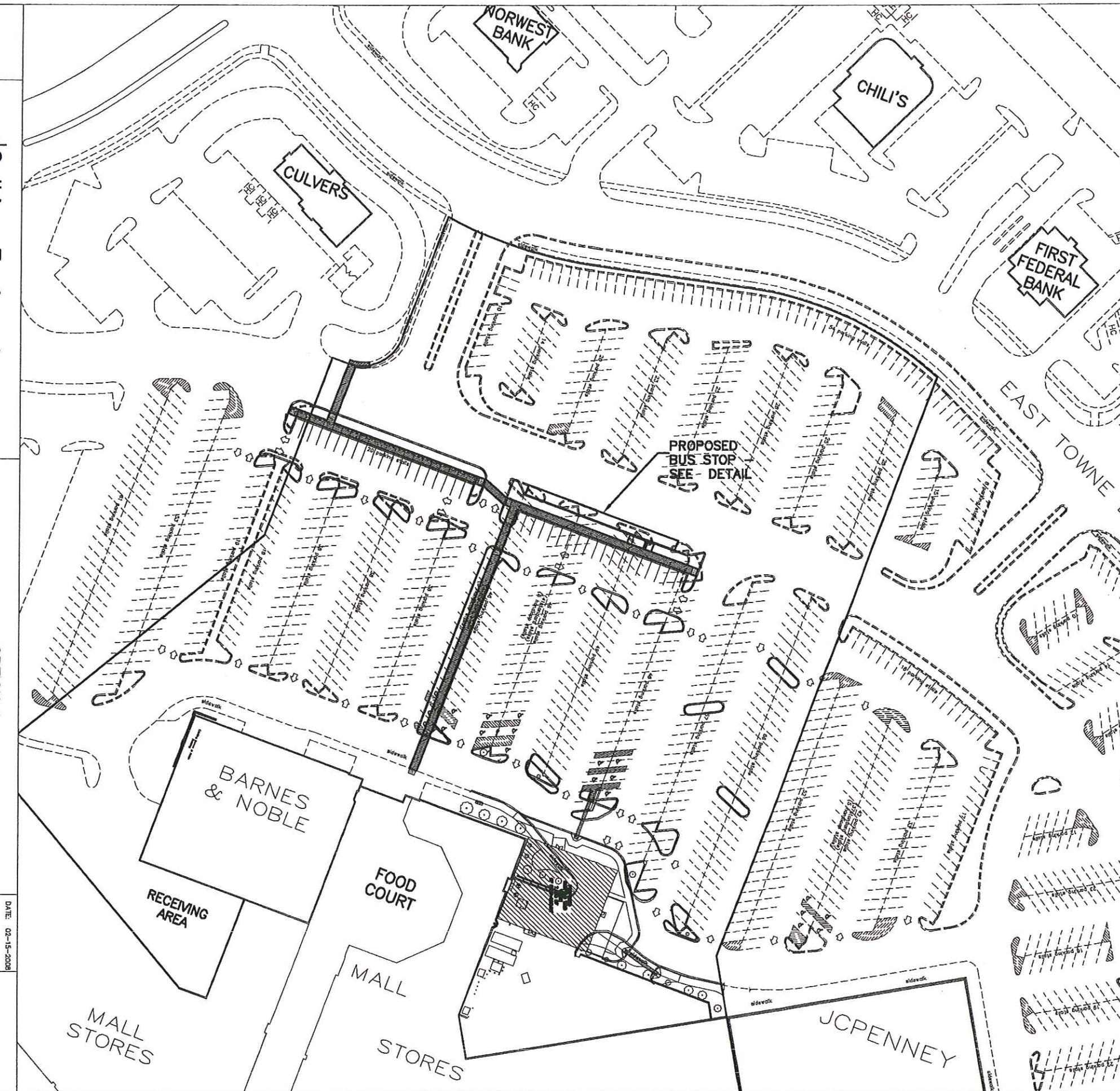
FRANCHISE STORE

**PERMIT SET**

REVISIONS:

NO.	DATE	BY

PROJECT NO: 07199.001  
 DRAWN BY:



SCALE: 1" = 100' (11"x17")

**NOTE:**  
PROPOSED PARKING IMPROVEMENTS  
WILL RESULT IN 79 FEWER PARKING  
STALLS.

DATE: 02-15-2008

REVISIONS:

Calkins Engineering, LLC  
5010 Vogue Road  
Madison, WI 53718  
(608) 835-0444

**PATRICK G. BLEES**  
 ARCHITECTURE • PLANNING • INTERIOR DESIGN  
 PATRICK G. BLEES, ARCHITECT  
 219 N. 2ND ST., SUITE 301  
 MINNEAPOLIS, MN 55401  
 PHONE: (612) 338-6877  
 FAX: (612) 338-2995  
 E-MAIL: info@cmorch.com  
 CONTACT: JEREMY NELSON

**CONSULTANTS:**  
**ERICKSON ELLISON & ASSOCIATES, INC.**  
 2635 UNIVERSITY AVENUE, STE 200  
 ST. PAUL, MN 55114-1231  
 PHONE: (651) 832-2300  
 FAX: (651) 832-2397  
**ADVANCED STRUCTURAL TECHNOLOGIES, INC.**  
 2628 E. 82ND STREET, STE 235  
 BLOOMINGTON, MN 55425  
 PHONE: (952) 854-9302  
 FAX: (952) 854-9890  
**CALKINS ENGINEERING, LLC.**  
 5010 VOICES ROAD  
 MADISON, WI 53718  
 PHONE: (608) 838-0444  
 FAX: (608) 838-0445  
**BLAIR LANDSCAPING**  
 3030 GATEWAY PLACE  
 MADISON, WI 53704  
 PHONE: (608) 255-1920

SEAL:

PATRICK G. BLEES, ARCHITECT

12-19-07  
 DATE ISSUED  
 A-8014  
 REG. NO.

**CBL PROPERTIES**  
 EAST TOWNE MALL  
 89 EAST TOWNE MALL  
 MADISON, WI 53704

**SHELL BUILDING**

SHEET TITLE:  
 LANDSCAPE PLAN

REVISIONS:

NO.	DATE	BY:

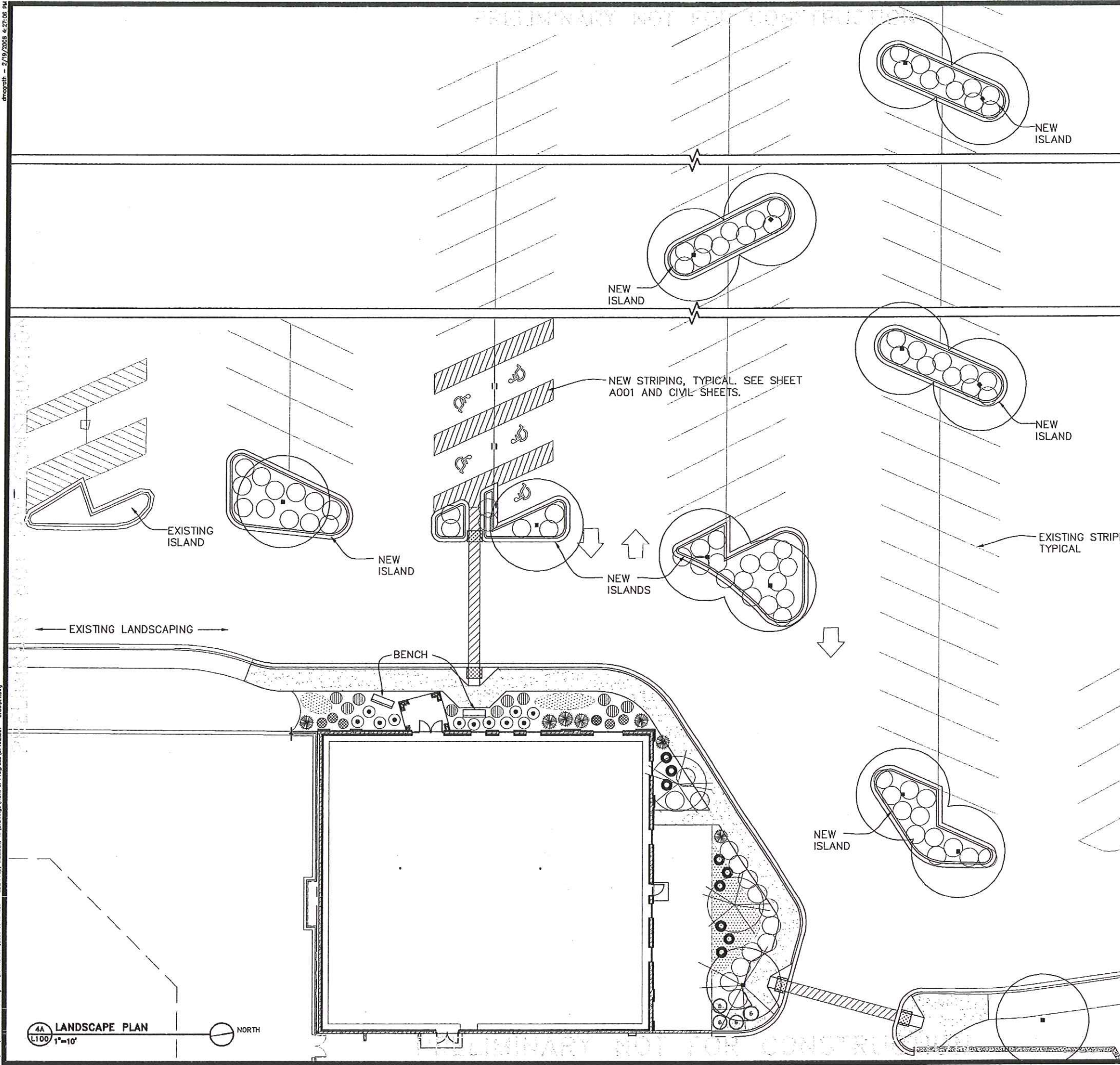
PROJECT NO: 07182.001  
 DRAWN BY: DRW/TNB

**L100**

SHEET 8 OF NO.  
 COPYRIGHT PATRICK G. BLEES, AIA 2007

PLANT MATERIAL SCHEDULE			
SYMBOL	COMMON NAME	SIZE	QTY
<b>TREES</b>			
○	SKYLINE HONEYLOCUST	2-1/2" DB	13
⊗	AVAR BIRCH CLUMP	12" DB	1
⊗	BURGUNDY CRAB	2" DB	2
<b>SHRUBS / EVERGREENS</b>			
⊙	AUTUMN BRILLIANCE SERVICEBERRY	5" DB	4
⊙	CRISP BURKING BUSH	24" DB	7
⊙	COMPACT CRANBERRY BUSH VARIANT	24" DB	8
⊙	GOLD MOUND SPIREA	18" DB	11
⊙	GOLD FLAME SPIREA	15" DB	8
⊙	SPREADING COTONEASTER	18" DB	10
⊙	BLUE PIG JUMPERS	2 GAL.	81
<b>PERENNIALS</b>			
■	BLACK EYED SUSAN	1 QT.	20
■	STELLA DE ORO DAYLILY	1 QT.	20
■	SUMMER WINE DAYLILY	1 QT.	20
■	AUTUMN JOY SEDUM	1 QT.	20
■	FANAL ASTILBE	1 QT.	20
■	WOODRUM COREOPSIS	1 QT.	20
■	PURPLE PALACE CORAL BELLS	1 QT.	20

NOTE:  
 1. PERENNIAL BEDS ARE TO HAVE VINYL EDGING (BLACK DRAINED OR EQUAL) WITH SPREADED HARDWOOD BARK MULCH TO A DEPTH OF 1-1/2".  
 2. ALL OTHER LANDSCAPED AREAS TO HAVE #8 WASHED STONE MULCH AT A DEPTH OF 2" OVER WEEED BARRIER FABRIC.



2:11/14/07 11:52:00 AM Projects\07182.001 (East Town Mall - CBL Prop) Madison, WI\Drawings\Work in Progress\07182.001 L100.dwg  
 2/19/2008 4:37:06 PM

4A LANDSCAPE PLAN  
 L100 1"=10'  
 NORTH

# PRELIMINARY: NOT FOR CONSTRUCTION

Easement #9 - 10'  
Sanitary Sewer Easement,  
Doc. #1313067

**PATRICK G. BLEES**  
architecture planning interior design  
PATRICK G. BLEES, ARCHITECT  
219 N. 2ND ST., SUITE 301  
MINNEAPOLIS, MN 55401  
PHONE: (612) 338-6677  
FAX: (612) 338-2995  
E-MAIL: Info@cmarch.com  
CONTACT: JEREMY NELSON

**CONSULTANTS:**  
ERICKSON ELLISON & ASSOCIATES, INC.  
2635 UNIVERSITY AVENUE, STE 200  
ST. PAUL, MN 55114-1231  
PHONE: (651) 632-2300  
FAX: (651) 632-2387  
ADVANCED STRUCTURAL TECHNOLOGIES, INC.  
2628 E. 82ND STREET, STE 235  
BLOOMINGTON, MN 55425  
PHONE: (952) 854-9302  
FAX: (952) 854-8690  
CALKINS ENGINEERING, LLC.  
5010 VOGES ROAD  
MADISON, WI 53718  
PHONE: (608) 638-0444  
FAX: (608) 638-0445  
BLAIR LANDSCAPING  
3030 GATEWAY PLACE  
MADISON, WI 53704  
PHONE: (608) 255-1920

- NOTES:**
1. Dates of field work: October 23-25, 2007.
  2. Elevations shown are based upon the City of Madison NAVD88 datum.
  3. Utilities are shown based upon substantial visible above ground structures, or as marked by Digger's Hotline One-Call ticket number 20074301583.
  4. This site is currently undergoing construction and numerous vehicles & building materials on pallets were present during the time the survey was performed. Additional utilities/structures may be present.
  5. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
  6. No boundary survey work was performed as a part of preparing this map.
  7. The building rooftop elevation is 897' and is based upon Direct Reflex measurements using Trimble S6 robotic total station.
  8. The food court entry elevation is 874.30'.
  9. The Barnes & Noble entry elevation is 874.25'.
  10. MGE obtains a blanket easement, recorded as document #1281841, on the mall property which allows the installation and relocation of gas and electric lines "as is" or may be required from time to time by the Grantor and other occupants of the premises.

**UTILITY NOTE**

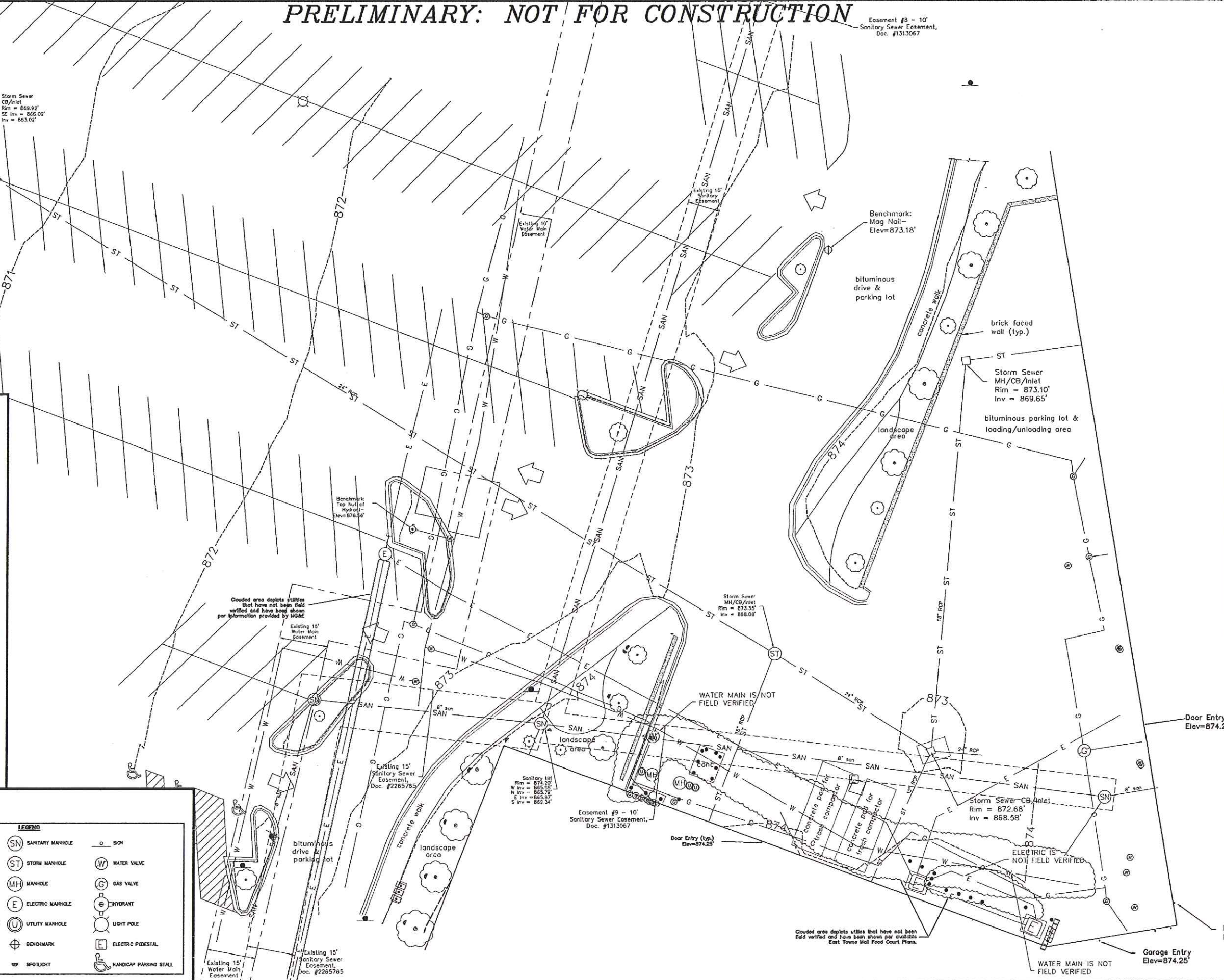
THE LOCATION OF UTILITIES AS SHOWN HEREON ARE BASED ON MAPS PROVIDED BY THE CITY OF MADISON, SUBSTANTIAL ABOVE GROUND STRUCTURES, OR MARKINGS BY DIGGER'S HOTLINE PER ONE-CALL TICKET NUMBER 20074301583. ADDITIONAL STRUCTURES/UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO LOCATE BURIED UTILITIES/STRUCTURES. CALKINS ENGINEERING, LLC, IS NOT LIABLE OR RESPONSIBLE FOR ERRORS OR OMISSIONS IN THEIR MARKINGS. BEFORE EXCAVATIONS ARE BEGUN, WISCONSIN STATUTE 182.0175(1974) REQUIRES DIGGER'S HOTLINE BE NOTIFIED WITH THREE DAYS PRIOR NOTICE.



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggerHotline.com

SCALE: 1" = 30' (11x17)

LEGEND			
- G -	BURIED GAS LINE	(SN) SANITARY MANHOLE	
- W -	WATER MAIN	(ST) STORM MANHOLE	
- SAN -	SANITARY SEWER	(MH) MANHOLE	
- ST -	STORM SEWER	(E) ELECTRIC MANHOLE	
- E -	BURIED ELECTRIC LINE	(U) UTILITY MANHOLE	
●	BOLLARD	⊕	BENCHMARK
■	MAILBOX	⊙	SPOTLIGHT
○	SON	⊕	WATER VALVE
⊕	GAS VALVE	⊕	HYDRANT
⊕	LIGHT POLE	⊕	ELECTRIC PEDESTAL
⊕	HANDICAP PARKING STALL		



**SEAL:**

PATRICK G. BLEES, ARCHITECT

12-18-07

DATE ISSUED: A-8014

REG. NO.

CBL PROPERTIES  
EAST TOWNE MALL  
89 EAST TOWNE MALL  
MADISON, WI 53704

**SHEET TITLE:**  
EXISTING SITE PLAN

**REVISIONS:**

NO.	DATE	BY:
1	2-20-08	JUD

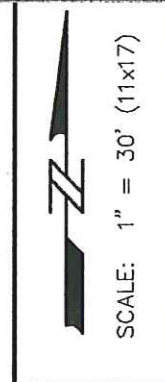
PROJECT NO: CMA01  
DRAWN BY: JUD

C300

SHEET 1 OF 3

COPYRIGHT PATRICK G. BLEES, AIA 2007

PRELIMINARY: NOT FOR CONSTRUCTION



**PATRICK G. BLEES**  
 architecture planning interior design  
 PATRICK G. BLEES, ARCHITECT  
 219 N. 2ND ST., SUITE 301  
 MINNEAPOLIS, MN 55401  
 PHONE: (612) 338-8877  
 FAX: (612) 338-2895  
 E-MAIL: info@cmrch.com  
 CONTACT: JEREMY NELSON

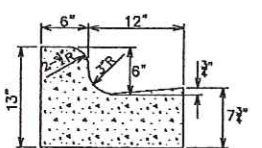
CONSULTANTS:  
 ERICKSON ELLISON & ASSOCIATES, INC.  
 2635 UNIVERSITY AVENUE, STE 200  
 ST. PAUL, MN 55114-1231  
 PHONE: (651) 632-2300  
 FAX: (651) 632-2397  
 ADVANCED STRUCTURAL TECHNOLOGIES, INC.  
 2626 E. 82ND STREET, STE 235  
 BLOOMINGTON, MN 55425  
 PHONE: (952) 854-9302  
 FAX: (952) 854-8690  
 CALKINS ENGINEERING, LLC.  
 5010 VOICES ROAD  
 MADISON, WI 53718  
 PHONE: (608) 838-0444  
 FAX: (608) 838-0445  
 BLAIR LANDSCAPING  
 3030 GATEWAY PLACE  
 MADISON, WI 53704  
 PHONE: (608) 255-1920

SEAL:  
  
 PATRICK G. BLEES, ARCHITECT  
 12-18-07  
 DATE ISSUED  
 A-9014  
 REG. NO.  
 CBL PROPERTIES  
 EAST TOWNE MALL  
 89 EAST TOWNE MALL  
 MADISON, WI 53704

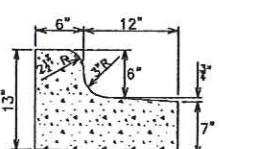
SHEET TITLE:  
 GRADING PLAN  
  
 REVISIONS:  
 NO. DATE BY:  
 1 2-20-08 JUD  
  
 PROJECT NO: CJA01  
 DRAWN BY: JUD

C300  
 SHEET 2 OF 3  
 COPYRIGHT PATRICK G. BLEES, AIA 2007

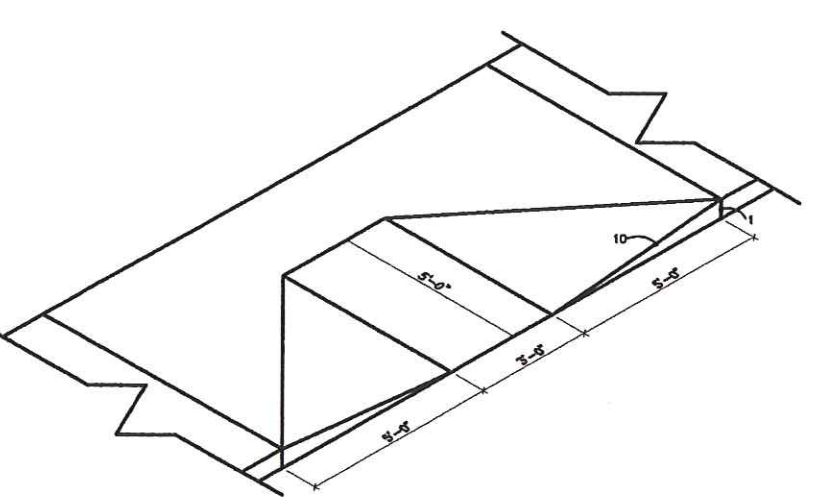
CURB AND GUTTER



ACCEPTING CONCRETE CURB & GUTTER



REJECTING CONCRETE CURB & GUTTER



2A CURB RAMP ISOMETRIC  
 A001 SCALE 1/8" = 1'-0"

GENERAL CURB AND GUTTER NOTES:

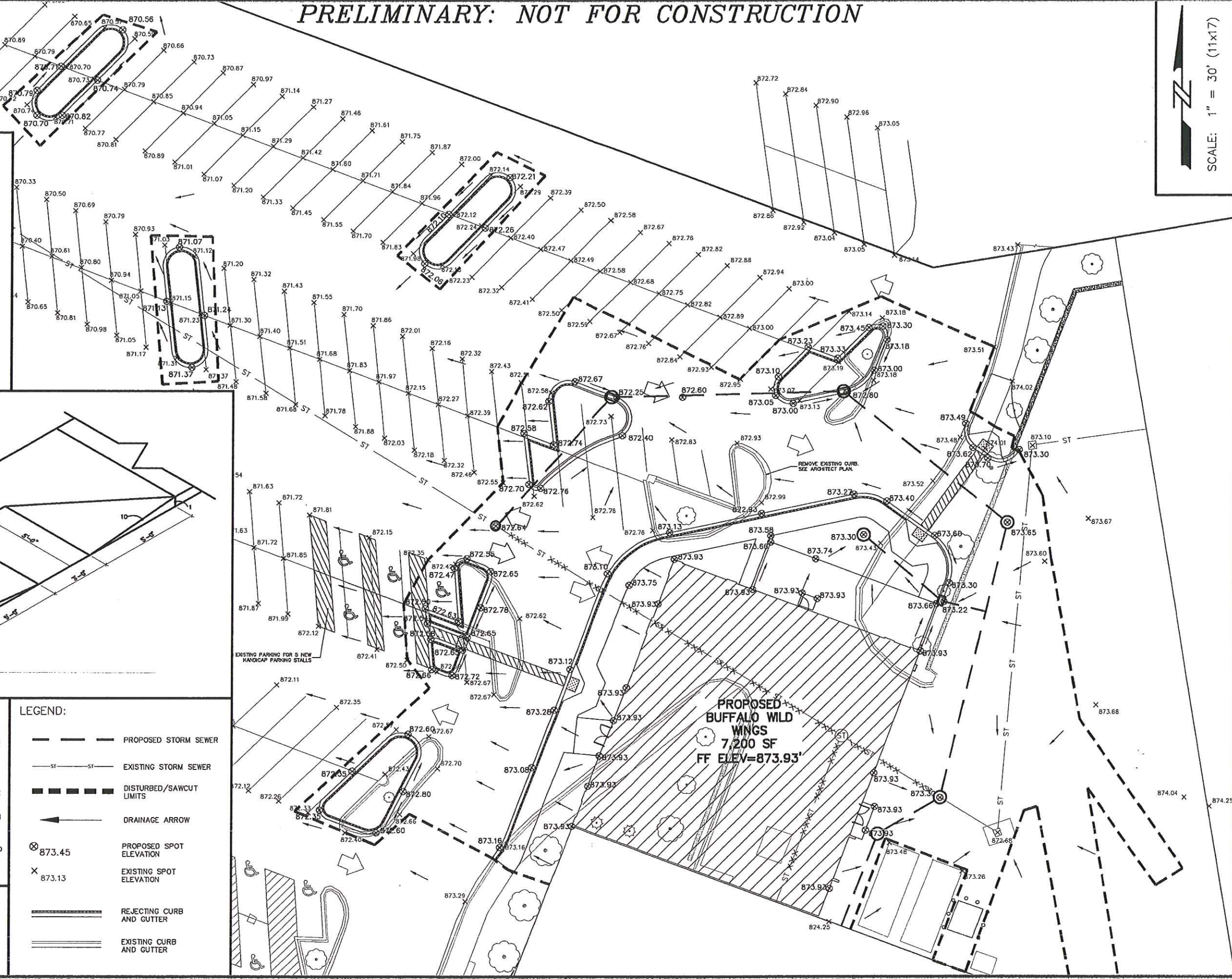
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.  
 EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.  
 IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

GENERAL NOTES:

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE CITY.  
 CONTRACTOR SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION.

LEGEND:

- PROPOSED STORM SEWER
- ST---ST EXISTING STORM SEWER
- DISTURBED/SAWCUT LIMITS
- ← DRAINAGE ARROW
- ⊗ 873.45 PROPOSED SPOT ELEVATION
- × 873.13 EXISTING SPOT ELEVATION
- ==== REJECTING CURB AND GUTTER
- ==== EXISTING CURB AND GUTTER



# PRELIMINARY: NOT FOR CONSTRUCTION

## STORM SEWER STRUCTURE SCHEDULE:

STRUCTURE NUMBER	TYPE	GRATE AND LID TYPES	TOP OF CASTING	INVERT	DEPTH
ST-1	4' CB	R-1550-A	872.64	867.25	5.39'
ST-2	4' CB W/INLET	R-3067	872.69	867.47	5.22'
ST-3	4' CB W/INLET	R-3067	873.24	867.75	5.49'
ST-4	4' CB	R-1550-A	873.63	868.02	5.61'
ST-5	TEE	-	-	868.14	-
ST-6	H-INLET	R-3067	873.66	869.67	3.99'
ST-7	4' CB W/INLET	R-2540	873.30	870.25	3.05'
ST-8	4' CB W/INLET	R-2540	873.30	868.40	4.90'
ST-9	4' CB	R-1550-A	873.74	868.70	5.04'
ST-10	BUILDING CONNECTION	-	-	869.00	-

## STORM SEWER PIPE SCHEDULE:

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	PIPE SIZE
P-1	ST-2	ST-1	52'	867.47	867.25	0.43	27"
P-2	ST-3	ST-2	69'	867.75	867.47	0.40	27"
P-3	ST-4	ST-3	62'	868.02	867.75	0.43	27"
P-4	ST-5	ST-4	27'	868.14	868.02	0.44	27"
P-5	ST-6	ST-5	14'	869.67	869.39	2.00	12"
P-6	ST-7	ST-6	29'	870.25	869.67	2.00	12"
P-7	ST-8	ST-5	59'	868.40	868.14	0.44	27"
P-8	ST-9	ST-8	19'	868.70	868.51	1.00	15"
P-9	ST-10	ST-9	30'	869.00	868.70	1.00	15"

## LEGEND:

- PROPOSED BURIED GAS
- PROPOSED BURIED ELECTRIC
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- EXISTING UTILITIES
- EXISTING UTILITIES TO BE ABANDONED
- EXISTING UTILITIES NOT FIELD VERIFIED AND ARE DRAWN IN PER EAST TOWNE MALL FOOD COURT PLANS
- REJECTING CURB AND GUTTER
- EXISTING CURB AND GUTTER

## GENERAL NOTES:

CONTRACTOR SHALL PERFORM AN UNDERGROUND UTILITY LOCATE (ULO) TO FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS AND ELEVATIONS WITH PLUMBER PRIOR TO PERFORMING ANY WORK.

INLET SEDIMENTATION FILTERS SHALL BE INSTALLED AT ALL INLET LOCATIONS, AND ADJACENT DOWNSTREAM INLETS.

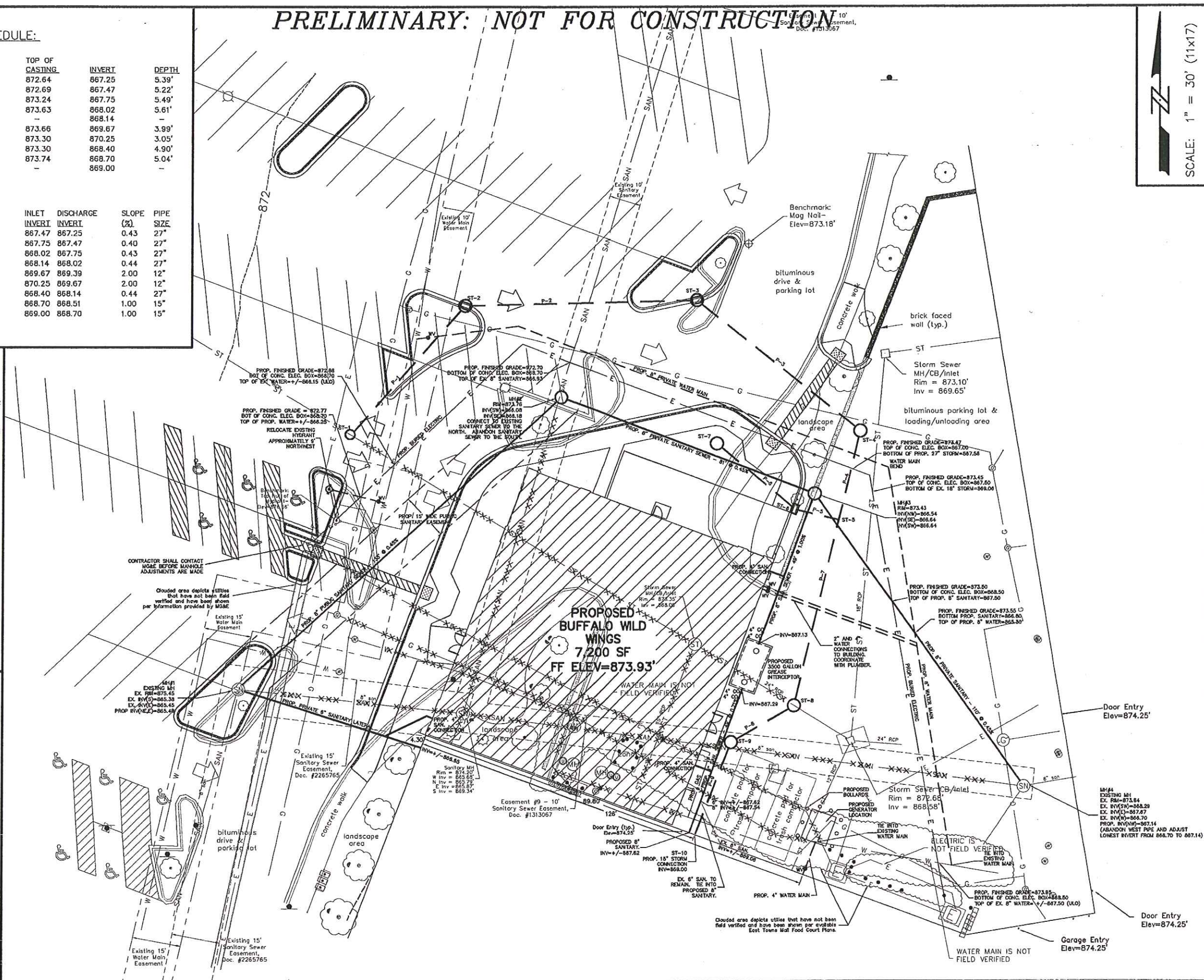
CONTRACTOR SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PRIVATE STORM SEWER SHALL BE REINFORCED CONCRETE PIPE.

PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151-CLASS 52).

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).



SCALE: 1" = 30' (11x17)

**PATRICK G. BLEES**  
 architecture planning interior design  
 PATRICK G. BLEES, ARCHITECT  
 219 N. 2ND ST., SUITE 301  
 MINNEAPOLIS, MN 55401  
 PHONE: (612) 338-6677  
 FAX: (612) 338-2955  
 E-MAIL: Info@cmarch.com  
 CONTACT: JEREMY NELSON

CONSULTANTS:  
 ERICKSON ELLISON & ASSOCIATES, INC.  
 2635 UNIVERSITY AVENUE, STE 200  
 ST. PAUL, MN 55114-1231  
 PHONE: (651) 632-2300  
 FAX: (651) 632-2397  
 ADVANCED STRUCTURAL TECHNOLOGIES, INC.  
 2828 E. 82ND STREET, STE 235  
 BLOOMINGTON, MN 55425  
 PHONE: (952) 854-9302  
 FAX: (952) 854-9890  
 CALKINS ENGINEERING, LLC.  
 5010 VOICES ROAD  
 MADISON, WI 53718  
 PHONE: (608) 838-0444  
 FAX: (608) 838-0445  
 BLAIR LANDSCAPING  
 3030 GATEWAY PLACE  
 MADISON, WI 53704  
 PHONE: (608) 255-1920

PATRICK G. BLEES, ARCHITECT  
 12-19-07  
 DATE ISSUED  
 A-8014  
 REG. NO.  
 CBL PROPERTIES  
 EAST TOWNE MALL  
 89 EAST TOWNE MALL  
 MADISON, WI 53704

SHEET TITLE:  
 UTILITY PLAN

REVISIONS:

NO.	DATE:	BY:
1	2-20-08	JUD

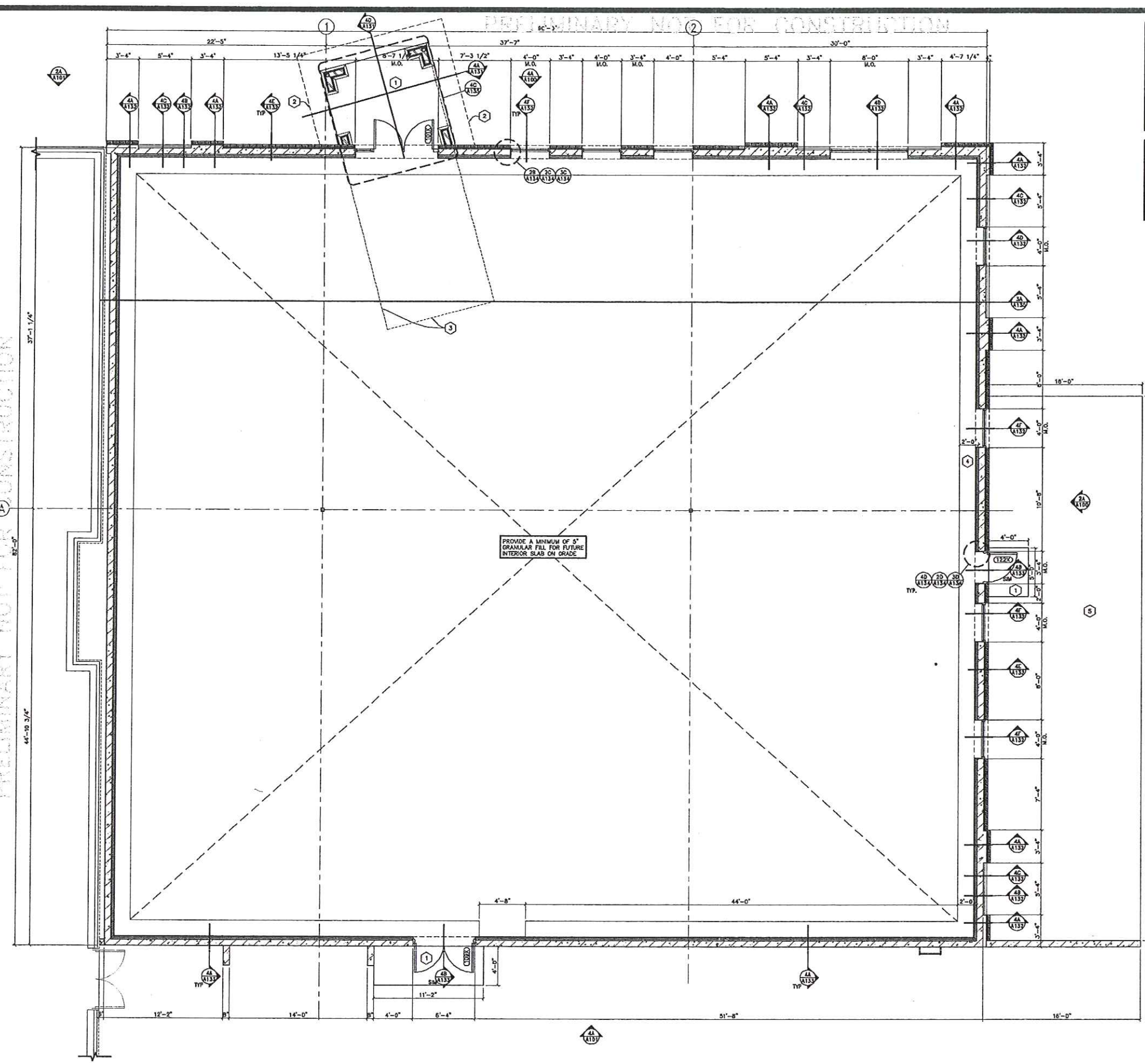
PROJECT NO: 03A01  
 DRAWN BY: JUD

0300  
 SHEET 3 OF 3



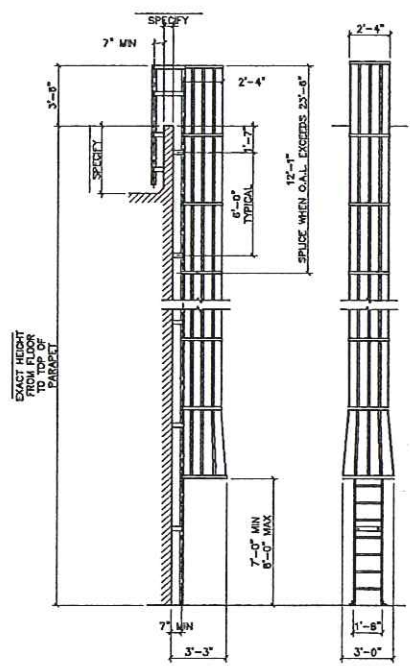
S:\WORK\PROJECTS\PROJECTS\07192.001 (East Town Mall - CBL Prop) Madison, WI Drawings\Work in Progress\07192.001 A120Shell.dwg  
 12/19/07 10:41:54 AM  
 2/20/2008 10:41:54 AM

PRELIMINARY NOT FOR CONSTRUCTION

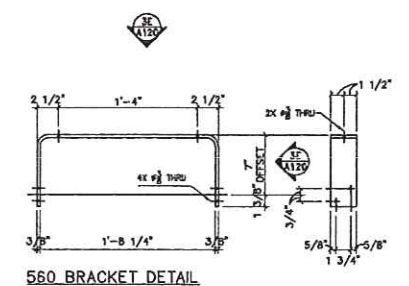


- GENERAL NOTES**
- FIELD VERIFY BASE BUILDING DIMENSIONS AND DOOR LOCATIONS. REPORT DISCREPANCIES TO ARCHITECT PRIOR TO BEGINNING OF INTERIOR CONSTRUCTION.
  - EXTERIOR BUILDING DIMENSIONS ARE TO FACE OF BRICK OR MASONRY OPENING.
  - CARRY BUILDING SHELL EXPANSION JOINTS THROUGH INTERIOR FINISH MATERIALS.
  - HEIGHT OF WALLS ARE MEASURED FROM FLOOR SLAB.
  - HOLD METAL STUDS (FOR FULL HEIGHT WALLS) 1/2" SHORT OF EXISTING ROOF DECK TO ALLOW FOR DEFLECTION. PROVIDE CROSS BRACING FOR STABILITY. DO NOT ATTACH METAL STUDS TO TOP PLATE METAL TRACK.
  - FIRE TREAT STRUCTURAL WOOD MEMBERS PER AMPA STANDARDS.

- KEY NOTES**
- CONCRETE STOOP, SEE STRUCTURAL DRAWINGS
  - LINE OF CANOPY ABOVE
  - DASHED LINE INDICATES OUTLINE OF BOX WEDGE OPEN TO STRUCTURE ABOVE
  - 2'-0" STRIP OF CONCRETE S.O.G. AROUND EXTERIOR WALLS AS SHOWN
  - CONCRETE PATIO, SEE STRUCTURAL



**3E ROOF LADDER ELEVATION**  
SCALE: 1/4"=1'-0"



**560 BRACKET DETAIL**  
MATERIAL: F83 X 3/8 6061-T6 ALUM

**PATRICK G. BLEES**  
architect • planning • interior design  
PATRICK G. BLEES, ARCHITECT  
219 N. 2ND ST., SUITE 301  
MINNEAPOLIS, MN 55401  
PHONE: (612) 338-6677  
FAX: (612) 338-2995  
E-MAIL: info@pblees.com  
CONTACT: JEREMY NELSON

**CONSULTANTS:**  
ERICKSON ELLISON & ASSOCIATES, INC.  
2635 UNIVERSITY AVENUE, STE 200  
ST. PAUL, MN 55114-1231  
PHONE: (651) 832-2300  
FAX: (651) 832-2397  
ADVANCED STRUCTURAL TECHNOLOGIES, INC.  
2626 E. 82ND STREET, STE 235  
BLOOMINGTON, MN 55425  
PHONE: (652) 854-9302  
FAX: (952) 854-9890  
CALKINS ENGINEERING, LLC.  
5010 VDGE ROAD  
MADISON, WI 53718  
PHONE: (608) 838-0444  
FAX: (608) 838-0445  
BLAIR LANDSCAPING  
3030 GALTERWAY PLACE  
MADISON, WI 53704  
PHONE: (608) 255-1920

**SEAL:**  
  
PATRICK G. BLEES, ARCHITECT  
12-19-07  
DATE ISSUED  
REC. NO. A-9014

CBL PROPERTIES  
EAST TOWNE MALL  
89 EAST TOWNE MALL  
MADISON, WI 53704

**SHELL BUILDING**  
SHEET TITLE:  
SHELL CONSTRUCTION  
PLAN

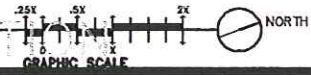
**REVISIONS:**

NO.	DATE:	BY:

PROJECT NO: 07192.001  
DRAWN BY: DRM/PAV

**A120**  
SHEET 11 OF NO.  
COPYRIGHT PATRICK G. BLEES, AIA 2007

**4A SHELL PLAN**  
SCALE: 1/4"=1'-0"



**4E ROOF LADDER PLAN**  
SCALE 1 1/2"=1'-0"

PRELIMINARY NOT FOR CONSTRUCTION