

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm horntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): Madison Yards Block 4 4716 Sheboygan Ave Madison WI, 53715

Title: Madison Yards Block 4 Hotel

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 14, 2024

New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name David Emerich

Street address 4601 Frey Street, Suite 400

Telephone 608-833-4100

Company Madison Yards Lodging Associates, LLC

City/State/Zip Madison, WI 53705

Email emerich@raymondtteam.com

Project contact person Ethan Skeels, AIA

Company Kahler Slater

Street address 790 N. Water St, Suite 1700

City/State/Zip Milwaukee, WI 53202

Telephone 414-290-3778

Email eskeels@kahlerslater.com

Property owner (if not applicant) Madison Yards Block 6, LLC

Street address 241 N. Broadway, Suite 400

City/State/Zip Milwaukee, WI 53202

Telephone 414-453-0110

Email mtheder@summitsmith.com

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCappllications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on Various dates April-July 2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant David Emerich

Relationship to property Under Contract

Authorizing signature of property owner DAVID EMERICH

Date 7-15-24

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per 533.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per 533.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per 531.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per 531.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per 531.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

MADISON YARDS BLOCK 6, LLC

July 9, 2024

City of Madison Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Madison Yards at Hill Farms, Block 4 PD-SIP Submittal Approval

Dear City of Madison Planning Division:

This letter provides approval (on behalf of Madison Yards Block 6, LLC) for Madison Yards Lodging Associates, LLC c/o Raymond Management Company, Inc. to submit applications to the City of Madison for zoning changes and otherwise for the Madison Yards at Hill Farms, Block 4 PD-SIP project. The project site is located at 4716 Sheboygan Avenue, Lot 4, Madison Yards at Hill Farms. Previous applications for this project were submitted by HKS Holdings, LLC (and/or MKE Acquisitions, LLC). Madison Yards Lodging Associates, LLC will act as developer of the parcel moving forward.

Please feel free to contact either of the individuals signing this letter below with any questions.

Sincerely,



Mark Theder
Authorized Representative

Madison Yards Block 6, LLC
c/o Summit Smith Development
731 N. Jackson St, Suite 505
Milwaukee, WI 53202
Office: 414.453.0110
Cell: 414.379.0761
E-Mail: mtheder@summitsmith.com
Website: www.summitsmith.com



Joe Klein, Manager
MKE Acquisitions, LLC
172 N. Broadway
Second Floor
Milwaukee, WI 53202
kleinjos@gmail.com

31305485.2

Lisa Steinhauer

From: Lisa Steinhauer
Sent: Thursday, July 11, 2024 11:25 AM
To: district11@cityofmadison.com
Cc: Dave Emerich
Subject: Madison Yards Hotel
Attachments: 24-0710_MY BLK 4 - Update.pdf

Hi Alder Tishler,

Thank you for your time on the phone this morning. As mentioned, we hope to receive final SIP approval for our hotel development from the UDC at the upcoming August 14, 2024 meeting. Attached are the DRAFT plans for review at the meeting. We are still making a few tweaks prior to submittal, including showing an electric charging stall in the employee parking lot, as discussed.

This hotel includes 145 keys within 5 stories. The design is similar to previous versions you've seen but is revised to address prior UDC comments.

I look forward to meeting with you on Monday 7/15 at 2:30pm. If you enter the SpringHill Suites parking structure using the eastern entrance (at the bottom of Frey St hill), there are parking spaces available at the entrance to the hotel lobby. I will meet you in the lobby along with my colleague, Dave Emerich, for a tour.

Thank you,

Lisa Steinhauer
Real Estate Coordinator
Raymond Management Company | 4601 Frey St. Suite 400 Madison, WI 53705
Direct: (608) 692-8353



<https://www.raymondteam.com>

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Kahler Slater

Milwaukee
Madison
Richmond
Chicago
Singapore

July 15, 2024

790 N Water Street, Suite 1700
Milwaukee, WI 53202
P 414.272.2000

City of Madison
Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Letter of Intent - Madison Yards at Hill Farms, Block 4 PD-SIP Land Use – UDC Final

This letter, together with plans, application and supplemental materials, constitutes our Land Use Application for Major Amendment to an Approved Planned Development – Specific Implementation Plan (PD-SIP) for the proposed Madison Yards at Hill Farms, Block 4 project.

Project Location:

The project site is located at 4716 Sheboygan Ave., Lot 4 Madison Yards at Hill Farms. The site is 1.08 acres.

Legal Description:

Lot 4, Madison Yards at Hill Farms, recorded in Volume 61-018B of Plats on page 99, as Document No. 5524360, located in the Northeast Quarter of the Northwest Quarter of Section 20, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more particularly described as follows:

Beginning at the Southeast Corner of Lot 4, aforesaid; thence South 82 degrees 57 minutes 14 seconds West along the South line of Lot 4, aforesaid, a distance of 211.50 feet; thence North 84 degrees 03 minutes 12 seconds West along the South line of Lot 4, aforesaid, 30.71 feet to the West line of Lot 4, aforesaid; thence North 03 degrees 25 minutes 28 seconds West along said line, 196.36 feet to the North line of Lot 4, aforesaid; thence North 86 degrees 34 minutes 32 seconds East along said line, 241.38 feet to the East line of Lot 4, aforesaid; thence South 03 degrees 25 minutes 28 seconds East along said line, 188.00 feet to the Point of Beginning.

Said lot contains 47,117 square feet or 1.082 acres.

Project Team:

Owner/Developer: Madison Yards Lodging Associates, LLC.

Master Planner/Civil Engineer/Landscape Architect: JSD Professional Services, Inc.

Architect: Kahler Slater, Inc.

Project Description

The project is a portion of the larger multi-block development known as Madison Yards at Hill Farms. Block 4 is situated along the north side Sheboygan Ave. west of Segoe Rd. In Madison, WI. The project consists of a 145 guestroom Hotel and associate guest amenities.

The hotel building of +/- 102,250 GSF The building occupies the northeast portion of the block with its primary entrance on Hill Farms Pl. A second public entry is located to the south on Sheboygan Ave. the majority of parking is provided on the adjacent Block 1 in the parking structure to the east and is accessed by an internal access drive from Segoe or Gardener. Employee parking is located on a surface parking lot located on the southwest portion of the block and is screened from the right of way. The loading and refuse areas are located to the south and west of the building access from the internal access drive. The primary façade materials for the Hotel are comprised of painted aluminum framed glazing systems with insulated glass, masonry, profiled painted single skin metal panels and painted fiber cement panels.

Existing Land Use

Former Wisconsin DOT Office Building Parking - Vacant

Zoning Request

The Madison Yards Planned Development General Development Plan (GDP) was approved and recorded in April 2019. The development team is seeking approval of the Madison Yards at Hill Farms Block 4 Specific Implementation Plan (SIP)

Zoning/ Project Data:

Block 4 is part of the Planned Development District – General Development Plan, Madison Yards at Hill Farms Redevelopment, 4802 Sheboygan Ave.

Block 4	Allowable/ required	Proposed
Site Area	1.08 Ac	1.08 Ac
Min/Max Bldg Area	30,000/160,000 GSF	102,250
Office	Max 0 GSF	0 GSF
Retail	Max 15,000 GSF	0 GSF
Hotel	225 Rooms	145 Rooms
Building Stories (min/max)	2 / 8 Stories	5 Stories
Building Height (min/max)	20 / 95 ft	64 ft
Setbacks		
Sheboygan	Min 8' Max 30'	Min 9'6" Max 18'6"
Gardener	Min 5' Max 15'	Min 5'4" Max 12'0"
Hill Farms Place	Min 5' Max 15'	Min 5'4" Max 8'0"
Iron Street	Max 15'	1'4" – 9'6"

Parking for hotel spaces is a minimum of .75 space per unit and a maximum of 1.5 spaces per unit. Additional parking above the maximum may be shared with another use.

The proposed Block 4 development will be provided with a minimum of 96 stalls in the parking structure located on the adjacent block 1 parking structure through a shared parking agreement. 12 surface stalls will be provided for employee parking only.

Loading and trash areas will be provided central to the block screened from Sheboygan Ave and accessed from the Iron Street. A single 10x50' loading bay will be provided.

Streets, Easements, Utilities and Fire Access.

Streets within the Madison Yards development are privately held and maintained. Utility easements are in place for existing utility lines and future easements will be finalized and recorded once final plans are approved. Public access easements are in place as required in the final GDP approval.

Fire access for the site was discussed with Bill Sullivan of the Madison Fire Department, including fire lanes, aerial apparatus lanes, and street tree spacing. The approved GDP included a fire access plan for the project.

TOD Overlay.

The building is designed with a dual entry configuration with public entries on both Sheboygan Avenue and Hill Farms Place. These entries are connected continuously with guest amenity and lobby space including the guest courtyard amenity. The building façade and courtyard accent screen wall along Sheboygan Ave are located completely within the TOD required 20' maximum setback and comprise 50% of the Sheboygan street frontage compared to the TOD minimum of 30%. Surface parking is located to

the side of the Sheboygan façade activated by the public entry and screened with a significant landscape buffer.

Urban District Design Standards.

The majority of parking serving the hotel is located in the adjacent Block 1 parking structure within the Madison Yards development. This parking is supplemented by a small employee only surface lot located along Iron Street to the west. The surface lot is setback 14'-18' feet from the property line and located behind significant landscape screening used to create an attractive corner and pedestrian experience.

A primary building entry is located prominently along Sheboygan Ave with another located along Hill Farms Place. The Sheboygan Ave Entry features a canopy, wood toned accent material and glazing clearly identifying it as a public entry to the Hotel.

The building massing creates significant setback depth and modulation between materials through the strategic planning of the differing guestroom types within the body of the building. Special attention is paid to the corners of the building to create a strong street presence and layering of materials as the building turns the corners. Material changes also are set off by varying parapet heights further delineating the articulation visually.

The building features a 14' first floor height measured from Hill Farms Place to the finished floor of the second level. Guestrooms front Gardner feature significant vegetation between the guestroom windows and the sidewalk. The building's exterior material palette consists of brick, filled and polished burnished masonry, textured metal panel, fiber cement panel and wood toned accents. All materials are of high quality and locations are consistent with table 28E-1 of the Madison Zoning code.

Urban Design District 6 Standards.

The public Right-of-way along Sheboygan Ave will feature a public entry to the building and be landscaped appropriately for the use and layout of the site. Off street surface parking is located as far to the west of the public entry as possible and will be landscaped and screened by a mix of plant material. The building design is comprised of high-quality low maintenance materials that have been selected to complement the recently completed adjacent buildings and neighborhood character. Roof top mechanical equipment will feature integrated screening where not shielded from view by parapets. The facades of the building are broken in their height materiality and articulation. Lighting is used to highlight areas of activity at the public entries and guest courtyards. Adequate and appropriate lighting will be provided at the parking, loading and public circulation areas and will complement the remainder of the Madison Yards development and neighborhood. The landscape design will be designed as a comprehensive whole with the adjacent Madison Yards block 6 areas and recently completed projects. All utilities serving the building will be located below grade. Ground mounted utility equipment will be fully screened from view from all public and private streets adjacent to the Hotel parcel.

UDC Informational Comments

The project was discussed at the July 26, 2023 Urban Design Commission as an informational presentation. While the feedback was generally positive, items for further exploration and explanation were discussed. First, the number of exterior materials and their apparent lack of contrast. While the design team believes the contrast concern was a result of the digital images special care has been taken to achieve the Hotel flag brand standard exterior color palette utilizing the high quality materials required by the City of Madison urban design standards and goals of the overall Madison Yards development. Soldier courses have been added to window heads at areas of brick facade to provide more texture and detail while maintaining the simplicity of the massing. The physical samples will also better demonstrate the contrast between the brick and fiber cement color. Similarly the dark burnished block is used as a durable base course material on the building and around high traffic areas of the dock and back of house but is intended to be of similar color value to the profiled metal panel to reduce the visual contrast between them so they create a single reading on the exterior as they are utilized to accent the same

massing elements of the building's composition. Following the informational presentation the design team added an accent wall at the corner of Sheboygan and Iron Streets to extend the reading of the Sheboygan façade along the street edge creating a building façade like element between the street and the surface parking area to further satisfy the TOD and UDD 6 requirements. ***This element was not well received during the following presentation and has since been removed.*** A substantial line of planting has been added to the east side of the parking area to create separation to the green space, while a seat wall was suggested the site grading created a condition not conducive to a level hardscape element. ***This landscape has been revised to accommodate snow removal with a focus on landscaping the corners of the east portion of the parking area.*** Seat wall with accent lighting were added to the north of the green and near the south entry. ***This element has since been moved to courtyard proper.*** The Landscape design takes special care to provide a variety of plant materials to create interest on all sides of the building. Lastly, the loading area has been reduced to a single bay allowing for better site circulation and screening of the back of house site areas.

UDC Initial Comments (Staff report Letter dated October 30, 2023)

The project team has addressed following comments received via Staff Report dated October 30, 2023.

3. ***The UDC finds that the VTAC units as described/designed are acceptable.***
 - The project team notes acceptance and will proceed with the VTAC ventilation as shown.
4. ***The UDC finds that the proposed surface parking lot as designed and screened is appropriate.***
 - The project team notes acceptance and will proceed with the parking and landscape screening as shown.
5. ***The screen wall shall be at lower in height and the materiality needs to be modified to be more open/permeable. The wall shall be designed with materials consistent with the building materials, including burnished block and faux wood fins. The wall location shall align with the building in plan view and datum.***
 - The project team proposes the removal of the screen wall to create the desired open permeable presence requested. Any required retainage will be thru the use of limited natural boulder outcropping style retainage.
6. ***The sun-loving, prairie style plants on the north side of the building shall be replaced with a more shade tolerant selection.***
 - The project team has updated the planting plan to address the comment.
7. ***On the west elevation, northwest corner, the sea green juniper, should be replaced with something more vertical.***
 - The project team has updated the planting plan to address the comment.
8. ***Tree plantings located at the screen wall and between the loading area and the public lawn shall be at least a 2.5-inch caliper.***
 - The project team has updated the planting plan to address the comment.
9. ***Provide details on material transitions between the metal panel and fiber cement. Consideration should be given to incorporating treatments that provide more relief between the fiber cement and metal panel, including providing a wide trim piece around the window surround to break-up the transition.***
 - The project team has designed a trim between the window opening and the fiber cement siding to provide a shadow line between the materials.
10. ***Lighting shall be revised to be consistent with MGO Section 29.36.***
 - The Site Lighting and Photometric has been revised to address the comment.

11. Revise the west elevation to corporate design details or material textures that break-up/minimize the blank expanses on the elevation.

- The project team has updated the design incorporating additional guestroom window openings to area of brick at the west elevation.

Traffic Impact Analysis

A traffic impact analysis (TIA) from Kimley Horn and a TDM Plan has been previously submitted for the Madison Yards project.

Exterior Signage

All signage depicted in this submittal is for illustrative purposes only. The project team will follow the UDC signage review process as the design develops. Signage will be allowed per Chapter 31 of the Madison General Ordinances and will be provided with each SIP.

Anticipated Schedule

Construction of Project is scheduled for a spring of 2025 construction start with completion in 2026.

Sincerely,



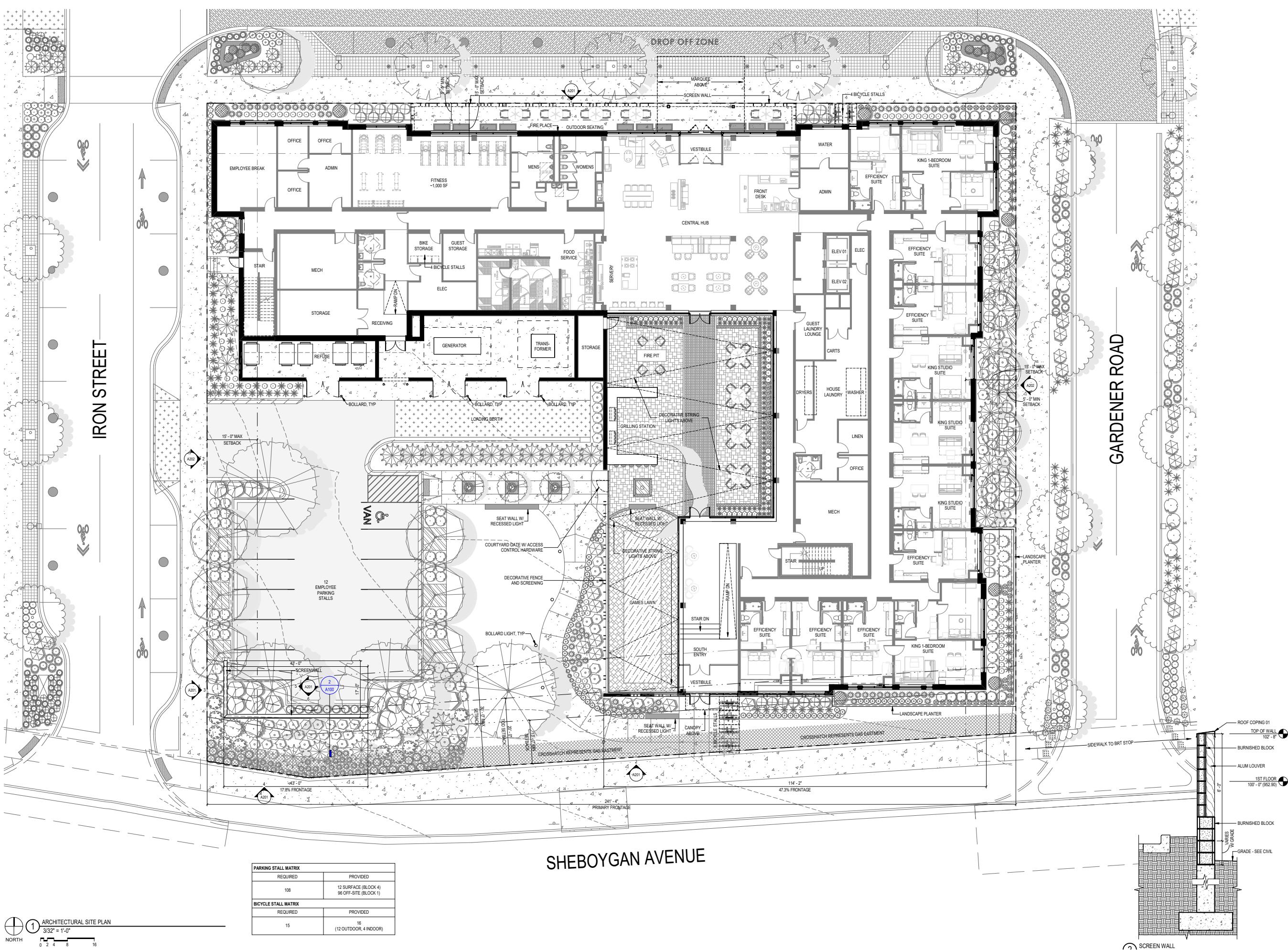
Dave Emerich
Raymond Management Company

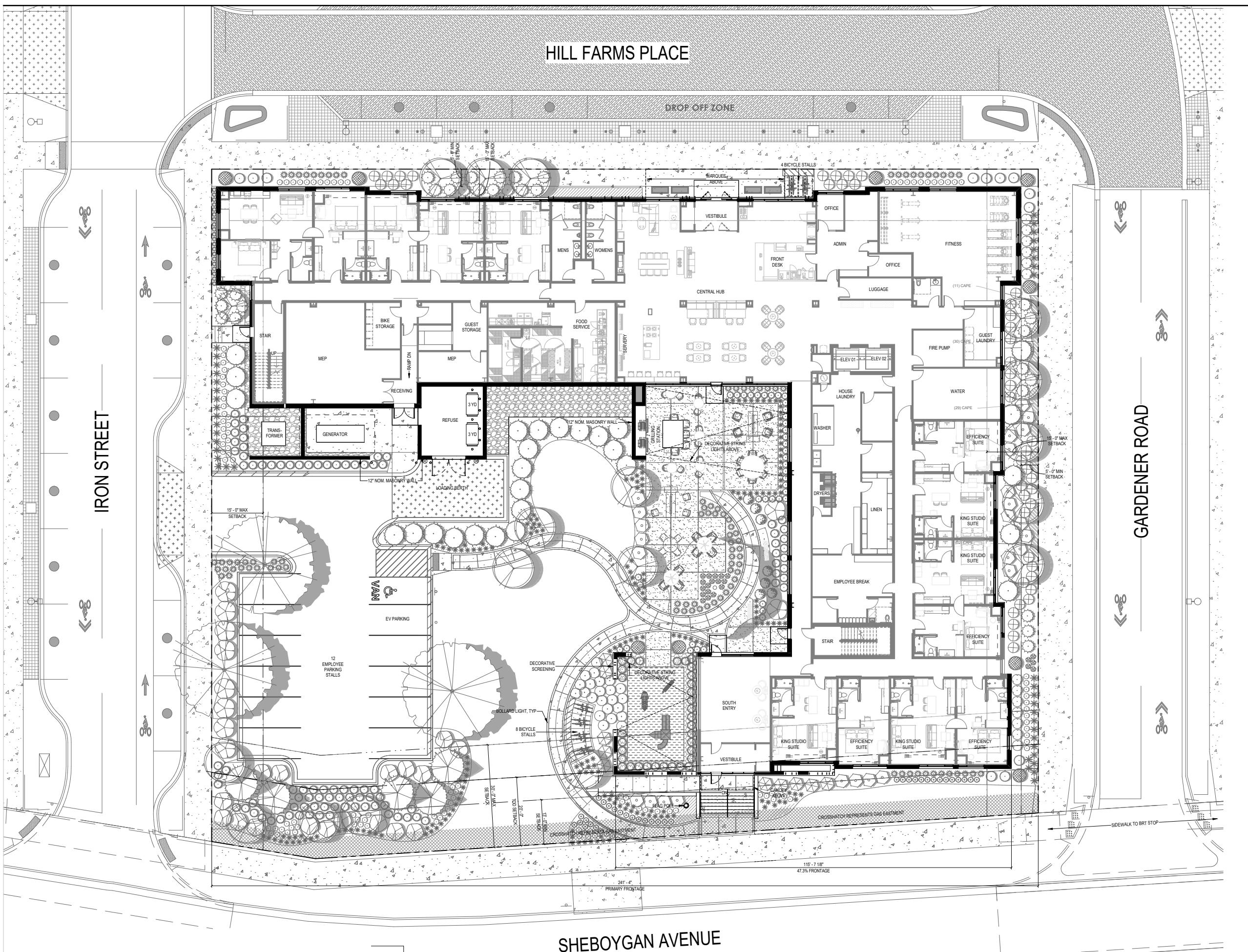
BLOCK 4 HOTEL

MADISON . WISCONSIN

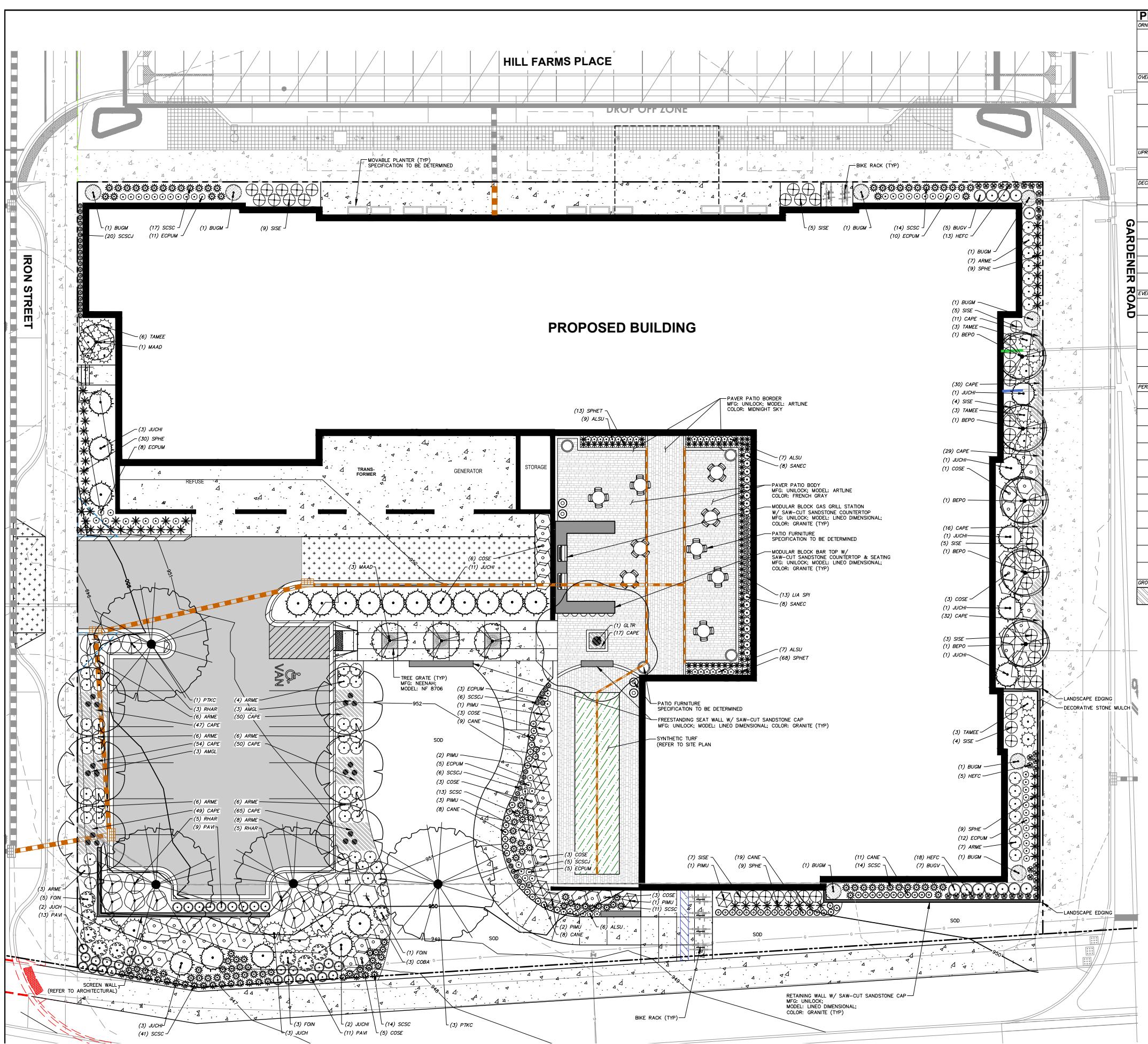
HOTEL DESIGN CONCEPT
JULY 2024

Kahler Slater



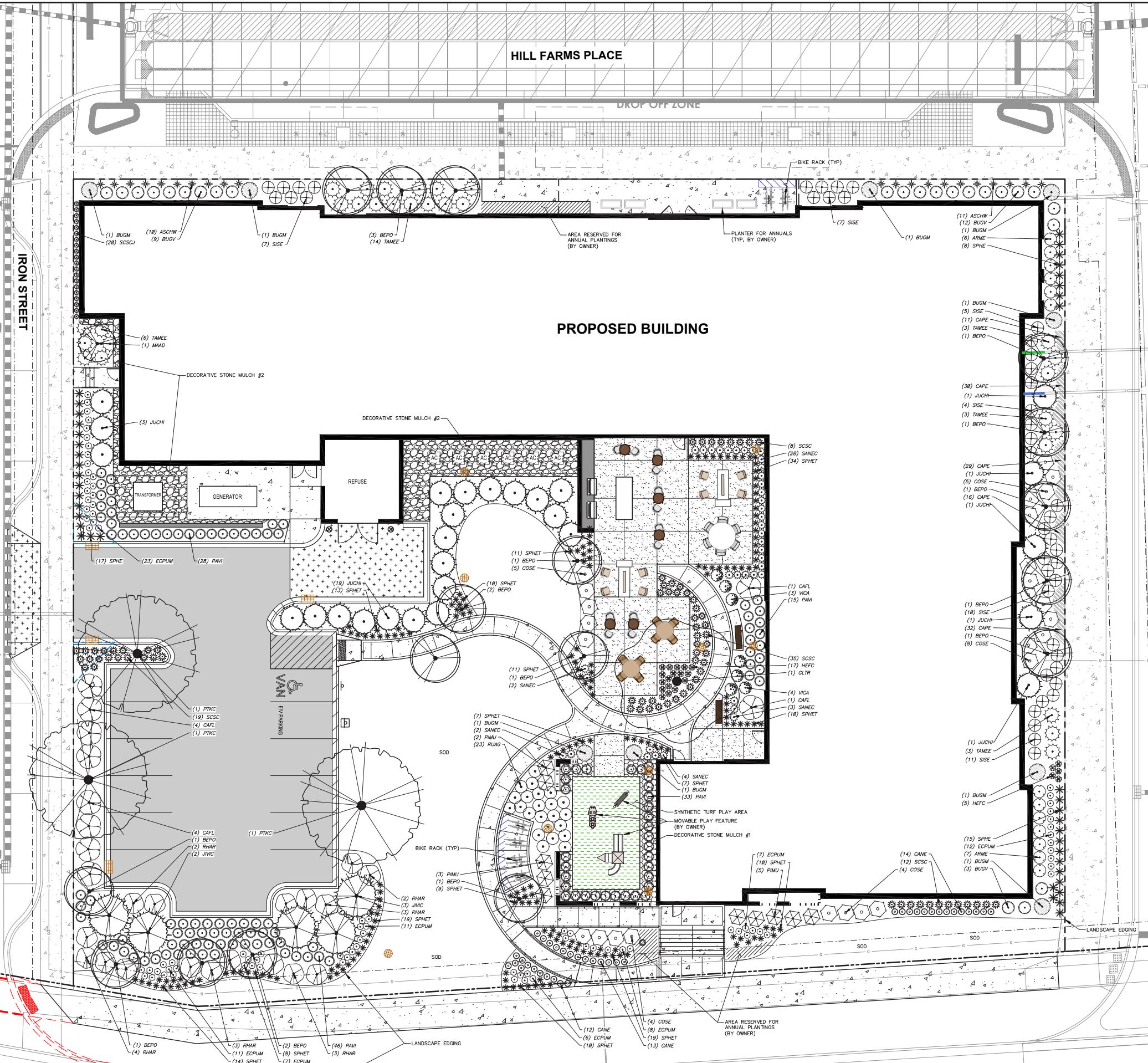


PROPOSED SITE PLAN



PROPOSED SITE PLAN

Page Sheet(s):2313000 - BLK4 - Landscape.dwg Layout:1:10 User: mattammel Plotted: Aug 07, 2024 - 4:28pm Xref's: 2313000 Madison Yards Block 4



PLANT LIST

SEE SHEET 1.2.0 FOR A COMPREHENSIVE PLANT SCHEDULE

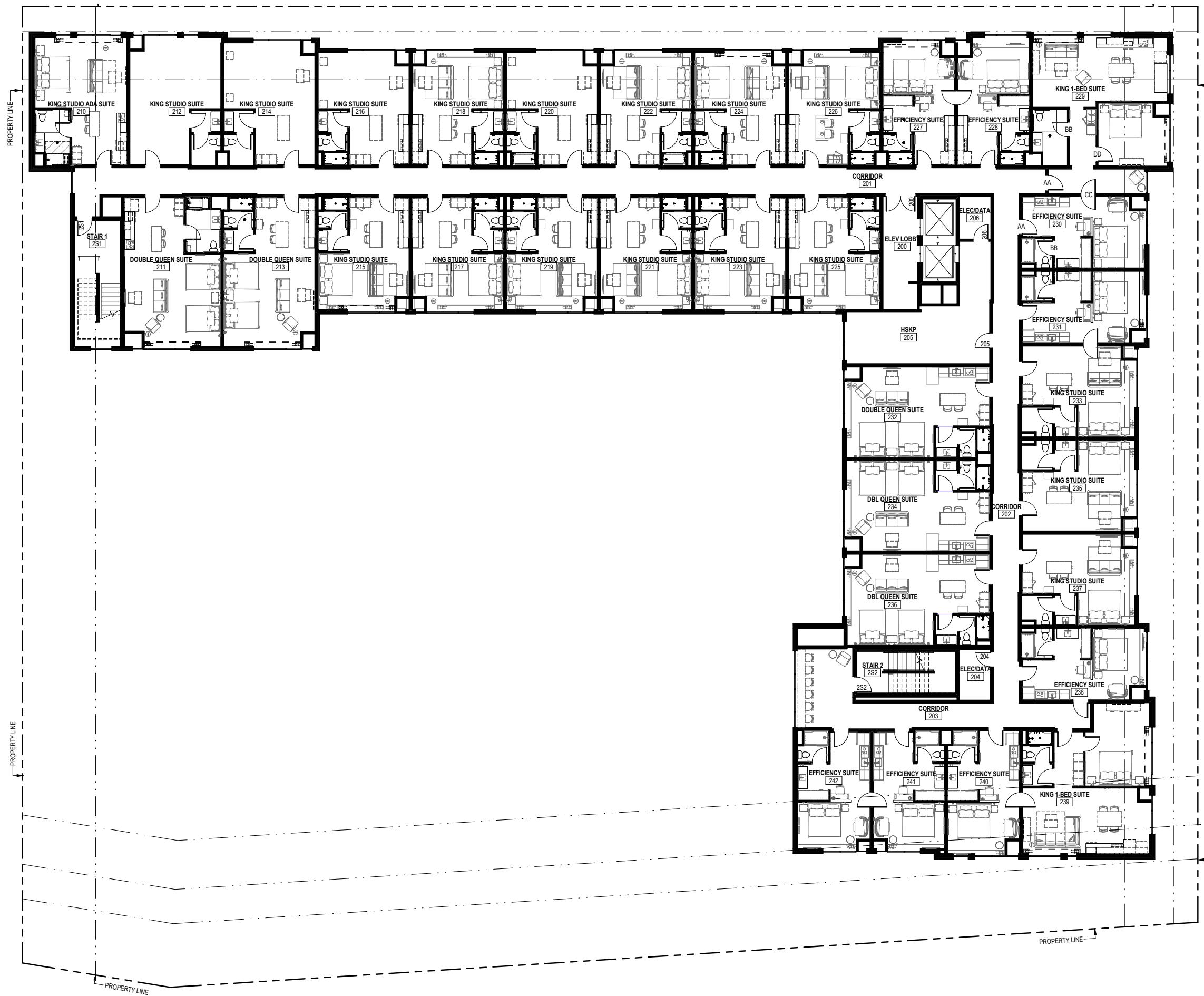
SYMBOL	CODE	BOTANICAL / COMMON NAME
ORNAMENTAL TREES		
	MAAD	<i>Malus x 'Adirondack'</i> / Adirondack Crabapple
OVERSTORY DECIDUOUS TREES		
	BEPO	<i>Betula populifolia 'Whitespire'</i> - Single / Whitespire Birch - Single
	GLTR	<i>Gleditsia triacanthos inermis 'Shademaster'</i> TM / Shademaster Locust
	PTKC	<i>Gymnocladus dioica 'JC. McDaniel'</i> TM / Prairie Titan Kentucky Coffeetree
UPRIGHT EVERGREEN SHRUB		
	JUCHI	<i>Juniperus chinensis 'Iowa'</i> / Iowa Juniper
	JIVIC	<i>Juniperus virginiana 'Concertii'</i> / Canaertii Eastern Redcedar
DECIDUOUS SHRUBS		
	ARME	<i>Aronia melanocarpa 'Morton'</i> TM / Iroquois Beauty Black Chokeberry
	CAFL	<i>Calycanthus floridus 'SMNCAF'</i> / Simply Scentsational® Sweetshrub
	COSE	<i>Cornus sericea 'Farrow'</i> / Arctic Fire® Red Twig Dogwood
	SISE	<i>Diervilla sessilifolia 'Cool Splash'</i> / Cool Splash False Honeysuckle
	RHAR	<i>Rhus aromatica 'Gro-Low'</i> / Gro-Low Fragrant Sumac *
	VICA	<i>Viburnum carlesii 'SMVCB'</i> TM / Spice Baby Koreanspice Viburnum
EVERGREEN SHRUBS		
	BUGV	<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood
	BUGM	<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood
	PIMU	<i>Pinus mugo</i> / Mugo Pine
	TAMEE	<i>Toxus x media 'Everlow'</i> / Everlow Yew
PERENNIALS & GRASSES		
	ASCHW	<i>Astilbe chinensis 'Vision in White'</i> / Vision in White Chinese Astilbe
	CANE	<i>Calamintha nepeta 'Montrose White'</i> / Montrose White Catmint
	ECPUM	<i>Echinacea purpurea 'Magnus Superior'</i> / Magnus Superior Coneflower
	HEFC	<i>Heuchera x 'Fire Chief'</i> / Fire Chief Coral Bells
	PAVI	<i>Panicum virgatum 'Shenandoah'</i> / Shenandoah Switch Grass
	RIAG	<i>Rudbeckia x 'American Gold Rush'</i> / American Gold Rush Coneflower
	SANEC	<i>Salvia nemorosa 'Cardinale'</i> / Cardinale Meadow Sage
	SCSCJ	<i>Schizachyrium scoparium 'Jazz'</i> / Jazz Little Bluestem
	SCSC	<i>Schizachyrium scoparium 'Prairie Blues'</i> / Prairie Blues Little Bluestem *
	SPHIE	<i>Sporobolus heterolepis 'Tara'</i> / Prairie Dropseed
	SPHET	<i>Sporobolus heterolepis 'Tara'</i> / Prairie Dropseed
GROUND COVERS		
	CAPE	<i>Carex pensylvanica</i> / Pennsylvania Sedge

GENERAL NOTES

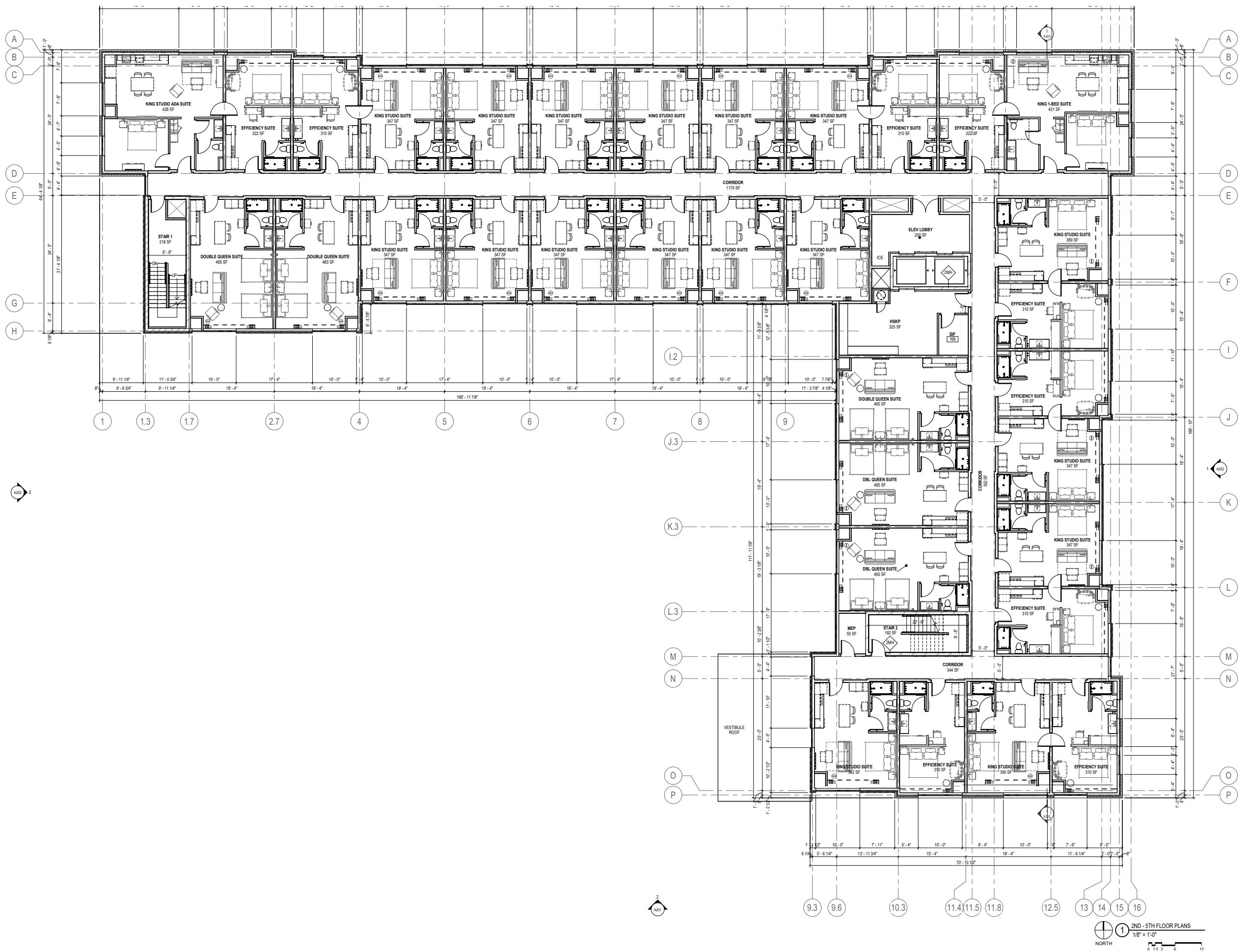
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWINGS FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATIONS INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL AQUATIC SITE IMPROVEMENTS, IRRIGATION INSTALLATION, (5% APRICULTURE), AND BURNDY GRADING ARE COMPLETE.

CONTRACTOR NOTES

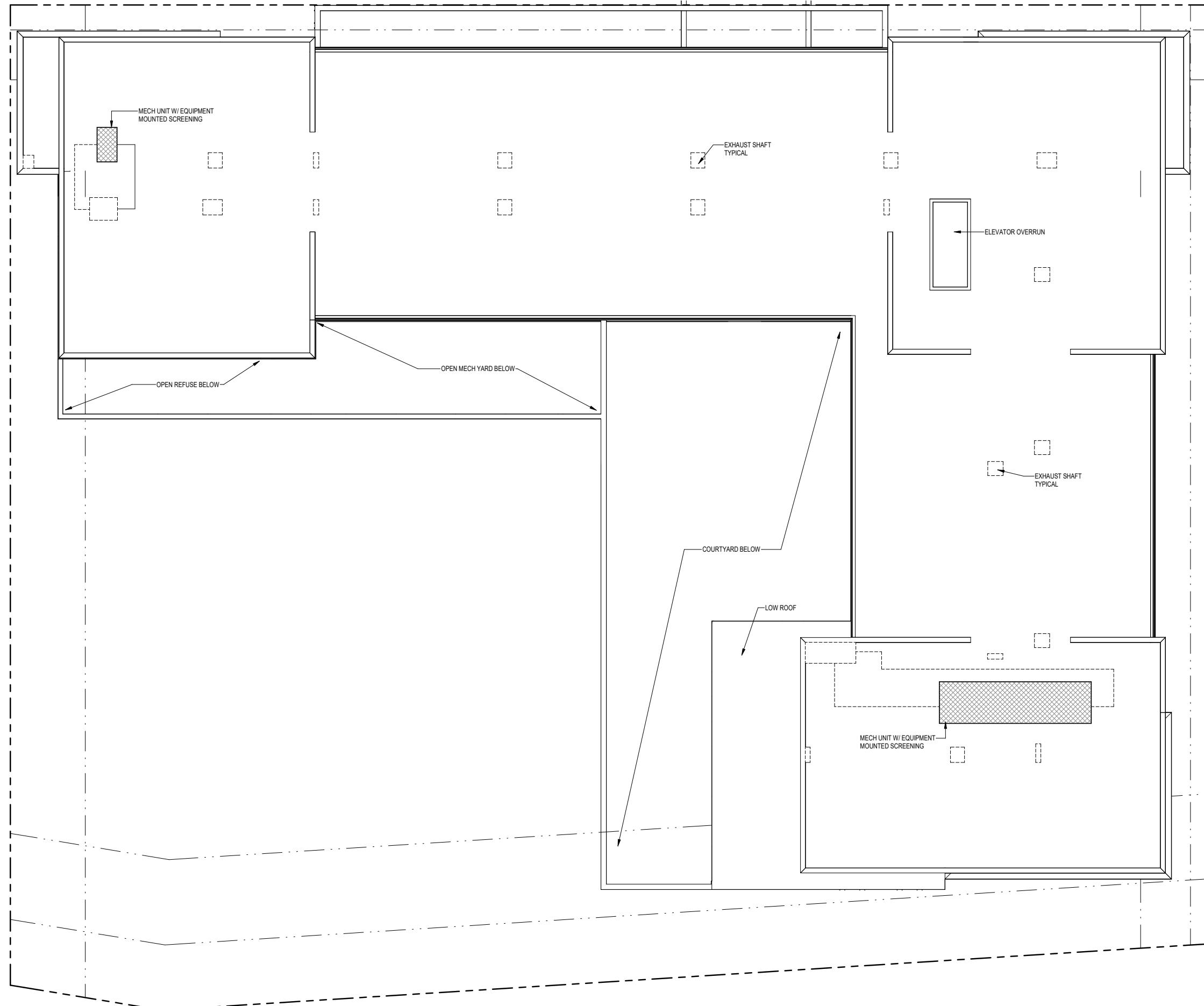
1. REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINework, HATCHING AND SYMBOL IDENTIFICATION
2. REFER TO SHEET B4-L2.0 FOR COMPREHENSIVE PLANT SCHEDULE.
3. ALL PLANTING BEDS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE NOTED.



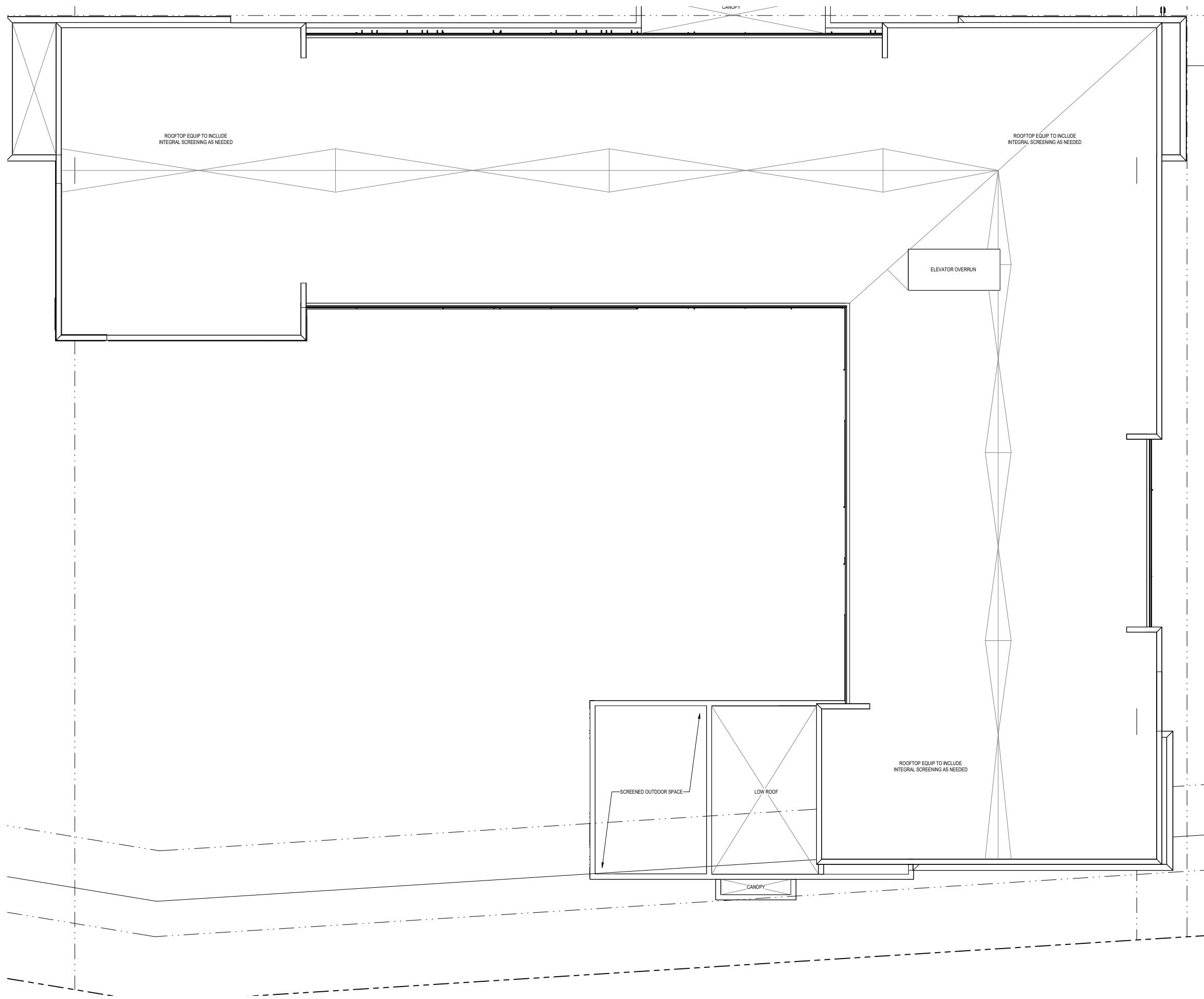
PREVIOUS TYPICAL PLAN



PROPOSED TYPICAL PLAN



PREVIOUS ROOF PLAN



PROPOSED ROOF PLAN



MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



PREVIOUS MATERIALS



MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



PROPOSED MATERIALS



PREVIOUS PERSPECTIVE



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② SOUTH ELEVATION
1/8" = 1'-0"



① NORTH ELEVATION
1/8" = 1'-0"

PREVIOUS ELEVATIONS

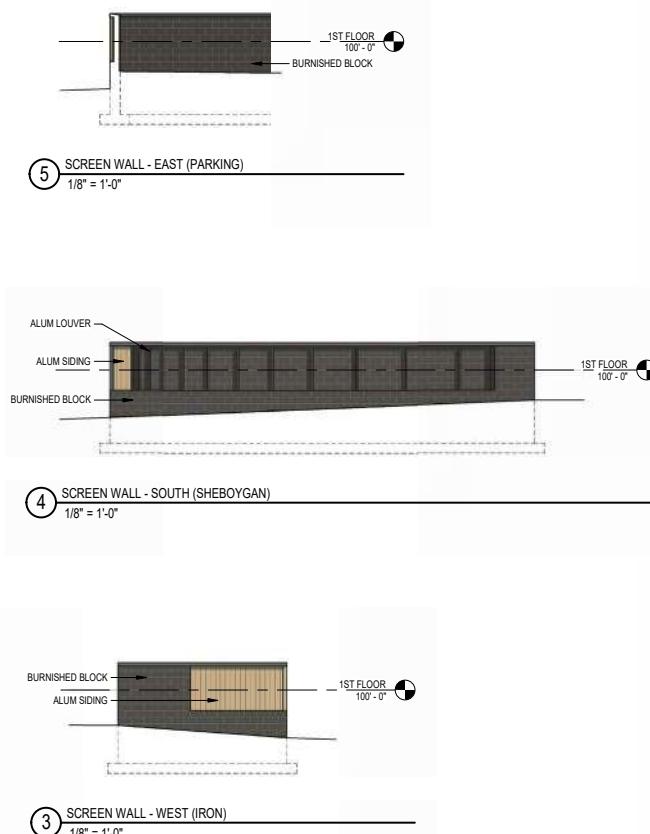


6 SCREEN WALL - NORTH (PARKING)
1/8" = 1'-0"

6 1/8" = 1'-0"

2 WEST ELEVATION
1/8" = 1'-0"

2 WEST ELEVATION
1/8" = 1'-0"



3 SCREEN WALL - WEST (IRON)

3 SCREEN WALL - WEST (IRON)
1/8" = 11' 0"



1 EAST ELEVATION
1/8" = 1'-0"

$$1/8" = 1'-0"$$

PREVIOUS ELEVATIONS



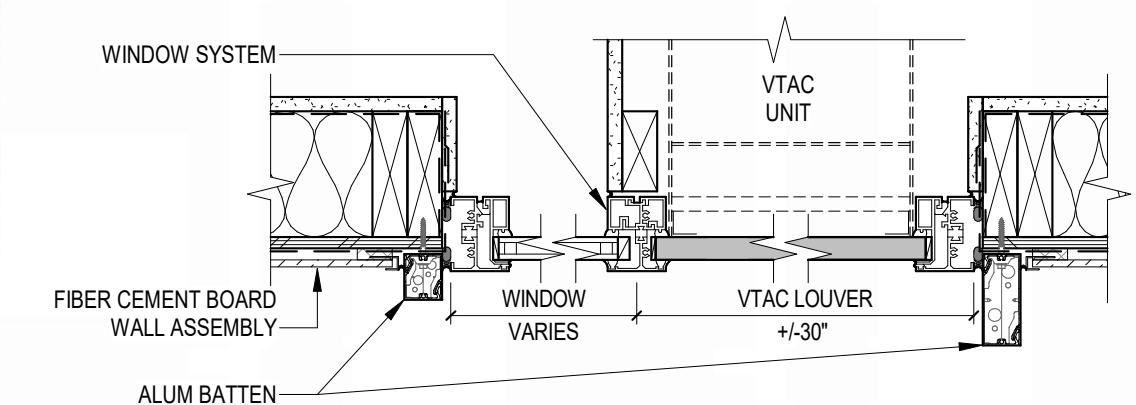
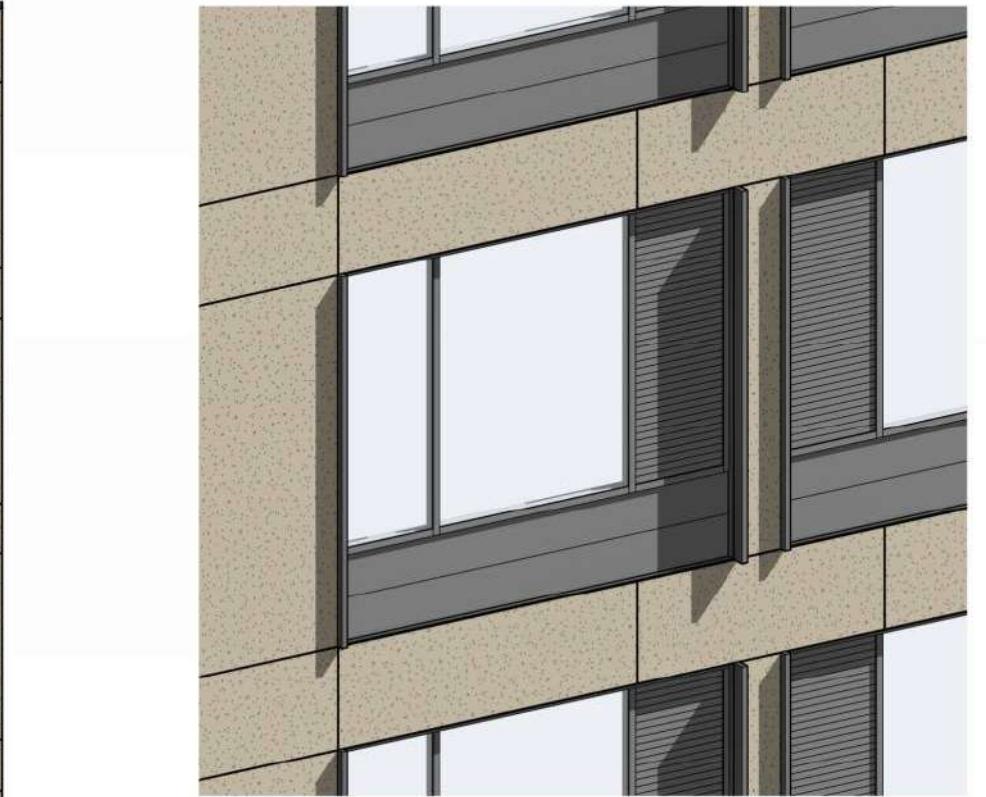
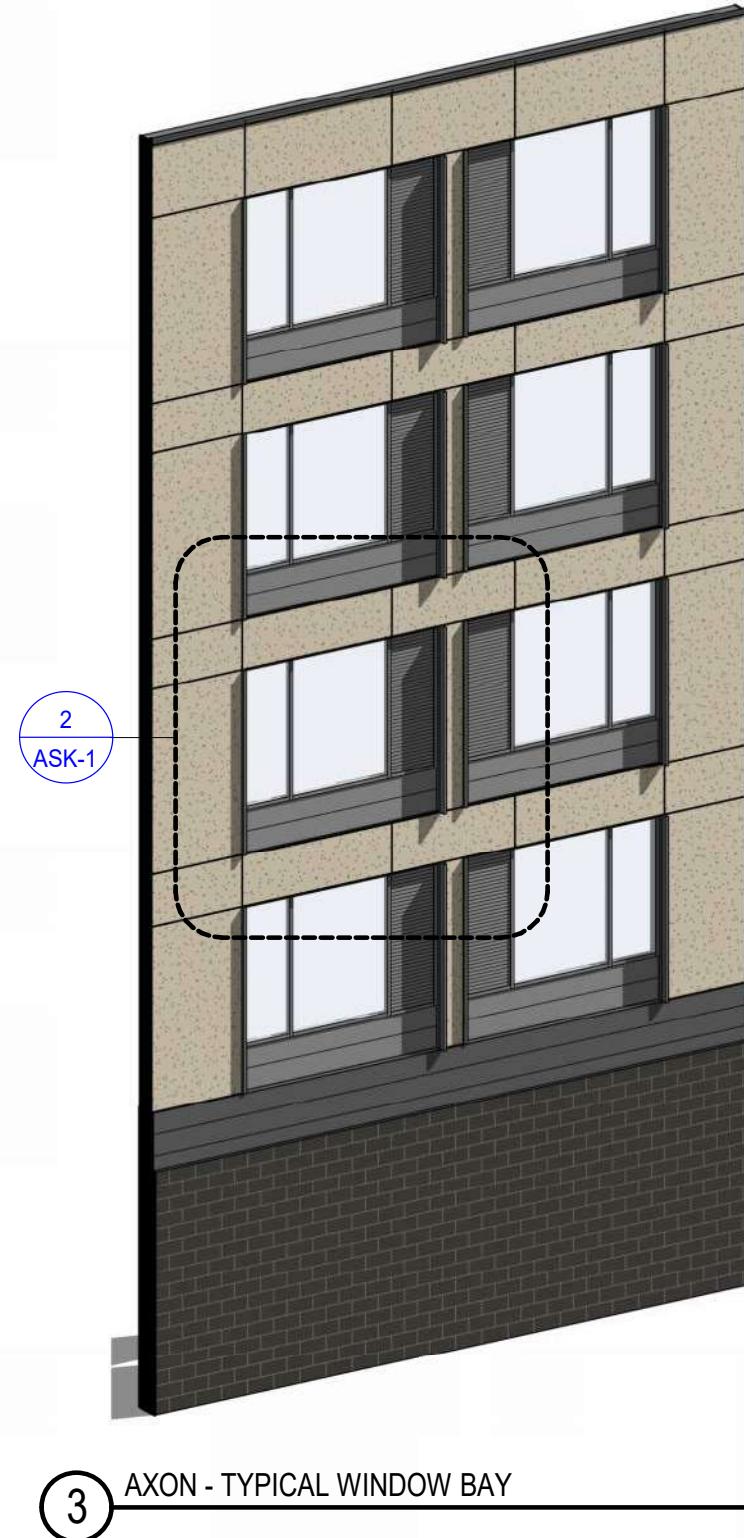
PROPOSED ELEVATIONS



2 WEST ELEVATION
1/8" = 1'-0"



PROPOSED ELEVATIONS



TYPICAL WINDOW

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MADISON YARDS: BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

KAHLER SLATER PROJECT: 222093.00

JULY 15, 2024

GENERAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
G000	COVER SHEET

CIVIL SHEET INDEX	
SHEET NUMBER	SHEET NAME
B4-C1.0	BLOCK 4 - NOTES & LEGEND
B4-C2.0	BLOCK 4 - OVERALL SITE PLAN
B4-C2.1	BLOCK 4 - SITE PLAN - ANNOTATED
B4-C2.2	BLOCK 4 - SITE PLAN - DIMENSIONED
B4-C3.0	BLOCK 4 - GRADING & EROSION CONTROL PLAN
B4-C4.0	BLOCK 4 - UTILITY PLAN
B4-C5.0	BLOCK 4 - DETAILS

LANDSCAPE SHEET INDEX	
SHEET NUMBER	SHEET NAME
B4-L1.0	BLOCK 4 LANDSCAPE PLAN
B4-L2.0	BLOCK 4 LANDSCAPE DETAILS & NOTES

ARCHITECTURAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
A111	1ST FLOOR PLAN
A112	2ND - 5TH FLOOR PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

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Revisions

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SCOPE DOCUMENTS

Drawing Date
JULY 15, 2024MADISON YARDS:
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00 RAYMOND MANAGEMENT COMPANY


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COVER SHEET

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Sheet No.

G000



HILL FARMS PLACE

DROP OFF ZONE

PROPOSED BUILDING

IRON STREET

SHEBOYGAN AVENUE

LEGEND

REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

SITE INFORMATION BLOCK

PROPERTY ACREAGE	1.082 ACRES
TOTAL BUILDING SQUARE FOOTAGE	21,810 SF
ROSS BUILDING SQUARE FOOTAGE	104,162 SF
 ARKING STALL MATRIX	
REQUIRED	108
PROVIDED	12 SURFACE (BLOCK 4)
PROVIDED	96 OFF-SITE (BLOCK 1)
 ICYCLE STALL MATRIX	
REQUIRED	15
PROVIDED	16 (12 OUTDOOR, 4 INDOOR)
 XISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	47,117 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
 PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED IMPERVIOUS SURFACE AREA	35,766 SF
PROPOSED PERVIOUS SURFACE AREA	11,351 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.76

NOTES

1. CONCRETE SIDEWALK, PICTURE FRAME CONTROL JOINTS WITH BROOM FINISH
2. 18" CURB AND GUTTER (STANDARD)
3. 18" CURB AND GUTTER (REJECT)
4. FLUSH THICKENED EDGE SIDEWALK
5. ADA ACCESSIBLE RAMP (INLINE)
6. WARNING DETECTOR
7. ASPHALT PAVEMENT
8. REINFORCED CONCRETE PAVEMENT
9. BIKE RACK (REFER TO DETAIL)
10. ADA PARKING SIGN
11. FREESTANDING MASONRY SCREEN WALL (REFER TO ARCHITECTURAL)
12. MG&E TRANSFORMER PAD AND TERMINATION CABINET (CONTRACTOR SHALL COORDINATE AND CONFIRM FINAL PLACEMENT WITH MG&E PRIOR TO BIDDING AND INSTALLATION).
13. GENERATOR PAD (PAD SPECIFICATIONS TO BE DESIGNED BY OTHERS).
14. PAVEMENT STRIPING (4" WIDE), TYP
15. ADA STALL PAVEMENT STRIPING, TYP
16. TYPE R1-1 STOP SIGN
17. CONCRETE STOOP, STAIRCASE, AND RAILING (REFER TO ARCHITECTURAL)
18. 2'-0" BICYCLE OVERHANG
19. ADA PARKING SYMBOL
20. TREE GRATE (REFER TO LANDSCAPE)
21. COMMERCIAL ENTRANCE
22. CONCRETE SIDEWALK, INTEGRAL CHARCOAL COLOR, SAW CUT CONTROL JOINTS, LIGHT BROOM FINISH
23. MOVEABLE PLANTER (SPECIFICATION TO BE DETERMINED)
24. TABLES AND CHAIRS (SPECIFICATION TO BE DETERMINED)
25. NATURAL GAS FIRE FEATURE (SPECIFICATION TO BE DETERMINED)
26. MOVABLE PLAY FEATURE (BY OWNER)
27. CONCRETE BOLLARD W/ STEEL PIPE
28. 6' BENCH (SPECIFICATION TO BE DETERMINED)
29. ADA RAMP W/ HANDRAIL (SPECIFICATION TO BE DETERMINED)
30. FLAGPOLE (BY OWNER)
31. SYNTHETIC TURF
32. NATURAL GAS GRILL (REFER TO ARCHITECTURAL)
33. ISLAND (REFER TO ARCHITECTURAL)
34. "NO PARKING EXCEPT FOR ELECTRIC VEHICLES" SIGN

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SCOPE DOCUMENTS

DISCUSSION AND CONCLUSIONS

Project No. HKS HOLDINGS
000000000

Sheet Title

BLOCK 4 - SITE PLAN - ANNOTATED

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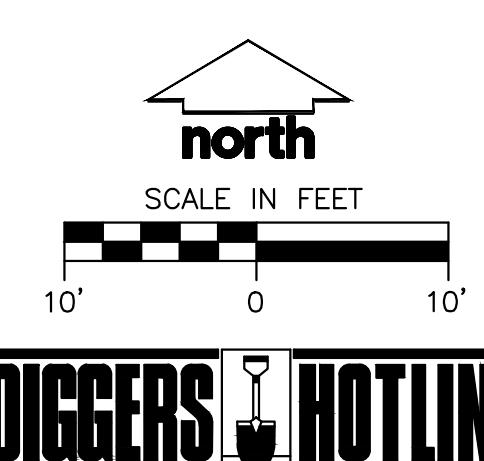
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Sheet No.

B4-C2 1

B4-C2.1

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Toll Free (800) 242-8511

100-100 (000) 2012-0011

B4-C2.1

LEGEND

REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINework, HATCHING AND SYMBOL IDENTIFICATION

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SCOPE DOCUMENTS

Drawing Date
JULY 15, 2024

MADISON YARDS: BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00 HKS HOLDINGS

Sheet Title

BLOCK 4 - SITE PLAN - DIMENSIONED

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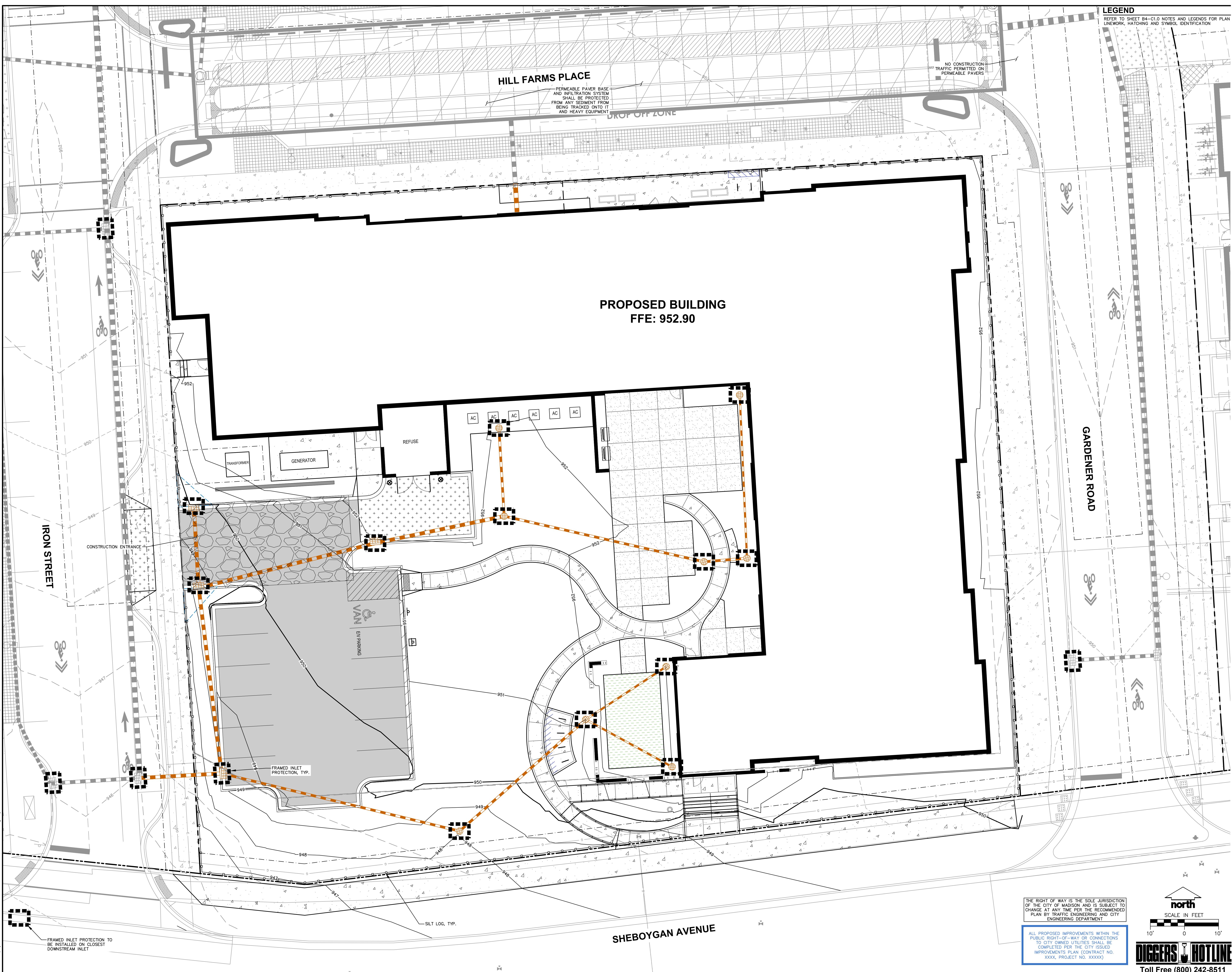
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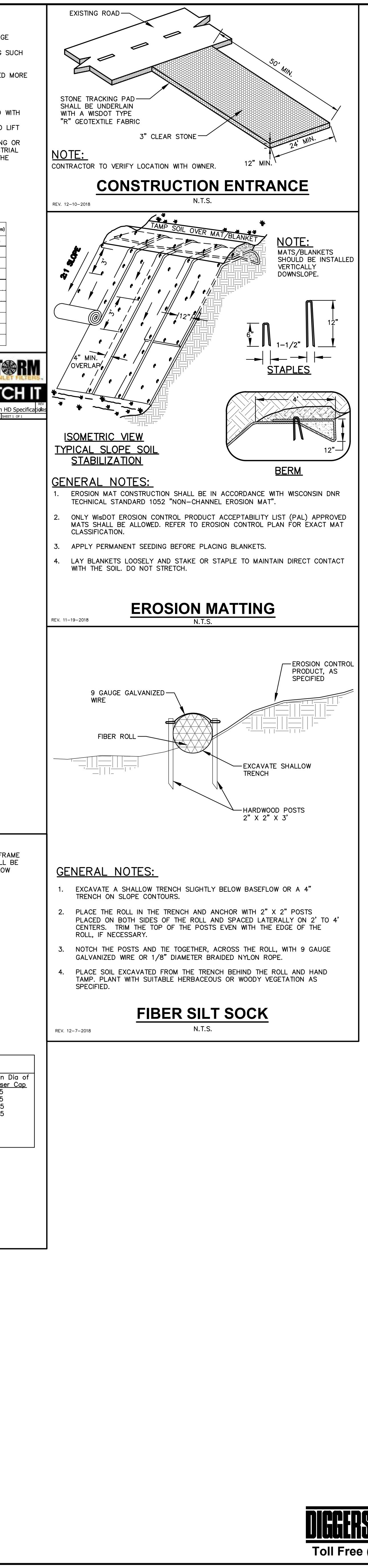
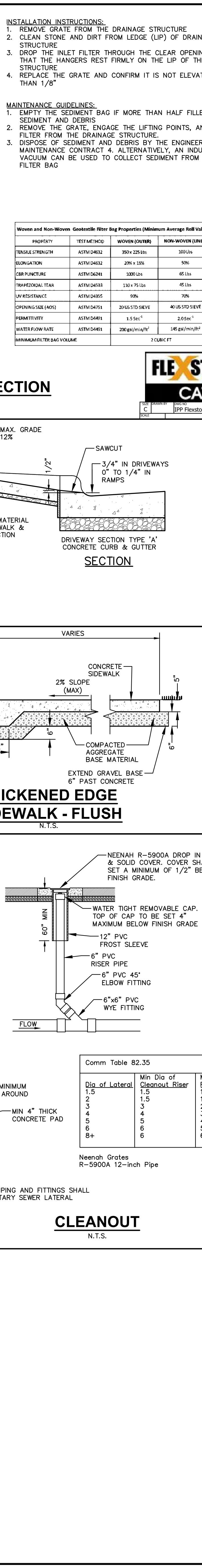
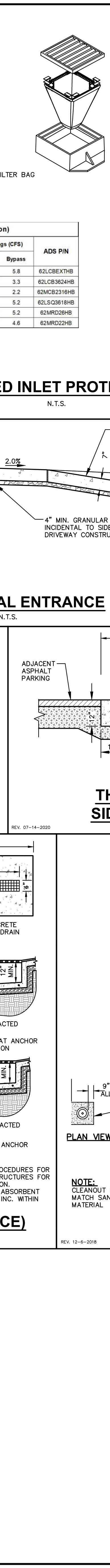
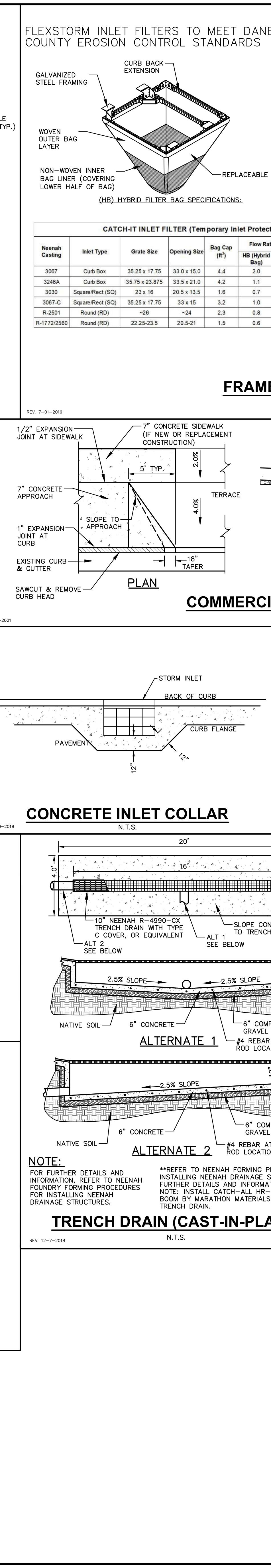
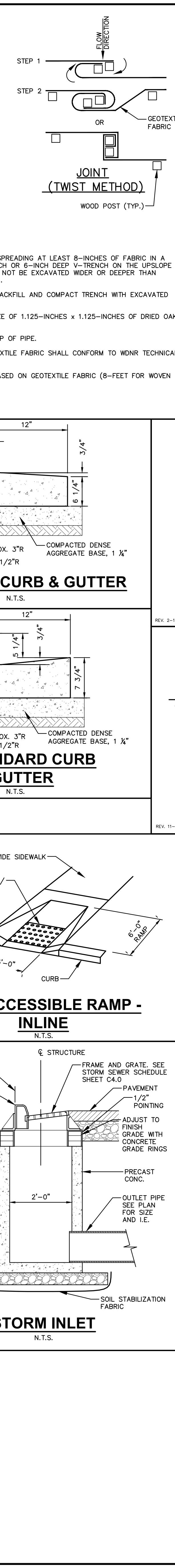
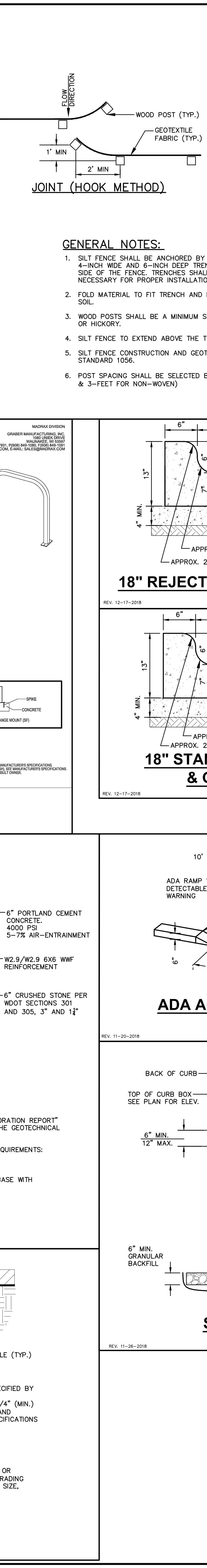
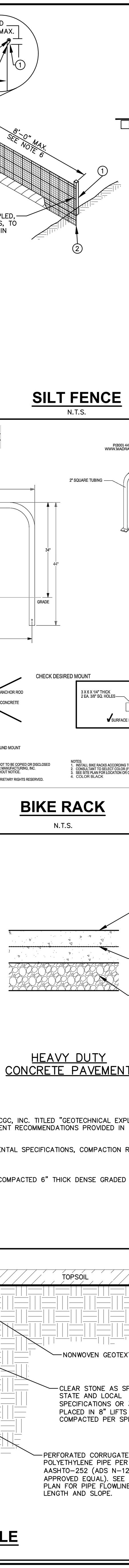
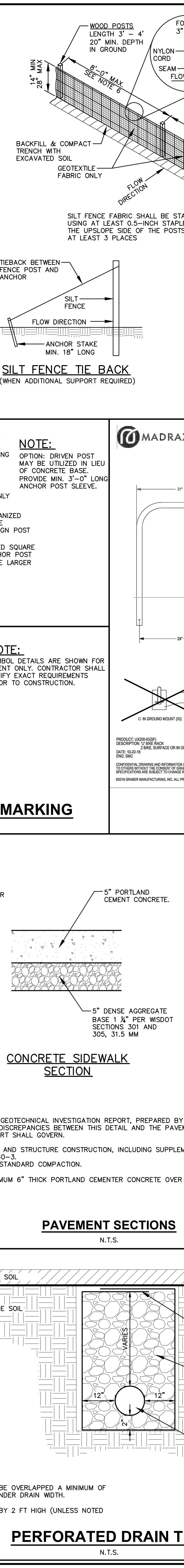
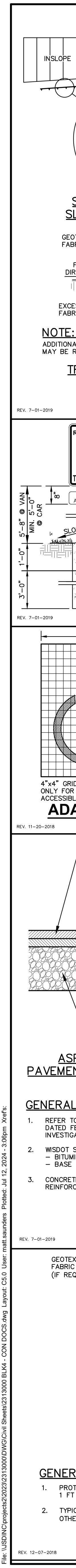
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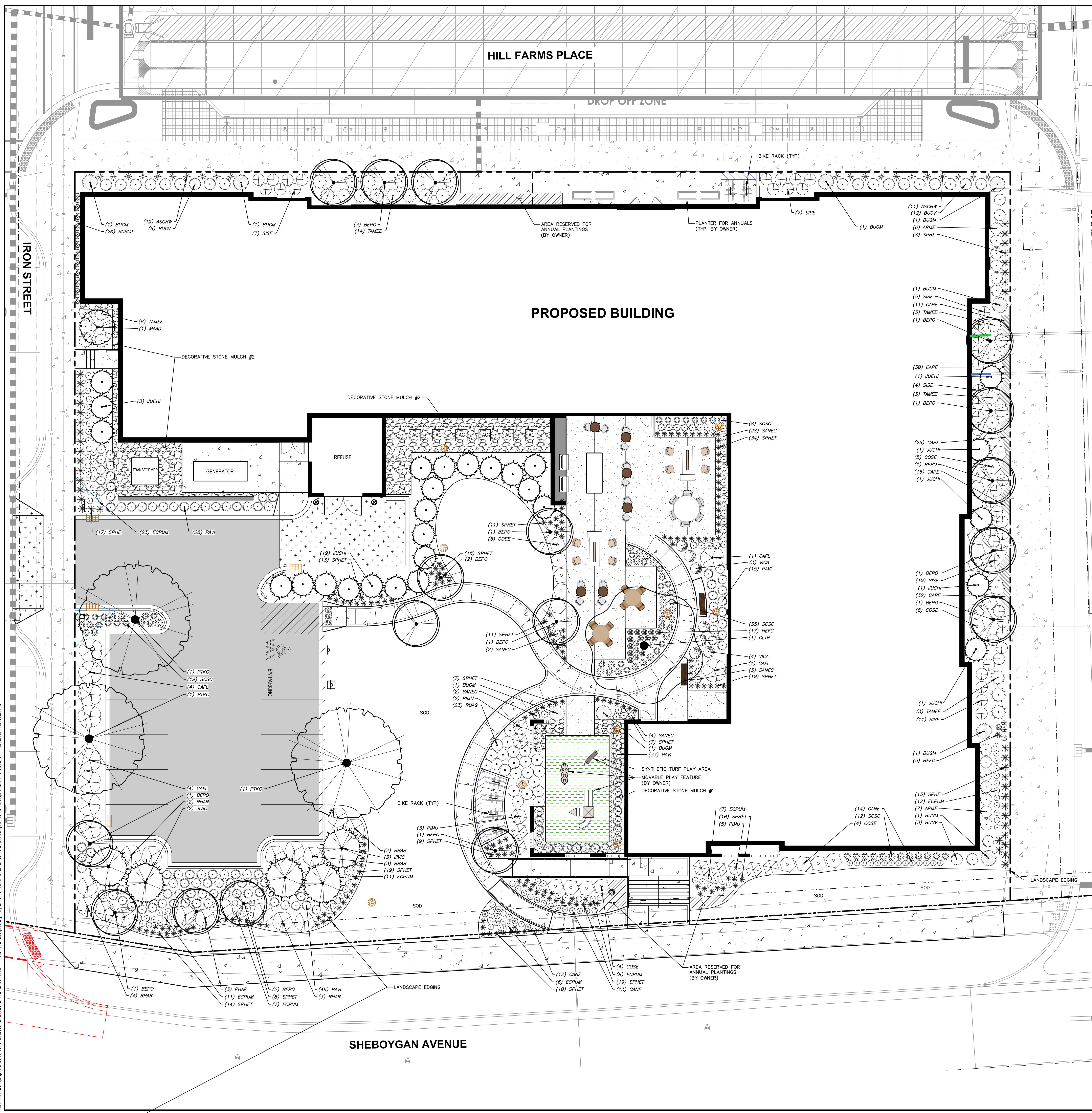
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SCOPE DOCUMENTS
Drawing Date
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Project No. HKS HOLDINGS
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JULY 15, 2024**MADISON YARDS:
BLOCK 4 HOTEL**

BLOCK 4 AT MADISON YARDS

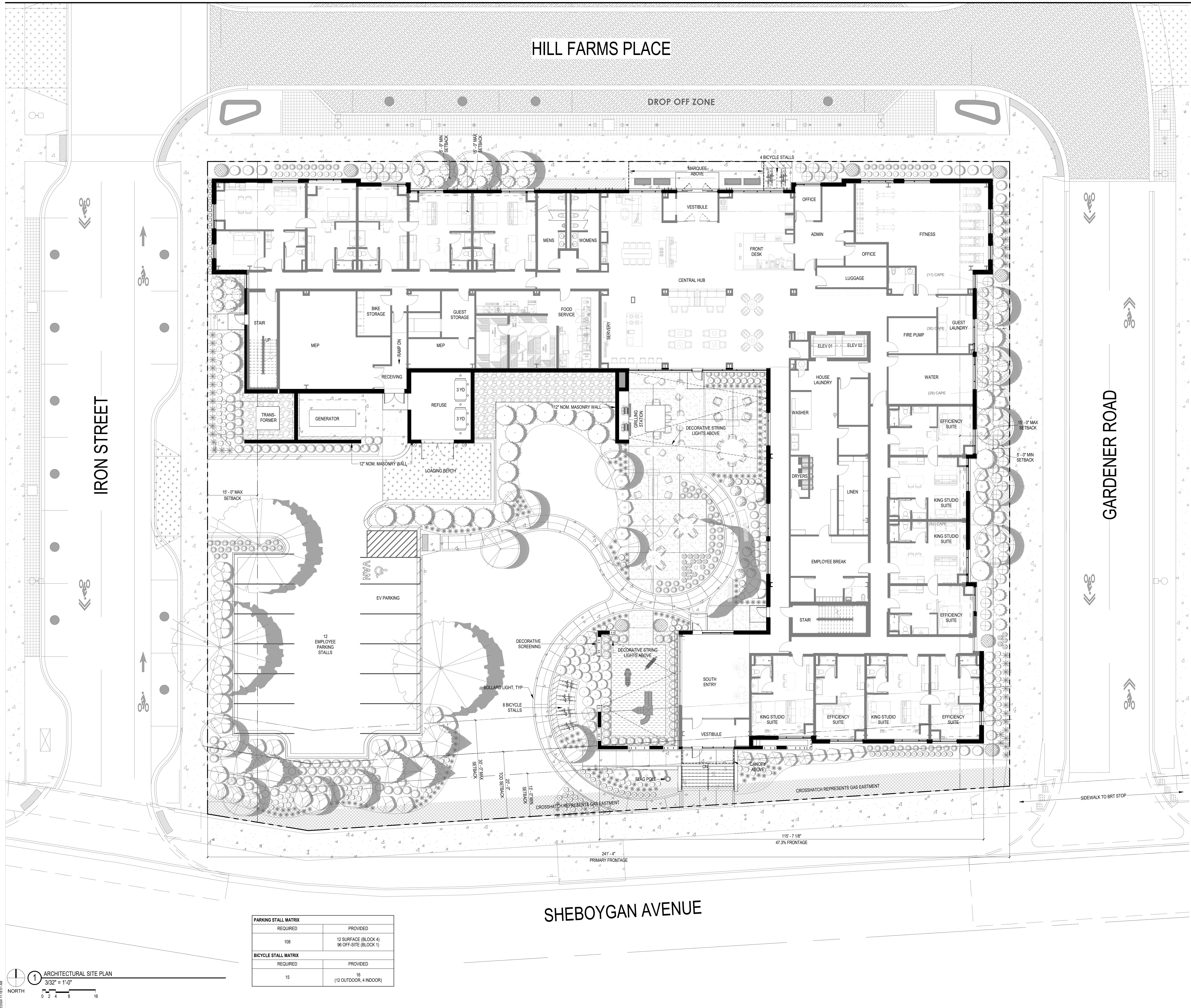
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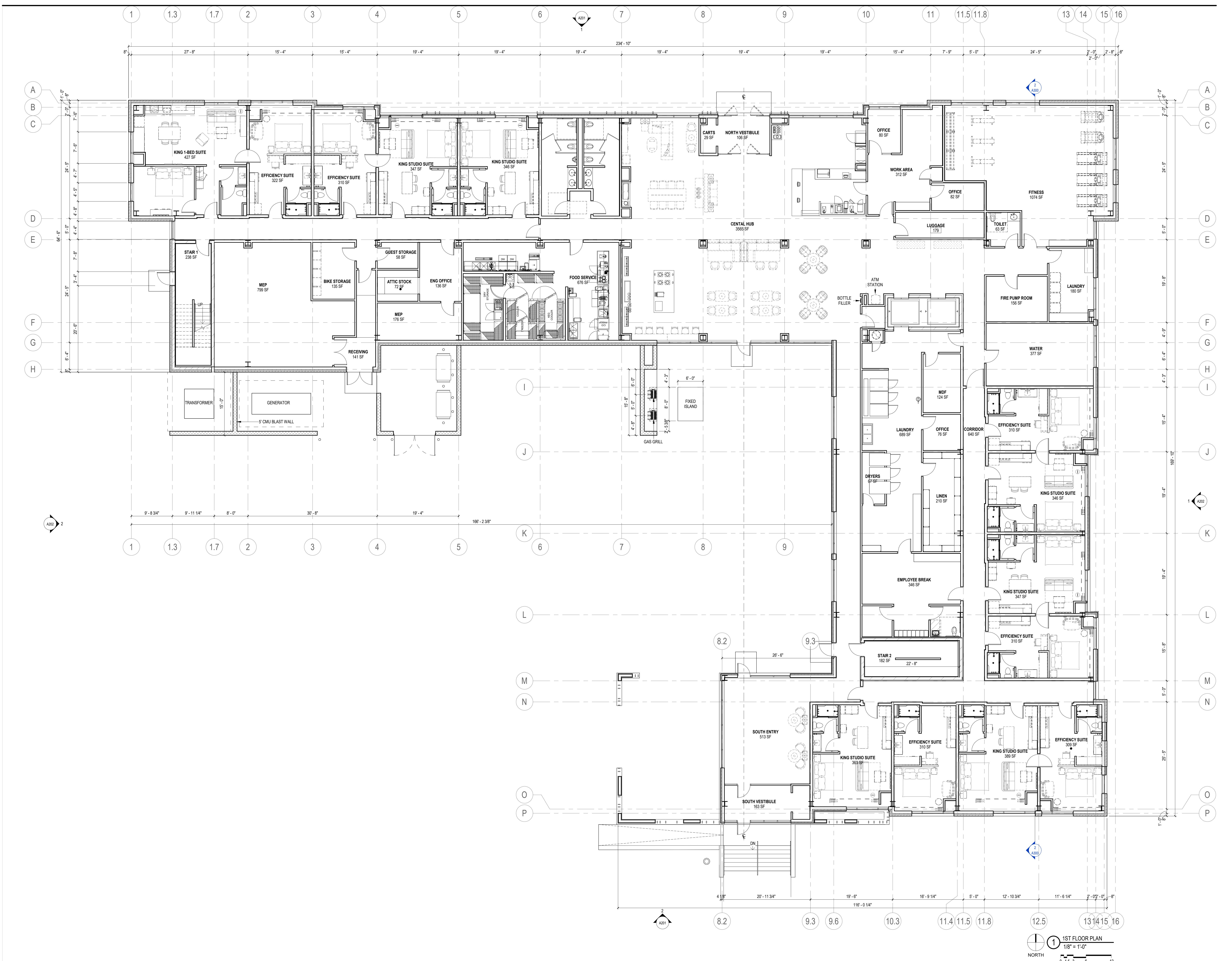
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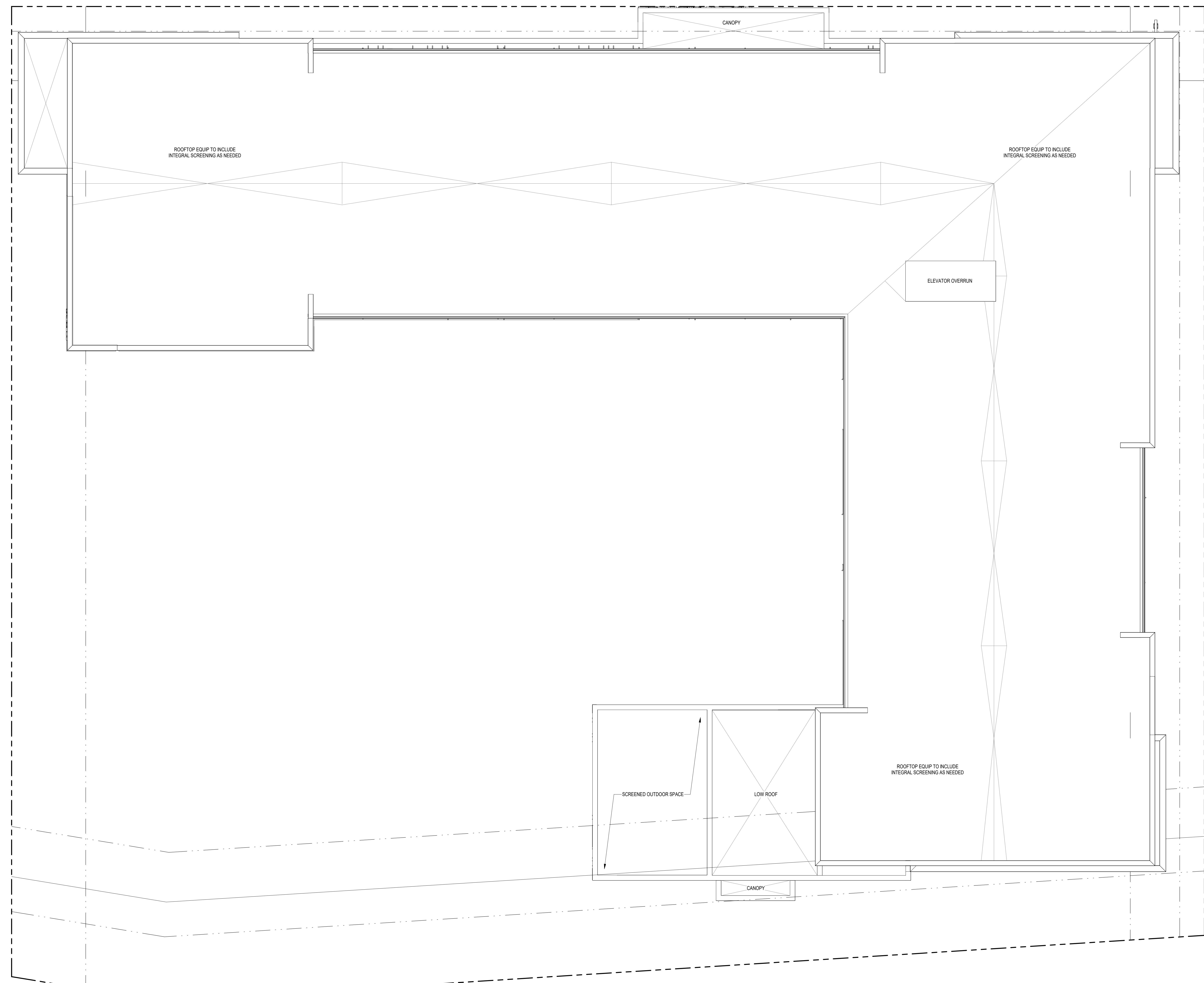
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MADISON YARDS:
BLOCK 4 HOTEL

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Project No. 222093.00 RAYMOND MANAGEMENT COMPANY

Sheet Title

ROOF PLAN

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Sheet No.

A116

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CONSTRUCTION

EXTERIOR ELEVATION GENERAL NOTES	BRICK - DARK GRAY	BRICK - LIGHT GRAY	TEXTURED METAL PANEL	FIBER CEMENT BOARD - TAN	WOOD LOOK ACCENT
1. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.					
2. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.					
3. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.					
4. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.					

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SCOPE DOCUMENTS

Drawing Date
JULY 15, 2024MADISON YARDS:
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00
RAYMOND MANAGEMENT COMPANYSheet Title
EXTERIOR ELEVATIONS

EXTERIOR ELEVATION GENERAL NOTES	BRICK - DARK GRAY	BRICK - LIGHT GRAY	TEXTURED METAL PANEL	FIBER CEMENT BOARD - TAN	WOOD LOOK ACCENT
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