

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm horntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): Madison Yards Block 4 4716 Sheboygan Ave Madison WI, 53715

Title: Madison Yards Block 4 Hotel

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 14, 2024

New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name David Emerich

Street address 4601 Frey Street, Suite 400

Telephone 608-833-4100

Company Madison Yards Lodging Associates, LLC

City/State/Zip Madison, WI 53705

Email emerich@raymondtteam.com

Project contact person Ethan Skeels, AIA

Company Kahler Slater

Street address 790 N. Water St, Suite 1700

City/State/Zip Milwaukee, WI 53202

Telephone 414-290-3778

Email eskeels@kahlerslater.com

Property owner (if not applicant) Madison Yards Block 6, LLC

Street address 241 N. Broadway, Suite 400

City/State/Zip Milwaukee, WI 53202

Telephone 414-453-0110

Email mtheder@summitsmith.com

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCappllications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on Various dates April-July 2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant David Emerich

Relationship to property Under Contract

Authorizing signature of property owner DAVID EMERICH

Date 7-15-24

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per 533.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per 533.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per 531.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per 531.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per 531.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

MADISON YARDS BLOCK 6, LLC

July 9, 2024

City of Madison Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Madison Yards at Hill Farms, Block 4 PD-SIP Submittal Approval

Dear City of Madison Planning Division:

This letter provides approval (on behalf of Madison Yards Block 6, LLC) for Madison Yards Lodging Associates, LLC c/o Raymond Management Company, Inc. to submit applications to the City of Madison for zoning changes and otherwise for the Madison Yards at Hill Farms, Block 4 PD-SIP project. The project site is located at 4716 Sheboygan Avenue, Lot 4, Madison Yards at Hill Farms. Previous applications for this project were submitted by HKS Holdings, LLC (and/or MKE Acquisitions, LLC). Madison Yards Lodging Associates, LLC will act as developer of the parcel moving forward.

Please feel free to contact either of the individuals signing this letter below with any questions.

Sincerely,



Mark Theder
Authorized Representative

Madison Yards Block 6, LLC
c/o Summit Smith Development
731 N. Jackson St, Suite 505
Milwaukee, WI 53202
Office: 414.453.0110
Cell: 414.379.0761
E-Mail: mtheder@summitsmith.com
Website: www.summitsmith.com



Joe Klein, Manager
MKE Acquisitions, LLC
172 N. Broadway
Second Floor
Milwaukee, WI 53202
kleinjos@gmail.com

31305485.2

Lisa Steinhauer

From: Lisa Steinhauer
Sent: Thursday, July 11, 2024 11:25 AM
To: district11@cityofmadison.com
Cc: Dave Emerich
Subject: Madison Yards Hotel
Attachments: 24-0710_MY BLK 4 - Update.pdf

Hi Alder Tishler,

Thank you for your time on the phone this morning. As mentioned, we hope to receive final SIP approval for our hotel development from the UDC at the upcoming August 14, 2024 meeting. Attached are the DRAFT plans for review at the meeting. We are still making a few tweaks prior to submittal, including showing an electric charging stall in the employee parking lot, as discussed.

This hotel includes 145 keys within 5 stories. The design is similar to previous versions you've seen but is revised to address prior UDC comments.

I look forward to meeting with you on Monday 7/15 at 2:30pm. If you enter the SpringHill Suites parking structure using the eastern entrance (at the bottom of Frey St hill), there are parking spaces available at the entrance to the hotel lobby. I will meet you in the lobby along with my colleague, Dave Emerich, for a tour.

Thank you,

Lisa Steinhauer
Real Estate Coordinator
Raymond Management Company | 4601 Frey St. Suite 400 Madison, WI 53705
Direct: (608) 692-8353



<https://www.raymondteam.com>

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Kahler Slater

Milwaukee
Madison
Richmond
Chicago
Singapore

July 15, 2024

790 N Water Street, Suite 1700
Milwaukee, WI 53202
P 414.272.2000

City of Madison
Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Letter of Intent - Madison Yards at Hill Farms, Block 4 PD-SIP Land Use – UDC Final

This letter, together with plans, application and supplemental materials, constitutes our Land Use Application for Major Amendment to an Approved Planned Development – Specific Implementation Plan (PD-SIP) for the proposed Madison Yards at Hill Farms, Block 4 project.

Project Location:

The project site is located at 4716 Sheboygan Ave., Lot 4 Madison Yards at Hill Farms. The site is 1.08 acres.

Legal Description:

Lot 4, Madison Yards at Hill Farms, recorded in Volume 61-018B of Plats on page 99, as Document No. 5524360, located in the Northeast Quarter of the Northwest Quarter of Section 20, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more particularly described as follows:

Beginning at the Southeast Corner of Lot 4, aforesaid; thence South 82 degrees 57 minutes 14 seconds West along the South line of Lot 4, aforesaid, a distance of 211.50 feet; thence North 84 degrees 03 minutes 12 seconds West along the South line of Lot 4, aforesaid, 30.71 feet to the West line of Lot 4, aforesaid; thence North 03 degrees 25 minutes 28 seconds West along said line, 196.36 feet to the North line of Lot 4, aforesaid; thence North 86 degrees 34 minutes 32 seconds East along said line, 241.38 feet to the East line of Lot 4, aforesaid; thence South 03 degrees 25 minutes 28 seconds East along said line, 188.00 feet to the Point of Beginning.

Said lot contains 47,117 square feet or 1.082 acres.

Project Team:

Owner/Developer: Madison Yards Lodging Associates, LLC.

Master Planner/Civil Engineer/Landscape Architect: JSD Professional Services, Inc.

Architect: Kahler Slater, Inc.

Project Description

The project is a portion of the larger multi-block development known as Madison Yards at Hill Farms. Block 4 is situated along the north side Sheboygan Ave. west of Segoe Rd. In Madison, WI. The project consists of a 145 guestroom Hotel and associate guest amenities.

The hotel building of +/- 102,250 GSF The building occupies the northeast portion of the block with its primary entrance on Hill Farms Pl. A second public entry is located to the south on Sheboygan Ave. the majority of parking is provided on the adjacent Block 1 in the parking structure to the east and is accessed by an internal access drive from Segoe or Gardener. Employee parking is located on a surface parking lot located on the southwest portion of the block and is screened from the right of way. The loading and refuse areas are located to the south and west of the building access from the internal access drive. The primary façade materials for the Hotel are comprised of painted aluminum framed glazing systems with insulated glass, masonry, profiled painted single skin metal panels and painted fiber cement panels.

Existing Land Use

Former Wisconsin DOT Office Building Parking - Vacant

Zoning Request

The Madison Yards Planned Development General Development Plan (GDP) was approved and recorded in April 2019. The development team is seeking approval of the Madison Yards at Hill Farms Block 4 Specific Implementation Plan (SIP)

Zoning/ Project Data:

Block 4 is part of the Planned Development District – General Development Plan, Madison Yards at Hill Farms Redevelopment, 4802 Sheboygan Ave.

Block 4	Allowable/ required	Proposed
Site Area	1.08 Ac	1.08 Ac
Min/Max Bldg Area	30,000/160,000 GSF	102,250
Office	Max 0 GSF	0 GSF
Retail	Max 15,000 GSF	0 GSF
Hotel	225 Rooms	145 Rooms
Building Stories (min/max)	2 / 8 Stories	5 Stories
Building Height (min/max)	20 / 95 ft	64 ft
Setbacks		
Sheboygan	Min 8' Max 30'	Min 9'6" Max 18'6"
Gardener	Min 5' Max 15'	Min 5'4" Max 12'0"
Hill Farms Place	Min 5' Max 15'	Min 5'4" Max 8'0"
Iron Street	Max 15'	1'4" – 9'6"

Parking for hotel spaces is a minimum of .75 space per unit and a maximum of 1.5 spaces per unit. Additional parking above the maximum may be shared with another use.

The proposed Block 4 development will be provided with a minimum of 96 stalls in the parking structure located on the adjacent block 1 parking structure through a shared parking agreement. 12 surface stalls will be provided for employee parking only.

Loading and trash areas will be provided central to the block screened from Sheboygan Ave and accessed from the Iron Street. A single 10x50' loading bay will be provided.

Streets, Easements, Utilities and Fire Access.

Streets within the Madison Yards development are privately held and maintained. Utility easements are in place for existing utility lines and future easements will be finalized and recorded once final plans are approved. Public access easements are in place as required in the final GDP approval.

Fire access for the site was discussed with Bill Sullivan of the Madison Fire Department, including fire lanes, aerial apparatus lanes, and street tree spacing. The approved GDP included a fire access plan for the project.

TOD Overlay.

The building is designed with a dual entry configuration with public entries on both Sheboygan Avenue and Hill Farms Place. These entries are connected continuously with guest amenity and lobby space including the guest courtyard amenity. The building façade and courtyard accent screen wall along Sheboygan Ave are located completely within the TOD required 20' maximum setback and comprise 50% of the Sheboygan street frontage compared to the TOD minimum of 30%. Surface parking is located to

the side of the Sheboygan façade activated by the public entry and screened with a significant landscape buffer.

Urban District Design Standards.

The majority of parking serving the hotel is located in the adjacent Block 1 parking structure within the Madison Yards development. This parking is supplemented by a small employee only surface lot located along Iron Street to the west. The surface lot is setback 14'-18' feet from the property line and located behind significant landscape screening used to create an attractive corner and pedestrian experience.

A primary building entry is located prominently along Sheboygan Ave with another located along Hill Farms Place. The Sheboygan Ave Entry features a canopy, wood toned accent material and glazing clearly identifying it as a public entry to the Hotel.

The building massing creates significant setback depth and modulation between materials through the strategic planning of the differing guestroom types within the body of the building. Special attention is paid to the corners of the building to create a strong street presence and layering of materials as the building turns the corners. Material changes also are set off by varying parapet heights further delineating the articulation visually.

The building features a 14' first floor height measured from Hill Farms Place to the finished floor of the second level. Guestrooms front Gardner feature significant vegetation between the guestroom windows and the sidewalk. The building's exterior material palette consists of brick, filled and polished burnished masonry, textured metal panel, fiber cement panel and wood toned accents. All materials are of high quality and locations are consistent with table 28E-1 of the Madison Zoning code.

Urban Design District 6 Standards.

The public Right-of-way along Sheboygan Ave will feature a public entry to the building and be landscaped appropriately for the use and layout of the site. Off street surface parking is located as far to the west of the public entry as possible and will be landscaped and screened by a mix of plant material. The building design is comprised of high-quality low maintenance materials that have been selected to complement the recently completed adjacent buildings and neighborhood character. Roof top mechanical equipment will feature integrated screening where not shielded from view by parapets. The facades of the building are broken in their height materiality and articulation. Lighting is used to highlight areas of activity at the public entries and guest courtyards. Adequate and appropriate lighting will be provided at the parking, loading and public circulation areas and will complement the remainder of the Madison Yards development and neighborhood. The landscape design will be designed as a comprehensive whole with the adjacent Madison Yards block 6 areas and recently completed projects. All utilities serving the building will be located below grade. Ground mounted utility equipment will be fully screened from view from all public and private streets adjacent to the Hotel parcel.

UDC Informational Comments

The project was discussed at the July 26, 2023 Urban Design Commission as an informational presentation. While the feedback was generally positive, items for further exploration and explanation were discussed. First, the number of exterior materials and their apparent lack of contrast. While the design team believes the contrast concern was a result of the digital images special care has been taken to achieve the Hotel flag brand standard exterior color palette utilizing the high quality materials required by the City of Madison urban design standards and goals of the overall Madison Yards development. Soldier courses have been added to window heads at areas of brick facade to provide more texture and detail while maintaining the simplicity of the massing. The physical samples will also better demonstrate the contrast between the brick and fiber cement color. Similarly the dark burnished block is used as a durable base course material on the building and around high traffic areas of the dock and back of house but is intended to be of similar color value to the profiled metal panel to reduce the visual contrast between them so they create a single reading on the exterior as they are utilized to accent the same

massing elements of the building's composition. Following the informational presentation the design team added an accent wall at the corner of Sheboygan and Iron Streets to extend the reading of the Sheboygan façade along the street edge creating a building façade like element between the street and the surface parking area to further satisfy the TOD and UDD 6 requirements. ***This element was not well received during the following presentation and has since been removed.*** A substantial line of planting has been added to the east side of the parking area to create separation to the green space, while a seat wall was suggested the site grading created a condition not conducive to a level hardscape element. ***This landscape has been revised to accommodate snow removal with a focus on landscaping the corners of the east portion of the parking area.*** Seat wall with accent lighting were added to the north of the green and near the south entry. ***This element has since been moved to courtyard proper.*** The Landscape design takes special care to provide a variety of plant materials to create interest on all sides of the building. Lastly, the loading area has been reduced to a single bay allowing for better site circulation and screening of the back of house site areas.

UDC Initial Comments (Staff report Letter dated October 30, 2023)

The project team has addressed following comments received via Staff Report dated October 30, 2023.

3. ***The UDC finds that the VTAC units as described/designed are acceptable.***
 - The project team notes acceptance and will proceed with the VTAC ventilation as shown.
4. ***The UDC finds that the proposed surface parking lot as designed and screened is appropriate.***
 - The project team notes acceptance and will proceed with the parking and landscape screening as shown.
5. ***The screen wall shall be at lower in height and the materiality needs to be modified to be more open/permeable. The wall shall be designed with materials consistent with the building materials, including burnished block and faux wood fins. The wall location shall align with the building in plan view and datum.***
 - The project team proposes the removal of the screen wall to create the desired open permeable presence requested. Any required retainage will be thru the use of limited natural boulder outcropping style retainage.
6. ***The sun-loving, prairie style plants on the north side of the building shall be replaced with a more shade tolerant selection.***
 - The project team has updated the planting plan to address the comment.
7. ***On the west elevation, northwest corner, the sea green juniper, should be replaced with something more vertical.***
 - The project team has updated the planting plan to address the comment.
8. ***Tree plantings located at the screen wall and between the loading area and the public lawn shall be at least a 2.5-inch caliper.***
 - The project team has updated the planting plan to address the comment.
9. ***Provide details on material transitions between the metal panel and fiber cement. Consideration should be given to incorporating treatments that provide more relief between the fiber cement and metal panel, including providing a wide trim piece around the window surround to break-up the transition.***
 - The project team has designed a trim between the window opening and the fiber cement siding to provide a shadow line between the materials.
10. ***Lighting shall be revised to be consistent with MGO Section 29.36.***
 - The Site Lighting and Photometric has been revised to address the comment.

11. Revise the west elevation to corporate design details or material textures that break-up/minimize the blank expanses on the elevation.

- The project team has updated the design incorporating additional guestroom window openings to area of brick at the west elevation.

Traffic Impact Analysis

A traffic impact analysis (TIA) from Kimley Horn and a TDM Plan has been previously submitted for the Madison Yards project.

Exterior Signage

All signage depicted in this submittal is for illustrative purposes only. The project team will follow the UDC signage review process as the design develops. Signage will be allowed per Chapter 31 of the Madison General Ordinances and will be provided with each SIP.

Anticipated Schedule

Construction of Project is scheduled for a spring of 2025 construction start with completion in 2026.

Sincerely,



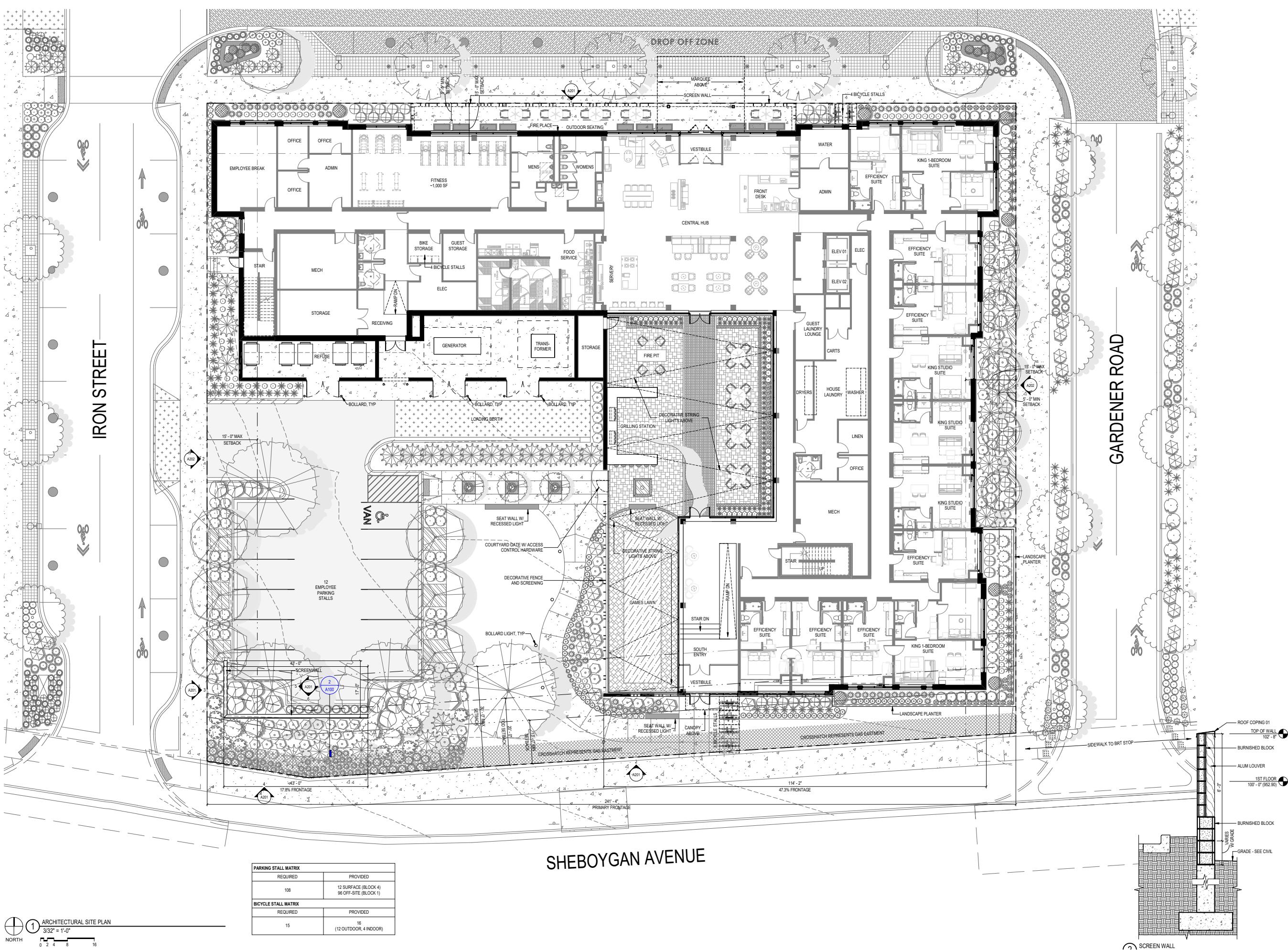
Dave Emerich
Raymond Management Company

BLOCK 4 HOTEL

MADISON . WISCONSIN

HOTEL DESIGN CONCEPT
JULY 2024

Kahler Slater



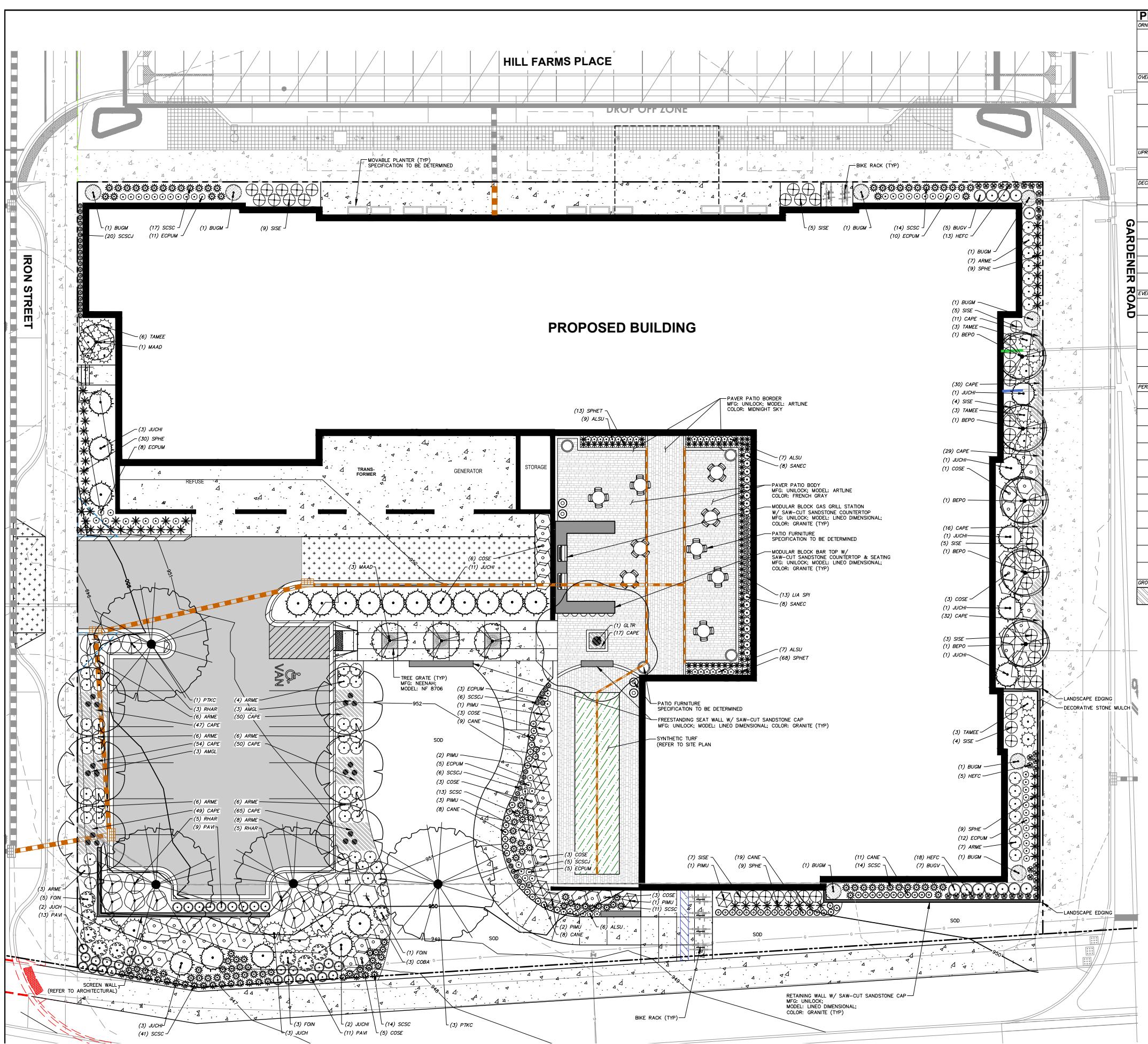
HILL FARMS PLACE

IRON STREET

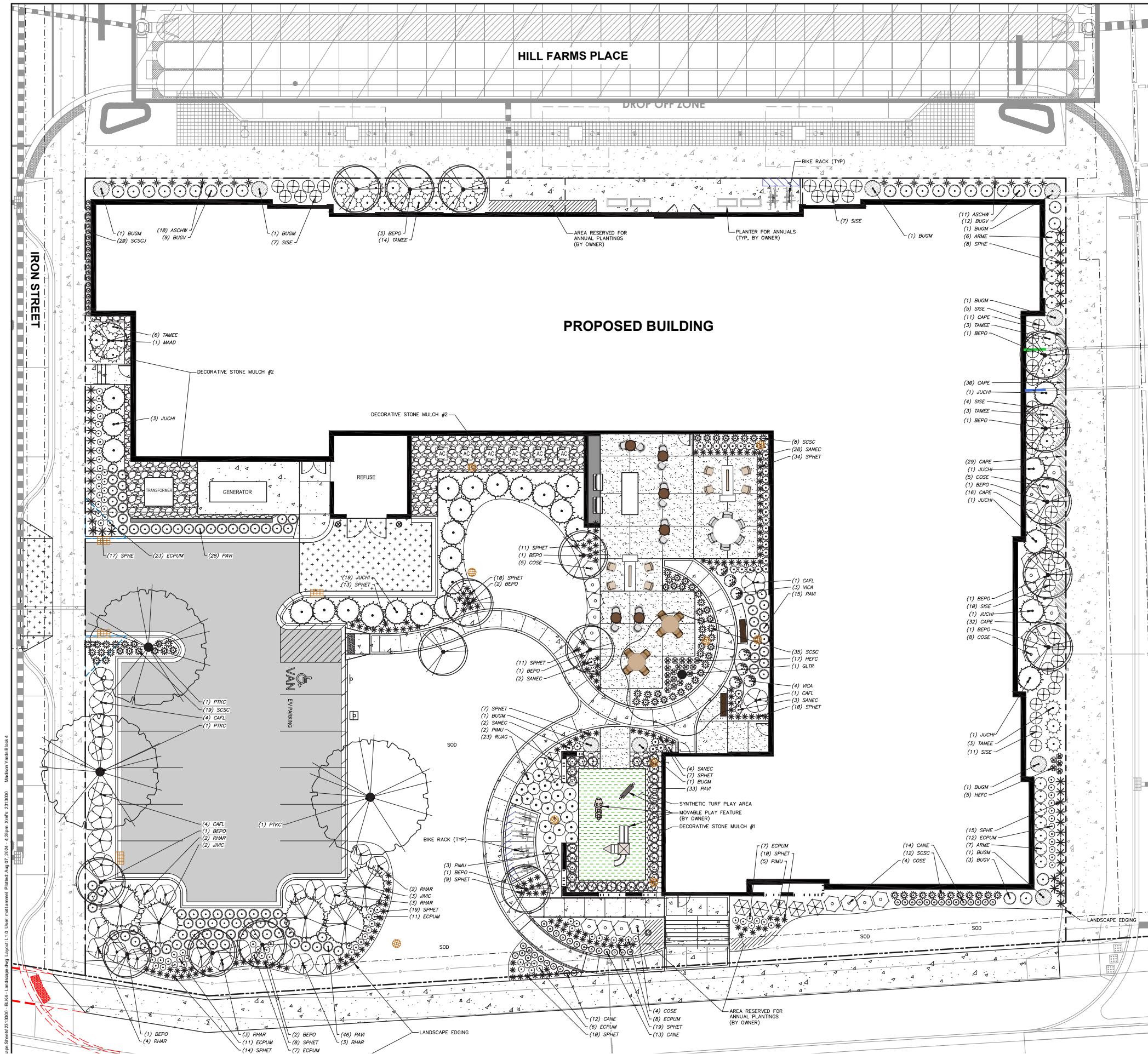
-GARDENER ROAD-

SHEBOYGAN AVENUE

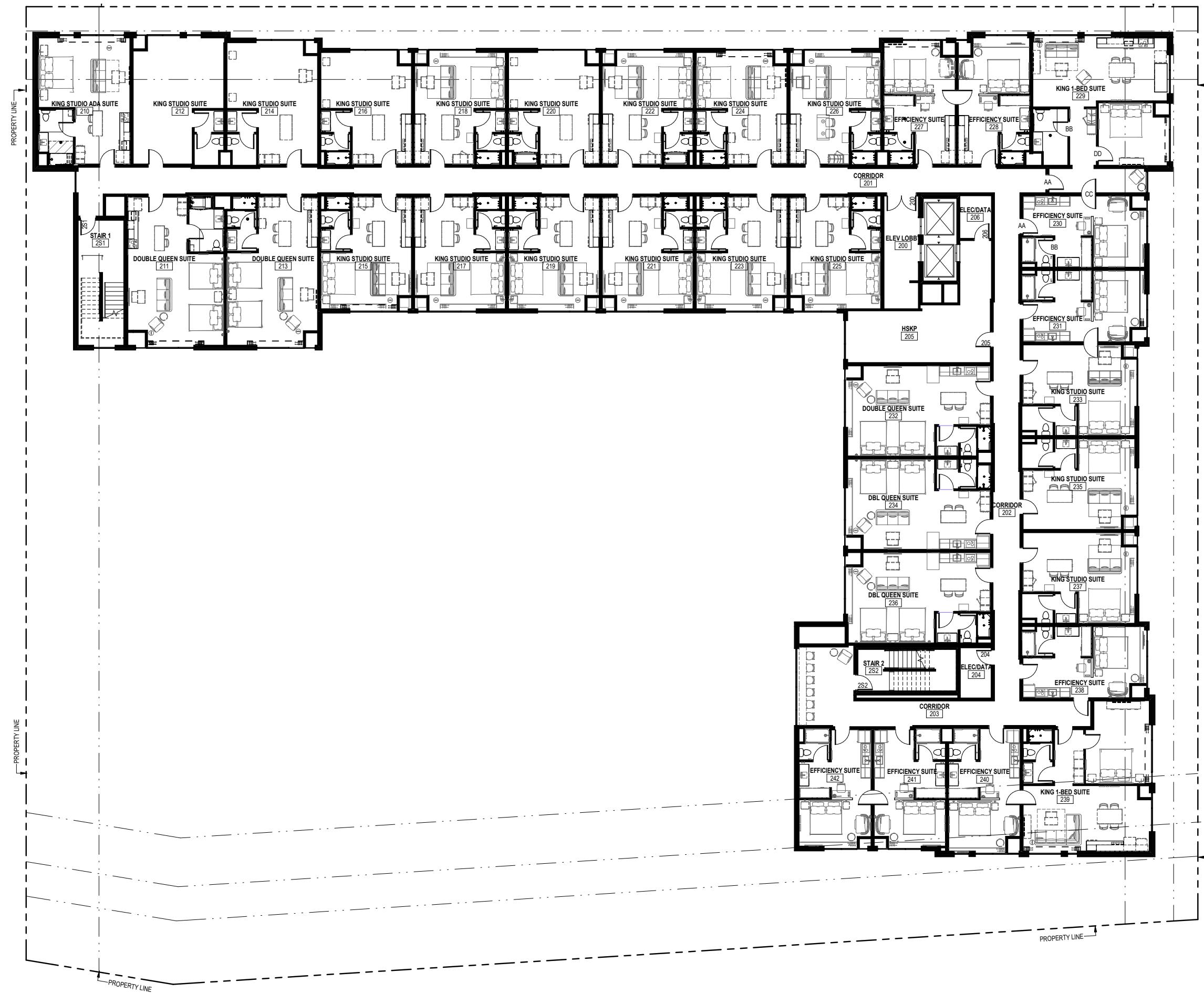
PROPOSED SITE PLAN



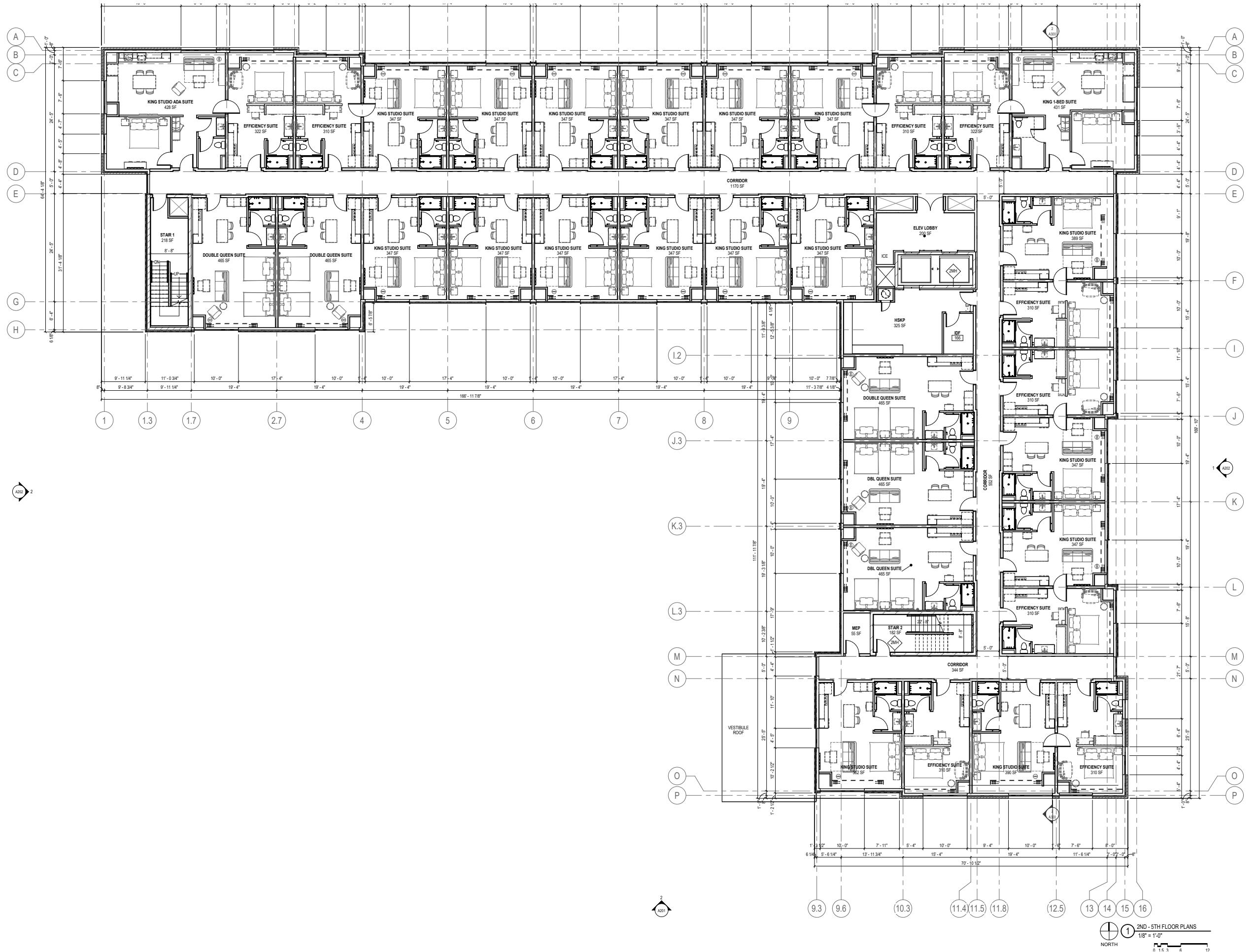
PROPOSED SITE PLAN

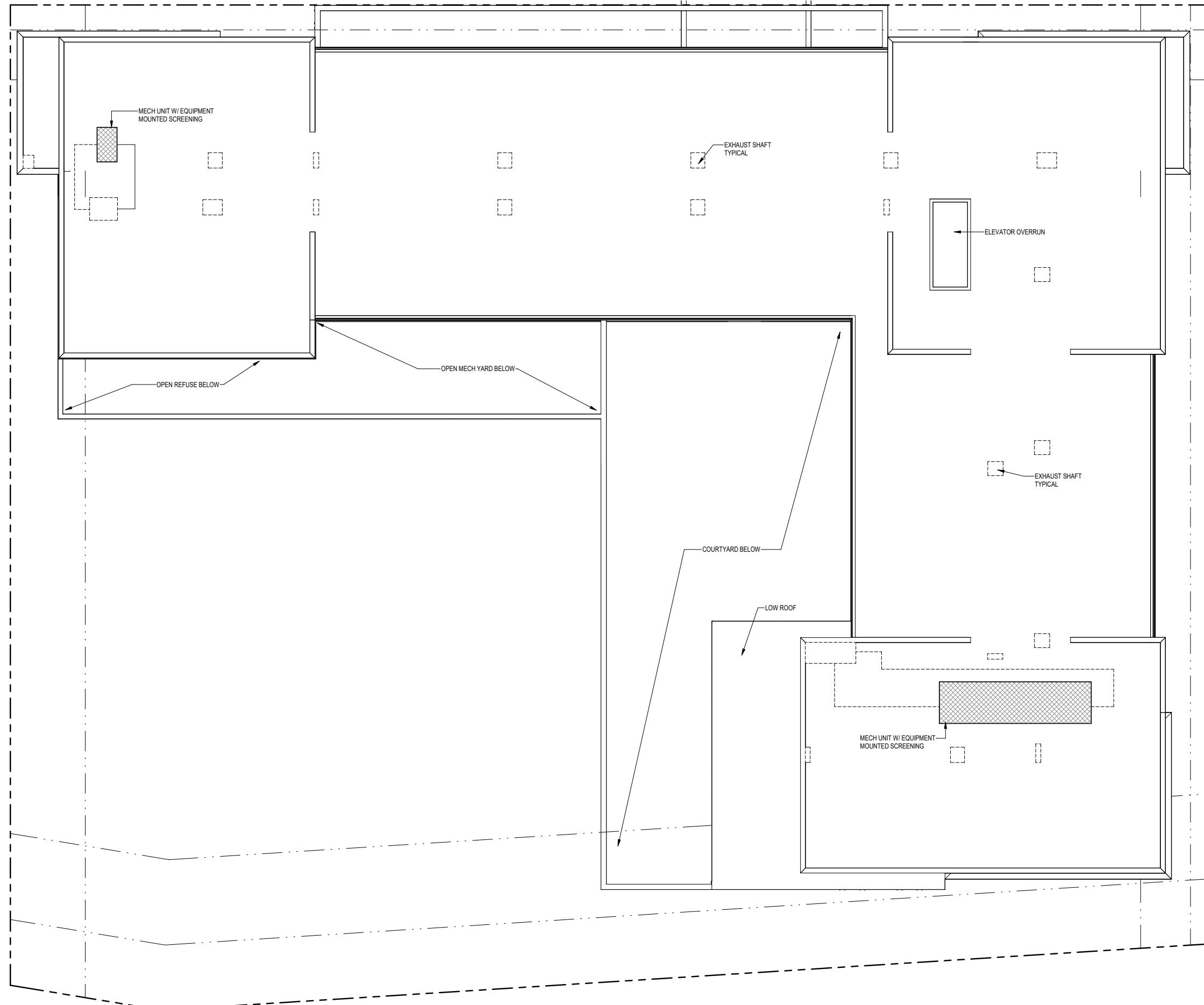


PLANT LIST		SEE SHEET L2.0 FOR A COMPREHENSIVE PLANT SCHEDULE
SYMBOL	CODE	BOTANICAL / COMMON NAME
ORNAMENTAL TREES		
	MAAD	<i>Malus x 'Adirondack'</i> / Adirondack Crabapple
OVERSTORY DECIDUOUS TREES		
	BEPO	<i>Betula populifolia 'Whitespire'</i> - Single / Whitespire Birch - Single
	GLTR	<i>Gleditsia triacanthos inermis 'Shademaster'</i> TM / Shademaster Locust
	PTKC	<i>Gymnocladus dioica 'J.C. McDaniel'</i> TM / Prairie Titan Kentucky Coffeetree
UPLIFT EVERGREEN SHRUB		
	JUCHI	<i>Juniperus chinensis 'Iowa'</i> / Iowa Juniper
	JVIC	<i>Juniperus virginiana 'Canariensis'</i> / Canariensis Eastern Redcedar
DECIDUOUS SHRUBS		
	ARME	<i>Aronia melanocarpa 'Morton'</i> TM / Iroquois Beauty Black Chokeberry
	CAFL	<i>Calycanthus floridus 'SMNCAF'</i> / Simply Scentsational® Sweetshrub
	COSE	<i>Cornus sericea 'Ferro'</i> / Arctic Fire® Red Twig Dogwood
	SISE	<i>Dierama salsifolia 'Cool Splash'</i> / Cool Splash False Honeysuckle
	RHAR	<i>Rhus aromatica 'Gro-Low'</i> / Gro-Low Fragrant Sumac
	VICA	<i>Viburnum carlesii 'SMVCB'</i> TM / Spice Baby Koreanspice Viburnum
EVERGREEN SHRUBS		
	BUGV	<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood
	BUGM	<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood
	PIMU	<i>Pinus mugo</i> / Mugo Pine
	TAMEE	<i>Taxus x media 'Everlow'</i> / Everlow Yew
PERENNIALS & GRASSES		
	ASCHW	<i>Asclepias chinensis 'Vision in White'</i> / Vision in White Chinese Astilbe
	CANE	<i>Calamintha nepeta 'Montrose White'</i> / Montrose White Catmint
	ECFUM	<i>Echinacea purpurea 'Magnus Superior'</i> / Magnus Superior Coneflower
	HEFC	<i>Heuchera x 'Fire Chief'</i> / Fire Chief Coral Bells
	PAVI	<i>Panicum virgatum 'Shenandoah'</i> / Shenandoah Switch Grass
	RUAG	<i>Rudbeckia x 'American Gold Rush'</i> / American Gold Rush Coneflower
	SANEC	<i>Saxifraga nemorosa 'Cardinanna'</i> / Cardinanna Meadow Sage
	SCSCJ	<i>Schizachyrium scoparium 'Jazz'</i> / Jazz Little Bluestem
	SCSC	<i>Schizachyrium scoparium 'Prairie Blues'</i> / Prairie Blues Little Bluestem
	SPHE	<i>Sporobolus heterolepis</i> / Prairie Dropseed
	SPHET	<i>Sporobolus heterolepis 'Tara'</i> / Prairie Dropseed
GROUND COVERS		
	CAPE	<i>Corex pensylvanica</i> / Pennsylvania Sedge

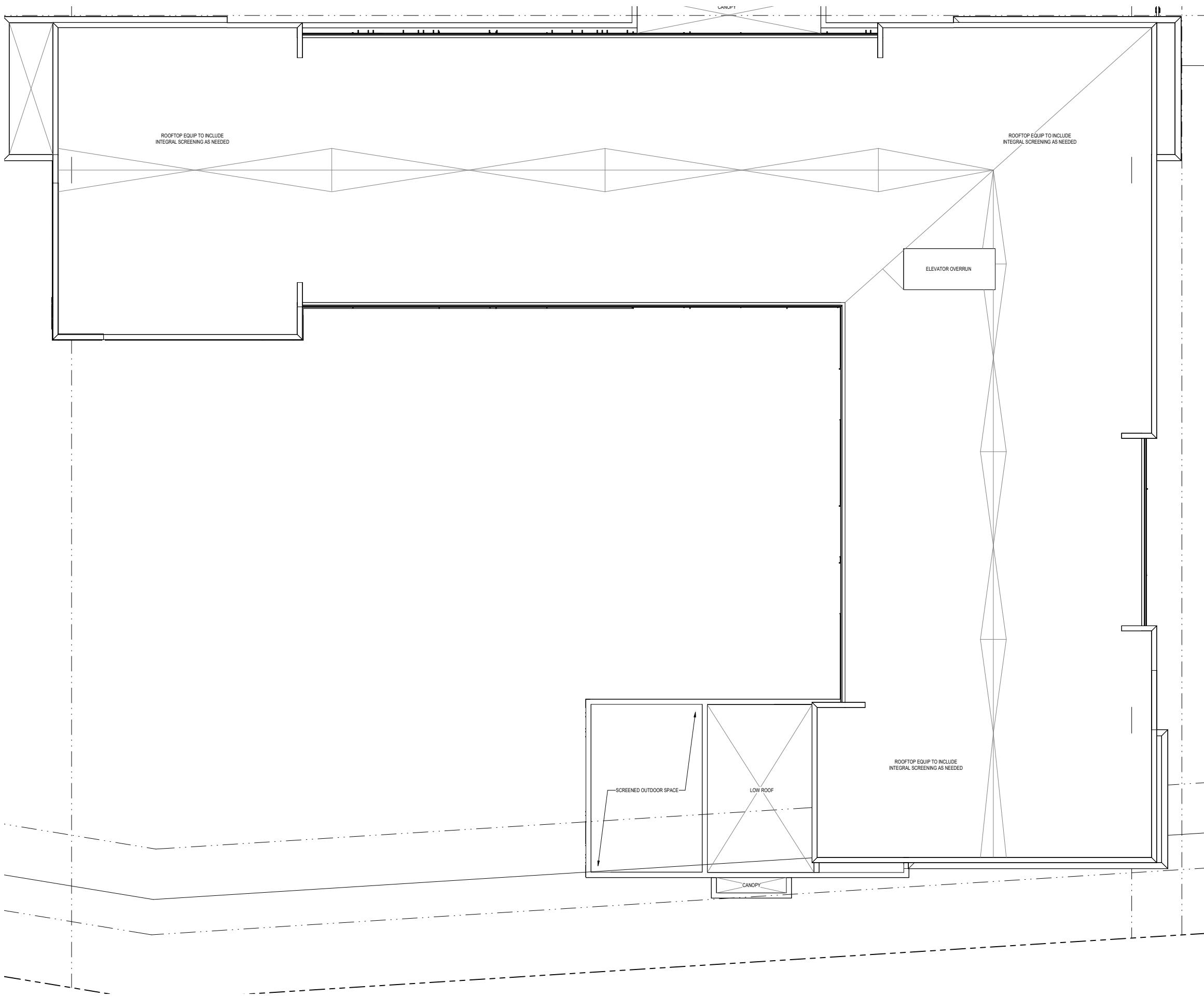


PREVIOUS TYPICAL PLAN





PREVIOUS ROOF PLAN



PROPOSED ROOF PLAN



MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



PREVIOUS MATERIALS



MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



PROPOSED MATERIALS



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② SOUTH ELEVATION



① NORTH ELEVATION

PREVIOUS ELEVATIONS

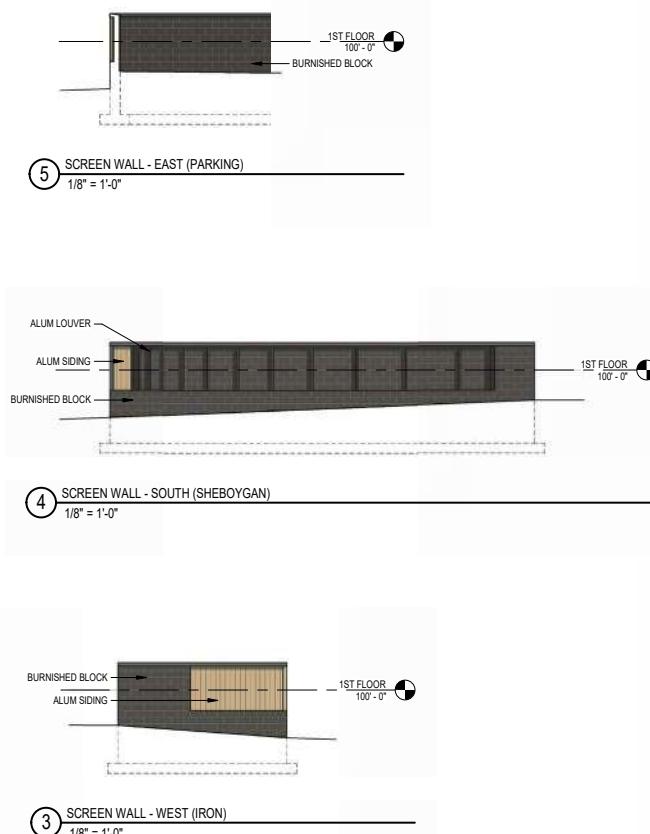


6 SCREEN WALL - NORTH (PARKING)
1/8" = 1'-0"

b $1/8" = 1'-0"$

2 WEST ELEVATION
1/8" = 1'-0"

2 1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

1/8" = 1'-0"

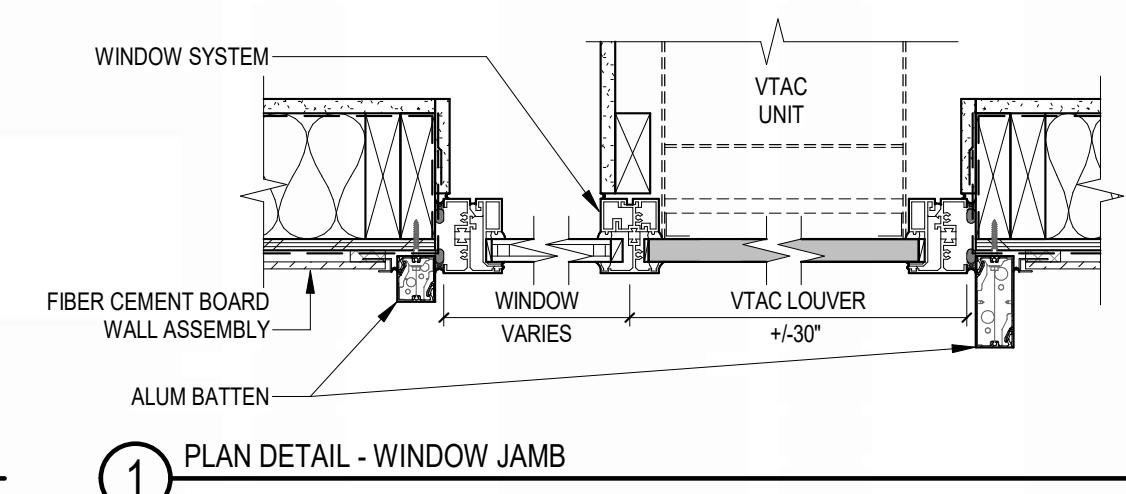
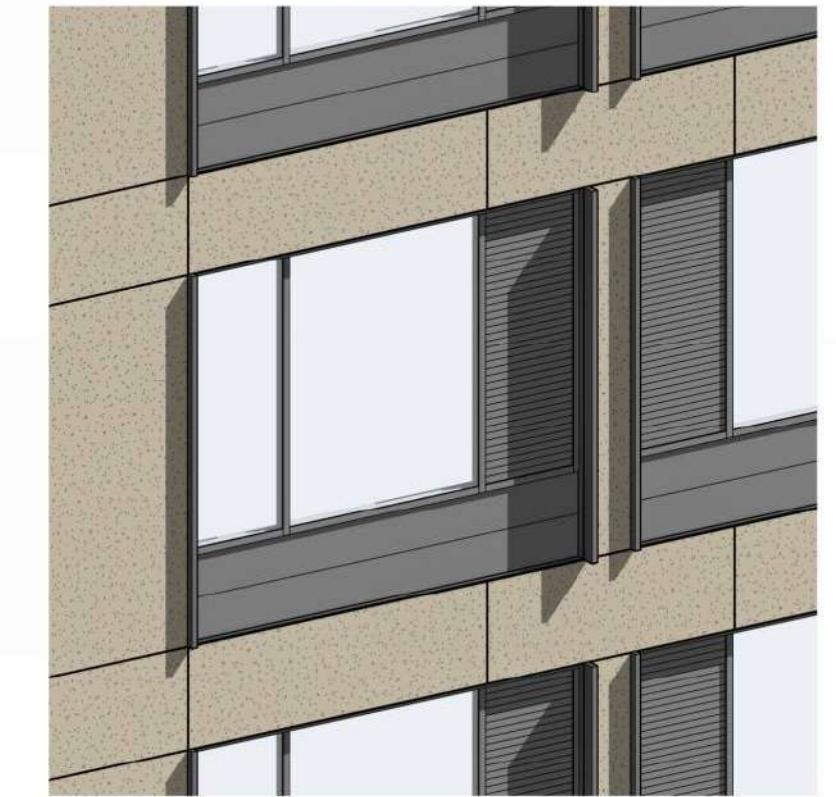
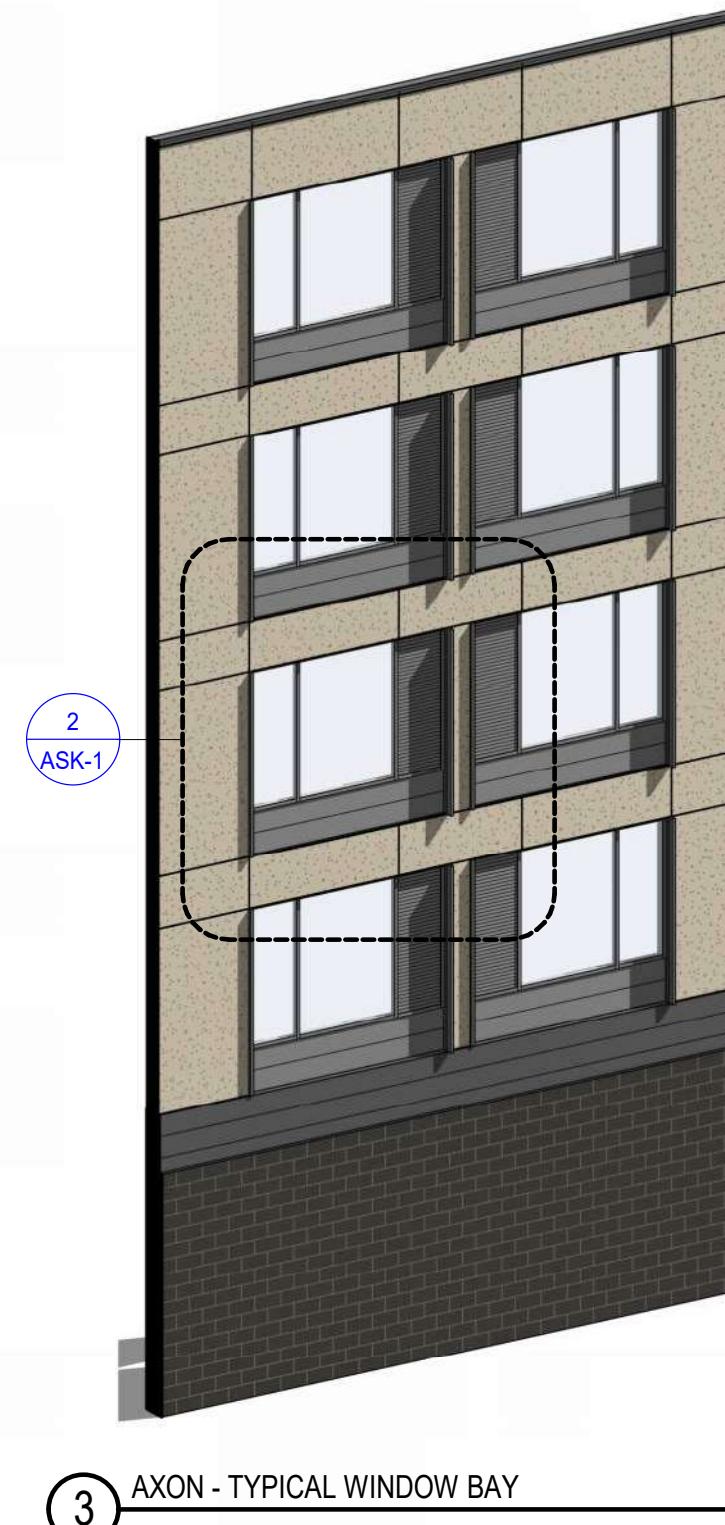
PREVIOUS ELEVATIONS



PROPOSED ELEVATIONS



PROPOSED ELEVATIONS



TYPICAL WINDOW

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SIP SUBMITTAL

MADISON YARDS: BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

KAHLER SLATER PROJECT: 222093.00

JULY 15, 2024

GENERAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
G000	COVER SHEET

CIVIL SHEET INDEX	
SHEET NUMBER	SHEET NAME
B4-C1.0	BLOCK 4 - NOTES & LEGEND
B4-C2.0	BLOCK 4 - OVERALL SITE PLAN
B4-C2.1	BLOCK 4 - SITE PLAN - ANNOTATED
B4-C2.2	BLOCK 4 - SITE PLAN - DIMENSIONED
B4-C3.0	BLOCK 4 - GRADING & EROSION CONTROL PLAN
B4-C4.0	BLOCK 4 - UTILITY PLAN
B4-C5.0	BLOCK 4 - DETAILS

LANDSCAPE SHEET INDEX	
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B4-L1.0	BLOCK 4 LANDSCAPE PLAN
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A111	1ST FLOOR PLAN
A112	2ND - 5TH FLOOR PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

NOT FOR CONSTRUCTION



Revisions

SIP SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
JULY 15, 2024MADISON YARDS:
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00 RAYMOND MANAGEMENT COMPANY

Sheet Title

COVER SHEET

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Sheet No.

G000

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

- GENERAL**
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC INC. DATED FEBRUARY 27, 2018 (REPORT CT7549).
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET ELEVATION REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 455 AND SECTION 460 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. WHEN TEMPERATURE IS BELOW 35° F (1° C) AND AMBIENT TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AMBIENT TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTRA JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS IN AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28U CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT SOCK AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATION COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROVED CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THESE STANDARDS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVERS, SHEETING, PLANT MODIFICATIONS, THE APPROVED EROSION CONTROL DESIGN AND TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE UNTIL THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAVED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY 48" HIGH. CLEARANCE OVER THE ENTRANCE ENDS SHALL BE PROVIDED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SILT, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERTS TO PREVENT SEDIMENT DEPOSITION IN STORM SEWER INLETS.
- INST-FALL EROSION CONTROL ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
B. PLACE EXCAVATED TRENCH MATERIAL ON THE LOW SIDE OF THE TRENCH.
C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE Dewatering TECHNICAL STANDARD NO. 1059 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE SWALE.
- ALL SUPER-1/4" OR SMALLER SOIL MATERIAL STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICABLE EROSION NETTING (WIDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITH 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW). DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING, EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE REINFORCED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND INDIA TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1058.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
17.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION HAS CEASED. IN CASES WHERE CONSTRUCTION ACTIVITY HAS CEASED, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
17.2. CONSTRUCTION ACTIVITY SHALL CEASE ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. CONSTRUCTION ACTIVITY SHALL CEASE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED). STABILIZATION MEASURE SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS. THE LENGTH OF TIME A MEASURE MUST BE EFFECTIVE IS THE FOLLOWING ACCEPTABLE STABILIZATION MEASURES:
• TEMPORARY SEEDING, WHICH CONFORMS TO APPROVED CONSTRUCTION SPECIFICATION
• HYDRO-MULCHING WITH A TACKIFIER
• HYDRO-EROSION MATTING
• SODDING

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BUILD THE EARTHWORK, BUILDING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVING GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SD OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEADED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEADED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVERSUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEADED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR MORE THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO ACCURATE. ALL INFORMATION CONTAINED IS PROVIDED FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ALL SITE CONDITIONS ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- OBTAINING ALL PERMITS (INCLUDED PERMIT COSTS, TAC FEES, METER DEPOSITS, BONDS, AND OTHER FEES) REQUIRED FOR PROPOSED CONSTRUCTION, OBTAINING APPROVALS FOR CONSTRUCTION, VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY CONSTRUCTION ACTIVITIES THAT COULD DAMAGE ANY UNDERGROUND IMPROVEMENTS.
- NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
- NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION FOR APPROVAL OF CONSTRUCTION ACTIVITIES INVOLVING CONSTRUCTION COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, WISCONSIN AND ALL STATE LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION ACTIVITIES INVOLVING CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY, SANITARY SEWER, SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAVED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGN IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED, CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM C-76 WITH RUBBER GASKET JOINTS) CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE MANUFACTURED AND ADDED TO EQUAL WITH WATER-TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1"-B" X 2"-6" MAXIMUM OPENING. CURB FRAME & GATE SHALL MEET NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE AS SHOWN ON SHEET C4.0.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS -
PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-500, CLASS 100, DIA. 12", WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL JOINTS. CONCRETE WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(1)(h).

VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATION OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST NOZZLE TO THE GROUND LINE SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE AS SHOWN ON SHEET C4.0.

15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

SPOT ELEVATION
EP - EDGE OF PAVEMENT
FG - FINISH GRADE
EC - EXISTING CONCRETE
BC - BACK OF CURB
MATCH - MATCH EXISTING GRADE
HP - HIGH POINT
SW - SIDEWALK

CONSTRUCTION ENTRANCE

EROSION MATTING


FRAMED INLET PROTECTION

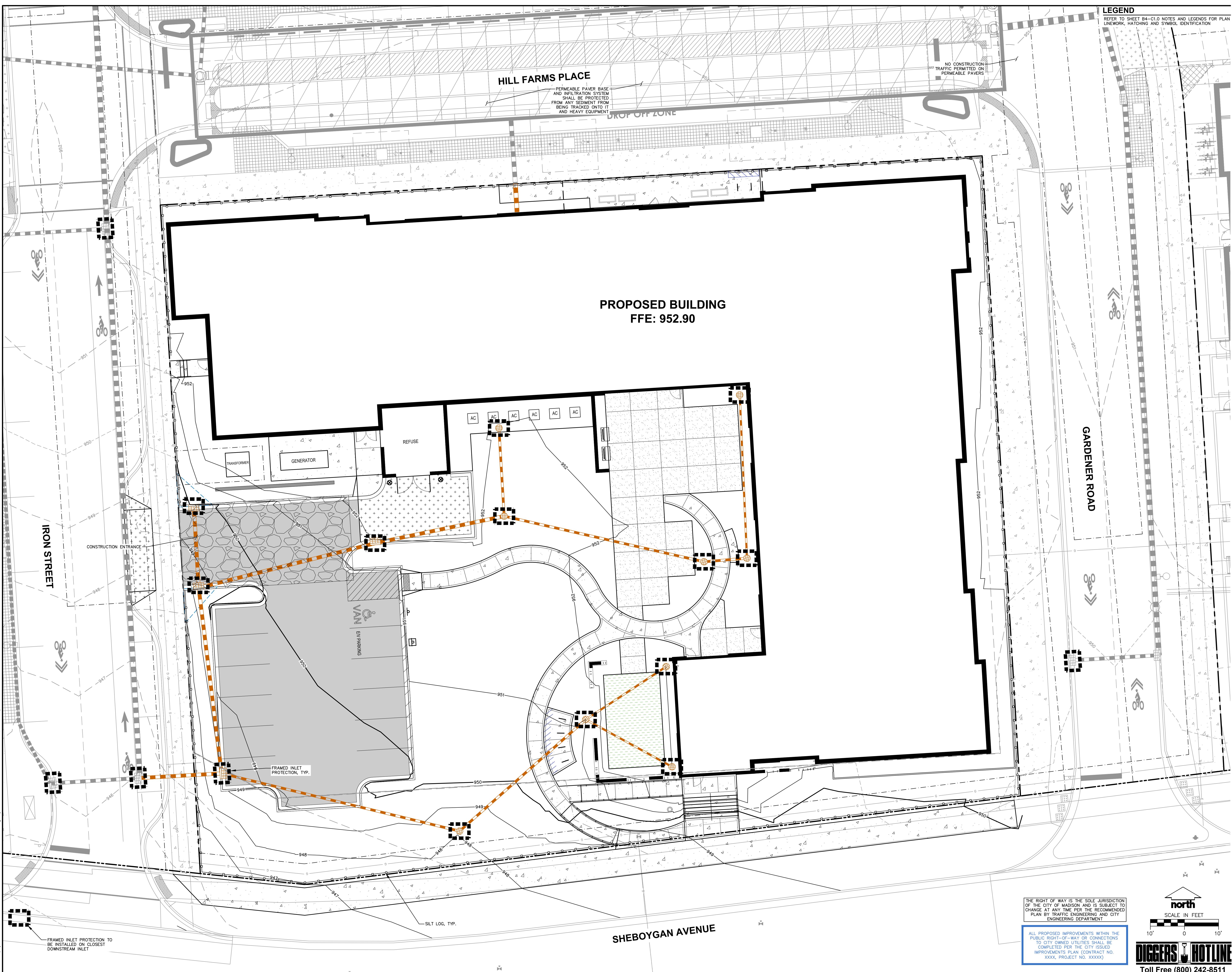
CITY FORESTRY NOTES

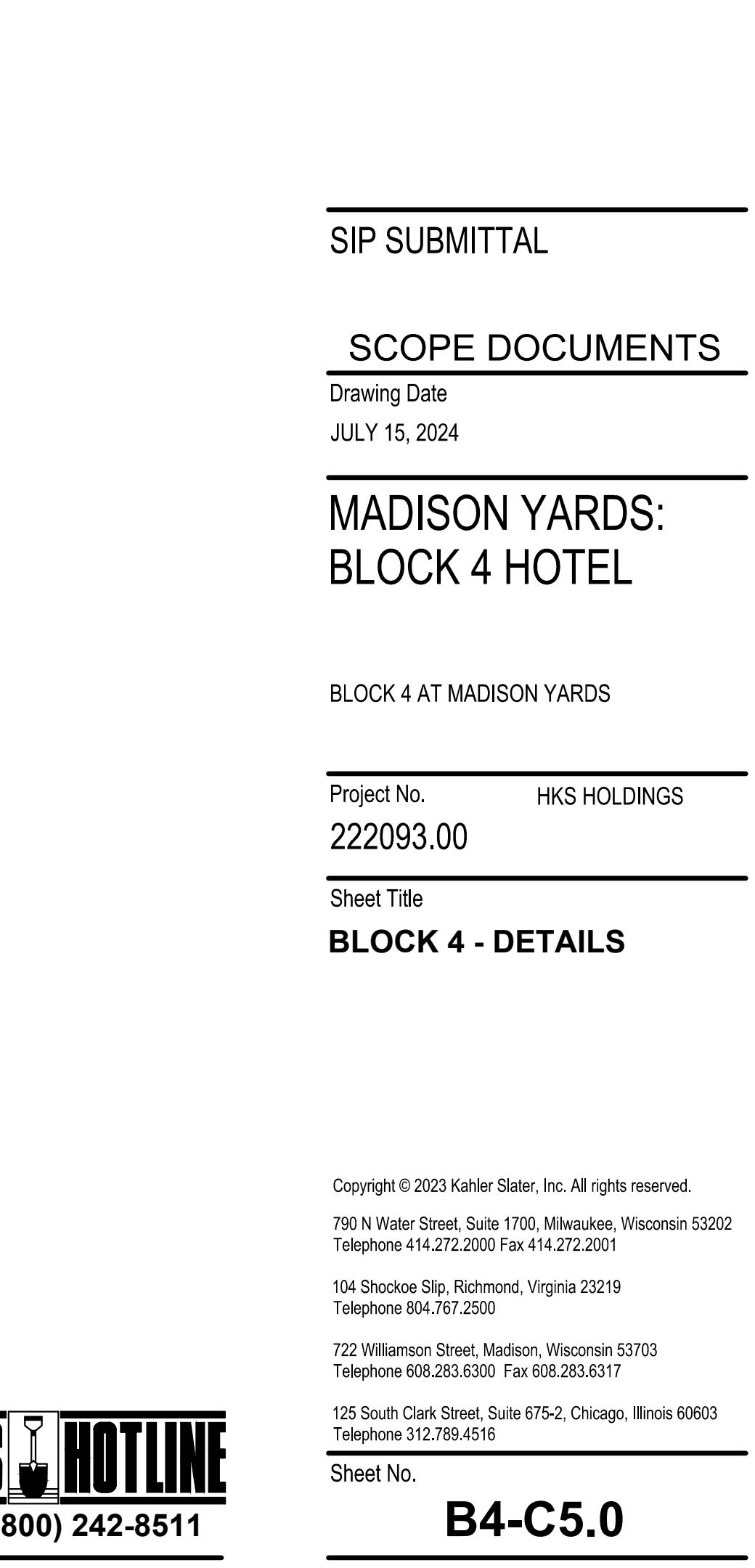
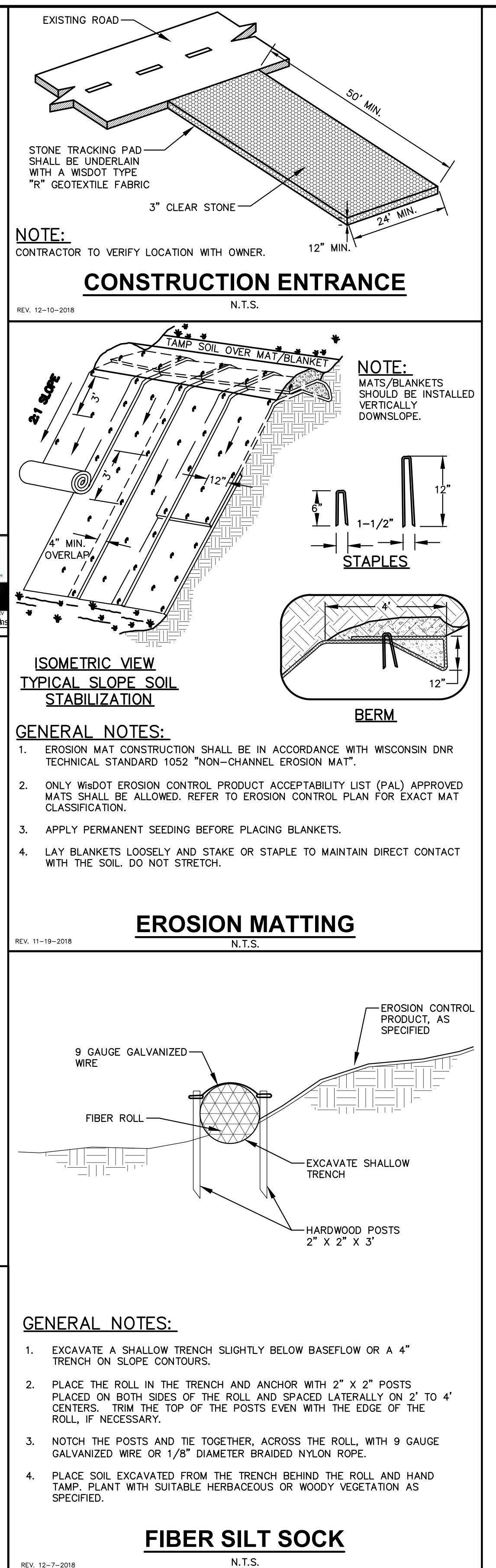
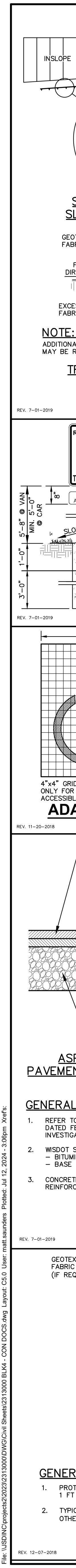
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL BY THE PLAN COMMISSION. APPROVED CITY FORESTRY APPROVALS FOR STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE SEWER AND WATER COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF 72 HOURS FOR APPROVAL. APPROVALS WILL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

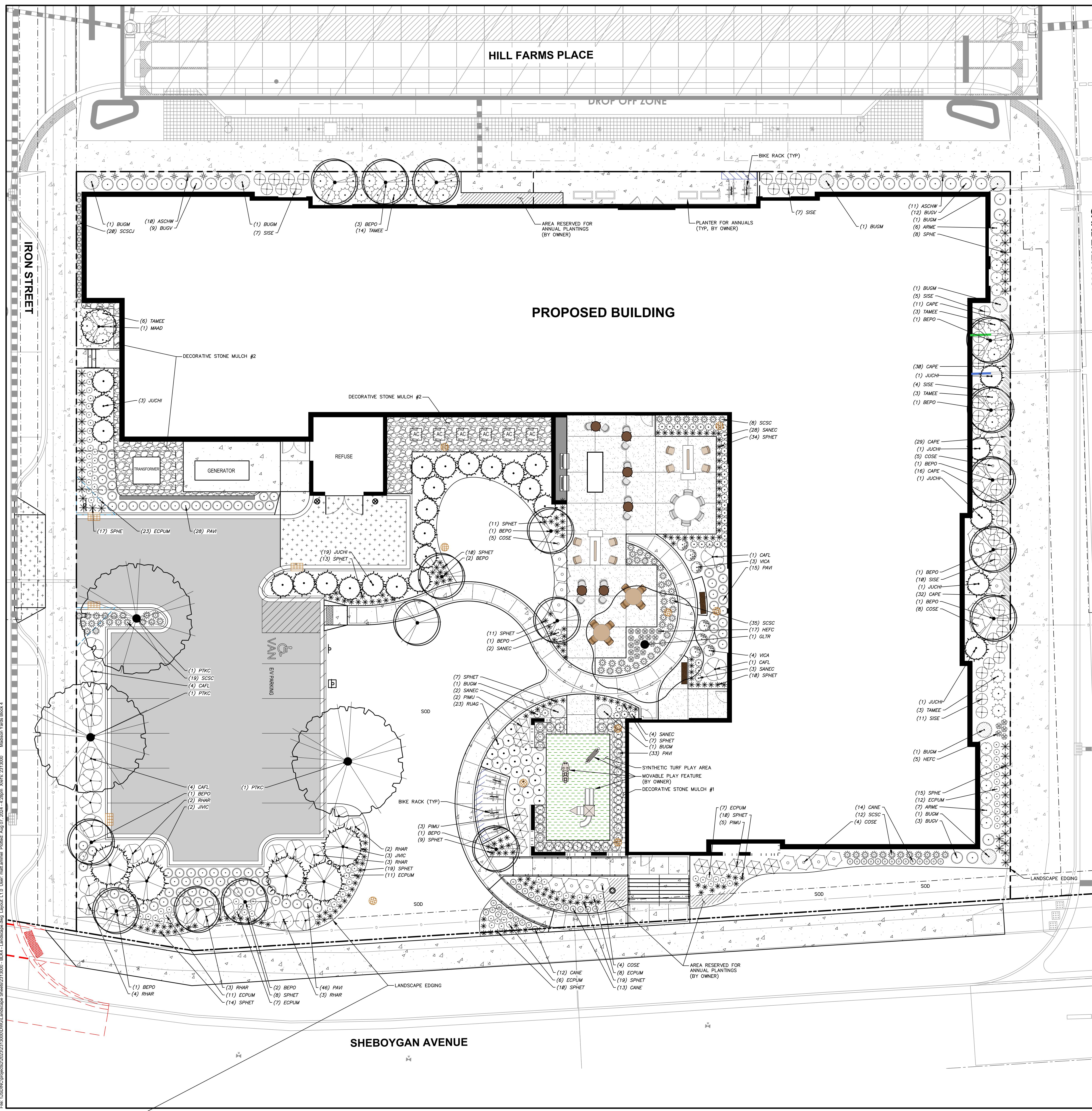
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF A STREET TREE. EXCAVATION IS PERMITTED ON THE DIADEMON OF THE TRUNK IF THE EXCAVATION IS NECESSARY. THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE STREET TREE AND APPROVE THE EXCAVATION. APPROVAL IS COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>

- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING EQUIPMENT WITH A LOW GROUND PRESSURE, SLOW SPEED, AND A LOW GROUND PRESSURE. MAINTAIN A 12" PROTECTION ZONE A



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PLANT LIST	
SEE SHEET L2.0 FOR A COMPREHENSIVE PLANT SCHEDULE	
SYMBOL	CODE BOTANICAL / COMMON NAME
ORNAMENTAL TREES	
MAAD	Malus x 'Adirondack' / Adirondack Crabapple
BEP0	Betula populifolia 'Whitespire' - Single / Whitespire Birch - Single
GLTR	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust
PTKC	Gymnocladus dioica 'U.C. McDaniel' TM / Prairie Titan Kentucky Coffeetree
JUCHI	Juniperus chinensis 'Iowa' / Iowa Juniper
JIVC	Juniperus virginiana 'Conaertii' / Conaertii Eastern Redcedar
DECIDUOUS SHRUBS	
ARME	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry
CAF1	Calycanthus floridus 'SMNCFA' / Simply Scentsational® Sweetshrub
COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood
SISE	Dierama salsifolia 'Cool Splash' / Cool Splash False Honeysuckle
RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
VICA	Viburnum carlesii 'SMVCB' TM / Spice Baby Koreanspice Viburnum
EVERGREEN SHRUBS	
BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood
BUGM	Buxus x 'Green Mountain' / Green Mountain Boxwood
PIMU	Pinus mugo / Mugo Pine
TAMEE	Taxus x media 'Everlow' / Everlow Yew
PERENNIALS & GRASSES	
ASCHW	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
CAFE	Calamagrostis nepetoides 'Montrose White' / Montrose White Catmint
ECPUM	Echinacea purpurea 'Magnus Superior' / Magnus Superior Coneflower
HEFC	Heuchera x 'Fire Chief' / Fire Chief Coral Bells
PAVI	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
RUAG	Rudbeckia x 'American Gold Rush' / American Gold Rush Coneflower
SANEC	Salvia nemorosa 'Caradonna' / Caradonna Meadow Sage
SCSC	Schizachyrium scoparium 'Jazz' / Jazz Little Bluestem
SPHE	Sporobolus heterolepis / Prairie Dropseed
SPHET	Sporobolus heterolepis 'Toro' / Prairie Dropseed
GROUND COVERS	
CAPE	Carex pensylvanica / Pennsylvania Sedge

Revisions

SIP SUBMITTAL**SCOPE DOCUMENTS**Drawing Date
JULY 15, 2024**MADISON YARDS: BLOCK 4 HOTEL**

BLOCK 4 AT MADISON YARDS

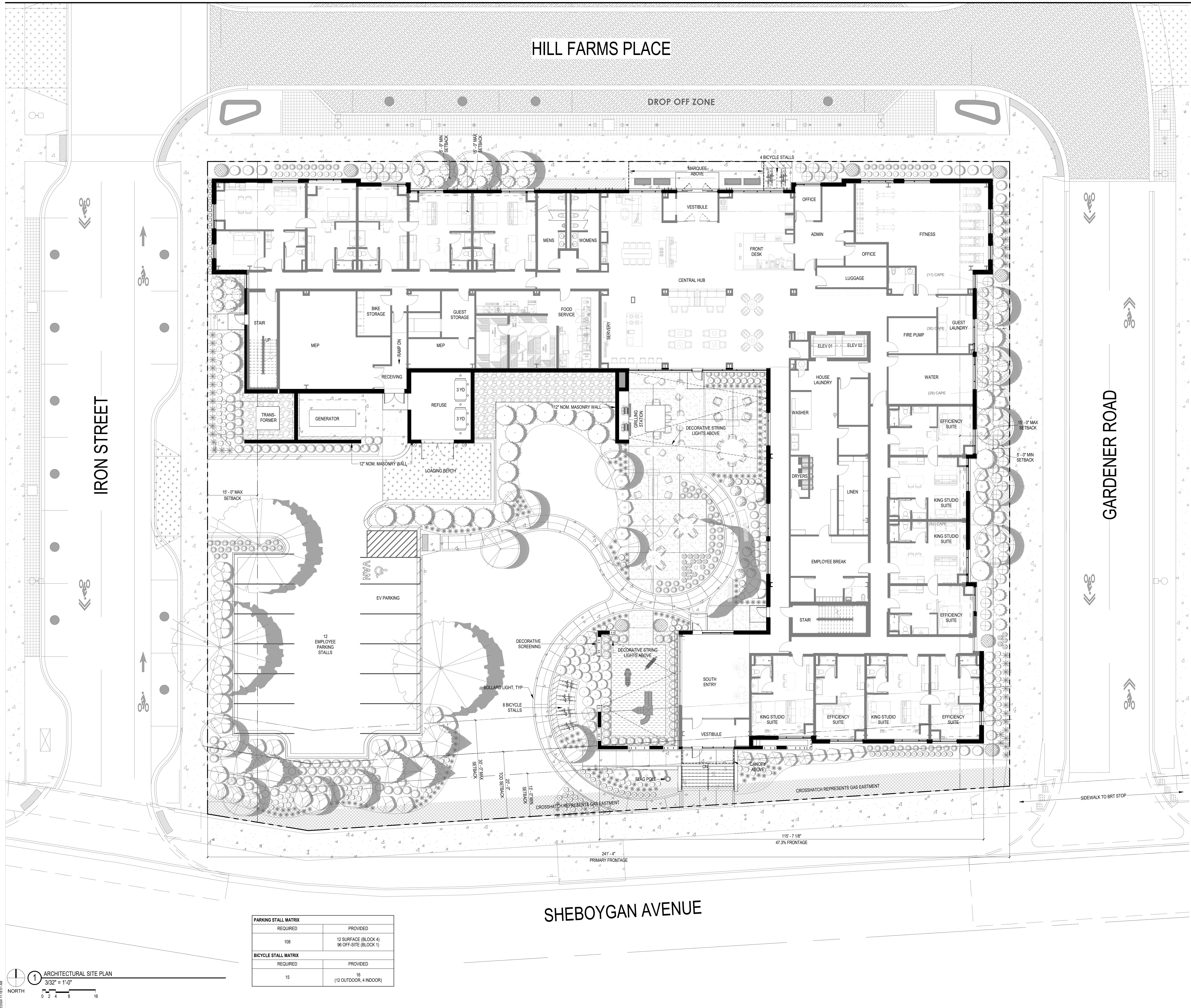
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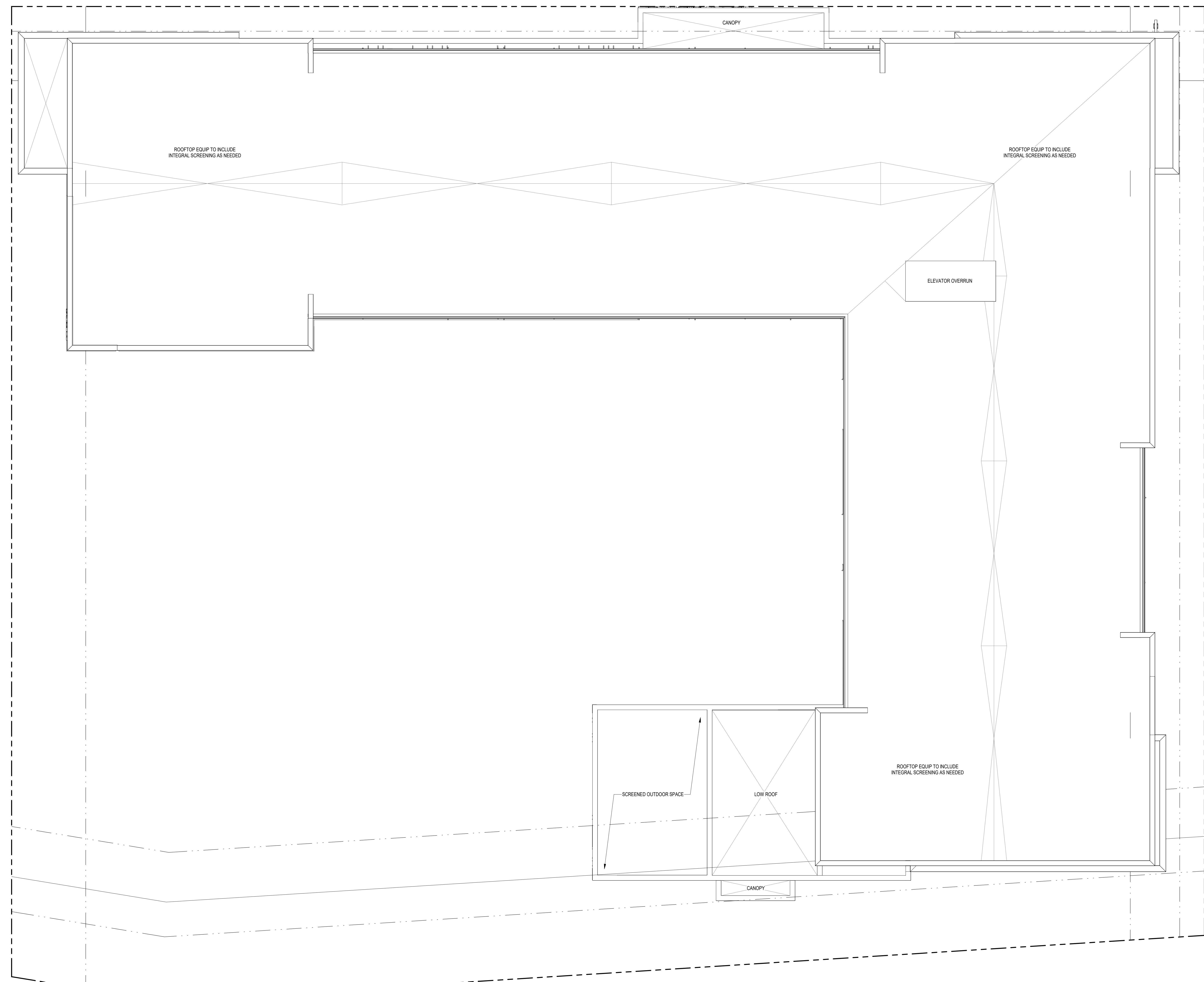
Sheet Title

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LANDSCAPE PLAN**Copyright © 2023 Kahler Slater, Inc. All rights reserved.
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Telephone 312.789.4516

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B4-L1.0





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Revisions

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SCOPE DOCUMENTS

Drawing Date
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MADISON YARDS:
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00 RAYMOND MANAGEMENT COMPANY

Sheet Title

ROOF PLAN

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Sheet No.

A116

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EXTERIOR ELEVATION GENERAL NOTES	BRICK - DARK GRAY	BRICK - LIGHT GRAY	TEXTURED METAL PANEL	FIBER CEMENT BOARD - TAN	WOOD LOOK ACCENT
1. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.					
2. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.					
3. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.					
4. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.					

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Drawing Date
JULY 15, 2024MADISON YARDS:
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00
RAYMOND MANAGEMENT COMPANYSheet Title
EXTERIOR ELEVATIONS

EXTERIOR ELEVATION GENERAL NOTES

- ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
- WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
- CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER, CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.
- PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.

BRICK - DARK GRAY



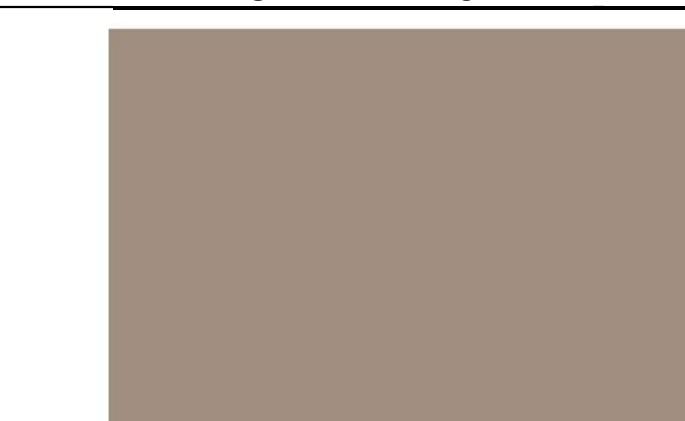
BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



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