



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>November 21, 2014</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>December 3, 2014</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>November 24, 2014</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 702 S. High Point Road  
Project Title (if any): Bishop O'Connor Catholic Pastoral Center

2. This is an application for (Check all that apply to this UDC application):

- New Development
- Alteration to an Existing or Previously-Approved Development

**A. Project Type:**

- Project in an Urban Design District\* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

**B. Signage:**

- Comprehensive Design Review\* (public hearing-\$300 fee)
- Street Graphics Variance\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

**C. Other:**

- Please specify: \_\_\_\_\_

**3. Applicant, Agent & Property Owner Information:**

Applicant Name: Msgr. James Bartylla  
 Street Address: 702 S. High Point Rd  
 Telephone: (608) 821-3000 Fax: ( )

Company: Holy Name Catholic Center, Inc  
 City/State: Madison, WI Zip: 53719  
 Email: James.Bartylla@straphael.org

Project Contact Person: Marc Ott  
 Street Address: 200 N. Main Street  
 Telephone: (608) 835-6388 Fax: ( )

Company: Gorman & Company, Inc.  
 City/State: Oregon, WI Zip: 53575  
 Email: mott@gormanusa.com

Project Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 Telephone: ( ) Fax: ( )

City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: \_\_\_\_\_

**4. Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on Sept 4 (D.A.T.).  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Msgr. James Bartylla

Relationship to Property Corporate Vice-President (Officer & Director of Corporation that owns land & building)

Authorized Signature Msgr. James Bartylla

Date September 22, 2014

## 5. Submission Requirements

**Application:** Each submittal must include **14 collated paper copies** (11" x 17" max.) and an **electronic copy** of all application materials. The electronic copy must include individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM submitted with the paper copies, or in an e-mail sent to: [UDCApplications@cityofmadison.com](mailto:UDCApplications@cityofmadison.com). The transmittal shall include the name of the project, address, and applicant. Applicants unable to provide the materials electronically should contact the Secretary of the Urban Design Commission at 267-8740 for assistance. **For an application to be considered complete and scheduled for a UDC meeting, both the paper copies and electronic copy need to be submitted prior to the application deadline. Late materials will not be accepted.** An application is required for **each** UDC appearance. For projects also requiring Plan Commission approval, applicants must have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be easily read when reduced.

**Fees:** Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer, Madison, Wisconsin.

**Project Plans:** The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

### 1. Informational Presentation

- Locator Map
- Brief Narrative Description of the Project, Site Plan, and 2-dimensional images of proposed buildings or structures. Additional information may provide for a greater level of feedback from the Commission.
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Any and all relevant plans and information on which feedback from the UDC is requested.

### 2. Initial Approval

- Locator Map
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List
- Building Elevations for all building sides
- PD text and letter of intent (if applicable)

### 3. Final Approval

- Locator Map
- Site Plan showing location of existing and proposed buildings
- Grading Plan
- Landscape Plan
- Plant List, including scientific name, size at planting, quantity and root condition for each species.
- Building Elevations for all building sides, colored with shadow lines, including exterior building materials and colors.
- Proposed Signage
- Lighting Plan, including fixture cut sheets and photometrics plan
- Utility/HVAC equipment location and screening details
- PD text and letter of intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)



200 N. Main Street • Oregon, WI 53575

P: (608) 835-3900

F: (608) 835-3922

[www.GormanUSA.com](http://www.GormanUSA.com)

**REAL ESTATE DEVELOPMENT**

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

November 21, 2014

Mr. Al Martin  
Urban Design Commission  
215 Martin Luther King Jr. Blvd  
P.O. Box 2985  
Madison, WI 53701

Re: Letter of Intent  
PD-SIP Re Zoning  
702 S. High Point Rd  
Madison, WI 53719

Dear Mr. Martin:

The following is submitted together with the plans, and application for staff approval.

**Project Organizational Structure:**

Owner: Holy Name Catholic Center, Inc.  
Bishop O'Connor Catholic Pastoral Center  
702 S. High Point Rd.  
Madison, WI 53719  
608-821-3000  
Contact: Msgr. James Bartylla  
[James.Bartylla@straphael.org](mailto:James.Bartylla@straphael.org)

Architect: Gorman & Company, Inc.  
200 N. Main Street  
Oregon, WI 53575  
608-835-3900  
Contact: Marc Ott  
[mott@gormanusa.com](mailto:mott@gormanusa.com)

Civil: Vierbicher  
Engineer 999 Fourier Dr, Suite 201  
Madison, WI 53717  
608-821-3959  
Contact: Tim Schleeper  
[tsch@vierbicher.com](mailto:tsch@vierbicher.com)

Landscape: Vierbicher  
Design 999 Fourier Dr, Suite 201  
Madison, WI 53717  
608-826-0532  
Contact: Suzanne Vincent  
[svin@vierbicher.com](mailto:svin@vierbicher.com)

**Introduction:**

The site property is located on the far west side of Madison, between S. High Point Road, Watts Road, and Cnty Hwy M. The property is 72 acres and consists of the original Holy Name Seminary building built in 1963, a residence traditionally reserved for the Bishop, garage and maintenance building, three athletic fields, and nature walking trails.

Currently, the main building contains office space for the Diocese of Madison, Catholic Charities, and other Catholic-based organizations. The central chapel offers daily Mass service and special religious celebrations such as diaconate ordinations (the ordination of seminarians to the transitional diaconate), in advance of ordination to the priesthood, which typically occurs within one year. There are also several existing apartments and dorm rooms which house Diocesan priests, traveling priests, and people who are presenting lectures or classes at the Bishop O'Connor Catholic Pastoral Center.

The original kitchen within the building is leased by Blue Plate Catering. In addition to use by the Diocese, the auditorium, gymnasium and conference rooms are also available for rental by the general public.

**Zoning:**

The site is currently within the Ganser Heights plat map dated February 12, 2002. This plat map is included with this application for reference. Lot 1, 2, & 4 are currently zoned A, while Lot 3 is currently zoned SR-C1. The intent of this re-zoning submittal is to rezone Lots 1, 2, 3, & 4 to PD to allow for the diverse uses of the Catholic Diocese and their institutional mission.

**Project Description:**

The mission statement for this project is to revitalize and more intensively use portions of the building by providing high quality housing in a religious environment as an extension of the institutional purpose.

The building has been submitted to the National Parks Service for historic designation. As part of the historic process most of the building fabric will be maintained, including the exterior of the building, the chapel, and other historical areas. The dorm room and conference room areas will be renovated to accommodate 57 apartment units, 1 guest suite, amenity space, and additional offices. Additionally the original indoor swimming pool and locker rooms will be renovated and restored for lease to a local swim clubs in order to help fill a community need.

There is an existing underground parking garage located at the rear of the building on the west side. The structure does have open air parking on the roof which is at grade out the rear entrance of the building. This structure will be renovated to enclose the existing upper level of surface parking with masonry construction and pitched roof to match the existing structure. This renovation will provide the apartments with enclosed parking at a ratio of 1 stall per 1 apartment.

Trash and recycling collection for the apartment tenants, and offices will take place in a newly created trash room located in the existing maintenance garage. Trash for Blue Plate Catering will be in a new outdoor screened enclosure. All site maintenance equipment will be located in the existing lower level maintenance garage at the north end of the parking structure.

**Project Development Data:**

**Site Density:**

Lot area:	3,162,276 s.f. (72.59 acres)
Dwelling Units:	58 Units
Lot Area / D.U.	54,522 s.f / d.u.
Density	1.25 d.u. / acre

Site Coverage:

Building:	97,513 s.f. ( 3.1 %)
Asphalt:	264,098 s.f. ( 8.4 %)
Sidewalks:	21,222 s.f. ( 0.7 %)
Pervious:	2,779,443 s.f. (87.8 %)

Building Ratio

Diocese Offices:	65,211 s.f. (28.4 %)
Diocese Apartments:	3,229 s.f. ( 1.4 %)
Religious Chapel:	13,241 s.f. ( 5.8 %)
Catering Kitchen:	6,171 s.f. ( 2.7 %)
Apartments & Amenities	72,330 s.f. (31.5 %)
Pool:	9,666 s.f. ( 4.2 %)
Gymnasium:	7,554 s.f. ( 3.3 %)
Misc (corridor, mech, stairs):	<u>52,280 s.f. (22.7 %)</u>
	229,682 s.f. Total Building Area

Dwelling Unit Mix

Guest Suite	1
One Bedroom	32
Two Bedroom	<u>25</u>
	58 Total

Bike Parking:

Enclosed:	13
Surface:	<u>48</u>
	61 Total

Vehicular Parking:

Enclosed	60
Surface	<u>292</u>
	352 Total

**Schedule:**

The development schedule calls for construction to start January of 2015, with a scheduled completion in June 2016.

**Social & Economic Impacts:**

This development will have a positive social and economic impact on the surrounding community. The re-development of this property will revitalize a historic property, provide high quality in-fill housing, and infuse local businesses with new revenue sources.

Thank you for your time in reviewing our proposal.

Sincerely,

Marc Ott, AIA  
Lead Architect – Wisconsin Market  
Gorman & Company, Inc.

## Zoning Text

Rezoning SR-C1 to PD-SIP

Bishop O'Connor Catholic Pastoral Center

702 S. High Point Road

Lot 1, 2, 3, & 4 Ganser Heights

November 21, 2014

**Legal Description:** Lot 1, 2, 3, & 4 of the Ganser Heights Plat as recorded in Volume 58-009A of Plats, on Pages 43-46, as document number 3620109, Dane County Registry, City of Madison, Dane County Wisconsin.

- A. **Statement of Purpose:** Re-zoning of Lot 1, 2, 3, & 4 from SR-C1 & A to PD-SIP to allow for the renovation of part of the building to use as 58 multifamily dwelling units, while retaining the Diocese of Madison offices and catholic chapel.
- B. **Permitted Uses:** Uses as shown on Exhibit A, attached hereto
- C. **Lot Area:** Lot 1, 2, 3, & 4 – 3,162,276 s.f. (72.59 acres)
- D. **Floor Area Ratio:** 13.7
- E. **Yard Requirements:** As shown the attached plans
- F. **Landscaping:** Site landscaping is existing and provided as shown on the attached landscape plan.
- G. **Accessory Off-Site Parking & Loading:** Off-street and surface parking shall be provided as shown the attached plans.
- H. **Lighting:** Site lighting is existing and provided as shown on the attached site plan
- I. **Signage:** The property currently has a monument sign along S. High Point Road. This sign will continue to be utilized.
- J. **Family Definition:** The definition of this PD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the SR-C1 zoning district
- K. **Alterations and Revisions:** No alteration or revision of the planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administration may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

## **Exhibit A – Permitted Uses:**

### **Residential**

- Adult family home
- Assisted Living-Facility
- Co-housing
- Community living arrangement
- Dormitory
- Multi-family dwelling (> 8 dwelling units)

### **Civic & Institutional**

- Place of Worship
- Schools, public & private
- Community Event

### **Retail, Service, Recreation, & Other Uses**

- Counseling and community services
- Offices for human service programs
- Outdoor recreation
- Athletic fields
- Recreational, community, and neighborhood center
- Radio Broadcast service facility

### **Offices**

- General office, professional office

### **Food and Beverage**

- Catering
- Coffee Shop, tea house

### **Agriculture**

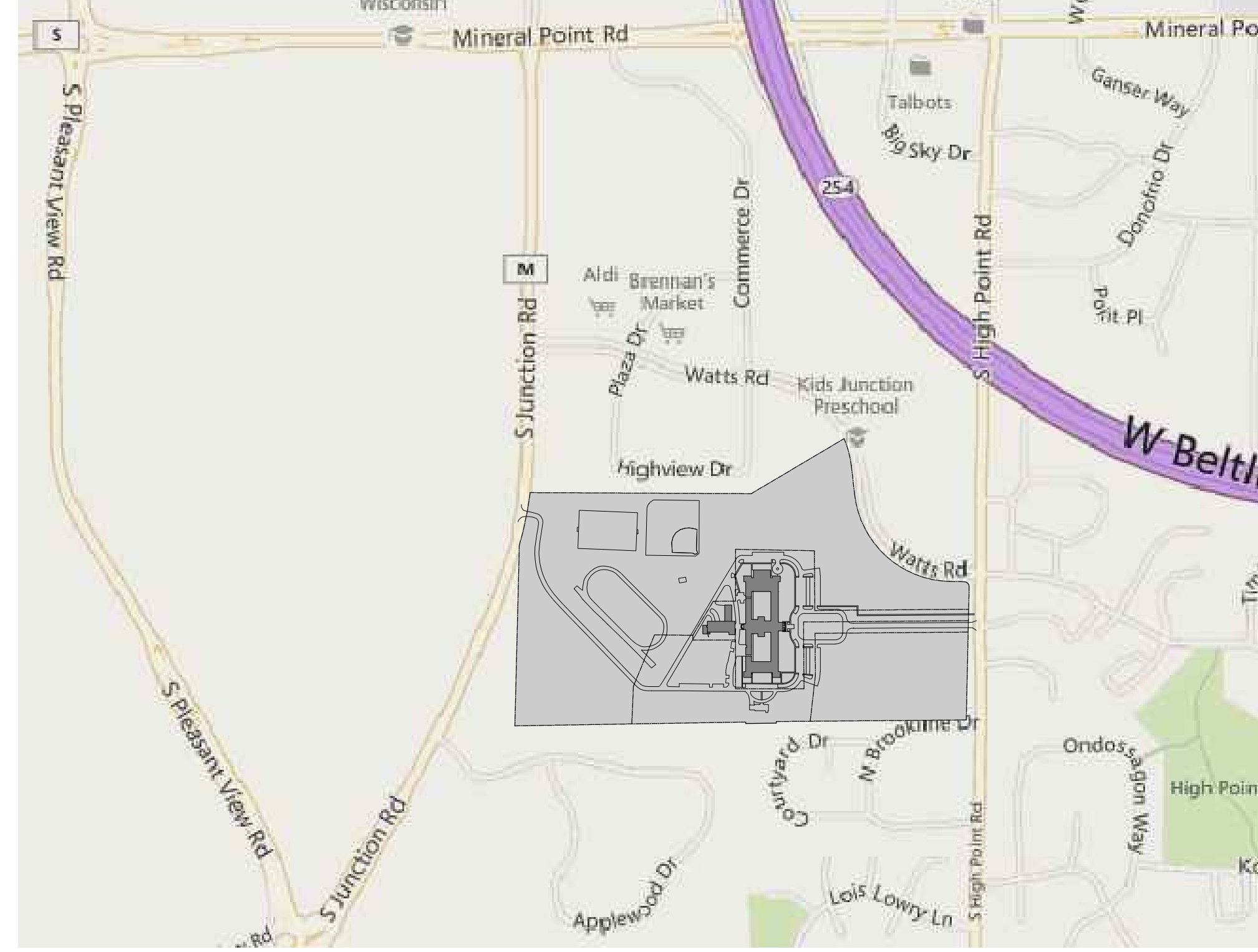
- Community garden

### **Accessory Uses and Structures**

- Accessory building or structure
- Accessory dwelling unit
- Caretaker's dwelling
- Convent, monastery or similar residential group
- Management office, restaurant, limited retail, recreation facilities within multi-family building
- Mission house
- Temporary buildings for storage of construction material and equipment
- Parking facility, private

Seal

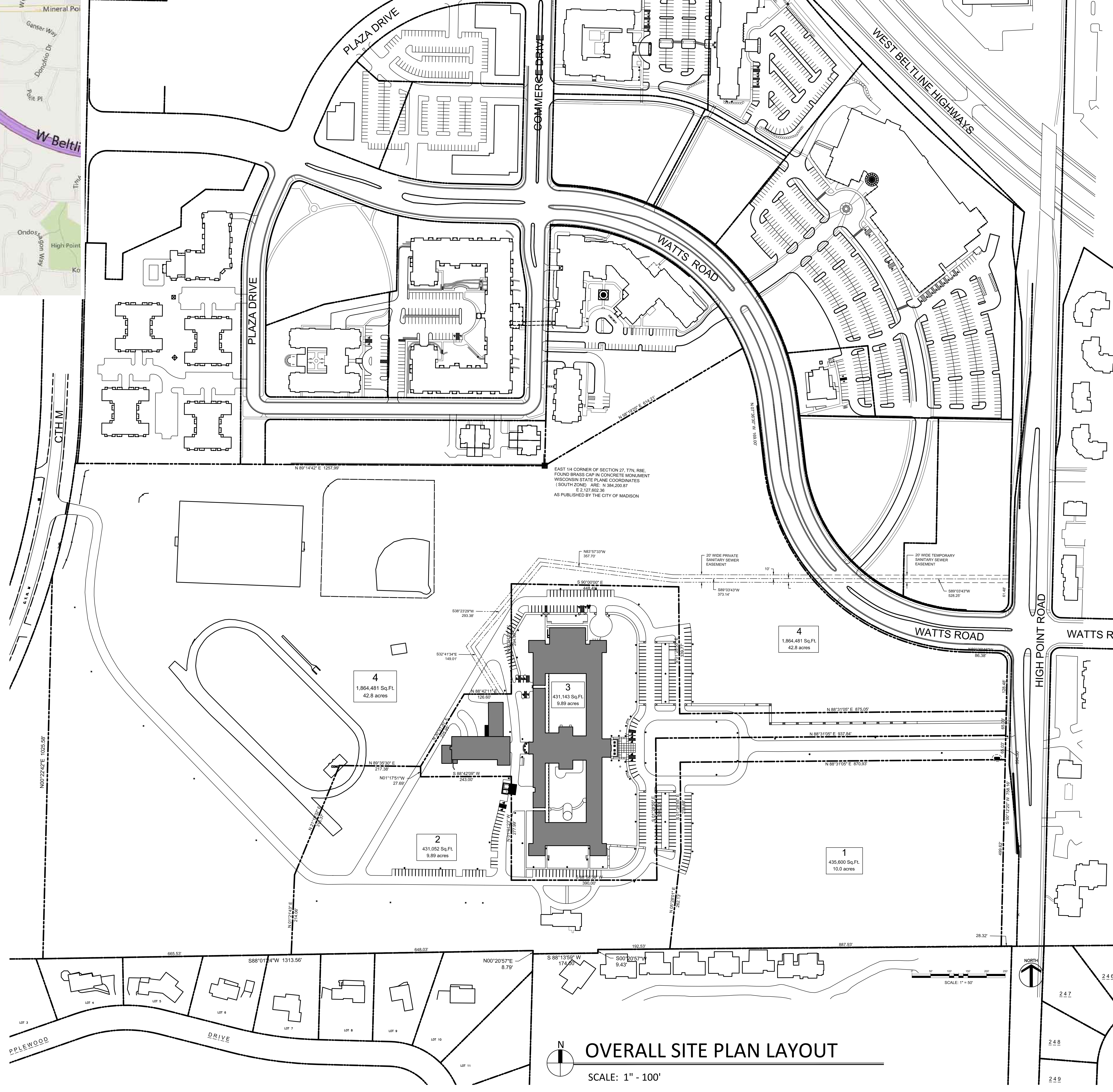
Consultant



**SITE LOCATOR MAP**

SHEET INDEX	
C100	OVERALL SITE PLAN LAYOUT
C101	AERIAL SITE LOCATOR
C102	SITE PLAN LAYOUT
C103	SITE PLAN LAYOUT
C201	GRADING PLAN
C202	GRADING PLAN
L100	LANDSCAPE PLAN
D100	GROUND FLOOR DEMO PLAN
D101	FIRST FLOOR DEMO PLAN
D102	SECOND FLOOR DEMO PLAN
D103	THIRD FLOOR DEMO PLAN
A100	PROPOSED GROUND FLOOR PLAN
A101	PROPOSED FIRST FLOOR PLAN
A102	PROPOSED SECOND FLOOR PLAN
A103	PROPOSED THIRD FLOOR PLAN
A104	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS

PROJECT DATA	
<b>SITE DEVELOPMENT DATA:</b>	
SITE DENSITIES:	
LOT AREA:	3,162,276 Sq.Ft. / 72.59 ACRE
DWELLING UNITS	58 UNITS
LOT AREA / D.U.	54,522 sq.ft. / D.U.
DENSITY	1.25 D.U. / ACRE
SITE COVERAGE:	
IMPERVIOUS:	
BUILDING:	97,513 sq.ft. (3.1 %)
PAVEMENT:	264,098 sq.ft. (8.4 %)
SIDEWALKS:	21,222 sq.ft. (0.7 %)
TOTAL:	382,833 sq.ft. (12.2%)
OPEN SPACE:	2,779,446 sq.ft. (87.8%)
BUILDING HEIGHT: 3 STORIES, 45 FEET	
VEHICLE PARKING STALLS: BICYCLE PARKING STALLS:	
ENCLOSED: 60	ENCLOSED: 13
SURFACE: 292	SURFACE: 48
352 TOTAL	61 TOTAL
DWELLING UNIT MIX:	
GUEST SUITE	1
ONE BEDROOM:	32
TWO BEDROOM:	25
58 TOTAL	
BUILDING AREA:	
DIOCESE OFFICES:	65,211 s.f. (28.4 %)
DIOCESE APARTMENTS:	3,229 s.f. (1.4 %)
RELIGIOUS CHAPEL:	13,241 s.f. (5.8 %)
CATERING KITCHEN:	6,171 s.f. (2.7 %)
APARTMENTS & AMMENITIES:	72,330 s.f. (31.5 %)
POOL:	9,666 s.f. (4.2 %)
GYMNASIUM:	7,554 s.f. (3.3 %)
MISC. (CORRIDOR, MECH, STAIR):	52,280 s.f. (22.7 %)
TOTAL :	229,682 s.f.



**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial / Final
11-21-2014	Issued UDC Final

**OVERALL SITE PLAN LAYOUT**

SCALE: 1" = 100'

Sheet Title  
OVERALL SITE PLAN LAYOUT

Sheet No.  
**C100**



Seal

Consultant

**BISHOP O'CONNOR CENTER**

**702 S. HIGH POINT ROAD  
MADISON, WI 53719**

Traffic, Bicycling, Directions



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Sheet Title  
**AERIAL SITE LOCATOR PLAN**

**AERIAL SITE LOCATOR PLAN**

Sheet No.  
**C101**

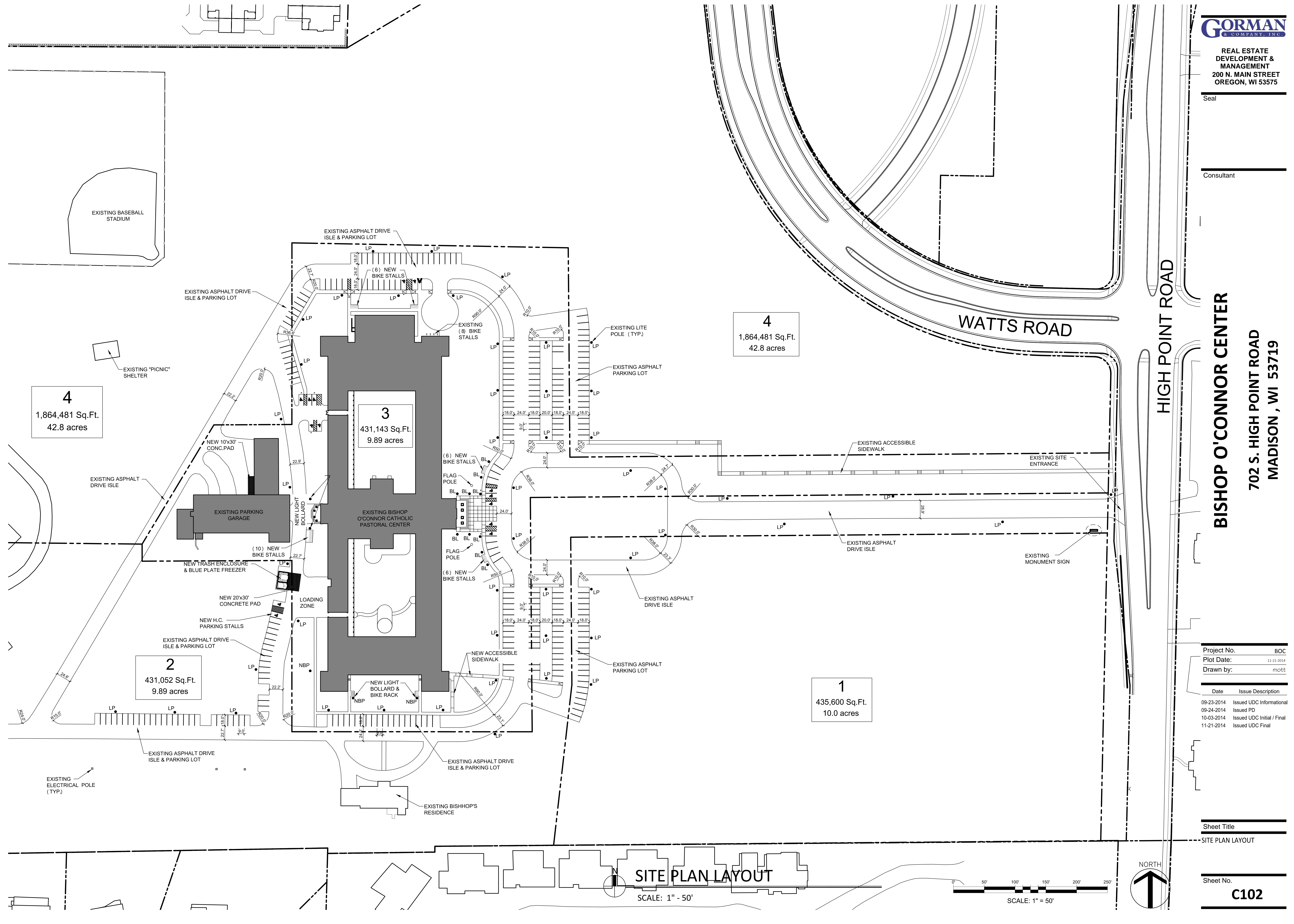
**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

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Sheet Title

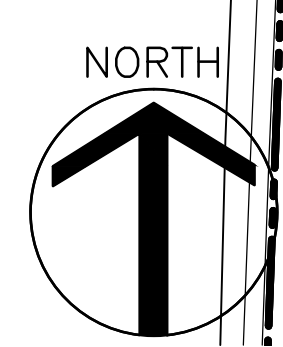
SITE PLAN LAYOUT

Sheet No.  
**C102**



**SITE PLAN LAYOUT**

SCALE: 1" = 50'



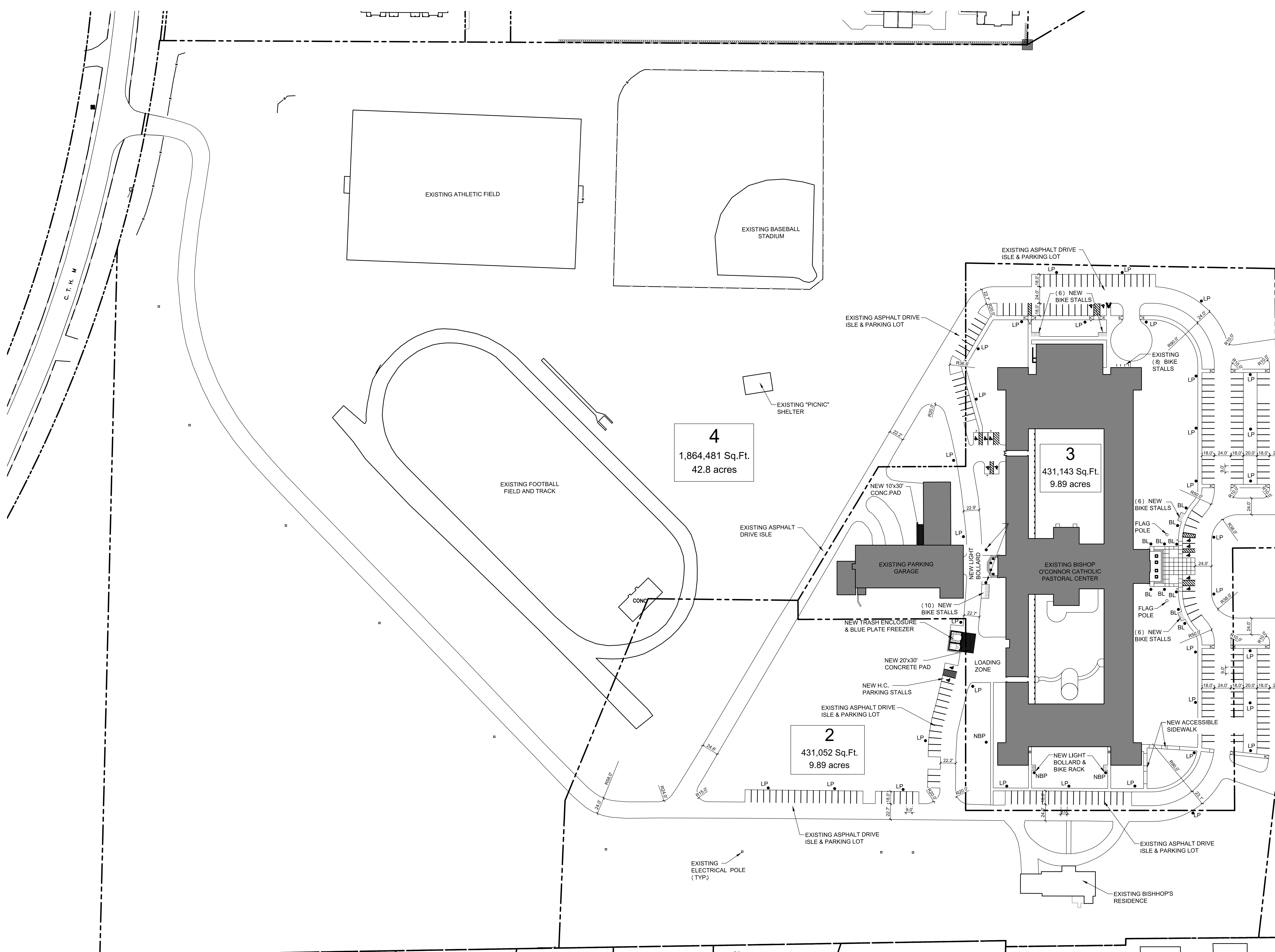
**BISHOP O'CONNOR CENTER**  
**702 S. HIGH POINT ROAD**  
**MADISON, WI 53719**

Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	mott

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10-03-2014	Issued UDC Initial / Final
11-21-2014	Issued UDC Final

Sheet Title  
SITE PLAN LAYOUT

Sheet No.  
**C103**



**4**  
1,864,481 Sq.Ft.  
42.8 acres

**3**  
431,143 Sq.Ft.  
9.89 acres

**2**  
431,052 Sq.Ft.  
9.89 acres

**SITE PLAN LAYOUT**  
SCALE: 1" = 50'

Seal

Consultant

**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

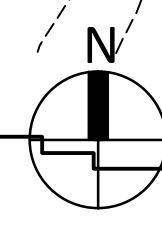
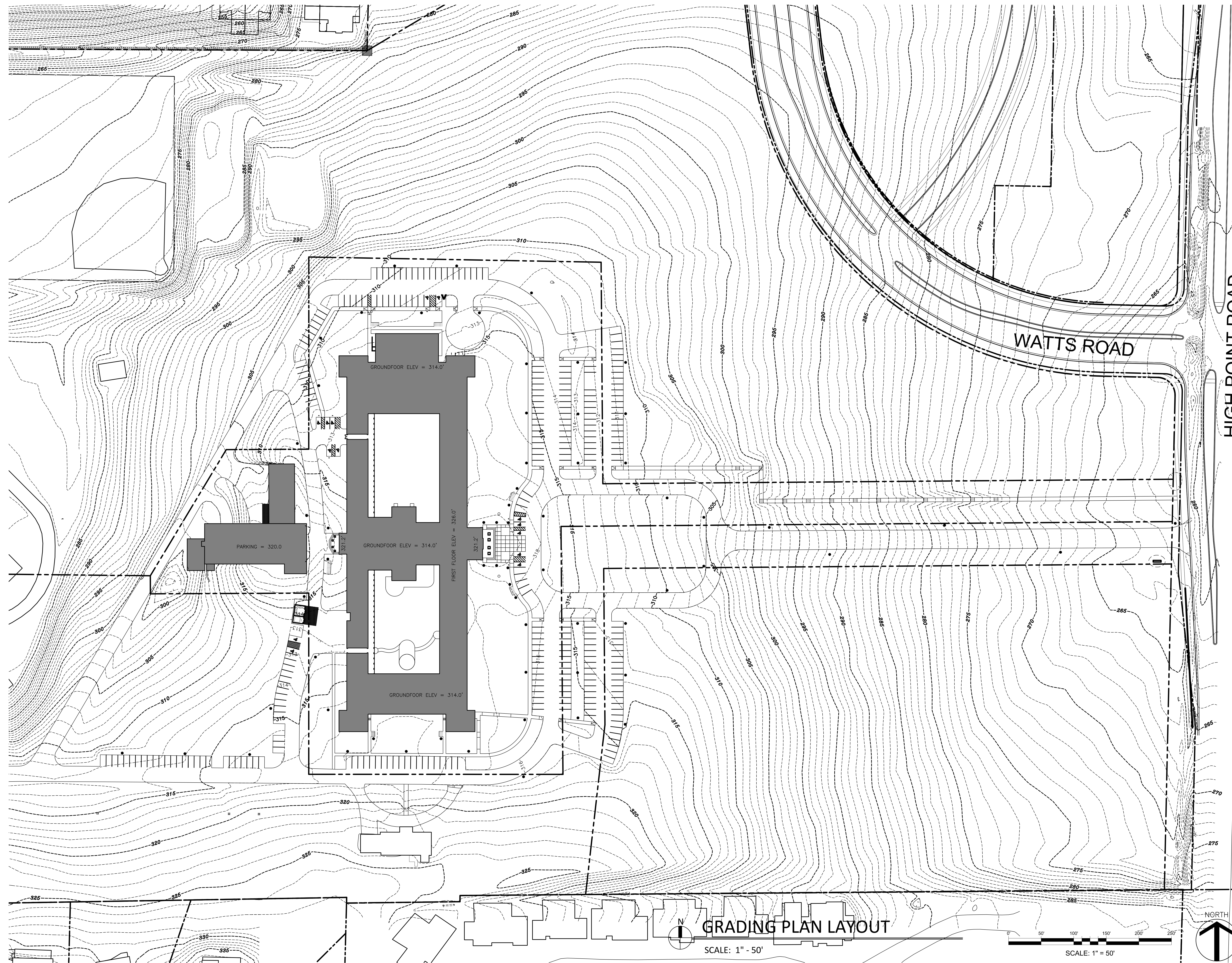
Project No. BOC  
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09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial / Final
11-21-2014	Issued UDC Final

Sheet Title

GRADING PLAN

Sheet No.  
**C201**

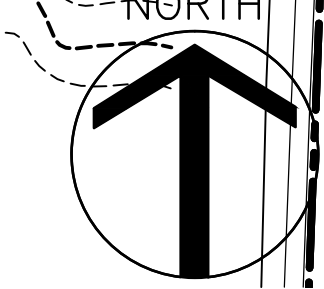


**GRADING PLAN LAYOUT**

SCALE: 1" = 50'



SCALE: 1" = 50'

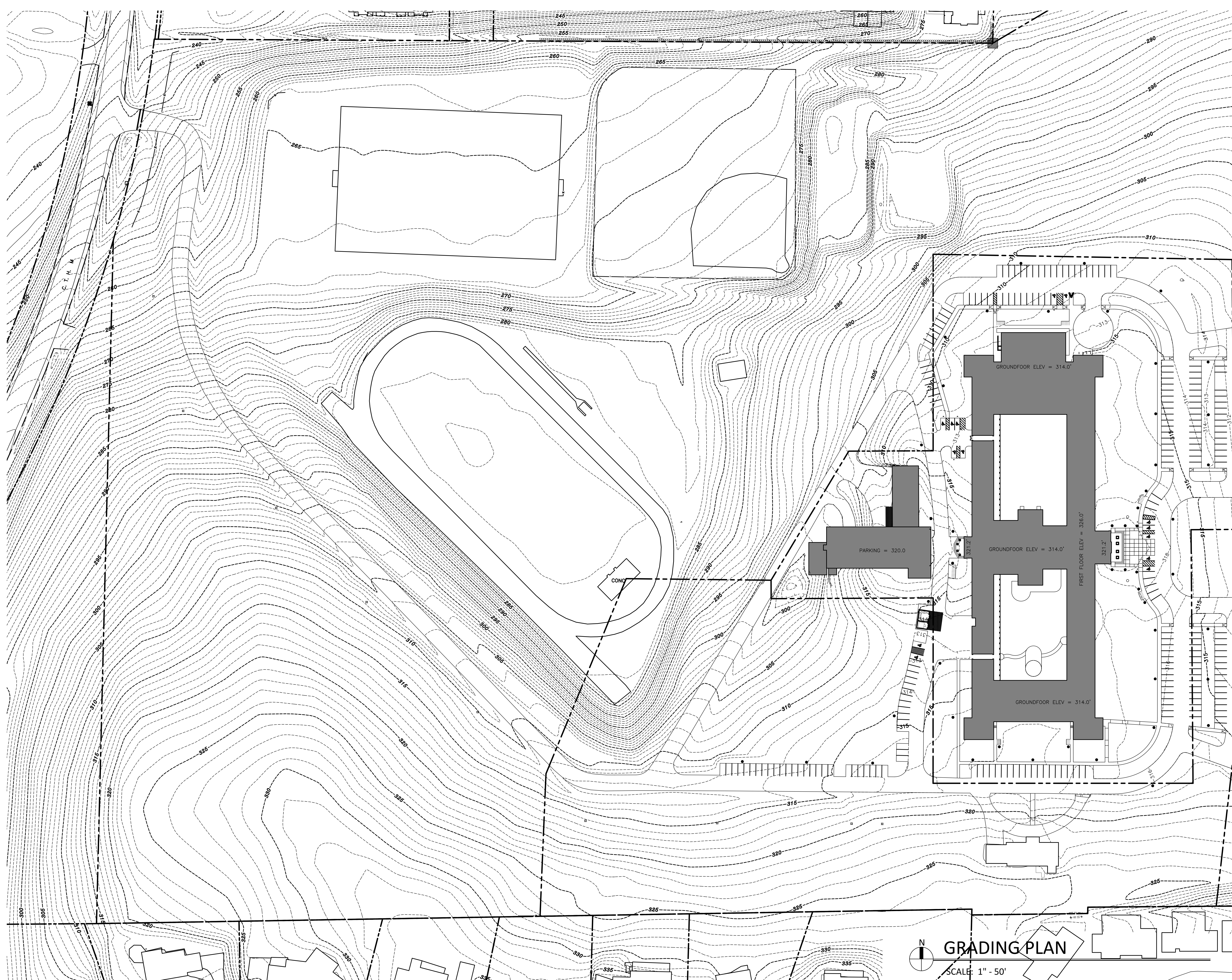


Seal

Consultant

**BISHOP O'CONNOR CENTER**

702 S. HIGH POINT ROAD  
MADISON, WI 53719



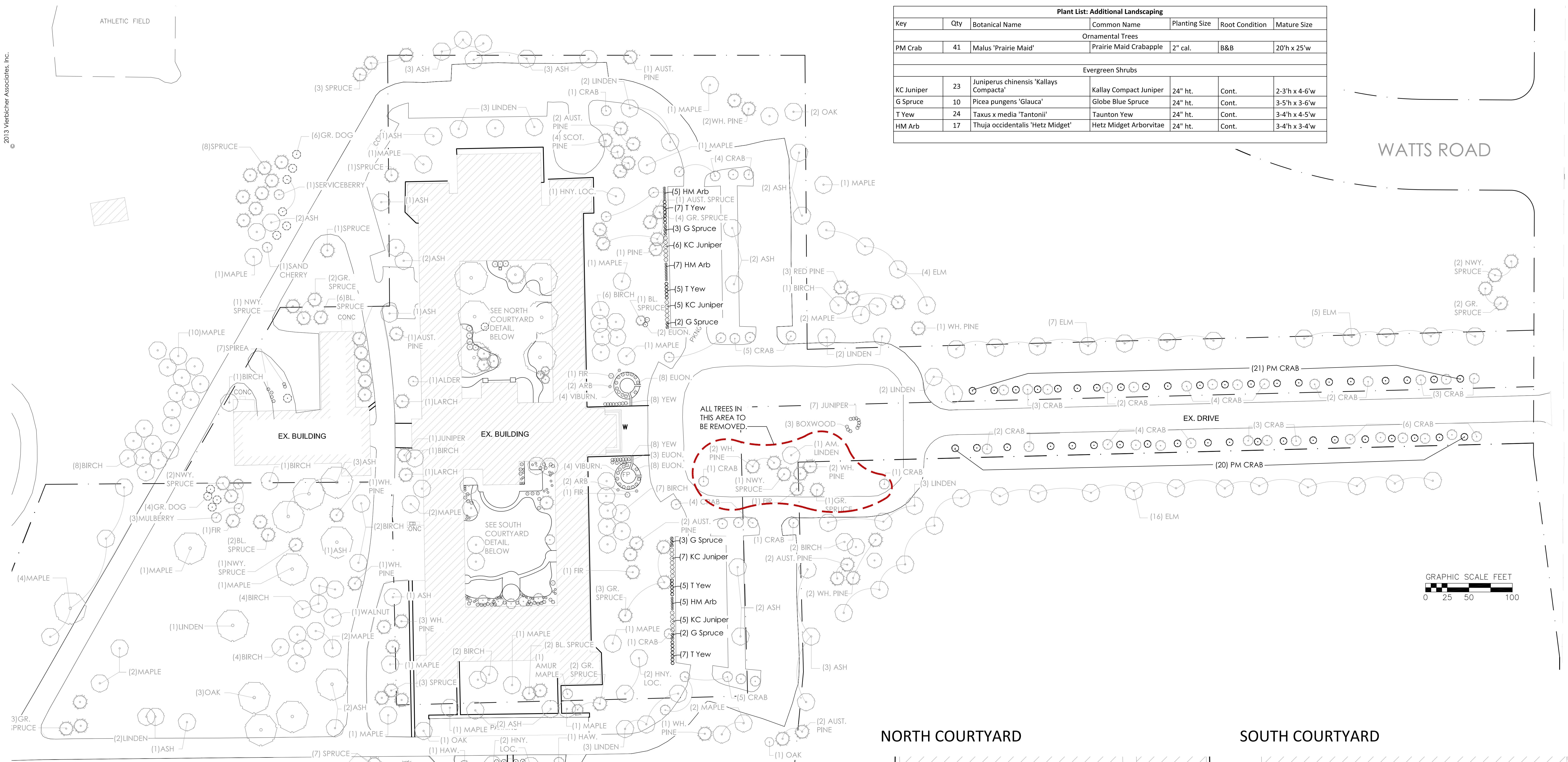
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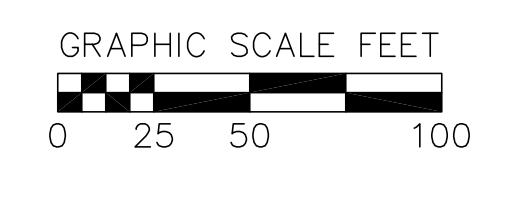
Sheet Title  
GRADING PLAN

Sheet No.  
**C202**

**GRADING PLAN**  
SCALE: 1" = 50'



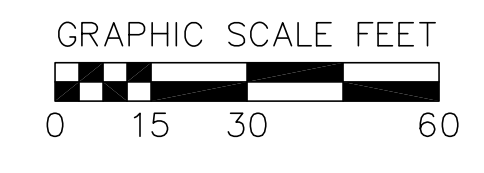
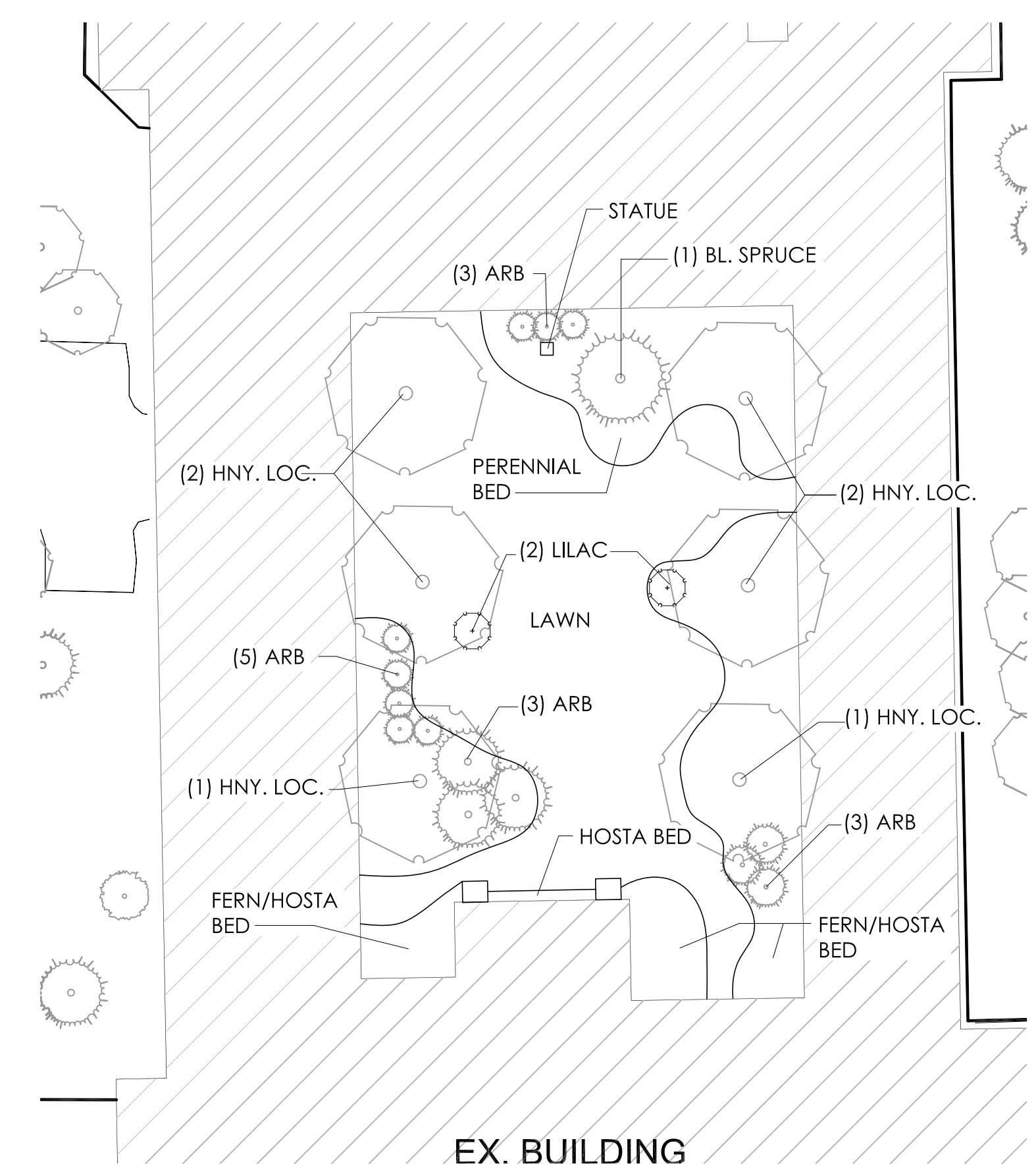
Plant List: Additional Landscaping						
Key	Qty	Botanical Name	Common Name	Planting Size	Root Condition	Mature Size
Ornamental Trees						
PM Crab	41	Malus 'Prairie Maid'	Prairie Maid Crabapple	2" cal.	B&B	20'h x 25'w
Evergreen Shrubs						
KC Juniper	23	Juniperus chinensis 'Kallays Compacta'	Kallay Compact Juniper	24" ht.	Cont.	2-3'h x 4-6'w
G Spruce	10	Picea pungens 'Glauca'	Globe Blue Spruce	24" ht.	Cont.	3-5'h x 3-6'w
T Yew	24	Taxus x media 'Tantonii'	Taunton Yew	24" ht.	Cont.	3-4'h x 4-5'w
HM Arb	17	Thuja occidentalis 'Hetz Midget'	Hetz Midget Arborvitae	24" ht.	Cont.	3-4'h x 3-4'w



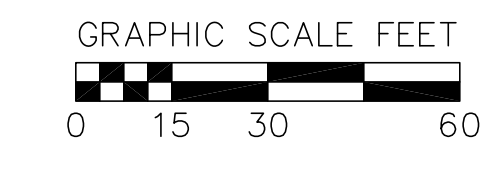
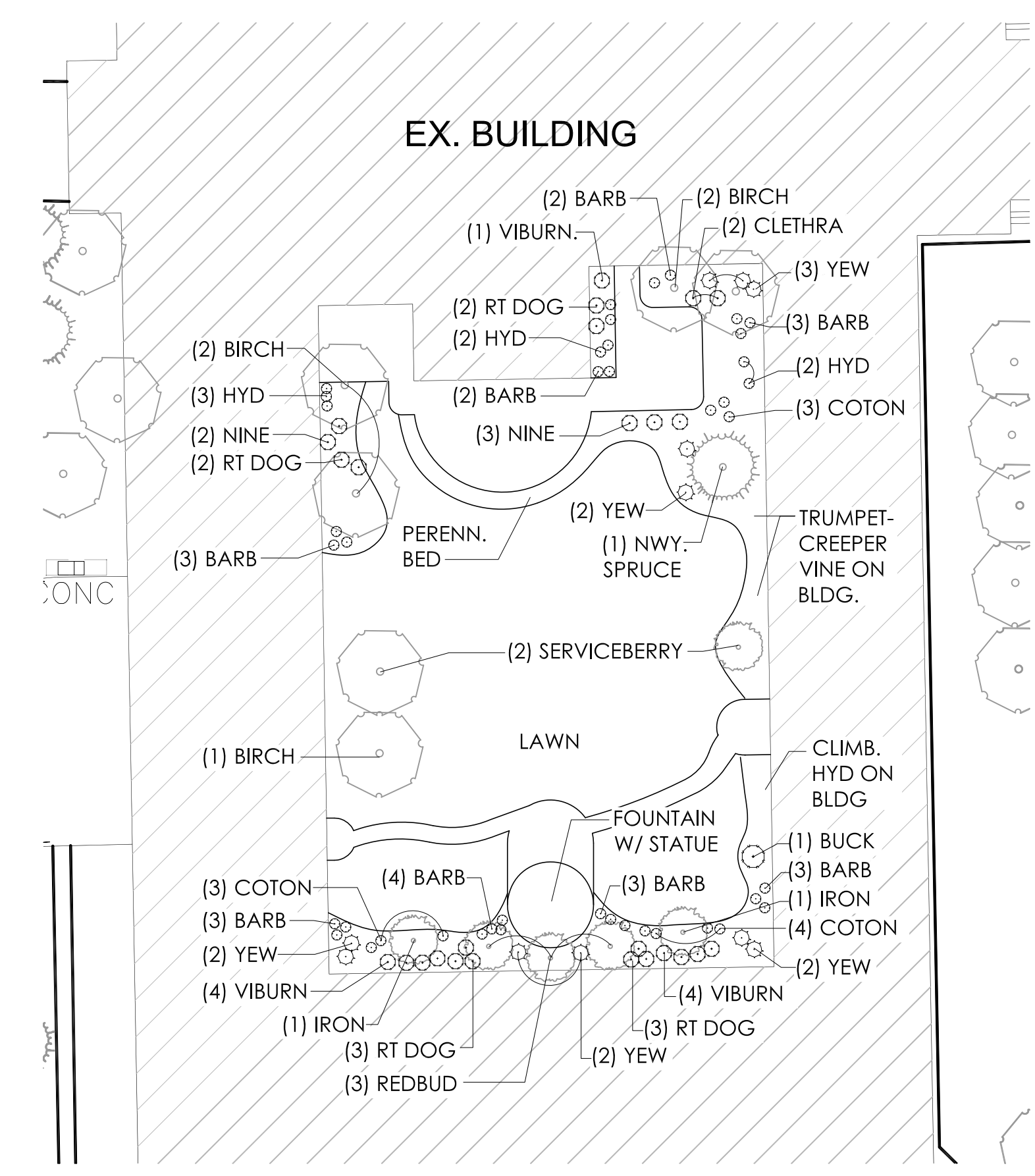
Existing Plant List		
Key	Qty	Species
Canopy Shade Trees		
Ash	32	Fraxinus/Ash
Birch	43	Betula/Birch
Elm	32	Ulmus/Elm
Hny. Loc.	11	Gleditsia/Honey Locust
Linden	19	Tilia/Linden
Maple	39	Acer/Maple
Oak	7	Quercus/Oak
Walnut	1	Juglans/Walnut
Coniferous Trees		
Aust. Pine	12	Pinus/Austrian Pine
Bl. Spruce	12	Picea/Blue Spruce
Fir	5	Abies/Fir
Larch	2	Larix/Larch/Tamarack
Nwy. Spruce	8	Picea/Norway Spruce
Red Pine	3	Pinus/Red Pine
Scot. Pine	4	Pinus/Scots(Scotch) Pine
Spruce/Gr. Spruce	38	Picea/Green Spruce
Wh. Pine	18	Pinus/White Pine

Understory Trees		
Amur Maple	1	Abies/Amur Maple
Alder	1	Alnus/Alder
Buck	1	Rhamnus/Buckthorn
Crab	56	Malus/Crabapple
Haw.	2	Crataegus/Hawthorn
Iron	2	Ostrya/Ironwood
Mulberry	3	Morus/Mulberry
Redbud	3	Cercis/Redbud
Sand Cherry	1	Prunus/Sand Cherry
Serviceberry	3	Amelanchier/Serviceberry
Deciduous Shrubs		
Barb	23	Berberis/Barberry
Clethra	2	Clethra/Summersweet
Coton	10	Cotoneaster
Euon.	21	Euonymus/Burning Bush
Gr. Dog	10	Cornus/Dogwood (Gray)
Hyd	7	Hydrangea
Lilac	6	Syringa/Lilac
Nine	5	Physocarpus/Ninebark
RT Dog	10	Cornus/Dogwood (Red Twig)
Spiraea	19	Spiraea/Spiraea
Viburn.	17	Viburnum
Evergreen Shrubs		
Arb	18	Arborvitae
Boxwood	3	Buxus/Boxwood
Juniper	16	Juniperus/Juniper
Yew	27	Taxus/Yew

NORTH COURTYARD



SOUTH COURTYARD



LANDSCAPE PLAN

**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

HIGH POINT ROAD

Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	svin

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
11-21-2014	Issued UDC

Sheet Title  
EXISTING LANDSCAPE PLAN

Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	mott
Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

Sheet Title  
**GROUND FLOOR DEMO PLAN**

SCALE: 1/16" = 1'-0"

Sheet No.  
**D100**

**DEMOLITION PLAN GENERAL NOTES**

- THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOW THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
- ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
- ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARRING OF FINISHES.
- COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
- PRIOR TO BIDDING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RE-CONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR ON TIMING, ETC. SO AS NOT TO DELAY WORK BY DEMOLITION CONTRACTORS OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS.
- CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES. COORD. WITH DEMOLITION CONTRACTOR.
- COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
- SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
- DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND RELATED ACCESSORIES NOT SCHEDULED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEARLY MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.
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- REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
- FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
- FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
- UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC. DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
- UNLESS NOTED OTHERWISE, REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE NOB. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACES AND TO BE FIRE PROOFED. WHERE CARPET PILES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM, REMOVE THE ITEMS ENTIRELY.
- FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SIM. TO NOTE ABOVE.
- AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
- IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

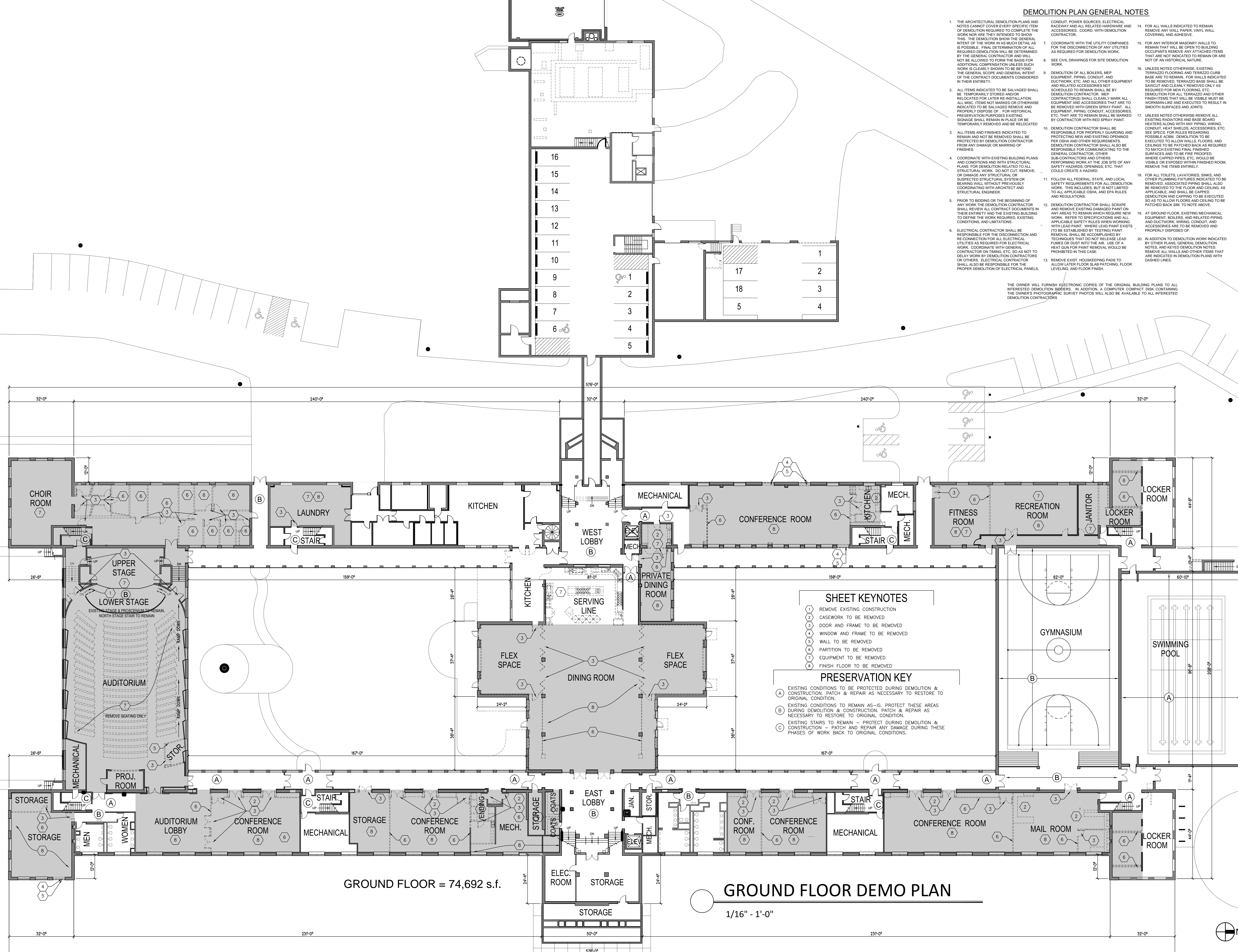
THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.

**SHEET KEYNOTES**

- 1 REMOVE EXISTING CONSTRUCTION CASEWORK TO BE REMOVED
- 2 DOOR AND FRAME TO BE REMOVED
- 3 WINDOW AND FRAME TO BE REMOVED
- 4 WALL TO BE REMOVED
- 5 PARTITION TO BE REMOVED
- 6 EQUIPMENT TO BE REMOVED
- 7 FINISH FLOOR TO BE REMOVED

**PRESERVATION KEY**

- (A) EXISTING CONDITIONS TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- (B) EXISTING CONDITIONS TO REMAIN AS-IS. PROTECT THESE AREAS DURING DEMOLITION & CONSTRUCTION. PATCH & REPAIR AS NECESSARY TO RESTORE TO ORIGINAL CONDITION.
- (C) EXISTING STAIRS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION - PATCH AND REPAIR ANY DAMAGE DURING THESE PHASES OF WORK BACK TO ORIGINAL CONDITIONS.



GROUND FLOOR = 74,692 s.f.

**GROUND FLOOR DEMO PLAN**

1/16" - 1'-0"

Seal

Consultant

**BISHOP O'CONNOR CENTER**  
 702 S. HIGH POINT ROAD  
 MADISON, WI 53719

Project No. BOC  
 Plot Date: 11-21-2014  
 Drawn by: mott

Date	Issue Description
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Sheet Title  
 FIRST FLOOR DEMO PLAN

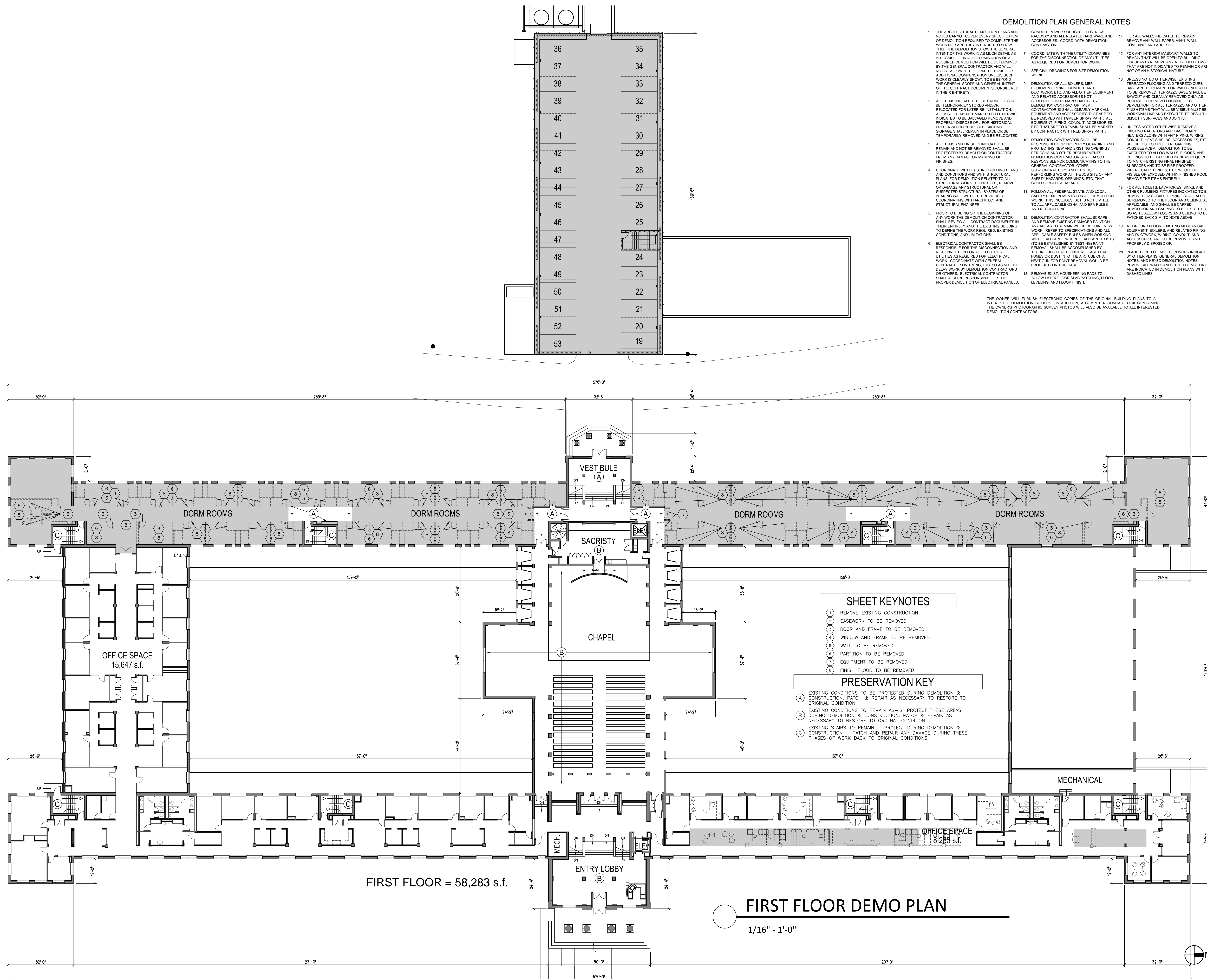
SCALE: 1/16" = 1'-0"

Sheet No.  
**D101**

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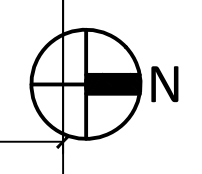
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FIRST FLOOR = 58,283 s.f.

**FIRST FLOOR DEMO PLAN**

1/16" - 1'-0"

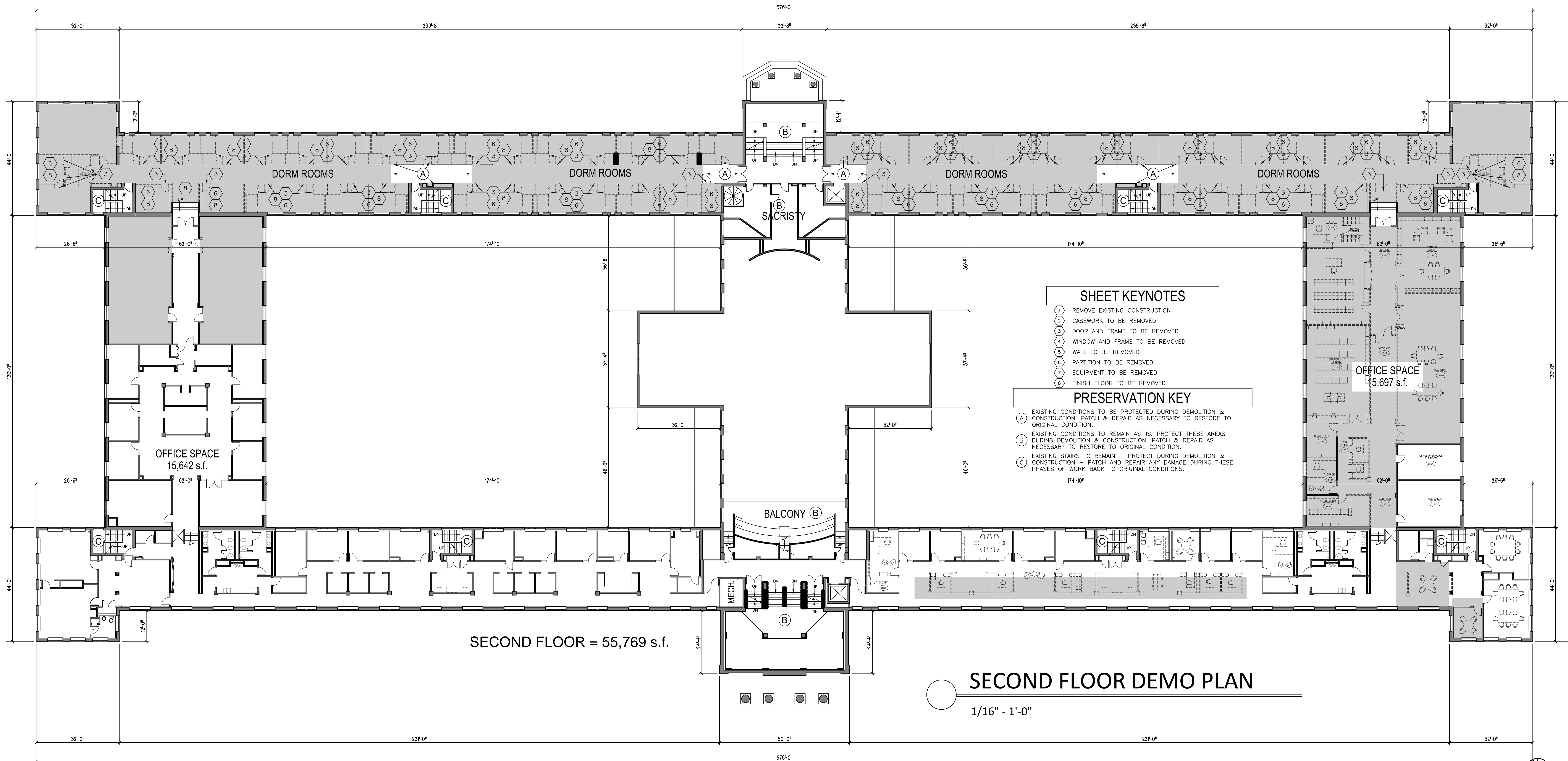




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THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.



**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

Sheet Title  
SECOND FLOOR DEMO PLAN

SCALE: 1/16" = 1'-0"

Sheet No.  
**D102**

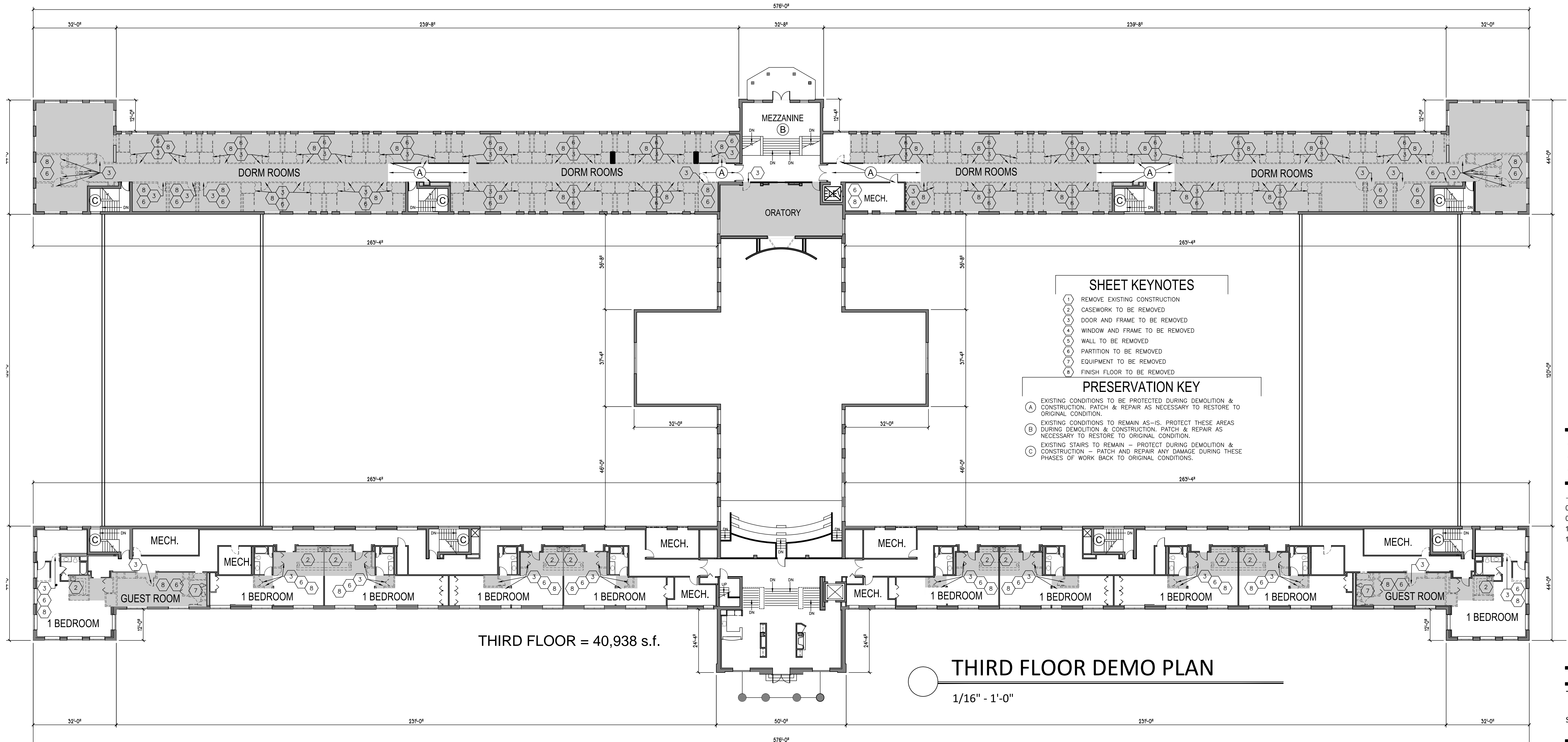
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- SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
- DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT SCHEDULED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTOR(S) SHALL CLEARLY MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.
- FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
- DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) PAINT REMOVAL SHALL BE ACCOMPLISHED BY TECHNIQUES THAT DO NOT RELEASE LEAD FUMES OR DUST INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
- REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
- FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
- FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
- UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC. DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMANLIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
- UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS. FOR RULES REGARDING POSSIBLE NOISE. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACES AND TO BE FIRE PROOFED. WHERE CARPET PILES, ETC. WOULD BE VISIBLE OR EXPOSED WITH FINISHED ROOM, REMOVE THE ITEMS ENTIRELY.
- FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND GAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SIM. TO NOTE ABOVE.
- AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.
- IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.

Seal

Consultant



**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

Sheet Title  
THIRD FLOOR DEMO PLAN

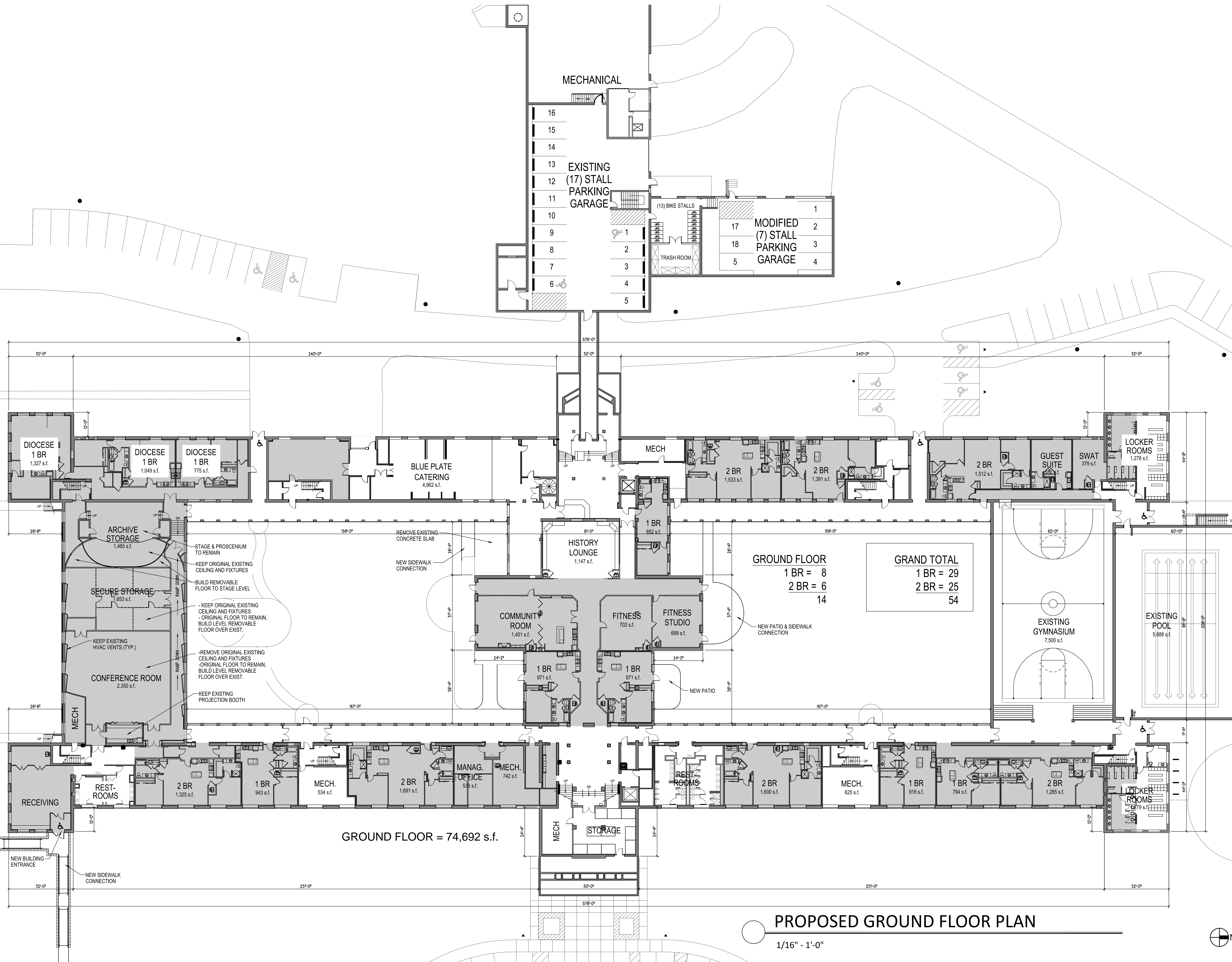
SCALE: 1/16" = 1'-0"

Sheet No.  
**D103**

Seal

Consultant

**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719



<b>GROUND FLOOR</b>		<b>GRAND TOTAL</b>	
1 BR =	8	1 BR =	29
2 BR =	6	2 BR =	25
	14		54

GROUND FLOOR = 74,692 s.f.

**PROPOSED GROUND FLOOR PLAN**

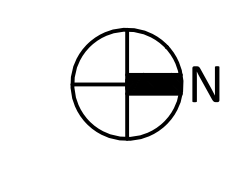
1/16" = 1'-0"

Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	mott

Date	Issue Description
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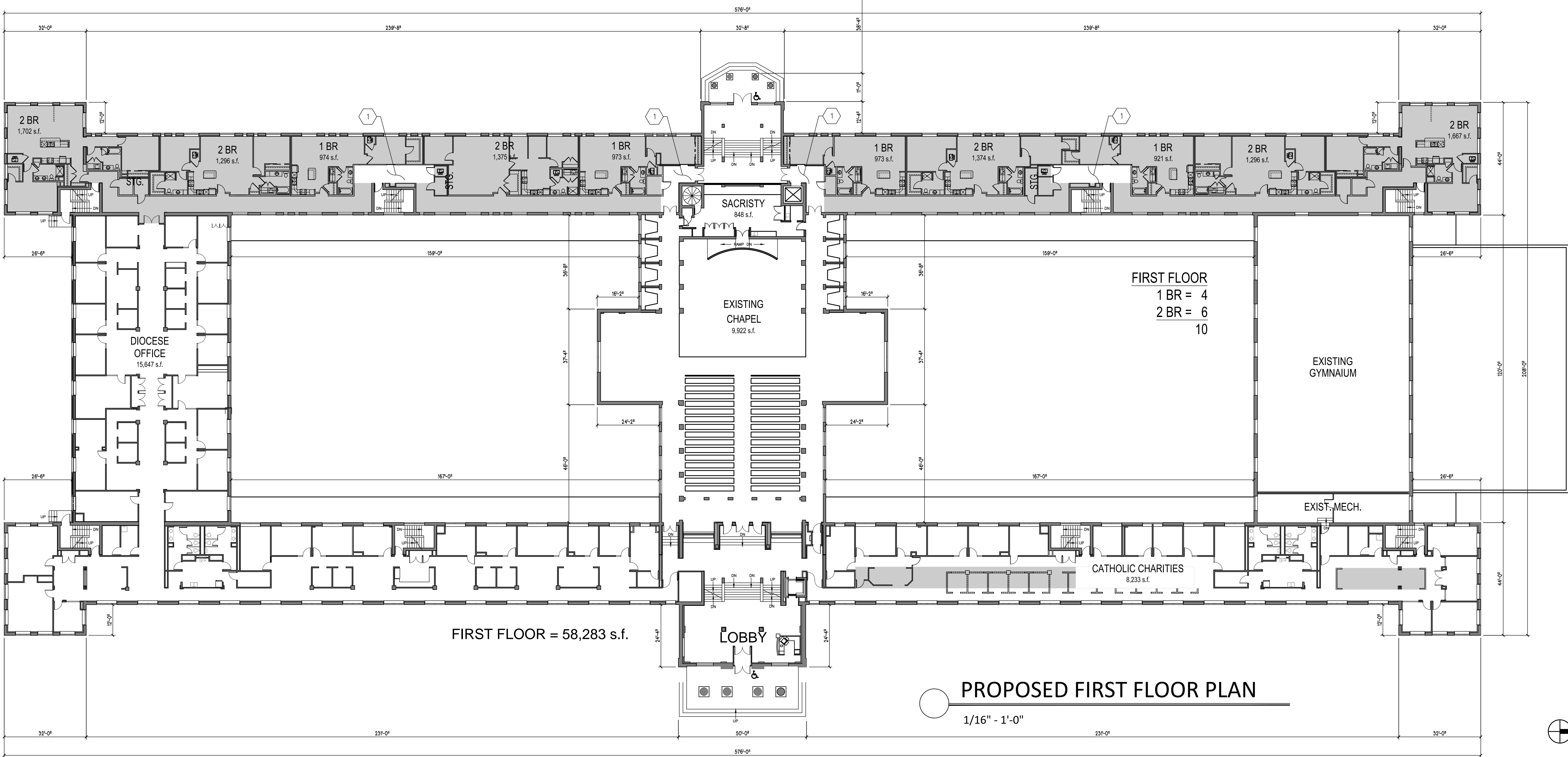
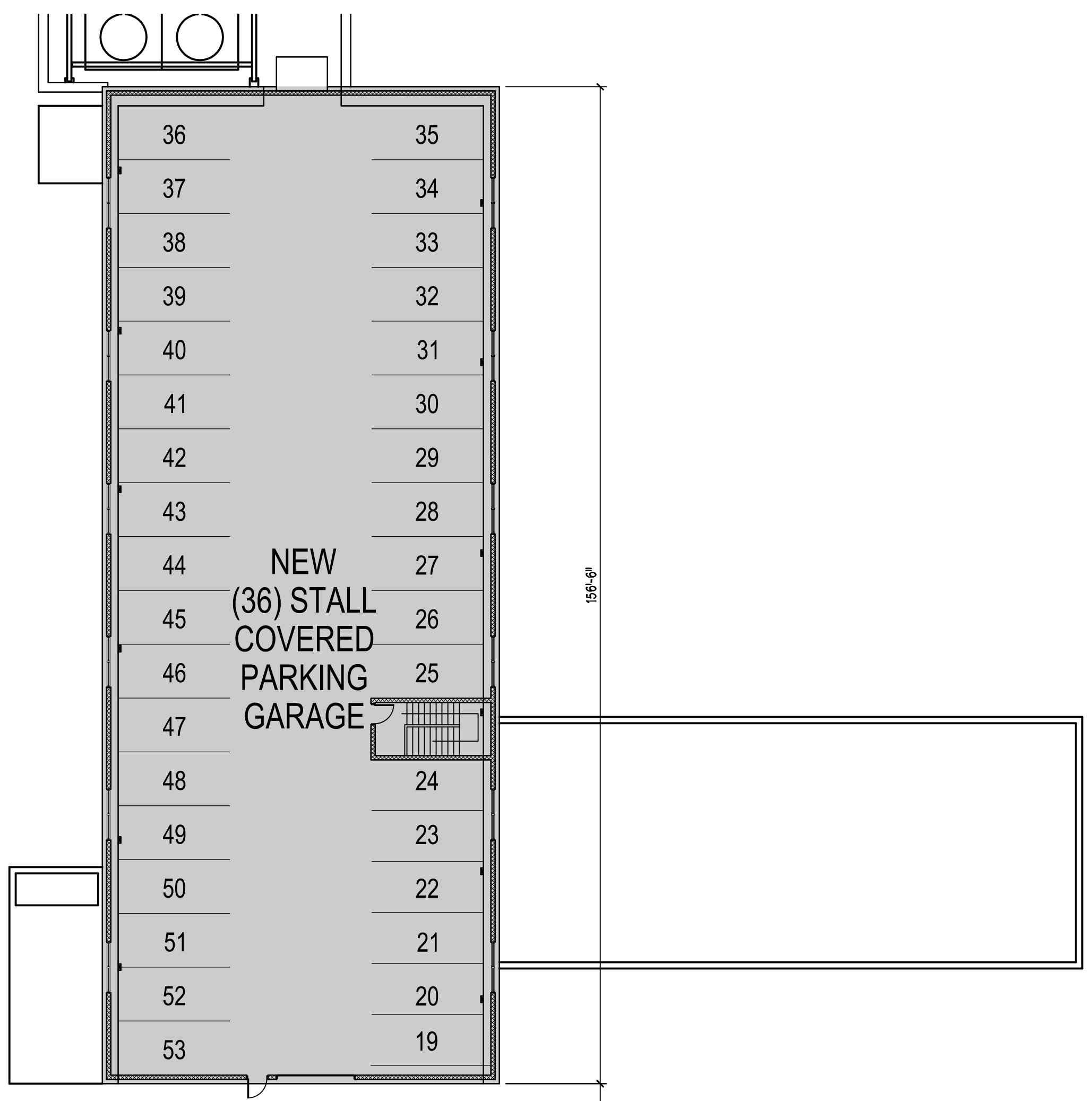
Sheet Title  
PROPOSED  
GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"  
Sheet No. **A100**



**SHEET KEYNOTES**

1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION



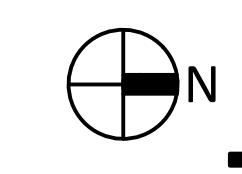
**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

Date	Issue Description
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Sheet Title  
PROPOSED  
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"  
Sheet No.



**A101**

**PROPOSED FIRST FLOOR PLAN**

1/16" - 1'-0"

SHEET KEYNOTES

1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION

Seal

Consultant

**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

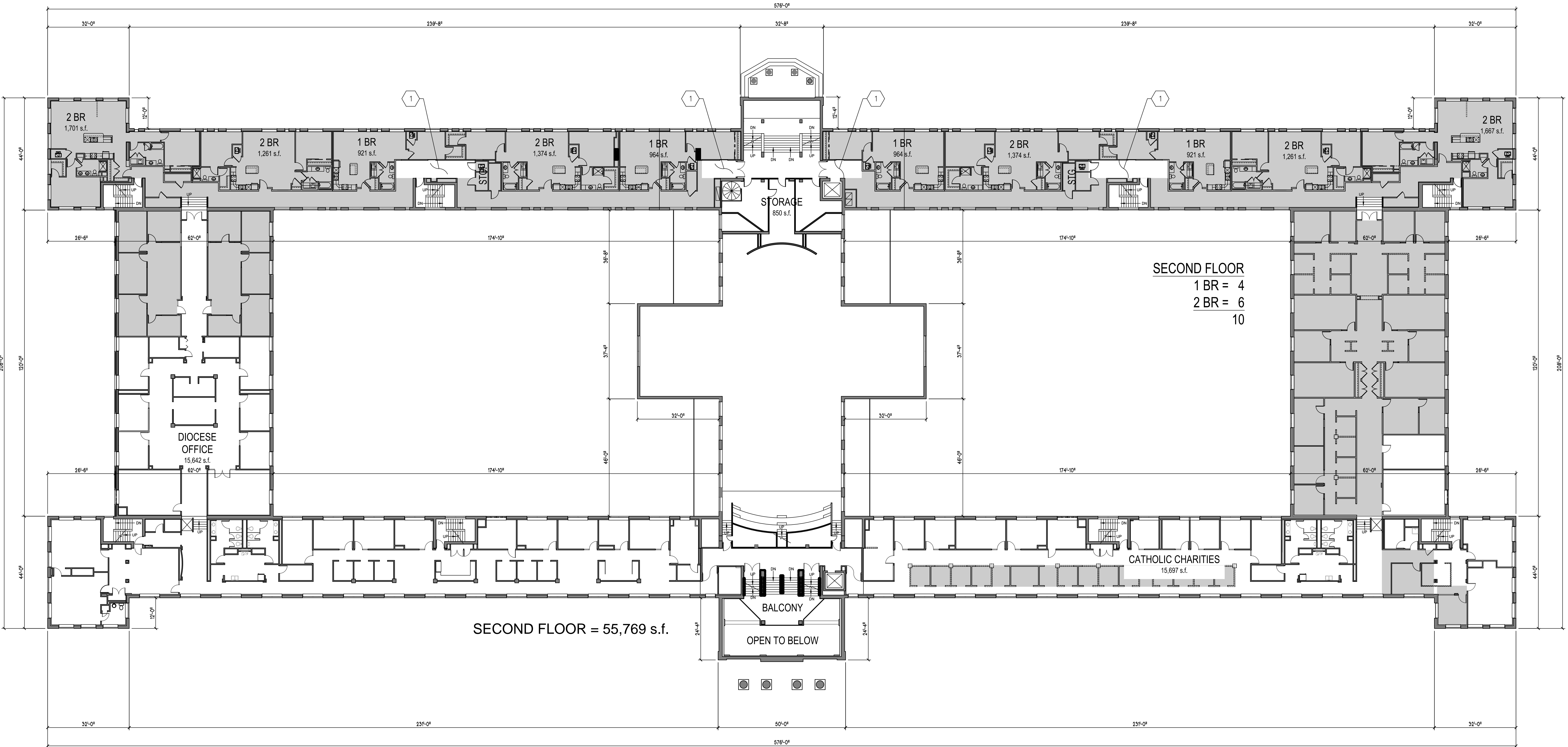
Date	Issue Description
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09-24-2014	Issued PD
10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

Sheet Title  
PROPOSED  
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

Sheet No.

**A102**



**PROPOSED SECOND FLOOR PLAN**  
1/16" - 1'-0"

SHEET KEYNOTES

1 EXISTING CONDITIONS TO REMAIN AS IS - PROTECT SURFACES DURING DEMO / CONSTRUCTION

Seal

Consultant

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702 S. HIGH POINT ROAD  
MADISON, WI 53719

Project No. BOC  
Plot Date: 11-21-2014  
Drawn by: mott

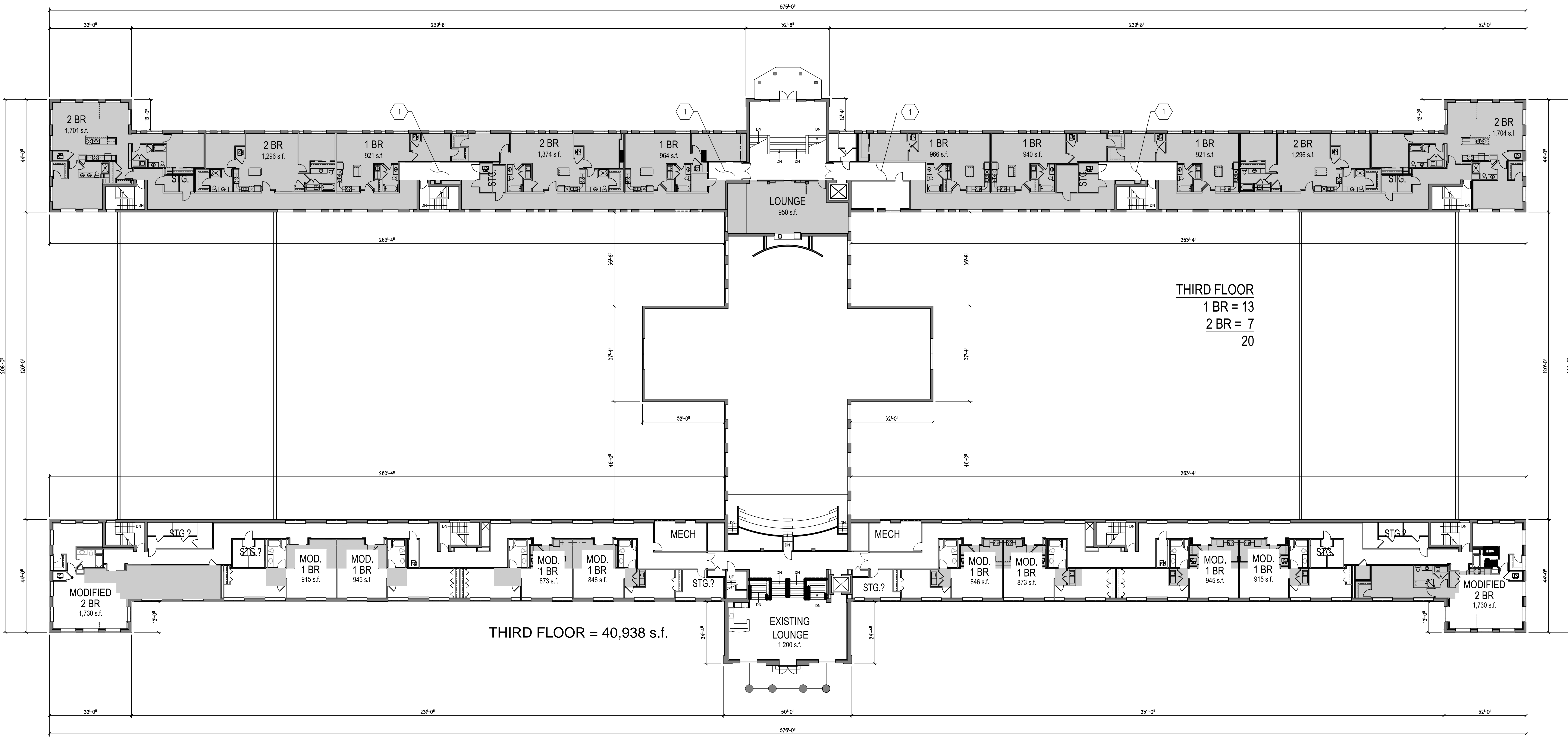
Date	Issue Description
09-23-2014	Issued UDC Informational
09-24-2014	Issued PD
10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

Sheet Title  
PROPOSED  
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

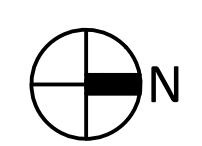
Sheet No.

**A103**

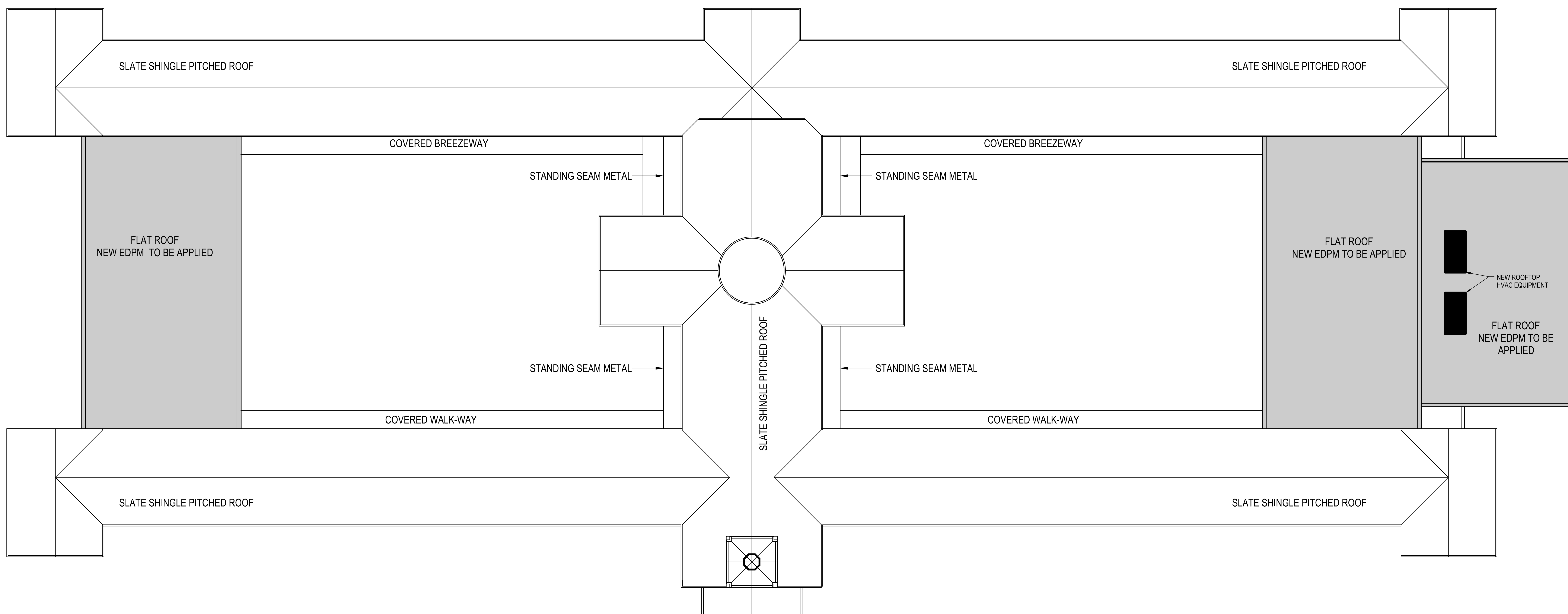


**PROPOSED THIRD FLOOR PLAN**

1/16" = 1'-0"



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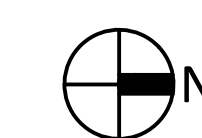
Project No. BOC  
 Plot Date: 11-21-2014  
 Drawn by: mott

Date	Issue Description
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10-03-2014	Issued UDC Initial
11-21-2014	Issued UDC Final

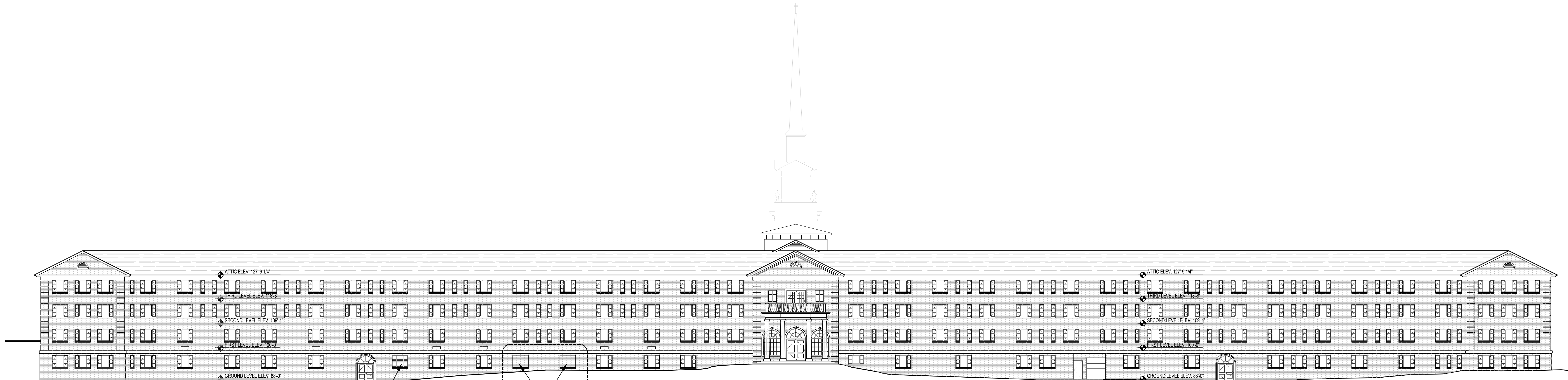
Sheet Title  
 PROPOSED  
 ROOF PLAN

SCALE: 1/8" = 1'-0"  
 Sheet No.

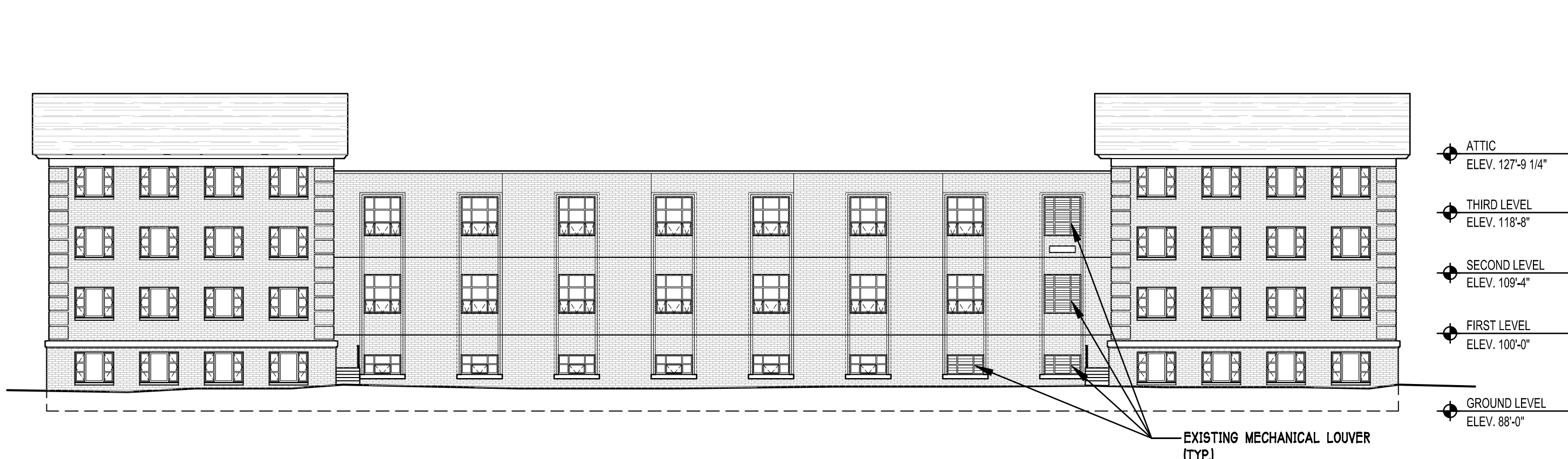
**PROPOSED ROOF PLAN**  
 1/16" = 1'-0"



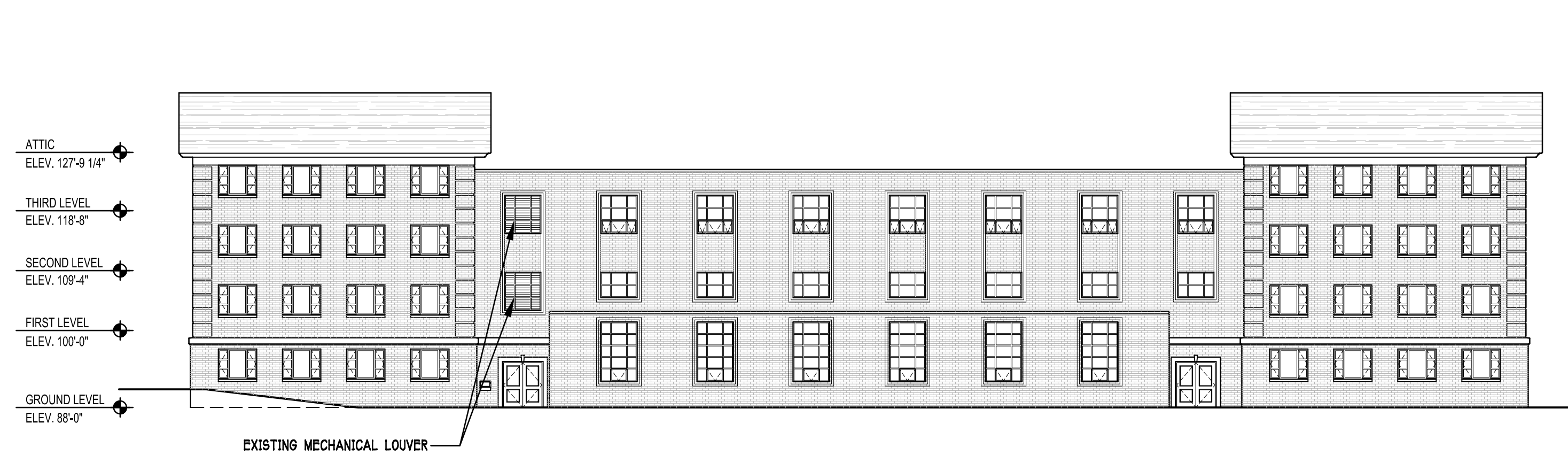
**A104**



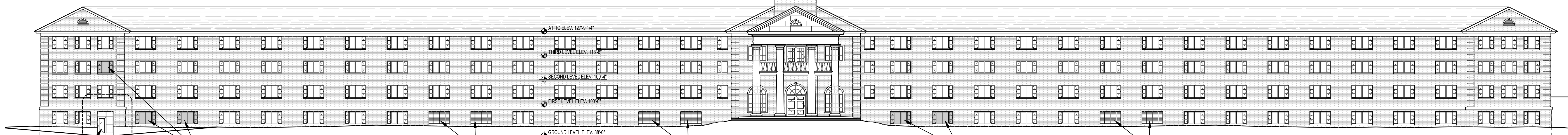
1 EXISTING WEST ELEVATION  
A201 1/16" = 1'-0"



3 EXISTING SOUTH ELEVATION  
A201 1/16" = 1'-0"



2 EXISTING NORTH ELEVATION  
A201 1/16" = 1'-0"



4 EXISTING EAST ELEVATION  
A201 1/16" = 1'-0"



SCOPE OF WORK:  
• EXCAVATE EXISTING GRADE TO GROUND FLOOR ELEVATION 88'-0"  
• REMOVE EXISTING WINDOW  
• ENLARGE OPENING AND INSTALL NEW A.D.A. ACCESSIBLE DOOR  
• INSTALL A.D.A. RAMP @ 120 MAX SLOPE  
• INSTALL RETAINING WALL AS NEEDED

6 PROPOSED EAST ELEVATION DETAIL  
A201 1/8" = 1'-0"



SCOPE OF WORK:  
• REMOVE EXISTING WINDOW  
• INFILL OPENING WITH MASONRY VENEER TO MATCH EXISTING

5 PROPOSED WEST ELEVATION DETAIL  
A201 1/8" = 1'-0"

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702 S. HIGH POINT ROAD  
MADISON, WI 53719

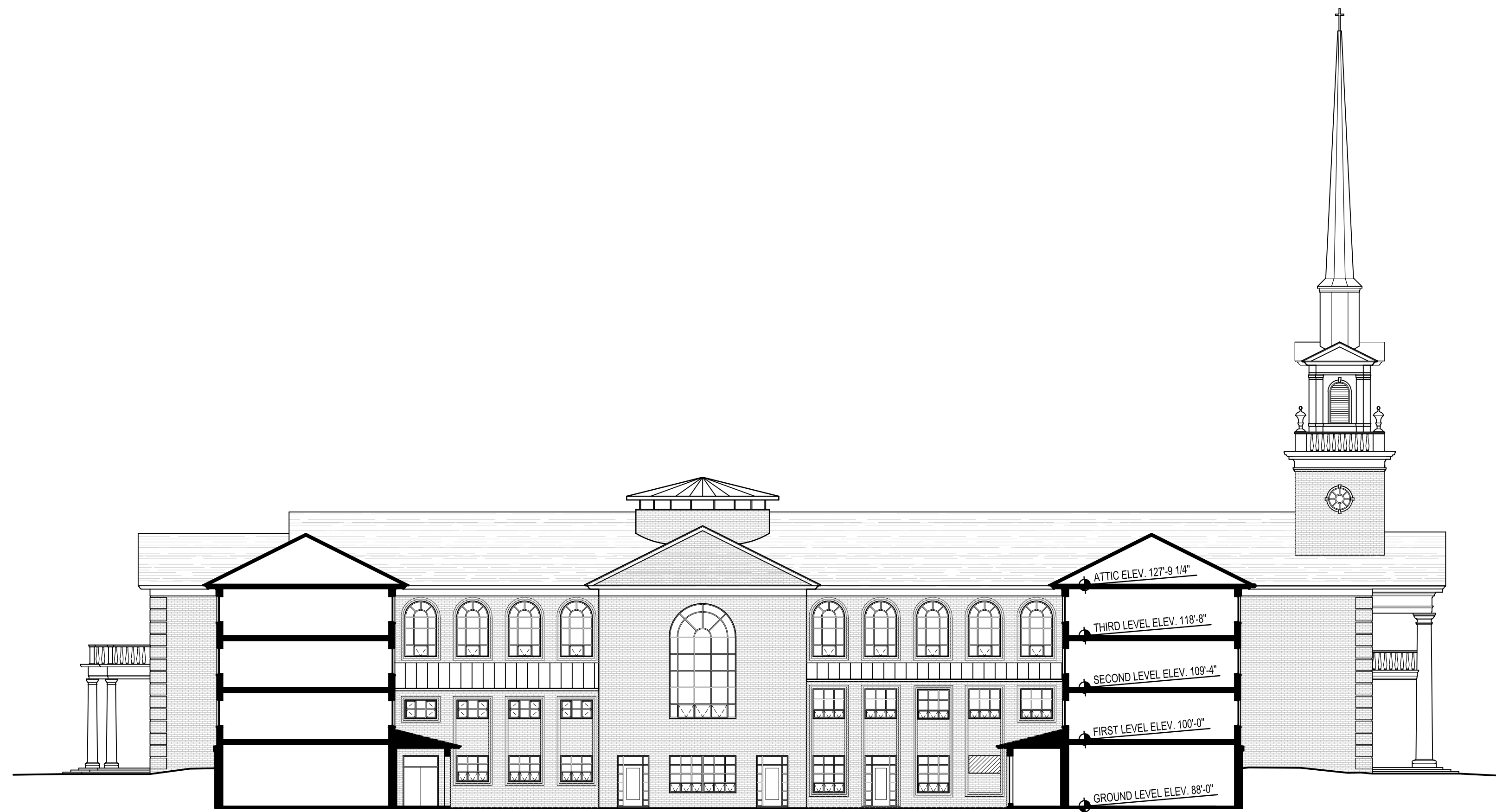
Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	mott

Date	Issue Description
09-23-2014	Issued UDC Informational
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10-03-2014	Issued UDC Initial
11-04-2014	75% Review
11-21-2014	Issued UDC Final

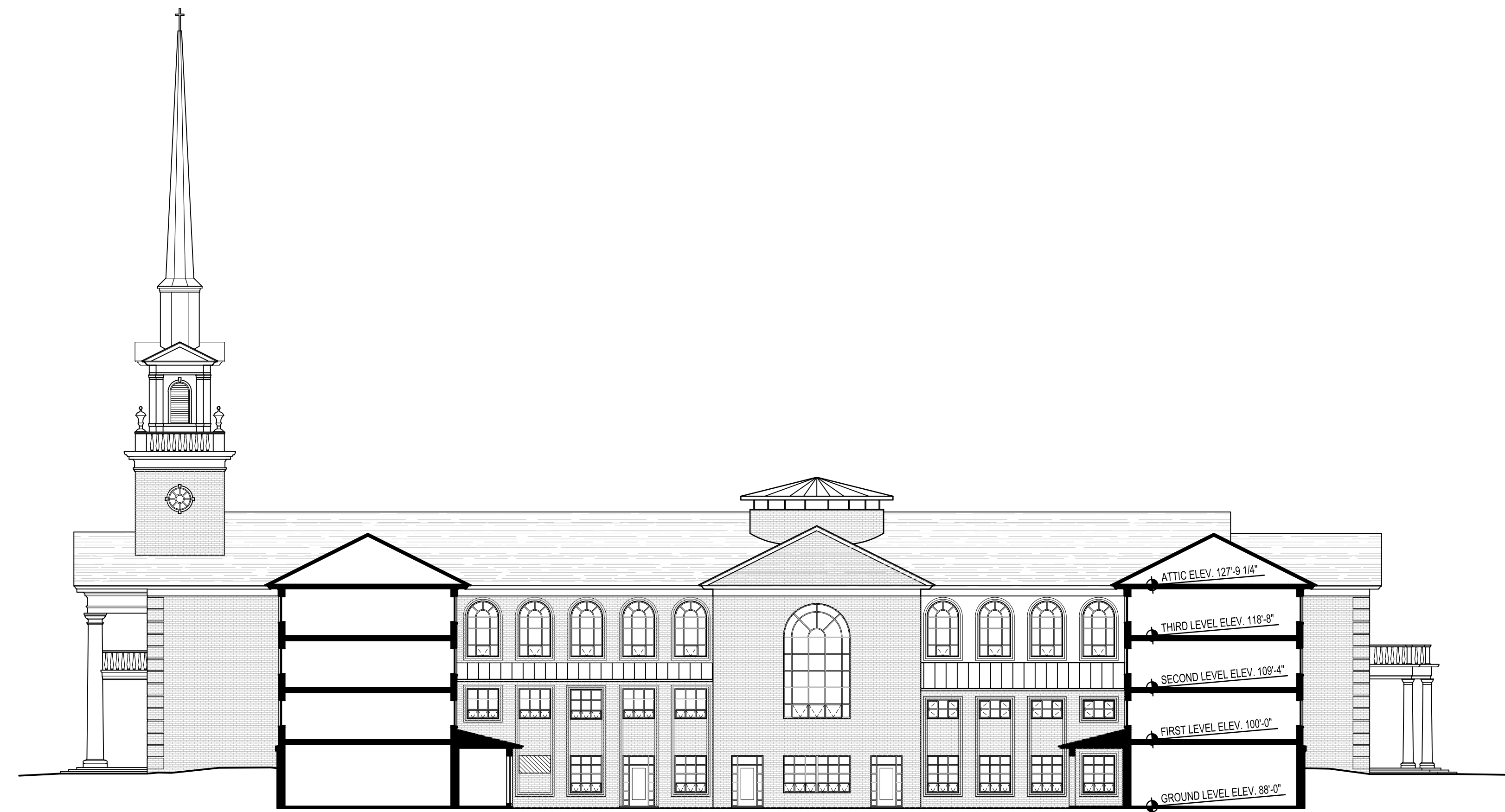
Sheet Title  
EXTERIOR ELEVATIONS

Sheet No.  
**A201**

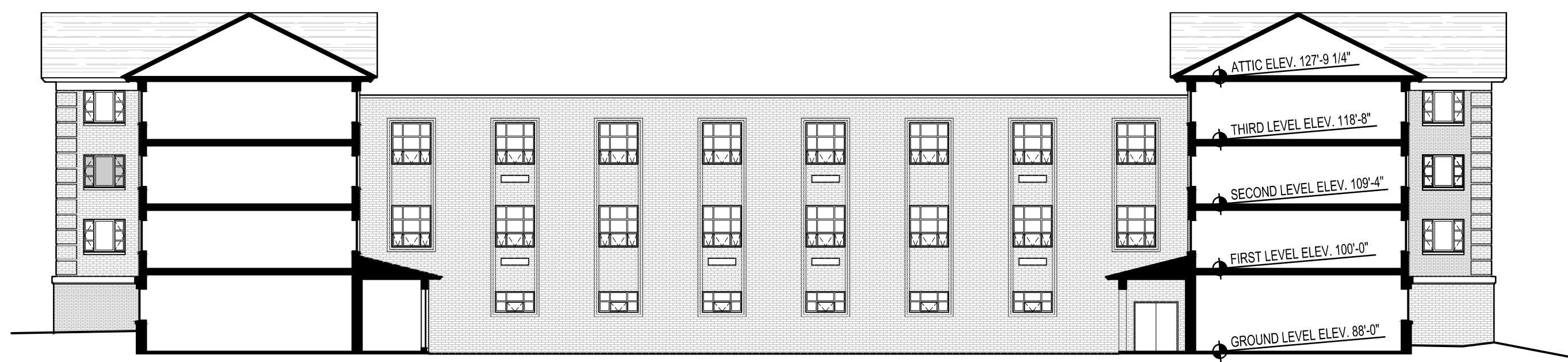




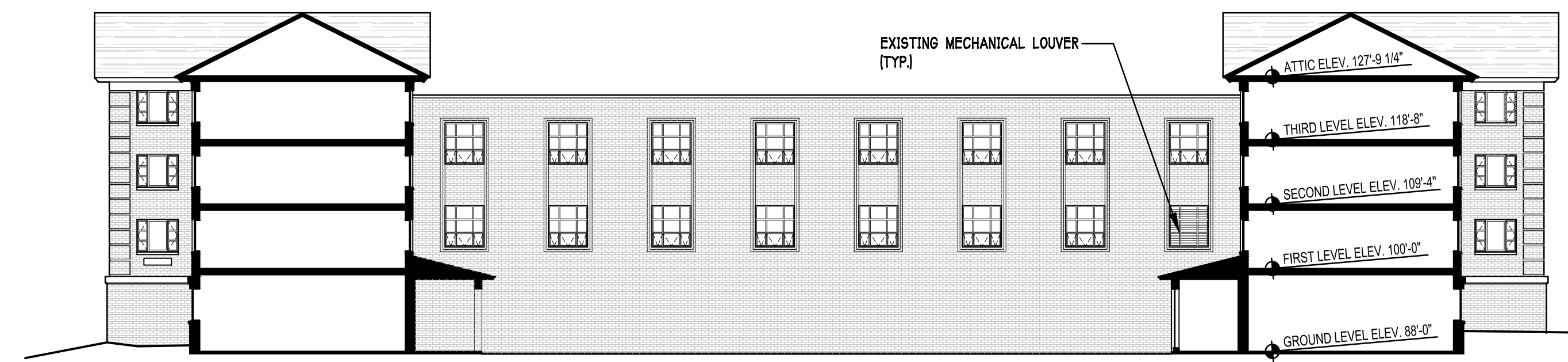
6 SOUTH COURTYARD - EXISTING NORTH ELEVATION  
A202 1/16" = 1'-0"



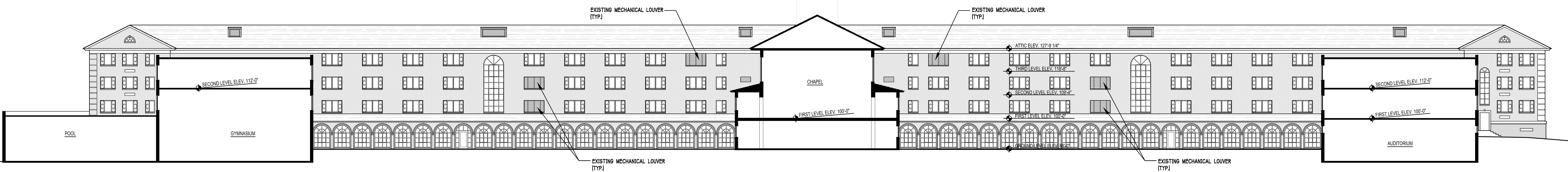
5 NORTH COURTYARD - EXISTING SOUTH ELEVATION  
A202 1/16" = 1'-0"



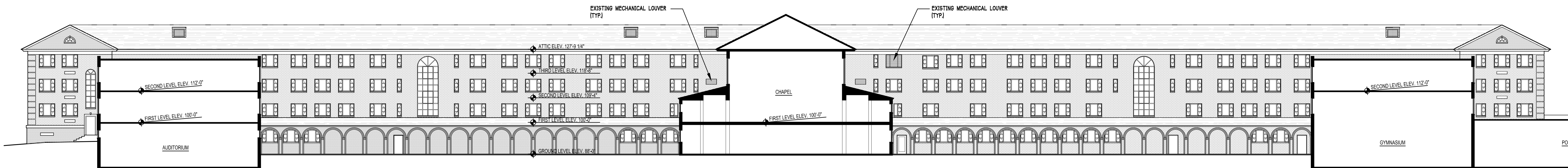
8 SOUTH COURTYARD - EXISTING SOUTH ELEVATION  
A202 1/16" = 1'-0"



7 NORTH COURTYARD - EXISTING NORTH ELEVATION  
A202 1/16" = 1'-0"



9 COURTYARD - EXISTING EAST ELEVATION  
A202 1/16" = 1'-0"



10 COURTYARD - EXISTING WEST ELEVATION  
A202 1/16" = 1'-0"

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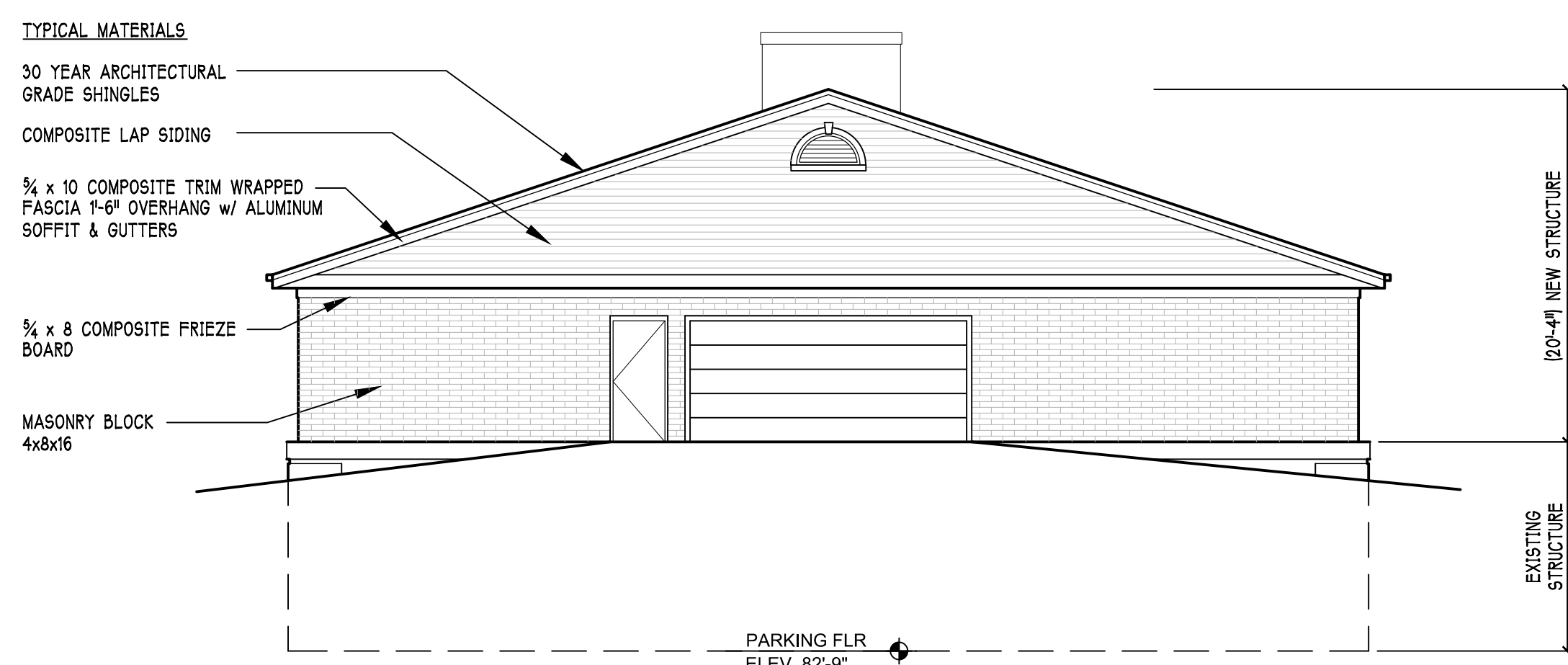
Project No.	BOC
Plot Date:	11-21-2014
Drawn by:	mott

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11-04-2014	75% Review
11-21-2014	Issued UDC Final

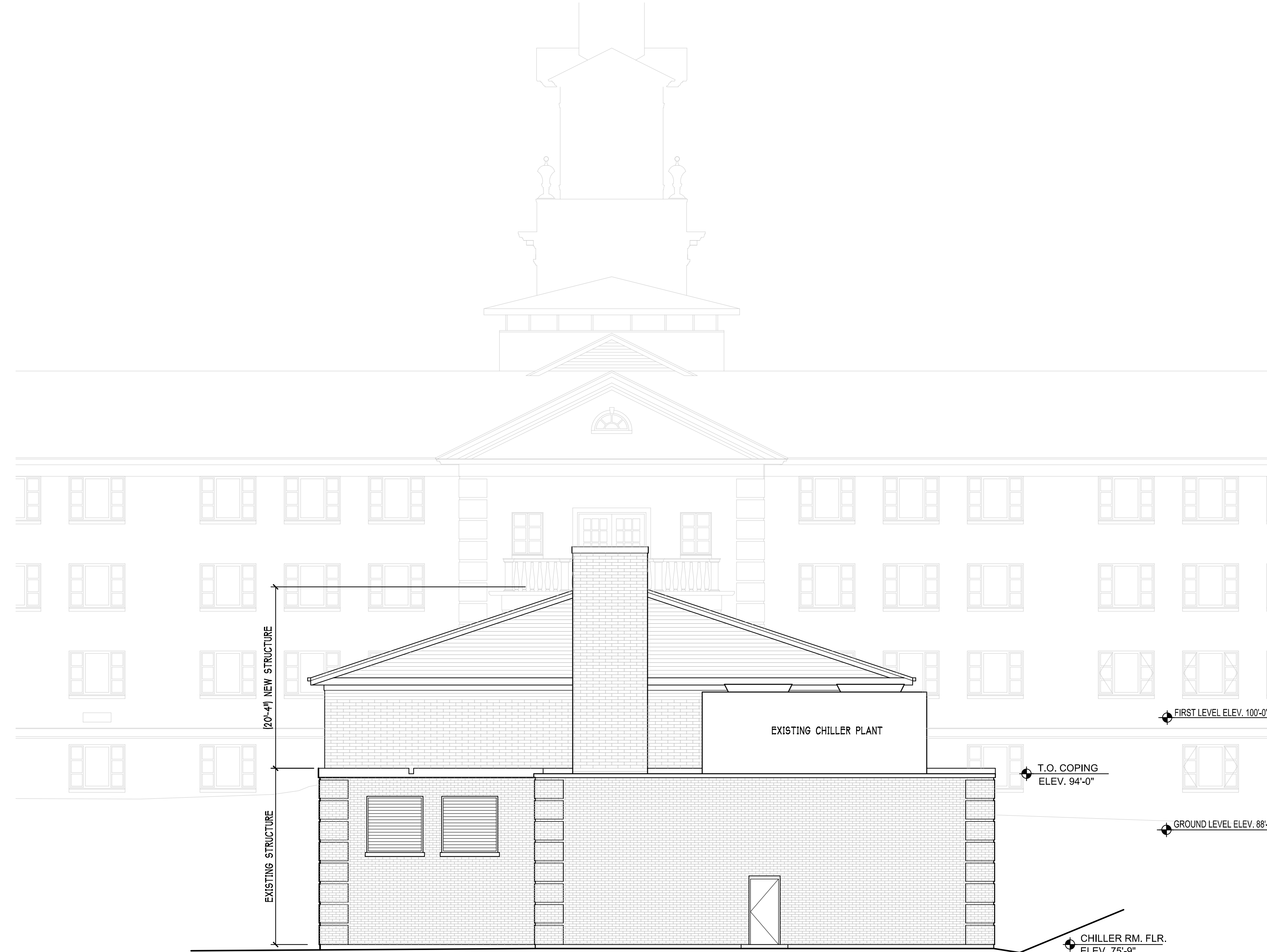
Sheet Title  
EXTERIOR ELEVATIONS

Sheet No.  
**A202**

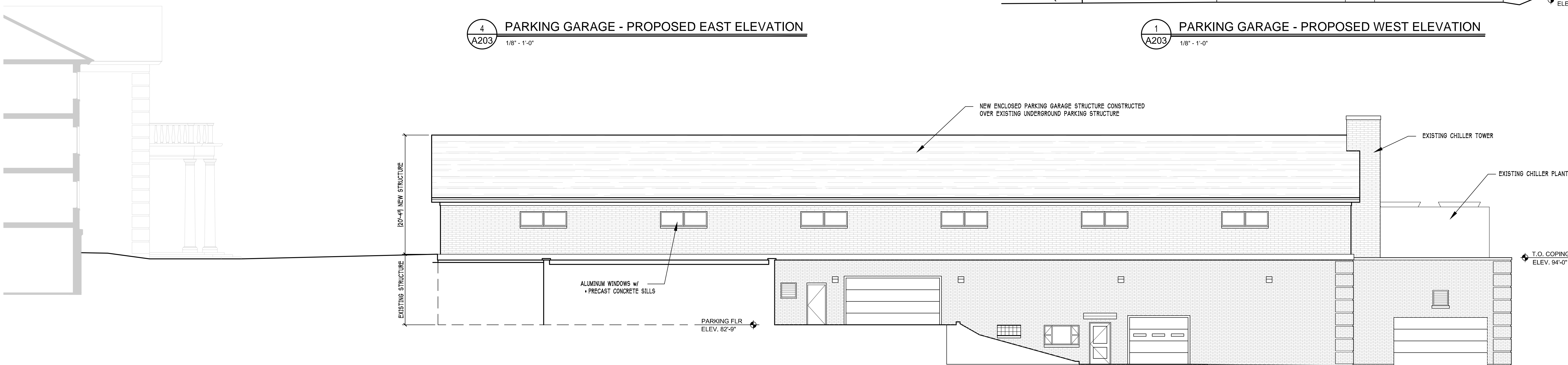
**BISHOP O'CONNOR CENTER**  
702 S. HIGH POINT ROAD  
MADISON, WI 53719



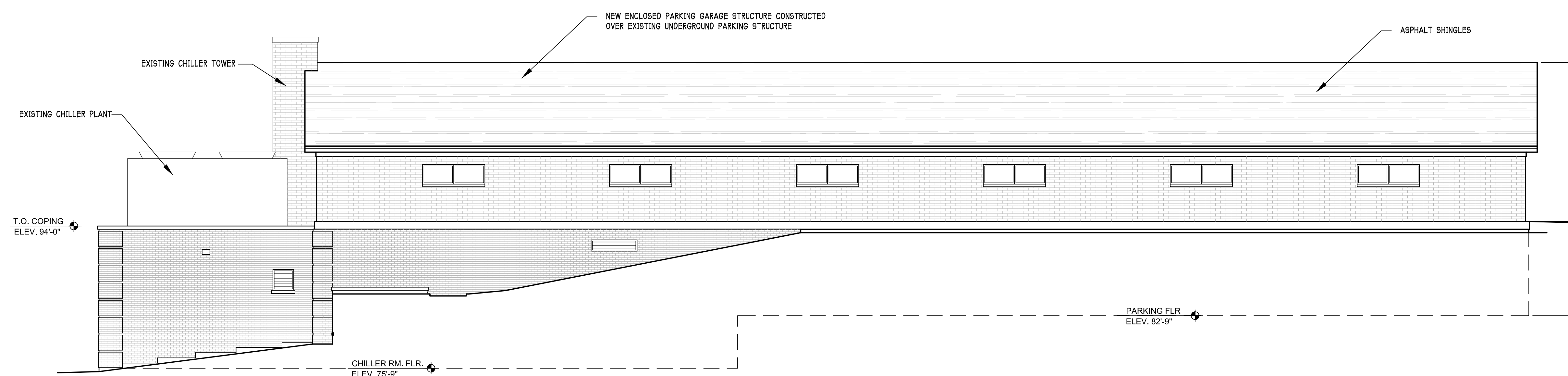
**4** PARKING GARAGE - PROPOSED EAST ELEVATION  
A203 1/8" - 1'-0"



**1** PARKING GARAGE - PROPOSED WEST ELEVATION  
A203 1/8" - 1'-0"



**3** PARKING GARAGE - PROPOSED NORTH ELEVATION  
A203 1/8" - 1'-0"



**4** PARKING GARAGE - SOUTH ELEVATION  
A203 1/8" - 1'-0"

Project No.	BOC
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Sheet Title

EXTERIOR ELEVATIONS

Sheet No.

**A203**

