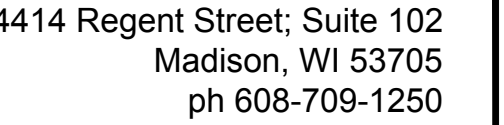


511B & 515B W Dayton Street Street, Madison, WI 53701

ISSUED FOR LAND USE & URBAN DESIGN APPLICATIONS



511 & 515 W. Dayton Housing

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

LU & UDC Applications
NOT FOR CONSTRUCTION

Issued for:

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

PROJECT TITLE SHEET

G001

Civil Engineering & Landscape Architecture

Vierbicher Associates
999 Fourier Drive, Ste 201
Madison, WI 53717

ph 608-826-0532

C100	Existing Conditions Plan
C101	Demolition Plan
C102	Site Plan
C103	Grading Plan
C104	Utility Plan
C105	Fire Access Plan

L100 Landscape Plan

Architectural

CāS. Architecture, LLC
4414 Regent Street, Ste 102
Madison, WI 53705

ph 608-709-1250

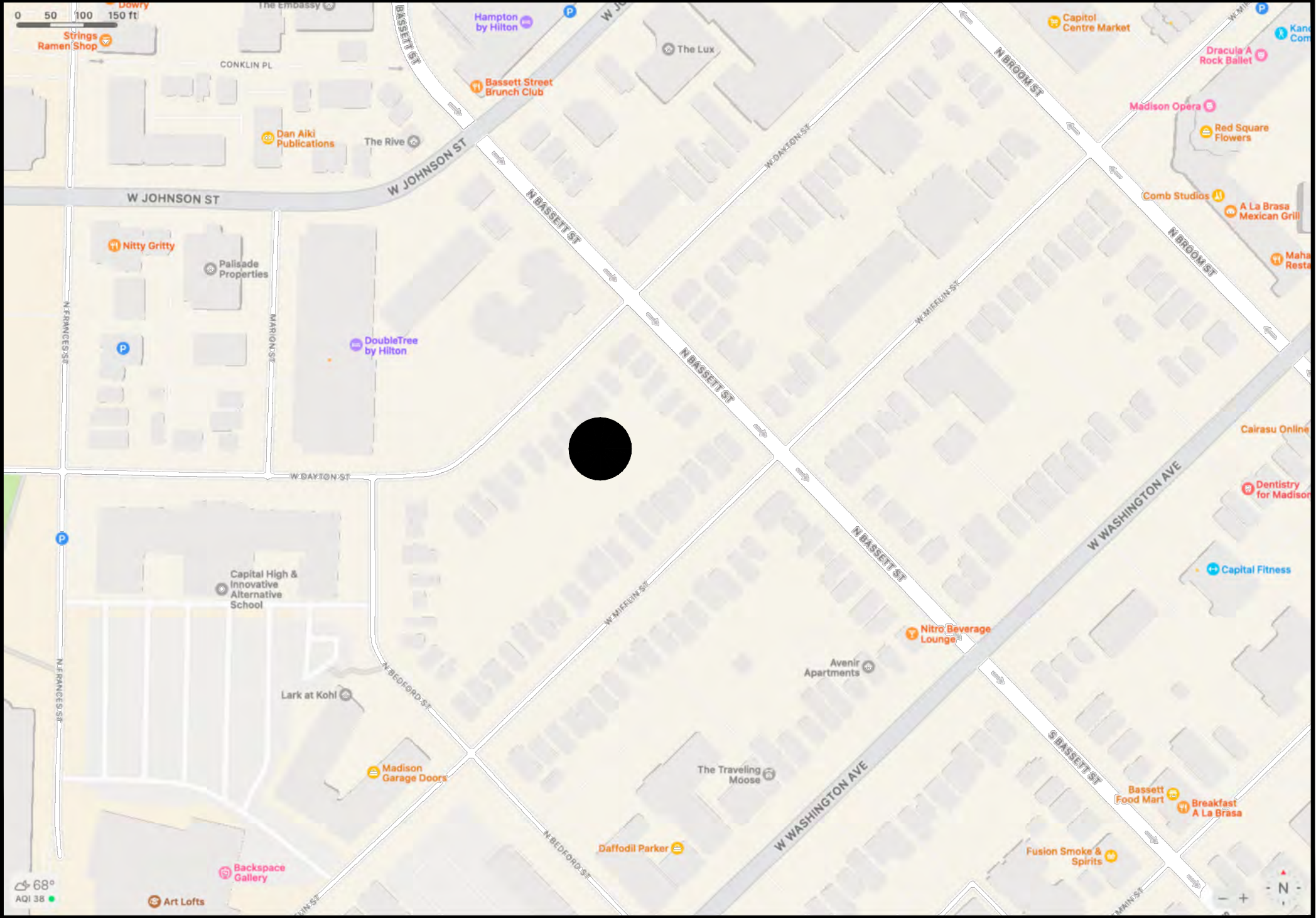
G001	Project Title Sheet
G002	Existing Site Images
A001	Architectural Site Plan with Setbacks & Dwelling Separation
A002	Site Lighting & Photometric Plan
A100	511 Basement, First & Second Floor Plans & Notes
A101	515 Basement, First & Second Floor Plans & Notes
A102	511 & 515 Roof Plans
A200	Exterior Elevations & Materials
A201	Exterior Elevations
A202	Exterior Elevations
A203	3D Images

Structural

DC Engineering
1600 Aspen Commons, Ste 240
Middleton, WI 53562

ph 608-416-1041

SITE LOCATION



Users/paulcuta/Desktop/DT Folders/Proj Folders On PMC/25009.00 - W Dayton New Housing Expansion/02 Drawings/25009_G001_511 & 515 LU Application_25_0908.dwg

Project Name: 511 & 515 W Dayton Housing
Project #: 25009.00



A



B



C



D



G



F



H



J



K



CāS₄

architecture, llc

4414 Regent Street; Suite 102
Madison, WI 53705
ph 608-709-1250

General Contractor
Daniels Construction
919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

511 & 515 W. Dayton Housing
511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

LU & UDC Applications NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Existing Site &
Context Image

G002

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

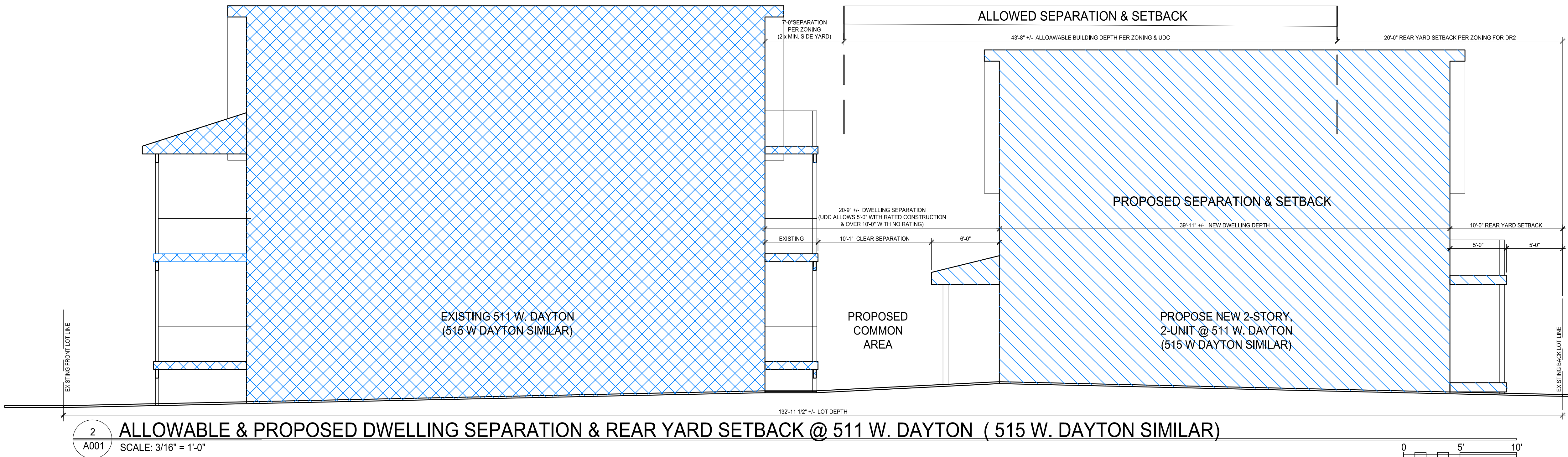
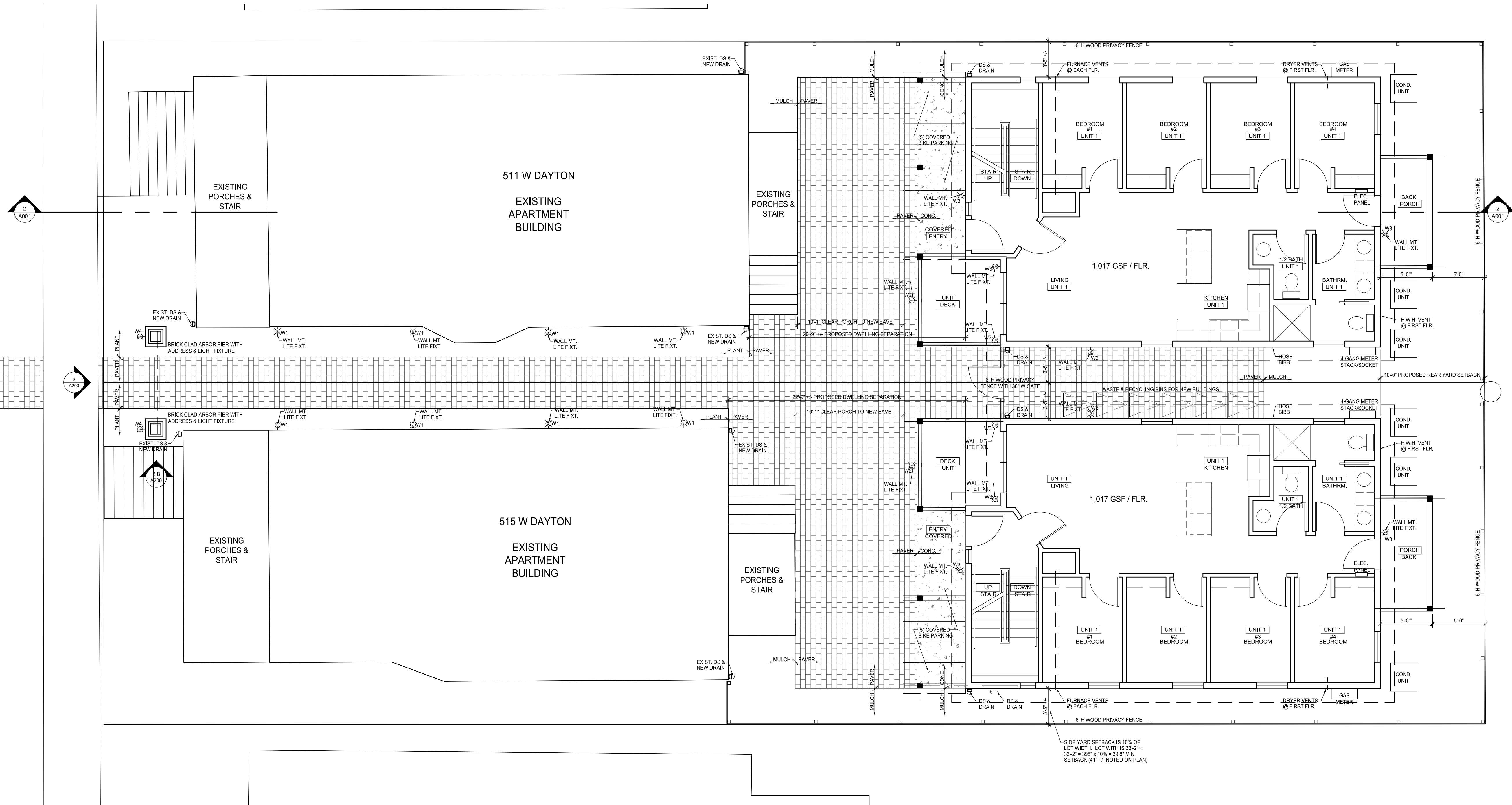
Issued for:

No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

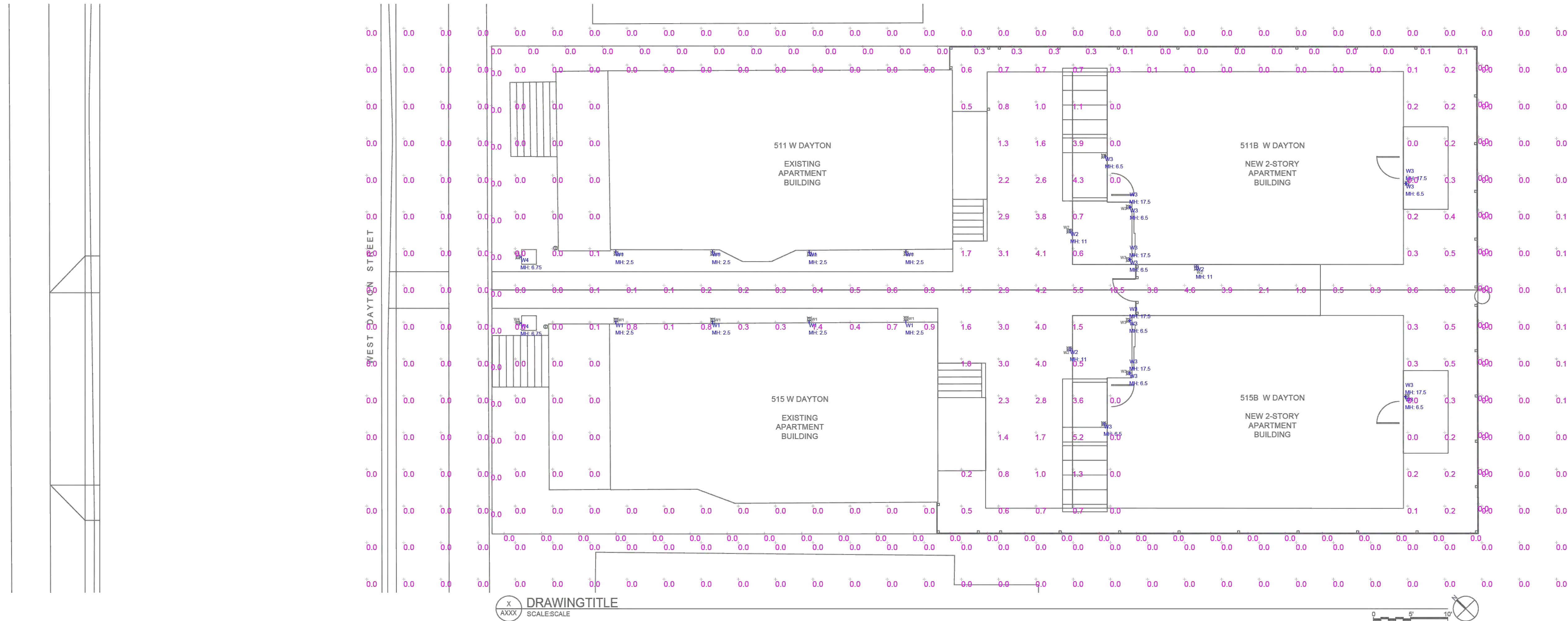
Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

**Site Plan with Setbacks &
Dwelling Separation**

A001



- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
W1	8	Single	0.950	KUZCO	ER30103-xx	3.1	24.8	22
W2	3	Single	0.950	LITHONIA	WDGE1 LED P0 xxK xxCRI VW	6.7947	20.384	761
W3	14	Single	0.950	KUZCO	EW264105-xx	9.8	137.2	617
W4	2	Single	0.950	WAC	WL-LED110-C-xx	3.23545	6.471	1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PRESUMED PROPERTY LINE	Illuminance	Fc	0.02	0.3	0.0	N.A.	N.A.
SITE	Illuminance	Fc	0.35	10.5	0.0	N.A.	N.A.



Site Lighting Consultant

General Contractor
Daniels Construction
919 Applegate Road
Madison, WI 53713

phone: 608-271-480

511 & 515 W. Dayton Housing

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

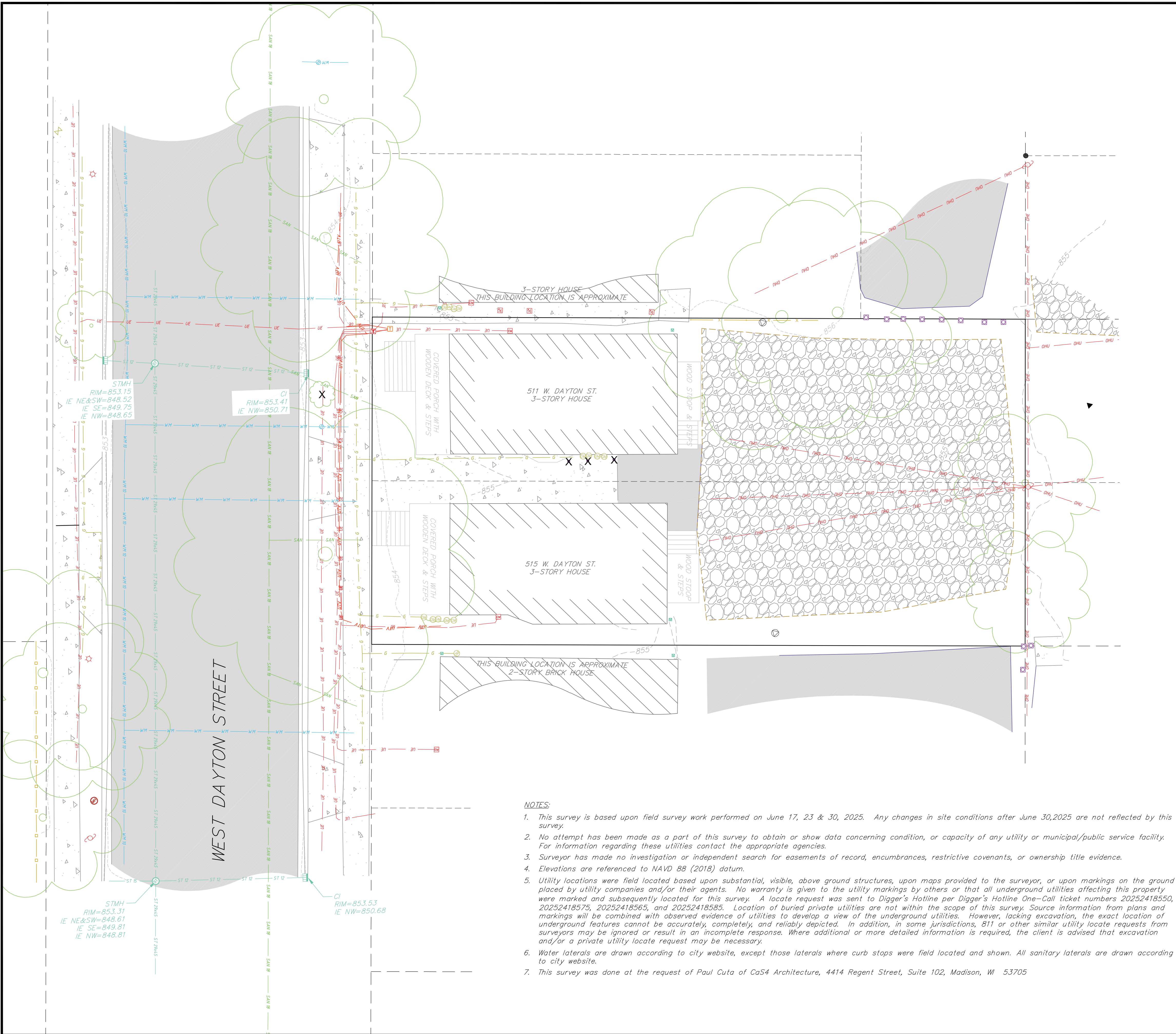
Issued for:

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

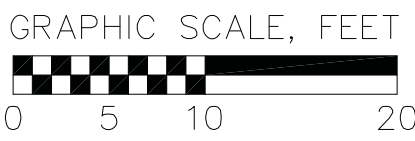
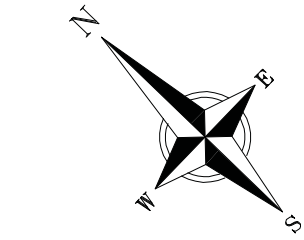
Combined Site Lighting & Photometric Plan

A002



SURVEY LEGEND

- ▲ FOUND NAIL
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD
- ⊙ SET NAIL
- △ SET P.K. NAIL



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⊠ EXISTING POST
- EXISTING CURB INLET
- EXISTING ROOF DRAIN
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING AIR CONDITIONING PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ⊙ EXISTING ELECTRIC METER
- ☆ EXISTING LIGHT POLE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING UNIDENTIFIED MANHOLE
- ⊙ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — UTV — EXISTING UNDERGROUND CABLE TV
- - - X - - - EXISTING WIRE FENCE
- - - G - - - EXISTING GAS LINE
- - - UE - - - EXISTING UNDERGROUND ELECTRIC LINE
- - - OHE - - - EXISTING OVERHEAD ELECTRIC LINE
- - - OHU - - - EXISTING OVERHEAD GENERAL UTILITIES
- - - SAN - - - EXISTING SANITARY SEWER LINE (SIZE NOTED)
- - - ST - - - EXISTING STORM SEWER LINE (SIZE NOTED)
- - - WM - - - EXISTING WATER MAIN (SIZE NOTED)
- - - B20 - - - EXISTING MAJOR CONTOUR
- - - B18 - - - EXISTING MINOR CONTOUR
- - - — - - EXISTING EDGE OF PAVEMENT
- - - — - - EXISTING EDGE OF GRAVEL



EXISTING GRAVEL SURFACE



EXISTING CONCRETE SURFACE



EXISTING ASPHALT SURFACE

NOTES:

1. This survey is based upon field survey work performed on June 17, 23 & 30, 2025. Any changes in site conditions after June 30, 2025 are not reflected by this survey.
2. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
4. Elevations are referenced to NAVD 88 (2018) datum.
5. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20252418550, 20252418575, 20252418585, and 20252418585. Location of buried private utilities are not within the scope of this survey. Source information from plans and markings will be combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.
6. Water laterals are drawn according to city website, except those laterals where curb stops were field located and shown. All sanitary laterals are drawn according to city website.
7. This survey was done at the request of Paul Cuta of CaS4 Architecture, 4414 Regent Street, Suite 102, Madison, WI 53705

Existing Conditions Plan

511 & 515 W Dayton Housing
511 & 515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

NO.	REVISIONS		REVISIONS	
	DATE	REMARKS	NO.	DATE

DATE
09/08/2025

DRAFTER
ZDRE

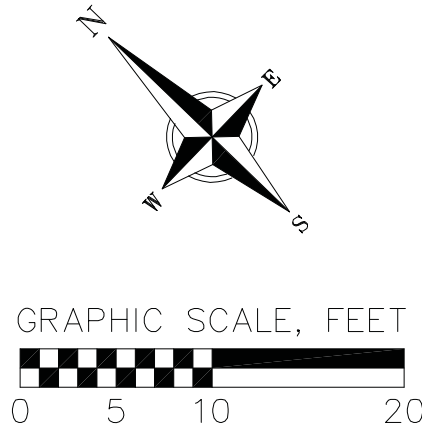
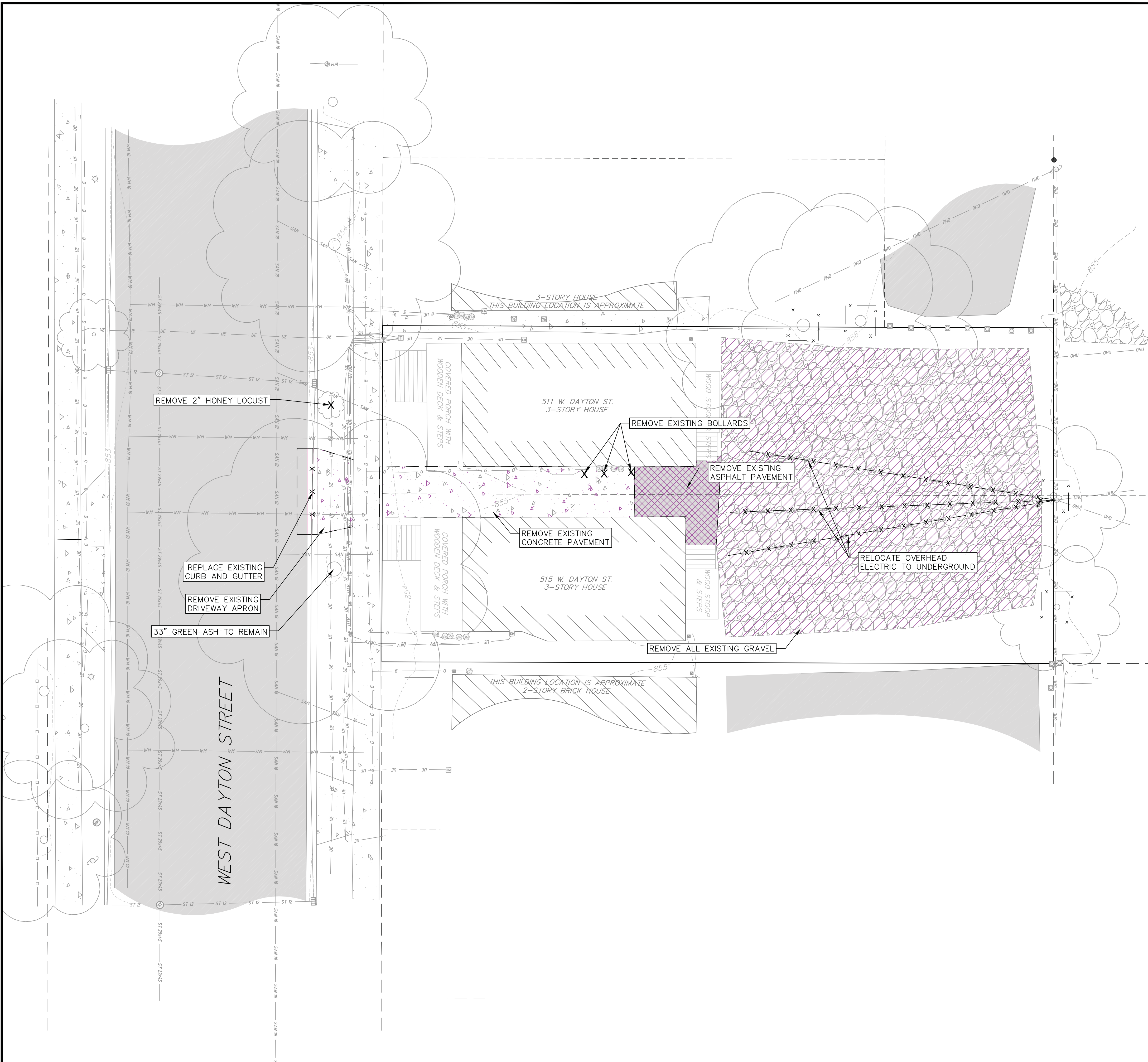
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PROJECT NO.
250510

C100



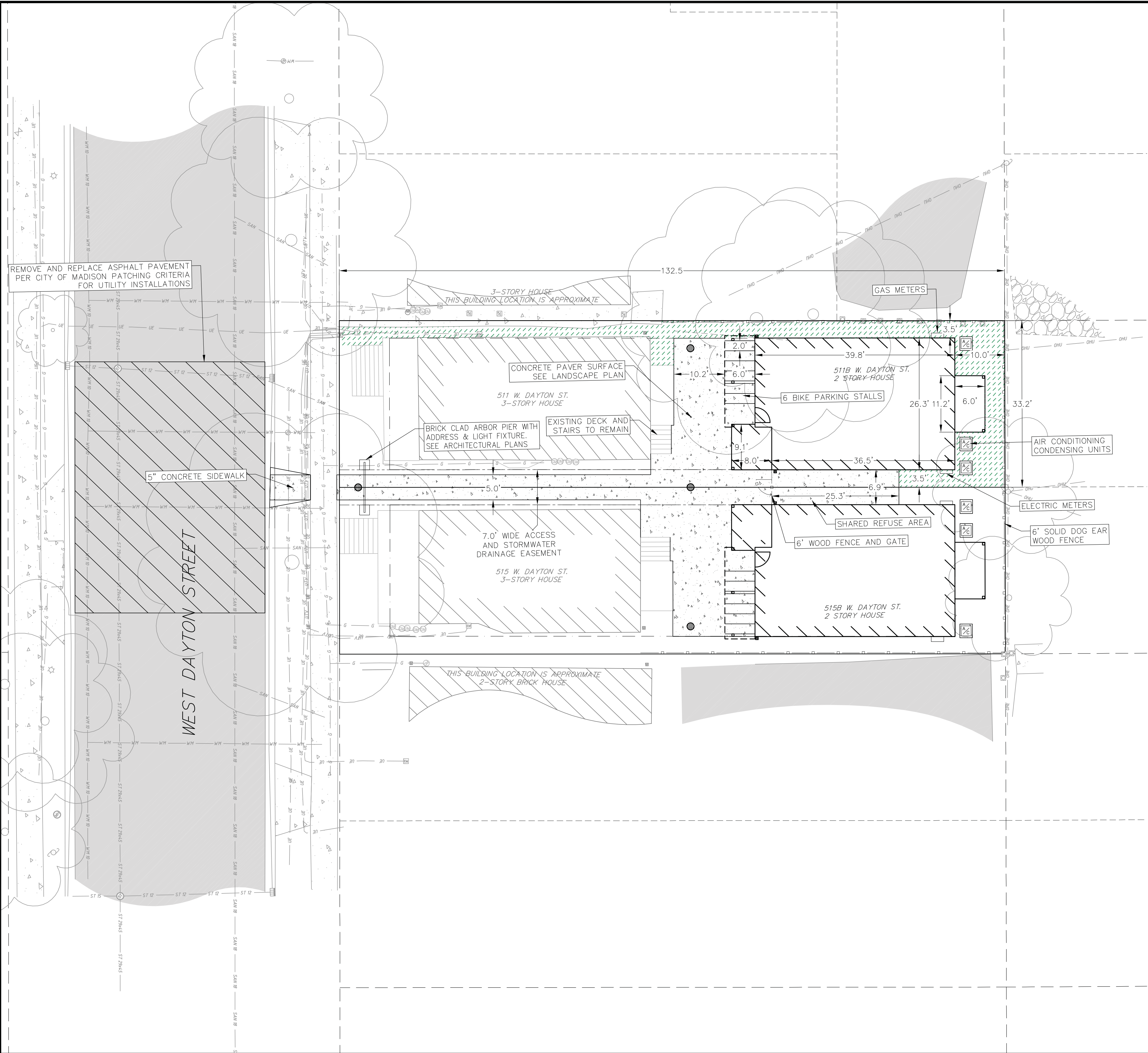
vierbicher
planners engineers advisors



- DEMOLITION PLAN LEGEND
- CURB AND GUTTER REMOVAL
 - ASPHALT REMOVAL
 - CONCRETE REMOVAL
 - GRAVEL REMOVAL
 - TREE REMOVAL
 - SAWCUT
 - UTILITY STRUCTURE REMOVAL
 - UTILITY LINE REMOVAL
 - TREE PROTECTIVE FENCING

- DEMOLITION NOTES:
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 - COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS. EXTENTS OF SAW CUTTING PUBLIC IMPROVEMENTS SHOULD BE VERIFIED BY A CITY REPRESENTATIVE BEFORE CUTTING.
 - CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 - IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 - ALL TREE REMOVALS OVER UNDERGROUND UTILITIES PROHIBIT REMOVAL BY UPROOTING. TREES OVER UNDERGROUND UTILITIES MUST BE CUT AND THE STUMPS GROUND.

		v ierbicher planners engineers advisors			
Demolition Plan		511 & 515 W Dayton Housing 511 & 515 West Dayton Street City of Madison, Dane County, Wisconsin 53703			
REVISIONS	NO.	DATE	REMARKS		
DATE		09/08/2025			
DRAFTER		ZDRE			
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PROJECT NO.		250510			
C101					

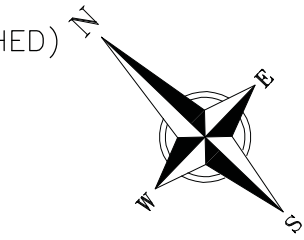


SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED BUILDING

ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL



GRAPHIC SCALE, FEET
0 5 10 20

SITE PLAN NOTES:

- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SITE INFORMATION

ZONING DISTRICT	DR2
SITE ACREAGE	0.101 AC
SITE SQUARE FOOTAGE	4,399 SF
EXISTING BUILDING FOOTPRINT	1,455 SF
PROPOSED BUILDING FOOTPRINT	1,267 SF
PAVED AREA	621 SF
LANDSCAPE AREA	1,056 SF
TOTAL IMPERVIOUS AREA	3,343 SF (76.0%)
USABLE OPEN SPACE	622 SF
FRONT YARD SETBACK	10 FEET
SIDE YARD SETBACK	3.5 FEET
REAR YARD SETBACK	10 FEET

BIKE PARKING ANALYSIS

UNIT TYPE	QTY	CODE REQ'D	TOTAL
		# STALLS REQ'D	
PROPOSED 4 BR	2	1 PER BEDROOM PLUS 1 GUEST SPACE PER 4 BEDROOMS	10 STALLS
BICYCLE SUBSTITUTION	2	FOUR (4) BICYCLE PARKING SPACES ABOVE THE MINIMUM NUMBER REQUIRED MAY BE SUBSTITUTED FOR ONE (1) REQUIRED AUTOMOBILE PARKING SPACE.	8 STALLS
TOTAL REQUIRED			18 STALLS
PROVIDED ABOVE GRADE			6 STALLS
PROVIDED BELOW GRADE			12 STALLS
TOTAL PROVIDED			18 STALLS

*2 AUTOMOBILE STALLS ARE REQUIRED (1 PER DWELLING UNIT) AND IS SATISFIED WITH BICYCLE SUBSTITUTION.



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planners engineers advisors

Site Plan

511 W Dayton Housing
511 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISIONS

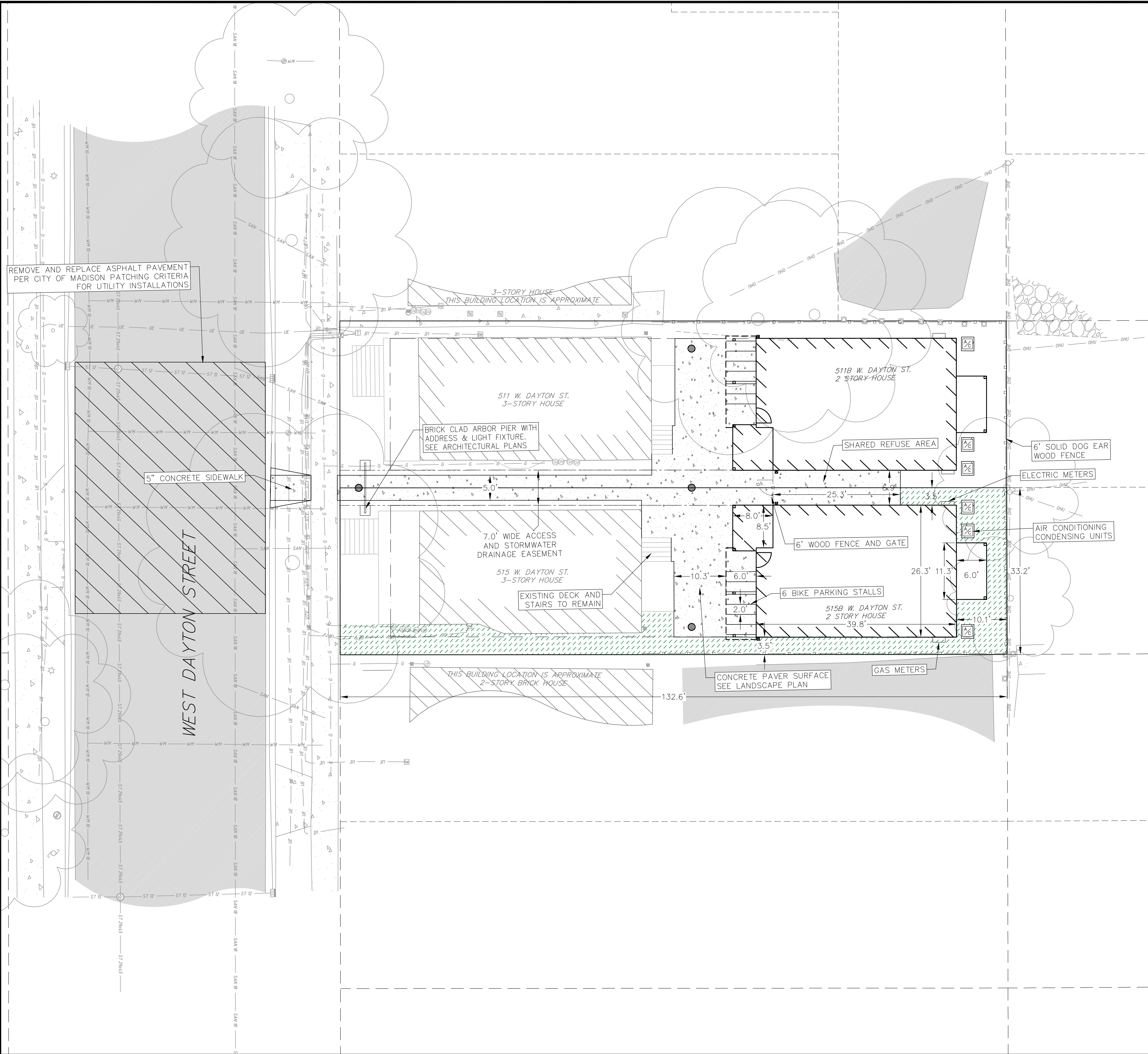
NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS

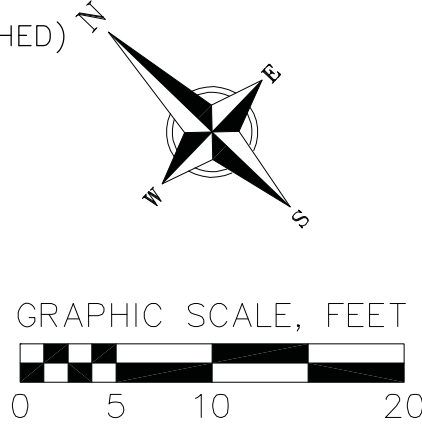
DATE
09/08/2025
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RKOL
PROJECT NO.
250510

C102



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED WOOD FENCE
 - PROPOSED CONCRETE
 - PROPOSED BUILDING

- ABBREVIATIONS**
- TC - TOP OF CURB
 - FF - FINISHED FLOOR
 - FL - FLOW LINE
 - SW - TOP OF WALK
 - TW - TOP OF WALL
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SITE PLAN NOTES:

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- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SITE INFORMATION	
ZONING DISTRICT	DR2
SITE ACREAGE	0.101 AC
SITE SQUARE FOOTAGE	4,401 SF
EXISTING BUILDING FOOTPRINT	1,383 SF
PROPOSED BUILDING FOOTPRINT	1,267 SF
PAVED AREA	655 SF
LANDSCAPE AREA	1,096 SF
TOTAL IMPERVIOUS AREA	3,305 SF (75.1%)
USABLE OPEN SPACE	842 SF
FRONT YARD SETBACK	10 FEET
SIDE YARD SETBACK	3.5 FEET
REAR YARD SETBACK	10 FEET

BIKE PARKING ANALYSIS			
UNIT TYPE	QTY	CODE REQ'D	TOTAL
		# STALLS REQ'D	
PROPOSED 4 BR	2	1 PER BEDROOM PLUS 1 GUEST SPACE PER 4 BEDROOMS	10 STALLS
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TOTAL REQUIRED			18 STALLS
PROVIDED ABOVE GRADE			6 STALLS
PROVIDED BELOW GRADE			12 STALLS
TOTAL PROVIDED			18 STALLS

*2 AUTOMOBILE STALLS ARE REQUIRED (1 PER DWELLING UNIT) AND IS SATISFIED WITH BICYCLE SUBSTITUTION.



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planners | engineers | advisors

Site Plan

515 W Dayton Housing
515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISONS	REVISONS		REMARKS
	NO.	DATE	

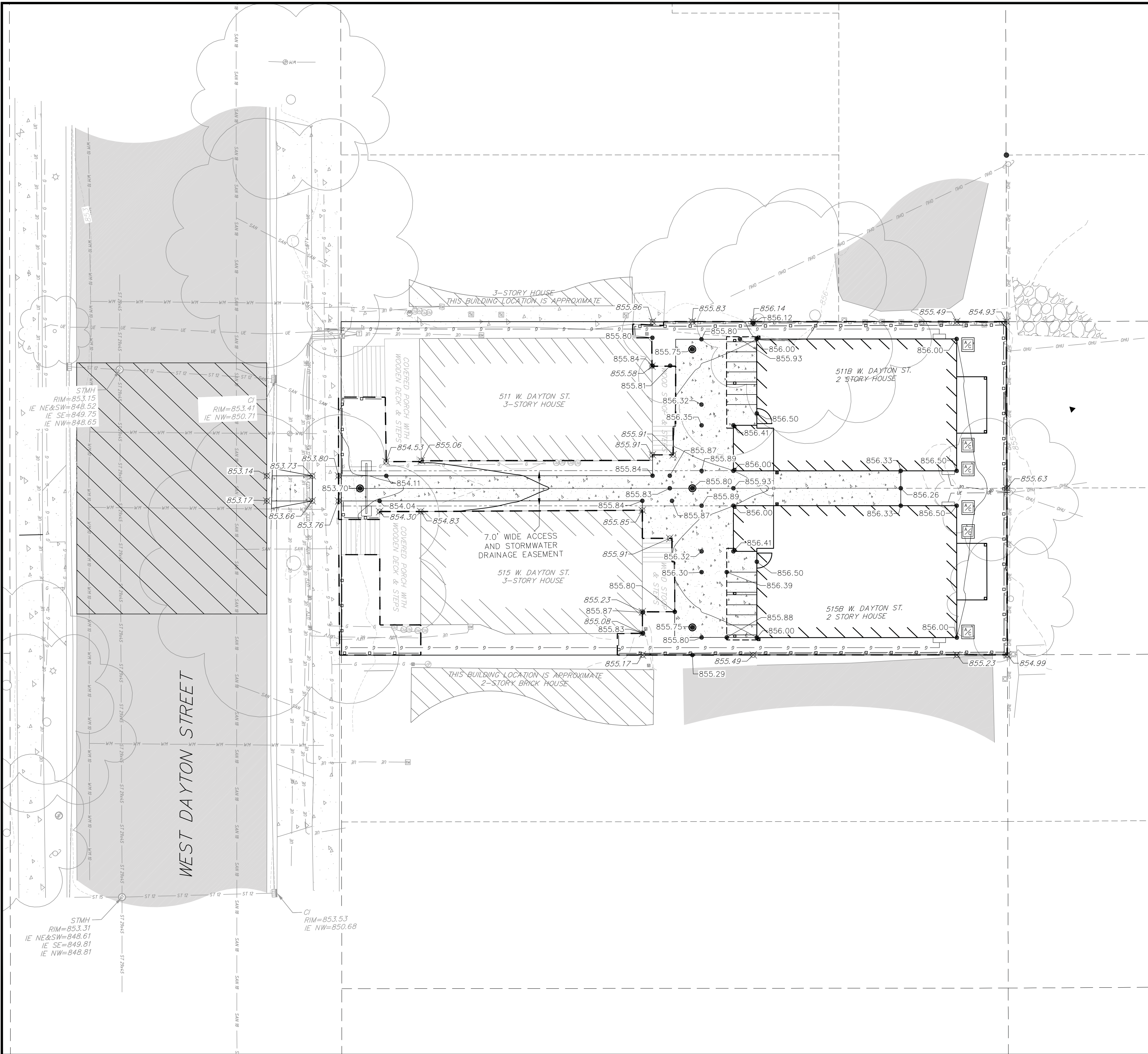
DATE
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RKOL

PROJECT NO.
250510

C103



GRADING LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 --- PROPOSED MAJOR CONTOURS
- 818 --- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD

GRAPHIC SCALE, FEET

0 5 10 20

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
 - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



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Grading Plan

511 & 515 W Dayton Housing

511 & 515 West Dayton Street

City of Madison, Dane County, Wisconsin 53703

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE

09/08/2025

DRAFTER

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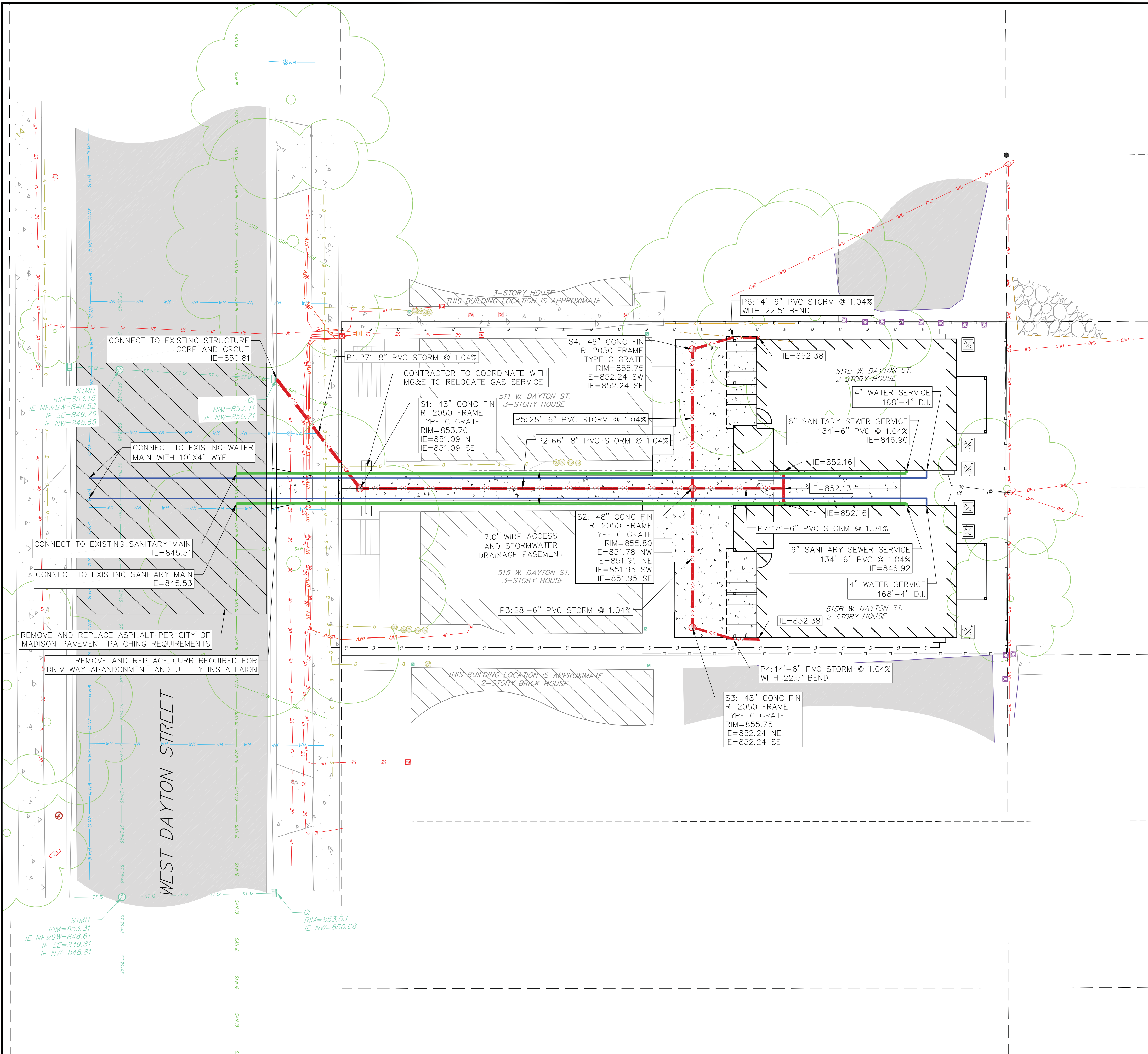
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PROJECT NO.

250510

C104

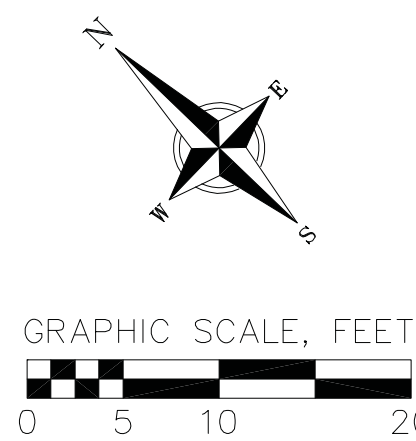


PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER FIELD INLET
- SANITARY SEWER LATERAL PIPE
- WATER SERVICE LATERAL PIPE
- WATER VALVE
- GAS MAIN
- ELECTRIC SERVICE
- PROPOSED PIPE INSULATION

ABBREVIATIONS

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

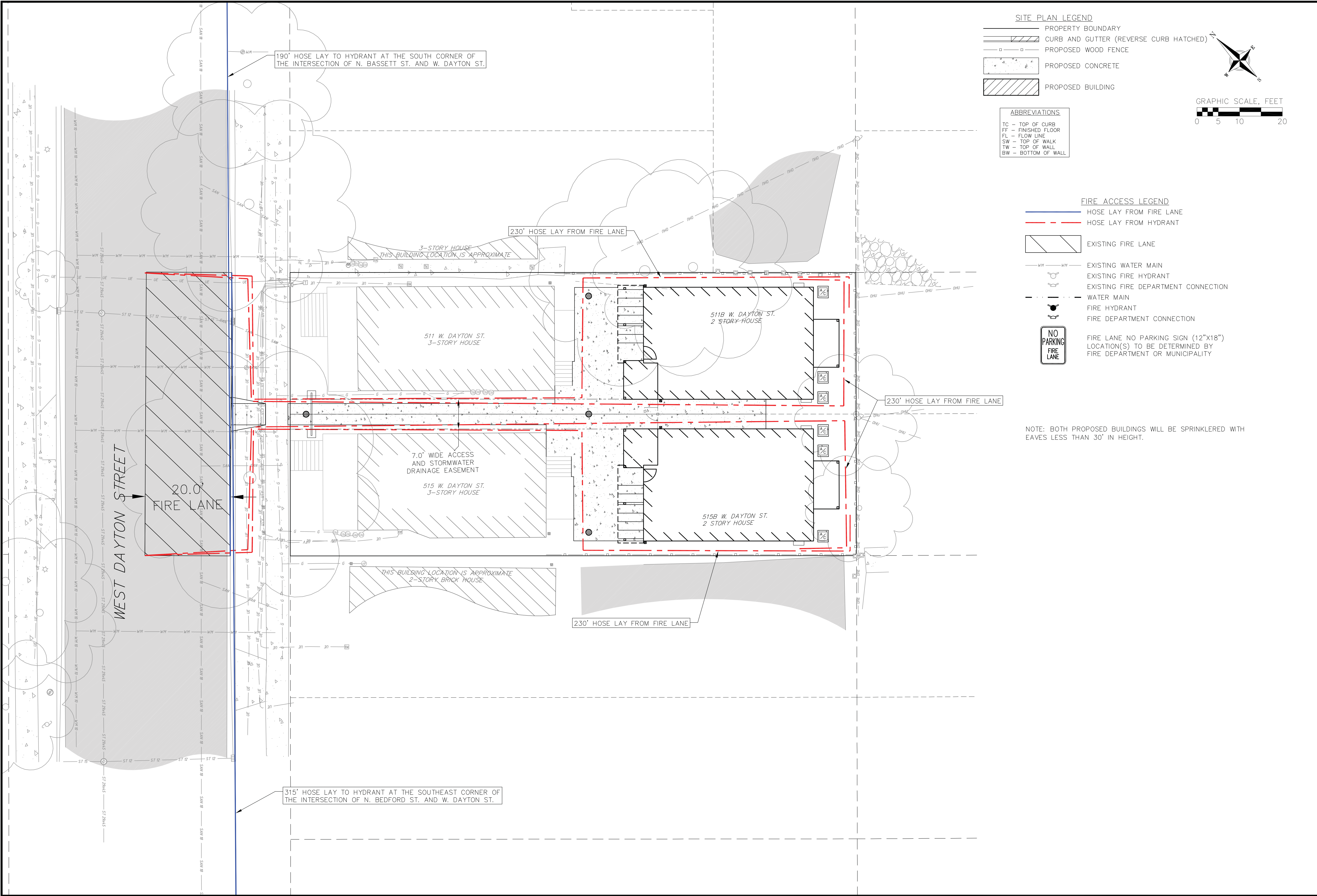


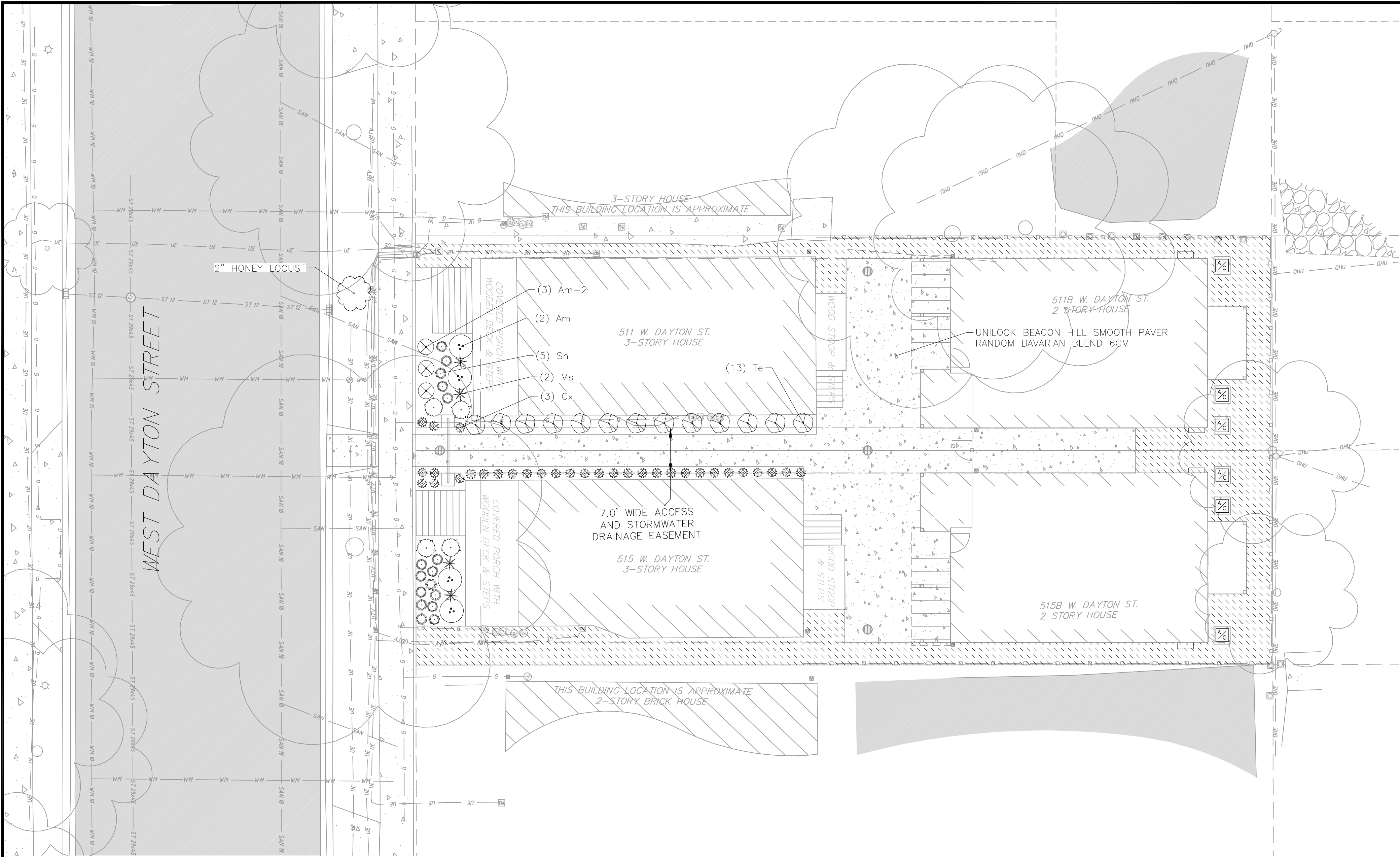
- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
 - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
 - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
 - INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

Utility Plan

511 & 515 W Dayton Housing
511 & 515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.
DATE			
09/08/2025			
DRAFTER			
ZDRE			
CHECKED			
RKOL			
PROJECT NO.			
250510			
C105			





PLANT SCHEDULE 511 W DAYTON

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	2
Am-2	Aronia melanocarpa 'UCONNAM012' / Ground Hug® Black Chokeberry	Cont.	2 Gal.	3
La	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	2
EVERGREEN SHRUBS				
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	#3	13
PERENNIALS				
MS	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	2
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	5

City of Madison Landscape Worksheet								
Address:		511 W Dayton St.		Date:	8/20/2025			
Total Square Footage of Developed Area:		(Site Area)	-	(Building Footprint at Grade)		=	2241	sf
			4400			2159		
Total Landscape Points Required (<5 ac):		2,241	/ 300 =	7	x 5 =	37	37	
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	-		
			Credits/ Existing Landscaping		New/ Proposed Landscaping			
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved		
Overstory deciduous tree	2.5" cal	35		0		0		
Tall Evergreen Tree	5-6 feet tall	35		0		0		
Ornamental tree	1.5" cal	15		0		0		
Upright evergreen shrub	3-4 feet tall	10		0		0		
Shrub, deciduous	#3 gallon	3		0	7	21		
Shrub, evergreen	#3 gallon	4		0	13	52		
Ornamental grasses/perennials	#1 gallon	2		0	7	14		
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0		
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0		
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0		
Sub Totals				0		87		
				Total Points Provided:		87		

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE AREAS IDENTIFIED AS DECORATIVE STONE ARE TO BE INSTALLED USING 3/4" 'GRANITE MIST' AS SUPPLIED BY 'MIDWEST DECORATIVE STONE OR EQUAL TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- AREAS LABELED ARTIFICIAL TURF ARE TO BE INSTALLED USING POLYTURF - 'GARDEN GRASS PET & PLAY' OR EQUAL PER MANUFACTURER INSTRUCTIONS.

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.



vierbicher
planners | engineers | advisors

Landscape Plan

511 W Dayton Housing
511 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

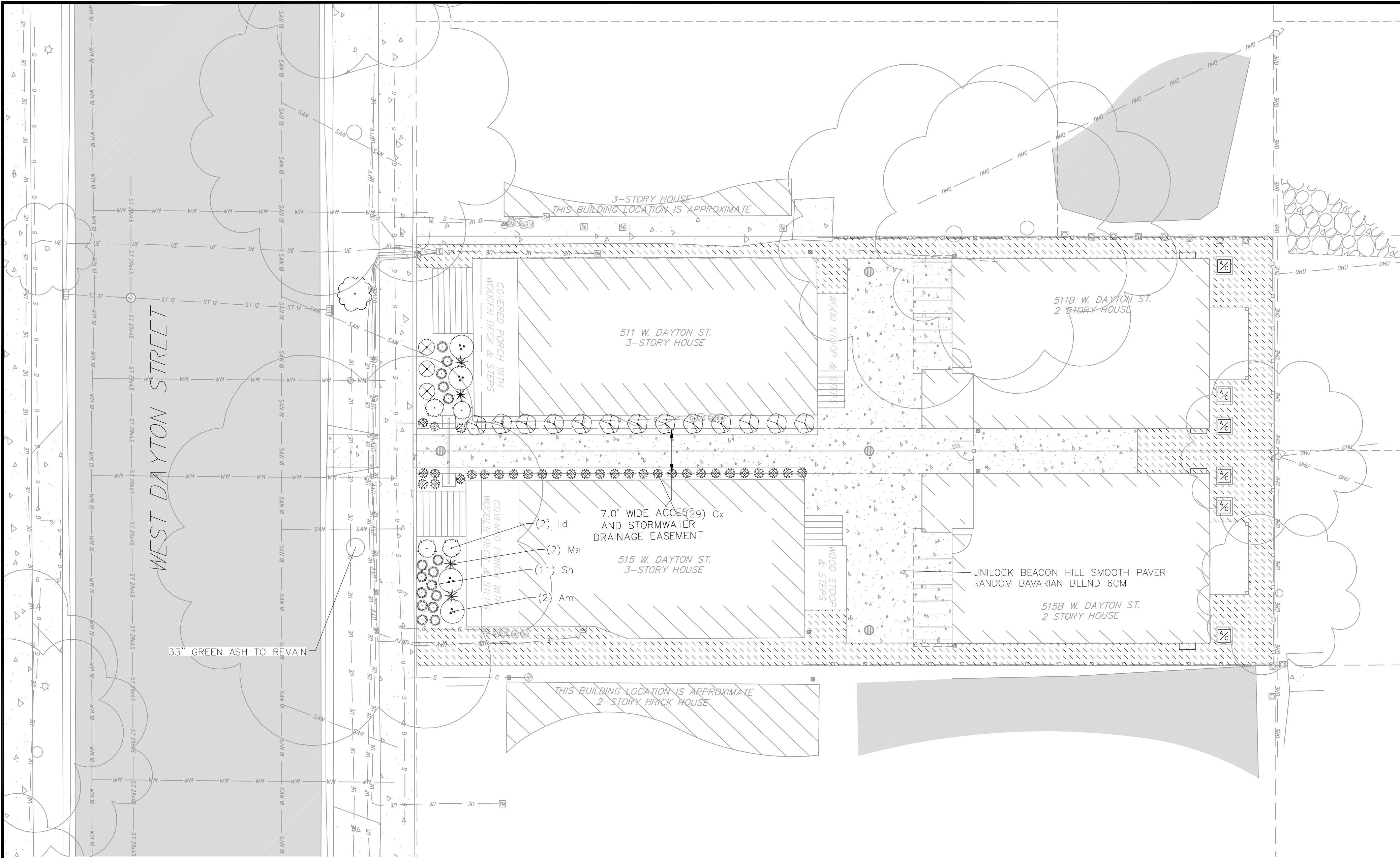
DATE
09/08/2025

DRAFTER
ZDRE

CHECKED
RKOL

PROJECT NO.
250510

L100



PLANT SCHEDULE 515 W DAYTON

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	2
Ld	Lonicera clervilla / Honeysuckle	Cont.	3 Gal.	2
PERENNIALS				
Cx	Carex pensylvanica / Pennsylvania Sedge	Cont.	1 Gal.	29
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	2
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	11

City of Madison Landscape Worksheet							
Address:		515 W Dayton St.		Date:	8/20/2025		
Total Square Footage of Developed Area:		(Site Area)	-	(Building Footprint at Grade)		=	2327 sf
Total Landscape Points Required (<5 ac):		2,327	/ 300 =	8	x 5 =	39	
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	-	39
			Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved	
Overstory deciduous tree	2.5" cal	35		0		0	
Tall Evergreen Tree	5-6 feet tall	35		0		0	
Ornamental tree	1.5" cal	15		0		0	
Upright evergreen shrub	3-4 feet tall	10		0		0	
Shrub, deciduous	#3 gallon	3		0	4	12	
Shrub, evergreen	#3 gallon	4		0		0	
Ornamental grasses/perennials	#1 gallon	2		0	42	84	
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0	
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0	
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0	
Sub Totals				0		96	
Total Points Provided:				96			

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
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General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

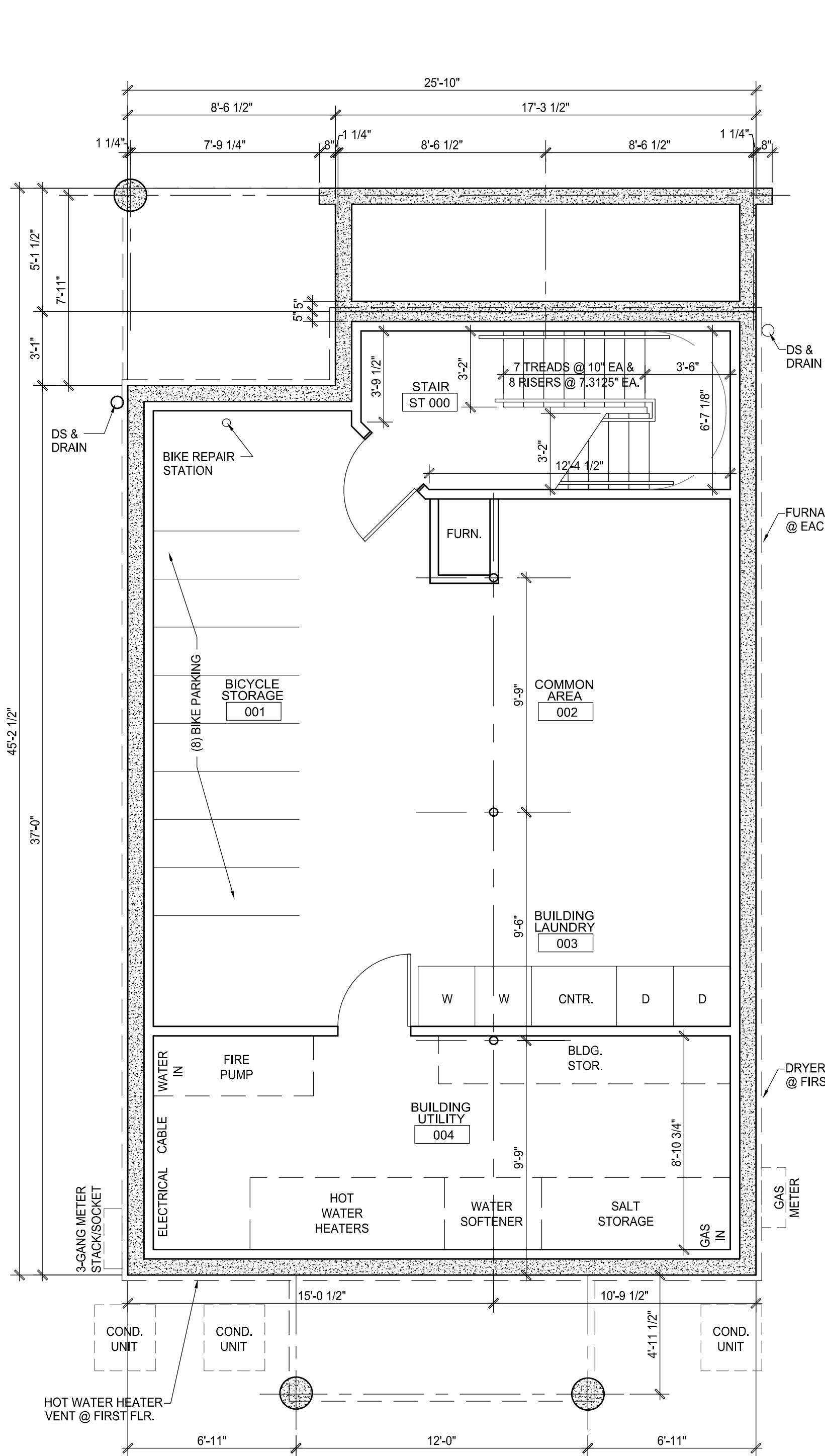
Issued for:

No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

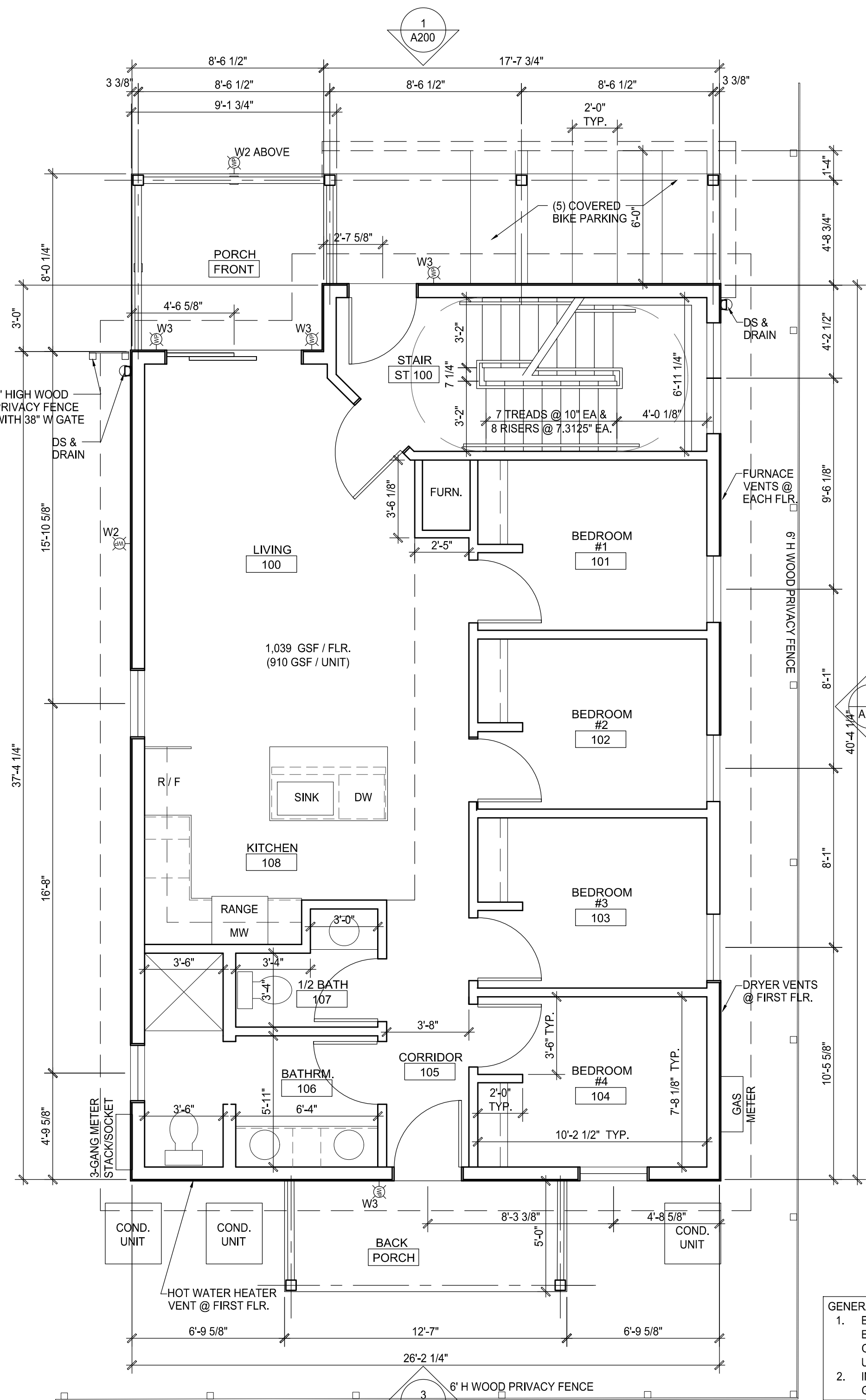
**511 - New Floor Plans &
Notes**

A100



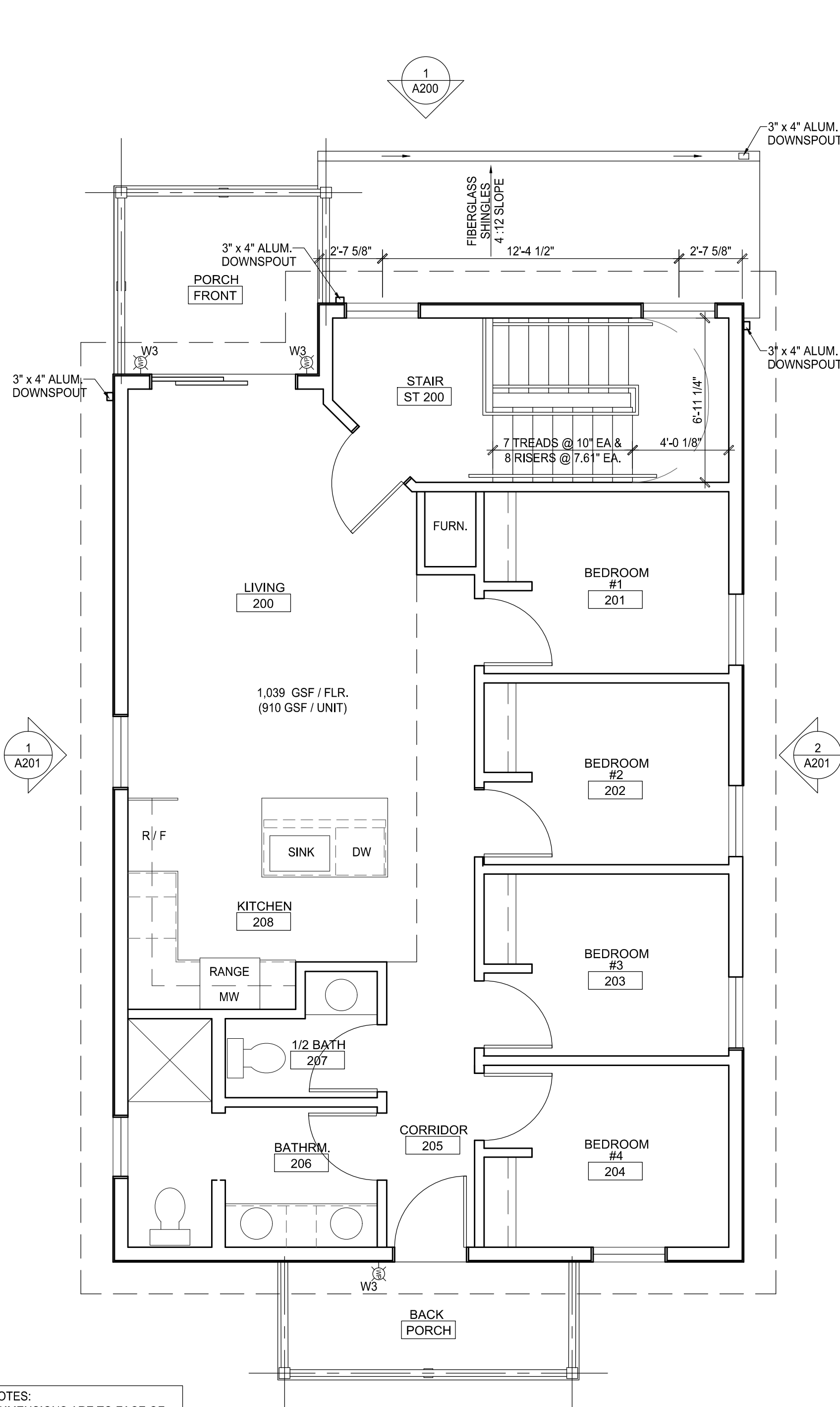
511 - BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



511 - FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



511 - SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING, CENTERLINES OF OPENINGS AND FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE FROM FACE OF GWB UNLESS NOTED OTHERWISE.

General Contractor

Daniels Construction

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Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

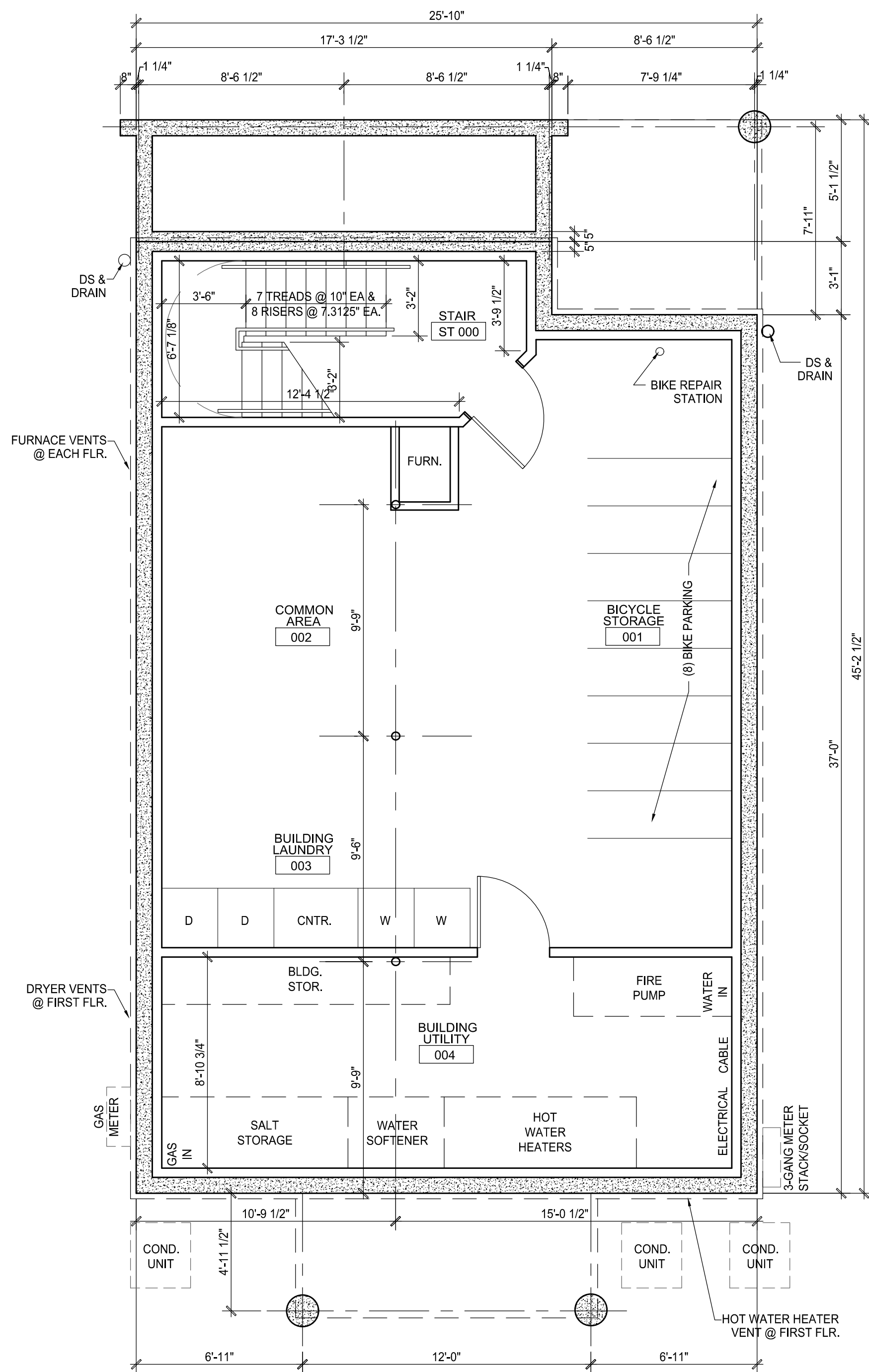
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No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
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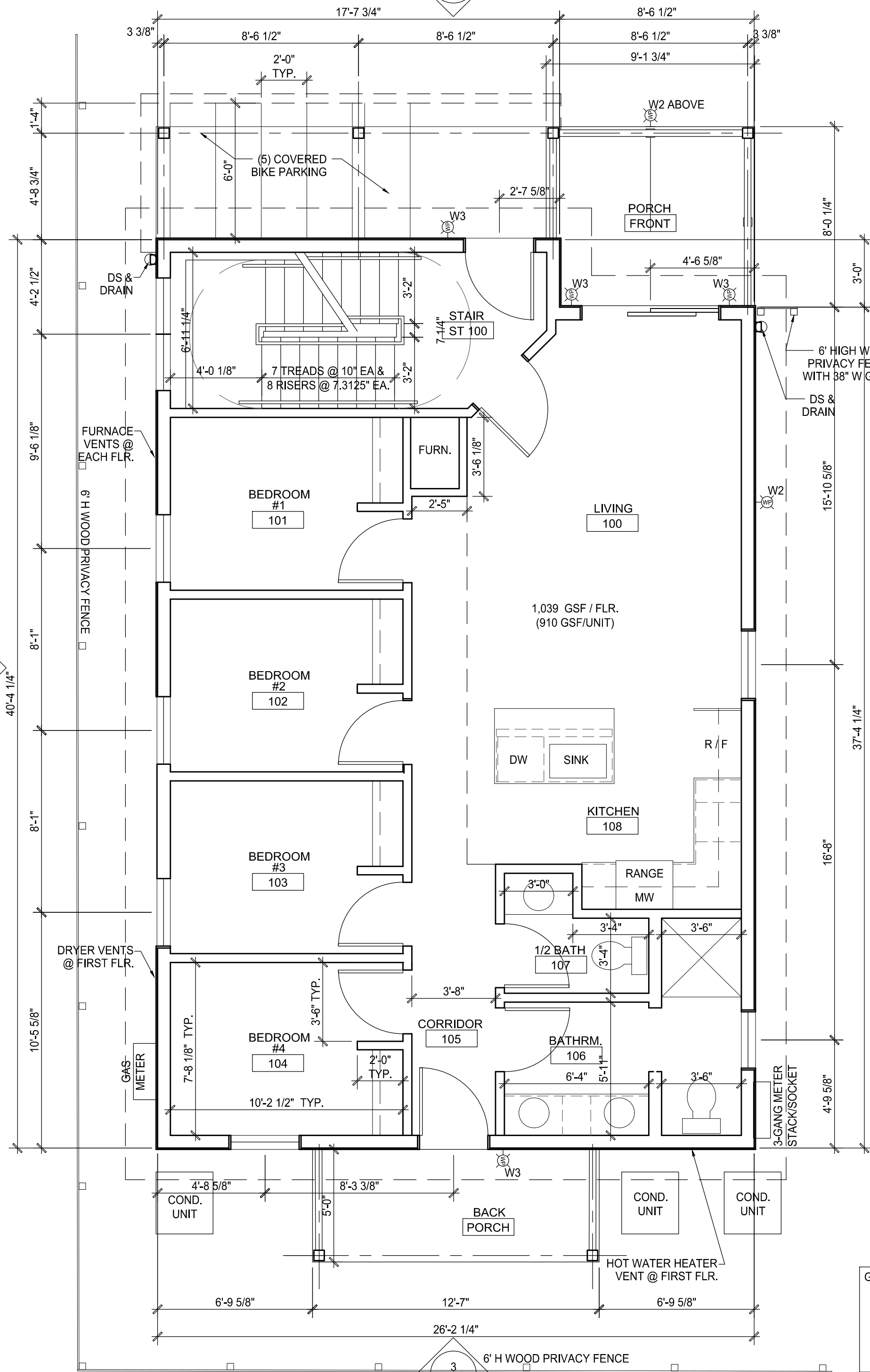
**515 - New Floor Plans &
Notes**

A101



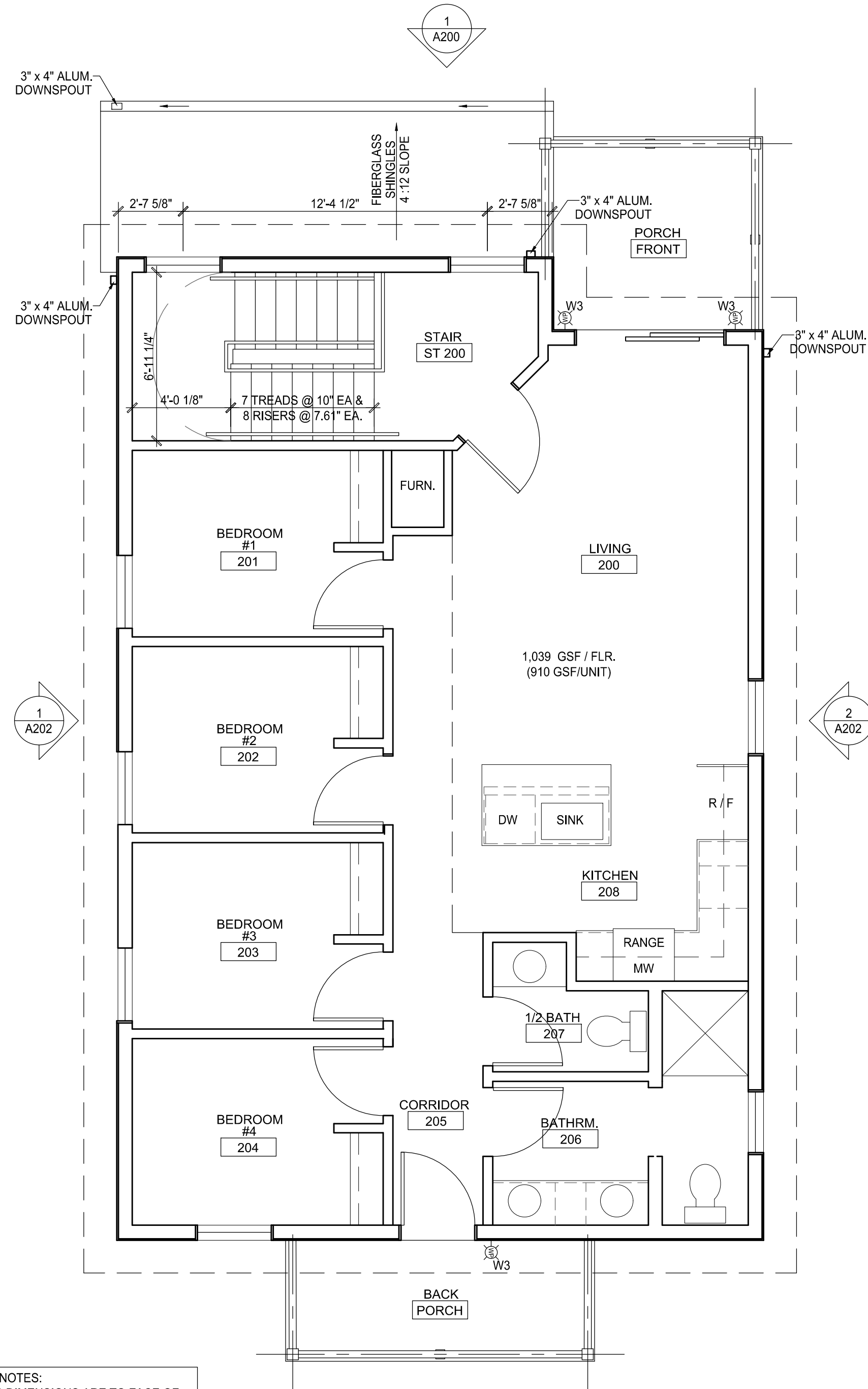
515 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



515 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



515 SECOND & THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING, CENTERLINES OF OPENINGS AND FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE FROM FACE OF GWB UNLESS NOTED OTHERWISE.

phone: 608-271-4800

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

Issued for:

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

A102

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

Issued for:

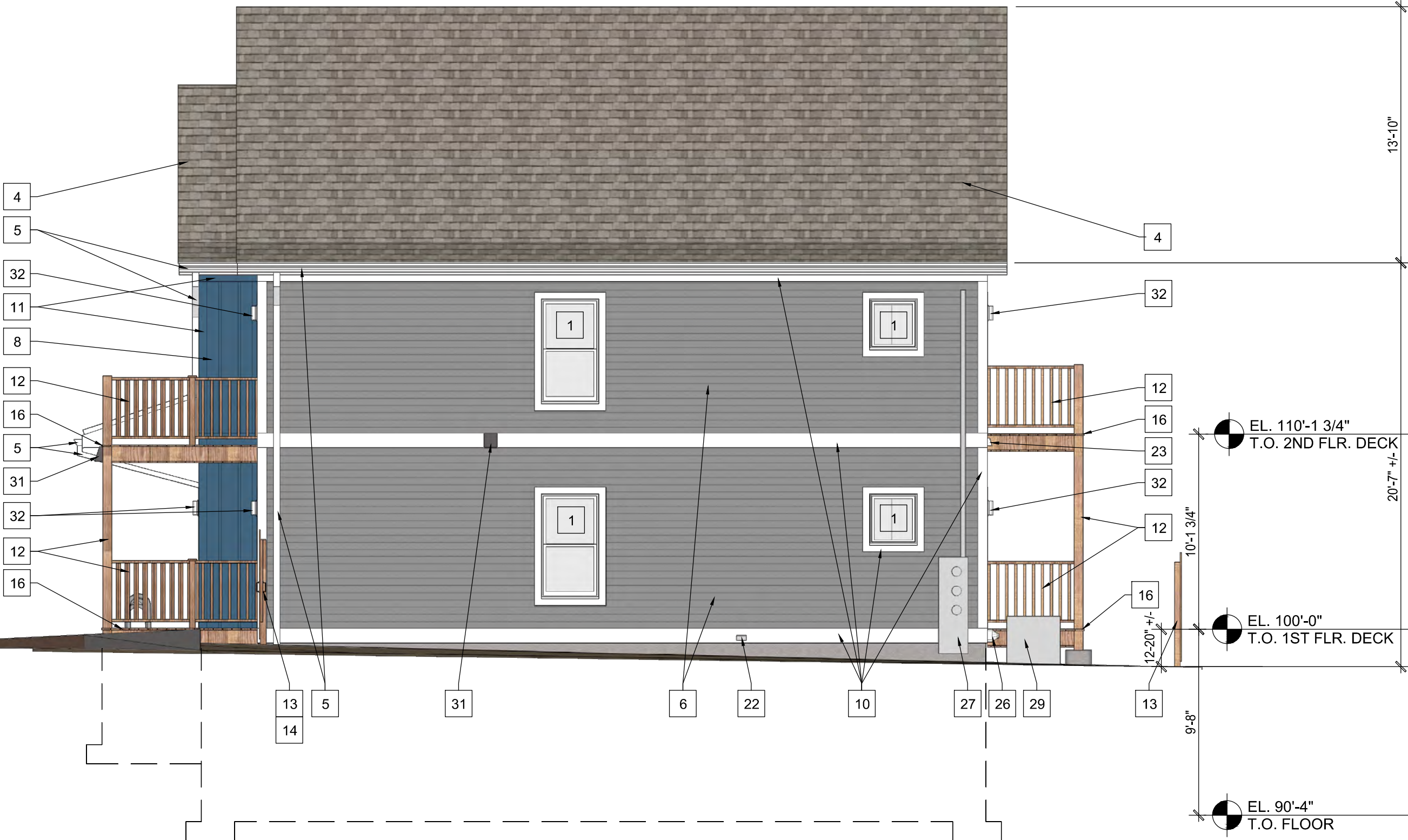
No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

511 - Exterior Elevations

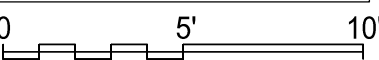
A201

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING

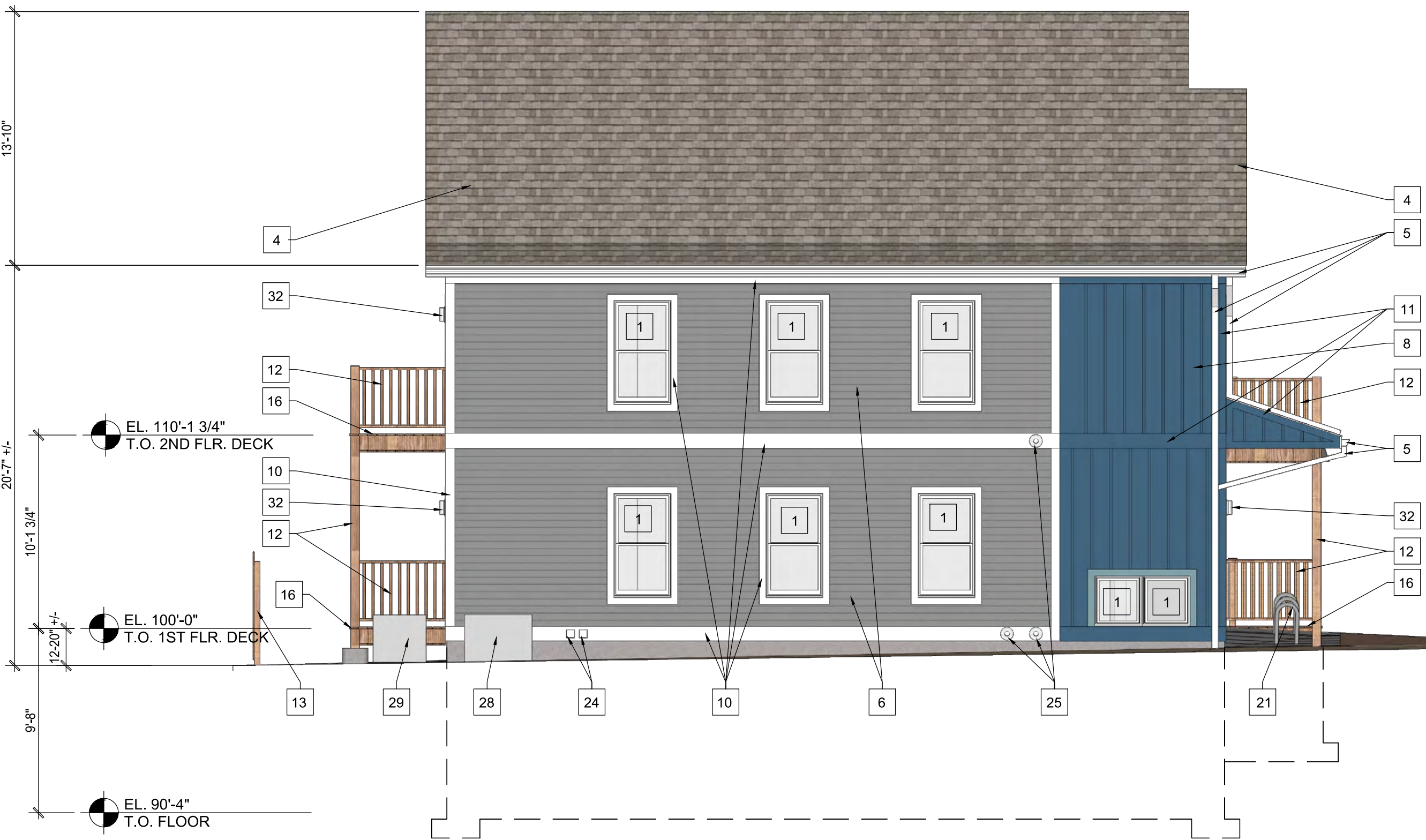


511 W. DAYTON

1
A201
WEST SIDE ELEVATION
SCALE: 3/16" = 1'-0"

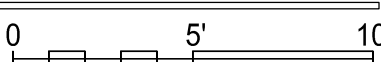


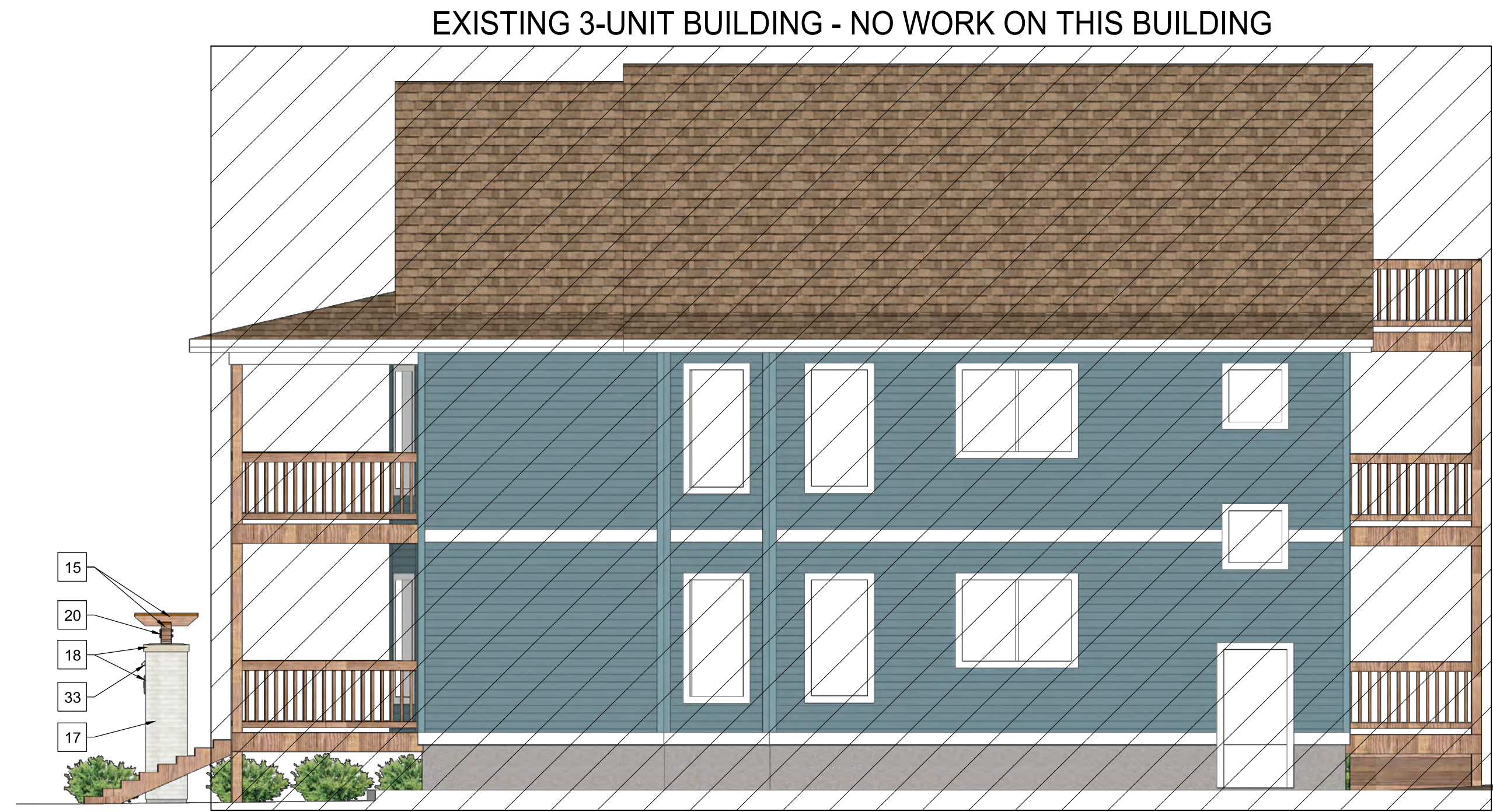
EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



511 W. DAYTON

2
A201
EAST SIDE ELEVATION
SCALE: 3/16" = 1'-0"





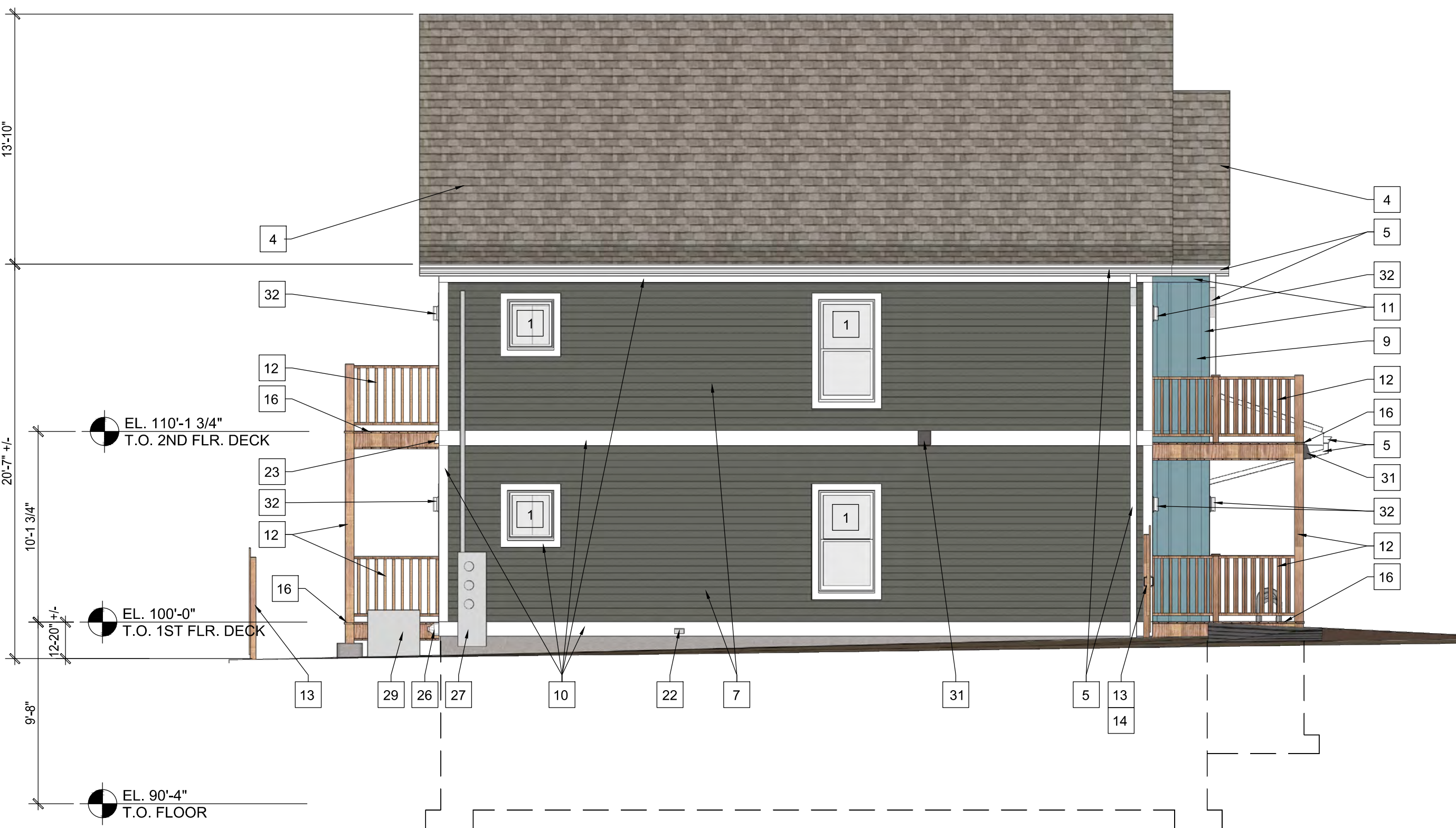
1
A202

WEST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

515 W. DAYTON



2
A202

EAST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

515 W. DAYTON

CāS₄
architecture, llc

4414 Regent Street; Suite 102
Madison, WI 53705
ph 608-709-1250

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

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Housing**

511 West Dayton Street
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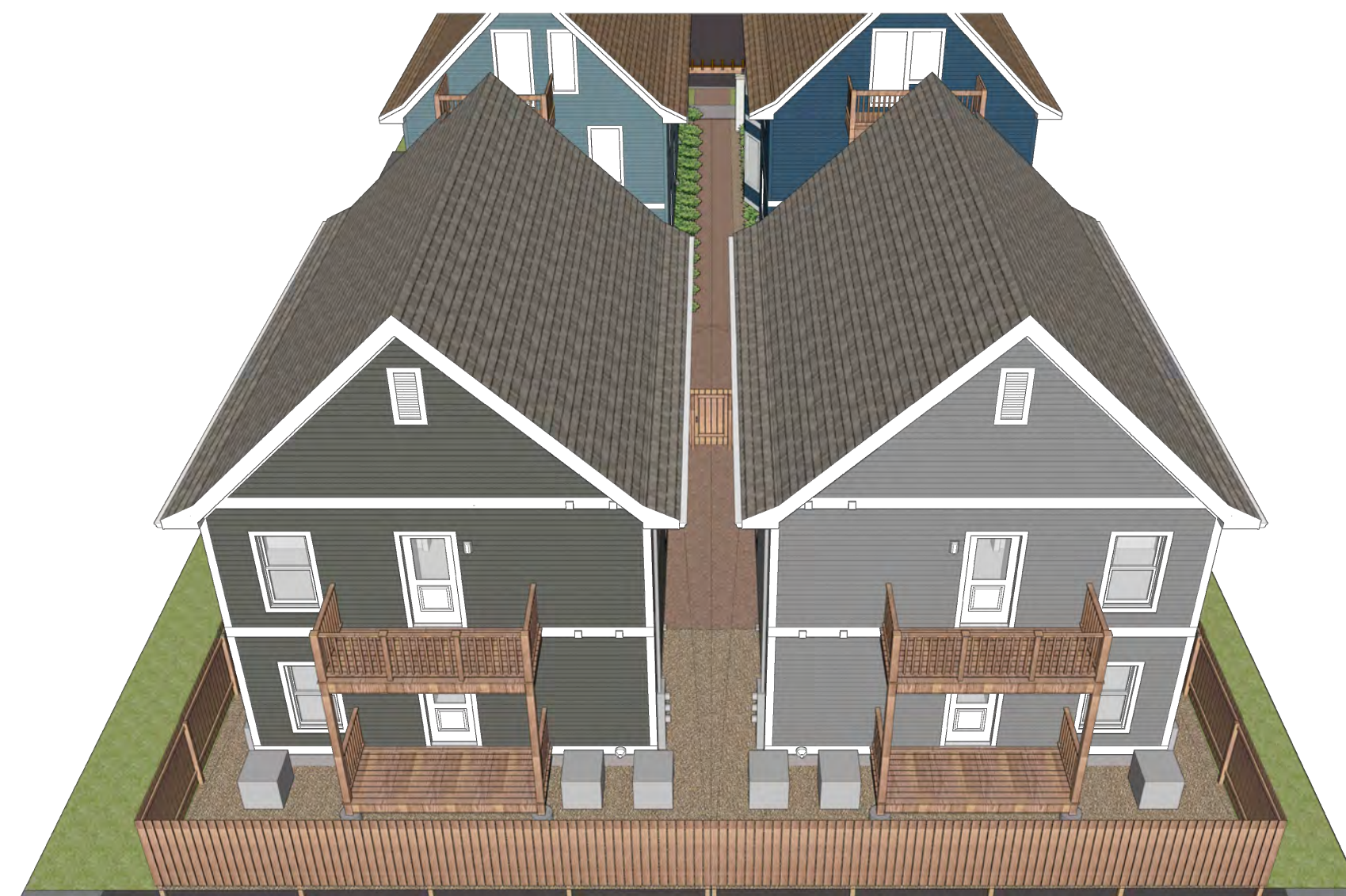
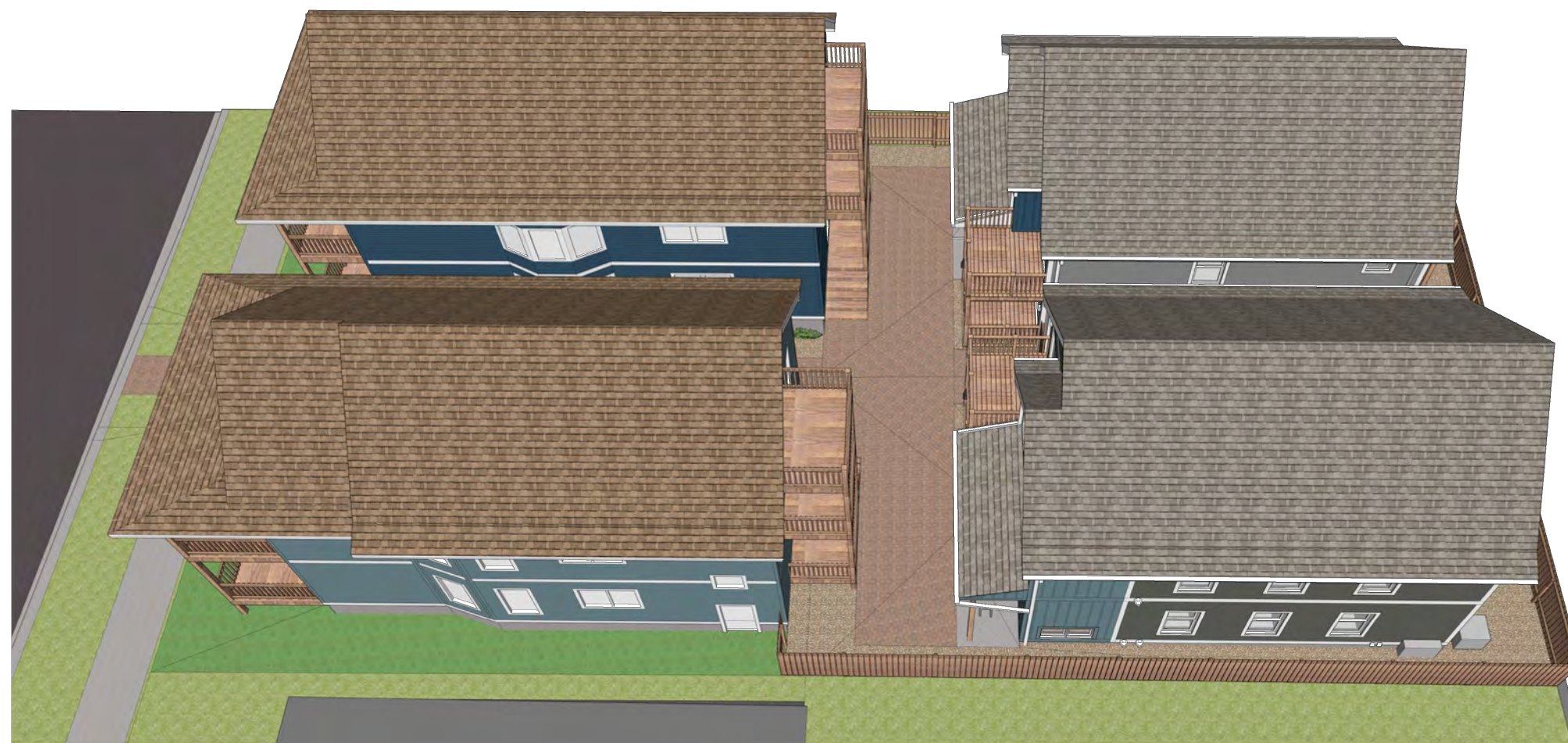
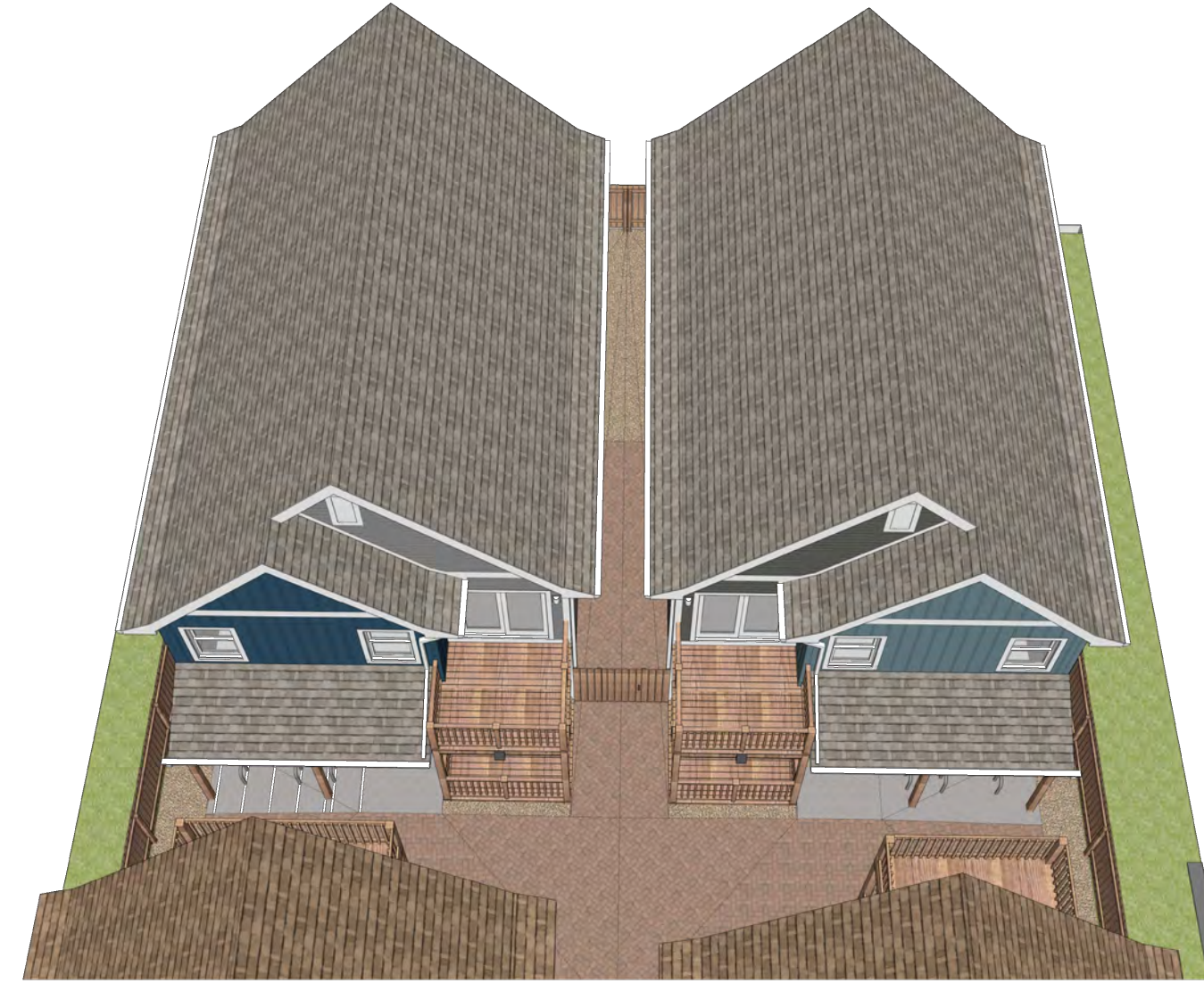
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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

515 - Exterior Elevations

A201



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Issued for:

[illegible]

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

3D Views

A203