



City of Madison

Proposed Demolition & Conditional Use

Location
2107-2249 Sherman Avenue

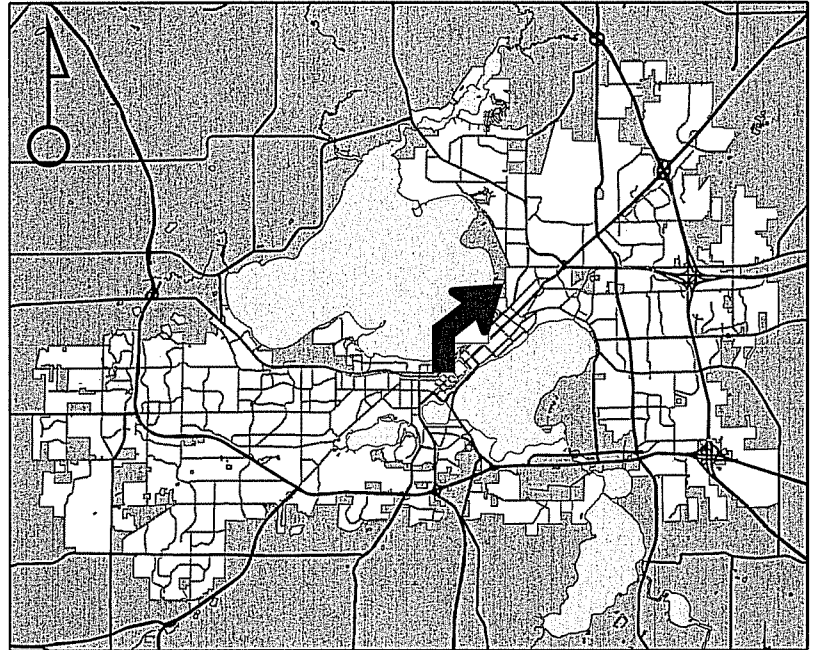
Project Name
McKenzie Place

Applicant
John Fish-McKenzie Place, LLC/
Kirk Keller-Plunkett Raysich Architects

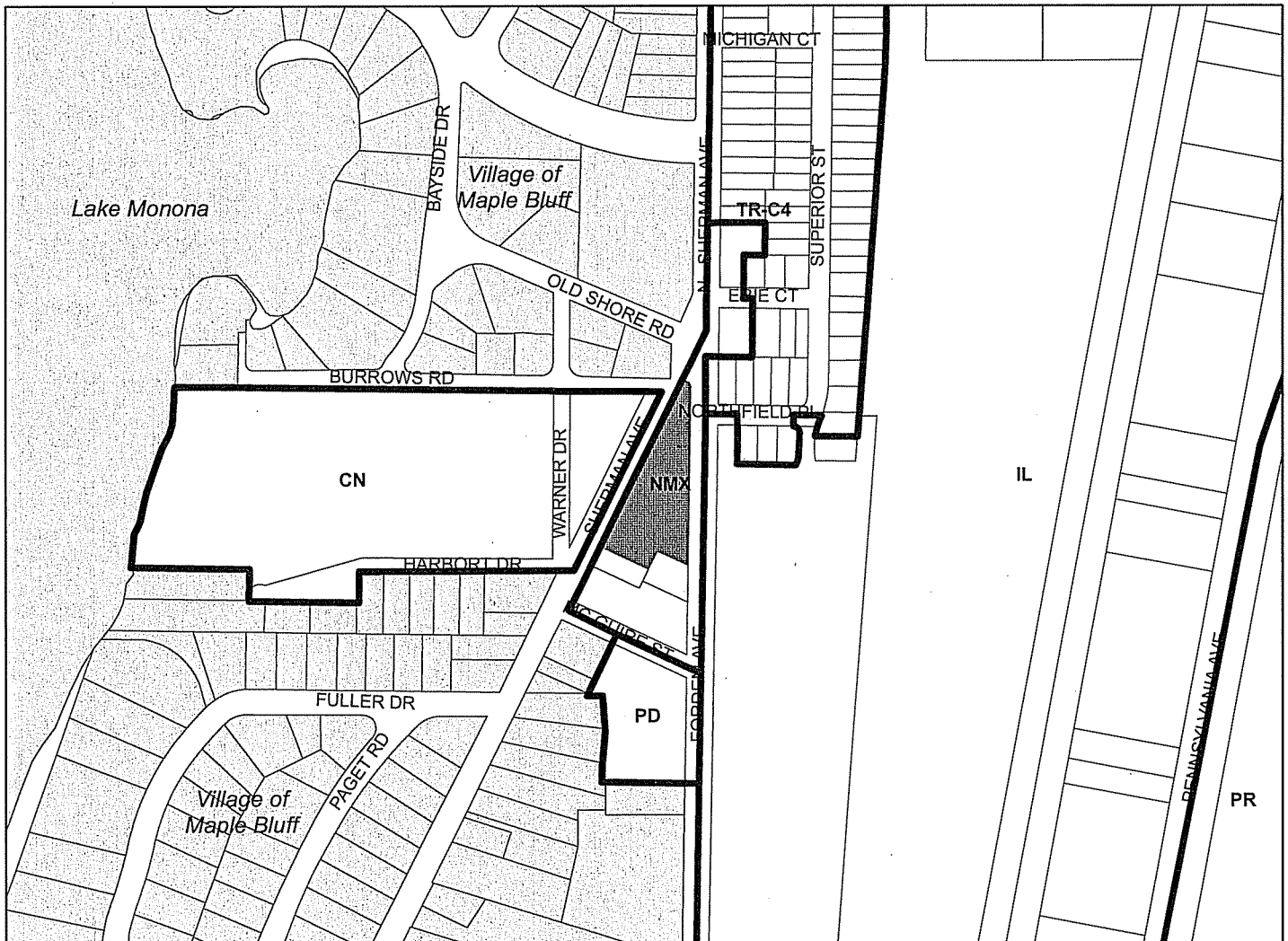
Existing Use
Vacant commercial buildings

Proposed Use
Demolish 3 commercial buildings to
construct 6,700 sq. ft. of commercial
space and 60 apartments

Public Hearing Date
Plan Commission
24 August 2015

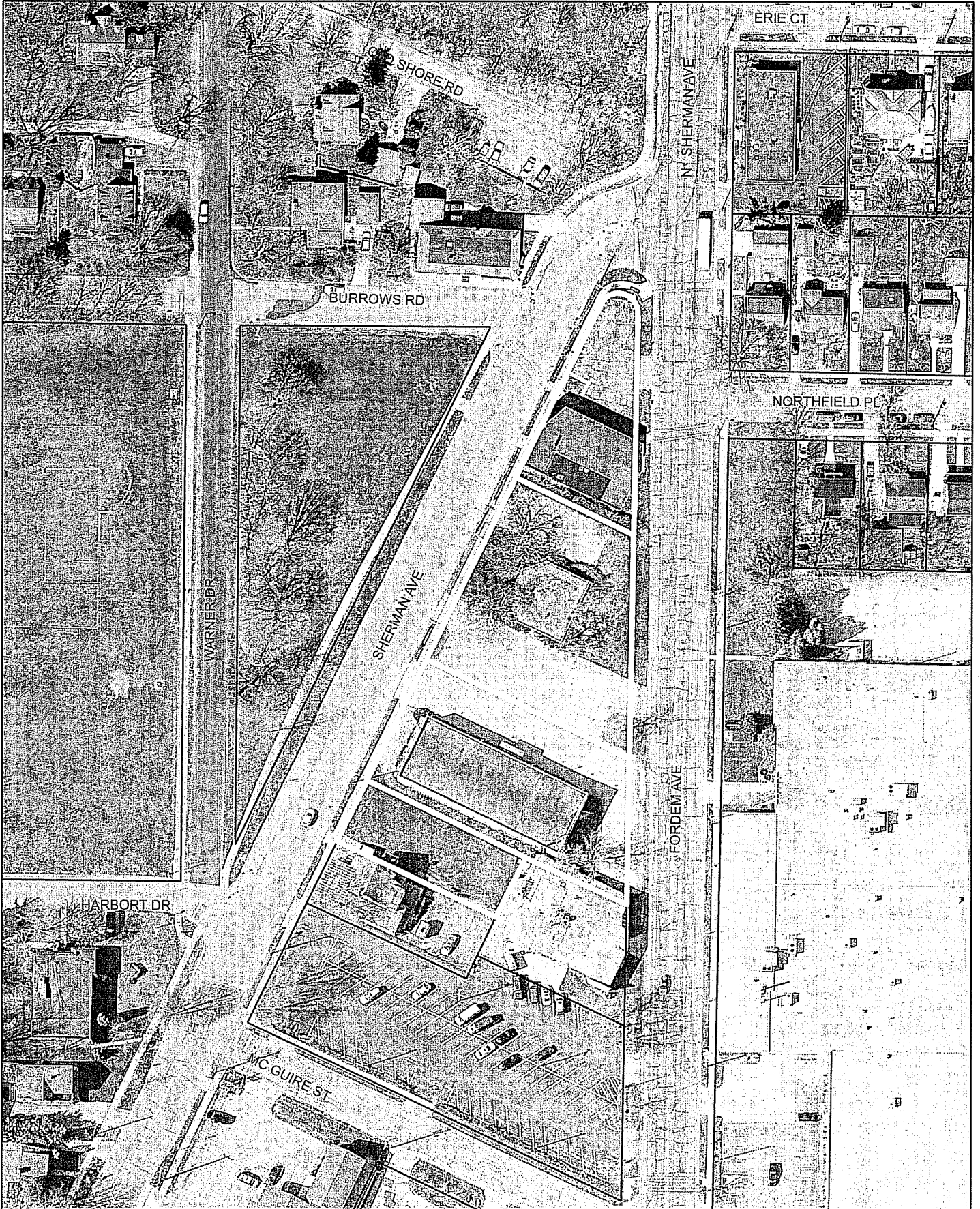


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 17 August 2015



22 July 2015

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: McKenzie Place Mixed Use Development
Plan Commission Review Application for a property in the NMX District
Certified Survey Map application
2107-2249 Sherman Avenue, Madison, WI

Ms. Katherine Cornwell:

The following is submitted together with the plans and application for the staff and Plan Commission consideration of approval.

Organizational Structure:

Owner/Developer:

McKenzie Place LLC
315 Lakewood Blvd
Madison, WI 53704
Contact: John Fish
Trout204@comcast.net

Engineer & Landscaping:

Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3961
Contact: Matt Schreiner
msch@vierbicher.com

Architect:

Plunkett Raysich Architects, LLP
2310 Crossroads Drive, Suite 2000
Madison, WI 53718
608-478-4013
Contact: Kirk Keller, AIA, NCARB
kkeller@prarch.com

Introduction:

The triangular, 1.10 acre, property located at the intersection of Sherman Avenue and Fordem Avenue in Madison, Wisconsin currently contains 3 vacant, former commercial buildings in various stages of dilapidation. The site is zoned Neighborhood Mixed-Use. In conjunction with this application, a 2-lot CSM will be submitted to combine the appropriately sub-divided the underlying lots.

209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 941 348 3618

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Partners: Michael P. Brush, Martin P. Choren, Gregg R. Golden, Mark C. Herr, John J. Holz, Nicholas D. Kent,
Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak



Project Description:

The mixed-use project will consist of 60 market rate apartments and approximately 6,700 square feet of commercial / retail space and will include 60 underground parking stalls. The project also includes a 6,667 square foot commercial / retail "pad" site along Fordem Avenue that will be developed in the future.

The main commercial suite at the "point" of the project will be highly visible and include interior mezzanine space with a private outdoor roof top patio. An approximately 23 stall surface parking lot, plus readily available street parking, will serve the commercial / retail space.

The residential component will include "walk-up" units that can be accessed directly from the sidewalk along Sherman Avenue. The building will step-back from the Sherman Avenue frontage, with the building being 4 stories tall along the Fordem Avenue frontage. Six of the units on the 4th floor will include a loft-room and private roof-top patio. All other units will enjoy either a balcony or patio. A 60 stall underground parking level along with surface parking, plus immediately adjacent bus routes, and a plethora of bike parking options will accommodate the resident's transportation needs.

Anticipated building amenities will include a community roof-top patio and adjacent community room; an exercise room; dog-wash area; external and internal canoe and kayak storage racks; private storage units; secure bike storage; outdoor open space to include a landscaped plaza / seating area and garden plots.

Certified Survey Map

The CSM will create two lots, one to accommodate the mixed-use apartment project and the other to create a pad-site to accommodate the future development of an additional retail or commercial building along Fordem Avenue.

Demolition

The site currently contains three former commercial buildings ranging in size from 2,500 sf to 7,500 sf. The buildings are of no architectural significance and are functionally obsolete either due to a lack of up-keep or configuration. To the extent possible, prior to demolition, all interior materials will be either recycled or donated. Any building components containing asbestos will be properly abated prior to demolition.

Site Development Data:

Densities:

Lot Area:	47,842 S.F. (apartment mixed use building) 6,667 S.F. (future retail or commercial pad site)
Dwelling Units:	60 units
Lot Area / D.U.:	797 S.F./unit
Density:	54.5 units/acre
Lot 1 Coverage:	35,868 S.F.
Usable Open Space required:	12,480 S.F. required (160 S.F. X 42 units & 320 S.F. X 18 units)

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Dwelling Unit Mix: - Apartments

Studio:	10
One Bedroom:	24 (includes 1 ADA unit)
One Bedroom plus Den:	4
Two Bedroom:	10 (includes 1 ADA unit)
Two Bedroom plus Den:	3
Three Bedroom:	3
One Bedroom plus Loft:	4
Two Bedroom plus Loft:	2
Total	60

Building Height: 4 Stories above grade

Floor Area Ratio:

Commercial	6,089 S.F.
First Level Parking	24,543 (including circulation, storage and utility spaces)
<u>Residential</u>	<u>76,959 (including circulation, amenity areas)</u>
Gross Floor Area	107,591 SF
Floor Area Ratio	75% (74.97%)

Vehicle Parking Stalls

Surface	23 (20 full size & 3 handicap)
<u>Underground</u>	<u>60 (58 full size & 2 handicap)</u>
Total	83

Bicycle parking Stalls

Surface	10 (10 required)
<u>Underground</u>	<u>65 (60 required)</u>
Total	75

Project Schedule

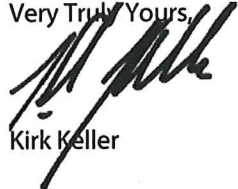
Project construction will begin in October, 2015 and continue through July, 2016. The development of the commercial / retail pad site will follow as market demand dictates.

Hours of Operation

The hours of operation of the commercial spaces in the project will vary depending on the specific commercial user.

Thank you for your time reviewing our proposal.

Very Truly Yours,



Kirk Keller

Plunkett Raysich Architects, LLP

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5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) **AND** the dates you sent the notices: Multiple meetings held. Alderman, City staff, neighborhood association and area planning group more than 30 prior to application

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: Multiple Zoning Staff: Jenny Kirchgatter Date: July, 1, 2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Kirk Keller Relationship to Property: Architect
 Authorizing Signature of Property Owner _____ As Owner's agent Date July 22, 2015



Erosion Control Permit Application

City of Madison Engineering Division

210 Martin Luther King Jr. Blvd. ■ City-County Building Suite 115 ■ Madison, WI 53703

Section 1 ■ Property Information

Project Name: McKenzie Place Apartments 251/0709-121-0102-2

Property Address: Sherman Avenue 2107 - 2249 " - " - 0101-4
" - " - 0104-8
" - " - 0103-0

Street	Lot Number(s)	Parcel Number
Madison	WI	53704
City	State	ZIP Code

Plat or CSM

Section 2 ■ Landowner Information

Company: McKenzie Place LLC

Full Name: Fish John Owner

Last	First	Title

Mailing Address: 315 Lakewood Boulevard

Street	State	Apartment/Unit #
Madison	WI	53704
City	State	ZIP Code

Contact Phone: _____ E-Mail: Trout204@comcast.net

Section 3 ■ Applicant Information (If different than Landowner)

Same as Landowner (Check if YES, and continue with Section 4)

Company: _____

Full Name: _____

Last	First	Title

Mailing Address: _____

Street	State	Apartment/Unit #
City	State	ZIP Code

Contact Phone: _____ E-Mail: _____

The applicant will be responsible for compliance with MGO Chapter 37 and the conditions of the permit, and may be cited for violations that occur on the premises.

Section 7 ▣ Landowner and Applicant Signature

I have reviewed and understand Chapter 37 of the Madison General Ordinances regarding erosion control, and I shall implement the control plan or checklist for this project as approved by the City.

As a condition of the granting of this permit, I authorize, and have the authority to authorize, City of Madison personnel the right-of-entry onto the above described premises for the purpose of inspecting and monitoring for compliance with the aforesaid ordinance.

I acknowledge by submitting this application and signing below, that I shall be responsible for compliance with MGO Chapter 37 and the conditions of this permit.

Landowner Signature: _____ Date: _____

Applicant Signature: _____ Date: _____



Department of Planning & Community & Economic Development
 215 Martin Luther King, Jr. Blvd., Ste. LL-100
 Madison, WI 53703
 266-4551 FAX 267-8739

Parking Lot / Site Plan Approval Application Checklist

Instructions: Please complete this form and submit it with all the materials necessary for a parking lot plan review and approval. Check boxes for the items submitted that apply to your project. If you are not sure about what to show or submit, call the appropriate agency (see Box G). Once your application is accepted, staff will review, approve and return your application materials within 7 working days or sooner.

Site Address	2107-2249 SHERMAN AVENUE, MADISON, WI 53704		
Contact Person	Company	Phone/FAX	
BRIAN BARRIT (AUST) VIERBICHER ASSOCIATES, INC		608.821-3980/608.826-053	
Contact Person Address	999 FOURIER DRIVE, MADISON, WI 53717		
Project Type (check one): <input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration			

A. These items must be included with an application:

- 1. Scaled plan drawing(s): 1" = 20' or larger: 7 complete sets
- 2. Conditional Use or PUD/SIP approval letter (if applicable)
- 3. Driveway Opening Permit application
- 4. Easements for joint driveways or joined parking lots on separate parcels (if applicable) *CSM*
- 5. Land Disturbing Activity Permit Application (sizes 1 acre or more in size)
- 6. Erosion Control Plan: 7 copies (sizes 1 acre or more in size-See Example Plan 2)
- 7. Landscape Worksheet (sites with more than 3 parking stalls)
- 8. Outdoor Lighting Plan and manufacturers specs (if applicable)

B. Information about your property that must be shown on your drawing(s). See Example Plan W:

- 9. Project information block on first page of plan
- 10. Property lines
- 11. Abutting right-of-way, roadways, driveways and terraces shown and dimensioned
- 12. Elevations of existing and proposed site to City datum
- 13. Elevation of top of curb
- 14. Storm sewers or drainage pattern (See Example Plan Y)
- 15. Proposed driveway radii
- 16. Type of surface on driveway, approach and lot (grass, concrete, bituminous)
- 17. Location of existing and proposed impervious surfaces
- 18. Means of separation between parking lot and sidewalk or adjoining property
- 19. Tree islands and protective curbing
- 20. Screening or landscaping (See Example Plan X)
- 21. On-site fire hydrants *N/A*

C. Information about the structures that must be shown on your drawing:

- 22. Existing structures (footprints and dimensions)
- 23. Proposed structures (footprints and dimensions)
- 24. Setback distances (front, rear and sides)
- 25. Fencing and/or screening (type and location)

D. Parking layout information that must be on your drawing(s). See Example Plan W:

- 26. Dimensions of parking stalls and drive aisles
- 27. Location of accessible parking stalls
- 28. Location of accessible parking stall signs
- 29. Location and width of accessibility ramps
- 30. Location of loading facilities
- 31. Bicycle parking rack locations and rack style

E. "Off-property" information that must be shown on your drawing(s):

- 32. Trees, poles, signs in the right-of-way (if applicable)
- 33. Medians (if applicable)
- 34. Driveway openings directly across the street (if applicable)
- 35. Distance to nearest intersection
- 36. Fire hydrants within 500 feet of your property line

F. Other information you want staff to know:

G. Questions: Call City Staff for help.

ZONING	Building Use	266-4551
	Setbacks	
	Landscaping	
	Occupancy	
TRAFFIC ENGINEERING	Parking lot geometrics	266-4761
ENGINEERING	Drainage	266-4751
	Land disturbing activity	
	Soil erosion	
FIRE	Fire hydrants / access	266-4484
BUILDING INSPECTION	Parking lot lighting	266-4568

OFFICE USE ONLY:

Date/Time Received:	Accepted:
Staff Person	

COPIES

Traffic Engineering White
 City Engineering Green
 Applicant Yellow

**PERMIT TO CONSTRUCT COMMERCIAL
 DRIVEWAY APPROACH**

At 2107-2249 SHERMAN AVENUE

Street Address of Site Served

Diagram for Office Use Only

Sheet of _____

STREET

STREET

STREET

Dimensions:
 Entrance Width
 Curb Cut Width
 Approach Width
 Approach Flare / Radii
 Distance-Entrance to Prop. Line
 Distance-Entrance to Intersection
 Distance Between Entrances

Application Drawing: (circle one)

Above Attached On File

All unused curb cuts or portions there of shall be closed as part of this permit when altering existing or construction a new curb cut or driveway approach.



Read Carefully the Front and Reverse Side of Permit

Box for Office Use Only Class of Driveway: I II III IIIa IV SPECIAL DESIGN - (Circle Type/s of Driveway approaches) Site Use : Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Parking Facility <input type="checkbox"/> Required : <input type="checkbox"/> Inch PVC <input type="checkbox"/> conduit shall be installed under the driveway approach(es) as noted. <input type="checkbox"/> Required: Split <input type="checkbox"/> Inch PVC Schedule <input type="checkbox"/> conduit to encase cable-in-duct shall be installed under the driveway approach(es). The split duct shall be installed above and below the cable-in-duct, fused together and then taped. Parking facility plan required: No <input type="checkbox"/> Yes <input type="checkbox"/> This permit is valid for a period of one (1) year from _____ the date of approval. Approach Material: Concrete <input type="checkbox"/> Asphalt <input type="checkbox"/> Other _____ Prevent Encroachment By: Curb <input type="checkbox"/> Post <input type="checkbox"/> Rail <input type="checkbox"/> Sod <input type="checkbox"/> Other _____ Approval Necessary By: City Engineer <input type="checkbox"/> County <input type="checkbox"/> Other _____ Pipe Culvert Under (Class II/IV Approaches) Size _____ Length _____ Permission is hereby granted to construct the driveway approach(es) described above in accordance with Section 10.08 of the General Ordinances of the City of Madison	
Traffic Engineering Division Approved By/Date: _____	Inspected By and Dept/Date: _____
Permit Fee \$ _____	

I agree to notify the **City Engineering, Sidewalk Inspection, (266-4537)** to arrange for inspection of the approach(es) and the **Traffic Engineering Shop Electrical Section, (266-4767)** to arrange for inspection of the duct(s) placement under the approach(es), a minimum of 48 hours before concrete or asphalt is place.

I hereby agree that I will faithfully comply with the terms of this permit, including the Special Provisions; that I will comply with all applicable statutes, ordinances, rules and regulations of the State of Wisconsin and the City Of Madison; that contractors shall be qualified by the City of Madison prior to starting work on this permit; that I will indemnify, defend and hold the City Of Madison harmless from any and all claims, liability, loss, damage or expense incurred by the City Of Madison on account of any injury to or death of any person or any damage to property caused by or resulting from activity or work performed under this permit, whether caused by or contributed to by the City Of Madison, its officials, agents or employees.

I agree to pay the driveway approach fees according to M.G.O. 10.08(f).

I have read and understand the above requirements.

Signature of Owner/Contractor/Agent: BRIAN BARRITT (Agent) Telephone Number:

Brian Barritt

608.821-3980

Address:

VIERBICHER ASSOCIATES, INC. 999 FOURIER DRIVE, SUITE 201, MADISON, WI

53717

JOHN FISH McKENZIE PLACE, LLC

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)



PLUNKETT RAYSICH
ARCHITECTS, LLP

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A203	L3 FLOOR PLAN
A204	L4 FLOOR PLAN
A205	L5 FLOOR PLAN
A221	EXTERIOR PERSPECTIVES
A400	EXTERIOR ELEVATIONS

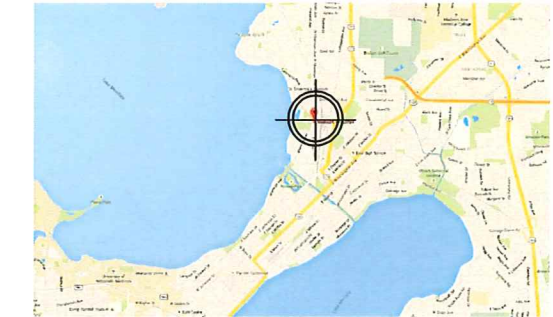
Civil

C1	LEGEND AND NOTES
C2	EXISTING CONDITIONS PLAN
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C4	SITE AND UTILITY PLAN
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C8	CONSTRUCTION DETAILS
C9	CONSTRUCTION DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS

Project Information

Project Date: 07-22-15
PRA Project Number: 130139-03
Owner Project Number:
Bid Package Number:

Project Location



Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2002
Residential occupancy, Group R-2, Resident Units
Merchandise occupancy, Group M, Retail Space
Zoning: City of Madison Ordinances

Type of Construction

New Construction
Lower Level, protected, type IA, sprinklered, NFPA 13
First Floor and Above, protected, type VA, sprinklered, NFPA 13

Bicycles

Required		Provided	
Tenant	60	Tenant	65 (Lower Level)
Guests	6	Guests	6 (Site)
Retail	4	Retail	4 (Site)
	70		75

Building Area

Lower Level Parking:	24,543 SQ FT
Level One:	19,642 SQ FT
Level Two:	25,510 SQ FT
Level Three:	18,560 SQ FT
Level Four:	18,560 SQ FT
Mezzanine Level:	776 SQ FT
Total:	107,591 SQ FT

Dwelling Unit Count

FLOOR	UNIT TYPES										TOTAL/ FLOOR
	STUDIO	1 BED	1 BED ADA	1 BED + DEN	2 BED	2 BED ADA	2 BED + DEN	3 BED	LOFT 1 BED	LOFT 2 BED	
1	3	4		1	2						10
2	5	11		1	2		2				21
3	2	7		1	2	1	1	1			15
4/LOFT		1	1	1	3		2	4	2		14
TOTAL	10	23	1	4	9	1	3	3	4	2	60

Dwelling Unit Design Count

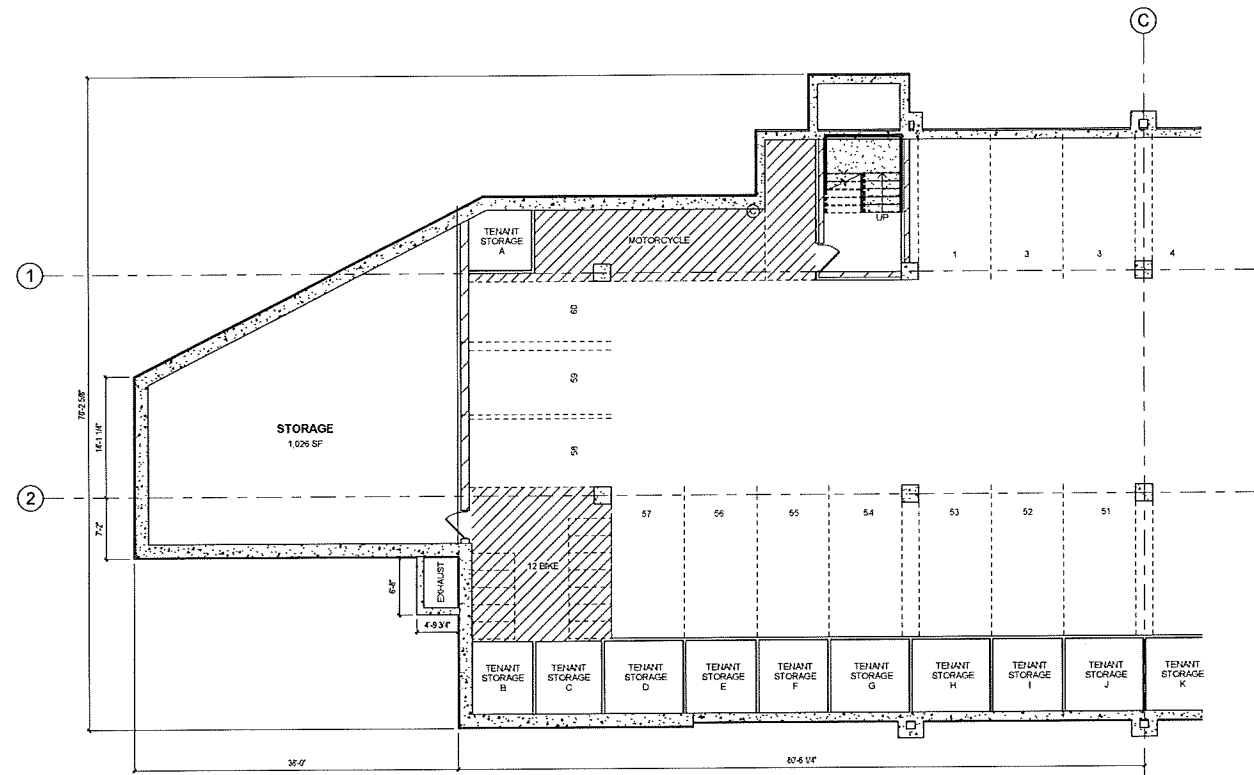
FLOOR	UNIT DESIGN TYPES													TOTAL/ FLOOR		
	UNIT A STUDIO	UNIT B 1 BED	UNIT B 1 BED ADA	UNIT C 1 BED	UNIT D 1 BED + DEN	UNIT E 1 BED + DEN	UNIT F 2 BED	UNIT F 2 BED ADA	UNIT G 2 BED	UNIT H 2 BED	UNIT I 2 BED + DEN	UNIT J 3 BED	UNIT K 3 BED		UNIT L LOFT 1 BED	UNIT M LOFT 2 BED
1	3	4			1					2						10
2	5	11			1				2	2						21
3	2	5		2	1		1	1	1			1				15
4/LOFT		1	1	1	1		2	1	1		1	1	1	4	2	14
TOTAL	10	20	1	3	2	2	3	1	2	4	3	1	2	4	2	60

Project Team

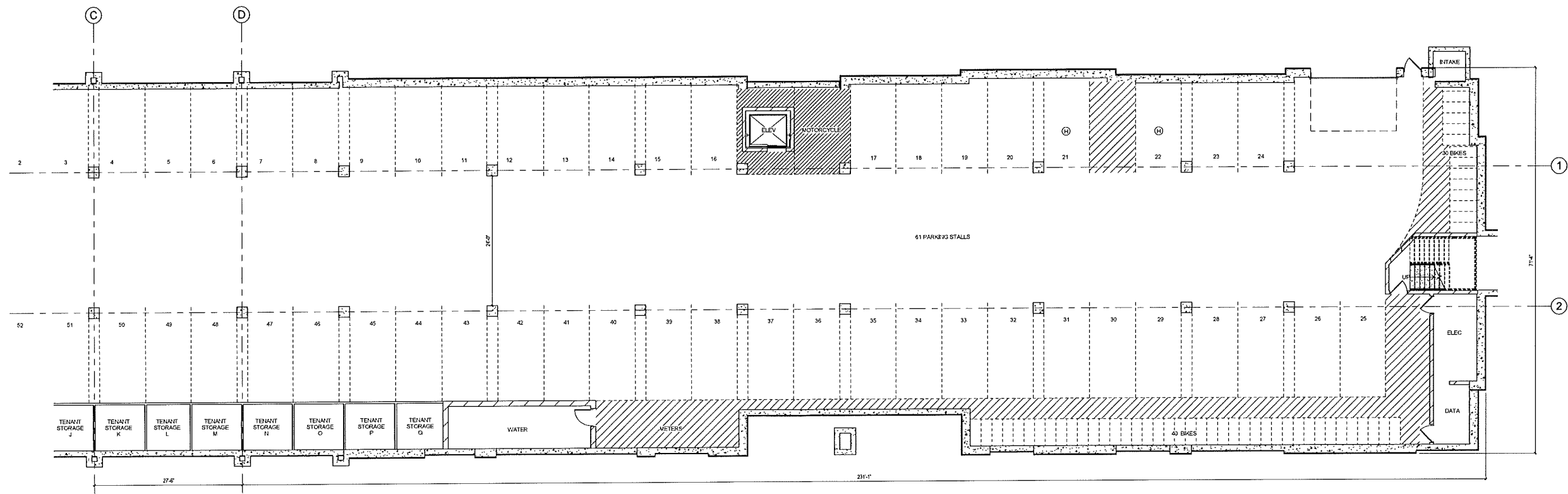
Owner
John Fish
315 Lakewood Blvd.
Madison, WI 53704
Tel 608 219-7766

Civil
Brian Barritt
Vierbicher Associates, Inc.
999 Fourier Drive #201
Madison, WI 53717
Tel 608 826-0532

(Under direct contract to Owner)



C1 LOWER LEVEL PARKING - NORTH
A200 1/8" = 1'-0"



E1 LOWER LEVEL PARKING - SOUTH
A200 1/8" = 1'-0"

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION

NOTE #	FLOOR PLAN NOTE
--------	-----------------

KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION

FLOOR PLAN - SYMBOLS LEGEND			
	NEW WALL/PARTITION		EXISTING WALL TO REMAIN
	NEW DOOR		EXISTING DOOR TO REMAIN
	SECTION REFERENCE		DETAIL REFERENCE
	EXTERIOR ELEVATION		EQUIPMENT
	INTERIOR ELEVATION		WINDOW TYPE
	FLOOR PLAN KEYNOTE		WALL/PARTITION TYPE
	CONSTRUCTION LIMITS		FLOOR DRAIN - FROM FLOOR TO DRAIN
	ONE HOUR FIRE RESISTIVE CONSTRUCTION		
	TWO HOUR FIRE RESISTIVE CONSTRUCTION		

FLOOR PLAN - GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (W/IN WALL).
- REFER TO SHEET ASK FOR POOR FINISH SCHEDULE AND NOTES.
- REFER TO SHEET ASK FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.
- ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (1) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORridor WALLS SHALL BE (2) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION ROOM WALL.

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPES, OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDER SIDE OF DECK OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN

ALL MASONRY PARTITIONS SHALL BE 8\"/>

7/22/2015 8:22:02 AM C:\PRA\RA\Local\Project\Floor\130139-00\entire\15_mech.plt

209 north water street | milwaukee, wisconsin 53204 | 414.255.2510
 2210 north water street | milwaukee, wisconsin 53208 | 414.255.2510
 1013 fullsail road | suite 3 | sacramento, florida 34226 | 941.248.2518
 www.praarch.com | intelligent designs. inspired results.

JOHN FISH
MCKENZIE PLACE, LLC
 2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

Drawn By: Author
 Date: 07-22-15
 Job No.: 130139-03
 Sheet No.: **A200**

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FLOOR PLAN - SYMBOLS LEGEND	
	NEW WALL PARTITION
	EXISTING WALL TO REMAIN
	NEW DOOR
	EXISTING DOOR TO REMAIN
	SECTION REFERENCE
	DETAIL REFERENCE
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	FLOOR PLAN KEYNOTE
	CONSTRUCTION UNITS
	ONE HOUR FIRE RESISTIVE CONSTRUCTION
	TWO HOUR FIRE RESISTIVE CONSTRUCTION
	EQUIPMENT
	WINDOW TYPE
	WALL PARTITION TYPE
	FLOOR DRAIN - PITCH FLOOR TO DRAIN

FLOOR PLAN - GENERAL NOTES
 A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (W/INT),
 B. REFER TO SHEET ASK FOR ROOM FINISH SCHEDULE AND NOTES.
 C. REFER TO SHEET ASK FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.
 D. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS W/RAFF APPLIED FIRE PROTECTION.

GYPSUM BOARD PARTITIONS - GENERAL NOTES
 ALL GYPSUM BOARD PARTITIONS SHALL BE (1) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 ALL GYPSUM BOARD PARTITIONS SHALL BE (2) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (F/INT).
 REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL PROVIDED.
 PROVIDE TYPE X FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
 SEAL ALL WALL PENETRATIONS AT PER METER AND FIRESTOP ALL FIRE RATED PARTITIONS.
 EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

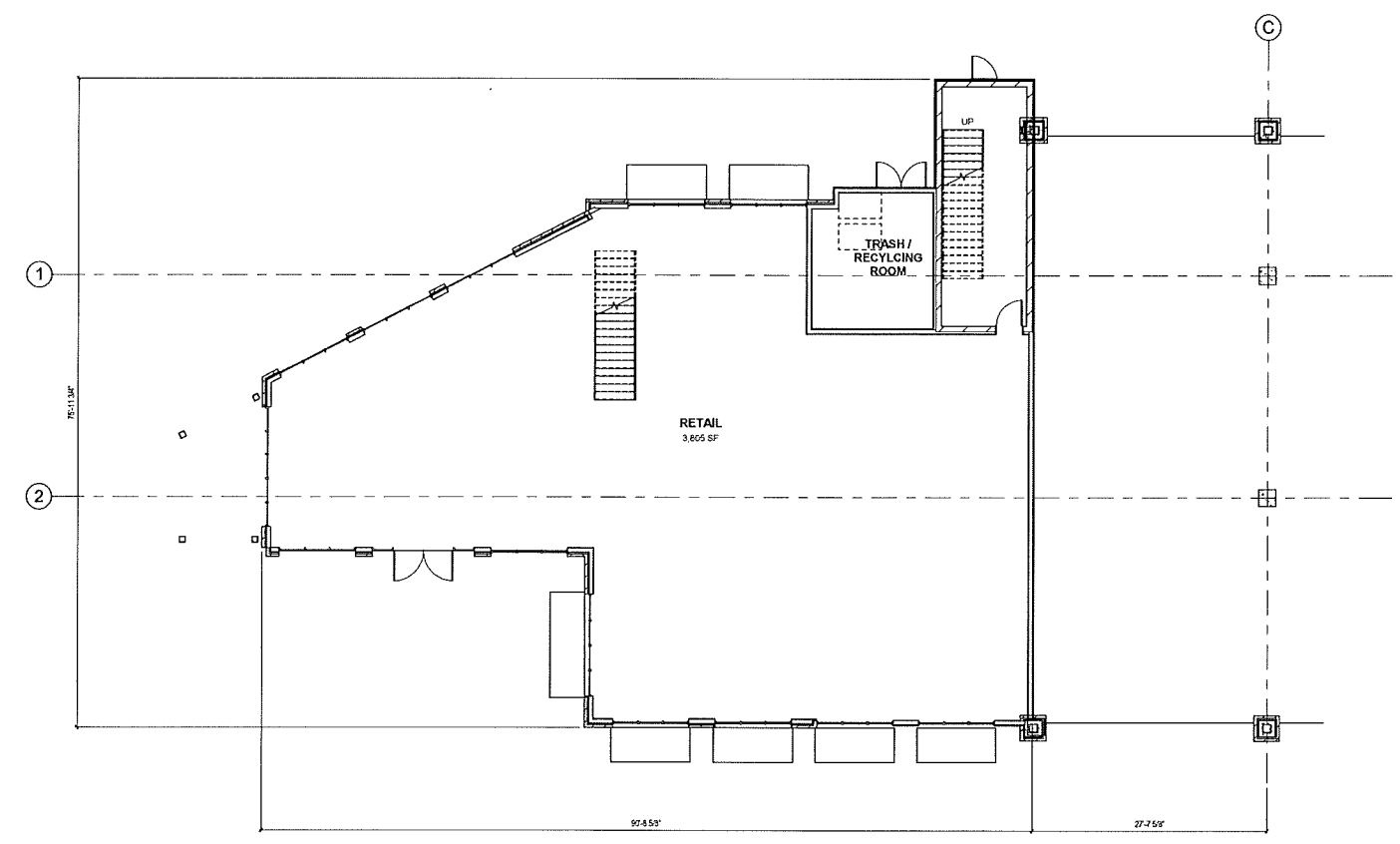
MASONRY PARTITIONS - GENERAL NOTES
 MASONRY PARTITIONS INSULATED WITH THE FOLLOWING MATCH PATTERN:
 ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.
 PROVIDE 1/4" RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.
 SEAL ALL WALL PENETRATIONS AT PER METER AND FIRESTOP ALL RATED PARTITIONS.
 EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST SLAB ABOVE IF APPLICABLE.
 REFER TO DETAIL DRAWING, PROVIDE HORIZONTAL MASONRY JOINT REINFORCMENT AT TOP OF VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCMENT.

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION

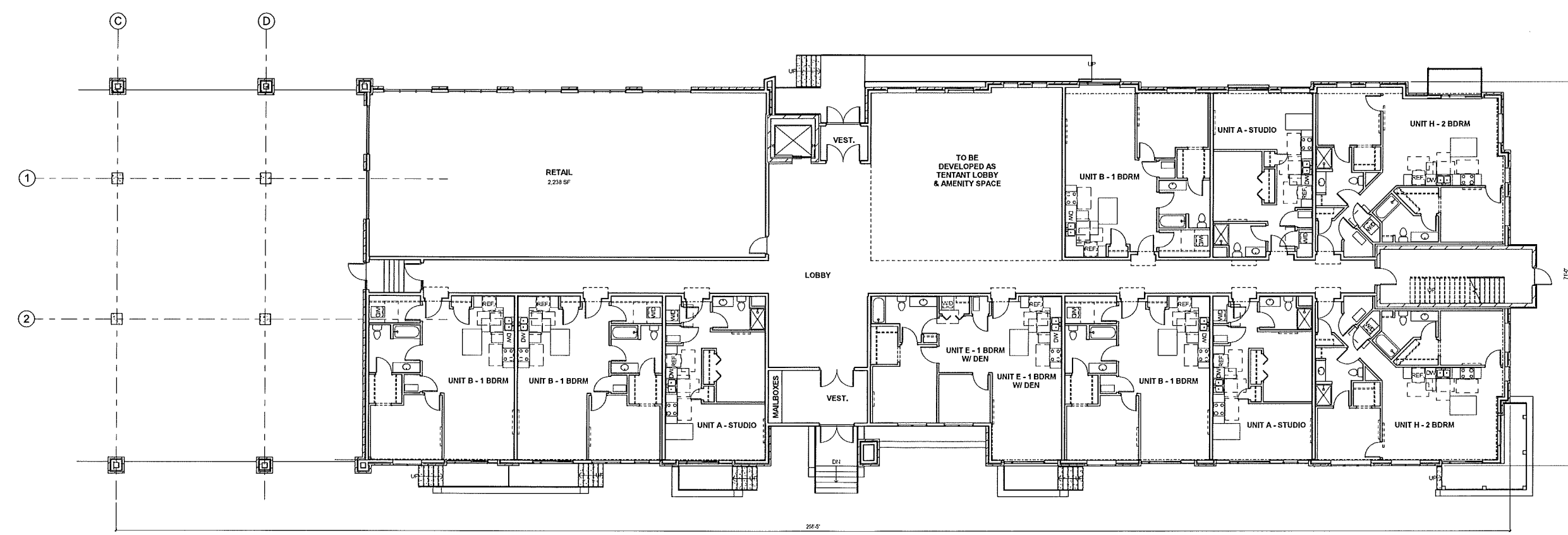
NOTE #	FLOOR PLAN NOTE
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KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION

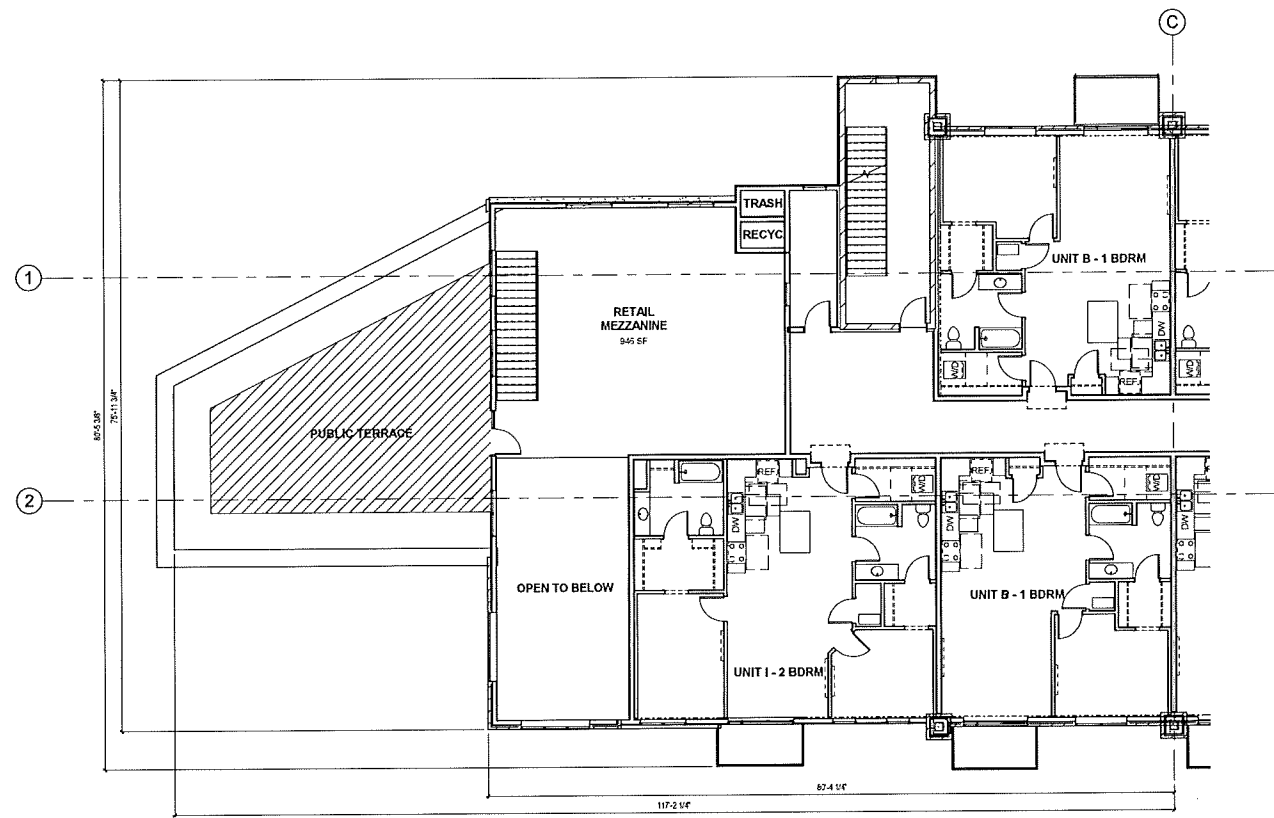


C1 LEVEL 1 FLOOR PLAN - NORTH
 A201 1/8" = 1'-0"

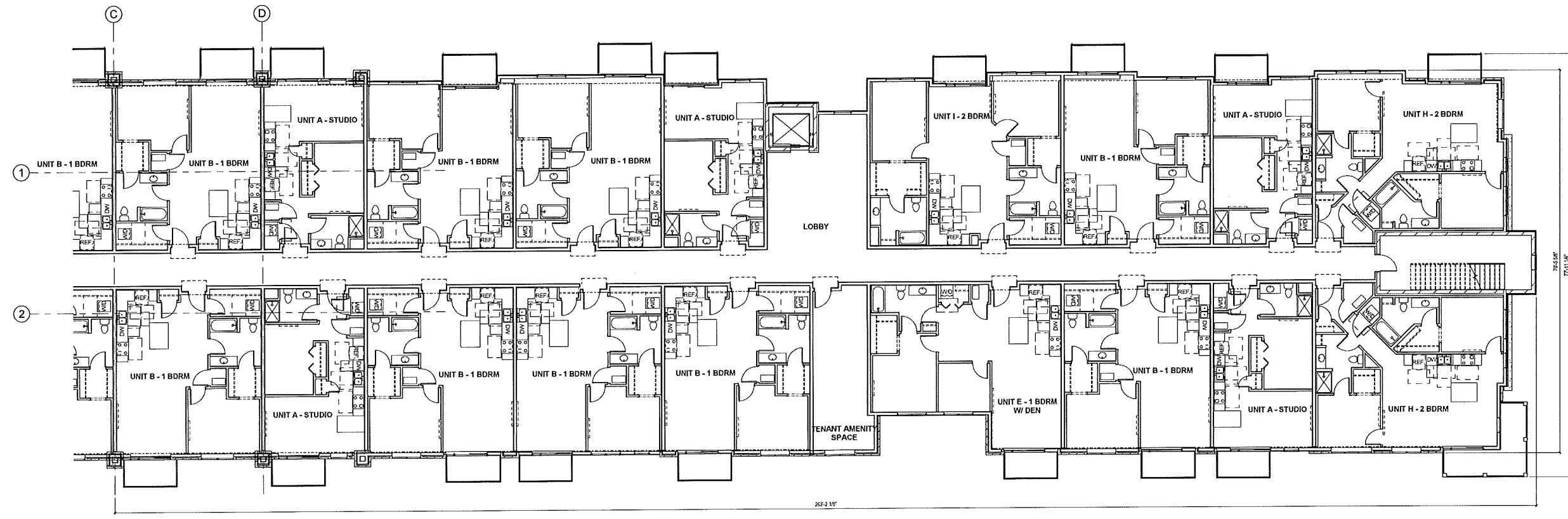


E1 LEVEL 1 FLOOR PLAN - SOUTH
 A201 1/8" = 1'-0"

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C1 LEVEL 2 FLOOR PLAN - NORTH
 A202 1/8" = 1'-0"



E1 LEVEL 2 FLOOR PLAN - SOUTH
 A202 1/8" = 1'-0"

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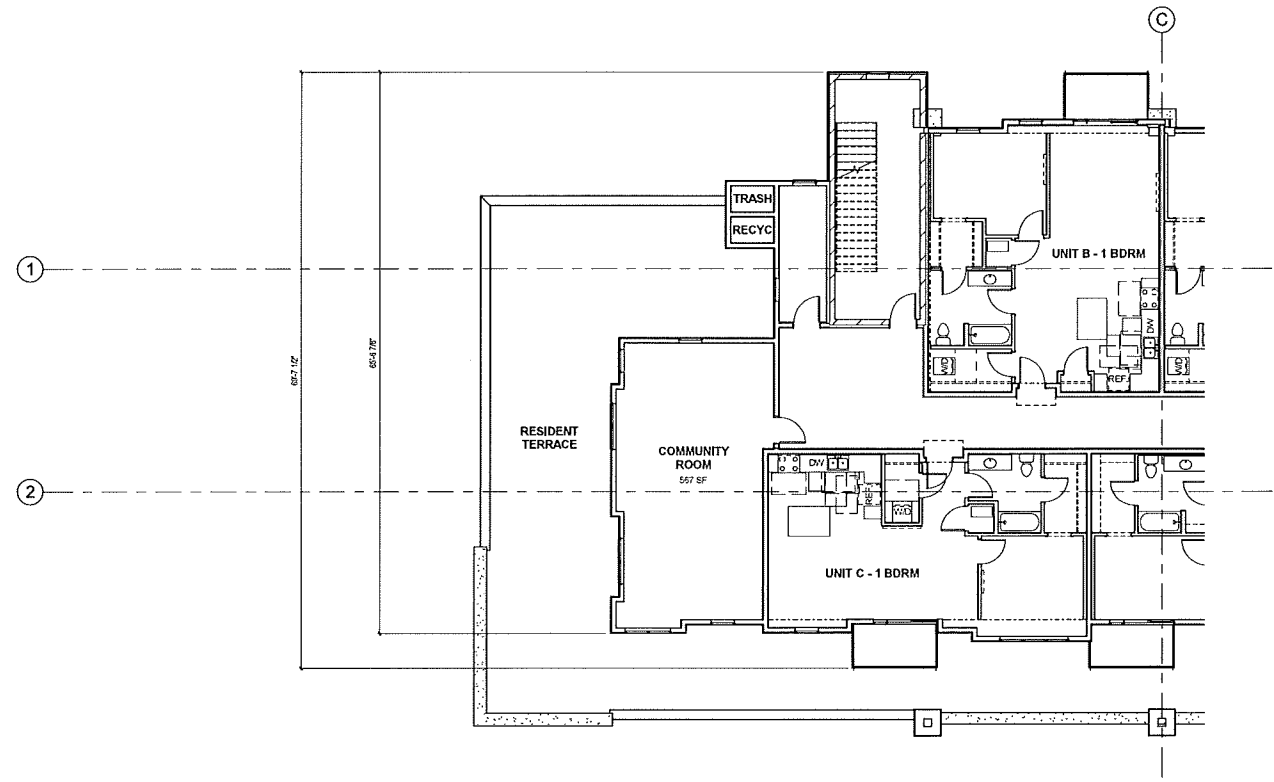
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 Sheet No.: A202

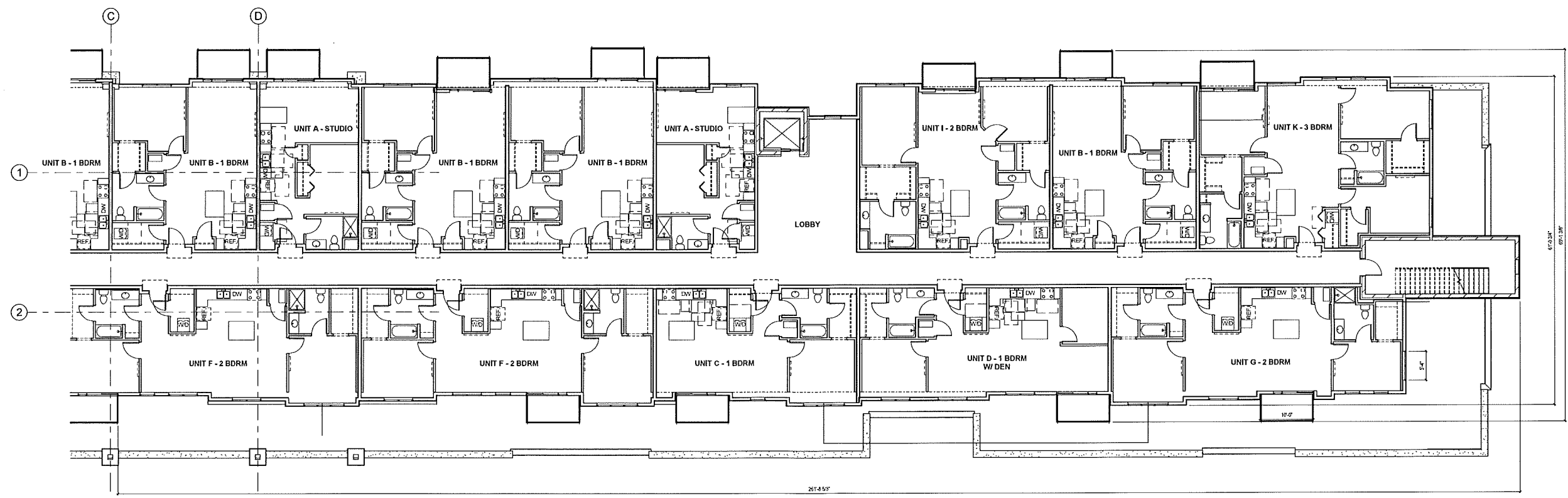
JOHN FISH MCKENZIE PLACE, LLC
 2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

209 South Water Street Milwaukee, Wisconsin 53204 414.357.3060
 2310 Crossroads Drive Suite 2000 Madison, Wisconsin 53718 608.240.9900
 1613 Fullinwider Road Suite 3 Sarasota, Florida 34236 941.348.3418
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C1 LEVEL 3 FLOOR PLAN - NORTH
A203 1/8" = 1'-0"



E1 LEVEL 3 FLOOR PLAN - SOUTH
A203 1/8" = 1'-0"

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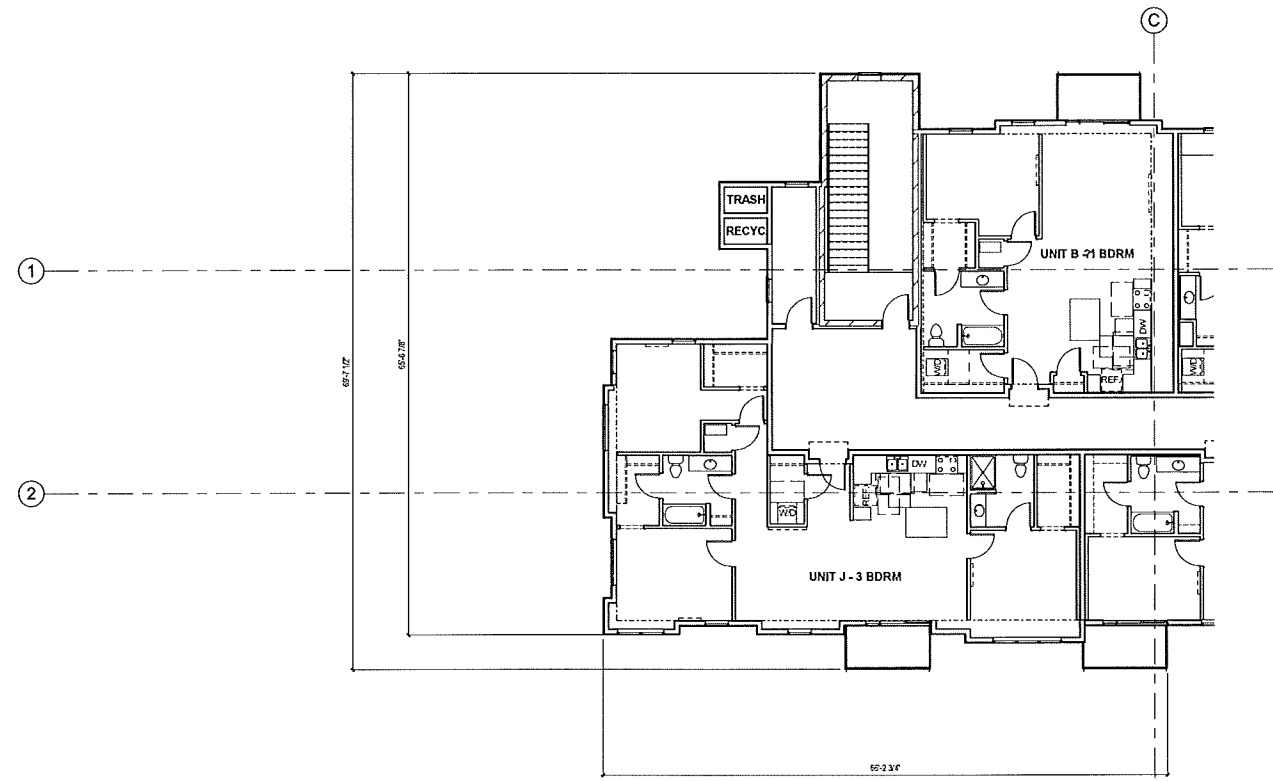
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 Sheet No.:

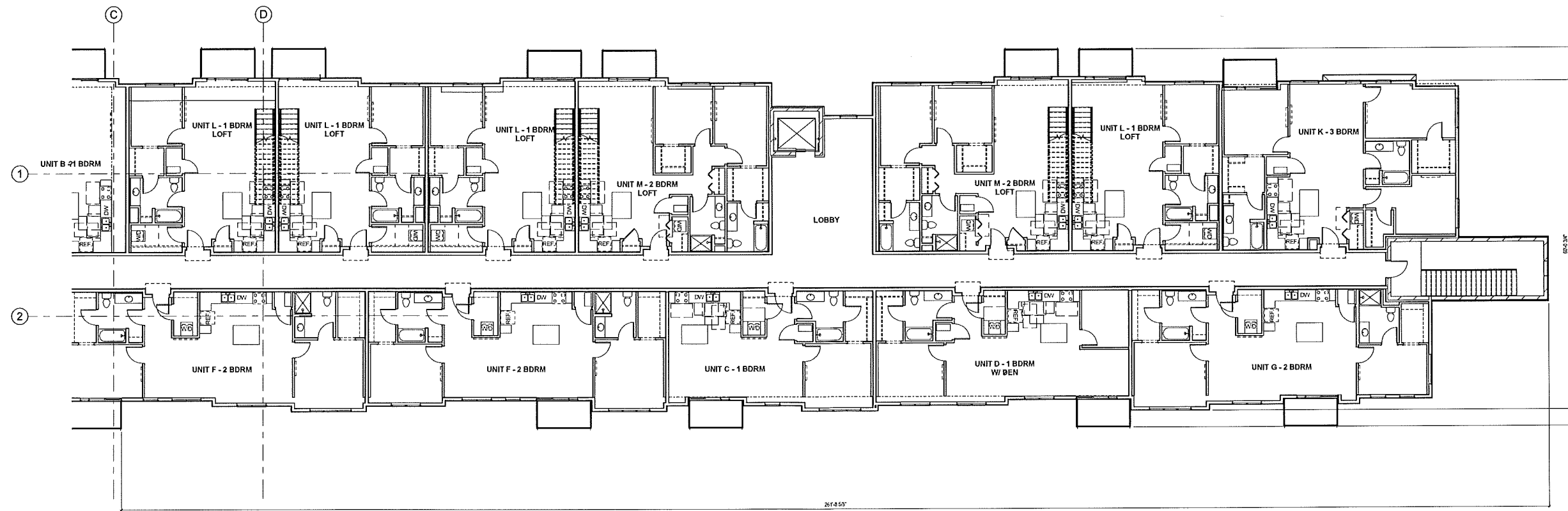
A203

JOHN FISH
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229 south water street milwaukee, wisconsin 53204 414.339.3006
 2315 crescent drive suite 2000 madison, wisconsin 53718 608.240.9002
 1515 fruitville road suite 3 sarasota, florida 34236 941.343.3618
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C1 LEVEL 4 FLOOR PLAN - NORTH
A204 1/8" = 1'-0"



E1 LEVEL 4 FLOOR PLAN - SOUTH
A204 1/8" = 1'-0"

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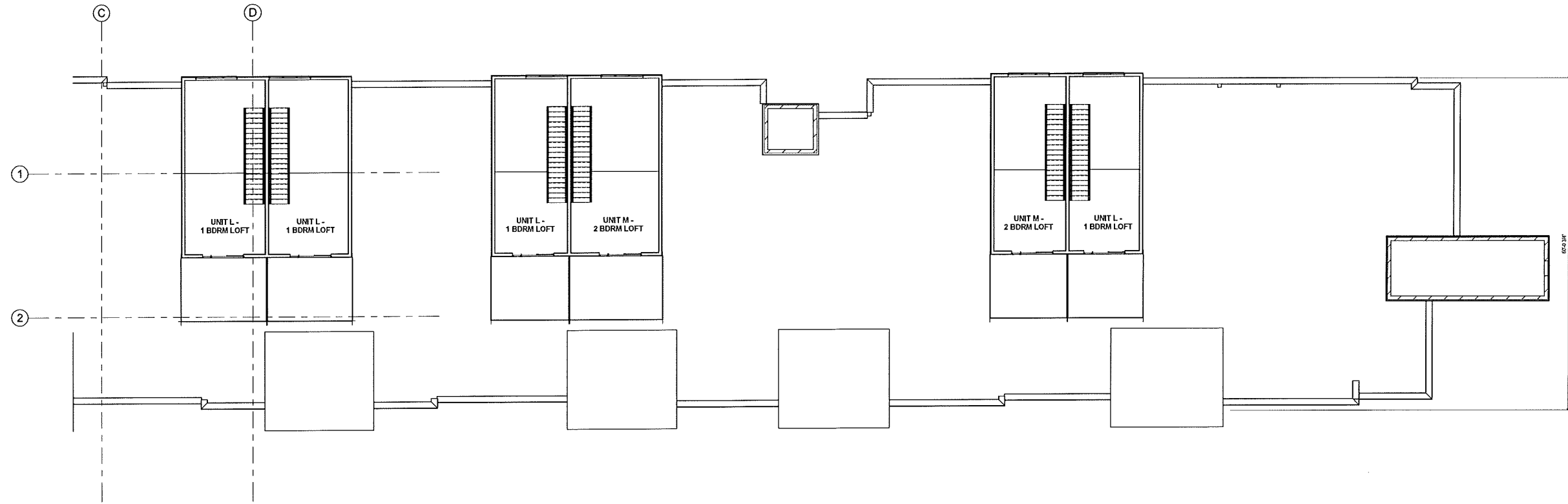
A204

JOHN FISH
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2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

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2310 Cornwell Drive Suite 2000 Madison, Wisconsin 53718 608.240.9900
1515 Fulvill Road Suite 3 Sarasota, Florida 34226 941.348.5418
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E1 LEVEL 5 FLOOR PLAN - LOFTS
A205 1/8" = 1'-0"



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Job No.:
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Sheet No.:

A205

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Revisions

220 South Water Street, Milwaukee, Wisconsin 53204
2110 Wisconsin Drive, Suite 2000, Madison, Wisconsin 53718
1919 Foothills Road, Suite 3, Sarasota, Florida 34236
414.249.2520
608.542.8900
941.549.2516
www.praich.com
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C2
A221 VIEW OF RETAIL ALONG SHERMAN
3/32" = 1'-0"



E2
A221 VIEW OF APARTMENT ENTRY ALONG SHERMAN
3/32" = 1'-0"

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130139-03
Sheet No.:
A221

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608.240.5718
1913 Kufhills Road, Suite 3, Sarasota, Florida 34236
941.348.3518
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EXTERIOR FINISH PATTERNS		EXTERIOR ELEVATIONS - GENERAL NOTES	
	ARCHITECTURAL CAST STONE	A.	PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR.
	BRICK	B.	TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, ROSE EBBS AND ALL OTHER SIKING PENETRATIONS WITH 6A FIBER CEMENT TRIM (FTF).
	RED CEMENT SIDING	C.	REFER TO SHEET XXX FOR WINDOW FRAME ELEVATIONS.
	BLACK CEMENT SIDING	D.	SEALANT COLOR'S TO MATCH ADJACENT FINISHED SURFACES.
	DARK TAN CEMENT SIDING	E.	FIBER CEMENT COLOR TO BE FEEWOOD STAIN.

NOTE #	EXTERIOR ELEVATION NOTE

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION

414 325 5000
 2310 crossroads drive suite 2000 madison, wisconsin 53718
 1510 hollywood road suite 3 tampa, florida 34626
 414 325 5018
 www.pprarch.com
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B1 NORTH-WEST
 A400 1/8" = 1'-0"



E1 NORTH-EAST
 A400 1/8" = 1'-0"



E5 EAST
 A400 1/8" = 1'-0"

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Job No.: 130139-03
Sheet No.: A400



B1 SOUTH-EAST
A401
1/8" = 1'-0"

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E1 SOUTH-WEST
A401
1/8" = 1'-0"

E5 WEST
A401
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS		EXTERIOR ELEVATIONS - GENERAL NOTES	
[Pattern]	ARCHITECTURAL CAST STONE	A	PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
[Pattern]	BRICK	B	TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIBING PENETRATIONS WITH 1/4" FIBER CEMENT TRIM (TYP.)
[Pattern]	RED CEMENT SIDING	C	REFER TO SHEET XXX FOR WINDOW FRAME ELEVATIONS
[Pattern]	BLACK CEMENT SIDING	D	SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES
[Pattern]	DARK TAN CEMENT SIDING	E	FIBER CEMENT COLOR TO BE REDWOOD STAIN
NOTE #	EXTERIOR ELEVATION NOTE		
KEYNOTE LEGEND - CONSTRUCTION TYPES			
TAG	CONSTRUCTION DESCRIPTION		

414 339 3000
229 South Water Street, Milwaukee, Wisconsin 53204
608 249 9908
1515 Franklin Road, Suite 3, Wauwatosa, Wisconsin 53226
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Date:	07-22-15
Job No.:	130139-03
Sheet No.:	A401

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TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING FLAG POLE
EXISTING MAILBOX
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING CURB INLET
EXISTING ENDWALL
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING STORM MANHOLE
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING SEPTIC VENT
EXISTING FIRE HYDRANT
EXISTING STANDPIPE
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING WELL
EXISTING WATER MANHOLE
EXISTING GAS VALVE
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING GUY POLE
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING UNIDENTIFIED MANHOLE
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING OVERHEAD CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING OVERHEAD TELEPHONE LINE
EXISTING UNDERGROUND TELEPHONE LINE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GENERAL FENCE
EXISTING WIRE FENCE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING GUY LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY FORCE MAIN (SIZE NOTED)
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING WETLAND DELINEATION
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

SURVEY LEGEND

- BENCHMARK
FOUND CHISELED 'X'
PUBLIC LAND CORNER AS NOTED
FOUND NAIL
FOUND 1" IRON PIPE
FOUND 2" IRON PIPE
FOUND P.K. NAIL
FOUND 1/4" IRON ROD
FOUND 3/4" IRON ROD
FOUND RAILROAD SPIKE
SET CHISELED 'X'
SET NAIL
SET P.K. NAIL
SET 1/4" IRON ROD
SET 3/4" IRON ROD
SET RAILROAD SPIKE
GENERAL CONTROL POINT

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS

- STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS
EROSION MAT CLASS
TRACKING PAD
RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION
GAS MAIN
ELECTRIC SERVICE

ABBREVIATIONS table with symbols for SMH, FI, CI, CB, EM, SMH

CONSTRUCTION AND GENERAL NOTES

- 1. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. REPORTS SHALL BE SUBMITTED TO CITY ENGINEER WEEKLY.
3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
7. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
8. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY.
9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
10. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
11. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
12. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP PER CONSTRUCTION DETAIL.
13. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
14. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
15. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
16. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
17. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
18. ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.
19. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

AGENCIES:

EMERGENCY - FIRE, RESCUE, AMBULANCE, POLICE DIAL 911

UNITED STATES POST OFFICE
3902 MILWAUKEE ST
MADISON, WI 53714-9998
PHONE: 608-831-5501

MADISON POLICE DEPARTMENT
211 S. CARROL ST
MADISON, WI 53703
PHONE: 608-255-2345 NON-EMERGENCY

MADISON FIRE DEPARTMENT
30 W. MIFFLIN ST.
MADISON, WI 53703
PHONE: 608-266-4420 NON-EMERGENCY

MADISON METRO
1245 E. WASHINGTON AVE.
SUITE 201
MADISON, WI 53703
TIM SOBOTA
PHONE: 608-261-4289

UTILITIES:

MG&E (GAS)
PO BOX 1231
MADISON, WI 53701
SHAUN ENDRES
PHONE: 608-252-7224 (O)
608-518-7913 (C)

MG&E (ELECTRIC)
PO BOX 1231
MADISON, WI 53701
CHRIS ERICKSON
PHONE: 608-252-5670

CHARTER COMMUNICATIONS (CABLE TV)
2701 DANIELS STREET
MADISON, WI 53718
JON MARSCHKE
PHONE: 608-225-2479

TDS (TELEPHONE + FIBER)
1912 PARMENTER ST
MIDDLETON, WI 53562
JERRY MYERS
PHONE: 608-664-4404

CITY OF MADISON - CITY ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
ROBERT F. PHILLIPS, P.E.
PHONE: 608-266-4090

CITY OF MADISON - SANITARY AND STORM SEWER ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
GREG FRIES
PHONE: 608-267-1199

CITY OF MADISON - WATER UTILITY
119 EAST OLIN AVE.
MADISON, WI 53703
TOM HEIKKINEN, GENERAL MANAGER
PHONE: 608-266-4651

MADISON GAS & ELECTRIC (GAS)
133 S. BLAIR STREET
MADISON, WI 53703
ATTN: JOHN WICHERN
(608) 252-7224

LEGENDS AND NOTES

McKenzie Place
City of Madison
Dane County, Wisconsin

Table with columns for REVISIONS, NO., DATE, REMARKS

Table with columns for SCALE, DATE, DRAWN, CHECKED, WSD, PROJECT NO.

C

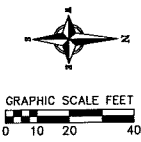
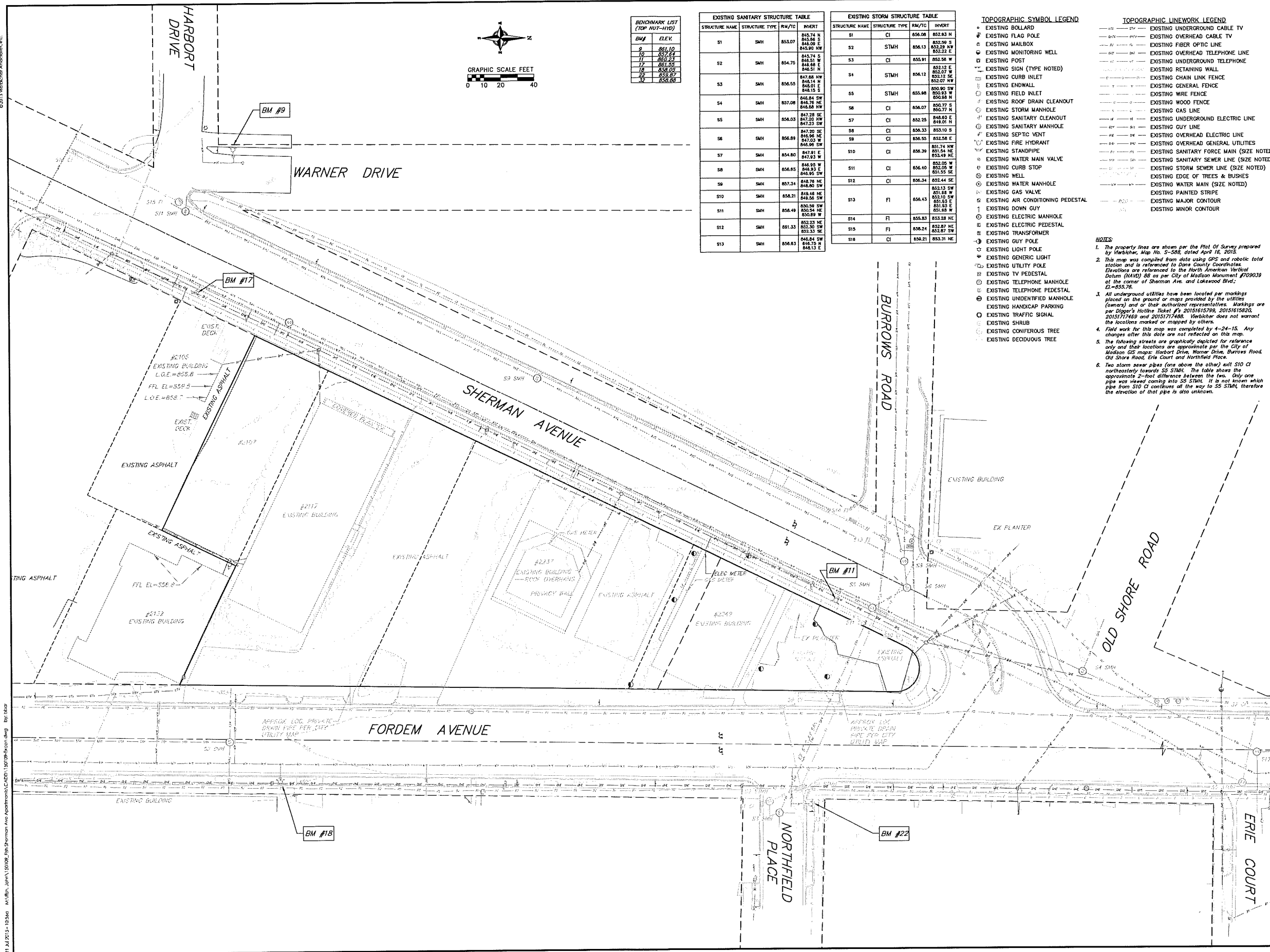
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1



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21_MK2013-03340 MK2013-03340 15th Sherman Ave Alpartomata, CA (D) 150709.dwg by: abe



BENCHMARK LIST (TOP-NOT-HID)	
BM#	ELEV.
9	851.10
10	852.44
11	852.23
17	851.55
18	852.05
22	852.87
32	854.60

EXISTING SANITARY STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RW/TC	INVERT
S1	SMH	853.07	845.74 N 843.66 E 843.90 NW
S2	SMH	854.75	843.74 S 846.60 E 846.51 N
S3	SMH	856.55	847.88 NW 846.18 N 848.01 E 848.15 E
S4	SMH	857.08	848.84 SW 846.78 NE 845.80 NW
S5	SMH	858.03	847.28 SE 847.20 NW 847.23 SW
S6	SMH	858.69	847.20 SE 846.90 NE 847.00 W 846.90 SW
S7	SMH	854.80	847.91 E 847.83 W
S8	SMH	858.85	846.55 W 846.93 E 846.80 SW
S9	SMH	857.34	848.78 NE 848.80 SW
S10	SMH	858.21	848.48 NE 848.50 SW
S11	SMH	858.49	850.38 SW 851.54 E 851.93 E 850.89 W
S12	SMH	851.33	852.23 NE 852.32 SW 852.33 SE
S13	SMH	858.83	846.84 SW 848.13 E

EXISTING STORM STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RW/TC	INVERT
S1	CI	858.08	852.83 N
S2	STMH	858.13	852.50 S 852.80 NW 852.22 E
S3	CI	855.91	852.58 W
S4	STMH	858.12	852.12 E 852.07 SE 852.12 SE 852.07 NW
S5	STMH	858.98	850.90 SW 850.93 W 850.88 N
S6	CI	858.07	850.77 S 850.77 N
S7	CI	852.25	848.60 E 848.20 N
S8	CI	858.33	853.10 S
S9	CI	858.55	852.58 E
S10	CI	858.39	851.74 NW 851.54 NE 851.55 SE
S11	CI	858.40	852.05 W 852.00 W 851.55 SE
S12	CI	858.34	852.44 SE
S13	FI	858.43	852.10 SW 851.18 E 852.10 SW 851.93 E 851.93 E 850.89 W
S14	FI	858.83	853.28 NE
S15	FI	858.24	852.87 SW
S16	CI	858.21	853.31 NE

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
 - ⊠ EXISTING FLAG POLE
 - ⊞ EXISTING MAILBOX
 - ⊞ EXISTING MONITORING WELL
 - ⊞ EXISTING POST
 - ⊞ EXISTING SIGN (TYPE NOTED)
 - ⊞ EXISTING CURB INLET
 - ⊞ EXISTING ENDWALL
 - ⊞ EXISTING FIELD INLET
 - ⊞ EXISTING ROOF DRAIN CLEANOUT
 - ⊞ EXISTING STORM MANHOLE
 - ⊞ EXISTING SANITARY CLEANOUT
 - ⊞ EXISTING SANITARY MANHOLE
 - ⊞ EXISTING SEPTIC VENT
 - ⊞ EXISTING FIRE HYDRANT
 - ⊞ EXISTING STANDPIPE
 - ⊞ EXISTING WATER MAIN VALVE
 - ⊞ EXISTING CURB STOP
 - ⊞ EXISTING WELL
 - ⊞ EXISTING WATER MANHOLE
 - ⊞ EXISTING GAS VALVE
 - ⊞ EXISTING AIR CONDITIONING PEDESTAL
 - ⊞ EXISTING DOWN GUY
 - ⊞ EXISTING ELECTRIC MANHOLE
 - ⊞ EXISTING ELECTRIC PEDESTAL
 - ⊞ EXISTING TRANSFORMER
 - ⊞ EXISTING GUY POLE
 - ⊞ EXISTING LIGHT POLE
 - ⊞ EXISTING GENERIC LIGHT
 - ⊞ EXISTING UTILITY POLE
 - ⊞ EXISTING TV PEDESTAL
 - ⊞ EXISTING TELEPHONE MANHOLE
 - ⊞ EXISTING TELEPHONE PEDESTAL
 - ⊞ EXISTING UNIDENTIFIED MANHOLE
 - ⊞ EXISTING HANDICAP PARKING
 - ⊞ EXISTING TRAFFIC SIGNAL
 - ⊞ EXISTING SHRUB
 - ⊞ EXISTING CONIFEROUS TREE
 - ⊞ EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINework LEGEND**
- EXISTING UNDERGROUND CABLE TV
 - EXISTING OVERHEAD CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING GENERAL FENCE
 - EXISTING WIRE FENCE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING GUY LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD GENERAL UTILITIES
 - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING EDGE OF TREES & BUSHES
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING PAINTED STRIPE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR

- NOTES**
- The property lines are shown per the Plat of Survey prepared by Veribicher, Map No. S-588, dated April 16, 2015.
 - This map was compiled from data using GPS and robotic total station and is referenced to Dana County Coordinates. Elevations are referenced to the North American Vertical Datum (NAVD) 88 as per City of Madison Monument #709038 at the corner of Sherman Ave. and Lakeside Blvd. E2=855.76.
 - All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digper's Hotline Ticket #s 20151615799, 20151615800, 20151717489 and 20151717488. Veribicher does not warrant the locations marked or mapped by others.
 - Field work for this map was completed by 4-24-15. Any changes after this date are not reflected on this map.
 - The following streets are graphically depicted for reference only and their locations are approximate per the City of Madison GIS maps: Harport Drive, Warner Drive, Burrows Road, Old Shore Road, Erie Court and Northfield Place.
 - The storm sewer pipe (one above the other) with S10 CI northwesterly towards S5 STMH. The table shows the approximate 2-foot difference between the two. Only one pipe was viewed coming into S5 STMH. It is not known which pipe from S10 CI continues off the way to S5 STMH, therefore the elevation of that pipe is also unknown.

veribicher
 a l l m o n t | e n g i n e e r i n g | a r c h i t e c t u r e
 1000 W. MONROE ST. MADISON, WI 53703
 TEL: 608.261.1111 FAX: 608.261.1112

Existing Conditions Plan
 McKenzie Place
 City of Madison
 Dane County, Wisconsin

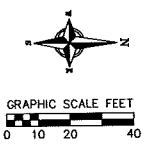
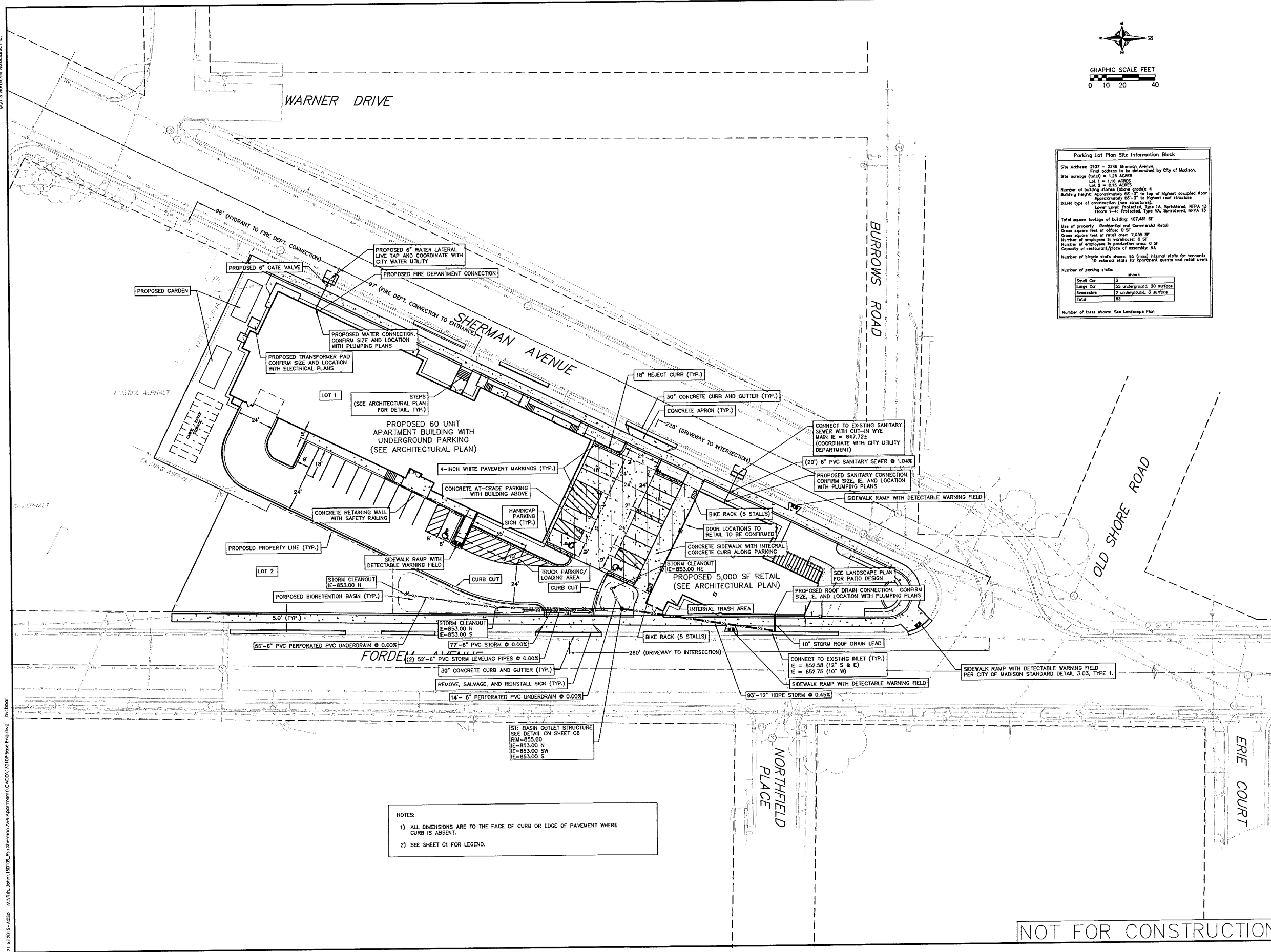
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 PLOT/EC NO.: 150109.00

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Parking Lot Plan Site Information Block

Site Address: 2107 - 2240 Sherman Avenue
 First address to be determined by City of Madison.
 Site acreage (total) = 1.25 ACRES
 Lot 1 = 1.10 ACRES
 Lot 2 = 0.15 ACRES
 Number of building stories (above grade): 4
 Building height: Approximately 55'-3" to top of highest occupied floor
 Approximately 65'-3" to highest roof structure
 DUMR type of construction (see structures):
 Lower Level: Protected, Type IA, Sprinklered, NFPA 13
 Floors 1-4: Protected, Type VA, Sprinklered, NFPA 13
 Total square footage of building: 107,451 SF
 Use of property: Residential and Commercial Retail
 Gross square feet of office: 0 SF
 Gross square feet of retail area: 7,000 SF
 Number of employees to be housed: 0 SF
 Number of employees in production area: 0 SF
 Capacity of restaurant/office of assembly: NA
 Number of bicycle stalls: 65 (max) Internal stalls for tenants
 10 external stalls for apartment guests and retail users

Number of parking stalls: shown

Small Car	3
Large Car	55 underground, 20 surface
Accessible	2 underground, 3 surface
Total	63

Number of trees shown: See Landscape Plan

NOTES:

- 1) ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT WHERE CURB IS ABSENT.
- 2) SEE SHEET C1 FOR LEGEND.

SI: BASIN OUTLET STRUCTURE
 SEE DETAIL ON SHEET C6
 RM=853.00
 IE=853.00 N
 IE=853.00 SW
 IE=853.00 S

wierbicher
 planning | engineering | architecture
 488 Corporate Center Drive, Suite 200
 Madison, WI 53703

Site And Utility Plan
 McKenzie Place
 City of Madison
 Dane County, Wisconsin

NO.	DATE	REVISIONS	BY	CHKD

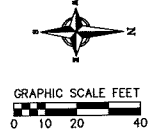
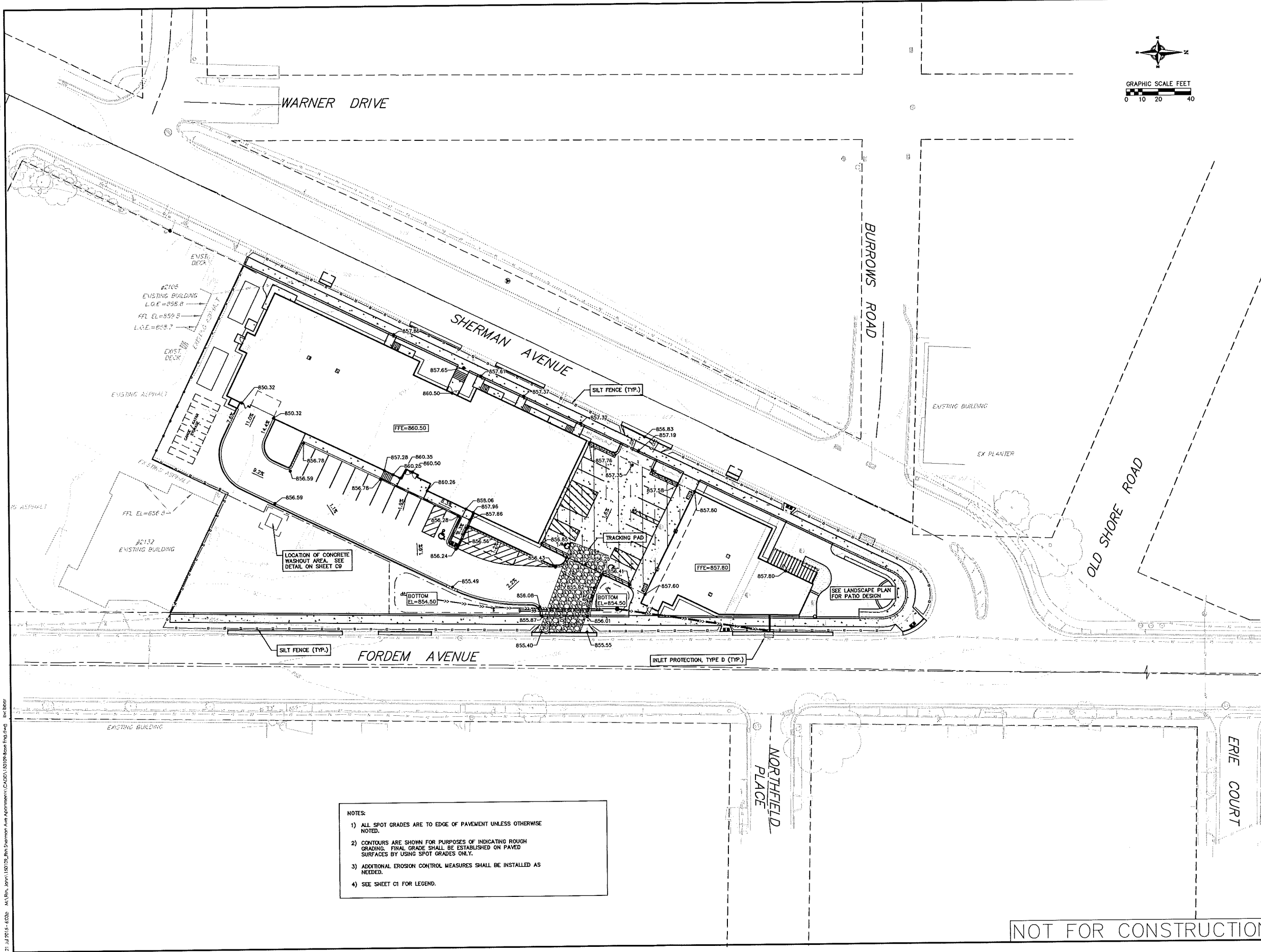
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- NOTES:**
- 1) ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 2) CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - 3) ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED.
 - 4) SEE SHEET C1 FOR LEGEND.

vierbacher
 planners | engineers | architects
 99 Franklin Ave., Suite 200, Madison, WI 53702
 Phone: 608.263.8300 Fax: 608.263.8301

Grading and Erosion Control Plan
 McKenzie Place
 City of Madison
 Dane County, Wisconsin

NO.	DATE	BY	REVISIONS

DATE: 7/21/15
 CHECKED: MSCH
 PROJECT NO.: 150109.00

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EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/unoff/Stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF, FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND, ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TAPPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWMENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST) OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6"-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

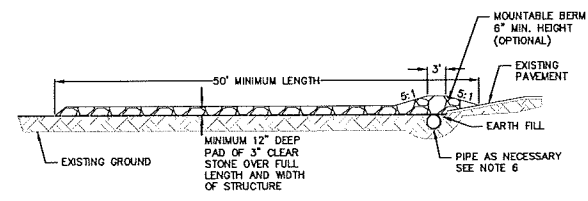
- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

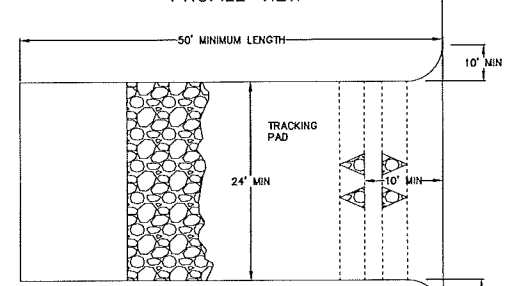
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



PROFILE VIEW

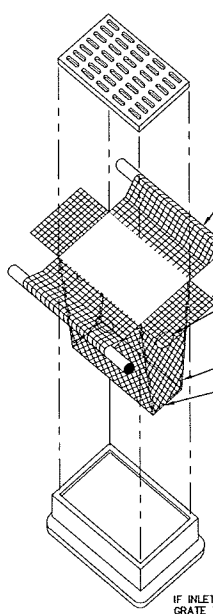


PLAN VIEW

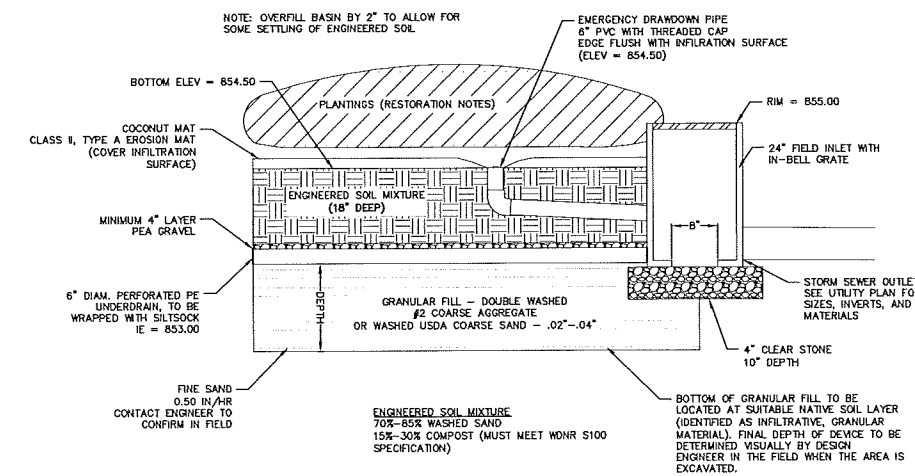
1 SILT FENCE
1 NOT TO SCALE

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
1 NOT TO SCALE



1 INLET PROTECTION TYPE D
1 NOT TO SCALE



1 BIO-RETENTION BASIN
1 NOT TO SCALE

- BIO-RETENTION AREA RESTORATION SPECIFICATIONS:**
- NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.
- BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION).
- USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGREGCOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.
- PLANT PLUGS AT 1 PER SQUARE FOOT.
- PLANTING, MULCH, AND MAINTENANCE NOTES:**
- PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.
- RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):**
- OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
 - CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
 - PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
 - PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (MUST MEET MNR S100 SPECIFICATION)
 - PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

Construction Details

McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	BY	CHKD
REVISIONS	NO.	DATE	BY	CHKD

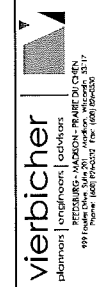
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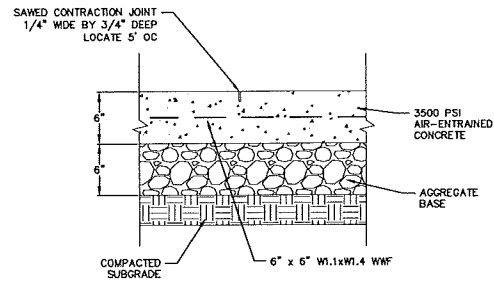
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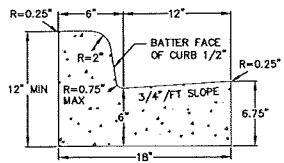
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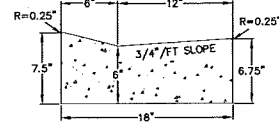




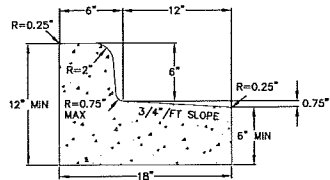
1 CONCRETE PAD
1 NOT TO SCALE



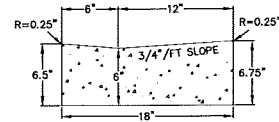
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION

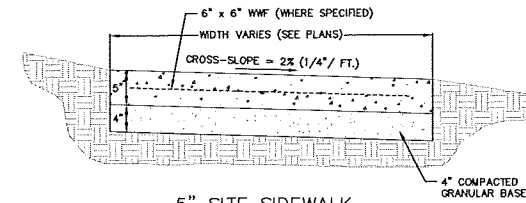


CURB AND GUTTER REJECT SECTION

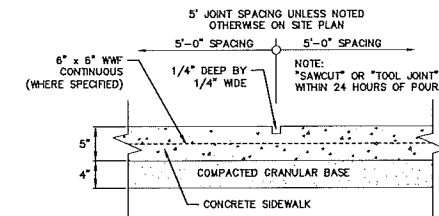


HANDICAP RAMP GUTTER CROSS SECTION

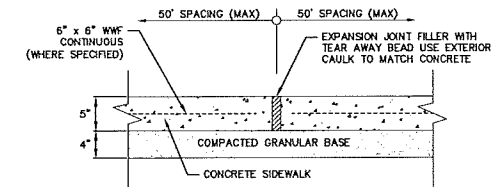
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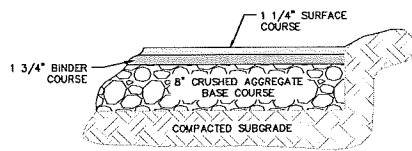


SIDEWALK CONTROL JOINT



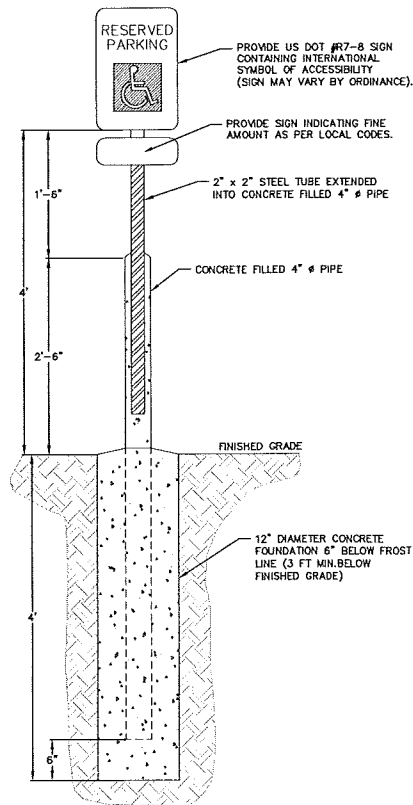
SIDEWALK EXPANSION JOINT

1 5\"/>



BITUMINOUS PAVEMENT PARKING LOT

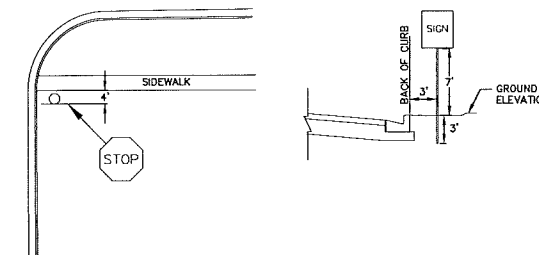
1 SITE PAVEMENT
1 NOT TO SCALE



1 HANDICAP PARKING SIGN
1 NOT TO SCALE

SIGNAGE NOTES:

1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7' FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 6" OF TOPSOIL.



1 STOP SIGN
1 NOT TO SCALE

Construction Details

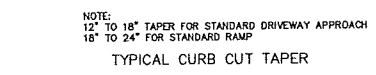
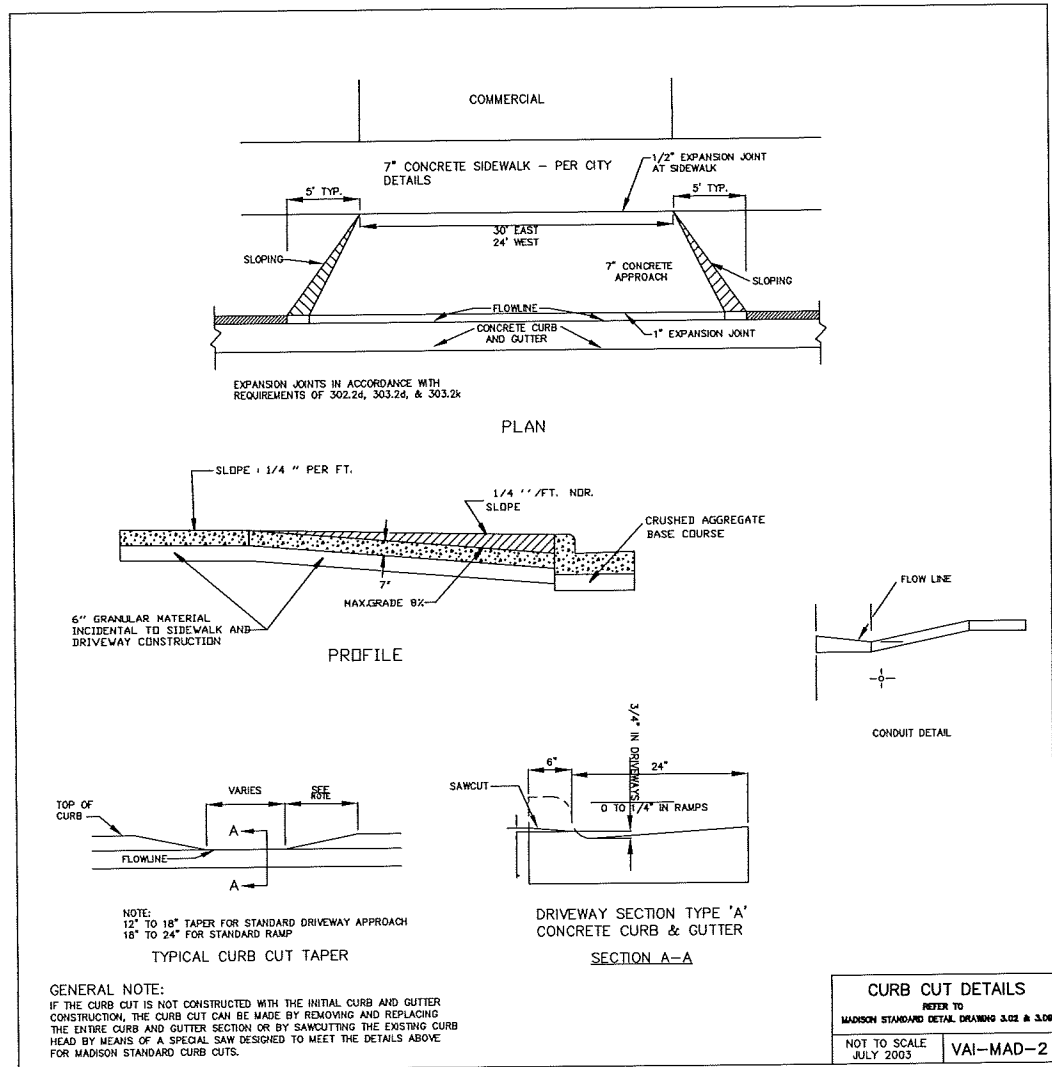
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	BY	CHKD

SCALE	AS SHOWN
DATE	7/21/15
DESIGNED	BR/ANR
CHECKED	WSH
PROJECT NO.	150109.00

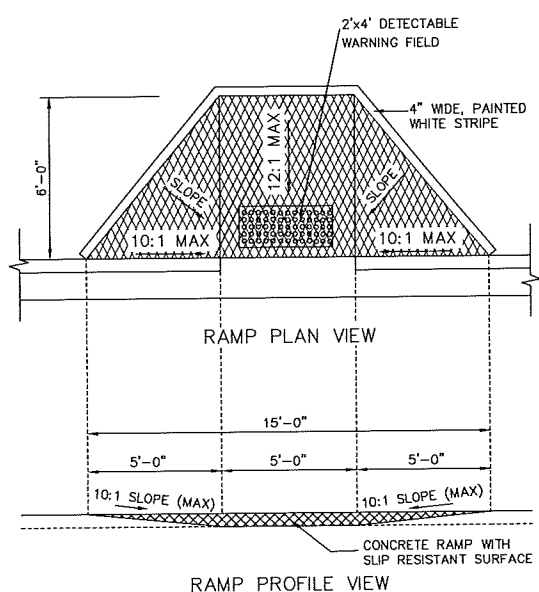
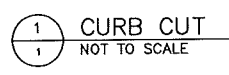
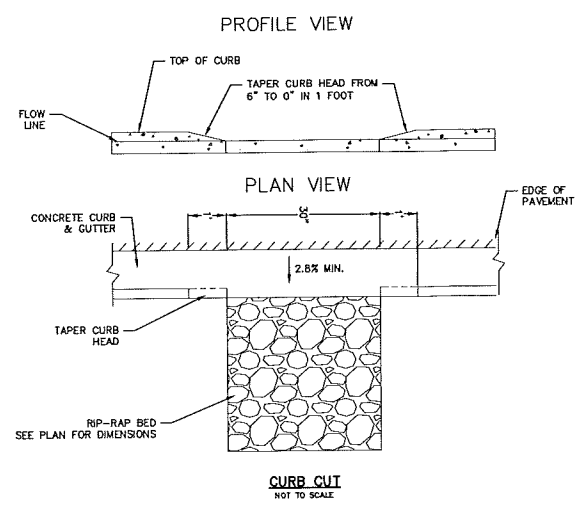
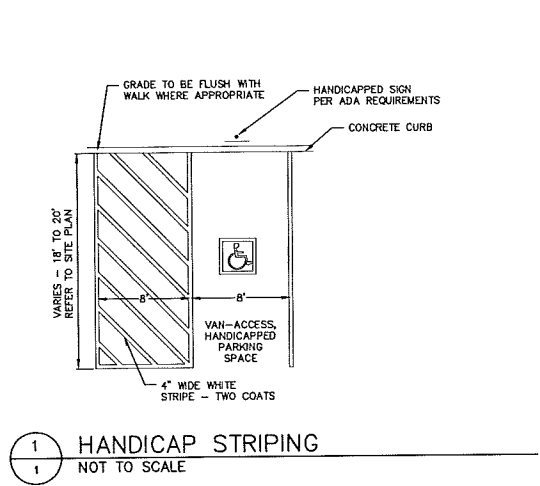
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© 2011, Vierbicher Associates, Inc. 21 Jul 2015 4:02 PM A:\Projects\150100_Plan_Sweman_Area\Agreement\CADD\150100-Issue Eng.dwg bvrb001



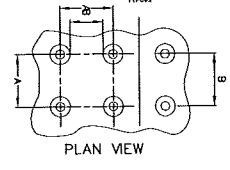
GENERAL NOTE:
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

CURB CUT DETAILS	
REFER TO MADISON STANDARD DETAIL DRAWING 3.02 & 3.08	
NOT TO SCALE	VAI-MAD-2
JULY 2003	

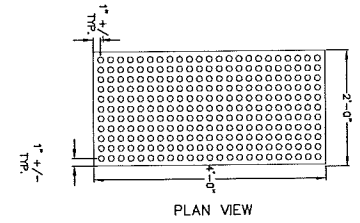
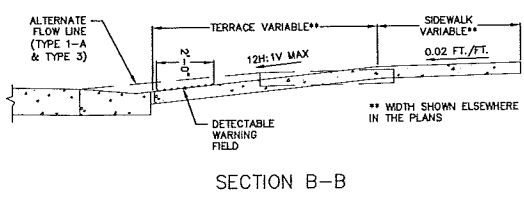


	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

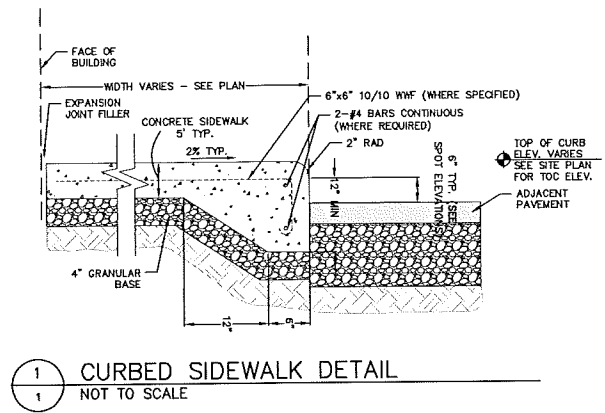
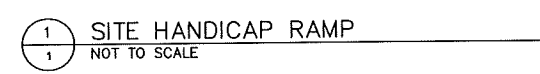
* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION



GENERAL NOTES
RAMP SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.
THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.



NOTE: MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE CITY ENGINEER.



NOT FOR CONSTRUCTION

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 Planning | Architecture | Landscape Architecture
 999 Prairie Avenue, Suite 200, Madison, WI 53703
 Phone: (608) 263-1234 Fax: (608) 263-1235

Construction Details
 McKenzie Place
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REVISIONS	NO.	DATE

SCALE: AS SHOWN
 DATE: 7/21/15
 DRAWN: SCHLAMP
 CHECKED: WSOH
 PROJECT NO.: 150109.00

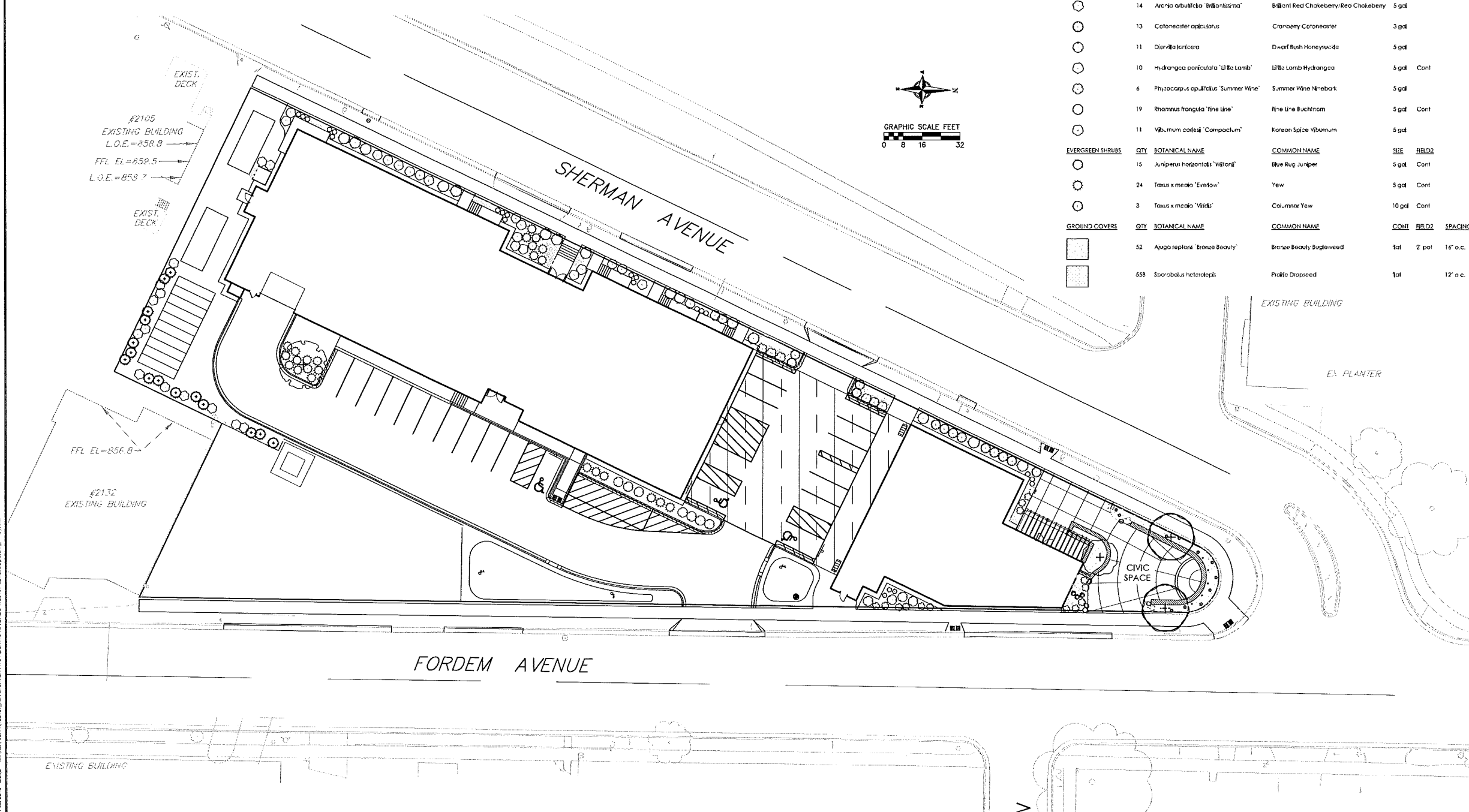
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- GENERAL NOTES:**
1. All plantings shall conform to quality requirements as per ANSI Z60.1.
 2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
 3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 7. Landscape loads to be matched with unaged shredded hardwood bark mulch to 3" depth min. Edge with commercial grade steel landscape edging.
 8. Provide 24" wide stone maintenance strip around building, 1.5" washed stone over weed barrier fabric.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	2	Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	8 & 8	2 Cal	
	1	Ulmus x 'New Horizon'	New Horizon Elm	8 & 8	2 Cal	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	15	Juniperus chinensis 'Fairview'	Fairview Juniper	15 gal		
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	1	Crataegus crus-galli 'Inermis'	Thornless Hawthorn	8 & 8	1.75 Cal	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	14	Asteria labernaemontana 'Blue Ice'	Blue Ice Star Flower	1 gal	Cont	
	21	Cotamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	Cont	
	10	Hosta x 'August Moon'	Plantain Lily	1 gal	Cont	
	3	Hosta x 'Golden Tiana'	Plantain Lily	1 gal	Cont	
	11	Urtica pycnostachya	Go, leather	4" pot	Cont	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	14	Aronia arbutifolia 'Blackberry'	Black Red Chokeberry/Red Chokeberry	5 gal		
	13	Cotoneaster apiculatus	Cranberry Cotoneaster	3 gal		
	11	Dierilla lonicera	Dwarf Bush Honeylocust	5 gal		
	10	Hydrangea paniculata 'Little Lamb'	Little Lamb Hydrangea	5 gal	Cont	
	6	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	5 gal		
	19	Rhamnus frangula 'Fine Line'	Fine Line Buckthorn	5 gal	Cont	
	11	Viburnum coccineum 'Coppaculum'	Korean Spice Viburnum	5 gal		
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	15	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	5 gal	Cont	
	24	Taxus x media 'Evelow'	Yew	5 gal	Cont	
	3	Taxus x media 'Viridis'	Columnar Yew	10 gal	Cont	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	SPACING
	52	Asya reptans 'Bronze Beauty'	Bronze Beauty Bugleweed	1 gal	2 pot	16" o.c.
	55	Sporobolus heterostachys	Puffin Droseed	1 gal		12" o.c.



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 planners | engineers | architects
 1500 W. MOUNTAIN VIEW AVENUE, SUITE 200
 MADISON, WISCONSIN 53702
 WWW.VIERBICHER.COM

Landscape Plan
 McKenzie Place
 City of Madison
 Dane County, Wisconsin

REV	DATE	REVISIONS	NO.	DATE	REVISIONS

SCALE: AS SHOWN

DATE: 7/22/2015

DESIGNER: SWM

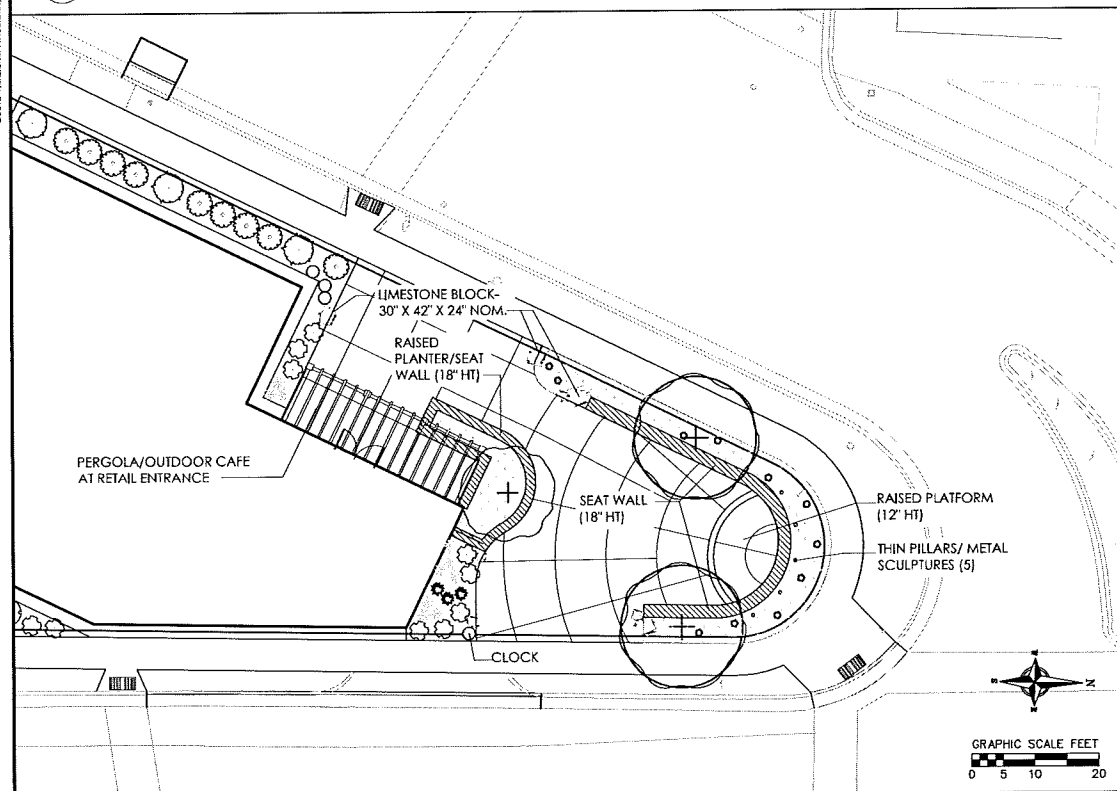
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PROJECT NO: 150105.00

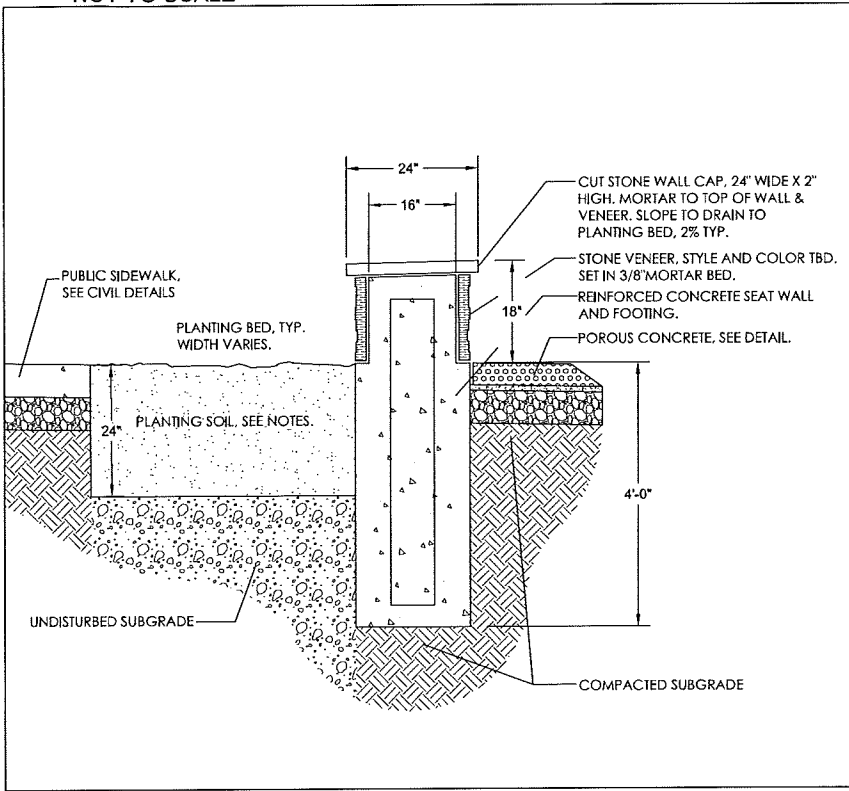
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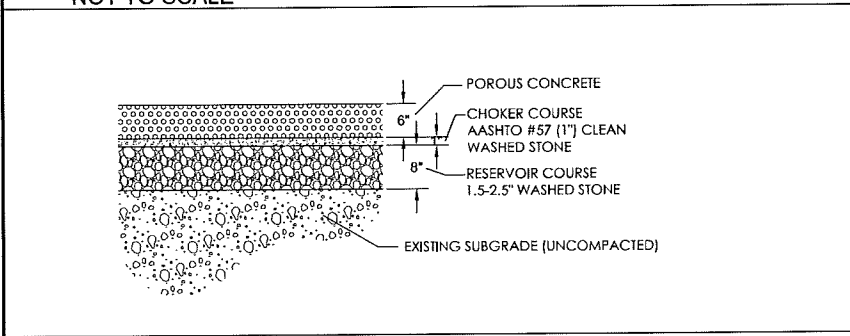
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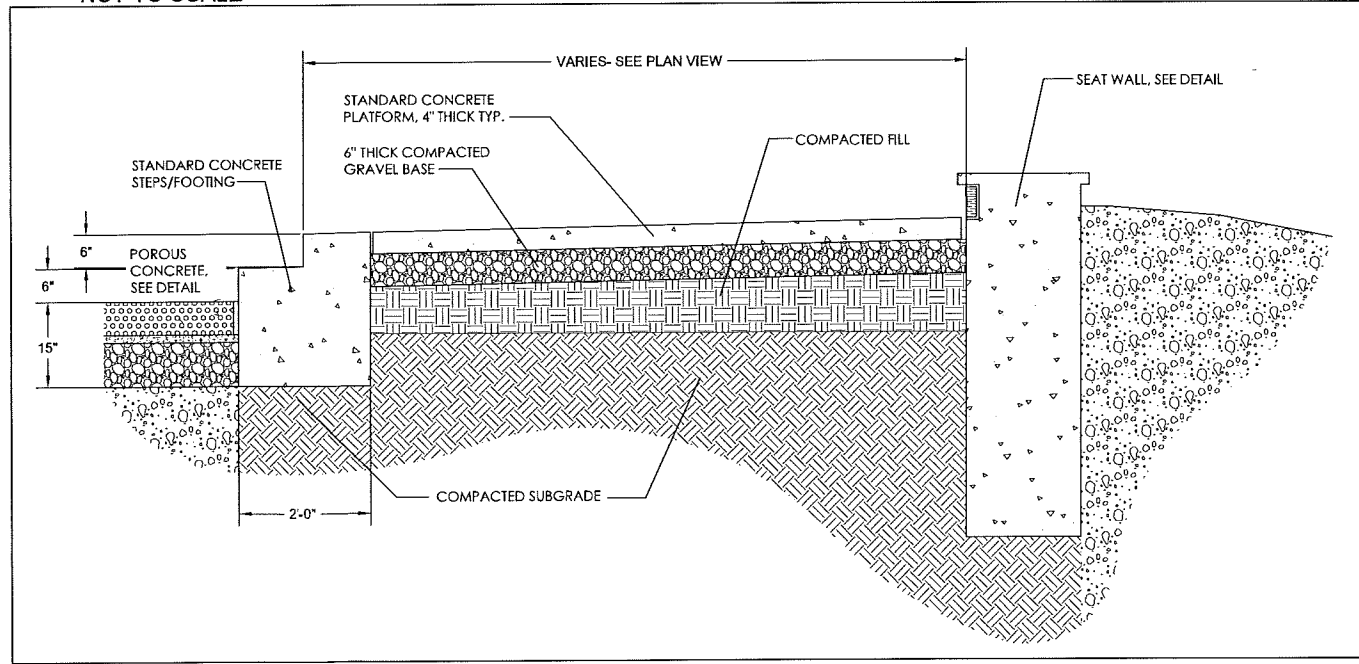
**2 SEAT WALL & PLANTING BED DETAIL
NOT TO SCALE**



**3 TYPICAL POROUS CONCRETE SECTION
NOT TO SCALE**



**4 PLATFORM DETAIL
NOT TO SCALE**



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REV. NO.	DATE	REVISIONS