

# CITY OF MADISON

# Proposed Rezoning

Location: 451-453 West Washington Avenue

Applicant: Navin Jarugumilli - Capitol Bakery/  
Mark Schmidt - Knapp Schmidt Architects

From R6 District(s)

To PUD(GDP-SIP) District(s)

Existing Use: Multi-Unit Residential Buildings

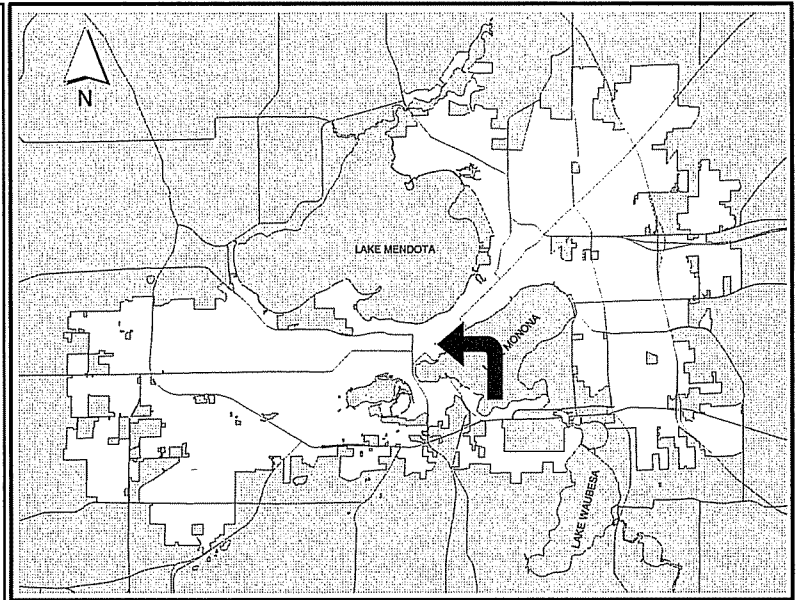
Proposed Use: Addition to Join to Residential  
Buildings and Remodel For Bakery,  
Restaurant/Tavern & Apartments

File No. \_\_\_\_\_

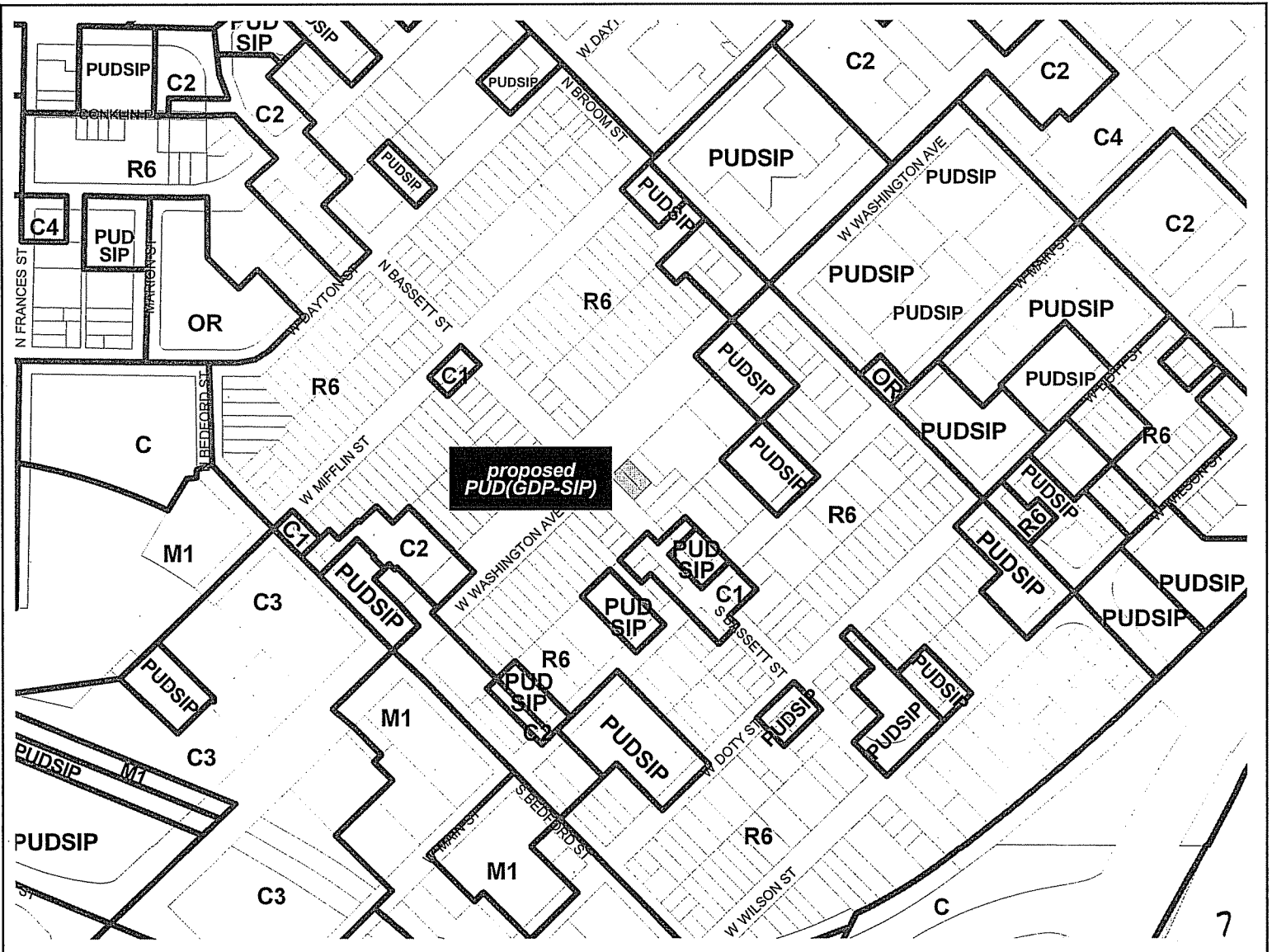
Public Hearing Dates:

Plan Commission 07 August 2006

Common Council 05 September 2006



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



# 451-453 West Washington Avenue

100 0 100 Feet



*Date of Aerial Photography - April 2003*





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning applications should be filed directly with the Zoning Administrator.

**FOR OFFICE USE ONLY:**

Amt. Paid \$1250.<sup>00</sup> Receipt No. 71457  
 Date Received 6-7-06  
 Received By KAV  
 Parcel No. 0709-231-2217-4, +18-2  
 Aldermanic District 04 - Michael Vervee  
 GQ ok  
 Zoning District R-6

**For Complete Submittal**

Application ✓ Letter of Intent ✓  
 IDUP N/A Legal Descript. ✓  
 Plan Sets ✓ Zoning Text ✓  
 Alder Notification ✓ Waiver \_\_\_\_\_  
 Ngrbrhd. Assn Not. ✓ Waiver \_\_\_\_\_  
 Date Sign Issued \_\_\_\_\_

1. Project Address: 453 W. WASHINGTON & 451 W. WASHINGTON Project Area in Acres: 1/8 Acre  
 Project Title (if any): CAPITOL

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from R-6 to PUD  Rezoning from R-6 to PUD/GDP-SIP (~~PCD-SIP~~)  
 Rezoning from \_\_\_\_\_ to PUD/PCD-GDP  Rezoning from ~~PUD~~ PCD-GDP to PUD/PCD-SIP

Conditional Use  Demolition Permit  Other Requests (Specify): \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant's Name: MARK SCHMIDT Company: \_\_\_\_\_  
 Street Address: P.O. Box 762 City/State: WAUTOMA Zip: 54982  
 Telephone: (800) 236-0140 Fax: (920) 787-1418 Email: \_\_\_\_\_  
 Project Contact Person: MARK SCHMIDT Company: \_\_\_\_\_  
 Street Address: SAME City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_  
 Property Owner (if not applicant): NAVIN JAURGUMILL / CAPITOL BAKERY LLC  
 Street Address: 18 SHEPARD TERR. City/State: MADISON Zip: 53705

### 4. Project Information:

Provide a general description of the project and all proposed uses of the site: ADDITION TO TWO BUILDINGS & CONVERT TWO LOWER LEVELS TO RESTAURANT/TAVERN & BAKERY

Development Schedule: Commencement OCT. 2006 Completion MAR 2007

**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ \_\_\_\_\_ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany all Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:  
→ The site is located within the limits of the: \_\_\_\_\_ Plan, which recommends: \_\_\_\_\_ for this property.

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:  
→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

MIKE VERWER, NEIGHBORHOOD - DEC 2005 - MAY 2006

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.  
Planner MIKE WADLICH Date 3/06 | Zoning Staff MATT TUCKER Date 3/06

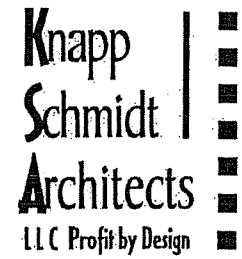
The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name MARK SCHMIDT Date 6/7/06

Signature [Signature] Relation to Property Owner NONE

Authorizing Signature of Property Owner [Signature] Date \_\_\_\_\_

June 7, 2006



Creation of;

# **Capitol Bakery & Bistro**

**And Residential Apartments**

**451 & 453 W. Washington Avenue**

**Madison, WI**

## **Index**

**1- Letter of Intent**

**2- Project Statistics**

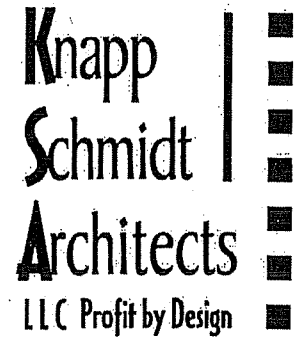
**3- Zoning Text**

**4- Drawings**

June 7, 2006

S0502

Project Owner;  
Capitol Bakery LLC  
Navin Jarugumilli  
18 Shepard Terrace  
Madison, WI



Re: Proposed Creation of;

## **Capitol Bakery & Bistro**

**and Residential Apartments**

451 & 453 W. Washington Avenue

Madison, Wisconsin

## **Letter of Intent**

### **Existing Conditions**

The existing building at 451 W. Washington Avenue has (1) two-bedroom residential apartment on the first floor and (1) two-bedroom residential apartment on the second floor.

The existing building at 453 W. Washington Avenue has (2) two-bedroom apartments on the first floor, (2) two-bedroom apartments on the second floor and (1) four-bedroom apartment on the third floor.

453 W. Washington Avenue has no parking. 451 W. Washington Avenue has two spaces in the rear yard using a driveway access agreement with 449 W. Washington Ave.

The properties are located in the r6 Zoning District.



## **Description of the Proposed Construction**

The owner proposes to convert the existing first floor of the two buildings into a restaurant by combining the two lots into one, and constructing an addition between the buildings. A bakery serving this restaurant and other retail establishments is to be located in the existing and new basement areas.

It appears that this use is consistent with the Bassett Neighborhood Plan. Due to the lack of parking, it is acknowledged that the bulk of the proposed business will need to be from services provided to the local neighborhood. The appropriateness of this business has been thoroughly discussed with the Bassett Neighborhood Steering Committee and the Committee of the whole. A major item of discussion for the neighborhood was the design of the proposed building. It is the owner's intent to maintain, improve, and expand the existing residential buildings in such a way that the neighborhood character is maintained and improved while providing the neighborhood with new essential services.

The exterior of the buildings are proposed to be altered. These changes include:

- A new porch is to replace the existing porch at 453 W. Washington Avenue.
- A new raised grade level around the buildings with guardrails, is proposed to provide a patio seating area for the restaurant, separated from the existing sidewalk.
- An addition is to be constructed between the two existing buildings. Separate entrances are created to the first floor commercial space, and second floor residential units.
- A new ground level entrance at the rear yard is to provide an accessible entry to the first floor and basement commercial space.
- The low slope roof areas above the new addition are to provide usable open areas for the four residential apartments that are to remain.
- Both buildings will have new roof shingles, and new siding, details of which were discussed with the Bassett Neighborhood Steering Committee and further discussed with the Urban Design Committee.

## **Description of the Proposed Business Operations**

The restaurant plans to serve coffee and baked goods in the morning, provide lunches mid-day, and dinners in the evening. Alcohol is to be served at a bar and with meals as part of the proposed restaurant service. One desired feature is to provide outdoor seating on the raised patio area around the building, and with adequate demand, possible future lease space in the city owned terrace. Hours of operation are proposed to be from 6:00 am to 11:00 pm, with last seating at 10:30 for interior dining, and last seating on the patio at 9:00pm. The patio area will be open during suitable weather conditions. The bar area will only operate during hours of the restaurant food service.

The owner/operators wish to serve alcoholic beverages with food on the outside patio area. The R-6 zoning district regulations specifically do not allow alcohol outside of the building. This is the major item that has caused the desire to create a PUD zoning district.

There is a trash enclosure to be located behind the building. The enclosure will contain (4) trash cans and (2) recycling receptacles. Residential trash will be picked up by the City of Madison garbage services.

Restaurant trash will be placed in trash receptacles, also in the trash enclosure. The restaurant will contract with a private vendor to make a minimum of twice weekly trash pick-ups between the hours of 7:00 am and 5:00 pm. Containers will be the smaller size with rear yard pick-up or rolling containers out to the Bassett Street curb. Grease removal and recycled trash will also be removed by a private vendor.

Delivery of fresh produce is anticipated once per day. Delivery of dry goods for the bakery is anticipated to be about once per week. Dry goods for the restaurant is also anticipated to be about once per week. These deliveries will be in small trucks, which will make deliveries in the rear of the building, temporarily sharing space with the handicap accessible parking space. These deliveries will also be made between the hours of 7:00 am and 5:00 pm and at a designated time with the lowest business activity.

The lower level bakery is anticipated to serve several business locations. Deliveries to off-site locations will also be made with small trucks, parking in the rear yard service area

No parking is provide on-site. The owners will pursue the leasing of parking spaces from adjacent property owners who have adjacent parking lots in the center of the block.

The Capitol Bakery Food services including the bakery and restaurant will be managed by Jeff Holm.

The Captiol Bistro Beverage services including coffee and alcohol will be managed by Joshua Matteson.

### **Merits of the Project**

The new commercial establishment will provide a dining and social venue for neighborhood residents. The 'no on-site parking' condition will likely limit many of the customers to those living in the nearby residential areas and in business hour to those working in the south capitol district.

The new second floor deck will provide exterior open areas for building residents that do not exist for current residents.

Conversion of the existing first floor areas to commercial use will include improved appearance of the two buildings at a prominent location, retain the buildings with



predominately residential character and use, and maintain the two buildings in present form, postponing pressure for more intensive development at this site.

### **Limitations and Hurdles for the Proposed Project**

The two subject properties are zoned R-6. Although a restaurant is allowed as a conditional use, a tavern is not allowed. A recent interpretation of the R6 zoning text is that a restaurant-tavern is also not allowed in the R6 district. Outdoor seating with liquor service is not allowed. There are limitations to the design of the restaurant entry and the signage on the exterior of the building.

The two existing buildings have some infringement into required yard areas. The proposed addition and front porch reconstruction may require variances if the project remained in the R6 district.

City staff have determined that a PUD zoning district is the only avenue open for processing the proposed alterations and use.

### **Schedule for Development**

It is anticipated that the site use approval process with the City of Madison will be completed by late summer 2006. The building permit process should provide building permits by October 1<sup>st</sup>, 2006. Pending financial approvals, it is anticipated that construction could start by October 2006, with occupancy anticipated by April 1<sup>st</sup> 2007.

The architect for the project is ; Mark J. Schmidt  
Knapp Schmidt Architects LLC  
2040 Winnebago St.  
Madison, WI 53704  
800-236-0140  
fax 920-787-1418

The construction contractor has not been selected:

6/27/06

S0505

## Capitol Bakery & Bistro & Residential Apartments

Owner Navin Jarugumilli  
453 W. Washington Avenue  
451 W. Washington Avenue  
Madison, WI



### Project Description

Convert the existing first floor space of 451 & 453 West Washington Avenue into one commercial restaurant space by constructing an addition to connect the two existing buildings. The existing second and third floor residential apartments are to remain. A bakery serving the restaurant and others is to be located in lower level.

### Project Statistics

Site Area	5,640 sf								
	Area	Total Floor Area	Total Bldg Flr Area	Lot Area Req'd R6	Open Area Req'd R6	Commercial Space	Residential Space		
<b>Basement</b>									
Kitchen/Bakery	1,675								
Mech#1 & Tenant Laundry	656						656		
Exit/Toilet Addition	129								
Mech #2	122								
Stair #1	307								
Total Basement Area		2,889							
<b>First Floor</b>									
Existing 451	1,376					1,376			
First Floor Addition	612					612			
Existing 453	1,008					1,008			
Total New & Existing Porche:	328								
Total First Floor Area		3,324							
<b>Second Floor</b>									
Apartment #1	933			450	140		933		
Apartment #2	637			450	140		637		
Apartment #3	572			450	140		572		
New Hall Addition	57								
Stair #1	83								
Stair #2	84								
Stair #3	59								
Total Second Floor Area		2,425							
<b>Third Floor</b>									
Apartment #4	1,226			600	280		1,226		
Stair #1	100								
Stair #2	84								
Total Third Floor Area		1,410							
Total Building Floor Area			10,048	1,950	700	2,996	4,024		

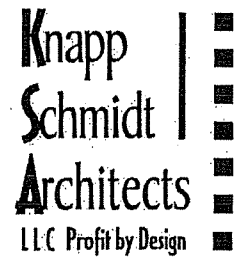
### Floor Area Ratio

9,736sf / 5460 sf: 1.78

June 7, 2006

## Capitol Bakery & Bistro

And Residential Apartments  
453 W. Washington Avenue  
Madison, WI



## Zoning Text

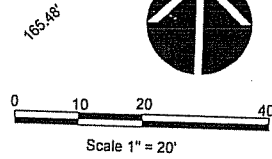
Legal Description: The Northwest 85 feet of the Northeast 1/2 of Lot 1 and the Northwest 85 feet of the Southwest 1/2 of Lot 1, Block 44, Original Plat of the city of Madison, in the City of Madison, Dane county, Wisconsin.

- A. Statement of Purpose: This zoning district is established to allow for the construction of a multi-use building housing a restaurant-tavern, commercial bakery, and residential apartments.
- B. Permitted Uses:
  - 1. Those that are stated as permitted users in the R6 District.
  - 2. Uses accessory to permitted uses as permitted in the R6 District.
  - 3. Other permitted uses: restaurant-tavern and bakery
- C. Lot Area 5,610 sf
- D. Floor Area Ratio
  - 1. Maximum floor area ratio permitted is 2.0
  - 2. Maximum building height shall be 3 stories or as shown on approved plans.
- E. Yard Requirements: Yard areas will be provided as shown on the approved plans.
- F. Landscaping: Site landscaping will be provided as shown on the approved plans.
- G. Accessory Off-Street Parking & Loading: Accessory off-street parking and loading will be provided as shown on approved plans.
- H. Lighting: Site lighting will be provided as shown on approved plans.
- I. Signage: signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the R6 district, or signage will be provided as approved on the recorded plans.
- J. Family Definition: The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R6 zoning district.
- K. Alterations and Revisions: No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

# Plat of Survey

The Northwest 85 feet of the Northeast 1/2 of Lot 1, and the Northwest 85.0 feet of the Southwest 1/2 of Lot 1, Block 44, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin

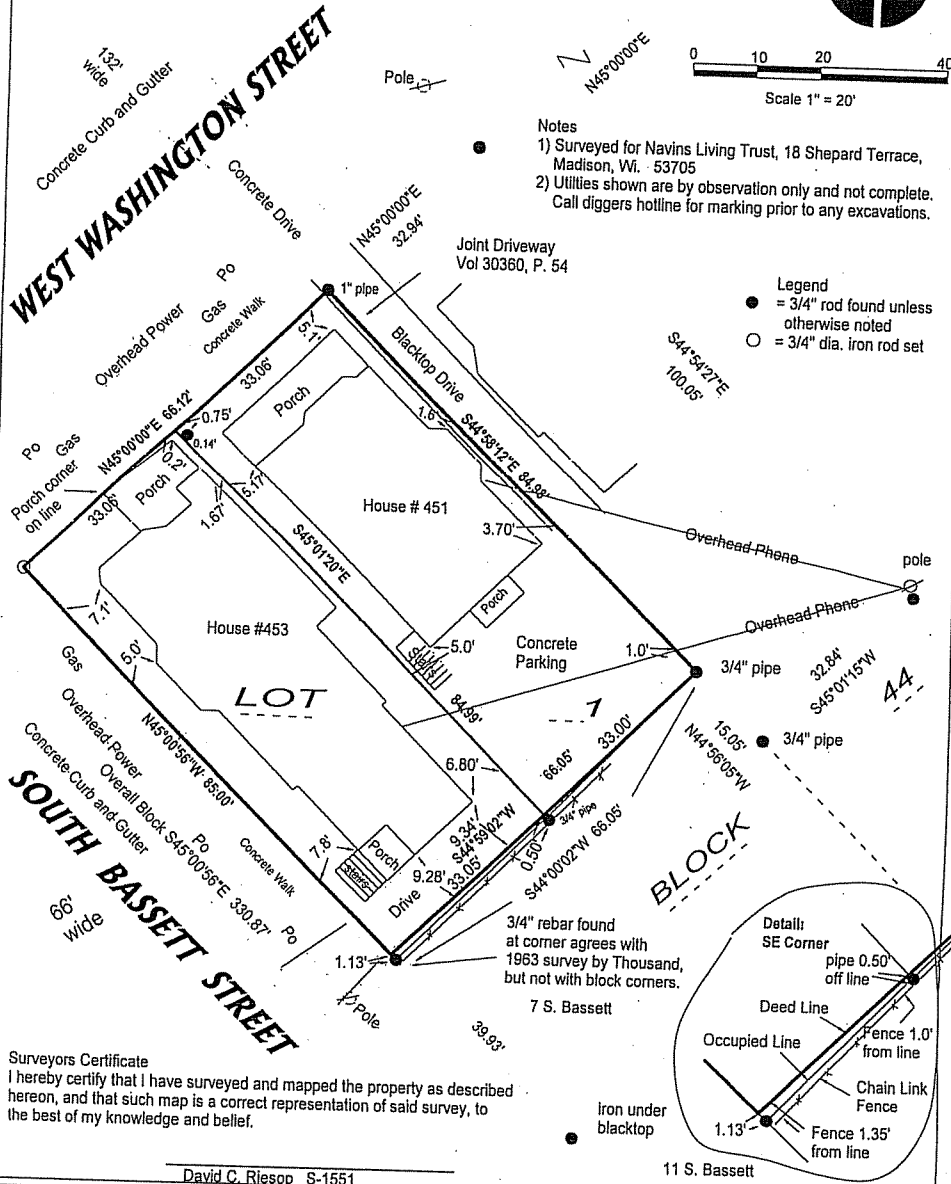
Referenced to the S Line of W. Washington St. Assumed



**Notes**

- 1) Surveyed for Navins Living Trust, 18 Shepard Terrace, Madison, WI. 53705
- 2) Utilities shown are by observation only and not complete. Call diggers hotline for marking prior to any excavations.

- Legend**
- = 3/4" rod found unless otherwise noted
  - = 3/4" dia. iron rod set



**Surveyors Certificate**

I hereby certify that I have surveyed and mapped the property as described hereon, and that such map is a correct representation of said survey, to the best of my knowledge and belief.

David C. Riesop S-1551

**Wisconsin Mapping, LLC**

surveying and mapping services  
306 West Quarry Street, Deerfield, Wisconsin 53531  
(608) 764-5602

Dwg. No. 3358-06 Date 5/10/06  
Sheet 1 of 1

80.23'



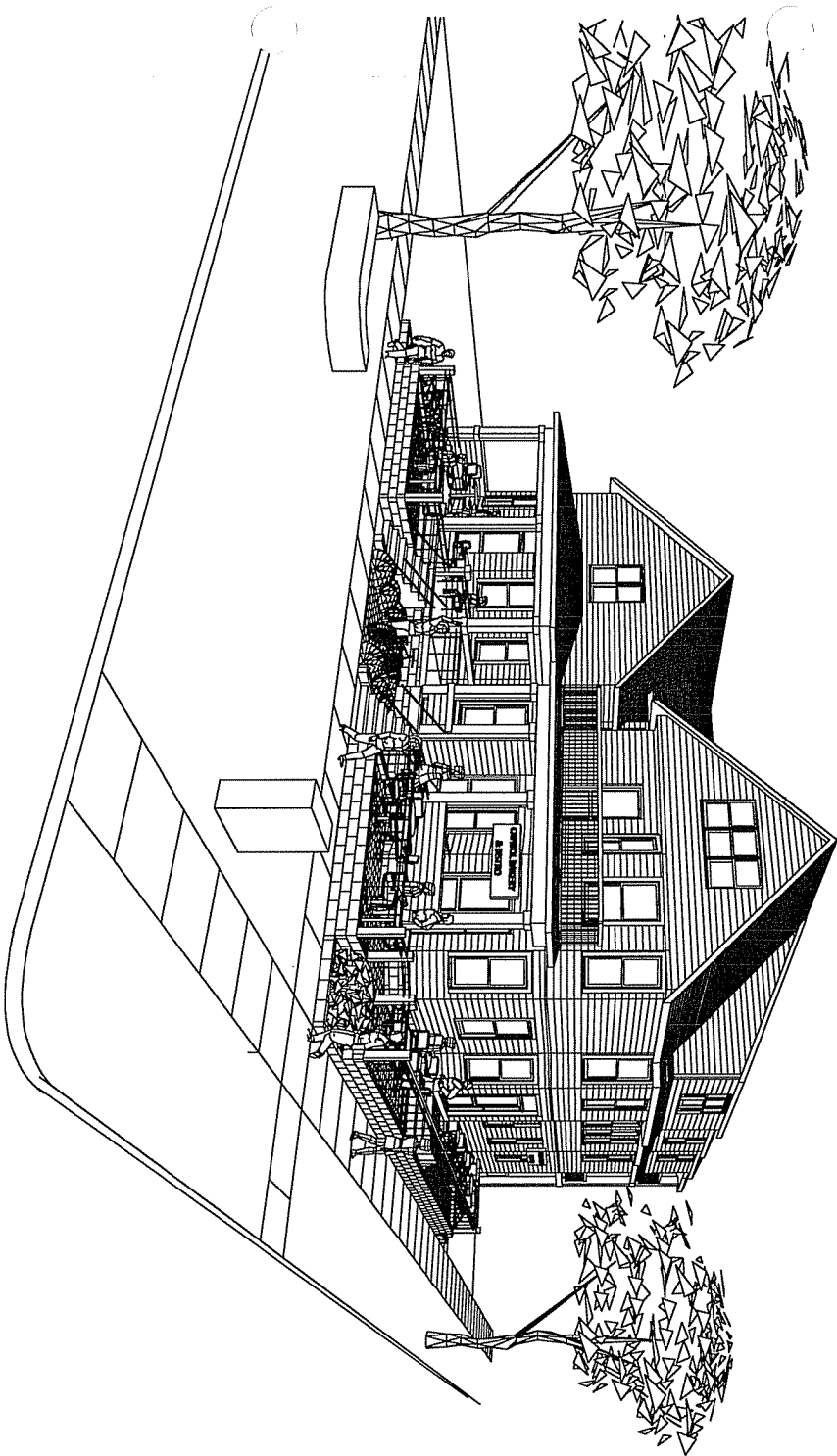
451 W. WASHINGTON AVE.

7



453 W. WASHINGTON AVE.

7



# CAPITOL BAKERY & BISTRO

**& RESIDENTIAL APARTMENTS**  
 453 W. WASHINGTON AVE.  
 MADISON, WISCONSIN

## PROJECT DESCRIPTION

CONVERT EXISTING FIRST FLOOR  
 AREAS OF TWO RESIDENTIAL  
 BUILDINGS INTO COMBINED  
 COMMERCIAL SPACE WITH A  
 CONNECTING ADDITION.

## PROJECT TEAM

**OWNER:**  
 CAPITOL BAKERY LLC  
 18 SHEPARD TERRACE  
 MADISON, WI 53705

**ARCHITECT**  
 MARK J. SCHMIDT  
 2040 WINNEBAGO ST  
 MADISON, WI 53704  
 608-271-0140

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- 1.1 TITLE SHEET
- 2.1 SITE PLAN
- 6.0 BASEMENT PLAN
- 6.1 FIRST FLOOR PLAN
- 6.2 SECOND FLOOR PLAN
- 6.3 THIRD FLOOR PLAN
- 7.1 ROOF PLAN
- 8.1 EXTERIOR ELEVATIONS
- 8.2 EXTERIOR ELEVATIONS

CONTENTS & INDEX SUBJECTS/ADDRESS

TITLE SHEET	1,1
-------------	-----

DATE:	ISSUED:
6/07/06	PUD APPLICATION
50505	

ALTERATIONS FOR:  
**CAPITOL BAKERY & BISTRO**  
 & RESIDENTIAL APARTMENTS  
 451 & 453 W. WASHINGTON AVENUE MADISON, WI

OWNER  
 CAPITOL BAKERY LLC  
 18 SHEPARD TERRACE  
 MADISON, WI 53705

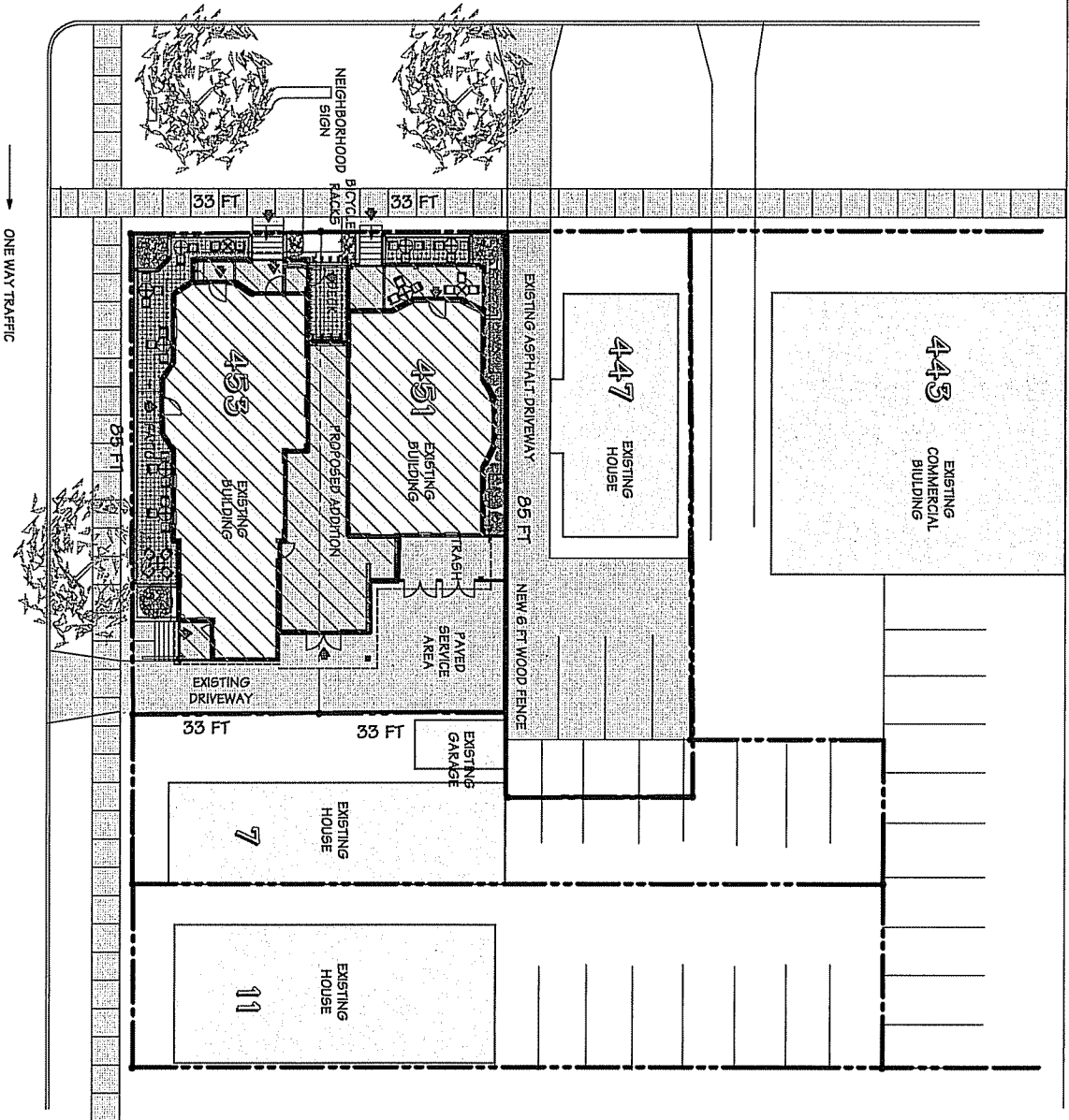
**Knapp  
 Schmidt  
 Architects**  
 LLC

PO Box 762  
 Watonsa, WI 54982  
 800 - 236 - 0140  
 Phone  
 920 - 797 - 1416  
 Fax  
 ksarch@earthlink.net  
 e-mail



WEST WASHINGTON AVENUE

BASSET STREET

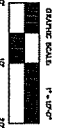


SITE PLAN NOTES:

- SITE AREA: 5,604 sq ft
- BUILDING AREA CALCULATIONS:
- 451 W. WASH 1,008 sq ft
- EXISTING PORCH 168 sq ft
- 453 W. WASH 1,376 sq ft
- EXISTING REAR PORCH 42 sq ft
- PROPOSED NEW PORCH 106 sq ft
- PROPOSED ADDITION 613 sq ft
- TOTAL BUILDING AREA 3,299 sq ft
- EXISTING & NEW BASEMENT AREA 2,868 sq ft
- EXISTING & NEW SECOND FLOOR AREA 2,425 sq ft
- EXISTING THIRD FLOOR AREA 1,410 sq ft
- TOTAL BUILDING FLOOR AREA 10,001 sq ft

LANDSCAPING SCHEDULE

- 1
- 2
- 3



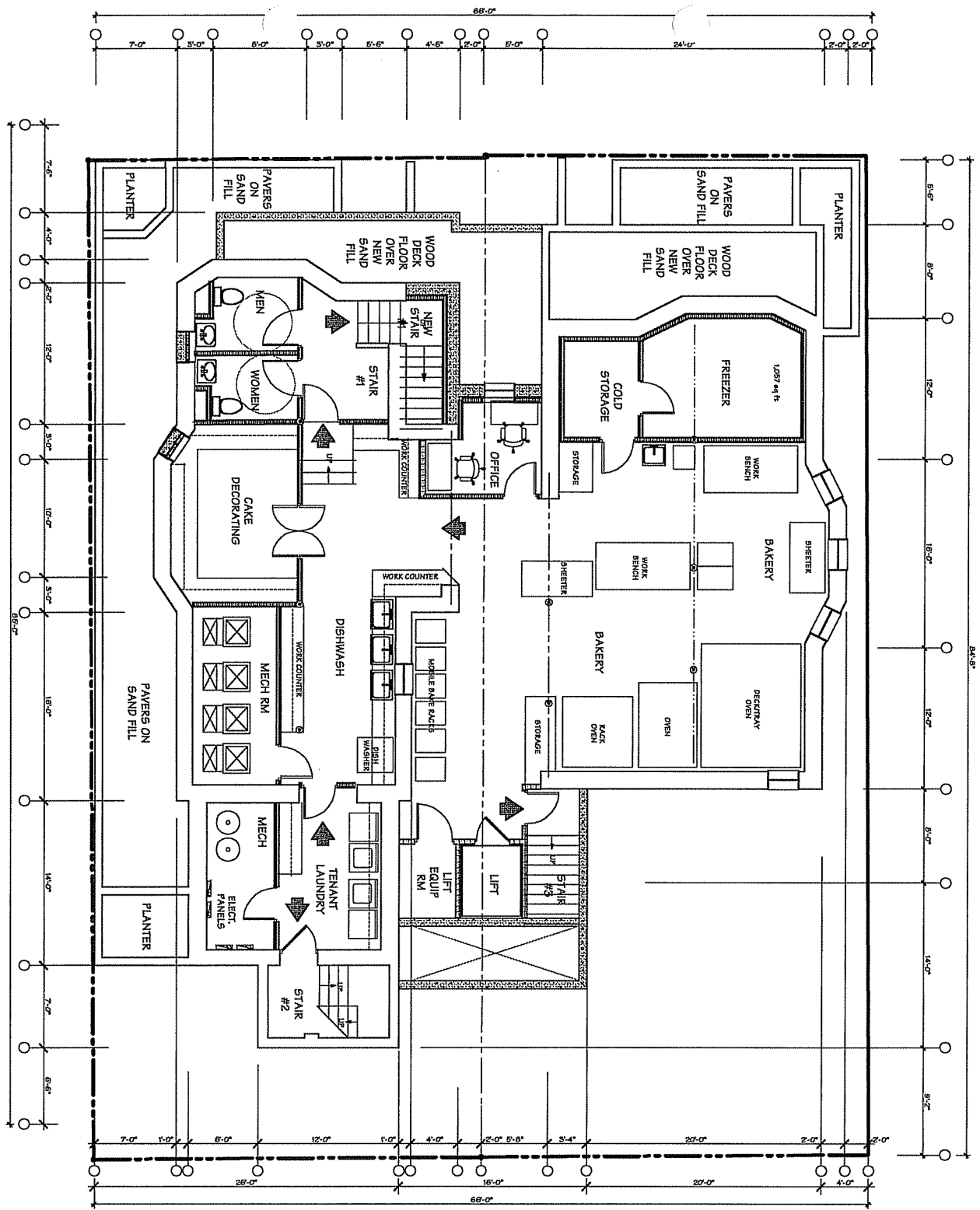
SITE PLAN  
2.1

DATE	ISSUED
6/10/06	PLD APPLICATION
50505	

ALTERATIONS FOR:  
**CAPITOL BAKERY & BISTRO & APARTMENTS**  
451 & 453 W. WASHINGTON AVENUE, MADISON, WI

CAPITOL BAKERY LLC  
10 SHEPARD TERRACE  
MADISON, WI 53706

Mark J. Schmidt Architect  
2040 Washington Street  
Madison, WI 53704  
800 - 787 - 0140  
920 - 787 - 1418  
mjsch@earthlink.net



**GROUND FLOOR PLAN NOTES:**

**AREA CALCULATIONS**

- KITCHEN/BAKERY 1,075 sq ft
- MECH #1 AND TENANT USE AREA 656 sq ft
- NEW EXT & TOILET ROOM ADDITION 129 sq ft
- MECH #2 122 sq ft
- STAIR #1 BASEMENT 307 sq ft

**TOTAL BASEMENT AREA**

2,808 sq ft

**OCCUPANCY CALCULATIONS:**

- SOUTH NET BAKERY AREA
- NORTH NET BAKERY AREA
- BAKERY 908 SF/200SF = (9) PERSONS

SCALE: 1/4"=1'-0"



COURTESY © 2006 SHAW-KOENIG ARCHITECTS

**BASEMENT FLOOR PLAN**

6.0

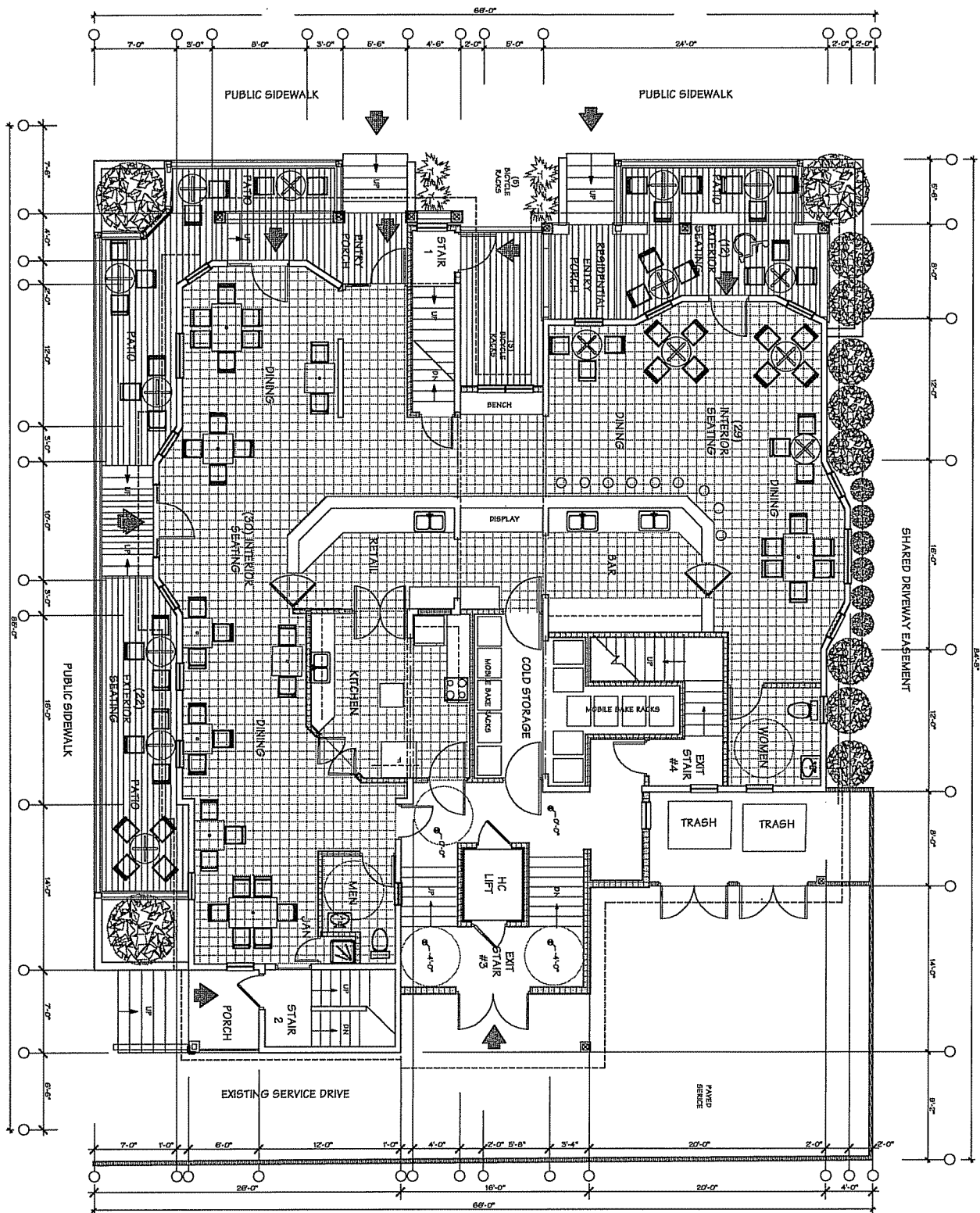
DATE:	ISSUED:
6/07/06	FUD APPLICATION
PROJECT: 50205	

ALTERATIONS FOR:  
**CAPITOL BAKERY & BISTRO**  
 & RESIDENTIAL APARTMENTS  
 451 & 453 W. WASHINGTON AVENUE MADISON, WI

OWNER  
 CAPITOL BAKERY LLC  
 18 SHEPARD TERRACE  
 MADISON, WI 53705



PO Box 762  
 Watsons, WI 54982  
 800-236-0140  
 Phone  
 920-767-1418  
 Fax  
 ksarch@earthlink.net  
 e-mail



**FIRST FLOOR PLAN NOTES:**

**SCOPE OF WORK**  
 CONVERT THE FIRST FLOOR OF THE TWO EXISTING BUILDINGS INTO A RESTAURANT-PATRYRY. AN ADDITION IS TO BE CONSTRUCTED TO CONNECT THE BASEMENT AND FIRST FLOOR AREAS. A NEW RAISED PATIO DECK IS TO BE CONSTRUCTED WITH A MASONRY RETAINING WALL AND STEEL GUARDRAIL. FUTURE WORK MAY INCLUDE IMPROVEMENTS TO TERRACE AREA TO PROVIDE OUTDOOR SEATING.

**BUILDING AREA CALCULATIONS:**

- EXISTING AREA 451 1,376 sq ft
- PROPOSED CONNECTING ADDITION 612 sq ft
- EXISTING AREA 453 1,008 sq ft
- PROPOSED ENTRY STAIR ADDITION 22 sq ft
- TOTAL FIRST FLOOR 3,018 sq ft**
- EXISTING 451 FRONT PORCH 168 sq ft
- PROPOSED NEW 453 FRONT PORCH 106 sq ft
- EXISTING 453 REAR PORCH 42 sq ft
- TOTAL BUILDING FLOOR AREA 3,324 sq ft**

**OCCUPANCY CALCULATIONS:**

- NET INTERIOR FINISH AREA
- RESTAURANT (250 STRIPS) = (63) PERSONS
- RESTAURANT INTERIOR SEATING (63) PERSONS
- RESTAURANT EXTERIOR SEATING (32) PERSONS
- RESTAURANT PATRYRY
- TOTAL RESTAURANT OCCUPANCY (95) PERSONS**

SCALE: 1/4"=1'-0"



PROJECT: THE NORTH NORTH

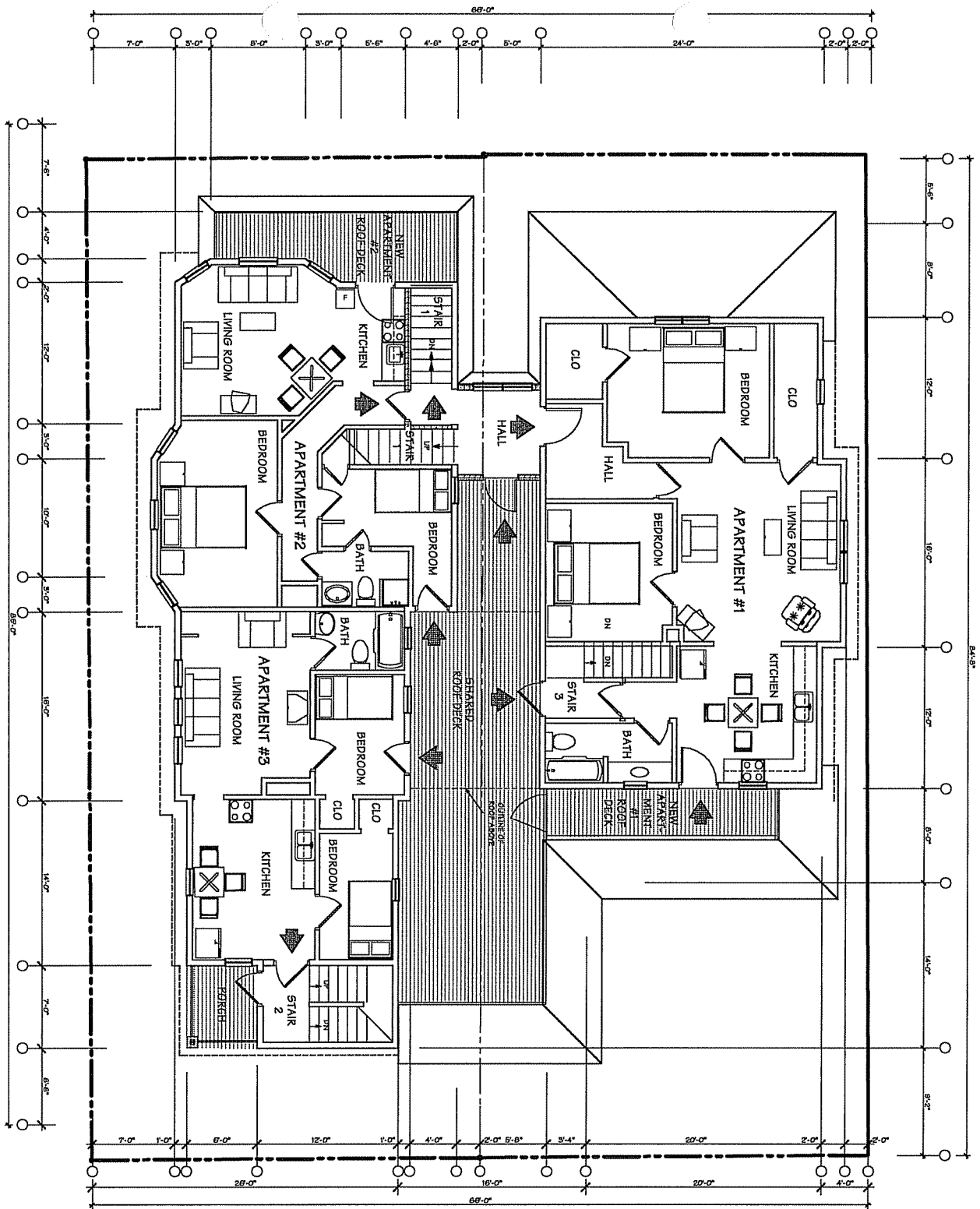
FIRST FLOOR PLAN  
 6.1

DATE:	ISSUED:
6/07/06	PUD APPLICATION
50505	

ALTERATIONS FOR:  
**CAPITOL BAKERY & BISTRO**  
 & RESIDENTIAL APARTMENTS  
 451 & 453 W. WASHINGTON AVENUE MADISON, WI

OWNER  
 CAPITOL BAKERY LLC  
 18 SHEPARD TERRACE  
 MADISON, WI 53705

**Knapp Schmidt Architects LLC**  
 PO Box 762  
 Watonsa, WI 54982  
 800-236-0140  
 Phone  
 920-787-1418  
 Fax  
 ksch@earthlink.net  
 e-mail



**SECOND FLOOR PLAN NOTES:**

SCOPE OF WORK:  
 CONSTRUCT NEW ROOF DECK AND  
 HALL OVER NEW CONNECTING  
 ADDITION.

**FLOOR AREA CALCULATIONS:**

APARTMENT #1	935 sq ft
APARTMENT #2	637 sq ft
APARTMENT #3	572 sq ft
NEW HALL	57 sq ft
STAIR 1	83 sq ft
STAIR 2	84 sq ft
STAIR 3	59 sq ft
<b>TOTAL SECOND FLOOR</b>	<b>2,425 sq ft</b>

**USABLE OPEN AREA:**

REQUIRED:  
 APART #1 (2) BDRM @ 70SF = 140 SF  
 APART #2 (2) BDRM @ 70SF = 140 SF  
 APART #3 (2) BDRM @ 70SF = 140 SF  
 APART #4 (4) BDRM @ 70SF = 280 SF  
**TOTAL REQD OPEN AREA: 700 SF**

**PROVIDED:**

APART #1 DECK AREA	102 sq ft
APART #2 DECK AREA	81 sq ft
SHARED DECK AREA	363 sq ft
APART #4 DECK AREA	165 sq ft
<b>TOTAL USABLE AREA</b>	<b>791 sq ft</b>

**OCCUPANCY CALCULATIONS:**

APARTMENT #1 @ 935 SF / 1200SF = (8) PERSONS  
 APARTMENT #2 @ 637 SF / 1200SF = (4) PERSONS  
 APARTMENT #3 @ 572 SF / 1200SF = (5) PERSONS  
**TOTAL SECOND FLOOR OCCUPANCY: (23) PERSONS**

SCALE: 1/4"=1'-0"



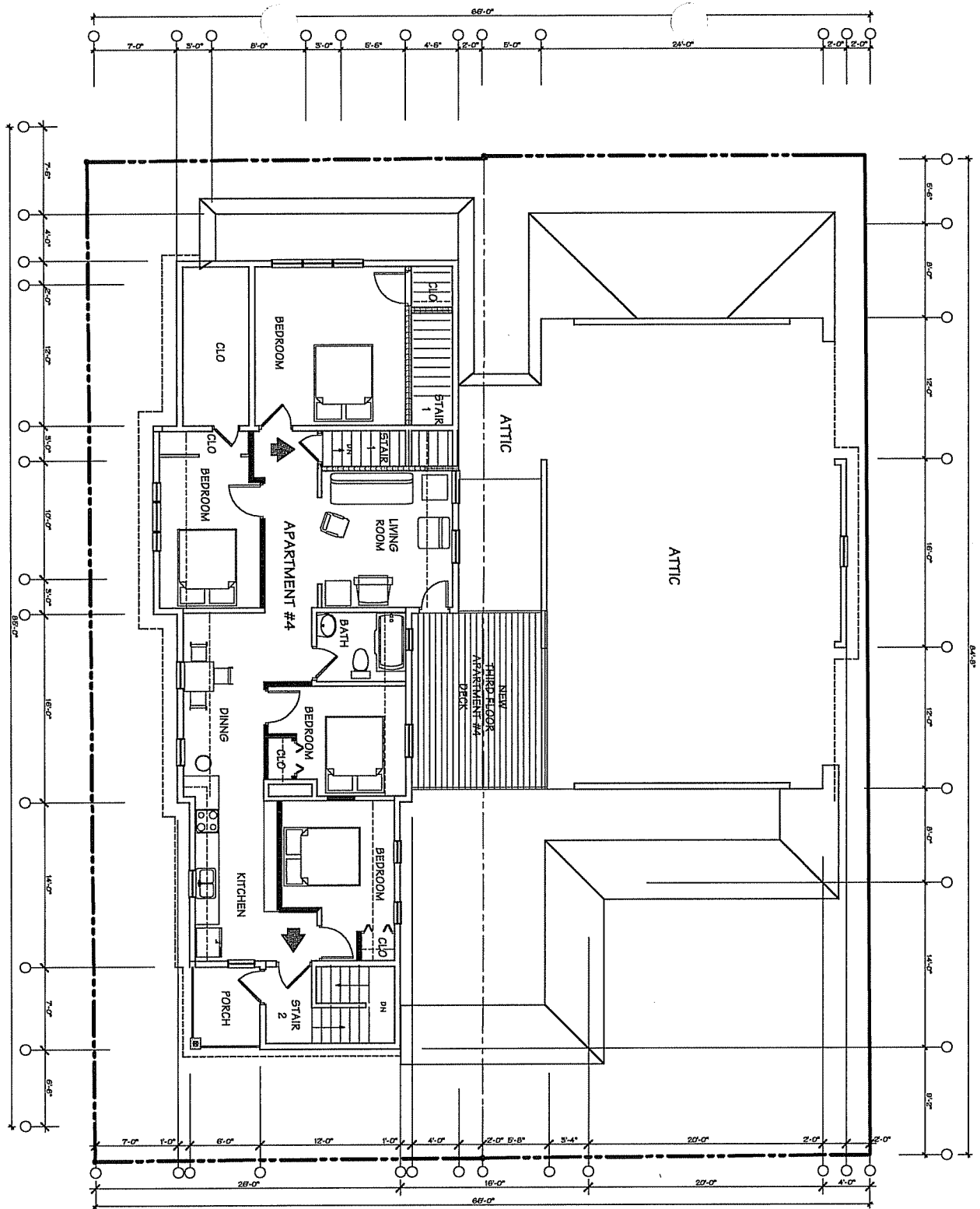
PROJECT: TUNE NORTH NORTH  
 SHEET: 6.2

DATE:	ISSUED:
6/07/06	FUD APPLICATION
50505	

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**THIRD FLOOR PLAN NOTES:**

- THIRD FLOOR AREA CALCULATIONS:**
- EXISTING THIRD FLOOR APARTMENT 1,226 sq ft
  - STAIR 1 100 sq ft
  - STAIR 2 84 sq ft
  - EXISTING THIRD FLOOR AREA 1,409 sq ft
  - NEW THIRD FLOOR DECK 172 sq ft

**OCCUPANCY CALCULATIONS:**

APARTMENT #4, 1,226 SF / 200SF = (7) PERSONS  
 TOTAL THIRD FLOOR OCCUPANCY (7) PERSONS

SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN  
 DATE: 6.3

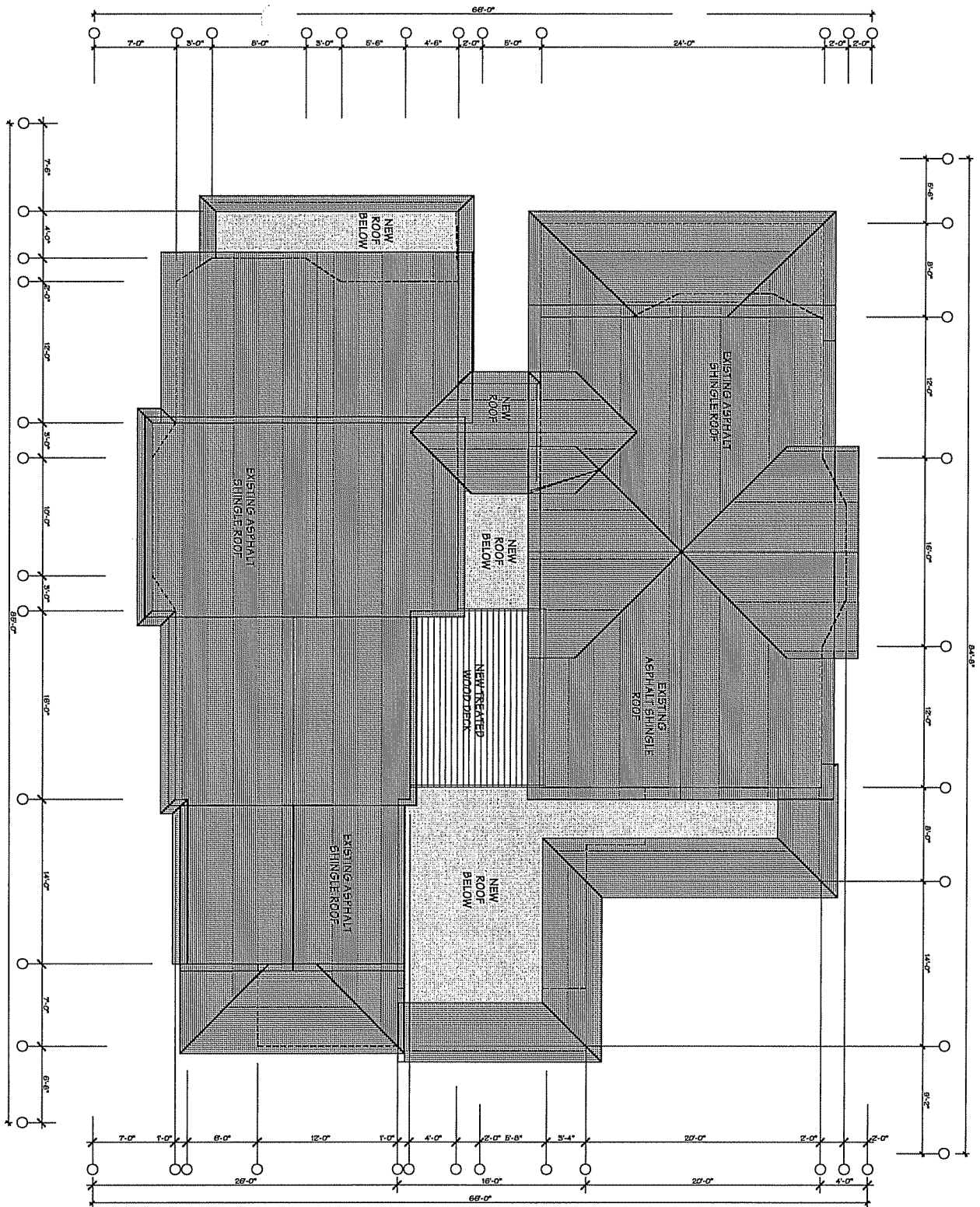
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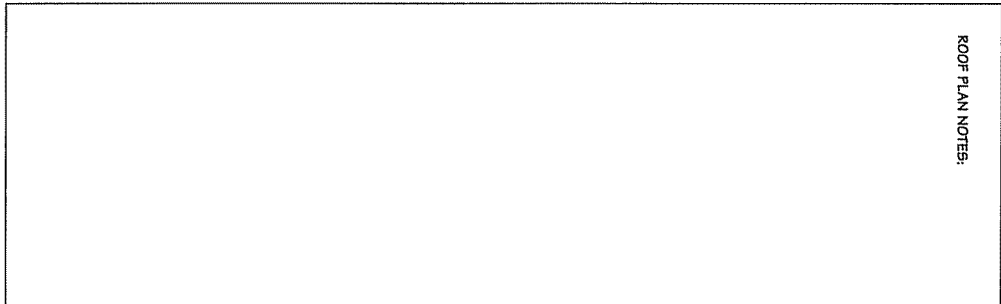
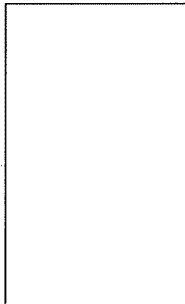


ROOF PLAN NOTES:

SCALE: 1/4"=1'-0"



CONSULT & BOOK KNAPP SCHMIDT ARCHITECTS



ROOF PLAN  
7.1

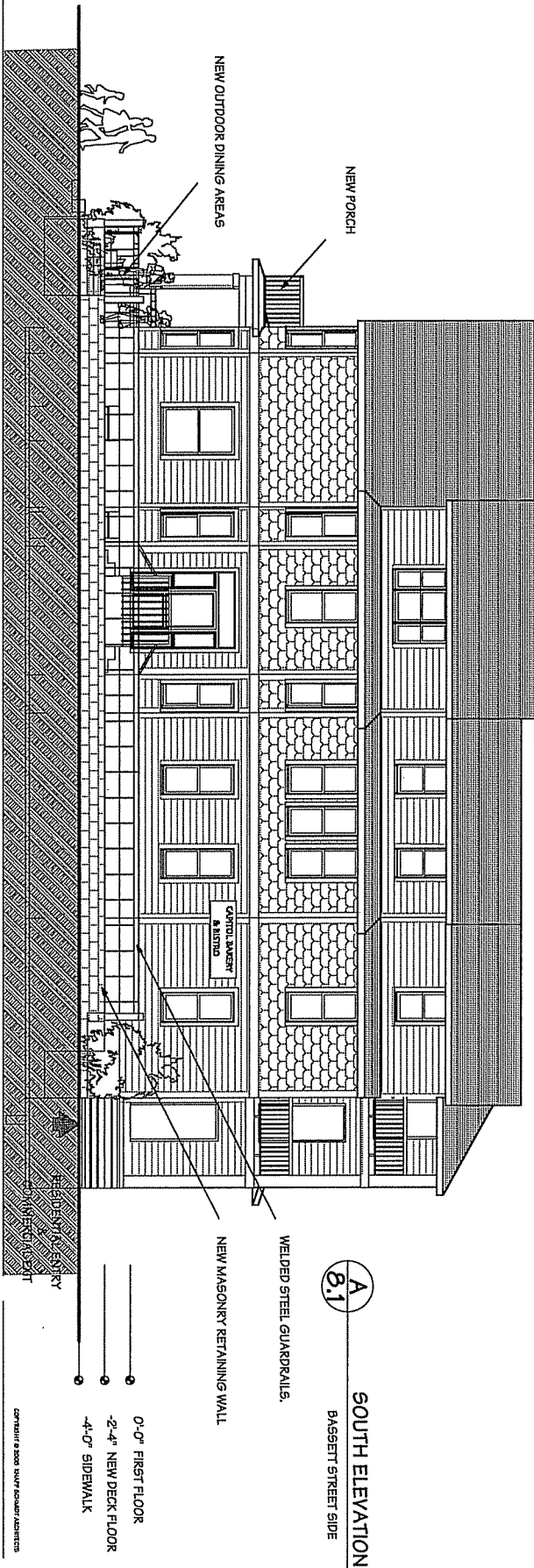
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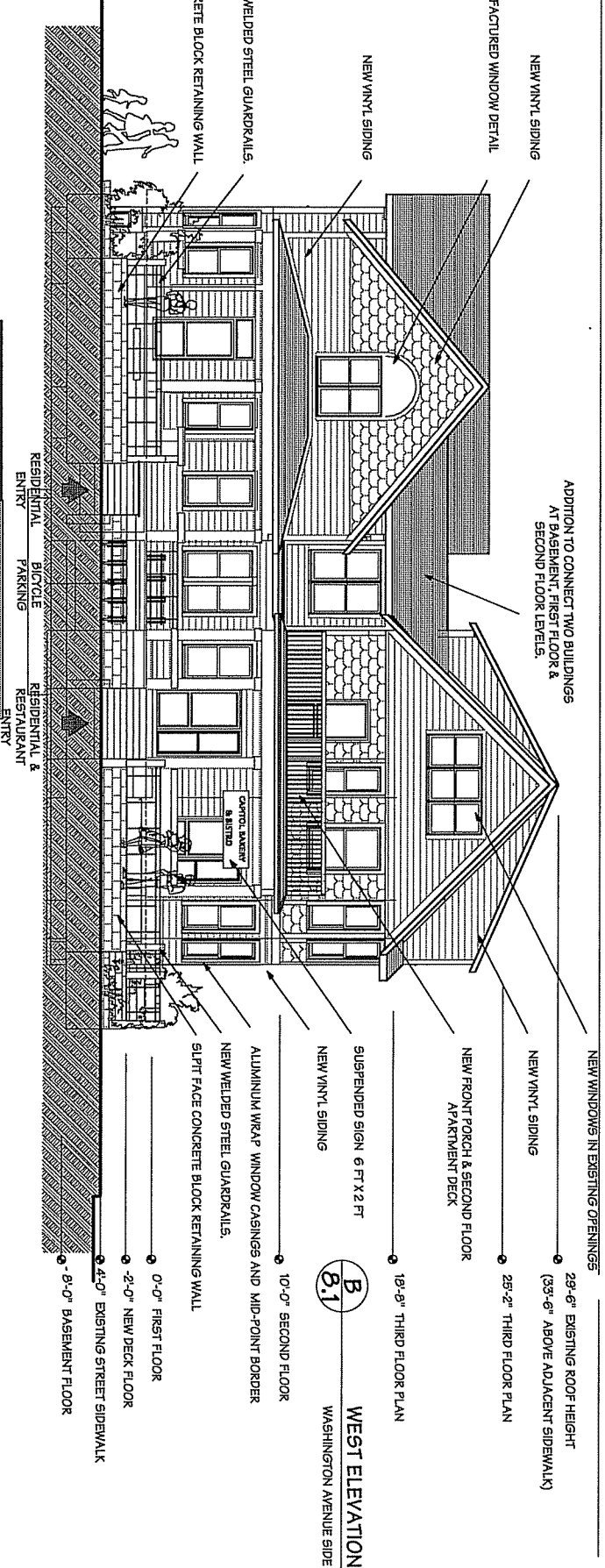
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**A**  
8.1

**SOUTH ELEVATION**  
BASSETT STREET SIDE

- 0'-0" FIRST FLOOR
- 2'-4" NEW DECK FLOOR
- 4'-0" SIDEWALK



**B**  
8.1

**WEST ELEVATION**  
WASHINGTON AVENUE SIDE

- NEW WINDOWS IN EXISTING OPENINGS
- 29'-6" EXISTING ROOF HEIGHT (35'-6" ABOVE ADJACENT SIDEWALK)
- NEW VINYL SIDING
- 25'-2" THIRD FLOOR PLAN
- NEW FRONT PORCH & SECOND FLOOR APARTMENT DECK
- 19'-8" THIRD FLOOR PLAN
- SUSPENDED SIGN 6 FT X 2 FT
- NEW VINYL SIDING
- 10'-0" SECOND FLOOR
- ALUMINUM WRAP WINDOW CASINGS AND MID-POINT BORDER
- NEW WELDED STEEL GUARDRAILS.
- NEW WELDED STEEL GUARDRAILS.
- SLIT FACE CONCRETE BLOCK RETAINING WALL
- 0'-0" FIRST FLOOR
- 2'-0" NEW DECK FLOOR
- 4'-0" EXISTING STREET SIDEWALK
- 9'-0" BASEMENT FLOOR

ADDITION TO CONNECT TWO BUILDINGS AT BASEMENT, FIRST FLOOR & SECOND FLOOR LEVELS.

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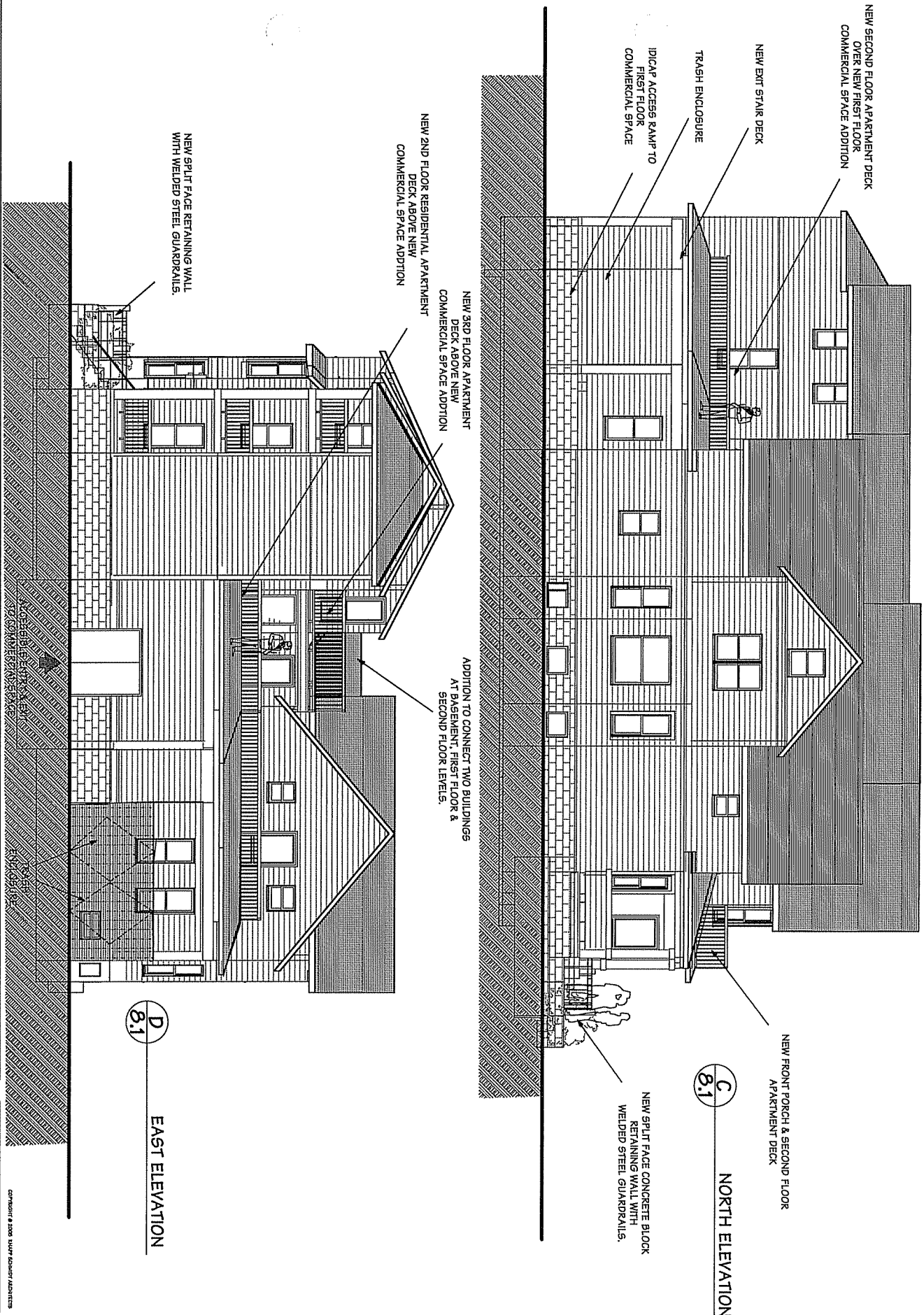
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EXTERIOR ELEVATIONS  
8.1





NEW SECOND FLOOR APARTMENT DECK  
OVER NEW FIRST FLOOR  
COMMERCIAL SPACE ADDITION

NEW EXIT STAIR DECK

TRASH ENCLOSURE

IDICAP ACCESS RAMP TO  
FIRST FLOOR  
COMMERCIAL SPACE

NEW 2ND FLOOR RESIDENTIAL APARTMENT  
DECK ABOVE NEW  
COMMERCIAL SPACE ADDITION

NEW 3RD FLOOR APARTMENT  
DECK ABOVE NEW  
COMMERCIAL SPACE ADDITION

ADDITION TO CONNECT TWO BUILDINGS  
AT BASEMENT, FIRST FLOOR &  
SECOND FLOOR LEVELS.

NEW SPLIT FACE RETAINING WALL  
WITH WELDED STEEL GUARDRAILS.

NEW FRONT PORCH & SECOND FLOOR  
APARTMENT DECK

NEW SPLIT FACE CONCRETE BLOCK  
RETAINING WALL WITH  
WELDED STEEL GUARDRAILS.

D  
8.1

EAST ELEVATION

C  
8.1

NORTH ELEVATION

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EXTERIOR  
ELEVATIONS  
8.1