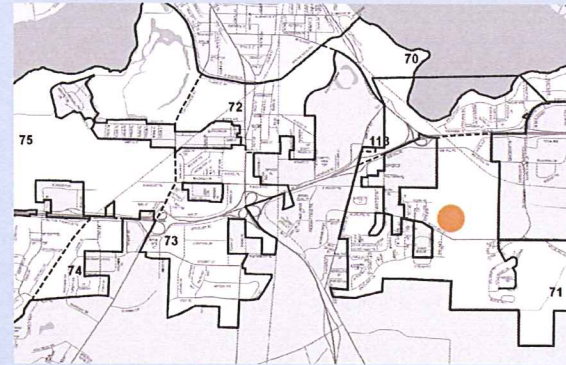


Nob Hill Apartments Neighborhood Context Exhibit

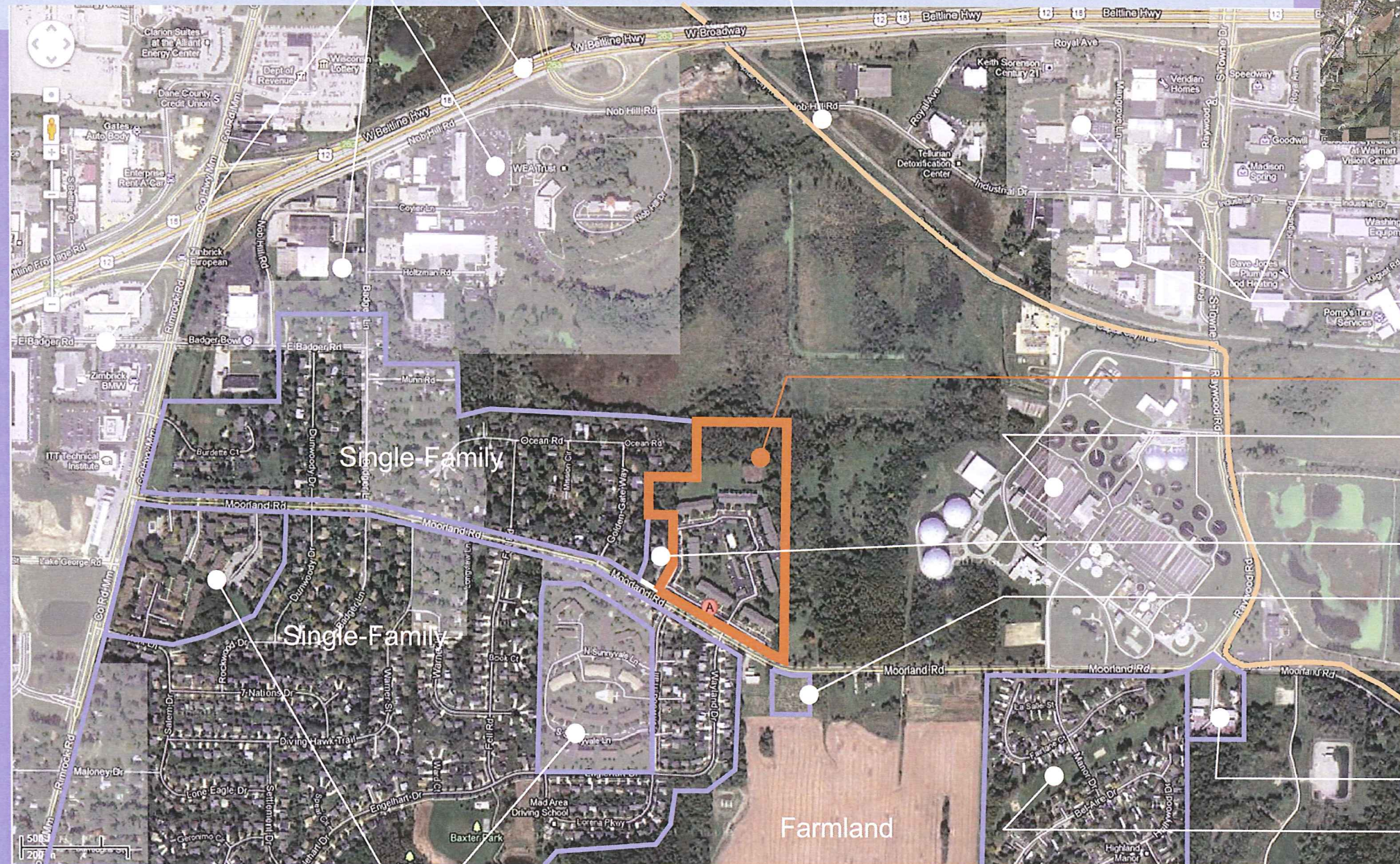
Capital City Trail
Beltline Highway
Commercial



City of Madison Wards - District 14



LOCATION



Commercial / Light Industrial

Nob Hill Apartments

Nine Springs Sewage Treatment
Madison Metropolitan Sewer District

Duplexes

Community Gardens

The Farm - Tavern

Highland Manor - Mobile Home Park

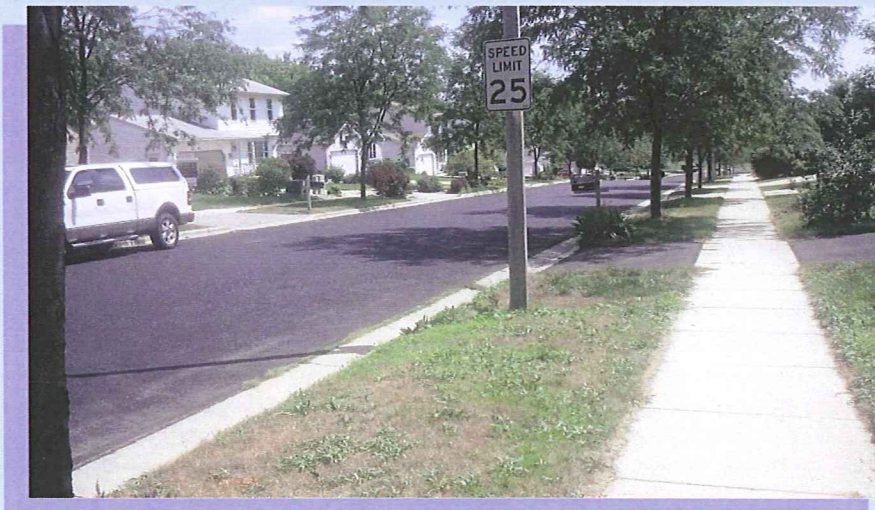
Multi-Family

Single-Family

Single-Family

Farmland

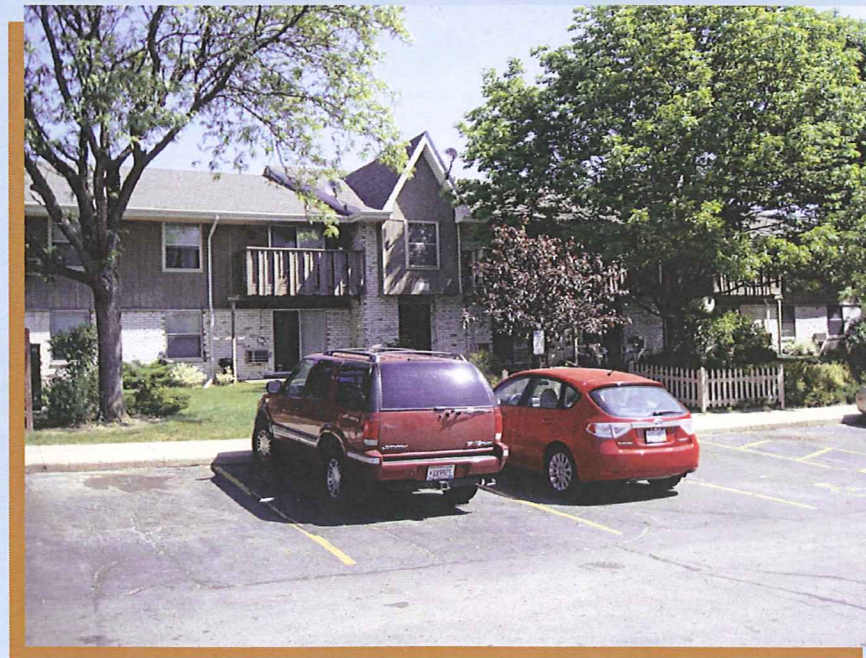
Nob Hill Apartments
Neighborhood Photos



Nob Hill Apartments
Existing Site Photos



Nob Hill Apartments
Existing Site Photos





KEY

	NEW CLUBHOUSE
	NEW GARAGES
	EXISTING APARTMENT BLDGS.
	EXISTING GARAGES
	PLAYGROUND
	BASKETBALL COURT
	GARDENS
	SOCCER FIELD
	COVERED COMMUNITY PATIO
	BIKE RACK
	GARDEN STORAGE SHED
	DUMPSTER ENCLOSURE



identity 1

shakes



identity 2

board & battens



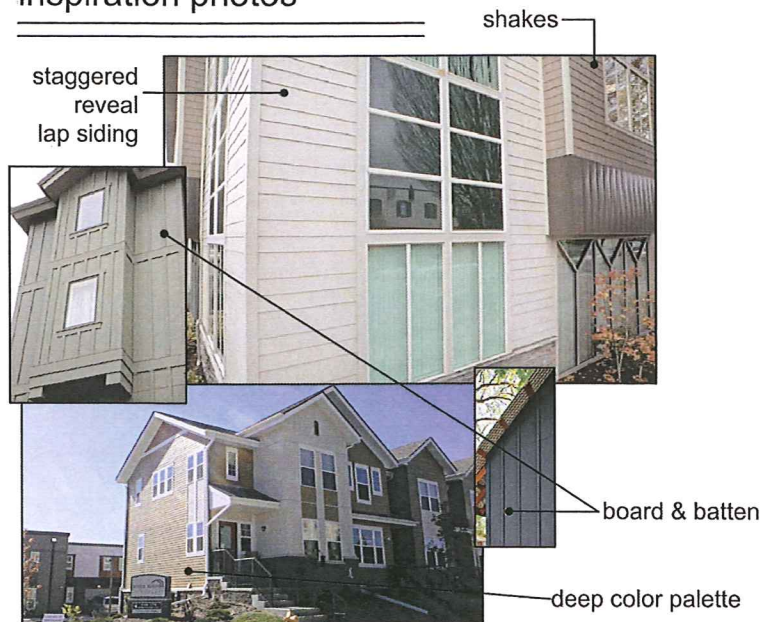
identity 3

shakes / lap siding

building elevations



inspiration photos



shakes

staggered reveal lap siding

board & batten

deep color palette

identity 1

shakes

identity 2

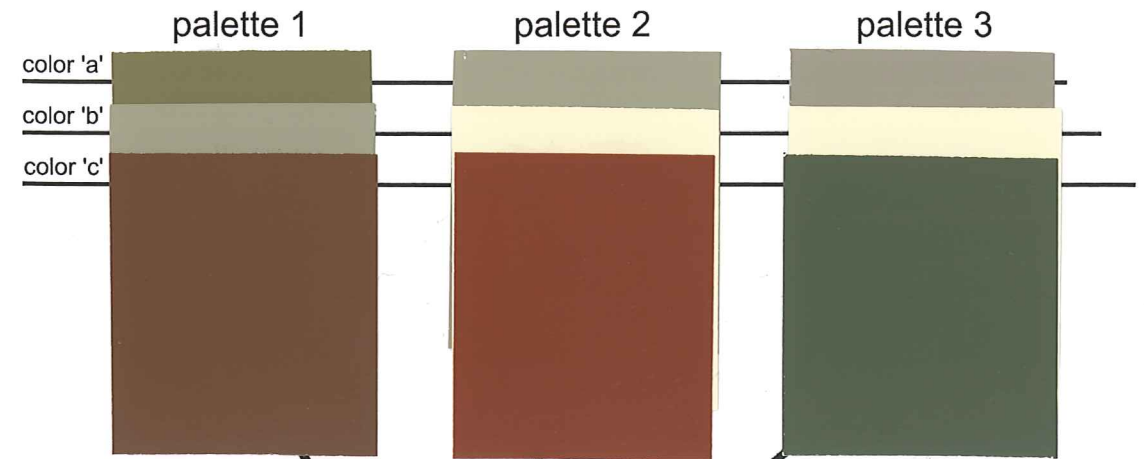
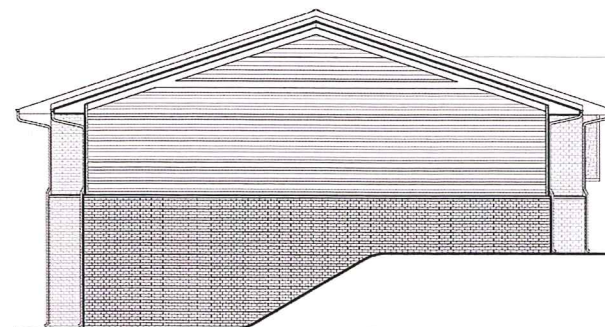
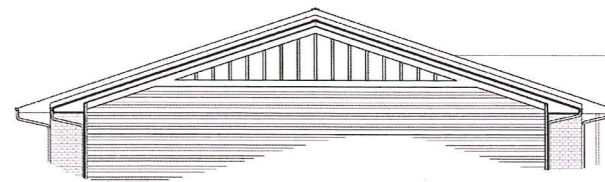
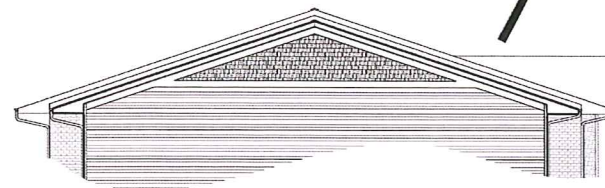
board & battens

identity 3

shakes / lap siding

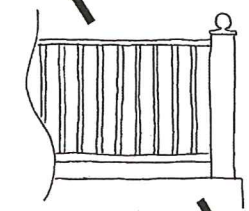
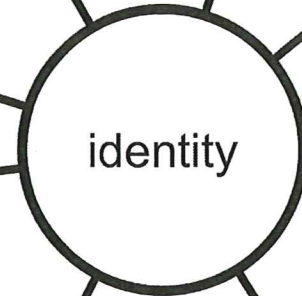
see full building elevations for further material information

building end gables



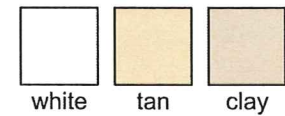
schemes

	identity	color palette	railing
Building A	1	1	round
Building B	2	2	square
Building C	3	3	round
Building D	1	1	square
Building E	2	2	round
Building F	3	3	square
Building G	2	2	round



round ornamental newel

railing colors:

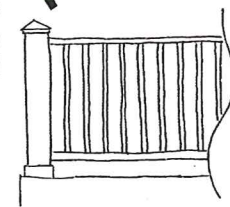


white

tan

clay

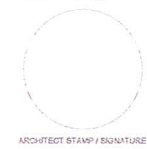
square built-up newel



DRAWING SET IDENTIFIER

PROJECT MASTER SET

- BUILDING 'A'
- BUILDING 'B'
- BUILDING 'C'
- BUILDING 'D'
- BUILDING 'E'
- BUILDING 'F'
- BUILDING 'G'
- BUILDING 'H'
- CLUBHOUSE
- GARAGE #1
- GARAGE #2
- GARAGE #3
- GARAGE #4
- GARAGE #5
- GARAGE #6
- GARAGE #7
- GARAGE #8
- GARAGE #9
- GARAGE #10
- GARAGE #11
- GARAGE #12
- GARAGE #13



HUD PROJECT #:
TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:
JUNE 26, 2012

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REVISIONS:
#01 JULY 16, 2012

JOB NUMBER:
1206230

SHEET

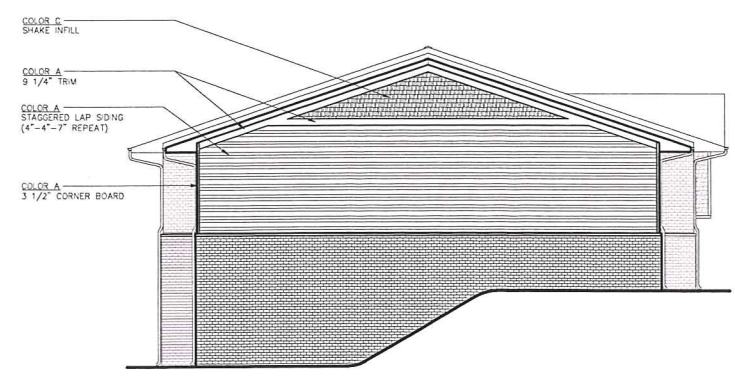
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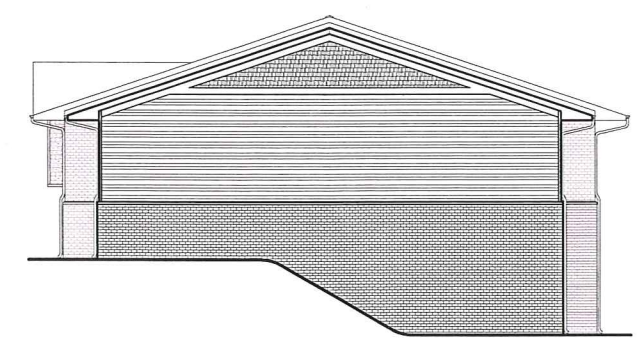
IDENTITY #1
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
REAR ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



IDENTITY #1
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING SET IDENTIFIER

PROJECT MASTER SET
BUILDING 'K'
BUILDING 'W'
BUILDING 'V'
BUILDING 'E'
BUILDING 'F'
BUILDING 'T'
CLUBHOUSE
GARAGE #1
GARAGE #2
GARAGE #3
GARAGE #4
GARAGE #5
GARAGE #6
GARAGE #7
GARAGE #8
GARAGE #9
GARAGE #10
GARAGE #11
GARAGE #12
GARAGE #13



ARCHITECT STAMP / SIGNATURE

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ID#2

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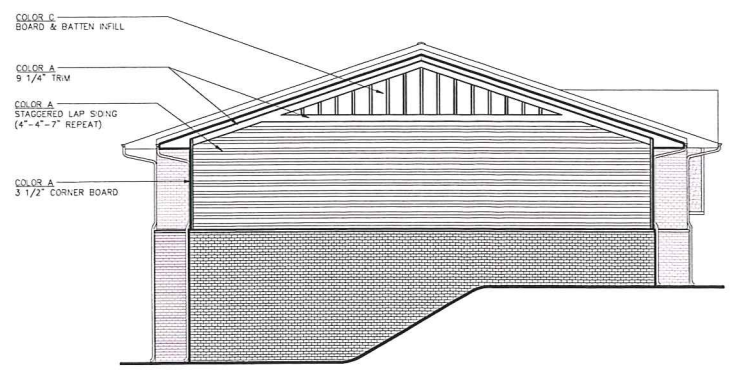
**IDENTITY #2
FRONT ELEVATION**

SCALE: 1/8" = 1'-0"
0 5 10



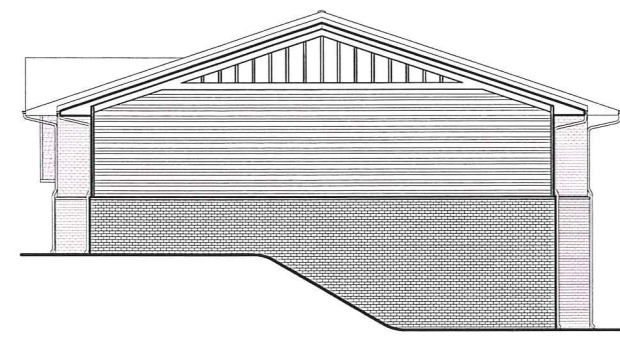
**IDENTITY #2
REAR ELEVATION**

SCALE: 1/8" = 1'-0"
0 5 10



**IDENTITY #2
LEFT ELEVATION**

SCALE: 1/8" = 1'-0"
0 5 10



**IDENTITY #2
RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"
0 5 10

DRAWING SET IDENTIFIER

PROJECT MASTER SET
BUILDING 'A'
BUILDING 'B'
BUILDING 'C'
BUILDING 'D'
BUILDING 'E'
BUILDING 'F'
BUILDING 'G'
BUILDING 'H'
BUILDING 'I'
BUILDING 'J'
BUILDING 'K'
BUILDING 'L'
CLUBHOUSE
GARAGE #1
GARAGE #2
GARAGE #3
GARAGE #4
GARAGE #5
GARAGE #6
GARAGE #7
GARAGE #8
GARAGE #9
GARAGE #10
GARAGE #11
GARAGE #12
GARAGE #13



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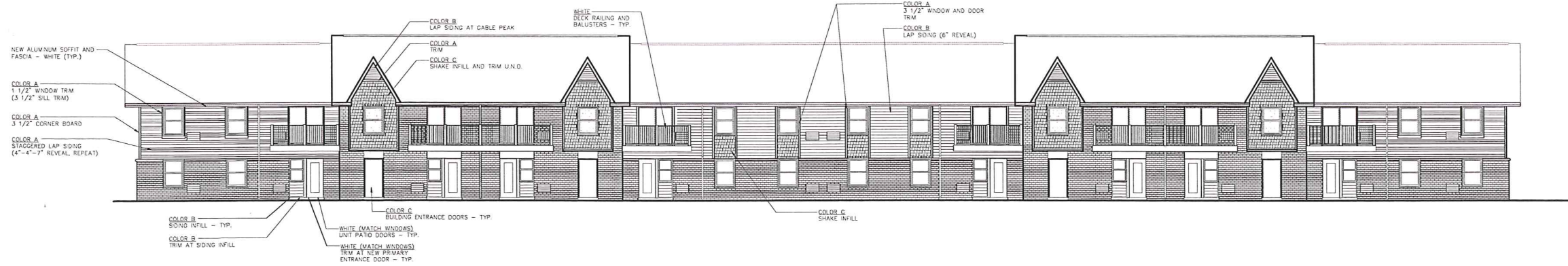
REVISIONS:

JOB NUMBER:

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ID#3



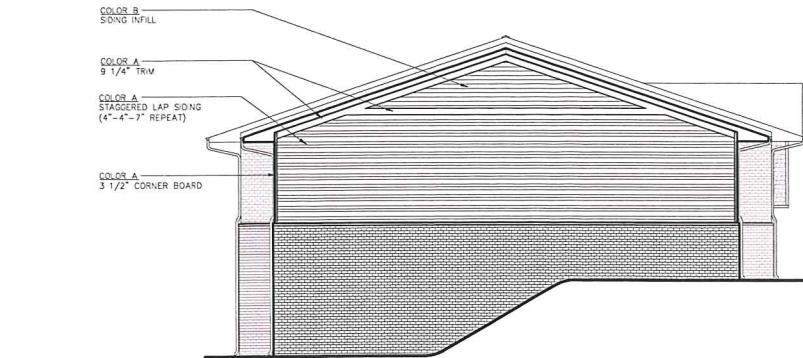
IDENTITY #3
FRONT ELEVATION

SCALE: 1/8" = 1'-0"
0 8 16



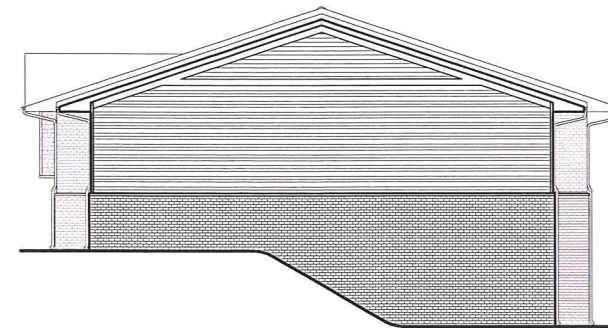
IDENTITY #3
REAR ELEVATION

SCALE: 1/8" = 1'-0"
0 8 16



IDENTITY #3
LEFT ELEVATION

SCALE: 1/8" = 1'-0"
0 8 16



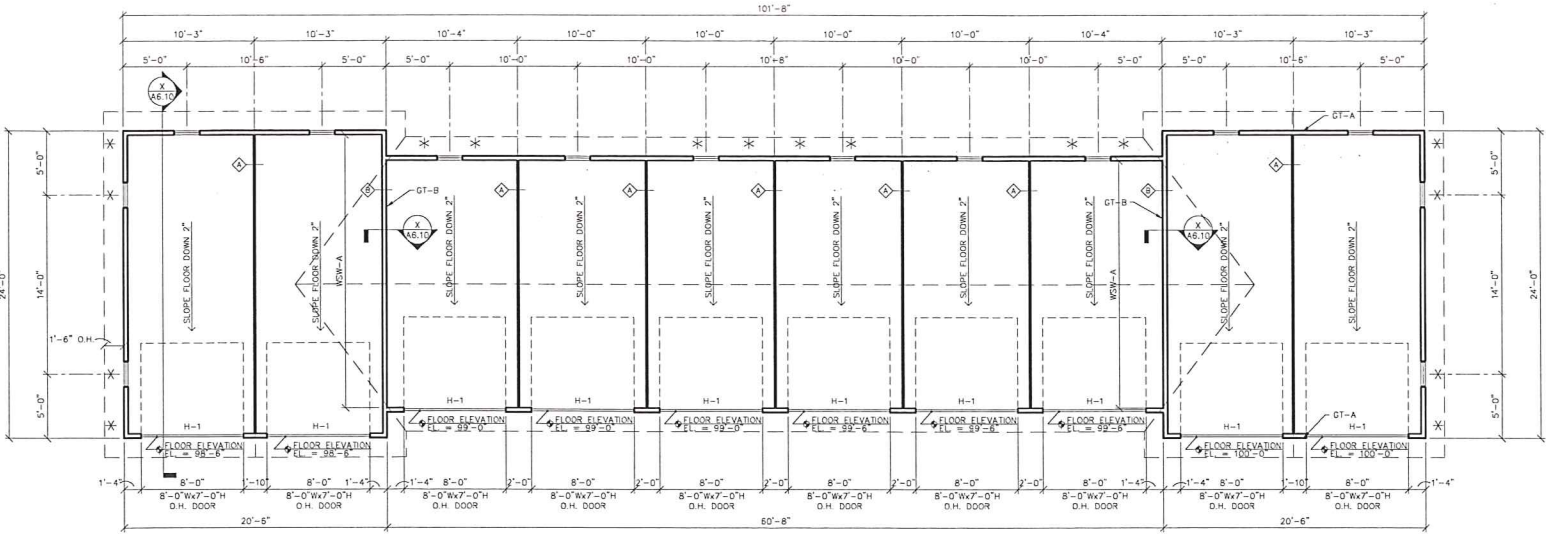
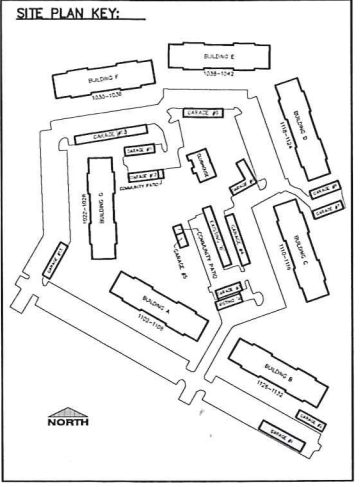
IDENTITY #3
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"
0 8 16

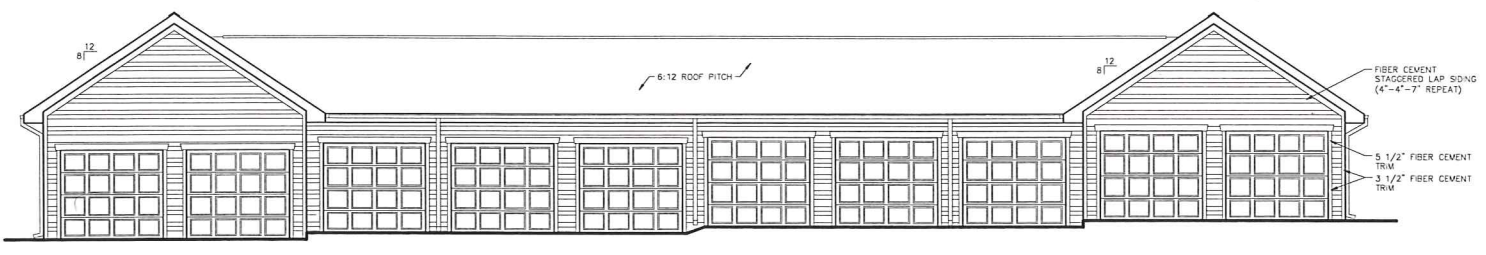


IDENTITY 1
COLOR PALLETTE 1

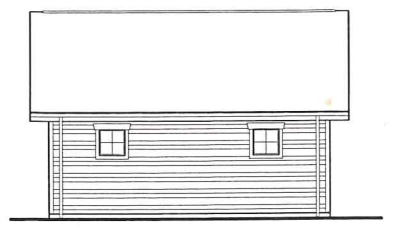
- GENERAL STRUCTURAL NOTES:**
- SEE DESIGN LOADS ON SHEET A6.10 FOR ALL DESIGN LOADS NOT SHOWN ON PLANS.
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 - TRUSS MANUFACTURER TO PREPARE FINAL FRAMING PLANS FOR THE CONTRACTOR'S USE IN FIELD. NOTIFY ARCHITECT / ENGINEER OF ANY CHANGES.
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 - SEE TRUSS MANUFACTURER'S DRAWING FOR WEB & LATERAL BRACING SIZE & LOCATION REQUIREMENTS - BRACING BY D.C.
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 - PROVIDE FULL DEPTH BLOCKING AT MID HEIGHT OF ALL INTERIOR BEARING WALLS.
 - EXCEPTION: AT INTERIOR BEARING WALLS THAT ARE PRE-SHEATHED BOTH SIDES WITH SHEATHING FASTENED AT 12" O.C., FULL DEPTH BLOCKING IS NOT REQUIRED.
 - USE (1) 'SIMPSON' #10.51 TRUSS ANCHOR @ EACH ROOF TRUSS BEARING LOCATION W/ (5) #4 NAILS INTO TRUSS & (5) #4 NAILS INTO V.N. DOUBLE PLATE.
 - UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING TO TOP OF ALL GABLE END TRUSSES W/ #4 NAILS @ 6" O.C.
 - UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MAX.) @ INTERMEDIATE SUPPORTS.
 - UNLESS NOTED OTHERWISE, NAIL WALL SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MAX.) TO INTERMEDIATE SUPPORTS.
 - * INDICATES LOCATION OF TRUSS/RAFTER BLOCKING.
 - SEE DETAIL D/J FOR TYPICAL 2x BLOCKING AT ROOF TRUSSES WHEN REQUIRED.



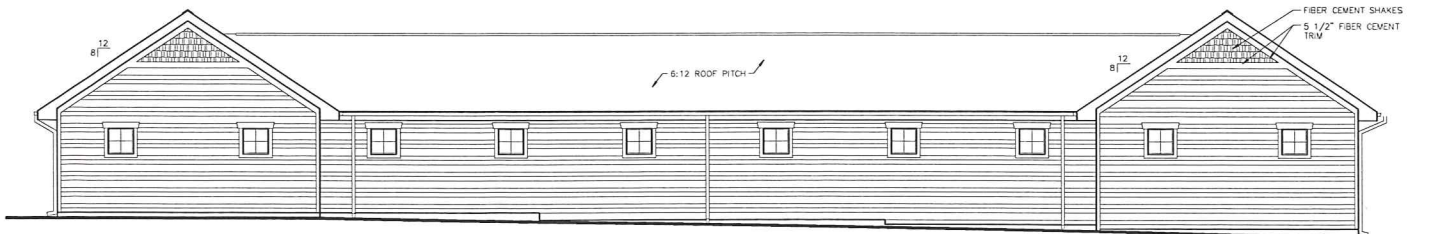
**(10) GARAGES
GARAGE #1 FLOOR PLAN**
SCALE: 3/16" = 1'-0"



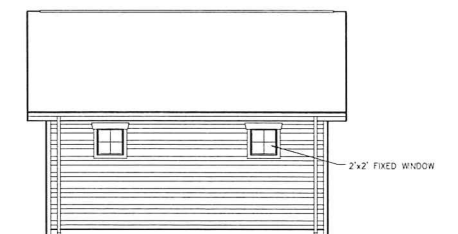
**(7) GARAGES
GARAGE #1 FRONT ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #1 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #1 REAR ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #1 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"

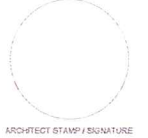


100 CARLOTT DRIVE
FOND DU LAC, WI 54635
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

DRAWING SET IDENTIFIER

PROJECT MASTER SET	
BUILDING A	
BUILDING B	
BUILDING C	
BUILDING D	
BUILDING E	
BUILDING F	
BUILDING G	
BUILDING H	
BUILDING I	
BUILDING J	
CLUBHOUSE	
GARAGE #1	
GARAGE #2	
GARAGE #3	
GARAGE #4	
GARAGE #5	
GARAGE #6	
GARAGE #7	
GARAGE #8	
GARAGE #9	
GARAGE #10	
GARAGE #11	
GARAGE #12	
GARAGE #13	



HUD PROJECT #
TBD

OWNER:
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710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

PROJECT:
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1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:
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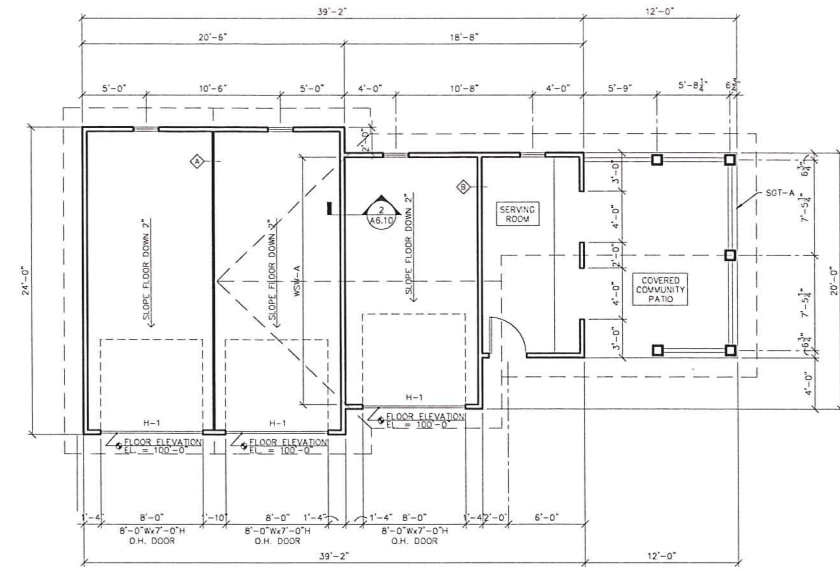
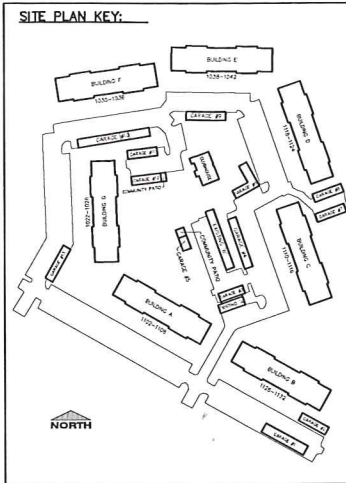
JOB NUMBER:
1206230
SHEET

A6.0

GENERAL STRUCTURAL NOTES:

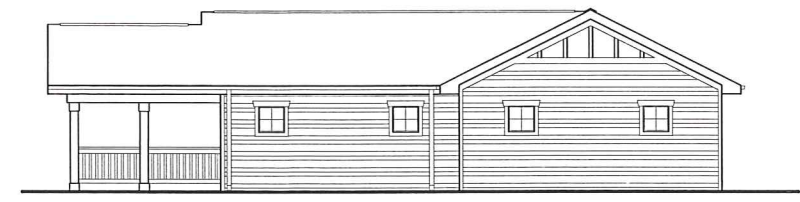
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- PROVIDE FULL DEPTH BLOCKING AT 4/0 HEIGHT OF ALL INTERIOR BEARING WALLS.
- EXCEPTION: AT INTERIOR BEARING WALLS THAT ARE PRE-SHEATHED BOTH SIDES, WITH SHEATHING FASTENED AT 12" O.C., FULL DEPTH BLOCKING IS NOT REQUIRED.
- USE (1) 'SIMPSON' H2.5T TRUSS ANCHOR @ EACH ROOF TRUSS BEARING LOCATION W/ (5) #4 NAILS INTO TRUSS & (5) #4 NAILS INTO MIN. DOUBLE PLATE.
- UNLESS NOTED OTHERWISE, NAL. ROOF SHEATHING TO TOP OF ALL GABLE END TRUSSES W/ #4 NAILS @ 6" O.C.
- UNLESS NOTED OTHERWISE, NAL. ROOF SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAL. 12" O.C. (M.N.) @ INTERMEDIATE SUPPORTS.
- UNLESS NOTED OTHERWISE, NAL. WALL SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAL. 12" O.C. (M.N.) @ INTERMEDIATE SUPPORTS.
- * INDICATES LOCATION OF TRUSS/RAFTER BLOCKING.
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SITE PLAN KEY:



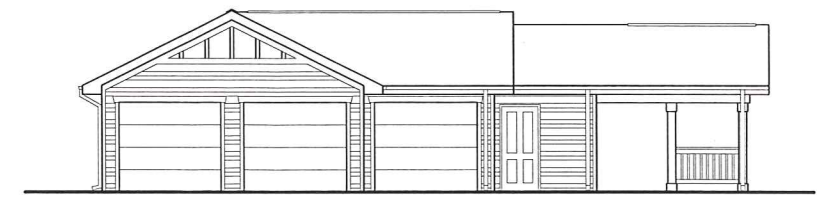
**(3) GARAGES & PATIO W/ SERVING AREA
GARAGE #5 FLOOR PLAN**

SCALE: 3/16" = 1'-0"
5' 0' 5' 10'



**(3) GARAGES & PATIO W/ SERVING AREA
GARAGE #5 REAR ELEVATION**

SCALE: 3/16" = 1'-0"
5' 0' 5' 10'



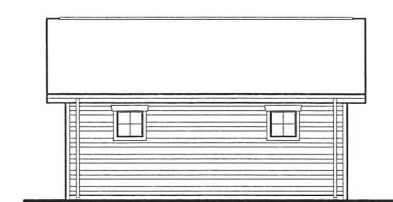
**(3) GARAGES & PATIO W/ SERVING AREA
GARAGE #5 FRONT ELEVATION**

SCALE: 3/16" = 1'-0"
5' 0' 5' 10'



**(3) GARAGES & PATIO W/ SERVING AREA
GARAGE #5 SIDE ELEVATION**

SCALE: 3/16" = 1'-0"
5' 0' 5' 10'



**(3) GARAGES & PATIO W/ SERVING AREA
GARAGE #5 SIDE ELEVATION**

SCALE: 3/16" = 1'-0"
5' 0' 5' 10'



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PO BOX 104, LAC, WI 54955
PHONE: (920) 936-8900
FAX: (920) 936-9001

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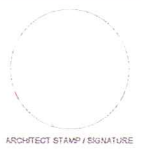
DRAWING SET IDENTIFIER

PROJECT MASTER SET

BUILDING W
BUILDING V
BUILDING U
BUILDING T
BUILDING S
BUILDING R
BUILDING Q
BUILDING P
BUILDING O
BUILDING N
BUILDING M
BUILDING L
BUILDING K
BUILDING J
BUILDING I
BUILDING H
BUILDING G
BUILDING F
BUILDING E
BUILDING D
BUILDING C
BUILDING B
BUILDING A

CLUBHOUSE

GARAGE #1
GARAGE #2
GARAGE #3
GARAGE #4
GARAGE #5
GARAGE #6
GARAGE #7
GARAGE #8
GARAGE #9
GARAGE #10
GARAGE #11
GARAGE #12
GARAGE #13



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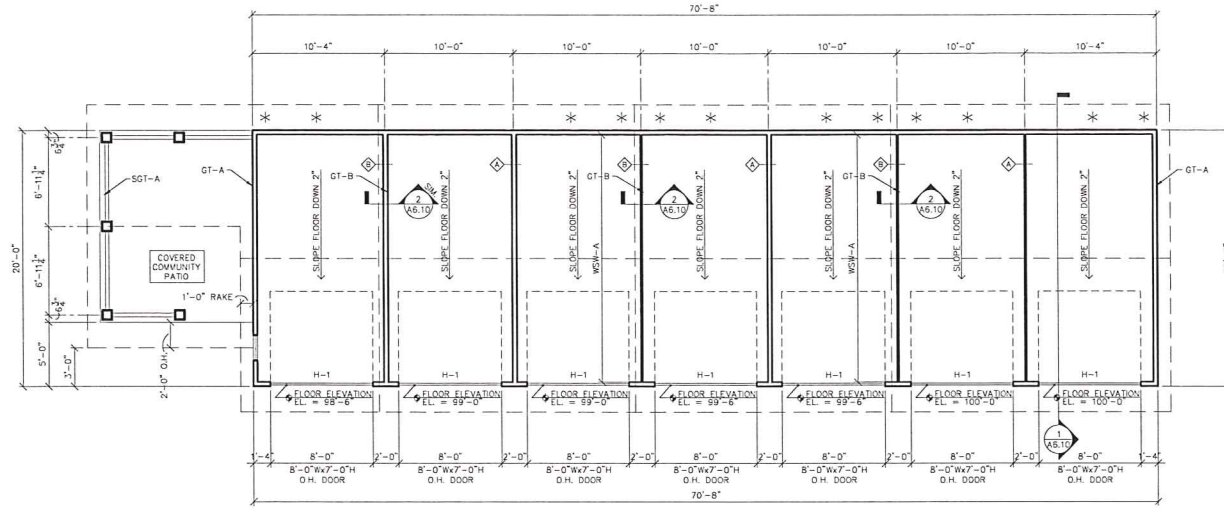
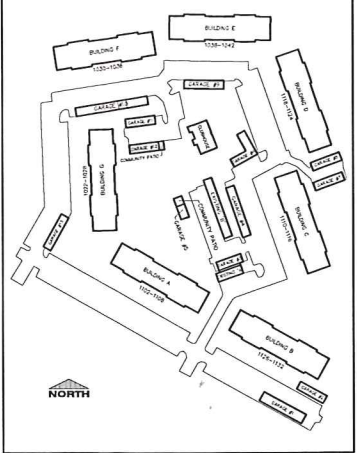
SHEET

A6.2

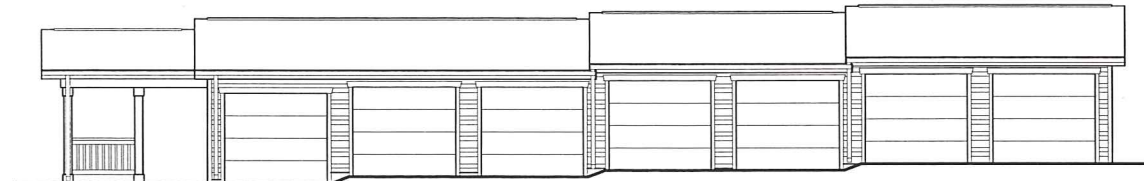
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- USE (1) "EMPSON" #2.51 TRUSS ANCHOR @ EACH ROOF TRUSS BEARING LOCATION W/ (5) #8 NAILS INTO TRUSS & (5) #8 NAILS INTO W.V. DOUBLE PLATE.
- UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING TO TOP OF ALL GABLE END TRUSSES W/ #4 NAILS @ 6" O.C.
- UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MIN.) @ INTERMEDIATE SUPPORTS.
- UNLESS NOTED OTHERWISE, NAIL WALL SHEATHING 8" O.C. @ PANEL EDGES W/ #4 NAILS, NAIL 12" O.C. (MIN.) TO INTERMEDIATE SUPPORTS.
- * INDICATES LOCATION OF TRUSS/RAFTER BLOCKING.
- SEE DETAIL D/0 FOR TYPICAL 2x BLOCKING AT ROOF TRUSSES WHEN REQUIRED.

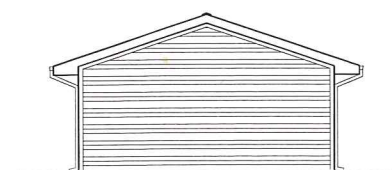
SITE PLAN KEY:



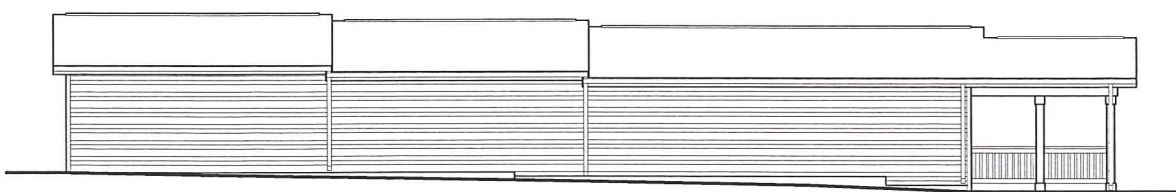
**(7) GARAGES
GARAGE #12 FLOOR PLAN**
SCALE: 3/16" = 1'-0"
NORTH



**(7) GARAGES
GARAGE #12 FRONT ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 REAR ELEVATION**
SCALE: 3/16" = 1'-0"



**(7) GARAGES
GARAGE #12 SIDE ELEVATION**
SCALE: 3/16" = 1'-0"



100 CAMLOT DRIVE
FOND DU LAC, WI 54935
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FAX: (920) 926-9601

Always a Better Plan

DRAWING SET IDENTIFIER

PROJECT MASTER SET
BUILDING A
BUILDING B
BUILDING C
BUILDING D
BUILDING E
BUILDING F
BUILDING G
CLUBHOUSE
GARAGE #1
GARAGE #2
GARAGE #3
GARAGE #4
GARAGE #5
GARAGE #6
GARAGE #7
GARAGE #8
GARAGE #9
GARAGE #10
GARAGE #11
GARAGE #12
GARAGE #13



HUD PROJECT #
TBD

OWNER:
NOB HILL APARTMENTS LLC
7410 NORTH PLANKINTON AVENUE
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:

JUNE 26, 2012
SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

REVISIONS:

JOB NUMBER:
1206230
SHEET

A6.8