

# HOME 2 SUITE & TRU by HILTON

2403 EAST SPRINGS DR., MADISON, WI 53704

## ENTITLEMENT PACKAGE

AUGUST 22, 2022

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8/22/2022

PRELIMINARY DESIGN

**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

COVER SHEET

**DR\_0.1**



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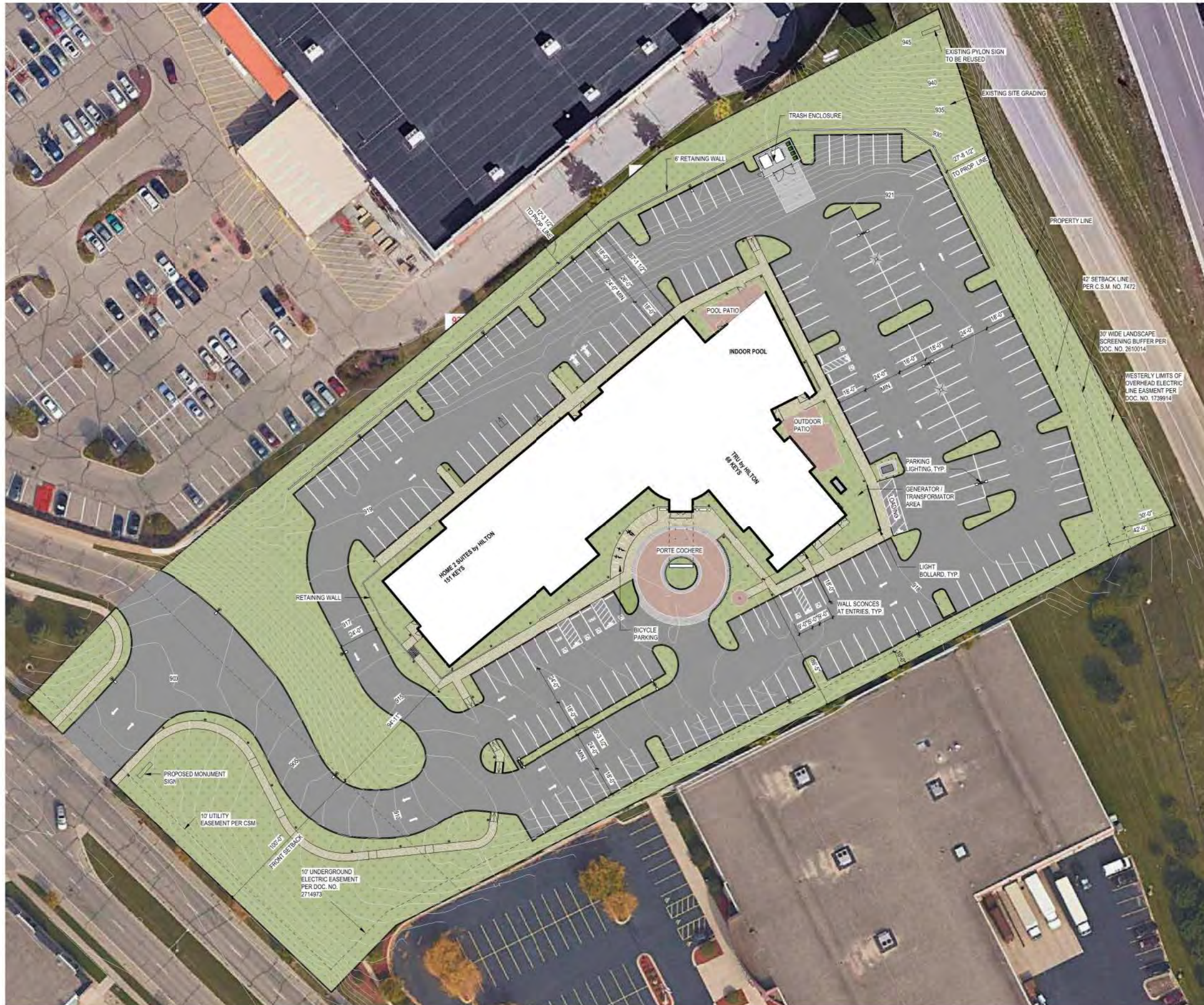
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PRELIMINARY DESIGN

**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068  
RENDERINGS

**DR\_0.2**



### PROJECT SUMMARY

THIS PROJECT CONSISTS OF SITE DEVELOPMENT AND BUILDING DESIGN FOR 219 KEYS, 5-STORY HOME 2 SUITES & TRU DUAL BRAND HOTEL, BY HILTON.

### SITE SUMMARY

DESCRIPTION	INFORMATION / REQUIREMENT	COMPLIANCE
APN	0810-2711-4040	
ADDRESS	2403 EAST SPRINGS DR., MADISON, WI	
JURISDICTION	CITY OF MADISON, WI	
ZONING CLASSIFICATION	CC	
PLANNED LAND USE	COMMERCIAL	
HOTEL USE ALLOWED	YES	Y
# OF PARKING STALLS REQUIRED	REFER TO CODE FOR DETAIL	Y
SIZE OF PARKING STALLS REQUIRED	8' x 18'	Y
ALLOWABLE BUILDING HEIGHT	85'-0"	Y
ACTUAL BUILDING HEIGHT	86'-3"	Y
FIRE ACCESS REQUIRED	24'-0" DRIVEWAY	Y
FRONT SETBACK	10'-0"	Y
SIDE SETBACK	6'-0"	Y
REAR SETBACK	2'-0"	Y
NOTE:		

### AREA CALCULATIONS

DESCRIPTION	AREA	PERCENTAGE
BUILDING FOOTPRINT	25,324 SF	12%
HARDSCAPE	10,217 SF	5%
LANDSCAPE	82,480 SF	39%
PARKING LOT AREA	92,010 SF	44%
TOTAL	210,031 SF	100%

### ACTUAL BUILDING AREA (GROSS)

LEVEL	AREA
LEVEL 1	25,011 SF
LEVEL 2	22,120 SF
LEVEL 3	22,120 SF
LEVEL 4	22,116 SF
LEVEL 5	22,116 SF
TOTAL AREA	113,484 SF

### PARKING REQUIRED

USE	REQUIREMENT	SPACES REQUIRED
HOTEL	1.00 PER GUESTROOM	219
BIKE	1 PER 10 GUESTROOMS	22
NOTE:	UP TO 25% CAN BE COMPACT	

### PARKING PROVIDED

TYPE	COUNT
8' X 18' - 90' (ACCESSIBLE)	4
8' X 18' - 90' (ACCESSIBLE/VAN)	3
8' X 18' - 90'	212
8' X 18' - 90' (ACCESSIBLE)	2
8' X 18' - 90' EV	2
TOTAL	222

### VICINITY MAP



### 1 SITE PLAN

1" = 30'-0"



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SITE PLAN / SITE DATA

DR\_1.1



VIEW FROM E SPRINGS DR. #6



VIEW FROM HIGHWAY #4



VIEW FROM HIGHWAY #5



VIEW FROM PROPOSED SITE #1



VIEW FROM PROPOSED SITE #2



VIEW FROM OFF RAMP #3



VIEW FROM HIGH CROSSING BLVD. #A



VIEW FROM 94 HIGHWAY. #B



VIEW FROM HIGH CROSSING BLVD. #C



VIEW FROM 94 HIGHWAY RAMP. #F



VIEW FROM 94 HIGHWAY. #H



VIEW FROM E SPRINGS DR. #I



VIEW FROM PARKING LOT. #D



SLUMBERLAND FURNITURE PARKING LOT. #Y



VIEW FROM 94 HIGHWAY RAMP. #Z



VIEW FROM HOME DEPOT PARKING LOT. #E



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PROJECT NUMBER: 18 068  
CONTEXTUAL  
SITE  
INFORMATION

**DR\_1.3**



GOOGLE EARTH IMAGES SHOWING PROPOSED NEW HOTEL ON SITE



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PRELIMINARY DESIGN

**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**

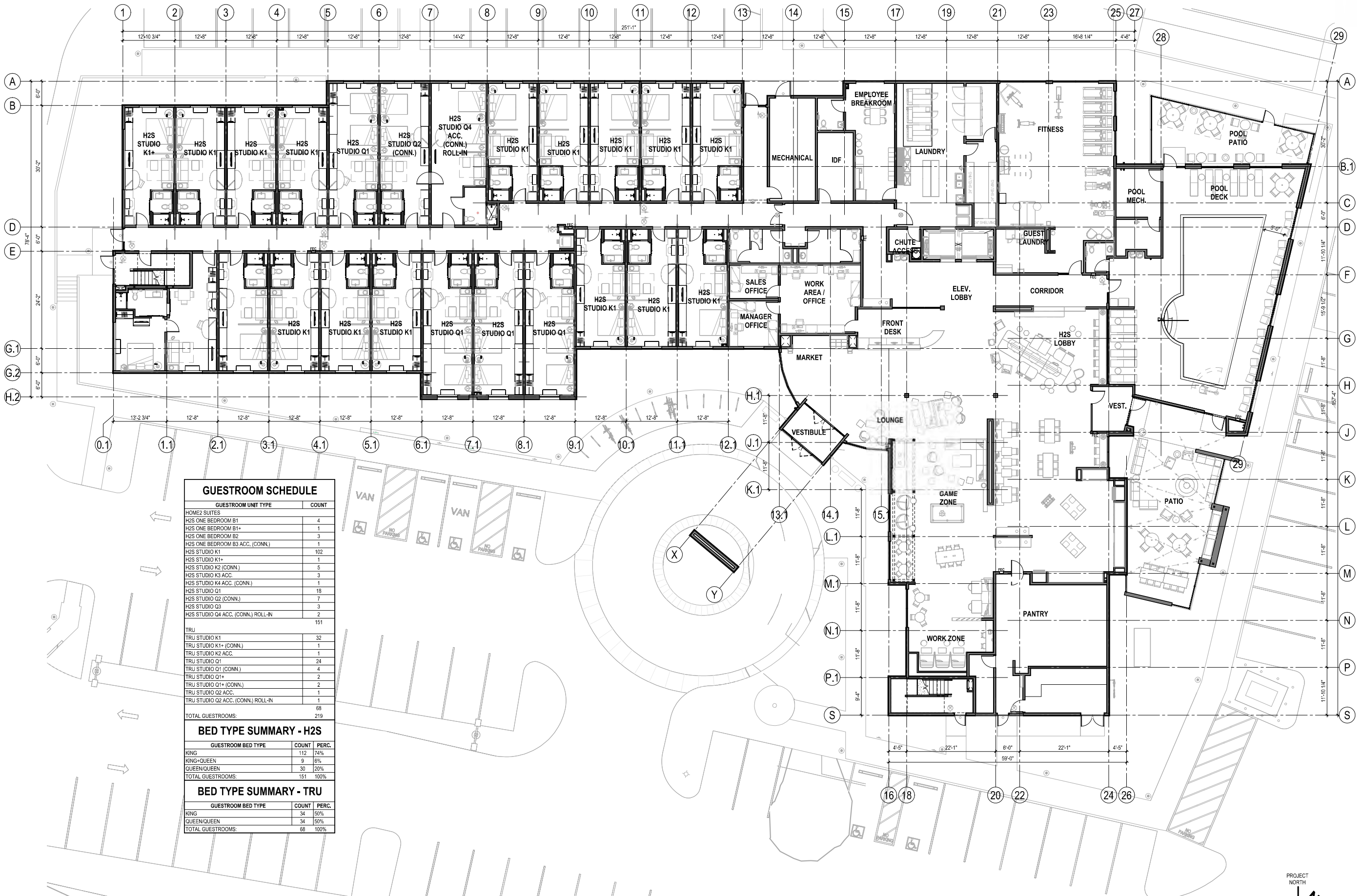
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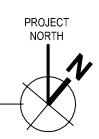
CONTEXTUAL  
SITE  
INFORMATION

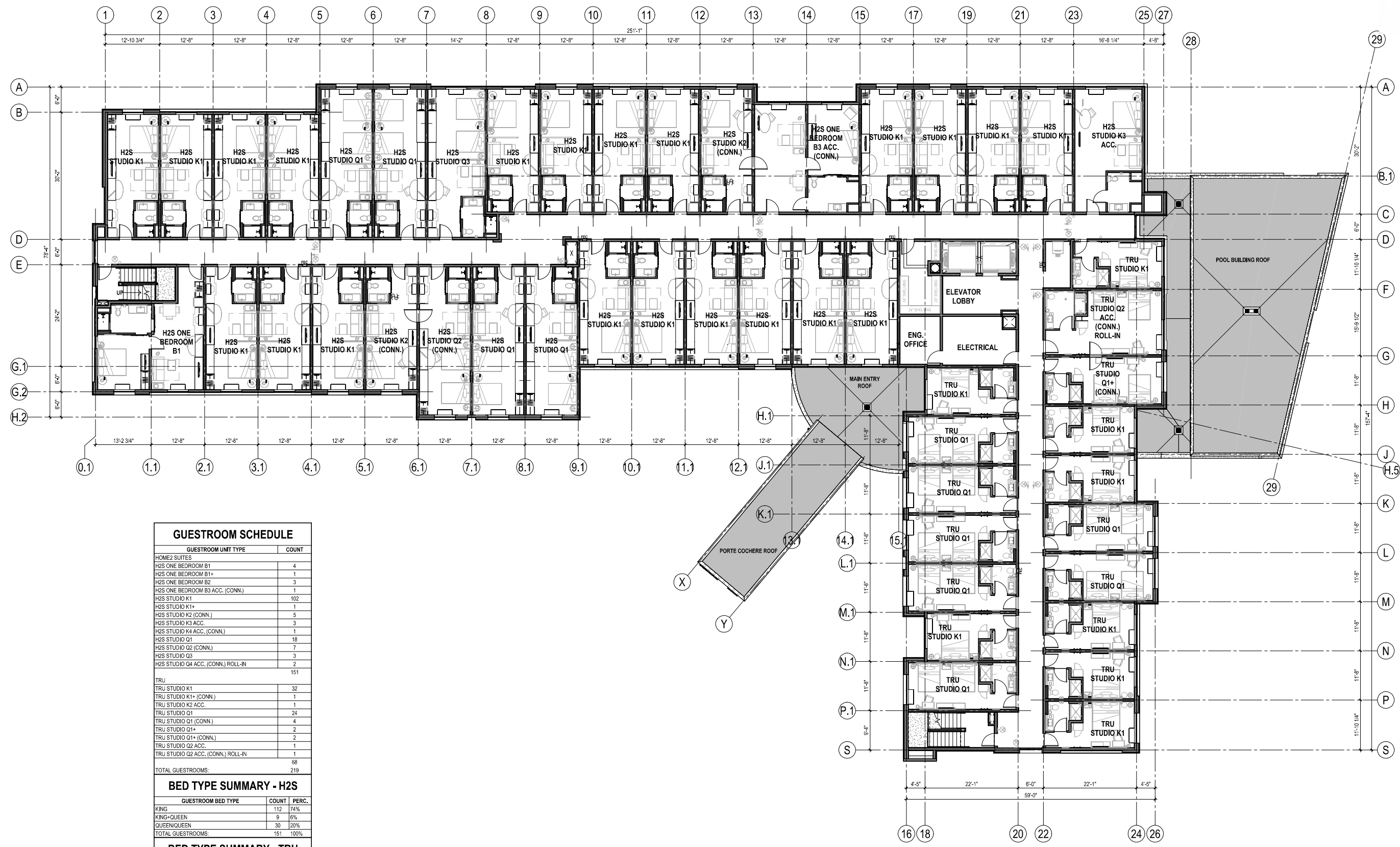
**DR\_1.4**



GUESTROOM SCHEDULE		
GUESTROOM UNIT TYPE	COUNT	
<b>HOME2 SUITES</b>		
H2S ONE BEDROOM B1	4	
H2S ONE BEDROOM B1+	1	
H2S ONE BEDROOM B2	3	
H2S ONE BEDROOM B3 ACC. (CONN.)	1	
H2S STUDIO K1	102	
H2S STUDIO K1+	1	
H2S STUDIO K2 (CONN.)	5	
H2S STUDIO K3 ACC.	3	
H2S STUDIO K4 ACC. (CONN.)	1	
H2S STUDIO Q1	18	
H2S STUDIO Q2 (CONN.)	7	
H2S STUDIO Q3	3	
H2S STUDIO Q4 ACC. (CONN.) ROLL-IN	2	
	151	
<b>TRU</b>		
TRU STUDIO K1	32	
TRU STUDIO K1+ (CONN.)	1	
TRU STUDIO K2 ACC.	1	
TRU STUDIO Q1	24	
TRU STUDIO Q1 (CONN.)	4	
TRU STUDIO Q1+ (CONN.)	2	
TRU STUDIO Q2 ACC.	1	
TRU STUDIO Q2 ACC. (CONN.) ROLL-IN	1	
	68	
<b>TOTAL GUESTROOMS:</b>	<b>219</b>	
<b>BED TYPE SUMMARY - H2S</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	112	74%
KING+QUEEN	9	6%
QUEEN/QUEEN	30	20%
<b>TOTAL GUESTROOMS:</b>	<b>151</b>	<b>100%</b>
<b>BED TYPE SUMMARY - TRU</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	34	50%
QUEEN/QUEEN	34	50%
<b>TOTAL GUESTROOMS:</b>	<b>68</b>	<b>100%</b>

**1 FLOOR PLAN - LEVEL 1**  
3/32" = 1'-0"



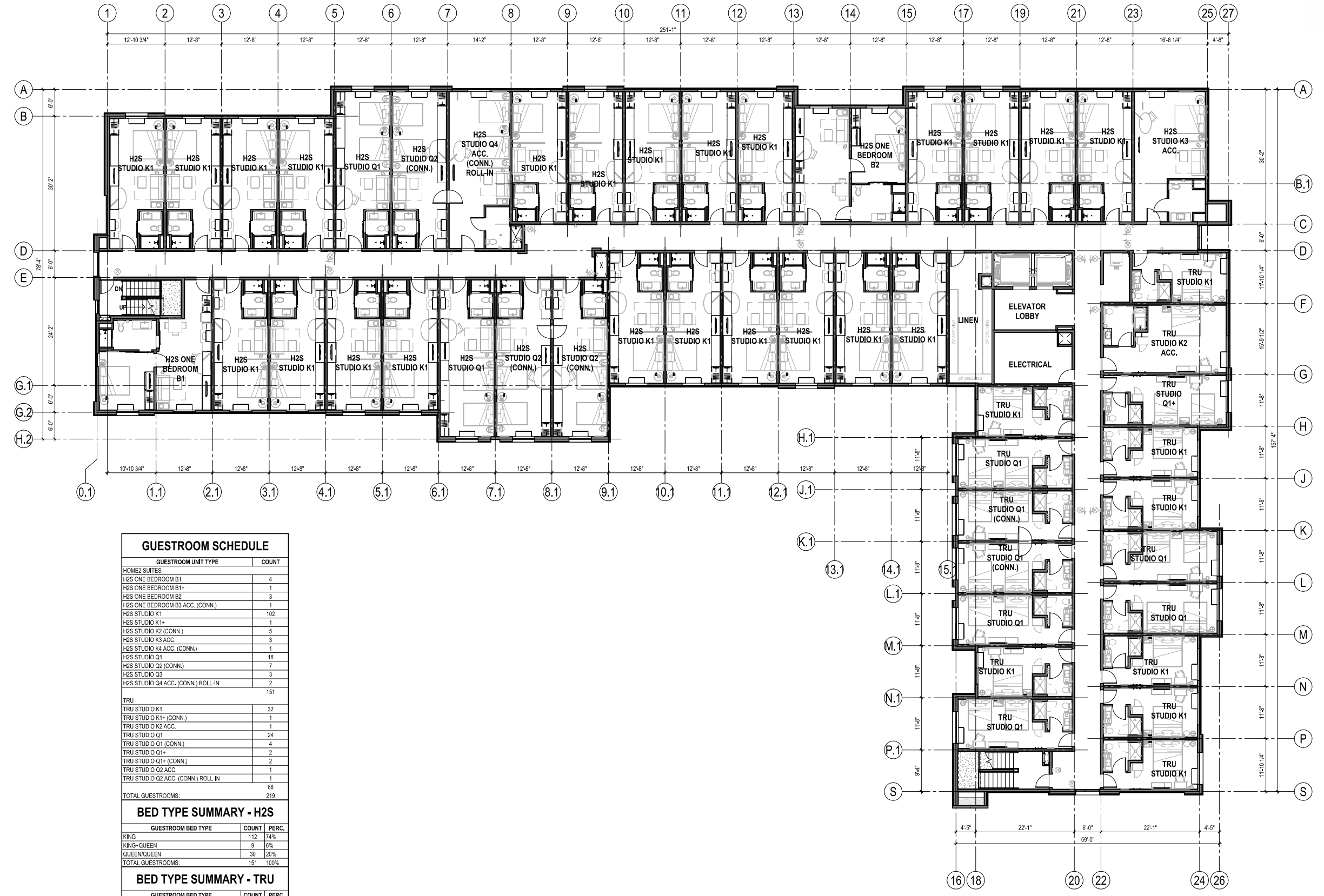


GUESTROOM SCHEDULE		
GUESTROOM UNIT TYPE	COUNT	
<b>HOME2 SUITES</b>		
H2S ONE BEDROOM B1	4	
H2S ONE BEDROOM B1+	1	
H2S ONE BEDROOM B2	3	
H2S ONE BEDROOM B3 ACC. (CONN.)	1	
H2S STUDIO K1	102	
H2S STUDIO K1+	1	
H2S STUDIO K2 (CONN.)	5	
H2S STUDIO K3 ACC.	3	
H2S STUDIO K4 ACC. (CONN.)	1	
H2S STUDIO Q1	18	
H2S STUDIO Q2 (CONN.)	7	
H2S STUDIO Q3	3	
H2S STUDIO Q4 ACC. (CONN.) ROLL-IN	2	
<b>TRU</b>	<b>151</b>	
TRU STUDIO K1	32	
TRU STUDIO K1+ (CONN.)	1	
TRU STUDIO K2 ACC.	1	
TRU STUDIO Q1	24	
TRU STUDIO Q1 (CONN.)	4	
TRU STUDIO Q1+	2	
TRU STUDIO Q1+ (CONN.)	2	
TRU STUDIO Q2 ACC.	1	
TRU STUDIO Q2 ACC. (CONN.) ROLL-IN	1	
<b>TOTAL GUESTROOMS:</b>	<b>219</b>	
<b>BED TYPE SUMMARY - H2S</b>		
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<b>BED TYPE SUMMARY - TRU</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	34	50%
QUEEN/QUEEN	34	50%
<b>TOTAL GUESTROOMS:</b>	<b>68</b>	<b>100%</b>

**1 FLOOR PLAN - LEVEL 2**  
3/32" = 1'-0"







GUESTROOM SCHEDULE		
GUESTROOM UNIT TYPE	COUNT	
<b>HOME2 SUITES</b>		
H2S ONE BEDROOM B1	4	
H2S ONE BEDROOM B1+	1	
H2S ONE BEDROOM B2	3	
H2S ONE BEDROOM B3 ACC. (CONN.)	1	
H2S STUDIO K1	102	
H2S STUDIO K1+	1	
H2S STUDIO K2 (CONN.)	5	
H2S STUDIO K3 ACC.	3	
H2S STUDIO K4 ACC. (CONN.)	1	
H2S STUDIO Q1	18	
H2S STUDIO Q2 (CONN.)	7	
H2S STUDIO Q3	3	
H2S STUDIO Q4 ACC. (CONN.) ROLL-IN	2	
	151	
<b>TRU</b>		
TRU STUDIO K1	32	
TRU STUDIO K1+ (CONN.)	1	
TRU STUDIO K2 ACC.	1	
TRU STUDIO Q1	24	
TRU STUDIO Q1 (CONN.)	4	
TRU STUDIO Q1+	2	
TRU STUDIO Q1+ (CONN.)	2	
TRU STUDIO Q2 ACC.	1	
TRU STUDIO Q2 ACC. (CONN.) ROLL-IN	1	
	68	
<b>TOTAL GUESTROOMS:</b>	<b>219</b>	
<b>BED TYPE SUMMARY - H2S</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	112	74%
KING+QUEEN	9	6%
QUEEN+QUEEN	30	20%
<b>TOTAL GUESTROOMS:</b>	<b>151</b>	<b>100%</b>
<b>BED TYPE SUMMARY - TRU</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	34	50%
QUEEN+QUEEN	34	50%
<b>TOTAL GUESTROOMS:</b>	<b>68</b>	<b>100%</b>

**1 FLOOR PLAN - LEVELS 3-5 (TYP.)**  
3/32" = 1'-0"





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DUAL BRAND BY HILTON  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

BUILDING ELEVATIONS

DR\_A3.1



1 SOUTH ELEVATION  
3/32" = 1'-0"

SYMBOL	ID	DESCRIPTION
	PT1	EFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 8299
	PT2	EFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7369
	PT3	EFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EFS, PANTONE PMS #2685C (NO SUBSTITUTIONS)
	PT5	EFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)



PRIMARY STREET FACADE  
1/16" = 1'-0"



2 WEST ELEVATION  
3/32" = 1'-0"



3 SITE SECTION EAST-WEST  
1" = 20'-0"



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DUAL BRAND BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 19 066

BUILDING  
ELEVATIONS

**DR\_A3.2**



**2 NORTH ELEVATION**  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	EIFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
	PT2	EIFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7059
	PT3	EIFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EIFS, PANTONE PMS 4288C (NO SUBSTITUTIONS)
	PT5	EIFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EIFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EIFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)



**1 EAST ELEVATION**  
3/32" = 1'-0"



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**DUAL BRAND BY HILTON**

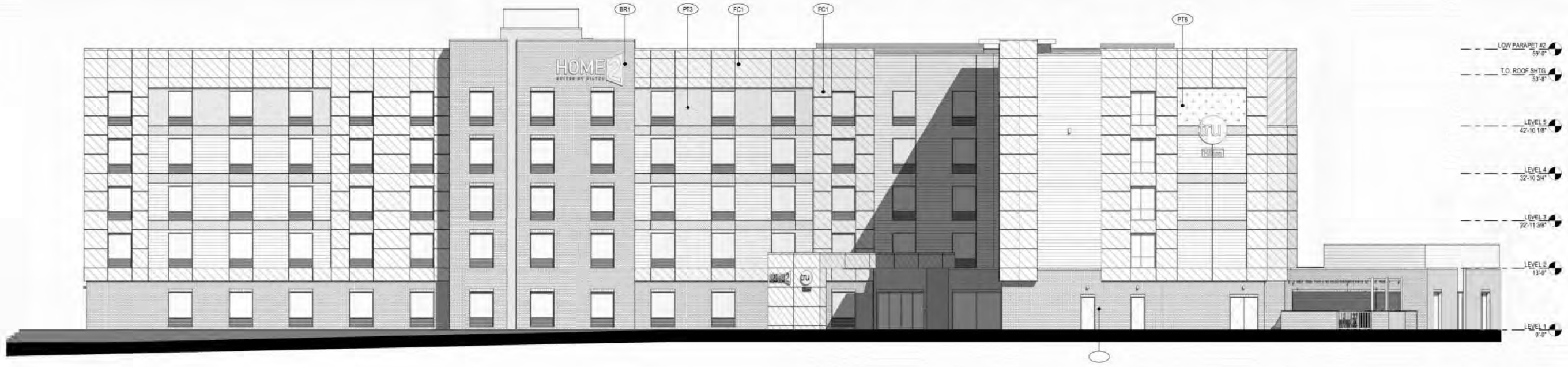
5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 19 066

BUILDING  
ELEVATIONS  
(BLACK AND  
WHITE)

**DR\_A3.3**



**1 SOUTH ELEVATION**  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	E/F, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
	PT2	E/F, PAINTED METAL, SHERWIN WILLIAMS IRON ORE SW 7069
	PT3	E/F, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	E/F, PANTONE PMS #2685C (NO SUBSTITUTIONS)
	PT5	E/F, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	E/F, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	E/F, PANTONE PMS #2965C (NO SUBSTITUTIONS)
	PT8	E/F, PANTONE PMS #317C (NO SUBSTITUTIONS)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)



**2 WEST ELEVATION**  
3/32" = 1'-0"



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BUILDING  
ELEVATIONS  
(BLACK AND  
WHITE)

DR\_A3.4

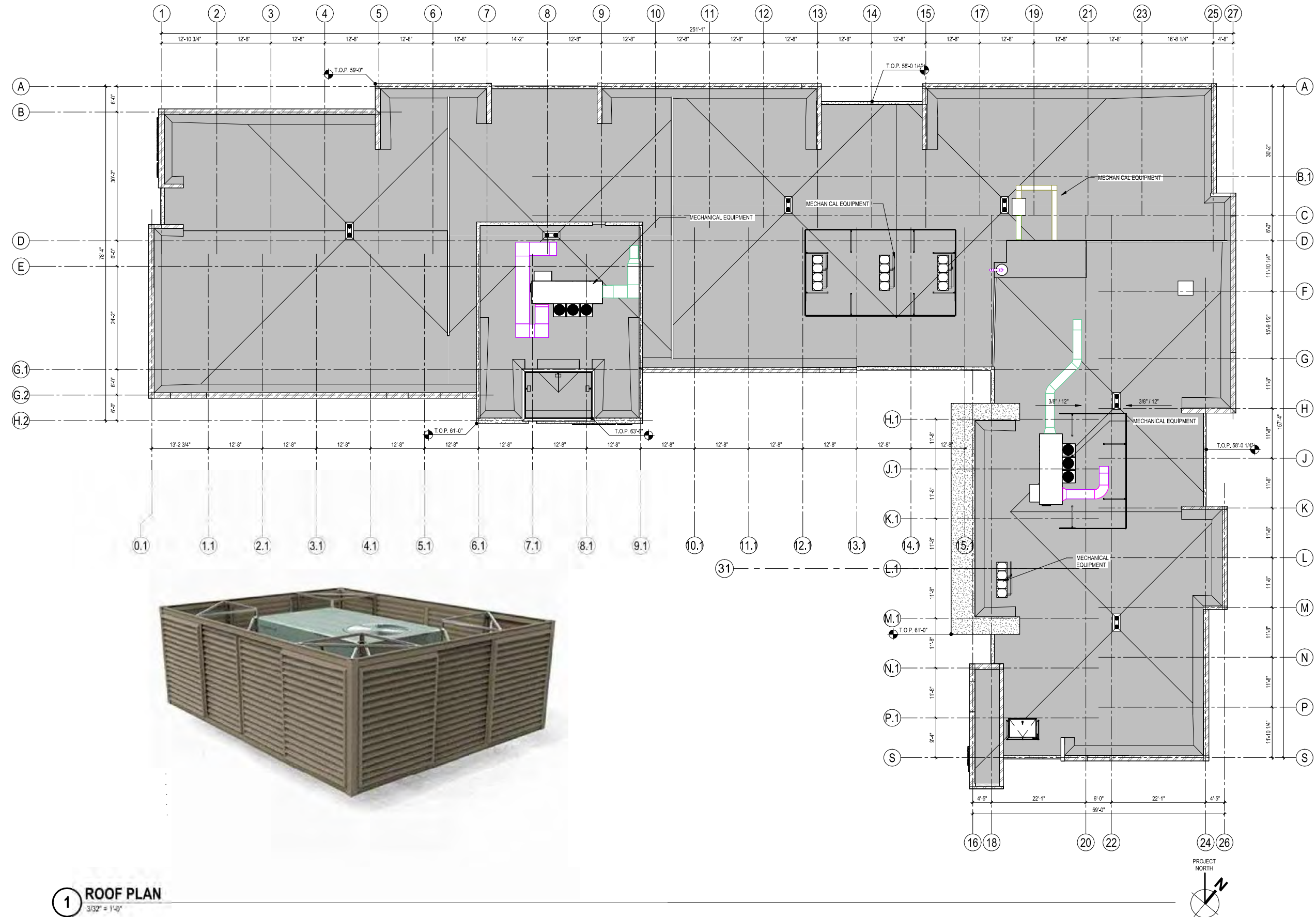


2 NORTH ELEVATION  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	EIFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6529
	PT2	EIFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7099
	PT3	EIFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT5	EIFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EIFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EIFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
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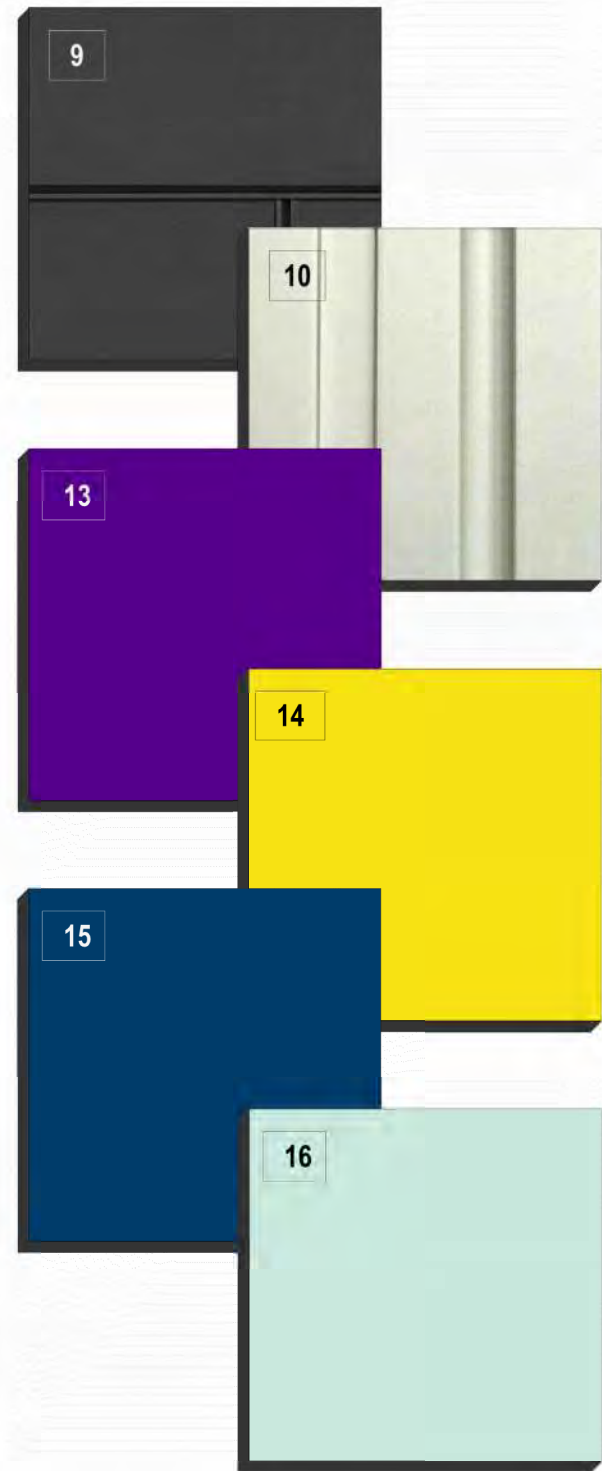


1 EAST ELEVATION  
3/32" = 1'-0"



**1 ROOF PLAN**  
3/32" = 1'-0"





- 1** **PT1, MTL2**  
EIFS, PAINTED METAL  
SHERWIN-WILLIAMS  
SPATIAL WHITE  
SW 6259
- 2** **PT2, MTL3**  
EIFS, PAINTED METAL  
SHERWIN-WILLIAMS  
IRON ORE  
SW 7069
- 3** **PT3**  
EIFS  
BENJAMIN MOORE  
FLOWER POWER  
(NO SUBSTITUTIONS)
- 4** **PT6**  
EIFS  
PANTONE  
PROCESS CYAN C  
(NO SUBSTITUTIONS)
- 5** **BR1**  
THIN BRICK VENEER  
GLEN GERY  
SLATE (S15-1557)  
EASTLINE THIN BRICK  
(OR SIMILAR)
- 6** **BD1**  
FIBER CEMENT LAP SIDING  
HARDIEPLANK - SMOOTH  
MISSION GRAY  
(OR SIMILAR)
- 7** **BD2**  
FIBER CEMENT LAP SIDING  
HARDIEPLANK - SMOOTH  
BLACK BROWN  
(OR SIMILAR)
- 8** **FC1**  
FIBER CEMENT PANEL SYSTEM  
REVEAL PANEL SYSTEM BY  
JAMES HARDIE  
ARTIC WHITE  
(OR SIMILAR)
- 9** **FC2**  
FIBER CEMENT PANEL SYSTEM  
REVEAL PANEL SYSTEM BY  
JAMES HARDIE  
BLACK BROWN  
(OR SIMILAR)
- 10** **MTL1**  
ALUMINUM STOREFRONT  
AND WINDOW FRAMES
- 11** **PT4**  
EIFS  
PANTONE  
PMS #2685C  
(NO SUBSTITUTIONS)
- 12** **PT5**  
EIFS  
PANTONE  
PMS PROCESS YELLOW  
(NO SUBSTITUTIONS)
- 13** **PT7**  
EIFS  
PANTONE  
PMS #2955C  
(NO SUBSTITUTIONS)
- 14** **PT8**  
EIFS  
PANTONE  
PMS #317C  
(NO SUBSTITUTIONS)
- 15** **PT8**  
EIFS  
PANTONE  
PMS #317C  
(NO SUBSTITUTIONS)
- 16** **PT8**  
EIFS  
PANTONE  
PMS #317C  
(NO SUBSTITUTIONS)



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**MATERIAL BOARD**

**DR\_A5.1**



2 PERSPECTIVE VIEW 2



1 PERSPECTIVE VIEW 1



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PERSPECTIVE  
VIEWS

**DR\_A5.2**



### WST LED Architectural Wall Sconce

**Specifications**  
 Luminaire  
 Height: 6.50"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 7.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 6.50"  
 Width: 4.50"  
 Depth: 4.50"

**Capella Luminaires**  
 This luminaire is an AIA Certified luminaire, which has been designed and tested to provide consistent color reproduction and optimal beam spread. All configurations of this luminaire meet the AIA Certified specification for chromatic consistency.

**AIA Certified Luminaire**  
 This luminaire is an AIA Certified luminaire for AIA/CES or AIA/CESU. It was tested and certified by the Illuminating Engineering Society (IES) and is listed in the IESNA Lighting Handbook.

**Capella Luminaires**  
 To learn more about AIA, visit [www.aia.org](http://www.aia.org)

**Capella Luminaires**  
 An AIA Certified luminaire for AIA/CES requires the order of one (1) back box per luminaire. See [www.aia.org](http://www.aia.org) for details.

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### LITHONIA LIGHTING

#### FEATURES & SPECIFICATIONS

**LDN6**  
 New Construction Downlight

**Specifications**  
 Luminaire  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 2.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"

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**Capella Luminaires**  
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### Exhibitor Series - 1.8 Watt LEDs

**Specifications**  
 Luminaire  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 2.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"

**Capella Luminaires**  
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**Capella Luminaires**  
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### D-Series LED Bollard

**Specifications**  
 Luminaire  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 2.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"

**Capella Luminaires**  
 This luminaire is an AIA Certified luminaire, which has been designed and tested to provide consistent color reproduction and optimal beam spread. All configurations of this luminaire meet the AIA Certified specification for chromatic consistency.

**AIA Certified Luminaire**  
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**Capella Luminaires**  
 To learn more about AIA, visit [www.aia.org](http://www.aia.org)

**Capella Luminaires**  
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**Capella Luminaires**  
 An AIA Certified luminaire for AIA/CES requires the order of one (1) back box per luminaire. See [www.aia.org](http://www.aia.org) for details.

### D-Series Size 0 LED Area Luminaire

**Specifications**  
 Luminaire  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 2.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"

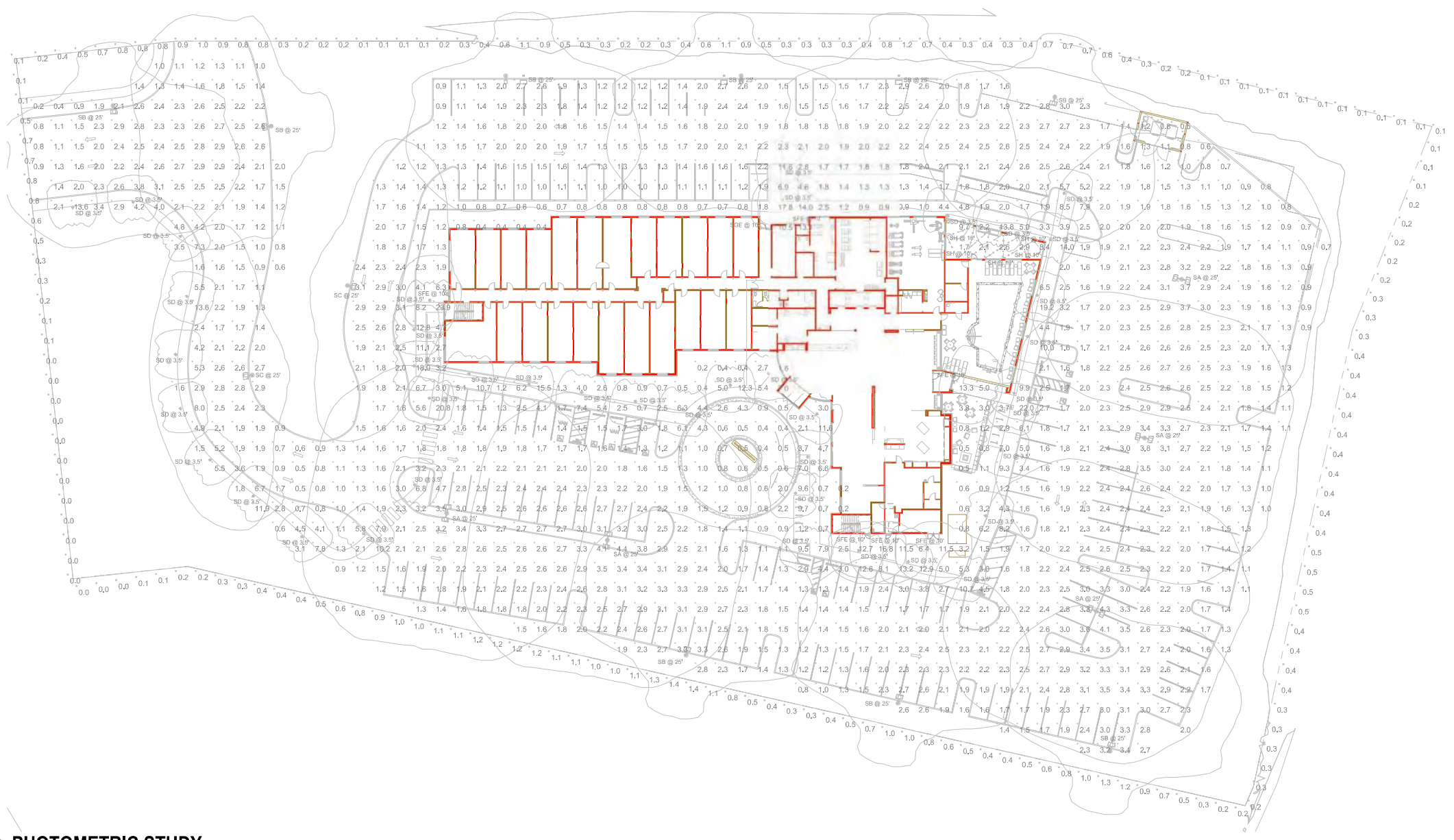
**Capella Luminaires**  
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**AIA Certified Luminaire**  
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**Capella Luminaires**  
 To learn more about AIA, visit [www.aia.org](http://www.aia.org)

**Capella Luminaires**  
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**Capella Luminaires**  
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### LITHONIA LIGHTING

#### FEATURES & SPECIFICATIONS

**AFFINITY™**  
 Precision Die-Cast Aluminum Emergency Light

**Specifications**  
 Luminaire  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"  
 Weight: 0.5 lb

**Optional Back Box (PBW)**  
 Height: 2.25"  
 Width: 4.50"  
 Depth: 4.50"

**Optional Back Box (BSW)**  
 Height: 1.75"  
 Width: 4.50"  
 Depth: 4.50"

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 An AIA Certified luminaire for AIA/CES requires the order of one (1) back box per luminaire. See [www.aia.org](http://www.aia.org) for details.

**1 PHOTOMETRIC STUDY**  
 1" = 30'-0"



**designcell**  
 ARCHITECTURE

1785 VILLAGE CENTER CIRCLE SUITE 100  
 LAS VEGAS, NV 89134, 1.702.405.1575  
 WWW.DESIGNCELL.COM

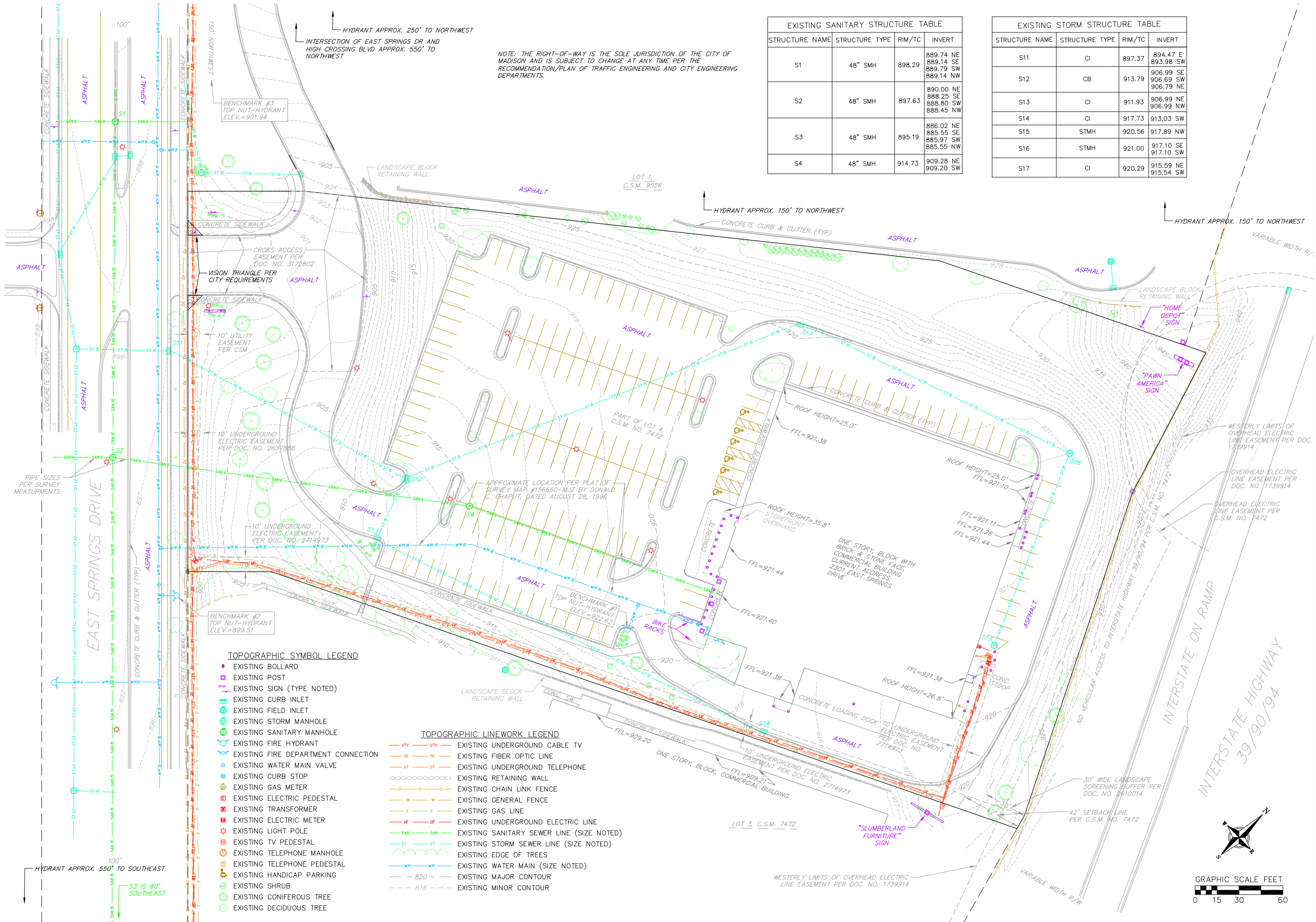
8/22/2022  
 PRELIMINARY DESIGN

**HOME2 SUITES & TRU**  
**DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS  
 2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068  
 PHOTOMETRIC STUDY

**DR\_P1.0**



**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING BOLLARD
- EXISTING POST
- ▲ EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS METER
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING HANDICAP PARKING
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

**TOPOGRAPHIC LINEWORK LEGEND**

- UV — UV — EXISTING UNDERGROUND CABLE TV
- FO — FO — EXISTING FIBER OPTIC LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- ○ — ○ — EXISTING RETAINING WALL
- ○ — ○ — EXISTING CHAIN LINK FENCE
- \* — \* — EXISTING GENERAL FENCE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — WM — EXISTING EDGE OF TREES
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — — EXISTING MAJOR CONTOUR
- 818 — — EXISTING MINOR CONTOUR

**EXISTING SANITARY STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	48" SMH	898.29	889.74 NE 889.14 SE 889.79 SW 889.14 NW
S2	48" SMH	897.63	890.00 NE 888.25 SE 888.80 SW 888.45 NW
S3	48" SMH	895.19	886.02 NE 885.55 SE 885.97 SW 885.55 NW
S4	48" SMH	914.73	909.28 NE 909.20 SW

**EXISTING STORM STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S11	CI	897.37	894.47 E 893.98 SW
S12	CB	913.79	906.99 SE 906.69 SW 906.79 NE
S13	CI	911.93	906.99 NE 906.99 NW
S14	CI	917.73	913.03 SW
S15	STMH	920.56	917.89 NW
S16	STMH	921.00	917.10 SE 917.10 SW
S17	CI	920.29	915.59 NE 915.54 SW



Hawkeye Hotels

designcell ARCHITECTURE

1785 VILLAGE CENTER CIRCLE SUITE 100  
LAS VEGAS, NV 89134 T. 702.403.1575  
WWW.DESIGNCELL.COM

8/22/2022

PRELIMINARY DESIGN

HOME2 SUITES & TRU DUAL  
BRAND BY HILTON

5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

PHOTOMETRIC  
STUDY

DR\_P1.0

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
1	1	K-4ME	SINGLE	1.000	16959	130	OSQ-A-NM-4ME-K-40K-UL-XX w/OSQ-DAXX
2	2	T-2ME	SINGLE	1.000	21902	166	OSQ-A-NM-2ME-T-40K-UL-XX w/OSQ-DAXX
7	7	T-4MEw BLS	SINGLE	1.000	16830	166	OSQ-A-NM-4ME-T-40K-UL-XX w/OSQ-DAXX OSQ-BLSLF
5	5	K-5ME-2	2 @ 180°	1.000	15999	130	OSQ-A-NM-5ME-K-40K-UL-XX w/OSQ-DAXX
10	10	A	SINGLE	1.000	1600	21	CR6T-1600L-40K-P12-E26GU24
33	33	PWY-5M	SINGLE	1.000	1666	22	PWY-EDG-5M-P4-02-E-UL-XX-350-40K

Calculation Summary: 1.00 LLF

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.55	22.8	0.0	N.A.	N.A.
Property Line	Fc	0.46	2.4	0.0	N.A.	N.A.
Paved Parking	Fc	2.49	22.8	0.5	4.98	45.60

Fixture Mounting Height: 25' AFG (22' Pole + 3.0' Base)

Pole Schedule

- (10) SSS-4-11-22-CW-BS-1D-C-BZ (22' X 4" X 11ga STEEL SQUARE POLE, SINGLE)
- (5) SSS-4-11-22-CW-BS-2D18-C-BZ (22' X 4" X 11ga STEEL SQUARE POLE, 2@180°)

Proposed poles meet 120MPH sustained winds.

Additional Equipment:

- (20) - OSQ-DAXX - (Direct Arm Mount - OSQ)
- (7) - OSQ-BLSLF - (Backlight Shield - OSQ Large)
- (10) - RC6 - (Edison (E26) Base Housings Recessed Housings, 120V)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*



Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire wet procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Dual Brand Hotel 2403 E. Springs Dr., Madison, WI 53704

SR-36647

Footcandles calculated at grade

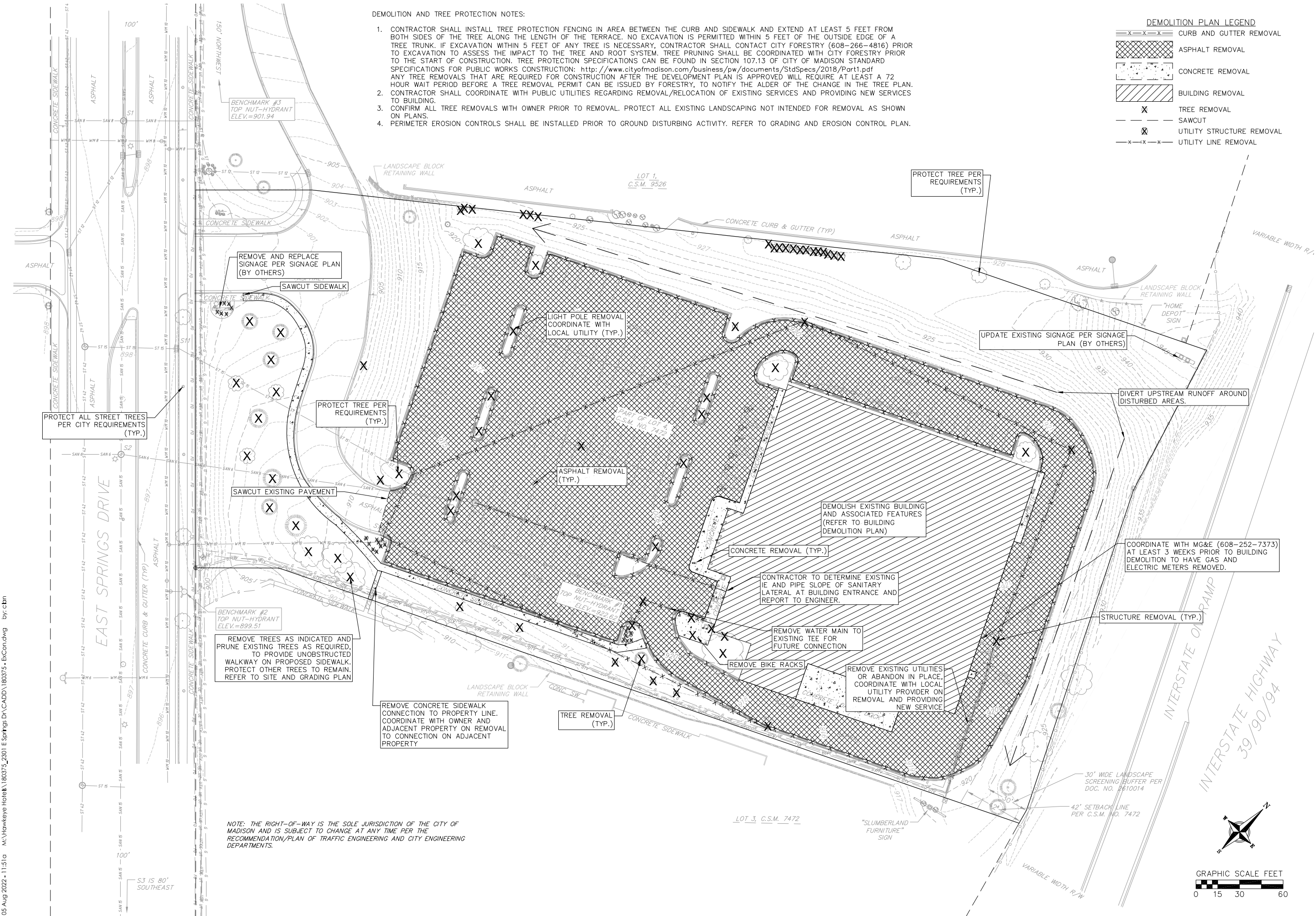
Filename: 190430HT1JEER3.AGI

Layout By:  
Collin Witherow

Date: 2/18/2020

Scale 1" = 25'





DEMOLITION AND TREE PROTECTION NOTES:

1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: <http://www.cityofmadison.com/business/pw/documents/StdSpecs/2018/Part1.pdf>
2. CONTRACTOR SHALL COORDINATE WITH PUBLIC UTILITIES REGARDING REMOVAL/RELOCATION OF EXISTING SERVICES AND PROVIDING NEW SERVICES TO BUILDING.
3. CONFIRM ALL TREE REMOVALS WITH OWNER PRIOR TO REMOVAL. PROTECT ALL EXISTING LANDSCAPING NOT INTENDED FOR REMOVAL AS SHOWN ON PLANS.
4. PERIMETER EROSION CONTROLS SHALL BE INSTALLED PRIOR TO GROUND DISTURBING ACTIVITY. REFER TO GRADING AND EROSION CONTROL PLAN.

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**SITE CONSTRUCTION NOTES:**

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
4. REFER TO ARCHITECTURAL PLANS FOR BIKE RACK DETAIL.

NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**Parking Lot Plan Site Information Block**

Site Address: 2403 East Springs Drive  
 Site acreage (total) = 4.61 acres  
 Number of building stories (above grade): 5  
 Building height: Average Existing Grade to Top of Building = 66'  
 DILHR type of construction (new structures): TBD

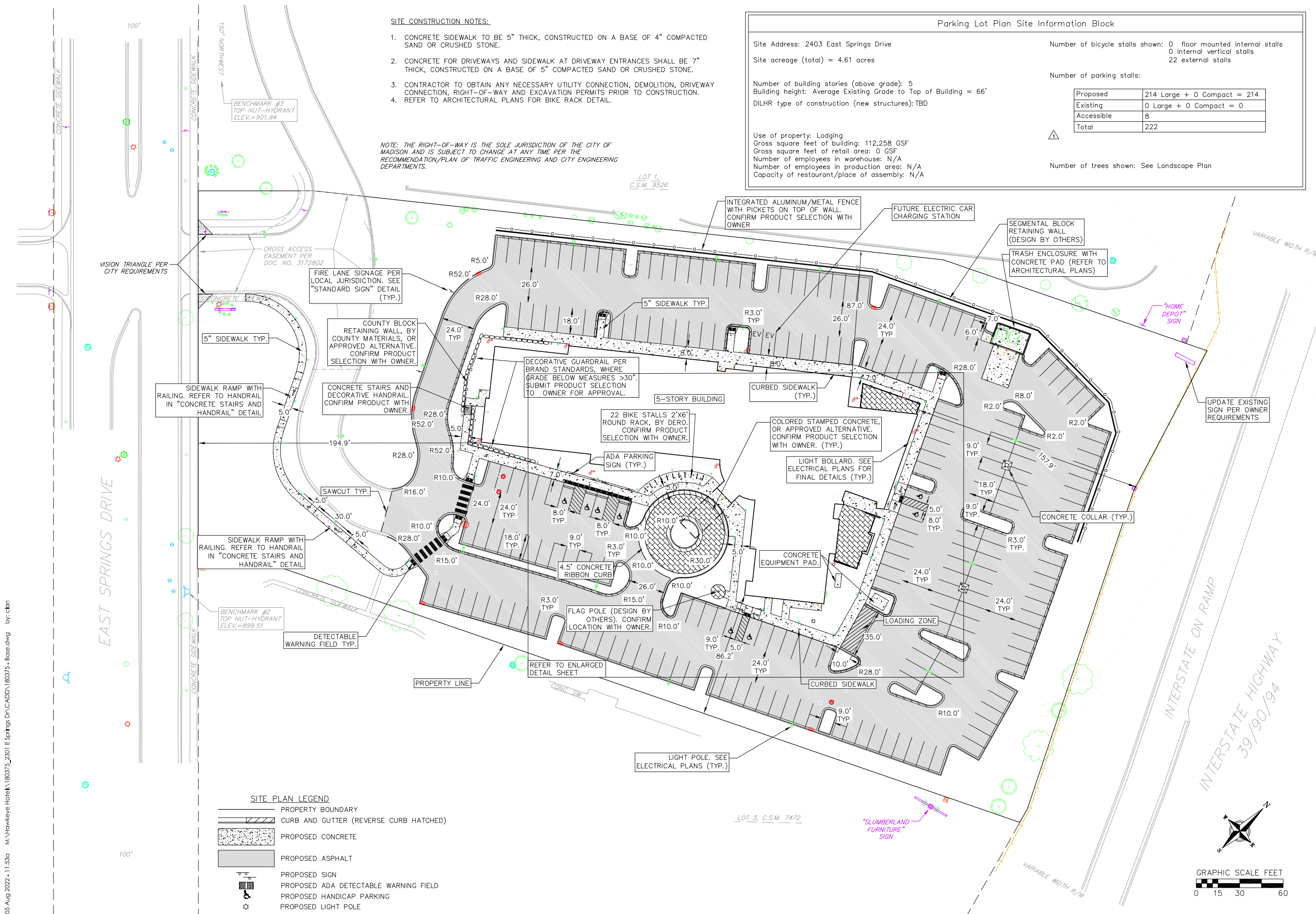
Number of bicycle stalls shown: 0 floor mounted internal stalls  
 0 internal vertical stalls  
 22 external stalls

Number of parking stalls:

Proposed	214 Large + 0 Compact = 214
Existing	0 Large + 0 Compact = 0
Accessible	8
Total	222

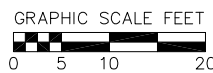
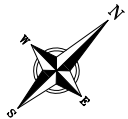
Use of property: Lodging  
 Gross square feet of building: 112,258 GSF  
 Gross square feet of retail area: 0 GSF  
 Number of employees in warehouse: N/A  
 Number of employees in production area: N/A  
 Capacity of restaurant/place of assembly: N/A

Number of trees shown: See Landscape Plan



**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED SIGN
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING
- PROPOSED LIGHT POLE



5-STORY BUILDING

LIGHT BOLLARD. SEE ELECTRICAL PLANS FOR FINAL DETAILS (TYP.)

CURBED SIDEWALK (TYP.)

22 BIKE STALLS 2'X6' ROUND RACK, BY DERO. CONFIRM PRODUCT SELECTION WITH OWNER.

ADA PARKING SIGN (TYP.)

WHEEL STOP (TYP.)

COLORLED STAMPED CONCRETE, OR APPROVED ALTERNATIVE. CONFIRM PRODUCT SELECTION WITH OWNER. (TYP.)

FREE STANDING WALL, FENCING AND PATIO AREA. REFER TO STRUCTURAL & ARCHITECTURAL PLAN. (TYP.)

BEGIN TAPERING CURB HEAD FROM 6" TO 0"

8.0' TYP.

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

9.0' TYP.

R10.0'

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

R10.0'

BEGIN TRANSITION FROM REJECT CURB TO TYPICAL CURB

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

4.5' CONCRETE RIBBON CURB

R15.0'

FLAG POLE (DESIGN BY OTHERS). CONFIRM LOCATION WITH OWNER.

CONCRETE EQUIPMENT PAD

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

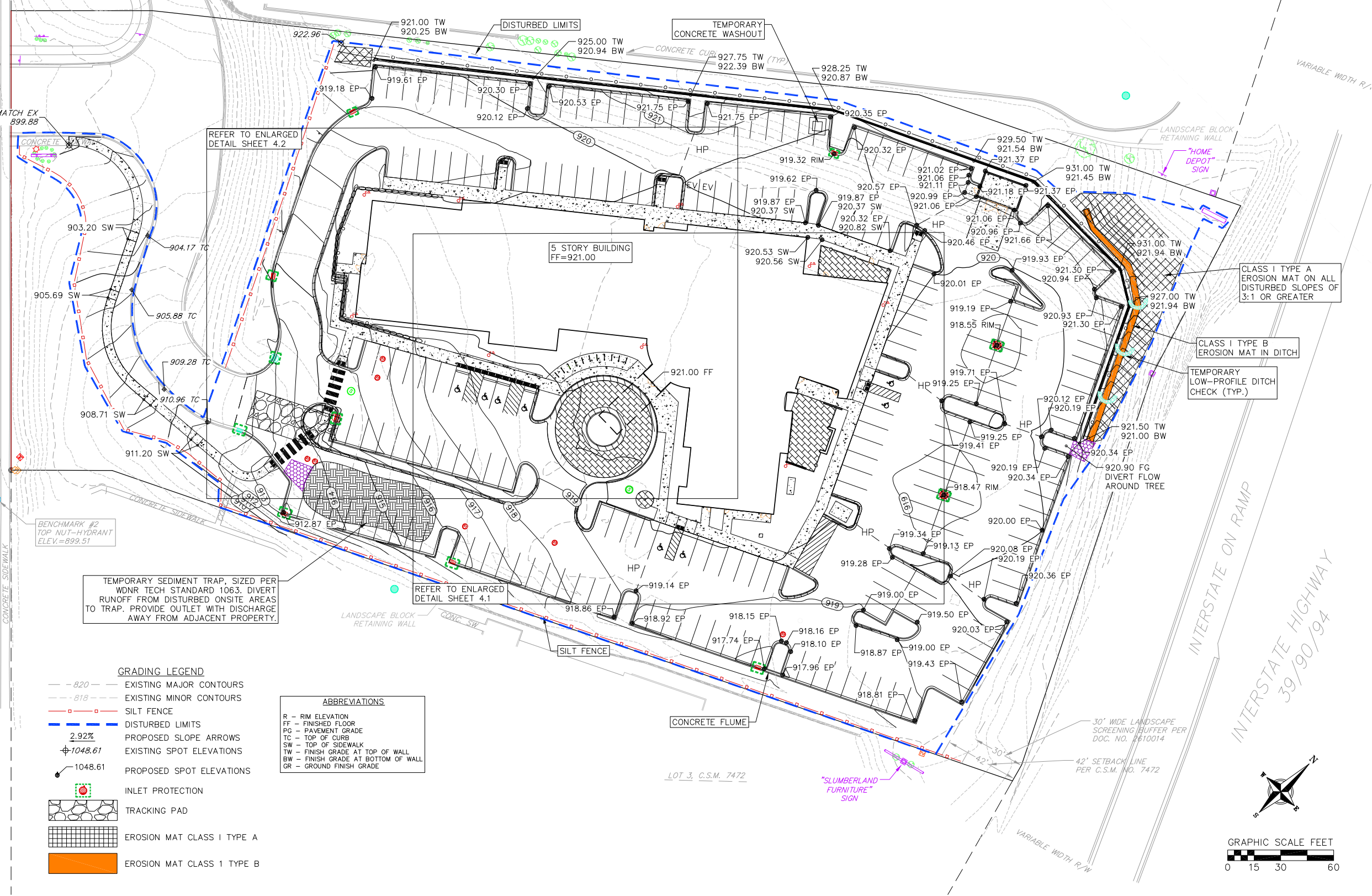
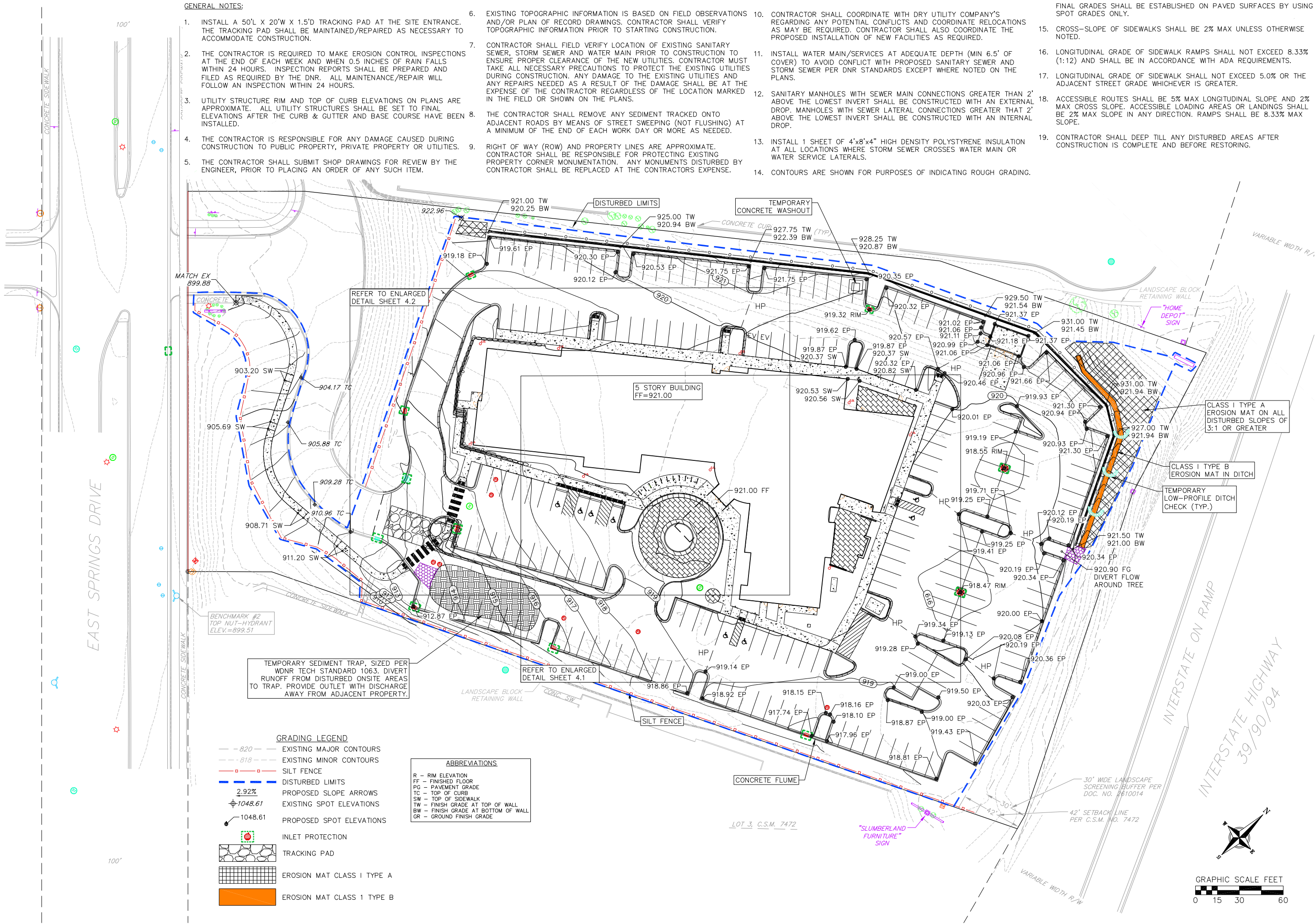
CURBED SIDEWALK

LOADING ZONE

05 Aug 2022 - 11:54a M:\Hawkeye Hotels\180375\_2301 E Springs Dr\CADD\180375 - Base.dwg by: cbn

**GENERAL NOTES:**

- INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. ALL UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- INSTALL WATER MAIN/SERVICES AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY POLYSTYRENE INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER SERVICE LATERALS.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING.
- FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% MAX UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.



**designcell** ARCHITECTURE  
 1725 VILLAGE CENTER CIRCLE #110  
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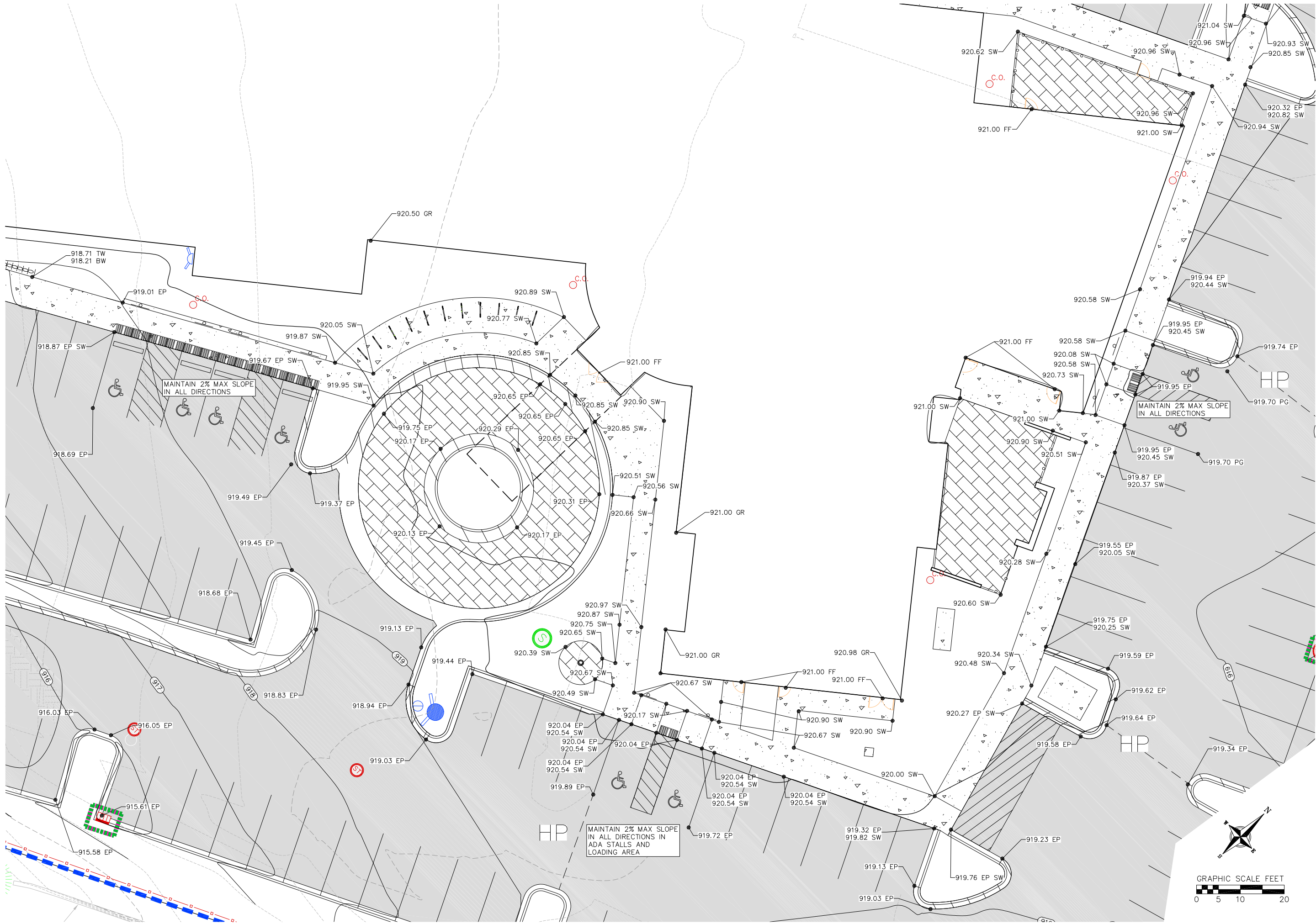
8/8/2022  
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**Hawkeye** hotels

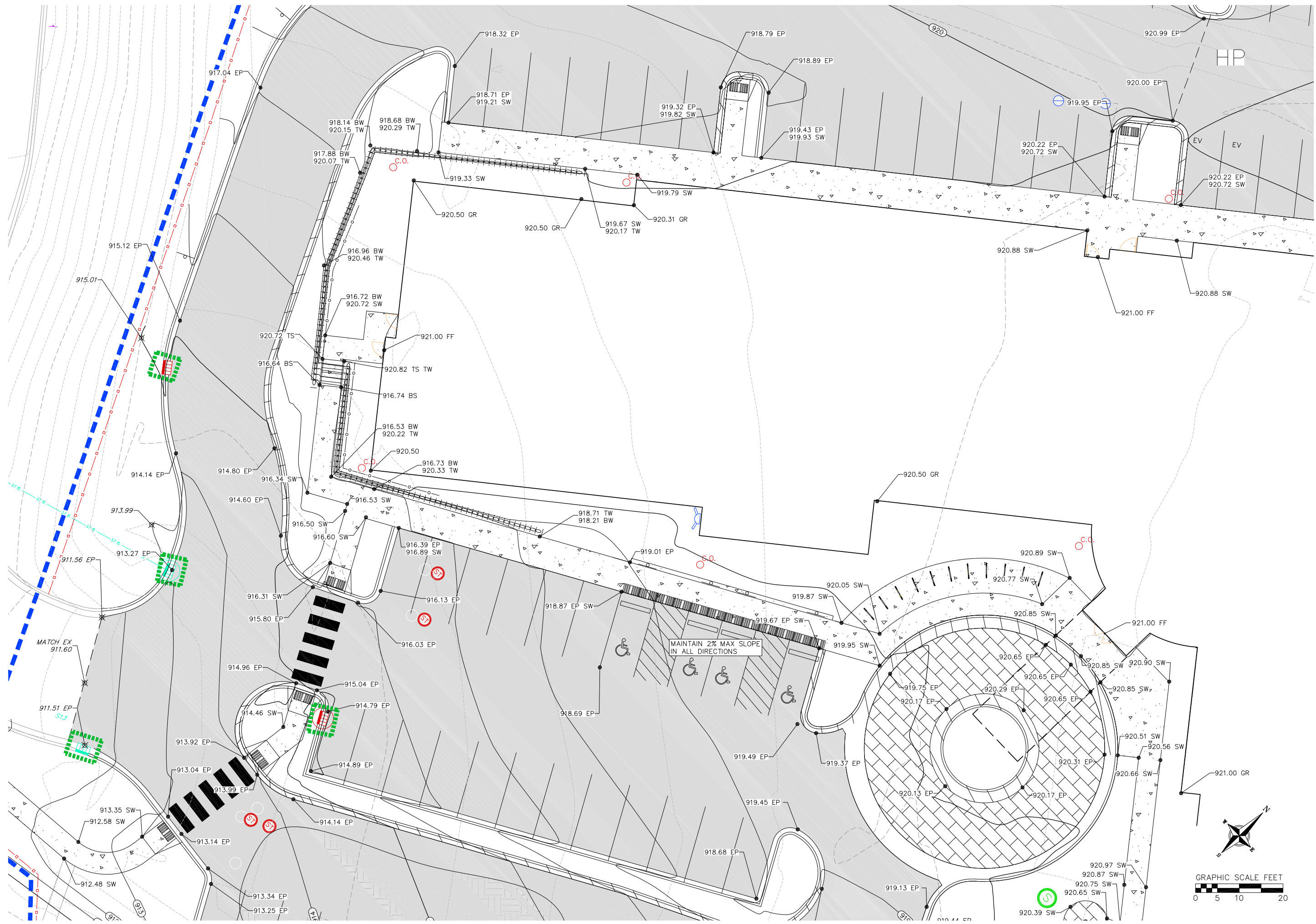
**HOME2 SUITES & TRU BY HILTON**  
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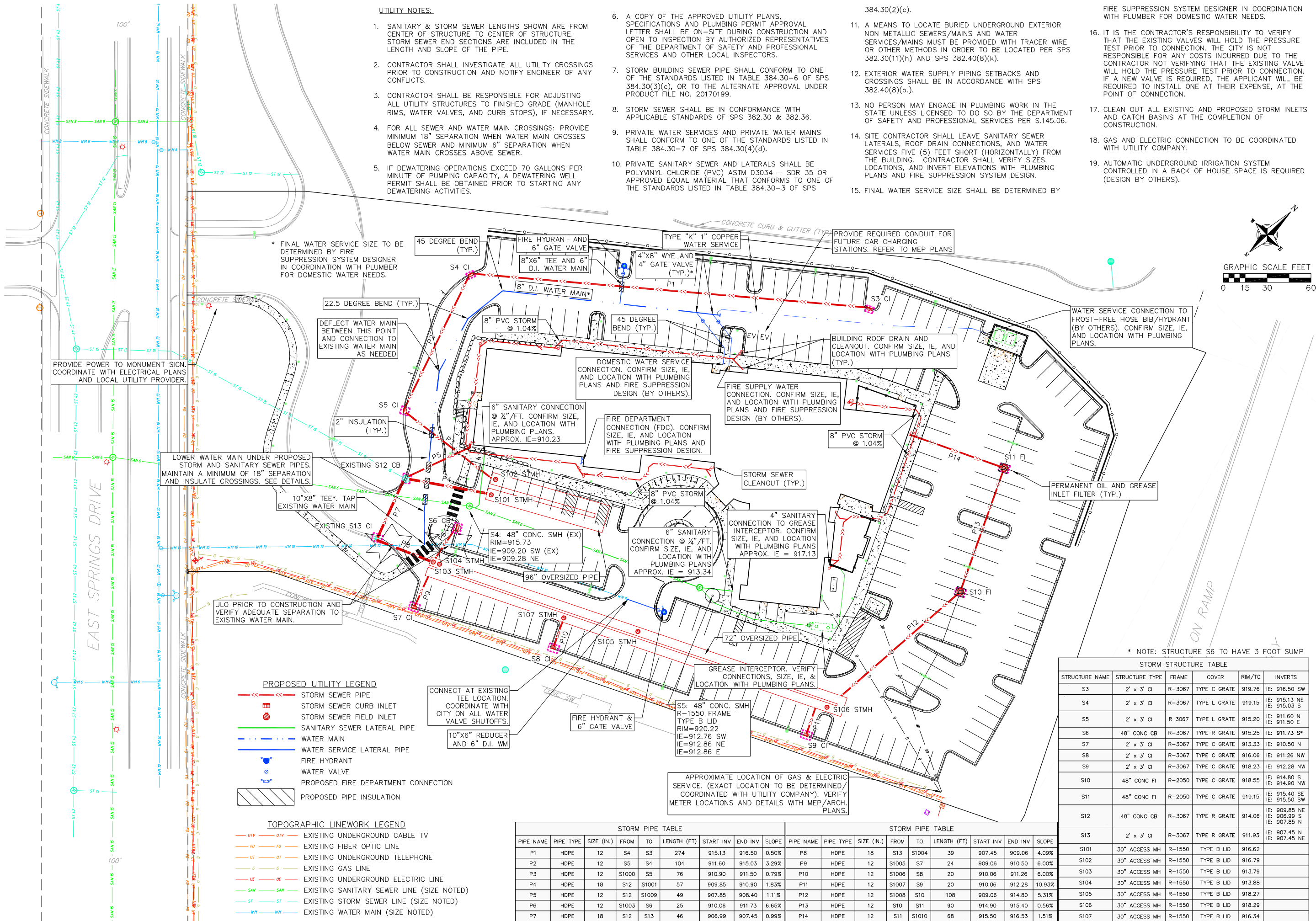
PROJECT NUMBER: 18 068  
**GRADING AND EROSION CONTROL PLAN**

**C4.0**







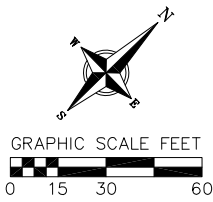


**UTILITY NOTES:**

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c), OR TO THE ALTERNATE APPROVAL UNDER PRODUCT FILE NO. 20170199.
- STORM SEWER SHALL BE IN CONFORMANCE WITH APPLICABLE STANDARDS OF SPS 382.30 & 382.36.
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY SEWER LATERALS, ROOF DRAIN CONNECTIONS, AND WATER SERVICES FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. CONTRACTOR SHALL VERIFY SIZES, LOCATIONS, AND INVERT ELEVATIONS WITH PLUMBING PLANS AND FIRE SUPPRESSION SYSTEM DESIGN.
- FINAL WATER SERVICE SIZE SHALL BE DETERMINED BY

FIRE SUPPRESSION SYSTEM DESIGNER IN COORDINATION WITH PLUMBER FOR DOMESTIC WATER NEEDS.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- GAS AND ELECTRIC CONNECTION TO BE COORDINATED WITH UTILITY COMPANY.
- AUTOMATIC UNDERGROUND IRRIGATION SYSTEM CONTROLLED IN A BACK OF HOUSE SPACE IS REQUIRED (DESIGN BY OTHERS).



FINAL WATER SERVICE SIZE TO BE DETERMINED BY FIRE SUPPRESSION SYSTEM DESIGNER IN COORDINATION WITH PLUMBER FOR DOMESTIC WATER NEEDS.

DEFLECT WATER MAIN BETWEEN THIS POINT AND CONNECTION TO EXISTING WATER MAIN AS NEEDED

PROVIDE POWER TO MONUMENT SIGN. COORDINATE WITH ELECTRICAL PLANS AND LOCAL UTILITY PROVIDER.

LOWER WATER MAIN UNDER PROPOSED STORM AND SANITARY SEWER PIPES. MAINTAIN A MINIMUM OF 18" SEPARATION AND INSULATE CROSSINGS. SEE DETAILS.

ULO PRIOR TO CONSTRUCTION AND VERIFY ADEQUATE SEPARATION TO EXISTING WATER MAIN.

**PROPOSED UTILITY LEGEND**

- S S --- STORM SEWER PIPE
- S S --- STORM SEWER CURB INLET
- S S --- STORM SEWER FIELD INLET
- S S --- SANITARY SEWER LATERAL PIPE
- W W --- WATER MAIN
- W W --- WATER SERVICE LATERAL PIPE
- F F --- FIRE HYDRANT
- V V --- WATER VALVE
- F F --- PROPOSED FIRE DEPARTMENT CONNECTION
- I I --- PROPOSED PIPE INSULATION

**TOPOGRAPHIC LINEWORK LEGEND**

- UTV --- EXISTING UNDERGROUND CABLE TV
- FO --- EXISTING FIBER OPTIC LINE
- UT --- EXISTING UNDERGROUND TELEPHONE
- G --- EXISTING GAS LINE
- UE --- EXISTING UNDERGROUND ELECTRIC LINE
- SAN --- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST --- EXISTING STORM SEWER LINE (SIZE NOTED)
- WM --- EXISTING WATER MAIN (SIZE NOTED)

**STORM PIPE TABLE**

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P1	HDPE	12	S4	S3	274	915.13	916.50	0.50%
P2	HDPE	12	S5	S4	104	911.60	915.03	3.29%
P3	HDPE	12	S1000	S5	76	910.90	911.50	0.79%
P4	HDPE	18	S12	S1001	57	909.85	910.90	1.83%
P5	HDPE	12	S12	S1009	49	907.85	908.40	1.11%
P6	HDPE	12	S1003	S6	25	910.06	911.73	6.65%
P7	HDPE	18	S12	S13	46	906.99	907.45	0.99%

**STORM PIPE TABLE**

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P8	HDPE	18	S13	S1004	39	907.45	909.06	4.09%
P9	HDPE	12	S1005	S7	24	909.06	910.50	6.00%
P10	HDPE	12	S1006	S8	20	910.06	911.26	6.00%
P11	HDPE	12	S1007	S9	20	910.06	912.28	10.93%
P12	HDPE	12	S1008	S10	108	909.06	914.80	5.31%
P13	HDPE	12	S10	S11	90	914.90	915.40	0.56%
P14	HDPE	12	S11	S1010	68	915.50	916.53	1.51%

**STORM STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERTS
S3	2' x 3' CI	R-3067	TYPE C GRATE	919.76	IE: 916.50 SW IE: 915.13 NE IE: 915.03 S
S4	2' x 3' CI	R-3067	TYPE L GRATE	919.15	IE: 911.60 N IE: 911.50 E
S5	2' x 3' CI	R-3067	TYPE L GRATE	915.20	IE: 911.73 S*
S6	48" CONC CB	R-3067	TYPE R GRATE	915.25	IE: 910.50 N
S7	2' x 3' CI	R-3067	TYPE C GRATE	913.33	IE: 911.26 NW
S8	2' x 3' CI	R-3067	TYPE C GRATE	916.06	IE: 912.28 NW
S9	2' x 3' CI	R-3067	TYPE C GRATE	918.23	IE: 914.80 S IE: 914.90 NW
S10	48" CONC FI	R-2050	TYPE C GRATE	918.55	IE: 915.40 SE IE: 915.50 SW
S11	48" CONC FI	R-2050	TYPE C GRATE	919.15	IE: 909.85 NE IE: 906.99 S IE: 907.85 N
S12	48" CONC CB	R-3067	TYPE R GRATE	914.06	IE: 907.45 N IE: 907.45 NE
S13	2' x 3' CI	R-3067	TYPE R GRATE	911.93	
S101	30" ACCESS MH	R-1550	TYPE B LID	916.62	
S102	30" ACCESS MH	R-1550	TYPE B LID	916.79	
S103	30" ACCESS MH	R-1550	TYPE B LID	913.79	
S104	30" ACCESS MH	R-1550	TYPE B LID	913.88	
S105	30" ACCESS MH	R-1550	TYPE B LID	918.27	
S106	30" ACCESS MH	R-1550	TYPE B LID	918.29	
S107	30" ACCESS MH	R-1550	TYPE B LID	916.34	

\* NOTE: STRUCTURE S6 TO HAVE 3 FOOT SUMP

## EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET, UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE BASIN DETAIL SHEET..
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
21. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
22. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
23. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

### SEEDING RATES:

#### TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

#### PERMANENT:

1. RIGHT OF WAY: USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
2. SITE: MADISON PARKS MIX BY LACROSSE SEED COMPANY OR EQUIVALENT, PER MANUFACTURER SPECIFIED APPLICATION RATE.

### FERTILIZING RATES:

#### TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

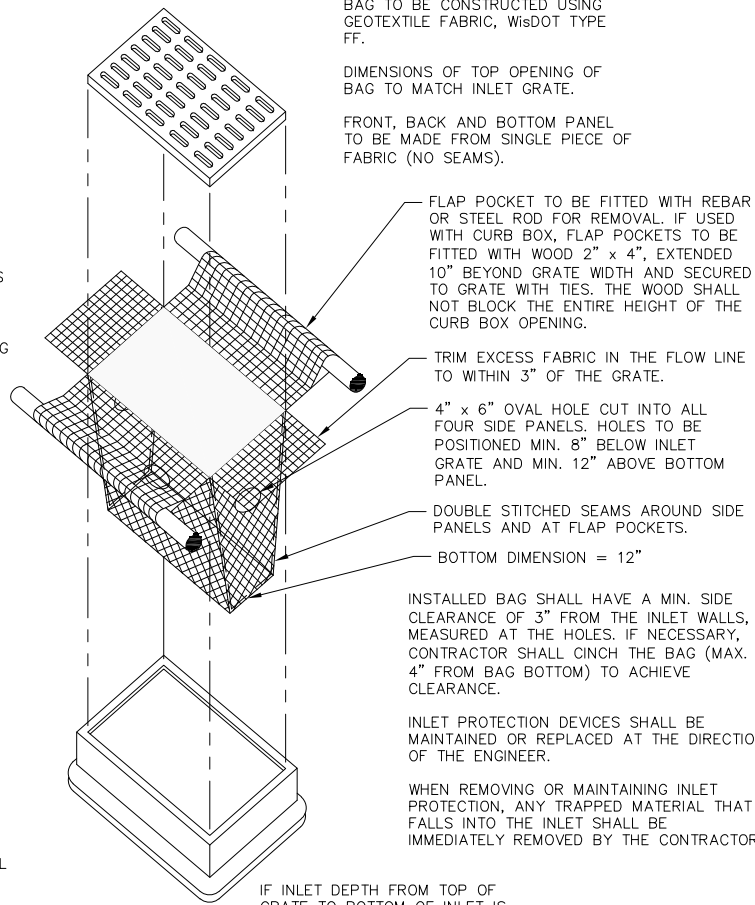
### MULCHING RATES:

#### TEMPORARY AND PERMANENT:

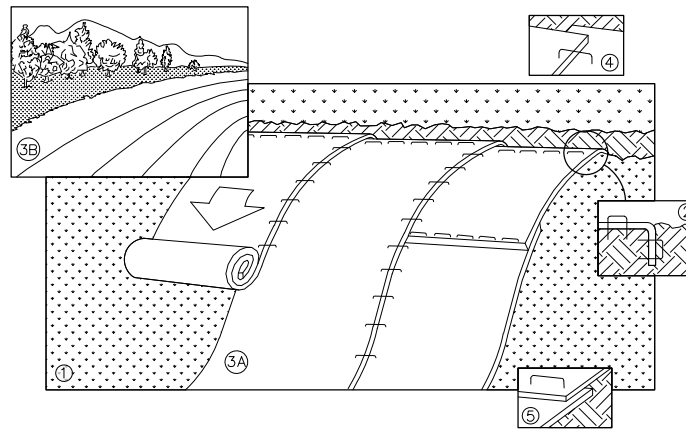
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627. WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

### CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL - SITE
4. ROUGH GRADE - SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND RESTORE DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE PAVED AND VEGETATIVE AREAS ARE 70% RESTORED



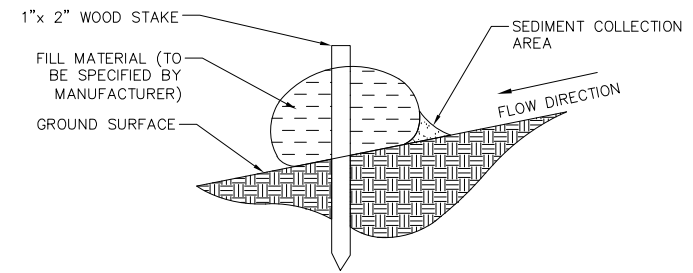
1 CLASS II SLOPE INTERRUPTION  
1 NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.  
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT  
1 NOT TO SCALE



1 CLASS II SLOPE INTERRUPTION  
1 NOT TO SCALE

### GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFIRM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERTINENT IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET (1.219 m) APART.

EDGES OF THE EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

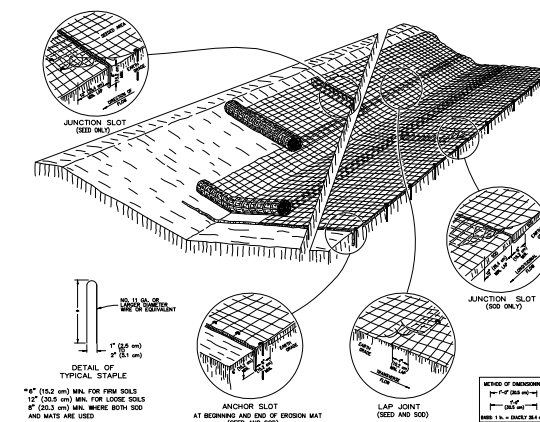
EROSION MAT WILL BE MEASURED AND PAID FOR IN ACCORDANCE WITH THE SPECIFICATIONS.

#### EROSION MAT OVER SOD

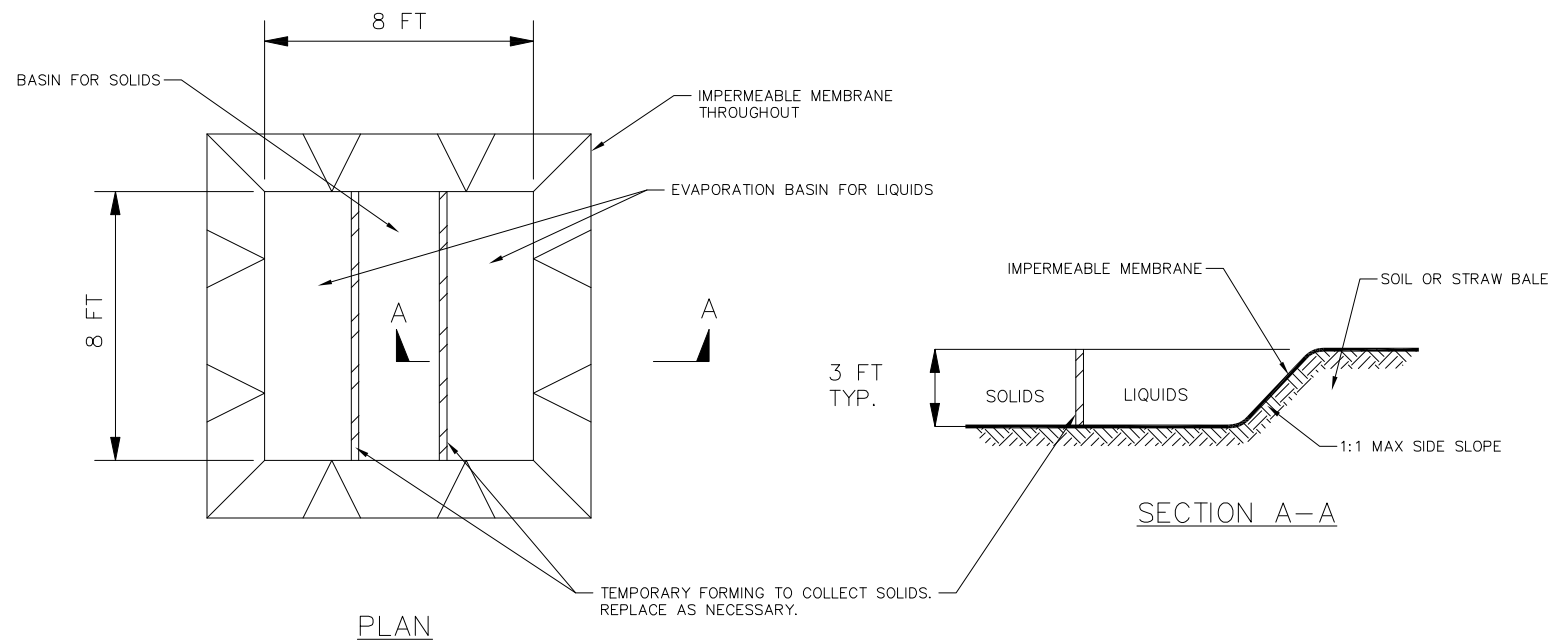
- a. ONLY JUTE FABRIC WILL BE PERMITTED OVER SOD.
- b. WOOD STAKES FOR SOD MAY BE OMITTED BY THE ENGINEER IF THE EXISTING SLOPE AND SOIL CONDITIONS SO WARRANT.
- c. THE WIDTH OF THE EROSION MAT SHALL ALWAYS EQUAL THE SOD WIDTH.
- d. SOD STRIPS MAY BE PLACED EITHER LONGITUDINALLY OR TRANSVERSELY TO THE FLOW LINE OF THE DITCH.

#### EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET (30.48 m) ON GRADES UP TO AND INCLUDING 3 PERCENT, AND 50 FEET (15.24 m) ON GRADES EXCEEDING 3 PERCENT



1 CHANNEL EROSION MAT  
1 NOT TO SCALE



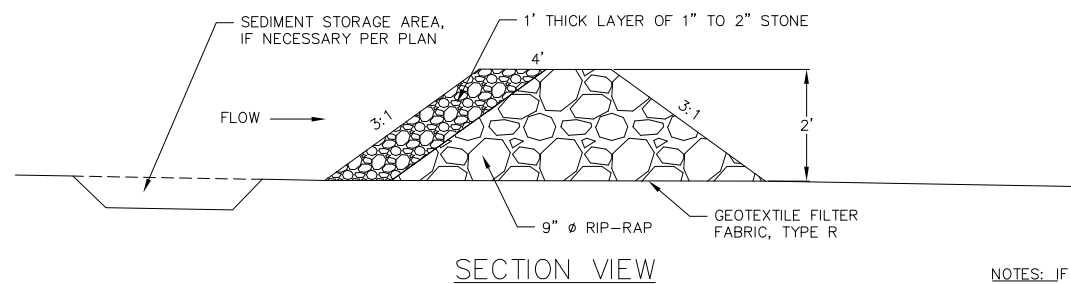
PLAN

SECTION A-A

**CONSTRUCTION SPECIFICATIONS**

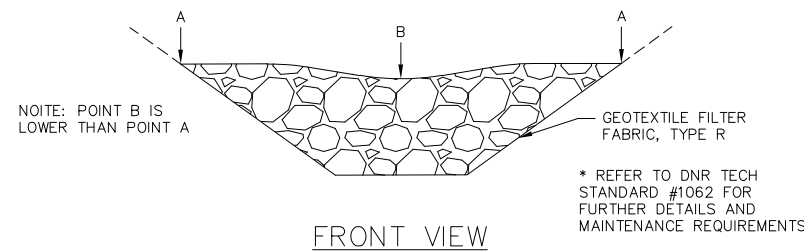
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

**1** TEMPORARY CONCRETE WASHOUT  
NOT TO SCALE



SECTION VIEW

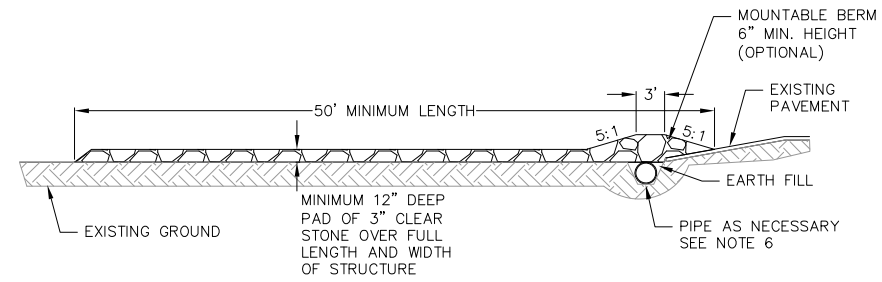
NOTES: IF SITE CONDITIONS WARRANT, CONTRACTOR MAY SUBSTITUTE STONE WEEPER FOR MANUFACTURED DITCH CHECK IN ACCORDANCE WITH DNR TECH STANDARD #1062



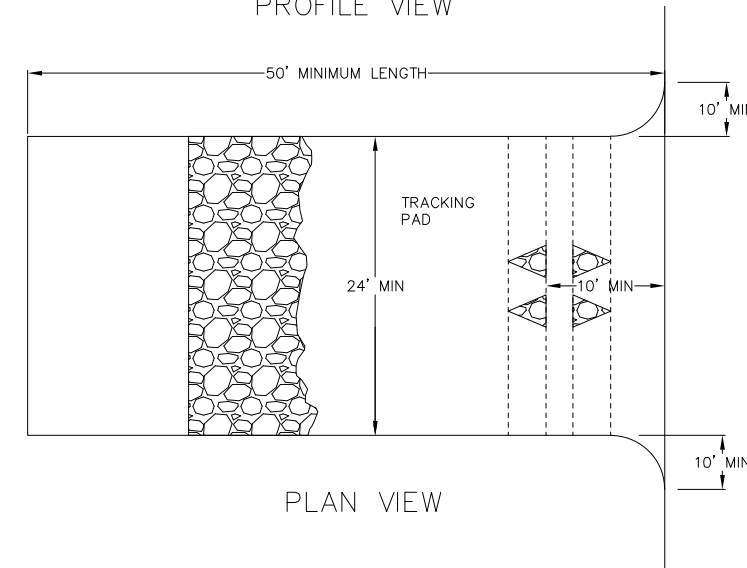
FRONT VIEW

\* REFER TO DNR TECH STANDARD #1062 FOR FURTHER DETAILS AND MAINTENANCE REQUIREMENTS

**1** WEEPER  
NOT TO SCALE



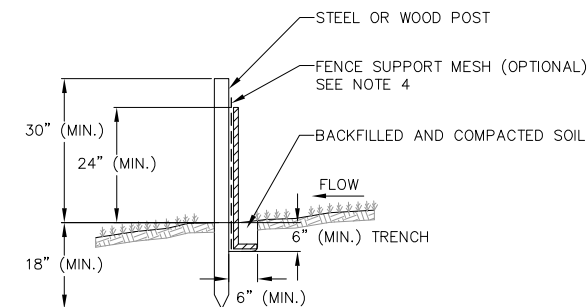
PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

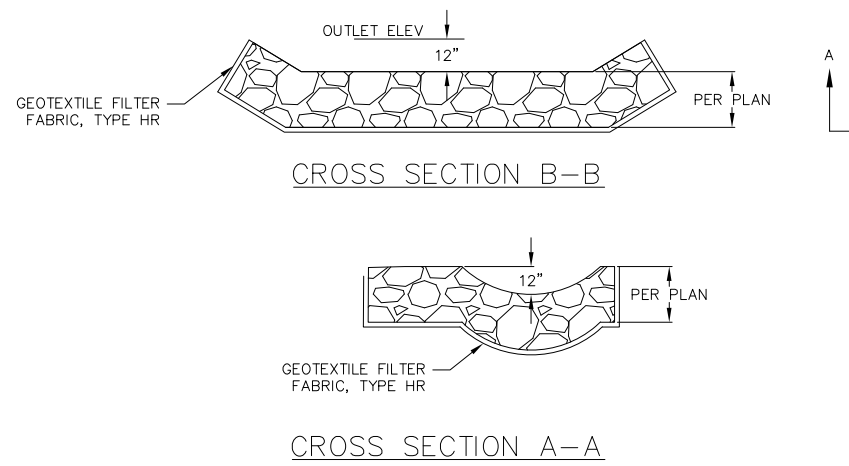
**1** TRACKING PAD  
NOT TO SCALE



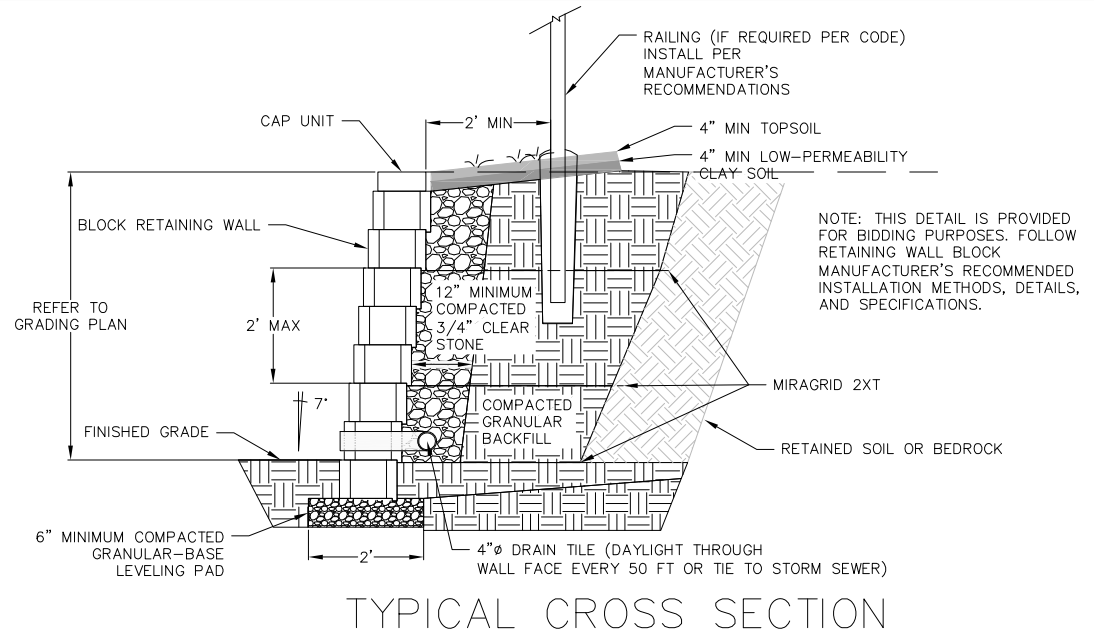
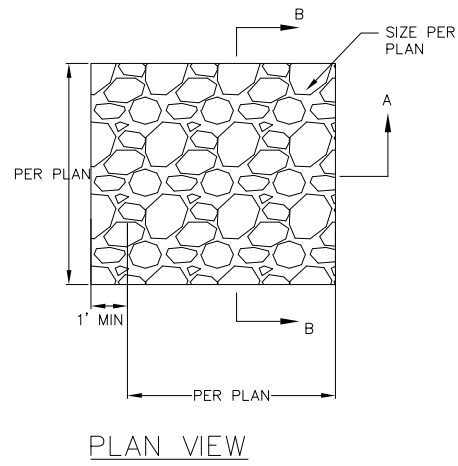
**NOTES:**

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

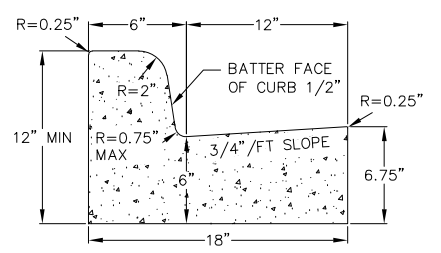
**1** SILT FENCE  
NOT TO SCALE



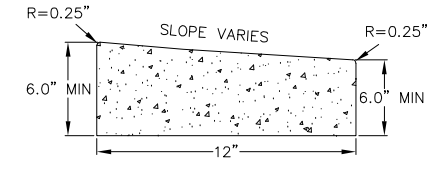
1  
1 RIP-RAP OUTLET  
NOT TO SCALE



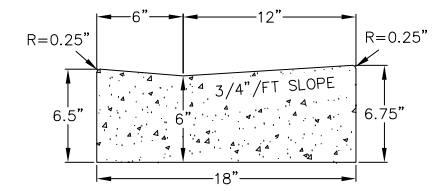
1  
1 LANDSCAPE BLOCK RETAINING WALL SYSTEM  
NOT TO SCALE



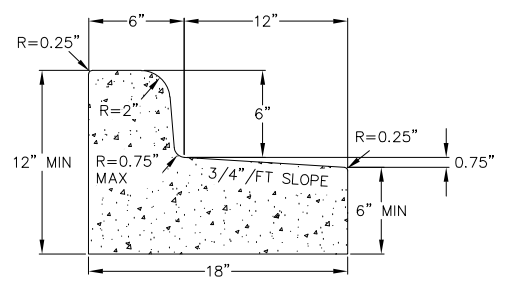
CURB AND GUTTER CROSS SECTION



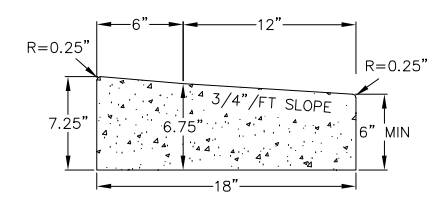
RIBBON CURB CROSS SECTION



HANDICAP RAMP GUTTER CROSS SECTION

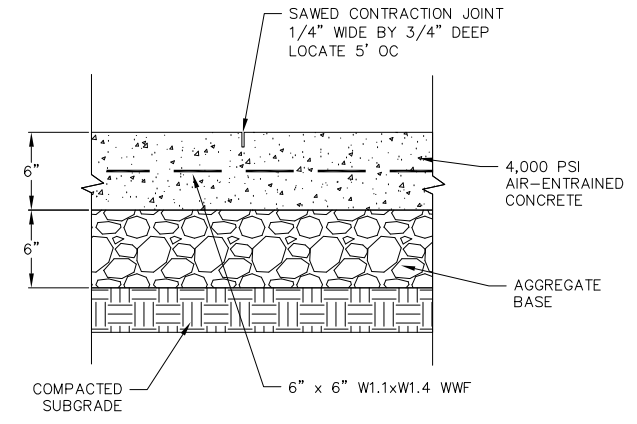


CURB AND GUTTER REJECT SECTION



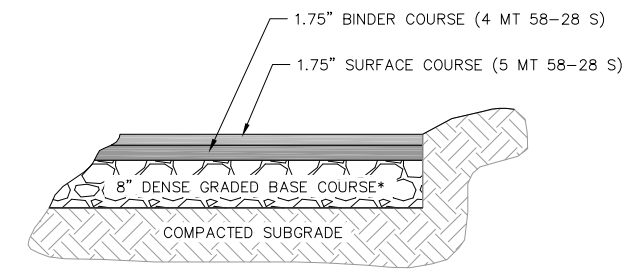
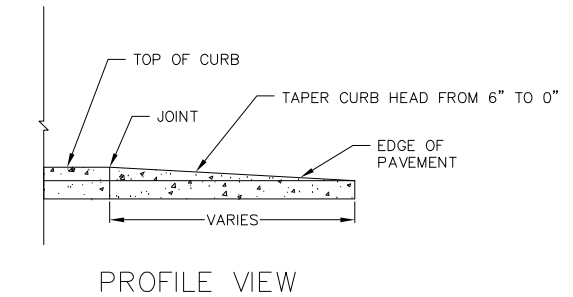
HANDICAP RAMP GUTTER REJECT SECTION

1  
1 CONCRETE PAD  
NOT TO SCALE



1  
1 CONCRETE PAD  
NOT TO SCALE

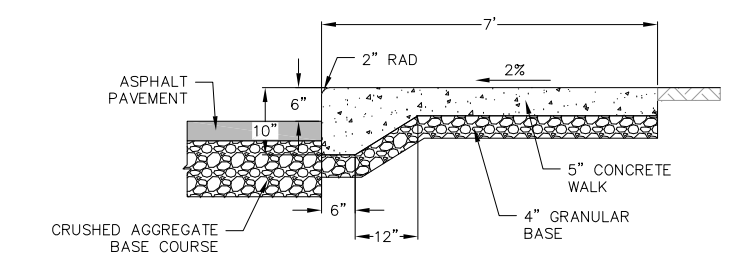
1  
1 CURB & GUTTER TERMINATION  
NOT TO SCALE



\*THE UPPER 4" SHOULD CONSIST OF 1 1/4" DENSE GRADED BASE; THE BOTTOM PART OF THE LAYER CAN CONSIST OF 3" DENSE GRADED BASE

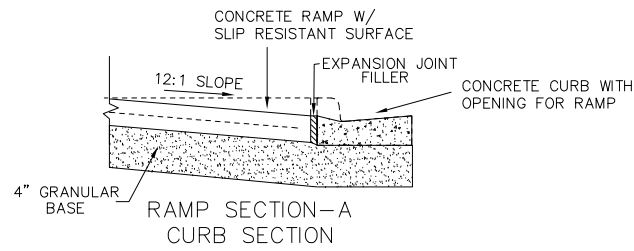
BITUMINOUS PAVEMENT

1  
1 SITE PAVEMENT  
NOT TO SCALE

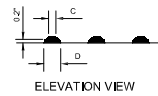
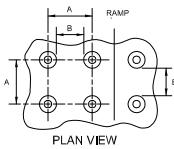


1  
1 CURBED SIDEWALK SITE DETAIL  
NOT TO SCALE

1  
1 18" CONCRETE CURB AND GUTTER  
NOT TO SCALE



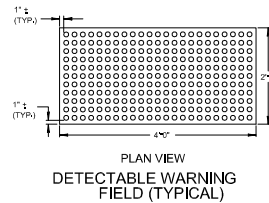
	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"



TRUNCATED DOMES  
DETECTABLE WARNING  
PATTERN DETAIL

\* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION

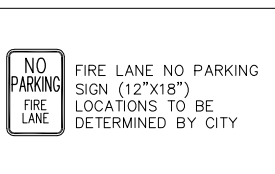
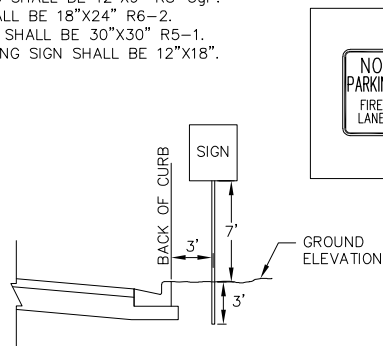
NOTE: 1) MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE VILLAGE ENGINEER.  
2) COLOR SHALL BE A DISSIMILAR COLOR FROM THE ADJACENT PAVED SURFACE AND APPROVED BY THE OWNER AND ENGINEER



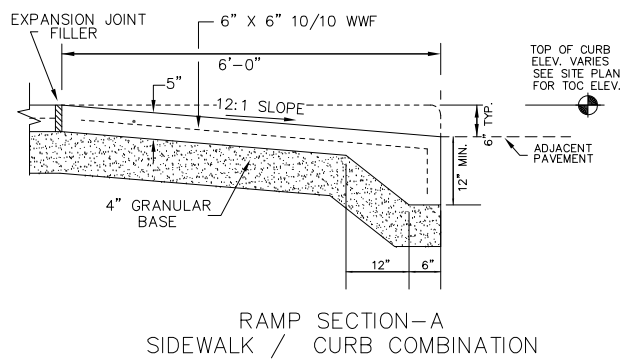
PLAN VIEW  
DETECTABLE WARNING  
FIELD (TYPICAL)

**SIGNAGE NOTES:**

- ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SIGNS SHALL BE A DISTANCE OF 7' FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
- SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.
- LOADING ZONE SIGNS SHALL BE 12"x9" R8-3gP.
- ONE-WAY SIGNS SHALL BE 18"x24" R6-2.
- DO NOT ENTER SIGN SHALL BE 30"x30" R5-1.
- FIRE LANE NO PARKING SIGN SHALL BE 12"x18".



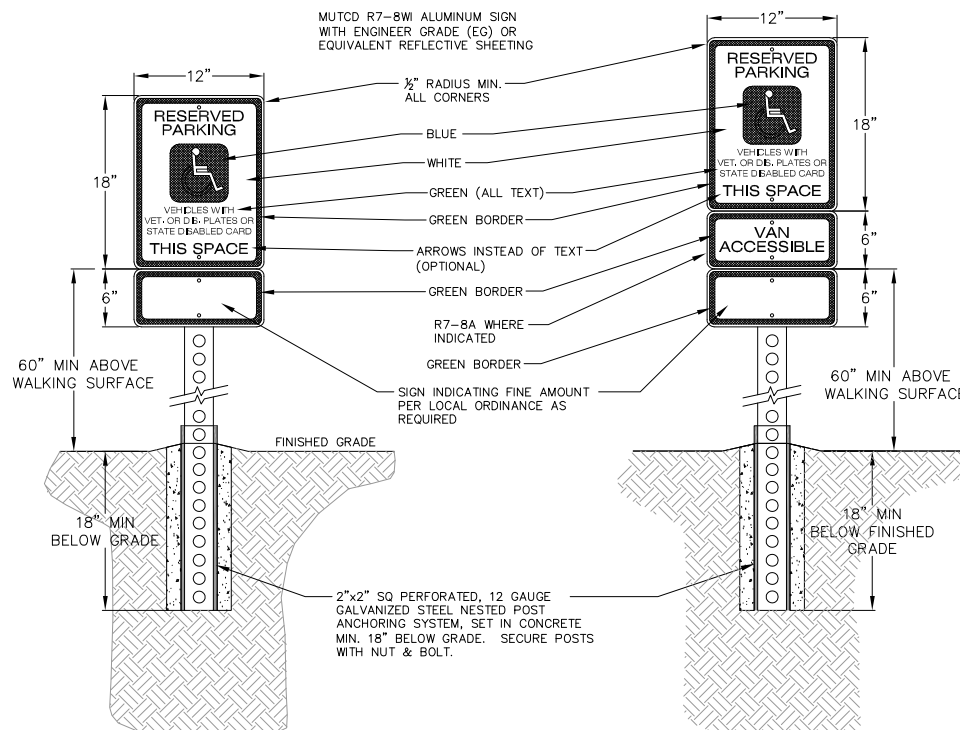
1 STANDARD SIGN  
1 NOT TO SCALE



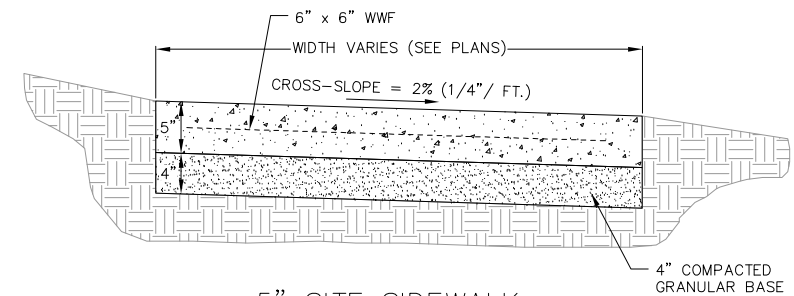
RAMP SECTION-A  
SIDEWALK / CURB COMBINATION

1 CURB RAMP DETAIL  
1 NOT TO SCALE

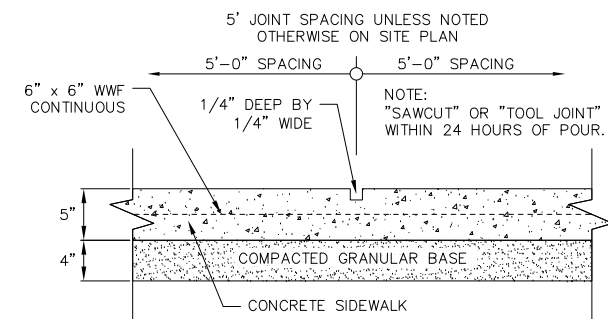
- NOTE:
- SIGN TO BE CENTERED ON PARKING SPACE
  - WHERE DETAIL DIFFERS FROM ARCHITECTURAL SITE PLAN DETAILS, THOSE DETAILS SHALL TAKE PRECEDENCE.



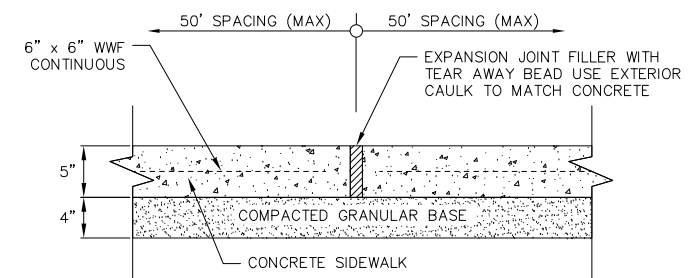
1 ADA SIGN  
1 NOT TO SCALE



5" SITE SIDEWALK



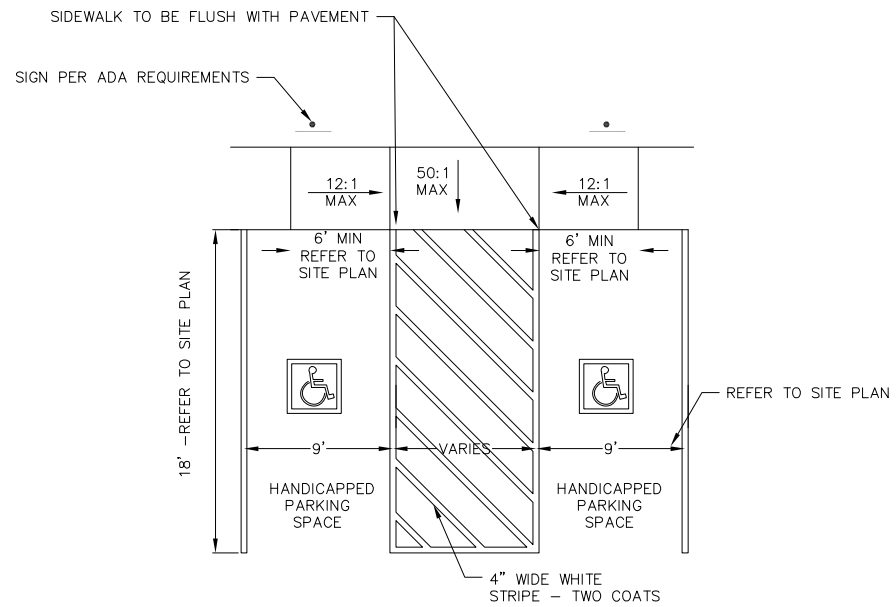
SIDEWALK CONTROL JOINT



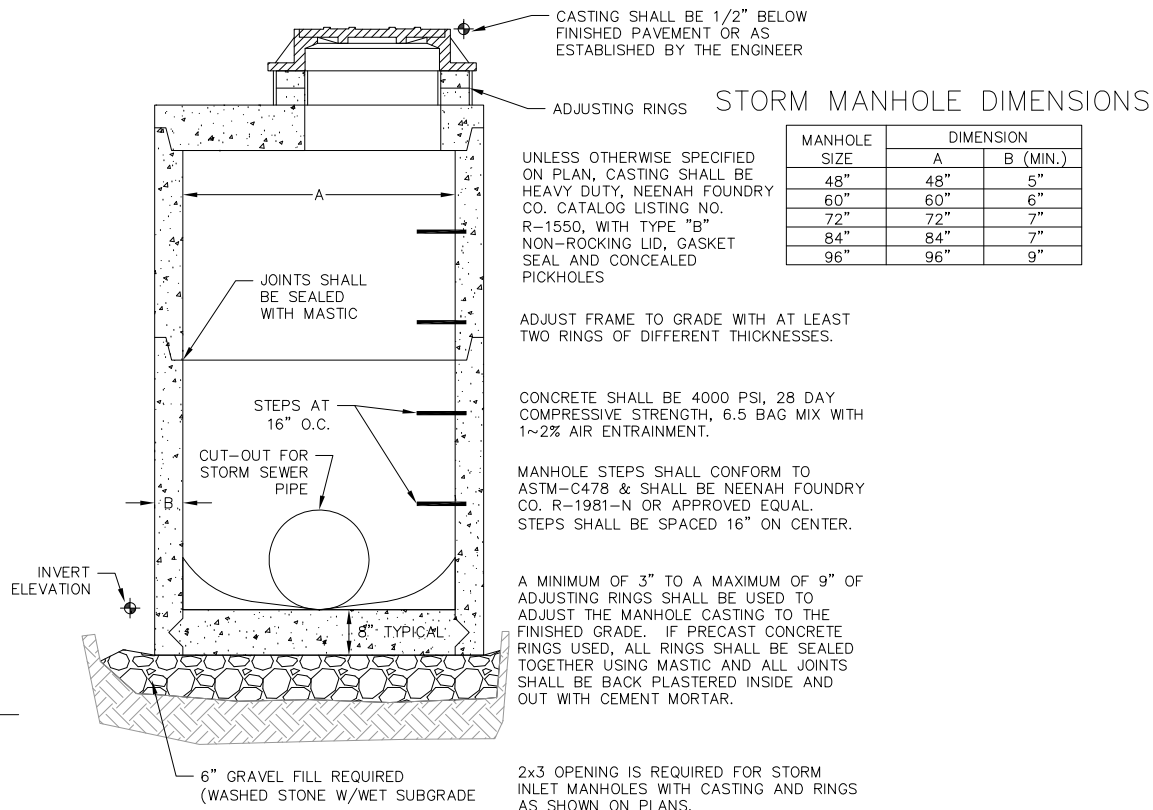
SIDEWALK EXPANSION JOINT

1 5" SIDEWALK  
1 NOT TO SCALE

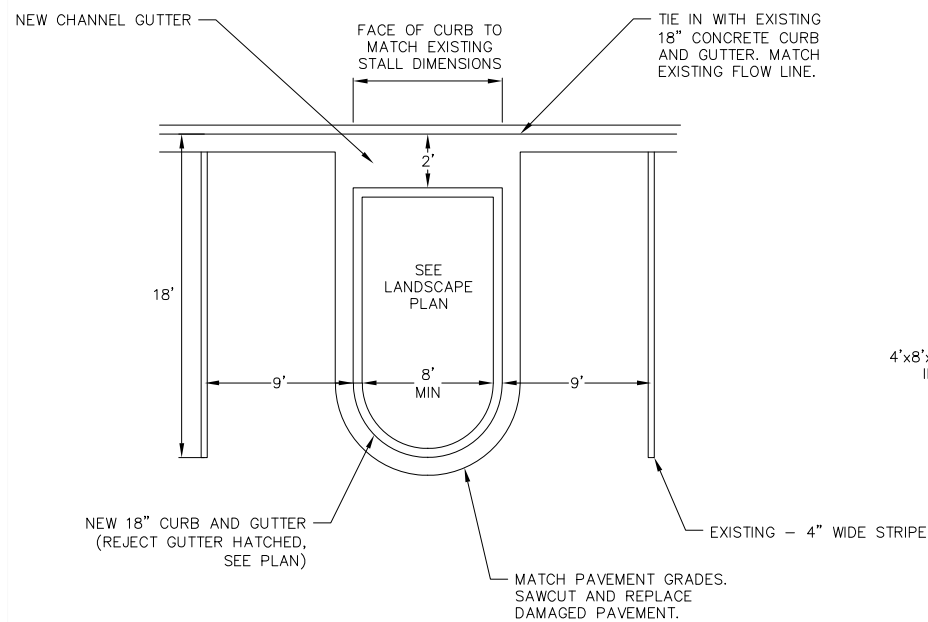




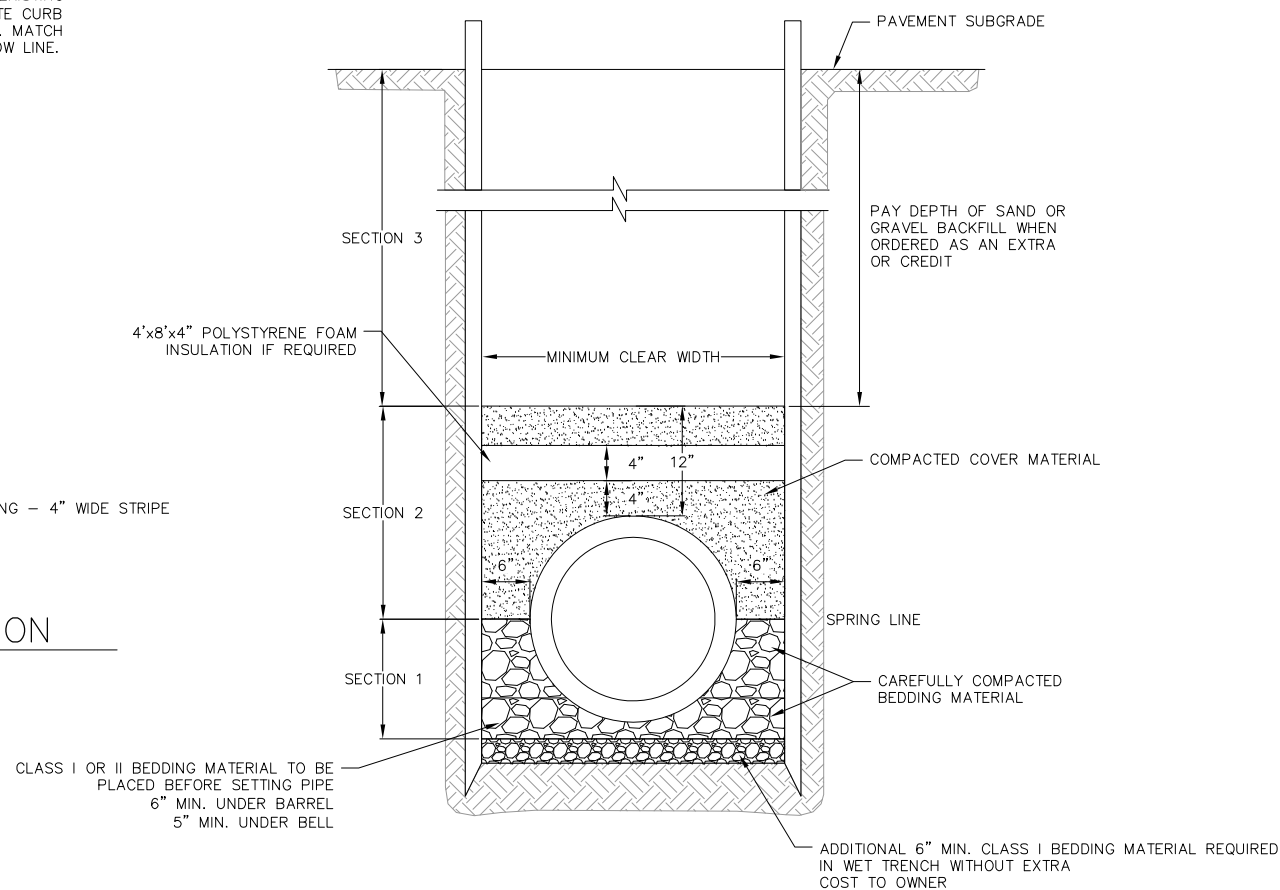
1 ADA STRIPING  
1 NOT TO SCALE



1 STORM SEWER MANHOLE  
1 NOT TO SCALE



1 LANDSCAPED ISLAND CONVERSION  
1 NOT TO SCALE



1 STANDARD RIGID STORM SEWER TRENCH SECTION - CLASS B  
1 NOT TO SCALE

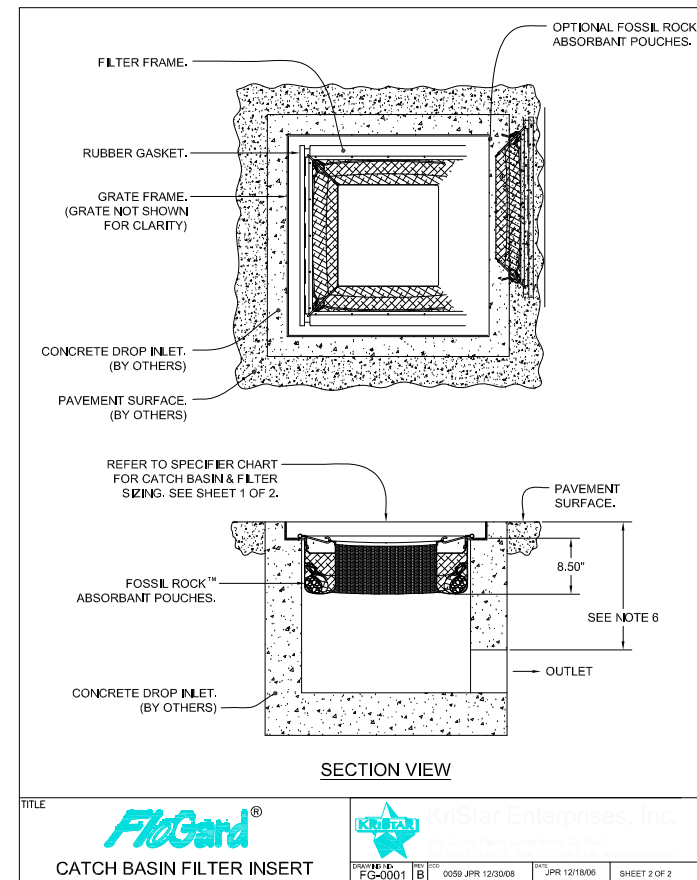
SPECIFIER CHART			
MODEL	INLET ID	GRATE OD	COMMENTS
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436D	24" X 36"	24" X 40"	GRATED INLET
FF-RF24D	24" DIA.	26" DIA.	CIRCULAR INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	38" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET

**NOTES:**

- FibGard® filter body is prefabricated from polypropylene woven monofilament geotextile.
- All metal components shall be constructed from stainless steel Type 304.
- Refer to Specifier Chart for catch basin and filter sizing.
- Filter inserts are supplied with optional "foam" filter pouches utilizing fossil rock™ filter medium for the collection and retention of petroleum hydrocarbons (oil & greases).
- FibGard® filter inserts and fossil rock™ filter medium pouches must be maintained in accordance with manufacturer recommendations.
- Catch basin depth must not allow filter body to obstruct outlet pipe. See sheet 2 of 2.

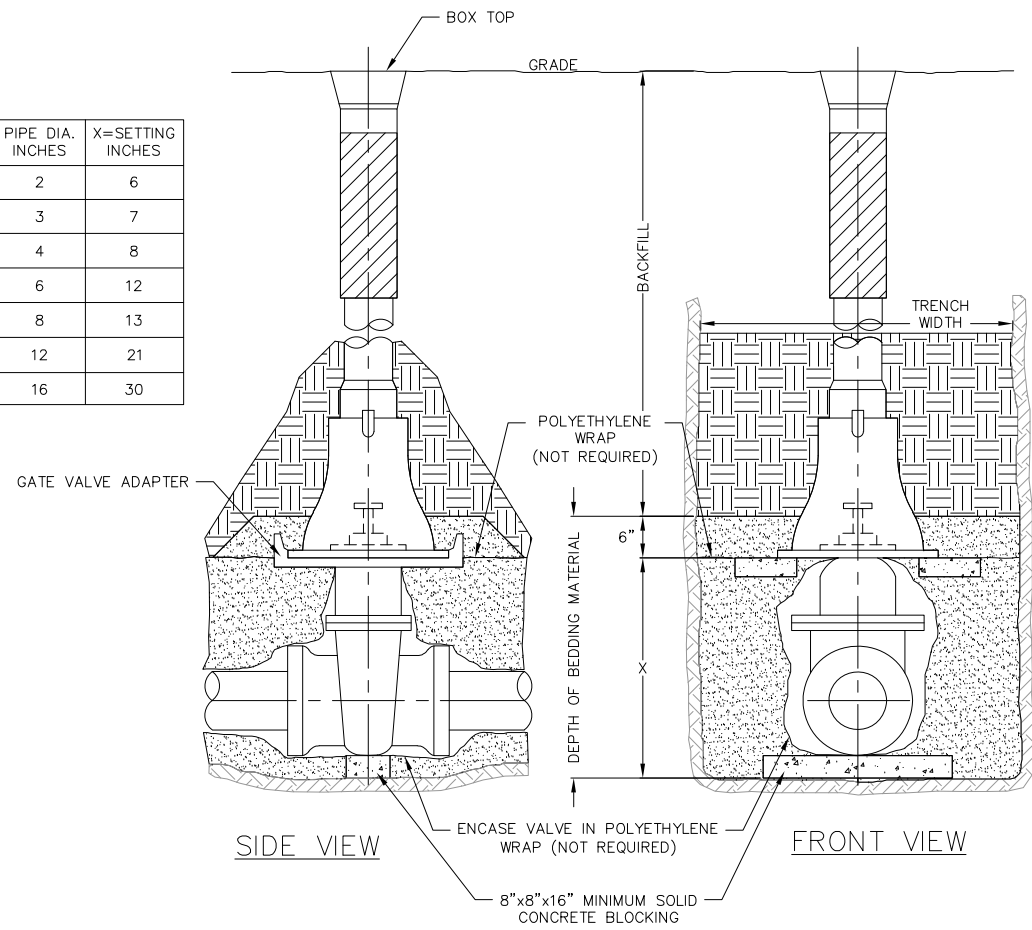
**CATCH BASIN FILTER INSERT**

FF-0001 B 0059 JPR 12/30/08 JPR 12/18/06 SHEET 1 OF 2

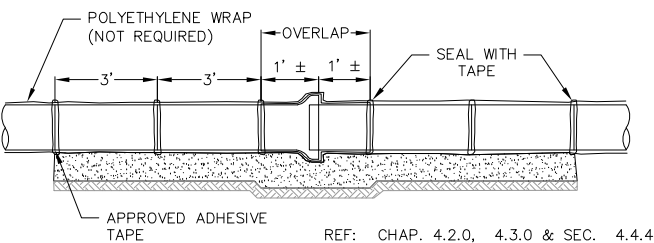
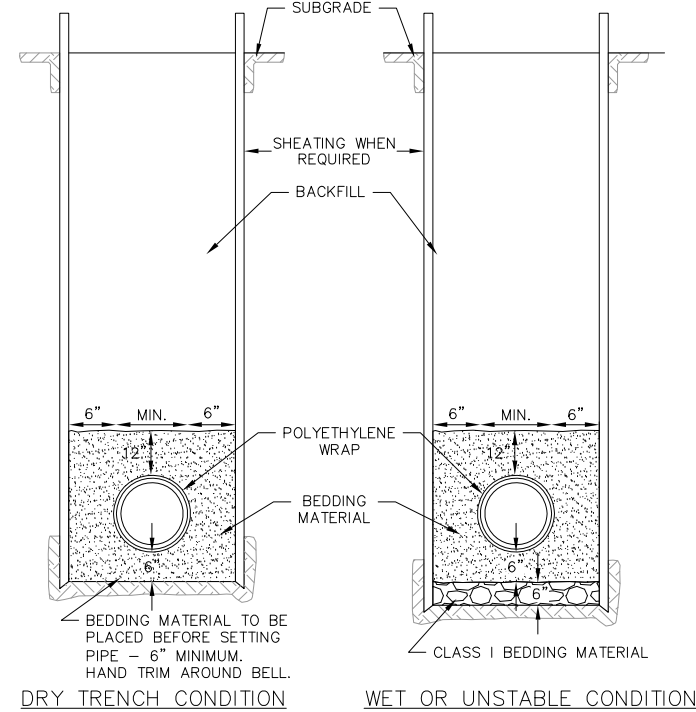


1 STORM INLET FILTER  
1 NOT TO SCALE

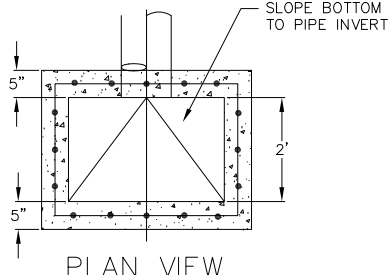
PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30



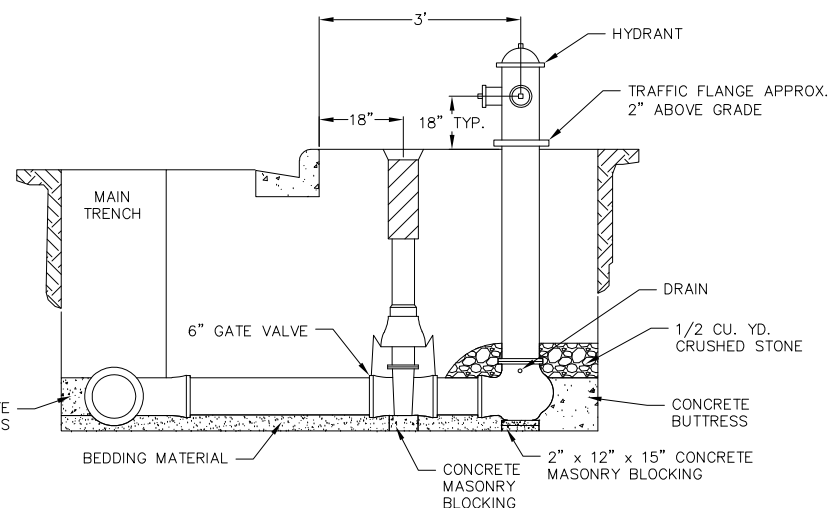
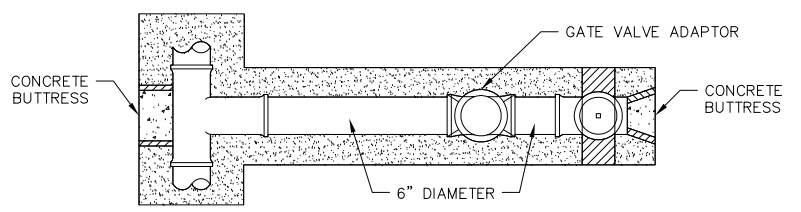
1 STANDARD GATE VALVE BOX SETTING  
1 NOT TO SCALE



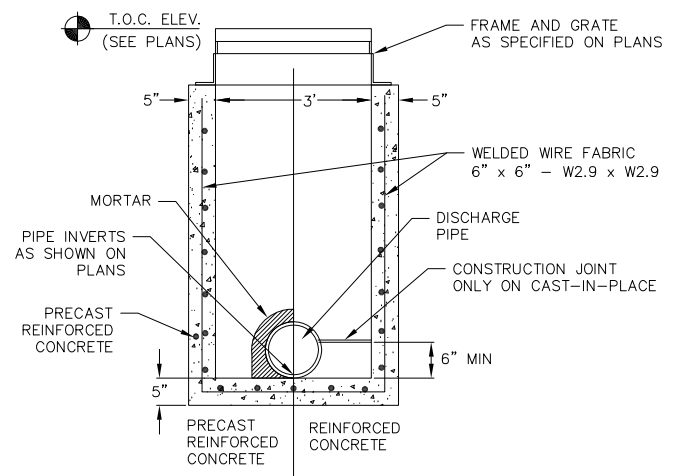
1 STANDARD WATER MAIN TRENCH SECTION  
1 NOT TO SCALE



PLAN VIEW

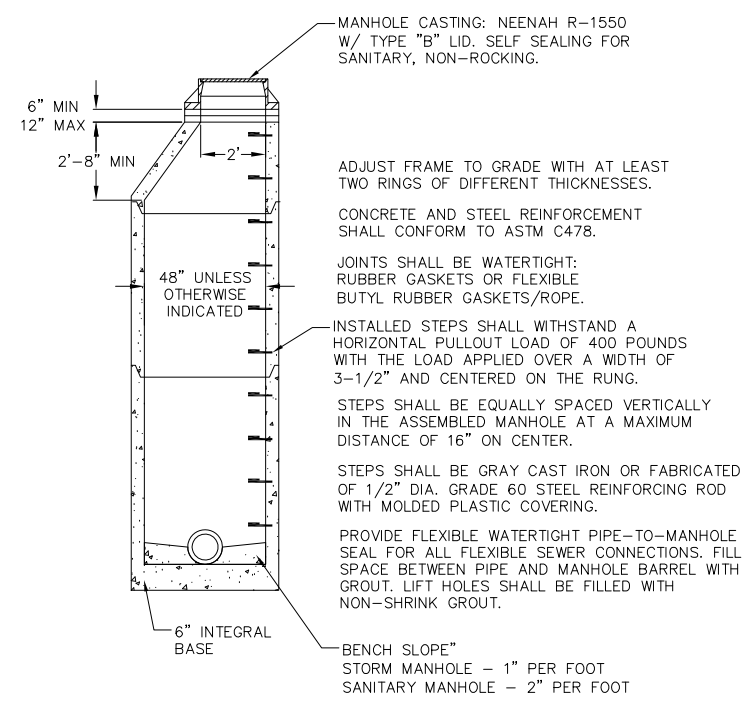


1 STANDARD HYDRANT SETTING  
1 NOT TO SCALE



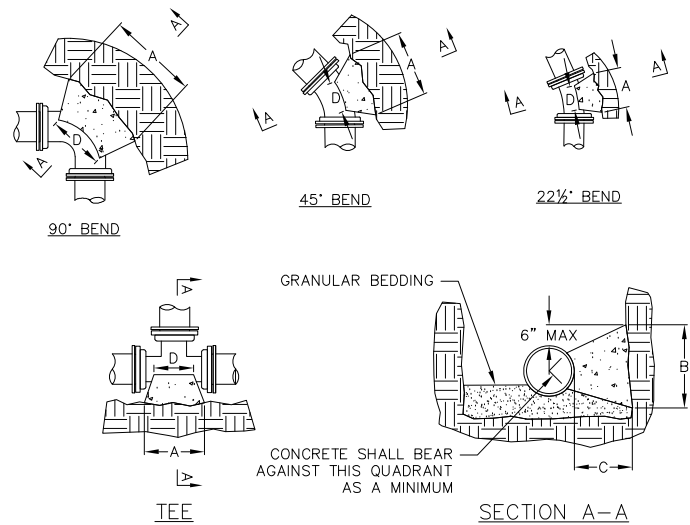
CROSS SECTION

1 CURB INLET - TYPE 3, 2' x 3' BASIN  
1 NOT TO SCALE



1 PRECAST CONCRETE MANHOLE  
1 NOT TO SCALE





DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

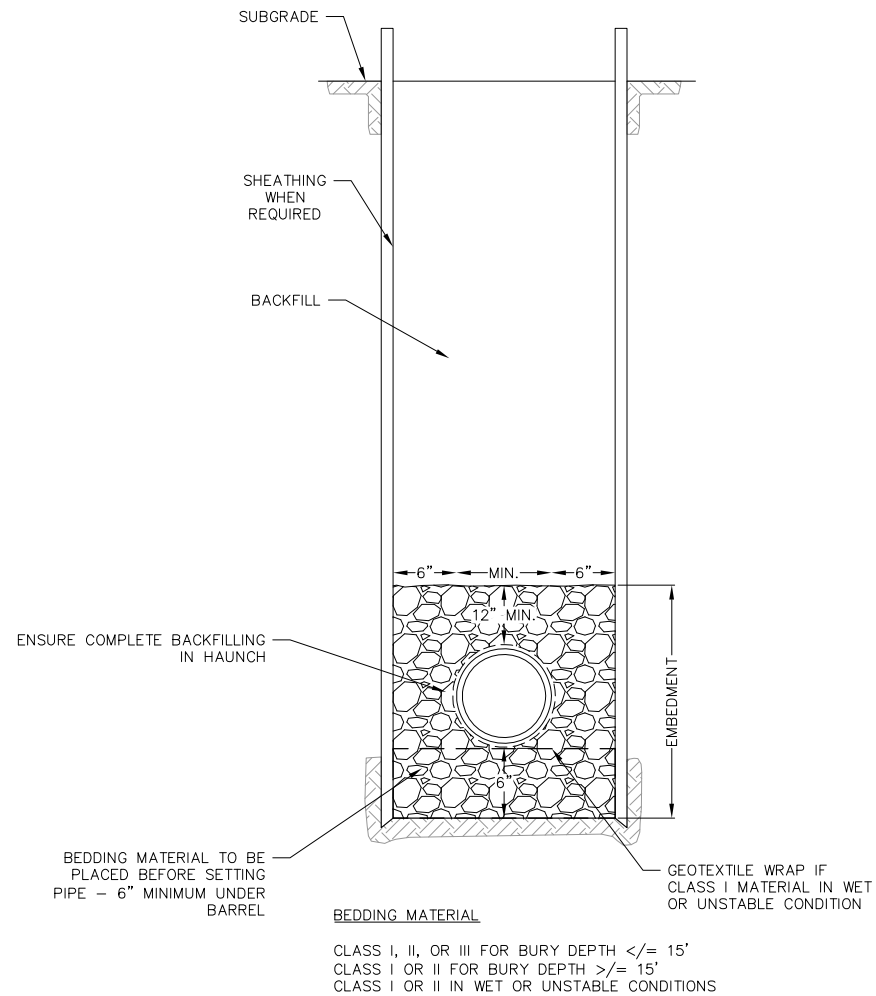
DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

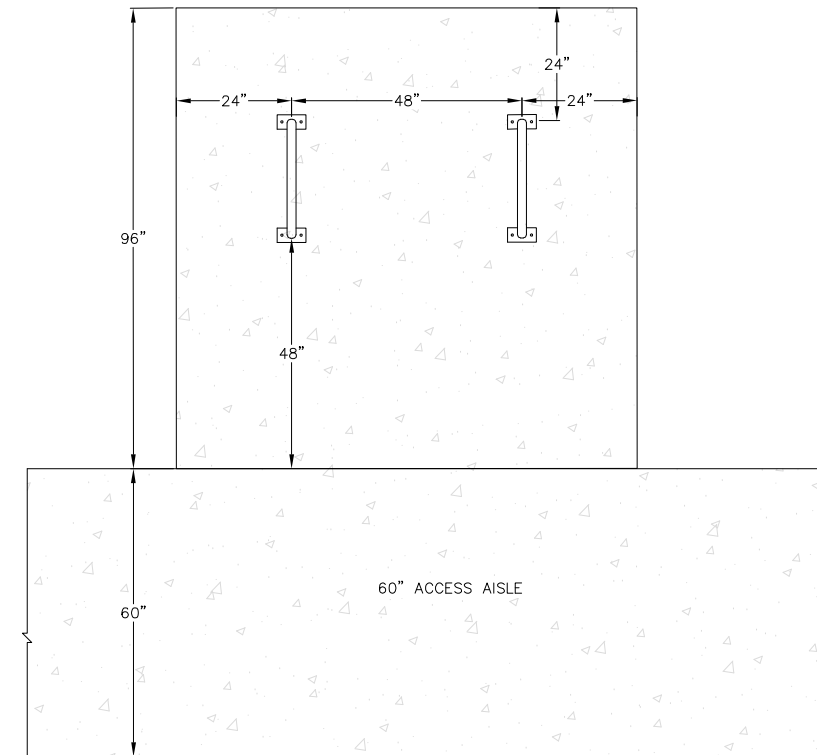
PIPE SIZE*	BUTTRISS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
4	0'-10"	1'-6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
6	1'-6"	1'-8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
8	1'-9"	2'-4"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
10	1'-9"	2'-4"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
12	2'-3"	1'-7"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
16	3'-8"	2'-10"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
20	5'-0"	3'-10"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"
24	5'-4"	4'-8"						

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

\* = FOR TEE THIS WILL BE THE BRANCH PIPE

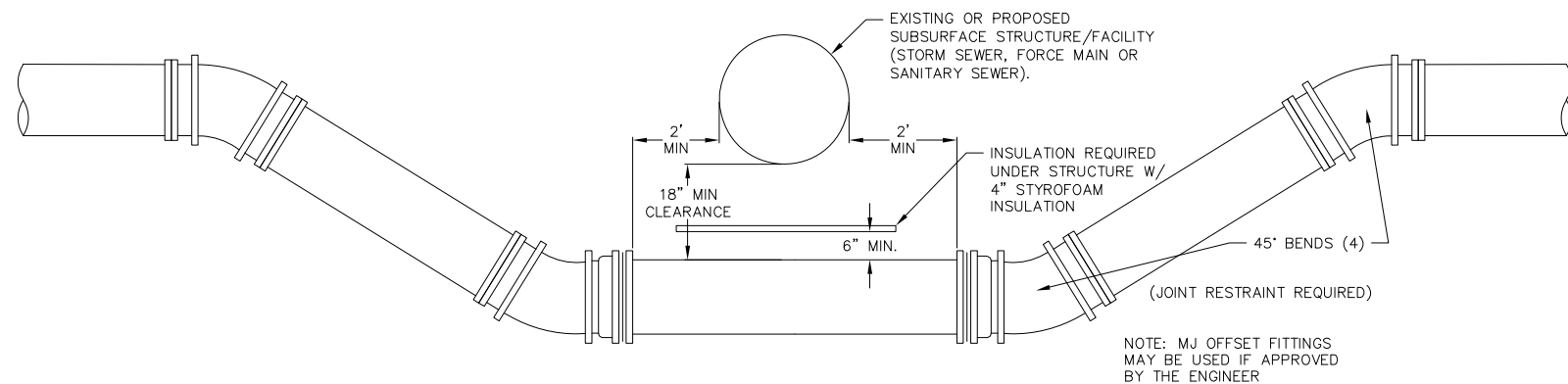


1 BIKE RACK LAYOUT (TYPICAL)  
1 NOT TO SCALE

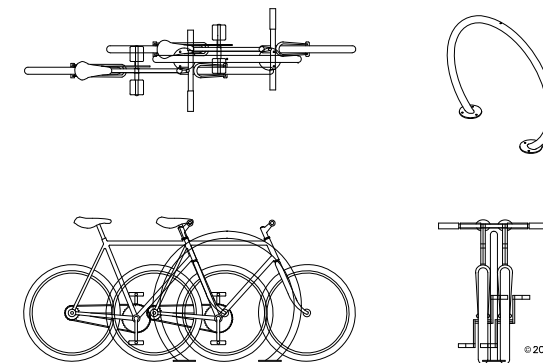


1 BUTTRISS FOR BENDS  
1 NOT TO SCALE

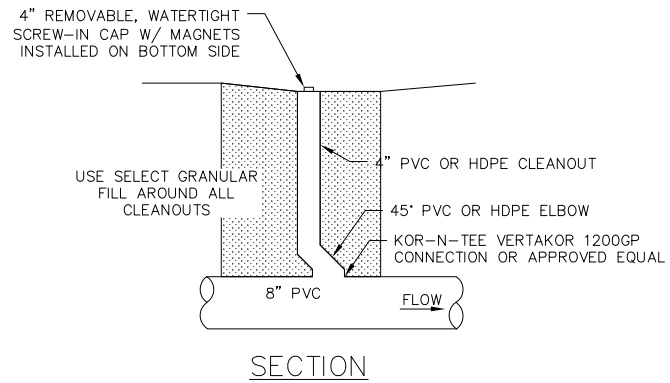
1 STANDARD SANITARY TRENCH SECTION  
1 NOT TO SCALE



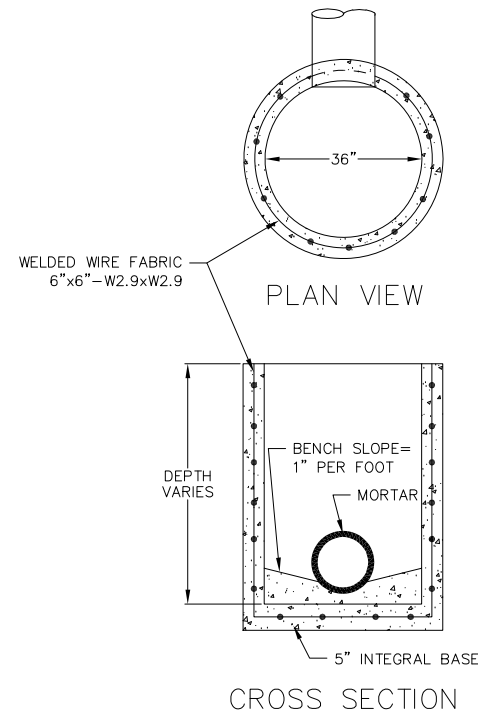
1 LOWERING WATERMAIN UNDER STORM STRUCTURE  
1 NOT TO SCALE



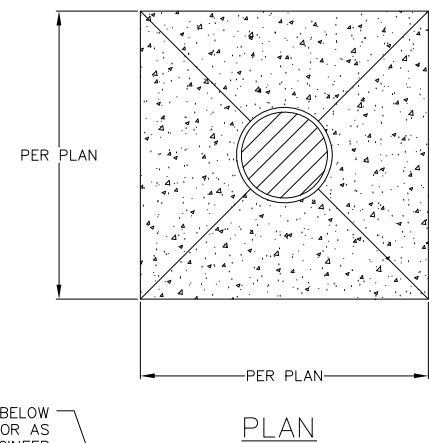
1 ROUND BIKE RACK BY DERO DETAIL  
1 NOT TO SCALE



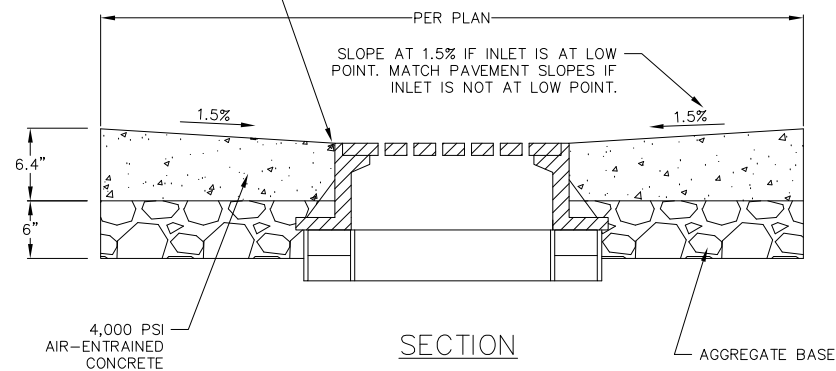
1 STORM SEWER CLEANOUT  
1 NOT TO SCALE



1 FIELD INLET (36" DIA. BASIN)  
1 NOT TO SCALE

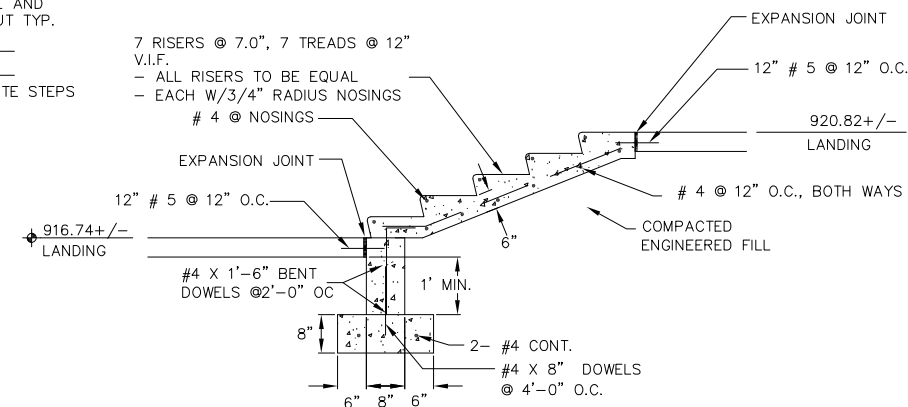
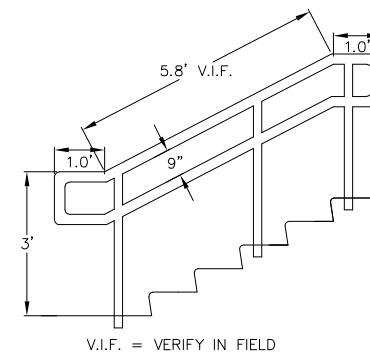
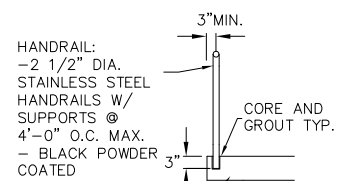


CASTING SHALL BE 1/2" BELOW FINISHED PAVEMENT OR AS ESTABLISHED BY THE ENGINEER



1 CONCRETE COLLAR FOR FIELD INLET  
1 NOT TO SCALE

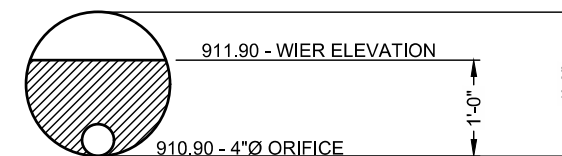
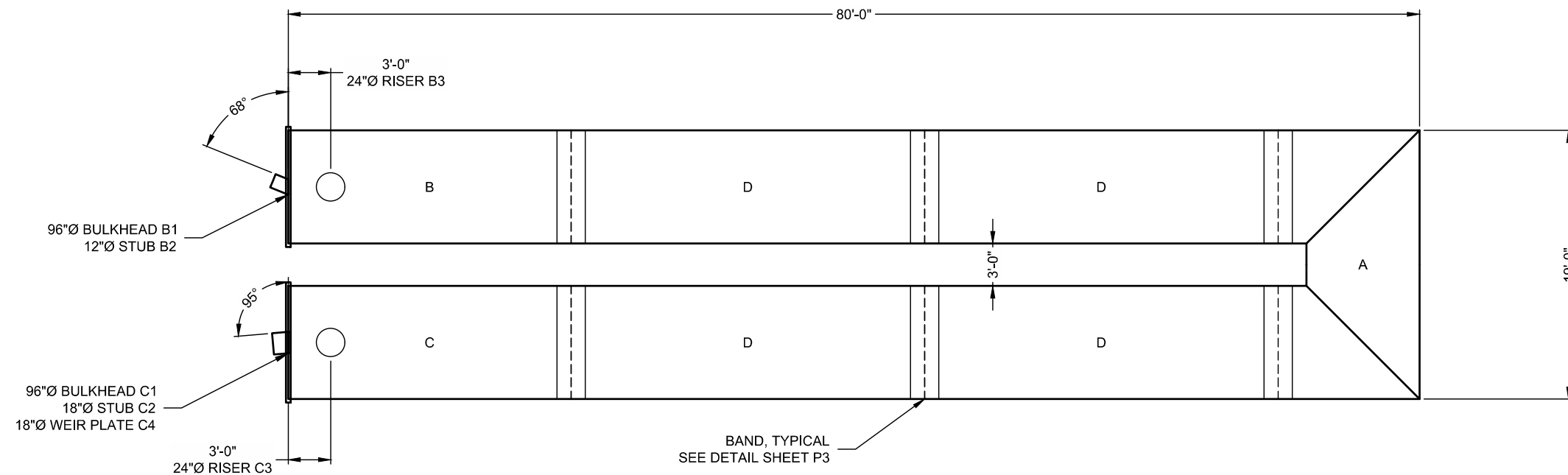
- NOTES:
1. ALL REBAR TO BE EPOXY COATED
  2. EXPANSION JOINTS TO BE 1/2" WITH COMPRESSIBLE FILLER, BACKER ROD AND CAULK.
  3. STEEL REINFORCEMENT MINIMUM 3" CLEAR FROM EARTH SURFACE AND 2" CLEAR FROM EXPOSED SURFACE.
  4. STAIR TREADS AND RISERS SHALL BE CONSISTENT DEPTHS AND HEIGHTS RESPECTIVELY BASED UPON FIELD CONDITIONS.
  5. SLOPE STAIR TREADS AT 2% (TYP.)
  6. APPLY LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC TO ALL CONCRETE FLATWORK.



1 CONCRETE STAIRS AND HANDRAIL  
1 NOT TO SCALE

STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
12"Ø STUB B2	910.90	906.90
18"Ø STUB C2	910.90	906.90

RISER INFORMATION		
PIECE	RIM ELEV.	SYSTEM INVERT
24"Ø RISER B3	916.80	906.90
24"Ø RISER C3	916.62	906.90



### WIER PLATE C4

1"=2'

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (4) PAGES INCLUDING THE FOLLOWING:

- PIPE STORAGE = 8,194 CF
- MAINLINE PIPE GAGE = 14
- WALL TYPE = SOLID
- DIAMETER = 96"
- FINISH = ALT2
- CORRUGATION = 5x1

CUSTOMER \_\_\_\_\_

DATE \_\_\_\_\_

### ASSEMBLY

SCALE: 1" = 10'  
 PIPE STORAGE: 8,194 CF  
 LOADING: H2O  
 PIPE INV. = 906.90'±

### NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2½" x ½" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
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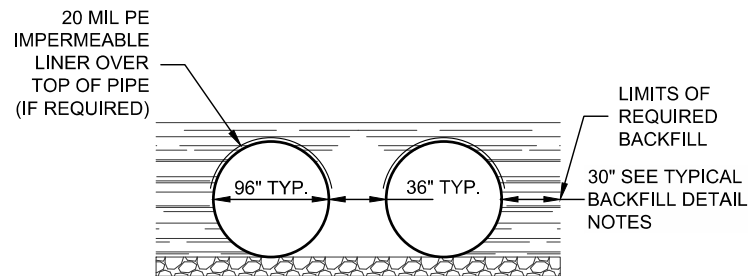
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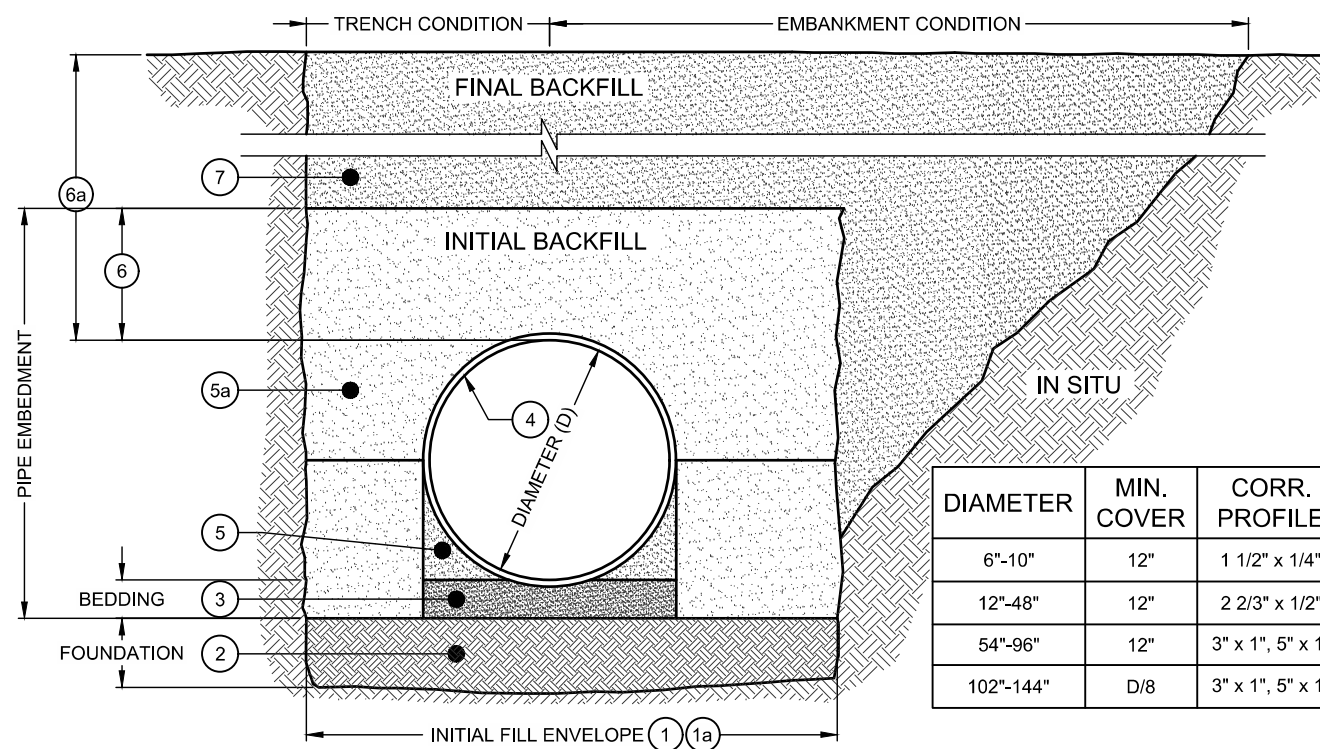
96"Ø UNDERGROUND DETENTION SYSTEM - 636755-010  
 EAST SPRINGS DRIVE REDEVELOPMENT  
 MADISON, WI  
 SITE DESIGNATION: P1 - WEST DETENTION

PROJECT No.: 636755	SEQ. No.: 010	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P1	OF	4



**TYPICAL SECTION VIEW**  
NOT TO SCALE

**NOTE:** IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.



**BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC 12) AND CONSTRUCTION (SEC 26)**

- 1 MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE. THE MINIMUM TRENCH WIDTH (12.6.6.1):  
PIPE ≤ 12": D + 16"  
PIPE > 12": 1.5D + 12"
- 1a MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE (12.6.6.2):  
PIPE < 24": 3.0D  
PIPE 24" - 144": D + 4'0"  
PIPE > 144": D + 10'0"
- 2 THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.5.2).
- 3 ENGINEER TO DETERMINE IF BEDDING IS REQUIRED. BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRUGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUGATION DEPTH (26.3.8.1, 26.5.3).
- 4 CORRUGATED STEEL PIPE (CSP / HEL-COR).
- 5 HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.5.4).
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**NOTES:**

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- FOR MULTIPLE BARREL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE PIPE DIA./2 BUT NO LESS THAN 12", OR 36" FOR PIPE DIAMETERS 72" AND LARGER.
- CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C12.6.7-1).

**TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

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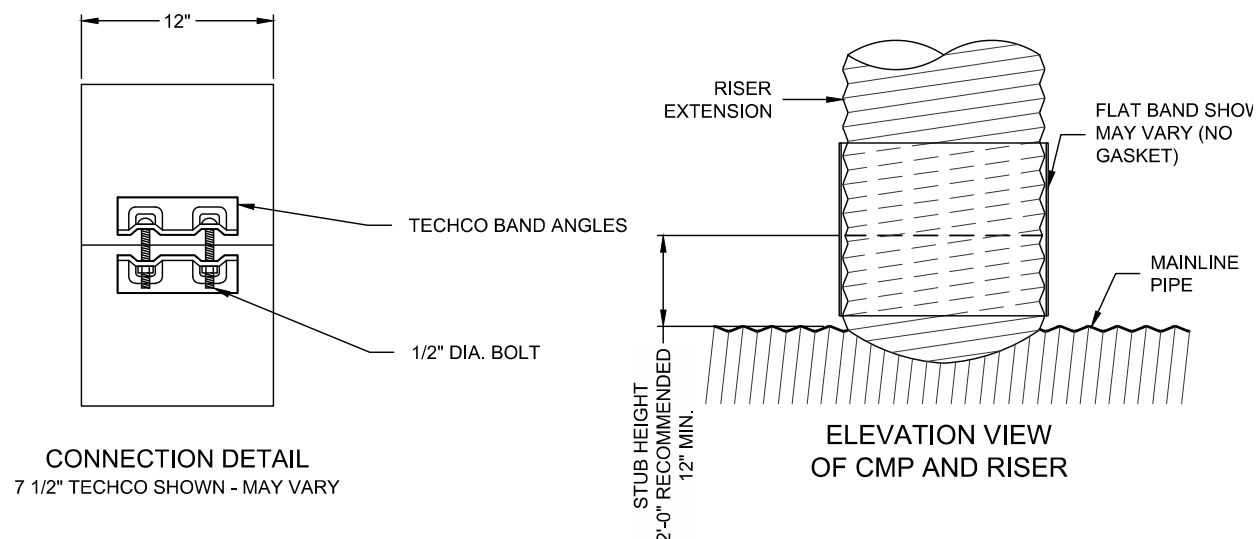
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96"Ø UNDERGROUND DETENTION SYSTEM - 636755-010  
EAST SPRINGS DRIVE REDEVELOPMENT  
MADISON, WI  
SITE DESIGNATION: P1 - WEST DETENTION

PROJECT No.: 636755	SEQ. No.: 010	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P2	OF	4

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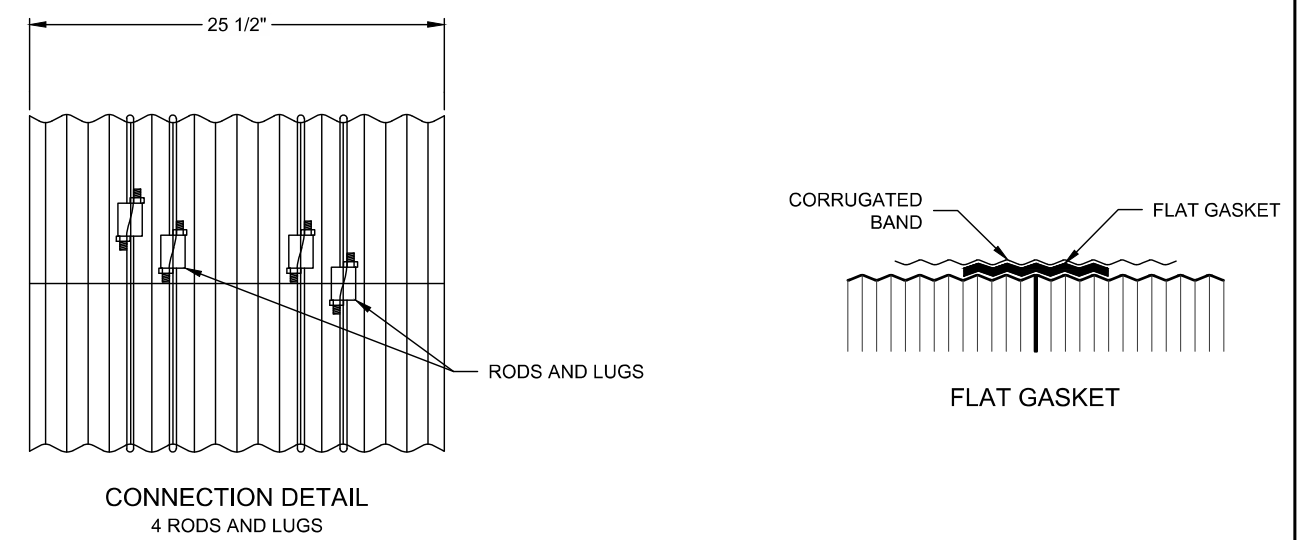


**PLAIN END CMP RISER PIPE**

GENERAL NOTES:

1. DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
2. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
3. BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
4. IF RISER HAS A HEIGHT OF COVER OF 10' OR MORE, USE A SLIP JOINT.
5. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" 2-PIECES
6. ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
7. MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
8. DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

**12" RISER BAND DETAIL**  
NOT TO SCALE



**2 2/3"x1/2" RIVETED PIPE**

GENERAL NOTES:

1. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
2. BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
3. BANDS ARE SHAPED TO MATCH THE PIPE-ARCH WHEN APPLICABLE.
4. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" THRU 96" 2-PIECES
  - 102" THRU 144" 3-PIECES
5. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
6. ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2 2/3"x1/2"
7. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
8. ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

**10-C BAND DETAIL**  
NOT TO SCALE

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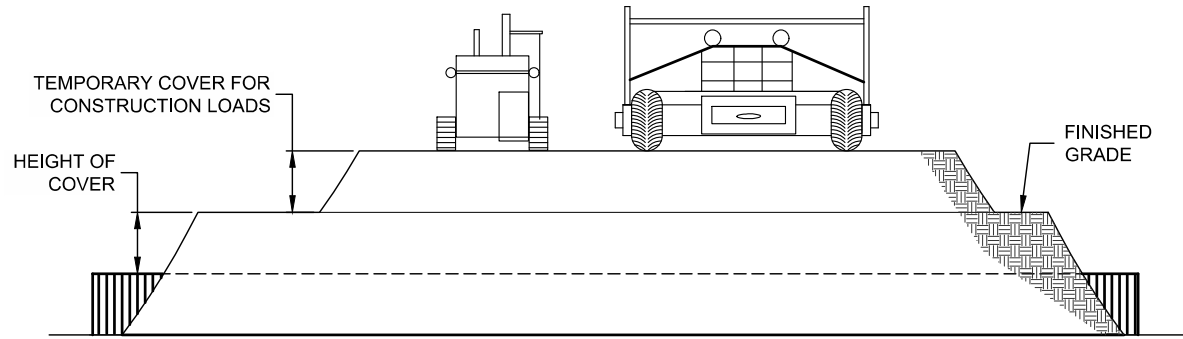
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96"Ø UNDERGROUND DETENTION SYSTEM - 636755-010  
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SHEET NO.: P3 OF 4		



**CONSTRUCTION LOADS**

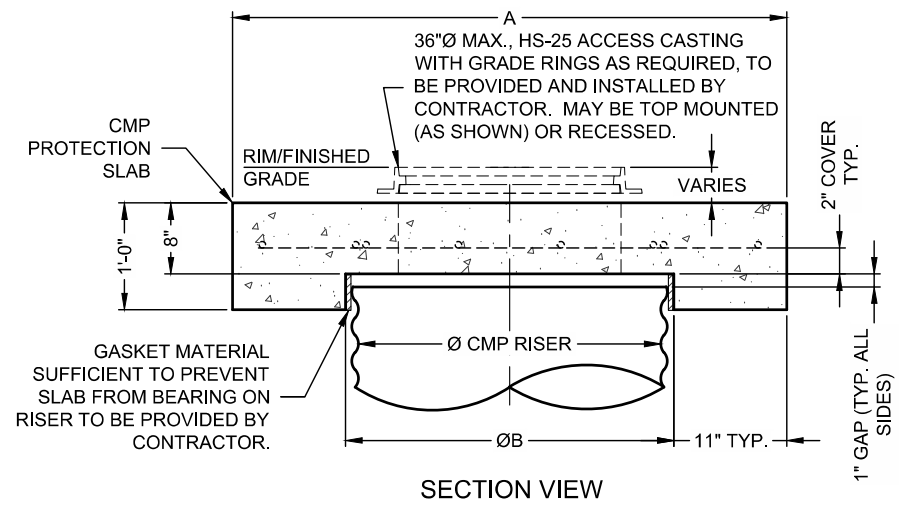
FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

\*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

**CONSTRUCTION LOADING DIAGRAM**

NOT TO SCALE

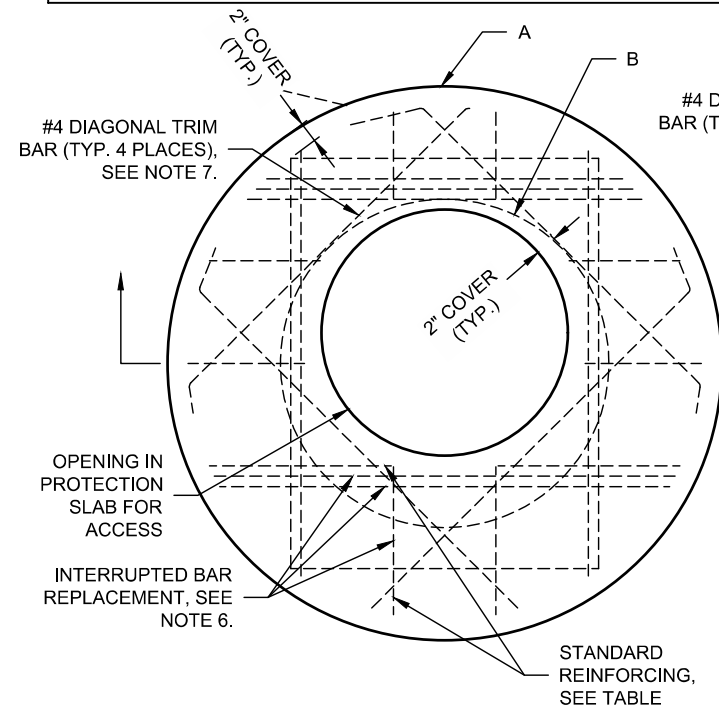


SECTION VIEW

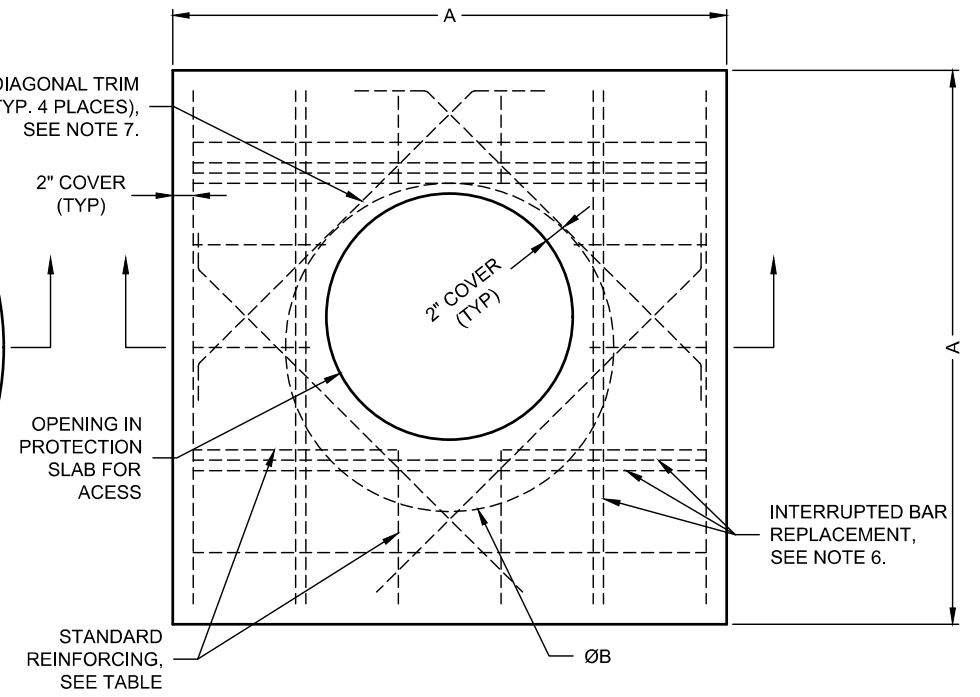
REINFORCING TABLE				
Ø CMP RISER	A	B Ø	REINFORCING	**BEARING PRESSURE (PSF)
24"	4'Ø 4'x4'	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	4'-6"Ø 4'-6" x 4'-6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	5'Ø 5' x 5'	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	5'-6"Ø 5'-6" x 5'-6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	6'Ø 6' x 6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

\*\* ASSUMED SOIL BEARING CAPACITY

**ACCESS CASTING NOT SUPPLIED BY CONTECH**



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION AND ACI 350.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 4,000 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.

- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

**MANHOLE CAP DETAIL**

NOT TO SCALE

**SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL**

**SCOPE**

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

**MATERIAL**

THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A929.

**PIPE**

THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M36 OR ASTM A760. THE PIPE SIZES, GAGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

**HANDLING AND ASSEMBLY**

SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSPA)

**INSTALLATION**

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

**MATERIAL SPECIFICATION**

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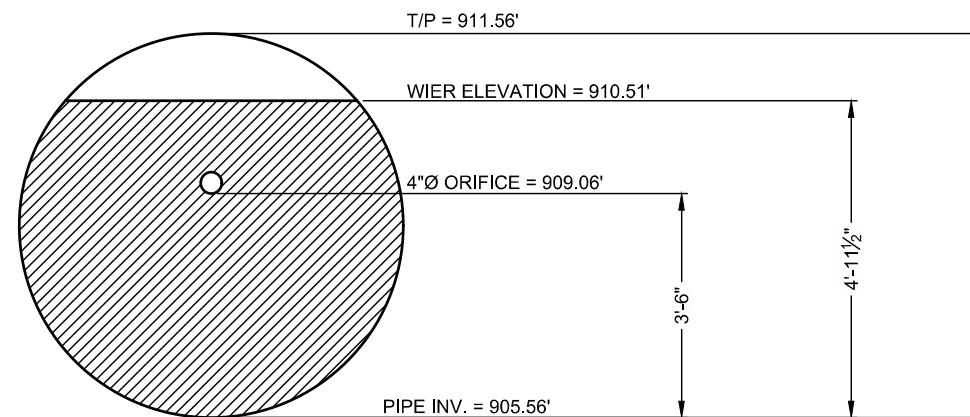
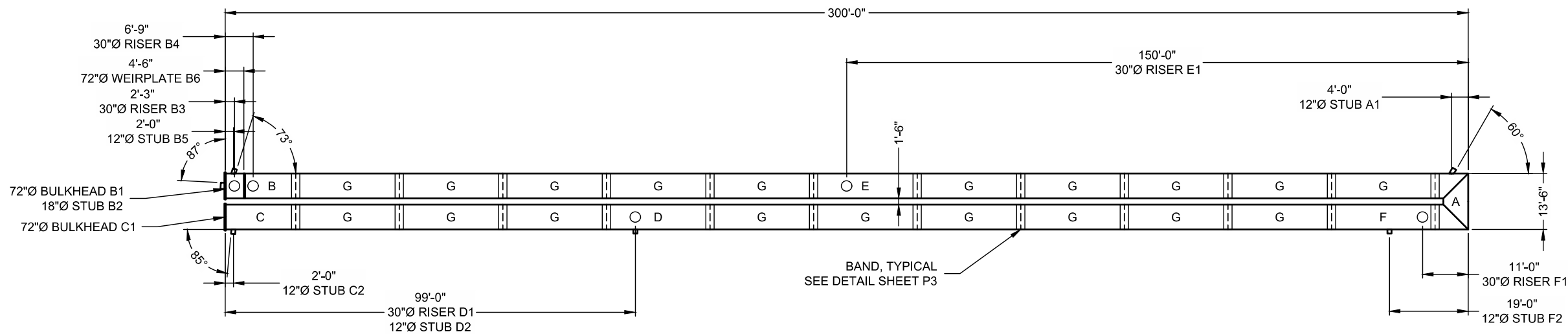
96"Ø UNDERGROUND DETENTION SYSTEM - 636755-010  
EAST SPRINGS DRIVE REDEVELOPMENT  
MADISON, WI  
SITE DESIGNATION: P1 - WEST DETENTION

PROJECT No.: 636755	SEQ. No.: 010	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET No.: P4	OF	4

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STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
12"Ø STUB A1	909.06	905.56
18"Ø STUB B2	909.06	905.56
12"Ø STUB B5	910.06	905.56
12"Ø STUB C2	909.06	905.56
12"Ø STUB D2	910.06	905.56
12"Ø STUB F2	910.06	905.56

RISER INFORMATION		
PIECE	RIM ELEV.	SYSTEM INVERT
30"Ø RISER B3	913.78	905.56
30"Ø RISER B4	913.88	905.56
30"Ø RISER D1	916.34	905.56
30"Ø RISER E1	918.27	905.56
30"Ø RISER F1	918.29	905.56



**WIER PLATE B6**  
1"=3'

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (4) PAGES INCLUDING THE FOLLOWING:

- PIPE STORAGE = 17,008 CF
- MAINLINE PIPE GAGE = 16
- WALL TYPE = SOLID
- DIAMETER = 72"
- FINISH = ALT2
- CORRUGATION = 5x1

CUSTOMER \_\_\_\_\_

DATE \_\_\_\_\_

**ASSEMBLY**

SCALE: 1" = 30'  
PIPE STORAGE: 17,008 CF  
LOADING: H20  
PIPE INV. = 905.56'±

**NOTES**

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 1/2" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
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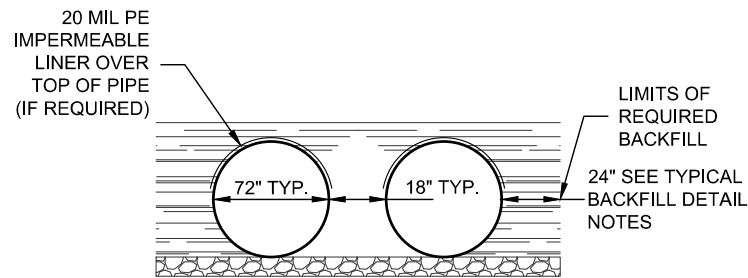
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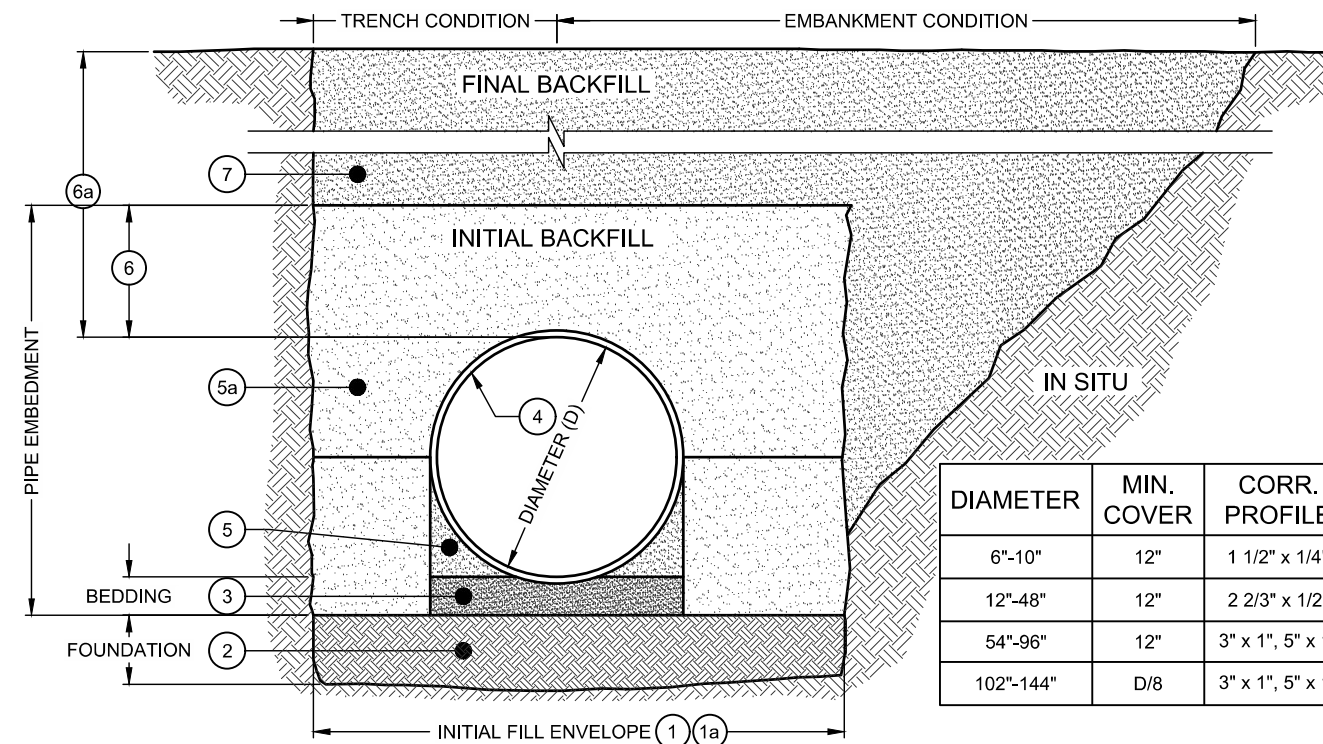
72"Ø UNDERGROUND DETENTION SYSTEM - 636755-020  
EAST SPRINGS DRIVE REDEVELOPMENT  
MADISON, WI  
SITE DESIGNATION: P2 - EAST

PROJECT No.: 636755	SEQ. No.: 020	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P1	OF	4



**TYPICAL SECTION VIEW**  
NOT TO SCALE

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 PIPE ≤ 12": D + 16"  
 PIPE > 12": 1.5D + 12"
- 1a MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE (12.6.6.2):  
 PIPE < 24": 3.0D  
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- 5a INITIAL BACKFILL FOR PIPE EMBEDMENT TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION, OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (T 99). MAXIMUM PARTICLE SIZE NOT TO EXCEED 3" (12.4.1.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN 8" UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (26.5.4).
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- 6a TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT (12.6.6.3).
- 7 FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (26.5.4.1).

- NOTES:**
- ENGINEER TO DETERMINE IF GEOTEXTILE SHOULD BE USED TO PREVENT SOIL MIGRATION INTO VARYING SOIL TYPES (PROJECT ENGINEER).
  - FOR MULTIPLE BARREL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE PIPE DIA./2 BUT NO LESS THAN 12", OR 36" FOR PIPE DIAMETERS 72" AND LARGER.
  - CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C12.6.7-1).

**TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

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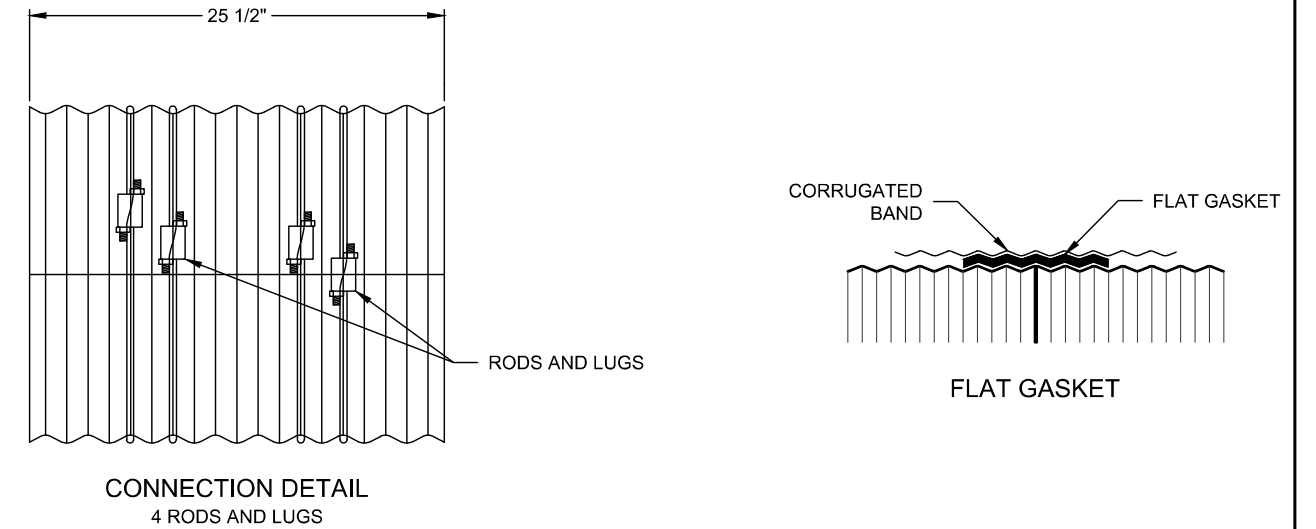
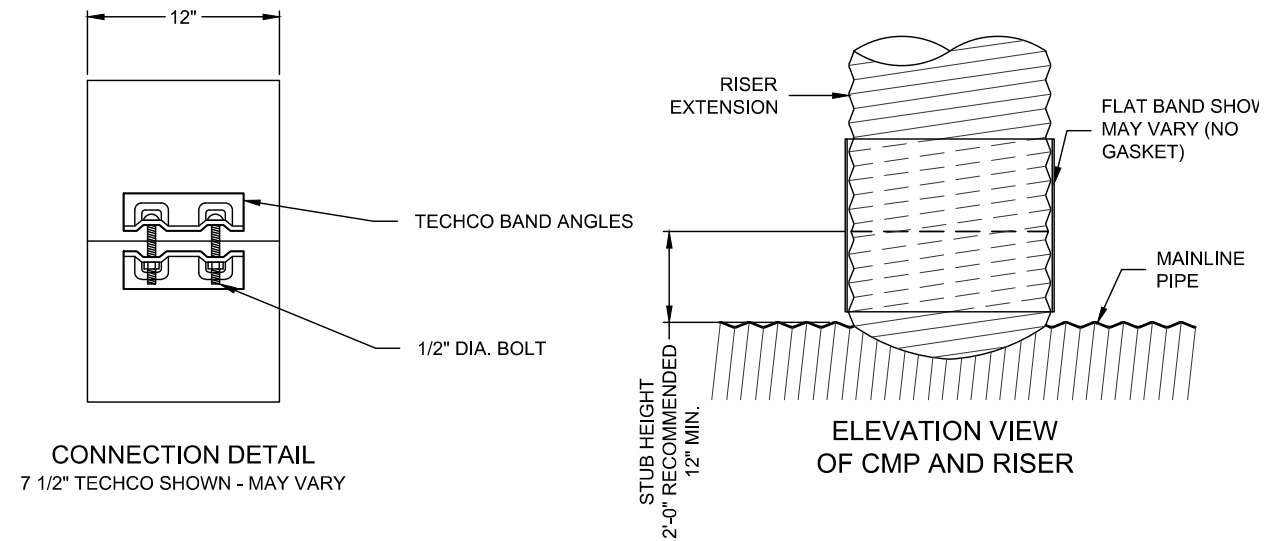
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**CONTECH**  
CMP DETENTION SYSTEMS  
CONTECH  
PROPOSAL  
DRAWING

72"Ø UNDERGROUND DETENTION SYSTEM - 636755-020  
EAST SPRINGS DRIVE REDEVELOPMENT  
MADISON, WI  
SITE DESIGNATION: P2 - EAST

PROJECT No.: 636755	SEQ. No.: 020	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P2	OF	4





**PLAIN END CMP RISER PIPE**

**2 2/3"x1/2" RIVETED PIPE**

GENERAL NOTES:

GENERAL NOTES:

1. DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
2. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
3. BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
4. IF RISER HAS A HEIGHT OF COVER OF 10' OR MORE, USE A SLIP JOINT.
5. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" 2-PIECES
6. ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
7. MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
8. DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

1. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
2. BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
3. BANDS ARE SHAPED TO MATCH THE PIPE-ARCH WHEN APPLICABLE.
4. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" THRU 96" 2-PIECES
  - 102" THRU 144" 3-PIECES
5. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
6. ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2 2/3"x1/2"
7. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
8. ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

**12" RISER BAND DETAIL**  
NOT TO SCALE

**10-C BAND DETAIL**  
NOT TO SCALE

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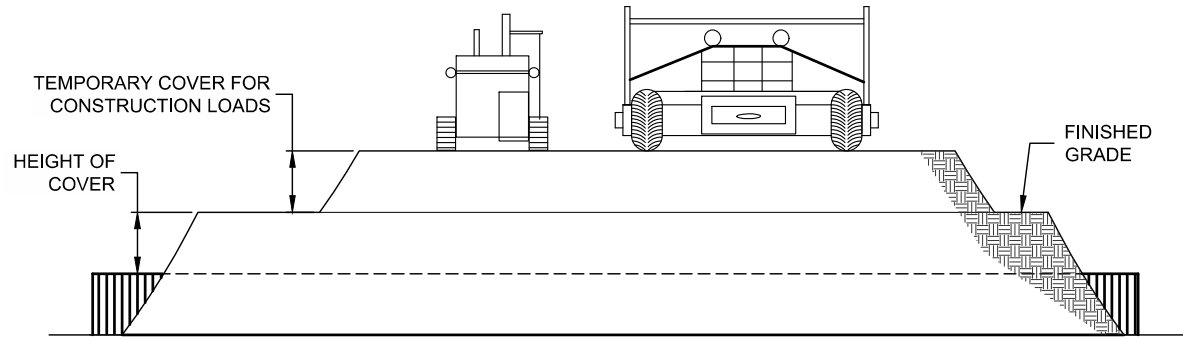
MARK	DATE	REVISION DESCRIPTION	BY

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72"Ø UNDERGROUND DETENTION SYSTEM - 636755-020  
EAST SPRINGS DRIVE REDEVELOPMENT  
MADISON, WI  
SITE DESIGNATION: P2 - EAST

PROJECT No.: 636755	SEQ. No.: 020	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P3 OF 4		



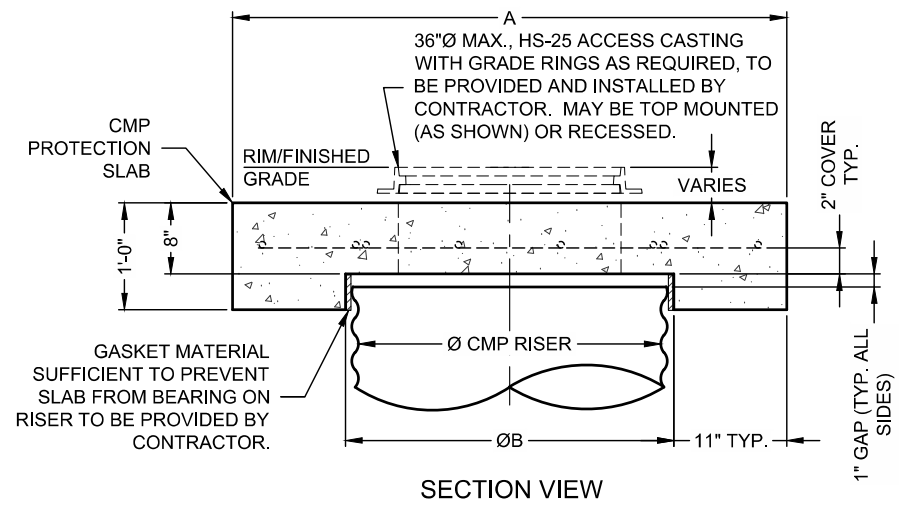
**CONSTRUCTION LOADS**

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

\*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

**CONSTRUCTION LOADING DIAGRAM**  
NOT TO SCALE

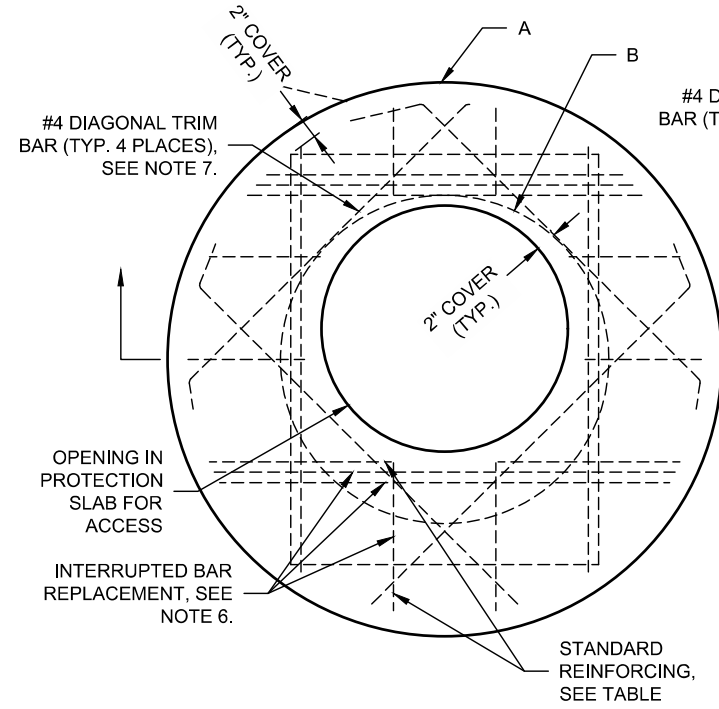


SECTION VIEW

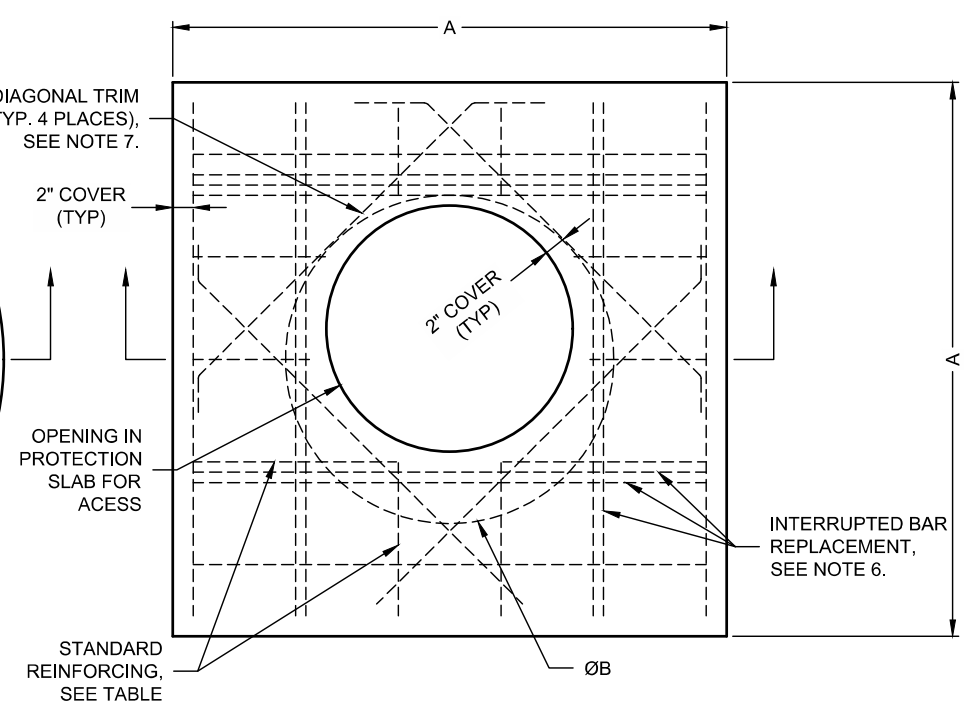
REINFORCING TABLE				
Ø CMP RISER	A	B Ø	REINFORCING	**BEARING PRESSURE (PSF)
24"	4'Ø 4'x4'	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	4'-6"Ø 4'-6" x 4'-6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	5'Ø 5' x 5'	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	5'-6"Ø 5'-6" x 5'-6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	6'Ø 6' x 6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

\*\* ASSUMED SOIL BEARING CAPACITY

**ACCESS CASTING NOT SUPPLIED BY CONTECH**



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION AND ACI 350.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 4,000 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.

- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

**MANHOLE CAP DETAIL**  
NOT TO SCALE

**SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL**

**SCOPE**

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

**MATERIAL**

THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A929.

**PIPE**

THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M36 OR ASTM A760. THE PIPE SIZES, GAGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

**HANDLING AND ASSEMBLY**

SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSPA)

**INSTALLATION**

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

**MATERIAL SPECIFICATION**  
NOT TO SCALE

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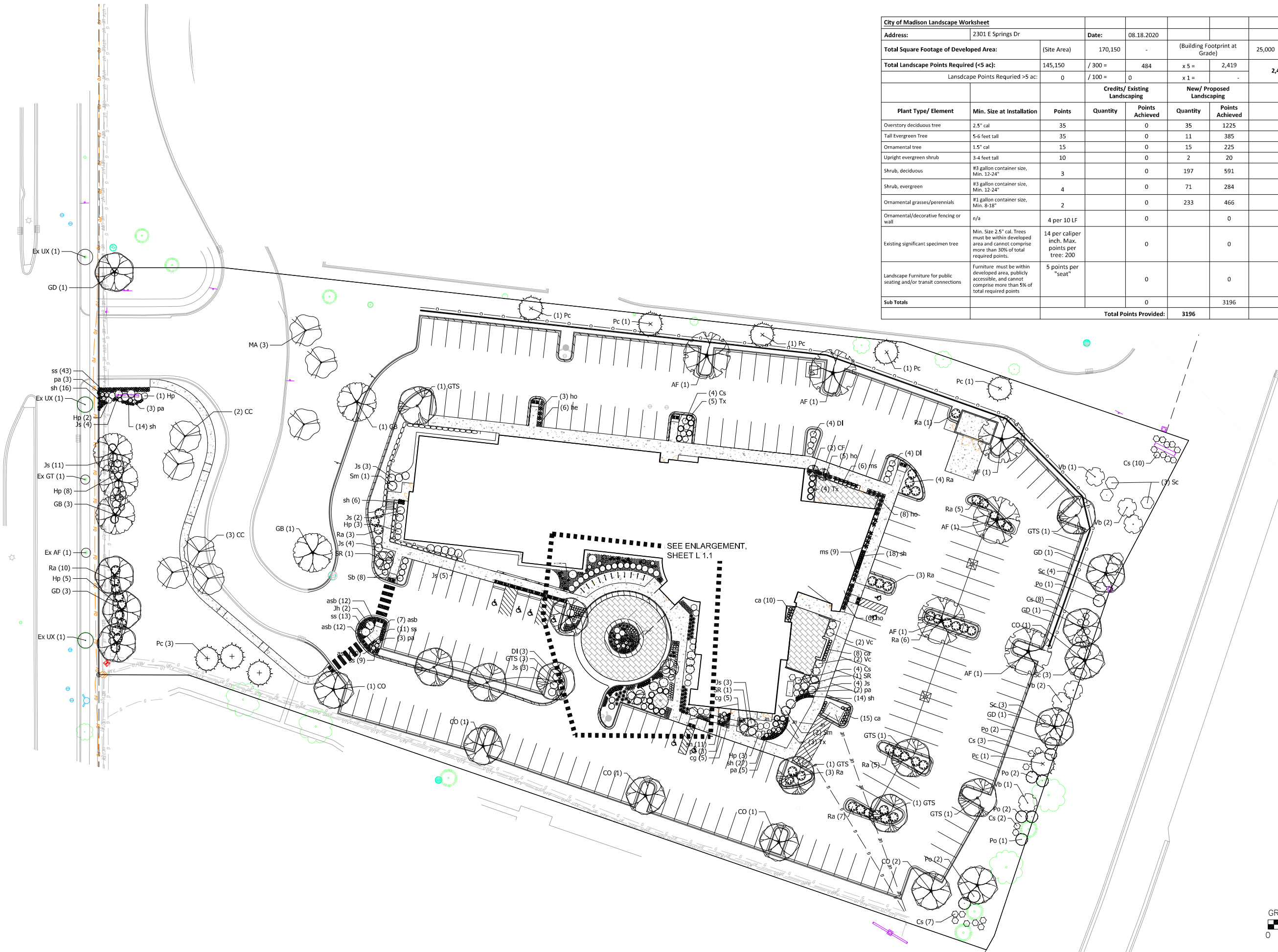
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SITE DESIGNATION: P2 - EAST

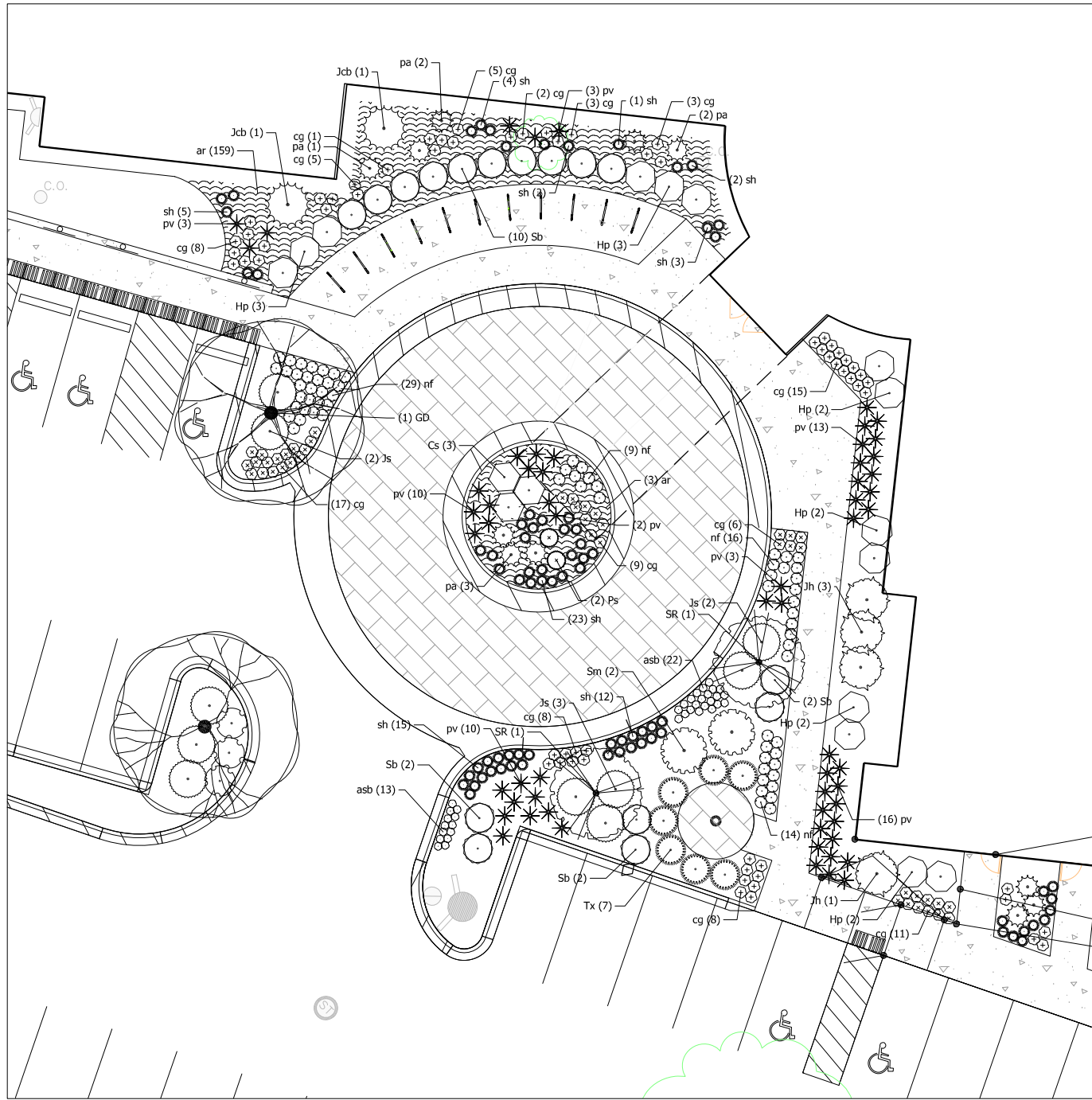
PROJECT No.: 636755	SEQ. No.: 020	DATE: 04/06/2020
DESIGNED: NDC	DRAWN: NDC	
CHECKED: NDC	APPROVED:	
SHEET NO.: P4	OF	4

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City of Madison Landscape Worksheet						
Address:		2301 E Springs Dr		Date:		08.18.2020
Total Square Footage of Developed Area:			(Site Area)	170,150	-	(Building Footprint at Grade)
				25,000	=	145,150 sf
Total Landscape Points Required (<5 ac):			145,150 / 300 =	484	x 5 =	2,419
			Landscape Points Required >5 ac:	0 / 100 =	0	x 1 =
						<b>2,419</b>
Plant Type/ Element	Min. Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35	0	0	35	1225
Tall Evergreen Tree	5-6 feet tall	35	0	0	11	385
Ornamental tree	1.5" cal	15	0	0	15	225
Upright evergreen shrub	3-4 feet tall	10	0	0	2	20
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3	0	0	197	591
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4	0	0	71	284
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2	0	0	233	466
Ornamental/decorative fencing or wall	n/a	4 per 10 LF	0	0		0
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200	0	0		0
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per "Seat"	0	0		0
<b>Sub Totals</b>				0		3196
				<b>Total Points Provided:</b>		<b>3196</b>

HOTEL ENTRANCE/DROPOFF AREA ENLARGEMENT



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
AF	Acer x freemanii 'Jeffers' / Autumn Blaze Maple	B & B	2.5" Cal		6	40-50' x 40'	
CO	Celtis occidentalis / Common Hackberry	B & B	2.5" Cal		7	40-60' x 40-60'	
GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2.5" Cal		5	45' x 35'	
GTS	Gleditsia triacanthos inermis 'Skycole' TM / Skyline Thornless Honey Locust	B & B	2.5" Cal		9	50-60' w x 35-45' w	
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5" Cal		8	50' h x 35' w	
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
Pc	Picea pungens / Colorado Spruce	B & B		6' ht.	9	40-60' x 20-30'	
Ps	Picea pungens 'Sester Dwarf' / Sester Dwarf Blue Spruce	10 gal			2	6-8' x 2-3'	
EXISTING STREET TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
Ex AF	Acer x freemanii / Freeman Maple	Existing			1		
Ex GT	Gleditsia triacanthos / Honey Locust	Existing			1		
Ex UX	Ulmus x / Hybrid Elm	Existing			3		
UNDERSTORY TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
CF	Carpinus caroliniana 'Firespire' TM / American Hornbeam	B & B	2" Cal		2	20' x 8-10'	
CC	Crataegus crus-galli 'Inermis' / Thornless Hawthorn	B & B	2" Cal		5	20-30' h x 25-35' w	
MA	Malus x 'Adams' / Adams Crabapple	B & B	2" Cal		3		
SR	Syringa reticulata 'Ivory Pillar' / Ivory Pillar Japanese Tree Lilac	B & B	2" Cal		5	20-25' h x 10-15' w	
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
Cs	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal			41	5-6' x 5-6'	
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal			11	3-4' h x 4-5' w	
Hp	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	Cont		36	3-5' x 3-5'	
Po	Physocarpus opulifolius / Ninebark	5 gal	Cont		10	8-10' x 8-10'	
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal			47	2-3' h x 6-8' w	
Sc	Sambucus canadensis / Elderberry	5 gal			13	5-12' x 5-12'	
Sb	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	3 gal	Cont		24	2-3' x 3-4'	
Sm	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	7 gal	Cont		5	4-5' x 5-7'	
Vc	Viburnum carlesii 'Spice Island' / Korean Spice Viburnum	5 gal	Cont		4	4-5' x 5-6'	
Vb	Viburnum prunifolium / Blackhaw Viburnum	7 gal	Cont		6	10-15' x 12-15'	
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
Jcb	Juniperus chinensis 'Blue Point' / Blue Point Juniper	10 gal	Cont		2	12' x 8'	
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont		6	8-10" x 6-8"	
Js	Juniperus sabinna 'Buffalo' / Buffalo Juniper	5 gal	Cont		46	12" x 4-6"	
Tx	Taxus x media 'Everlow' / Yew	5 gal	Cont		19	2-3' x 4-5'	
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
asb	Allium x 'Summer Beauty' / Summer Beauty Allium	4" pot	Cont		76		
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Cont		33	3-5' h x 2' w	
cg	Coreopsis grandiflora 'Early Sunrise' / Early Sunrise Coreopsis	4" pot			111	15" h x 15" w	
he	Heuchera x 'Berry Timeless' / Coral Bells	4" pot	Cont		6	8-10" x 20"	
ho	Hosta x 'Big Daddy' / Plantain Lily	1 gal	Cont		22	18-24" x 3-4'	
ms	Matteuccia struthiopteris / Ostrich Fern	1 gal	Cont		15	2-4' x 2-4'	
nf	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	4" pot			68	10" x 18"	
pv	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	1 gal	Cont		60	3-4' h x 2-3' w	
pa	Perovskia atriplicifolia / Russian Sage	1 gal			27	3-4' x 3-4'	
ss	Schizachyrium scoparium / Little Bluestem Grass	1 gal	Cont		76	2-3' x 12-18"	
sh	Sporobolus heterolepis / Prairie Dropseed	4" pot	Cont		173	24" x 18"	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	QTY	REMARKS
ar	Ajuga reptans 'Chocolate Chip' / Chocolate Chip Bugleweed	2" X 4" PLUG			18" o.c.	162	

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 1.5" Mississippi River Rock to 3" depth min. over weed barrier fabric. Edge unenclosed beds with commercial grade aluminum landscape edging, Permaloc CleanLine 3/8" x 4" or equal, color black anodized. Provide 24" wide stone maintenance strip along base of foundation where no landscape bed is shown. Edge to match landscape beds.

05 Aug 2022 - 12:08p M:\Hawkeye Hotels\180375\_2301 E Springs Dr\CADD\180375 - 1 Landscape.dwg by: cbm

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8/8/2022

CITY SUBMITTAL



**HOMER SUITES & TRU BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DR., MADISON, WI 53704

PROJECT NUMBER: 18 068

LANDSCAPE  
DETAIL

L1.1



# City of Madison Fire Department

30 West Mifflin Street, 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 2403 E Springs Dr, Madison, WI

**Contact Name & Phone #:** Carter Lanser - Vierbicher (608-821-3946)

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

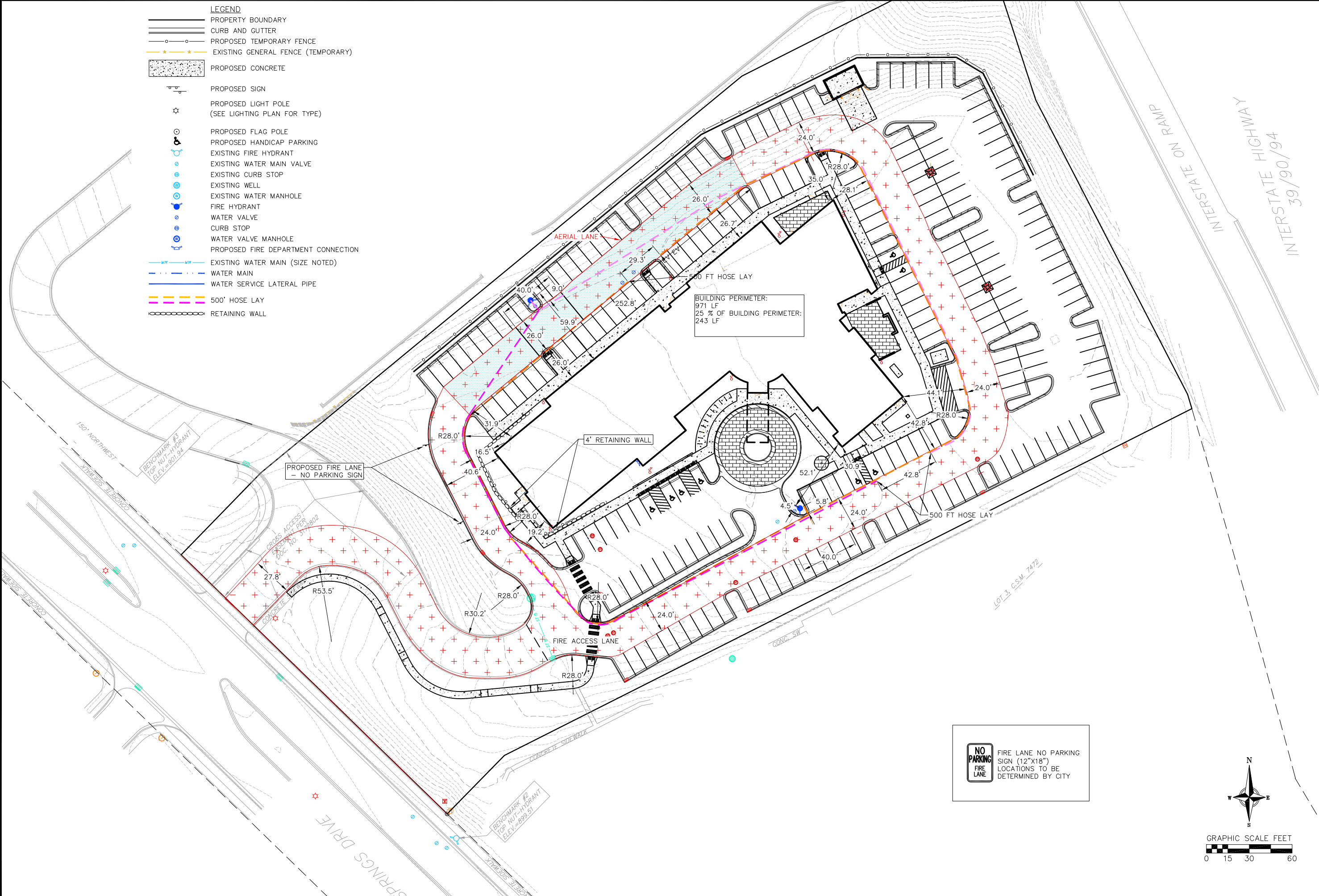
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

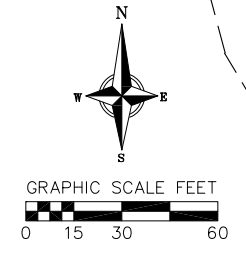
Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.

- LEGEND**
- PROPERTY BOUNDARY
  - CURB AND GUTTER
  - PROPOSED TEMPORARY FENCE
  - EXISTING GENERAL FENCE (TEMPORARY)
  - PROPOSED CONCRETE
  - PROPOSED SIGN
  - PROPOSED LIGHT POLE (SEE LIGHTING PLAN FOR TYPE)
  - PROPOSED FLAG POLE
  - PROPOSED HANDICAP PARKING
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING WELL
  - EXISTING WATER MANHOLE
  - FIRE HYDRANT
  - WATER VALVE
  - CURB STOP
  - WATER VALVE MANHOLE
  - PROPOSED FIRE DEPARTMENT CONNECTION
  - EXISTING WATER MAIN (SIZE NOTED)
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - 500' HOSE LAY
  - RETAINING WALL



**NO PARKING FIRE LANE**  
 FIRE LANE NO PARKING SIGN (12"x18")  
 LOCATIONS TO BE DETERMINED BY CITY



**Fire Access Exhibit**

2403 East Springs Drive  
 City of Madison  
 Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN

DATE: 8/8/2022

DRAFTER: RDCC

CHECKED: NBOW

PROJECT NO.: 180375

SHEET: 1 OF 1

DWG. NO.:

### WST LED Architectural Wall Sconce

**Specifications**  
 Luminaire  
 Height: 8-1/2"  
 Width: 12"  
 Depth: 10-3/4"  
 Weight: 20 lbs

**Optional Back Box (PBWB)**  
 Height: 8-1/2"  
 Width: 17-1/2"  
 Depth: 1-7/8"

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5-1/2"  
 Depth: 1-1/2"

**Features & Specifications**  
 Capable Luminaire  
 An Av Certified luminaire for use in Av applications. It is designed to provide consistent color reproduction and optimal beam spread. All configurations of the luminaire meet the Av specification for luminaires (ANSI RS-108-C).

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5-1/2"  
 Depth: 1-1/2"

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333

### LITHONIA LIGHTING

#### LDN6

**FEATURES & SPECIFICATIONS**  
 Features:  
 - Long life expectancy (50,000 hours)  
 - Low heat generation  
 - Compact design  
 - Easy installation  
 - Dimmable  
 - Available in multiple colors

**Specifications**  
 Luminaire  
 Height: 12"  
 Width: 12"  
 Depth: 10-3/4"  
 Weight: 20 lbs

**Optional Back Box (PBWB)**  
 Height: 8-1/2"  
 Width: 17-1/2"  
 Depth: 1-7/8"

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5-1/2"  
 Depth: 1-1/2"

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333

### Exhibitor Series - 1.8 Watt LEDs

**Specifications**  
 Part #  
 LED Code  
 Color  
 Lumens

CATALOG#	LED CODE	COLOR	LUMENS
EX-UP-WH-6	6-LEL CODE (G14, S14, G19)	White	2000
EX-UP-WH-12	12-LEL CODE (G14, S14, G19)	White	4000
EX-UP-WH-18	18-LEL CODE (G14, S14, G19)	White	6000
EX-UP-WH-24	24-LEL CODE (G14, S14, G19)	White	8000

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333

### D-Series LED Bollard

**Specifications**  
 Height: 48"  
 Diameter: 6"

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333

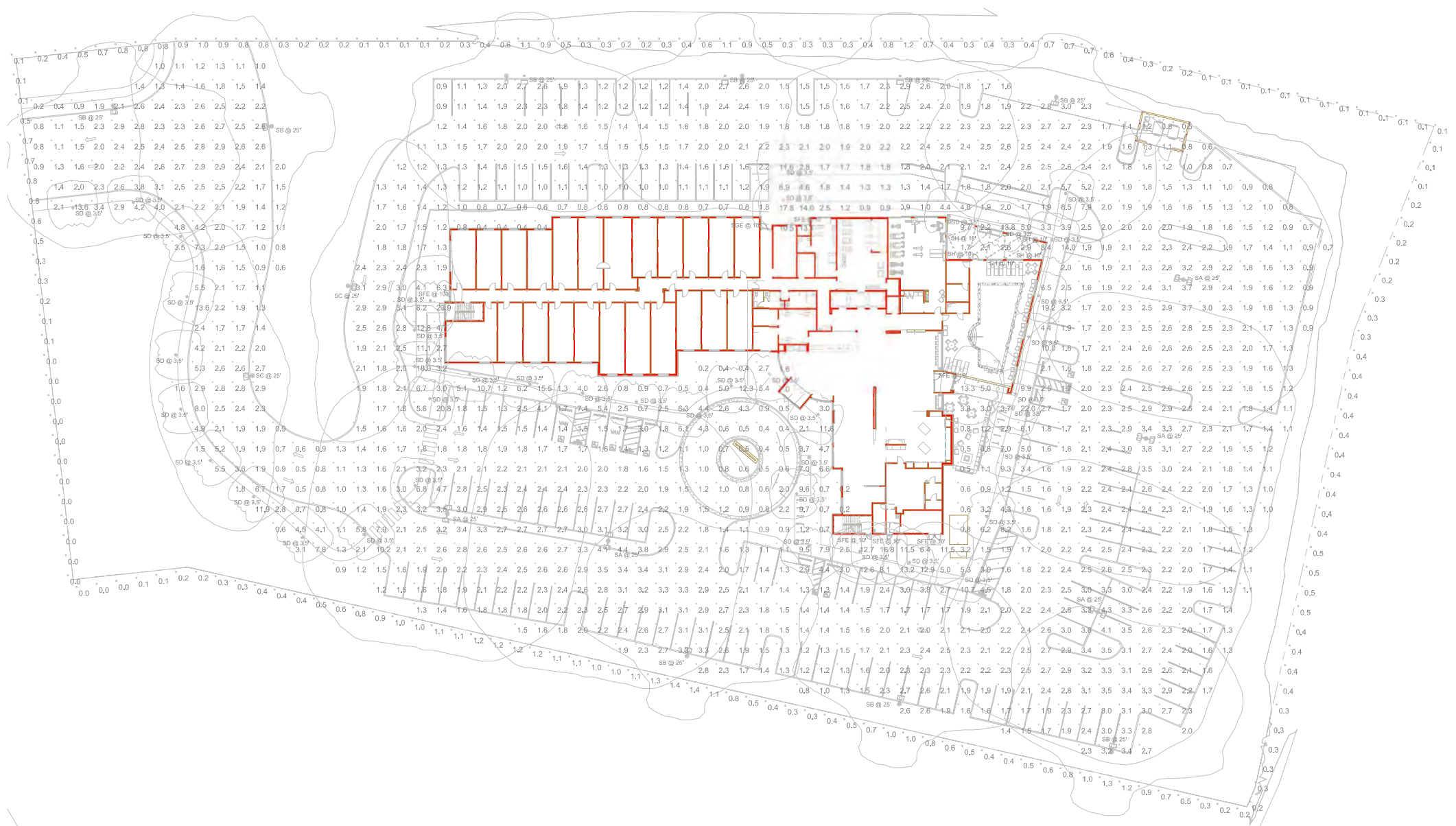
### D-Series Size 0 LED Area Luminaire

**Specifications**  
 Luminaire  
 Height: 12"  
 Width: 12"  
 Depth: 10-3/4"  
 Weight: 20 lbs

**Optional Back Box (PBWB)**  
 Height: 8-1/2"  
 Width: 17-1/2"  
 Depth: 1-7/8"

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5-1/2"  
 Depth: 1-1/2"

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333



### LITHONIA LIGHTING

#### AFFINITY

**FEATURES & SPECIFICATIONS**  
 Features:  
 - Compact design  
 - Easy installation  
 - Dimmable  
 - Available in multiple colors

**Specifications**  
 Luminaire  
 Height: 12"  
 Width: 12"  
 Depth: 10-3/4"  
 Weight: 20 lbs

**Optional Back Box (PBWB)**  
 Height: 8-1/2"  
 Width: 17-1/2"  
 Depth: 1-7/8"

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5-1/2"  
 Depth: 1-1/2"

**Commercial Outdoor**  
 1015 E. Discovery Lane, Suite 100, Madison, WI 53704  
 608.778.3333

### designcell ARCHITECTURE

1785 VILLAGE CENTER CIRCLE SUITE 100  
 LAS VEGAS, NV 89134, T. 702.405.1575  
 WWW.DESIGNCELL.COM

8/22/2022  
 PRELIMINARY DESIGN

HOME2 SUITES & TRU  
 DUAL BRAND BY HILTON  
 5-STORY, 219 GUESTROOMS  
 2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068  
 PHOTOMETRIC STUDY

DR\_P1.0



Hawkeye Hotels

designcell ARCHITECTURE  
1785 VILLAGE CENTER CIRCLE SUITE 100  
LAS VEGAS, NV 89134 T. 702.403.1575  
WWW.DESIGNCELL.COM

8/22/2022

PRELIMINARY DESIGN

HOME2 SUITES & TRU DUAL  
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5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

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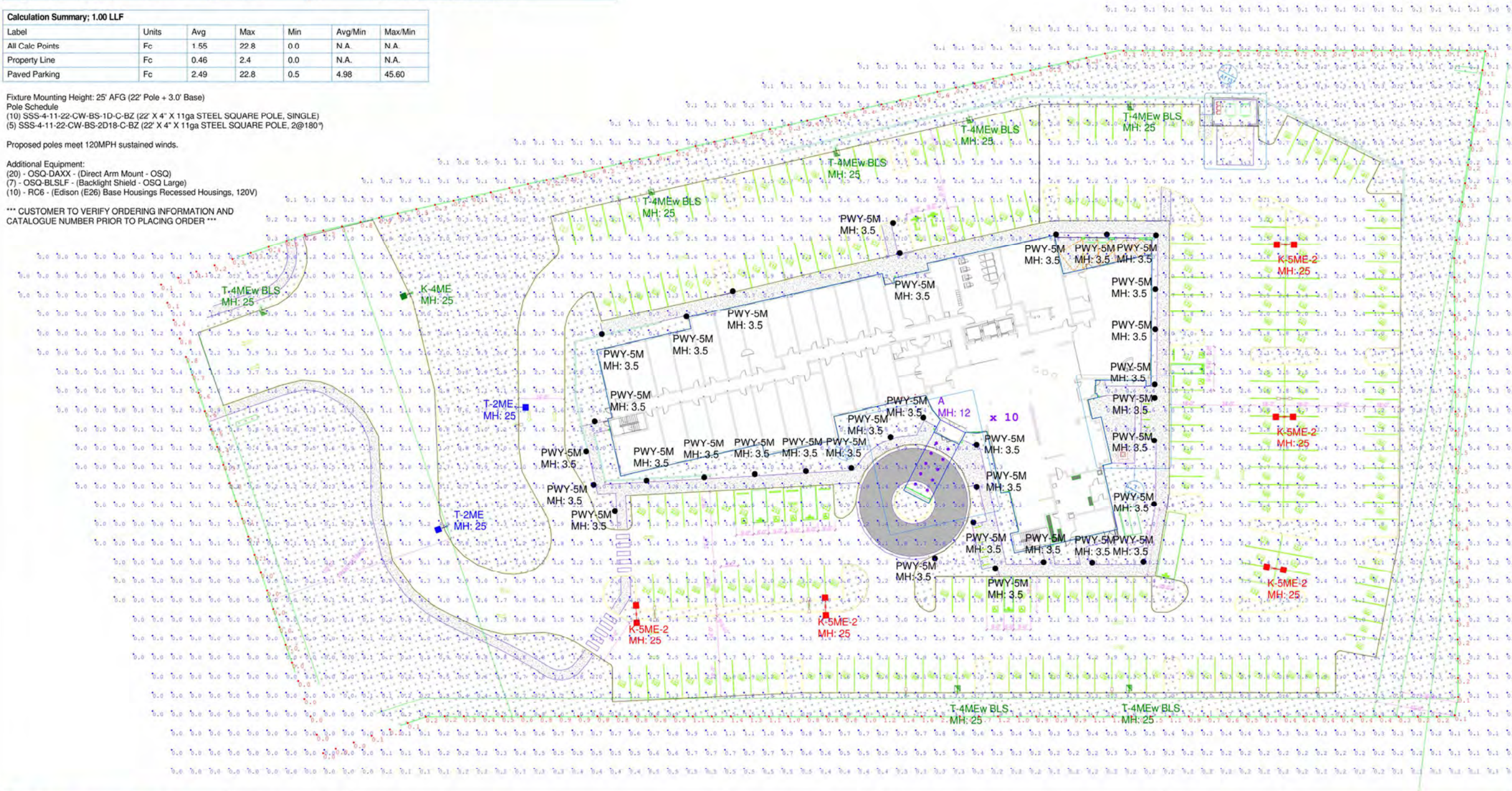
PHOTOMETRIC  
STUDY

DR\_P1.0

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
1	1	K-4ME	SINGLE	1.000	16959	130	OSQ-A-NM-4ME-K-40K-UL-XX w/OSQ-DAXX
2	2	T-2ME	SINGLE	1.000	21902	166	OSQ-A-NM-2ME-T-40K-UL-XX w/OSQ-DAXX
7	7	T-4MEw BLS	SINGLE	1.000	16830	166	OSQ-A-NM-4ME-T-40K-UL-XX w/OSQ-DAXX OSQ-BLSLF
5	5	K-5ME-2	2 @ 180°	1.000	15999	130	OSQ-A-NM-5ME-K-40K-UL-XX w/OSQ-DAXX
10	10	A	SINGLE	1.000	1600	21	CR6T-1600L-40K-P2-E26GU24
33	33	PWY-5M	SINGLE	1.000	1666	22	PWY-EDG-5M-P4-02-E-UL-XX-350-40K

Calculation Summary: 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.55	22.8	0.0	N.A.	N.A.
Property Line	Fc	0.46	2.4	0.0	N.A.	N.A.
Paved Parking	Fc	2.49	22.8	0.5	4.98	45.60

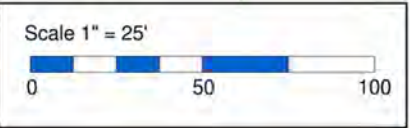
Fixture Mounting Height: 25' AFG (22' Pole + 3.0' Base)  
 Pole Schedule  
 (10) SSS-4-11-22-CW-BS-1D-C-BZ (22' X 4" X 11ga STEEL SQUARE POLE, SINGLE)  
 (5) SSS-4-11-22-CW-BS-2D18-C-BZ (22' X 4" X 11ga STEEL SQUARE POLE, 2@180°)  
 Proposed poles meet 120MPH sustained winds.  
 Additional Equipment:  
 (20) - OSQ-DAXX - (Direct Arm Mount - OSQ)  
 (7) - OSQ-BLSLF - (Backlight Shield - OSQ Large)  
 (10) - RC6 - (Edison (E26) Base Housings Recessed Housings, 120V)  
 \*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*



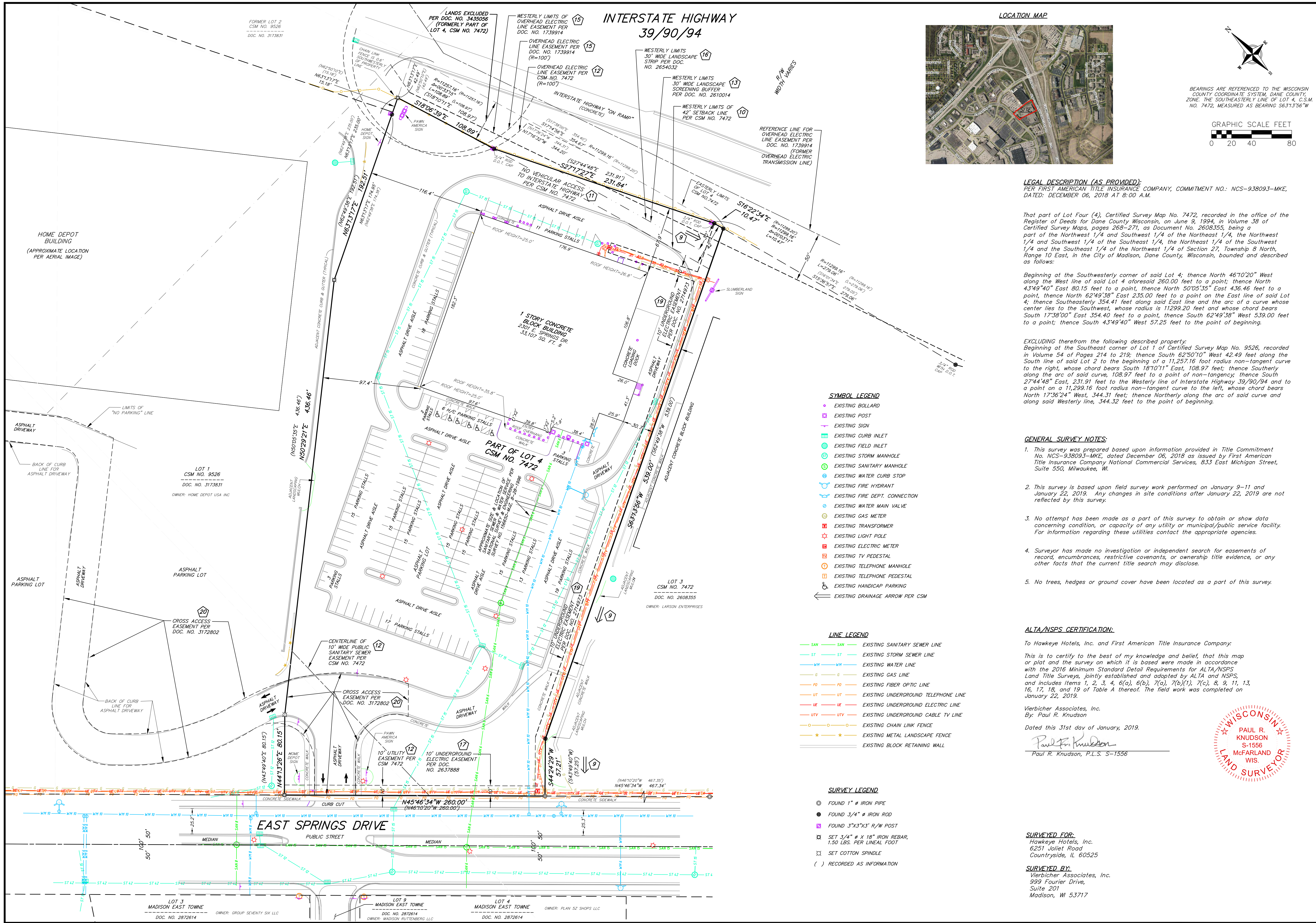
Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect final results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Dual Brand Hotel - 2301 E. Springs Dr., Madison, WI 53704  
 SR-36647 || Footcandles calculated at grade || Filename: 190430HT1JEER3.AGI

Layout By: Collin Witherow  
 Date: 2/18/2020

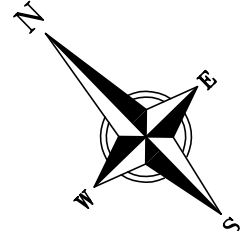




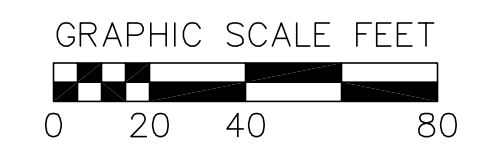


**INTERSTATE HIGHWAY  
39/90/94**

**LOCATION MAP**



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, ZONE: THE SOUTHEASTERLY LINE OF LOT 4, C.S.M. NO. 7472, MEASURED AS BEARING S63.13°56'W



**LEGAL DESCRIPTION (AS PROVIDED):**  
PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-938093-MKE, DATED: DECEMBER 06, 2018 AT 8:00 A.M.

That part of Lot Four (4), Certified Survey Map No. 7472, recorded in the office of the Register of Deeds for Dane County Wisconsin, on June 9, 1994, in Volume 38 of Certified Survey Maps, pages 268-271, as Document No. 2608355, being a part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4, the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4, the Northeast 1/4 of the Southwest 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 10 East, in the City of Madison, Dane County, Wisconsin, bounded and described as follows:

Beginning at the Southwesterly corner of said Lot 4, thence North 46°10'20" West along the West line of said Lot 4 aforesaid 260.00 feet to a point; thence North 43°49'40" East 80.15 feet to a point, thence North 50°05'35" East 436.46 feet to a point, thence North 62°49'38" East 235.00 feet to a point on the East line of said Lot 4; thence Southeasterly 354.41 feet along said East line and the arc of a curve whose center lies to the Southwest, whose radius is 11299.20 feet and whose chord bears South 17°38'00" East 354.40 feet to a point, thence South 62°49'38" West 539.00 feet to a point; thence South 43°49'40" West 57.25 feet to the point of beginning.

EXCLUDING therefrom the following described property: Beginning at the Southeast corner of Lot 1 of Certified Survey Map No. 9526, recorded in Volume 54 of Pages 214 to 219; thence South 62°50'10" West 42.49 feet along the South line of said Lot 2 to the beginning of a 11,257.16 foot radius non-tangent curve to the right, whose chord bears South 18°10'11" East, 108.97 feet; thence Southerly along the arc of said curve, 108.97 feet to a point of non-tangency; thence South 27°44'48" East, 231.91 feet to the Westerly line of Interstate Highway 39/90/94 and to a point on a 11,299.16 foot radius non-tangent curve to the left, whose chord bears North 17°36'24" West, 344.31 feet; thence Northerly along the arc of said curve and along said Westerly line, 344.32 feet to the point of beginning.

- GENERAL SURVEY NOTES:**
- This survey was prepared based upon information provided in Title Commitment No. NCS-938093-MKE, dated December 06, 2018 as issued by First American Title Insurance Company National Commercial Services, 833 East Michigan Street, Suite 550, Milwaukee, WI.
  - This survey is based upon field survey work performed on January 9-11 and January 22, 2019. Any changes in site conditions after January 22, 2019 are not reflected by this survey.
  - No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts that the current title search may disclose.
  - No trees, hedges or ground cover have been located as a part of this survey.

**ALTA/NSPS CERTIFICATION:**  
To Hawkeye Hotels, Inc. and First American Title Insurance Company:  
This is to certify to the best of my knowledge and belief, that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 16, 17, 18, and 19 of Table A thereof. The field work was completed on January 22, 2019.

Vierbicher Associates, Inc.  
By: Paul R. Knudson  
Dated this 31st day of January, 2019.  
*Paul R. Knudson*  
Paul R. Knudson, P.L.S. S-1556



**SYMBOL LEGEND**

- EXISTING BOLLARD
- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER CURB STOP
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS METER
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING ELECTRIC METER
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING HANDICAP PARKING
- EXISTING DRAINAGE ARROW PER CSM

**LINE LEGEND**

- SAN — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- WH — EXISTING WATER LINE
- G — EXISTING GAS LINE
- FO — EXISTING FIBER OPTIC LINE
- UT — EXISTING UNDERGROUND TELEPHONE LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- UV — EXISTING UNDERGROUND CABLE TV LINE
- — EXISTING CHAIN LINK FENCE
- \* — EXISTING METAL LANDSCAPE FENCE
- — EXISTING BLOCK RETAINING WALL

**SURVEY LEGEND**

- FOUND 1" # IRON PIPE
- FOUND 3/4" # IRON ROD
- FOUND 3"x3" R/W POST
- SET 3/4" # X 18" IRON REBAR, 1.50 LBS. PER LINEAL FOOT
- SET COTTON SPINDLE
- ( ) RECORDED AS INFORMATION

**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

**ALTA/NSPS LAND TITLE SURVEY**  
PART OF LOT 4, CERTIFIED SURVEY MAP NO. 7472,  
LOCATED IN PART OF THE SW1/4-NE1/4 AND SE1/4-NW1/4, SECTION 27, 18N, R10E,  
CITY OF MADISON, DANE COUNTY, WISCONSIN

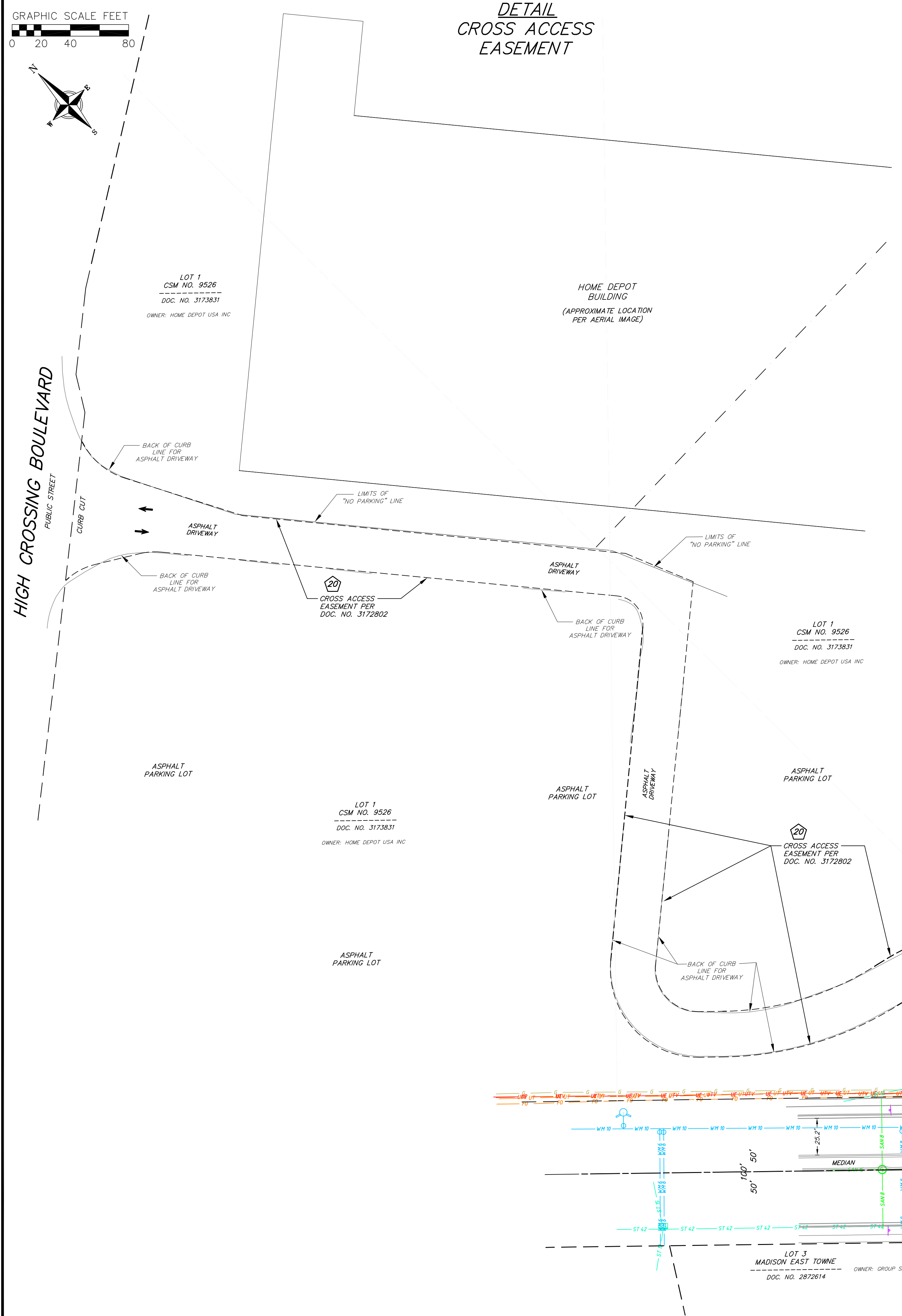
REVISIONS	NO.	DATE	REMARKS

SCALE: 1" = 40'

DATE: 1-31-2019  
DRAFTER: PKNU  
CHECKED: MMAR  
PROJECT NO.: 180375  
SHEET: 1 OF 2  
DWG. NO.: S-766

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M:\Howkeye Hotels\180375\_2301 E Springs Dr\CADD\180375 - ALTA Survey.dwg by: BKN



**NOTES PERTAINING TO TABLE A REQUIREMENTS:**

**ITEM 1: MONUMENTS**  
As shown on the survey.

**ITEM 2: THE ADDRESS OF THE PARCEL SURVEYED IS:**  
2301 East Springs Drive, Madison, Wisconsin

**ITEM 3: FLOOD ZONE CLASSIFICATION:**  
By graphic plotting only of FEMA's FIRM (Flood Insurance Rate Map) Map Number 55025C0268H, effective date of September 17, 2014, the subject property is within ZONE X - Area of Minimal Flood Hazard.

**ITEM 4: GROSS LAND AREA:** 201,017 square feet, more or less.

**ITEM 6(a): ZONING CLASSIFICATION:**  
The current zoning classification is CC Commercial Center District Zoning District per the zoning letter dated January 31, 2019 as provided by the City of Madison-Zoning Administrator.

**ITEM 6(b): ZONING SETBACK REQUIREMENTS:**  
The building setbacks and restrictions per the zoning letter referenced in Item 6(a) above are as follows:  
Front: 0 feet.  
Maximum front Yard Setback. Unless designated otherwise on the zoning map, at least seventy percent (70%) of the street-facing building shall be setback no more than eighty-five (85) feet. This setback shall allow for a single drive aisle and two (2) rows of parking or landscaped area. This setback may be extended to a maximum of one hundred (100) feet if traffic circulation, drainage and or other site design issues are shown to require additional space. Front setbacks on the zoning map may be designated as a specific location (build-to-line) or as a range.  
Side: 5 feet for one story, 6 feet for two story.  
Rear: 20 feet.  
Height of the building(s): 5 stories / 68 feet. Heights exceeding the maximum may be allowed with conditional use approval.  
Maximum Lot Coverage: 85%  
Parking requirement: No minimum parking requirement.

**ITEMS 7(a), 7(b)(1) & 7(c): EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL, SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF BUILDINGS AT GROUND LEVEL, AND MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE (POINT OF MEASUREMENT IDENTIFIED):**  
This information has been noted within the building as shown.

**ITEM 8: SUBSTANTIAL FEATURES OBSERVED:**  
This information has been shown hereon.

**ITEM 9: NUMBER AND TYPE OF CLEARLY IDENTIFIABLE PARKING SPACES:**  
There are a total of 182 surface parking spaces on the parcel surveyed; 176 standard parking spaces and 6 handicap parking spaces.

**ITEM 11: LOCATION OF UTILITIES:**  
Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket number 20190101343. The location of buried private utilities are not within the scope of this survey.  
With regard to Table A, Item 11, source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 911 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

**ITEM 13: NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS:**  
Names of adjoining owners have been noted hereon and are based upon information obtained from the Access Dane website on January 28, 2019.

**ITEM 16: EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS:**  
During the course of field survey work, there was no substantial, visible, observed evidence of recent earth moving work, building construction, or building additions of which the surveyor is aware.

**ITEM 17: PROPOSED CHANGES IN STREET RIGHT-OF-WAYS, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS:**  
During the course of field survey work, there was no substantial, visible, observed evidence of recent street or sidewalk construction or repairs of which the surveyor is aware. There are no proposed changes in street right of way lines of which the surveyor is aware.

**ITEM 18: WETLANDS:**  
There were no delineation markers observed in the process of conducting the field survey work, and the surveyor was not provided with any information regarding a field delineation of wetlands as conducted by others.

**ITEM 19: PLOTTABLE OFFSITE EASEMENTS OR SERVITUDES:**  
Plottable offsite easements, if any, have been shown hereon.

**NOTES PERTAINING TO SCHEDULE B, PART II-EXCEPTIONS:**  
PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-938093-MKE, DATED: DECEMBER 06, 2018 AT 8:00 A.M.

**EXCEPTION 9:** Notes and restrictions as shown on recorded Certified Survey Map No. 7472 recorded on June 9, 1994 in Volume 38, Page 268 as Document No. 2608355.  
1) Arrows indicate the direction of surface drainage swale of individual property lines and said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.  
2) Elevations given are for property corners at ground level, and shall be maintained by the lot owner.  
THIS EXCEPTION DOES AFFECT THE SOUTH LINE OF THE SUBJECT PROPERTY, HOWEVER, ELEVATIONS ARE NOT LEGIBLE AND ARE NOT PLOTTED.

**EXCEPTION 10:** Building setback lines as shown on Certified Survey Map No. 7472 recorded on June 9, 1994 in Volume 38, Page 268 as Document No. 2608355.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 11:** No vehicular Access to Interstate 90-94 as shown on Certified Survey Map No. 7472 recorded on June 9, 1994 in Volume 38, Page 268 as Document No. 2608355.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 12:** Public Utilities Easement as disclosed on Certified Survey Map No. 7472 recorded on June 9, 1994 in Volume 38, Page 268 as Document No. 2608355.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.  
-Release of a Plotted Utility Easement recorded October 18, 1999, as Document No. 3164407.  
-Release of Easement recorded October 18, 1999, as Document No. 3164405.  
-Release of Easement recorded October 18, 1999, as Document No. 3164409.  
-Release of Public Utility Easement recorded October 18, 1999, as Document No. 3164410.

**EXCEPTION 13:** Affidavit of Correction and the terms and conditions thereof and 30 foot wide Landscape screening buffer set forth therein Recorded: June 16, 1994, in Volume 27720 of Records, Page 4, as Document No. 2610014.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 14:** Covenants, Conditions and Restrictions contained in an instrument Recorded: April 27, 1987, in Volume 3891 of Records, Page 64, as Document No. 2013034.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY, HOWEVER, GENERAL IN NATURE AND NOTHING TO PLOT.  
First Amendment Recorded: July 1, 1991, in Volume 16223 of Records, Page 24, as Document No. 2273112.  
THIS EXCEPTION DOES NOT AFFECT THE SUBJECT PROPERTY, AS IT LIES OUTSIDE SURVEY LIMITS.

**EXCEPTION 15:** Grant of Easement to Madison Gas and Electric Company Recorded: May 14, 1982, in Volume 3578 of Records, Page 29, as Document No. 1739914.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON. THIS EASEMENT PLOTS IN A DIFFERENT LOCATION PER CSM NO. 7472, EVEN THOUGH EASEMENT REFERENCE IS THE SAME.

**EXCEPTION 16:** Terms, conditions, restrictions and provisions relating to the use and maintenance of Declaration of Restrictions Recorded: January 5, 1995, in Volume 29145 of Records, page 56, as Document No. 2654032.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 17:** Grant of Easement to Madison Gas and Electric Company Recorded: October 12, 1994, in Volume 28612 of Records, Page 21, as Document No. 2637888.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 18:** Declaration of Use Restriction Recorded: October 20, 1995, in Volume 31123 of Records, Page 53, as Document No. 2712745.  
THIS EXCEPTION DOES NOT AFFECT THE SUBJECT PROPERTY, AS THE RESTRICTION HAS TERMINATED.

**EXCEPTION 19:** Grant of Easement to Madison Gas & Electric Company Recorded: October 31, 1995, in Volume 31202 of Records, Page 21, as Document No. 2714973.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

**EXCEPTION 20:** Terms, conditions, restrictions and provisions relating to the use and maintenance of Cross Access Easement Agreement by and between Home Depot U.S.A., Inc. and GMPA Trust Recorded: November 18, 1999, as Document No. 3172802.  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND THE ADJOINER (HOME DEPOT) AND IS PLOTTED HEREON.

**EXCEPTION 21:** Mortgage dated August 20, 2008 and recorded August 22, 2008 as Document No. 4462087, made by Cardinal Court, LLC, A Florida limited liability company, to AnchorBank, fsb, to secure an indebtedness in the amount of \$4,000,000.00, and the terms and conditions thereof.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

**EXCEPTION 22:** Assignment of Rents made by Cardinal Court, LLC to AnchorBank, fsb recorded August 22, 2008 as document No. 4462088.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

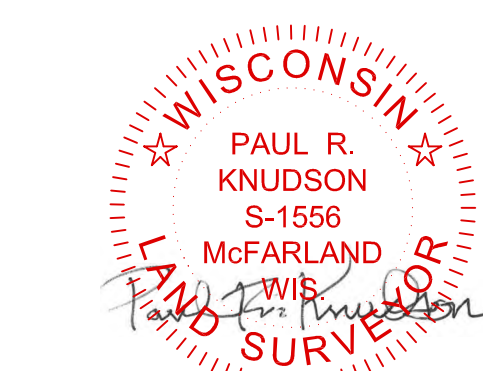
**EXCEPTION 23:** A financing statement recorded August 21, 2008 as Document No. 4461621 of Official Records, Debtor: Cardinal Court, LLC Secured party: AnchorBank, fsb A continuation statement was recorded October 2, 2013 as Document No. 5028936 of Official Records.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

**EXCEPTION 24:** Subordination, Non-Disturbance and Attornment Agreement by and among Cardinal Court, LLC as Landlord, and Pawn America Wisconsin, LLC as Tenant, and AnchorBank FSB as Lender, recorded January 4, 2010 as Document No. 4623726.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

**EXCEPTION 25:** Terms and conditions of unrecorded Lease Agreement dated December 30, 2009 by and between Cardinal Court, LLC, a Florida limited liability company as Landlord, and Pawn America Wisconsin, LLC, a Minnesota limited liability company as Tenant, for which a Lease Memorandum was recorded January 4, 2010 as Document No. 4623725.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

**EXCEPTION 26:** Rights of tenants in possession under unrecorded leases.  
THIS EXCEPTION IS NOT A SURVEY ITEM.

**EXCEPTION 27:** Right to a lien for unpaid commissions, if any, in favor of any real estate broker for the property, pursuant to Section 779.32, Wis. Stats. This exception will be removed on receipt by the Company of satisfactory affidavits of the present owner and purchaser that no such commissions are owed, or that commissions will be paid at closing. No broker lien or notice of intent to file lien has been recorded as of the effective date of this commitment to insure.  
THIS EXCEPTION IS NOT A SURVEY ITEM.



1-31-2019

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**ALTA/NPS LAND TITLE SURVEY**  
PART OF LOT 4, CERTIFIED SURVEY MAP NO. 7472,  
LOCATED IN PART OF THE SW1/4-NE1/4 AND SE1/4-NW1/4, SECTION 27, 18N, R10E,  
CITY OF MADISON, DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

SCALE: 1"=40'

DATE: 1-31-2019

DRAFTER: PKN

CHECKED: MMAR

PROJECT NO.: 180375

SHEET: 2 OF 2

DWG. NO.: S-766