

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 9-9-25 11:27 a.m.

☐ Initial Submittal

Paid _____

☐ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kam paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site) 511 & 515 W. DAYTON STREET, MADISON, WI 53701

Title: 511 & 515 W. DAYTON HOUSING

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested OCTOBER 22, 2025

- ☐ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☒ Initial Approval ☒ Final Approval

3. Project Type

- ☐ Project in an Urban Design District
☒ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Modifications of Height, Area, and Setback
☐ Sign Exceptions as noted in Sec. 31.043(3), MGO

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Paul Catta
Street address 4401 REGENT ST.
Telephone 608-345-1114

Company C&S4 ARCHITECTURE
City/State/Zip MADISON, WI 53705
Email paul@cas4arch.com

Project contact person same as applicant
Street address _____
Telephone _____

Company _____
City/State/Zip _____
Email _____

Property owner (if not applicant) JEFF ROOP - MAD PAD5, LLC
Street address 1709 PAYSAN CT.
Telephone 608-334-2010

City/State/Zip MADISON, WI 53714
Email madpad511@gmail.com

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

☒ Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ Development Plans (Refer to checklist on Page 4 for plan details)

☒ Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

☒ Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDApplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vlugt on 7-31-25 @ 4:41 pm.
- The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Paul Cuta Relationship to property Architect
 Authorizing signature of property owner [Signature] Date 9.8.25

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- ☐ Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$200 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- ☒ Planned Multi-Use Site or Residential Building Complex

PROJECT NARRATIVE

Both 511 and 515 W. Dayton Street are owned and operated by Jeff Rood and Mad Pad Properties. They are zoned Downtown Residential 2 (DR2) which allows for further development as a Residential Building Complex by a Conditional Use which this project includes.

The proposed projects include the addition a new 2-story, 2-unit apartment building behind each of the existing 3-unit apartment buildings at 511 and 515 W. Dayton Street. Each of the existing apartment buildings are circa 1914-15 and sit on the front half a 4,356 sf (.1 acre) site which results in a density ratio of 30 units / acre. The additional proposed 2-units per site results in a density ratio of 50 units / acre. There is an existing concrete driveway between the two existing buildings that leads to a backyard that is a compacted gravel parking lot. This access is allowed by an existing reciprocal easement which will be maintained but amended to allow for shared pedestrian, bike and below grade utility access to the rear of the site and new building locations. Each apartment in the new buildings will include 4 bedrooms, 2 bathrooms, a kitchen and living area. Each basement in the new buildings will include a utility room, shared laundry facilities, indoor bike parking and a common area for shared indoor activity. Each new building also includes 5 covered exterior bike parking spaces on each property (City requires 1 space/apartment unit) and each new apartment has a front and back porch. The new buildings will be protected by an automatic fire sprinkler system (NFPA R13). The exterior materials, detailing and color palettes are similar too and intended to compliment the existing buildings, comprised of smart siding clapboard siding and trim with the stair massing articulated with smart siding board-and-batten siding. The roof line, detail and fiberglass shingles are intentionally similar too the existing structures. A new masonry and timber entry arbor is provided near the public sidewalk along W. Dayton Street to both identify the new property addresses in addition to the entry point to the back of the existing site. The existing concrete driveway and drive apron are replaced with a new, narrower paver walkway that leads to a and common activity area located between all four buildings at mid-site. New landscape/plantings are proposed along the new walkway as well as the existing front yards of the existing 511 and 515 buildings. A new 6-foot high, wood privacy fence is proposed along the rear and side property lines to help protect and maintain the improved properties in addition to reducing or limiting the likelihood of large, multi-rear yard gatherings that have been problematic at times in the past.

The proposed new buildings and site development are consistent with the Mifflandia plan, providing additional living units, increased scaled housing that is more closely aligned with “missing middle housing” than the new larger buildings in the neighborhood and reinforcement of the existing scale and character of this portion of the neighborhood. We have presented the project twice to the neighborhood group and received positive feedback from participants related to the scale, character and proposed siting.

As part of the project, we are also asking for a revision to the rear yard setback from 20 feet to 10 feet so we can add that 10 feet of space between the back of the existing buildings and front of the new building, resulting in 20 feet between the two. Note, by code, we could be as close as 3-5’ between the rear of the existing and front of the new buildings however we do not believe this is sensible or desirable for a variety of reasons including but not limited to improved natural light, openness, access, shared common space, etc. In addition, we also believe this would allow for at least 20’ between the back of the new buildings and potential

PROJECT NARRATIVE

new buildings if/when they are developed on the adjoining back yard property, provided they are also allowed to go from a 20' rear yard to a 10' rear yard, resulting in a more consistent and viable development of open space between buildings as development continues in this neighborhood. This also allows us to provide a shared and more controlled "active area" between the four buildings as opposed to increased space just behind the new buildings at the rear yard and spilling into adjacent rear yards.

More specifically to setbacks and buildable site area, CoM Zoning allows for a 7'-0" separation between buildings (2 x the side yard setback) and that combined with the typical DR2 rear yard setback of 20'-0", provides for an allowable building depth of 43'-6". The Uniform Dwelling Code (UDC) on the other hand requires a minimum separation of dwellings on the same property of at least 3'-5' with rated wall construction considerations and a minimum 10'-1" separation without needing to go to fire rated construction, which we prefer and plan to use. Note that the separation is between the primary dwelling structures and features such porches, decks, eaves, etc. are not the primary structure per UDC however are impacted by construction type based on the separation between each other and/or the lot line. We are proposing a separation of 20'-9" between the existing dwelling structure and new dwelling structure which also results in a clear separation of at least 10'-1" between the existing back porches and the new front porch roof eave which would be the closest the construction of the new built construction. This combined with the proposed rear yard setback adjustment to 10'-0" results in a building depth for the new primary structure of 39'-9" (less than the allowable 40'-6" with a 10'-1" min. separation or 43'-6" with a 7'-0" separation per CoM zoning).

511 & 515 W. Dayton Housing

511B & 515B W Dayton Street Street, Madison, WI 53701

ISSUED FOR LAND USE & URBAN DESIGN APPLICATIONS



4414 Regent Street; Suite 102
Madison, WI 53705
ph 608-709-1250

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

Civil Engineering & Landscape Architecture

Vierbicher Associates
999 Fourier Drive, Ste 201
Madison, WI 53717

ph 608-826-0532

Architectural

CāS. Architecture, LLC
4414 Regent Street, Ste 102
Madison, WI 53705

ph 608-709-1250

Structural

DC Engineering
1600 Aspen Commons, Ste 240
Middleton, WI 53562

ph 608-416-1041

C100	Existing Conditions Plan
C101	Demolition Plan
C102	Site Plan (511 W. Dayton)
C103	Site Plan (515 W. Dayton)
C104	Grading Plan
C105	Utility Plan
C106	Fire Access Plan

L100	Landscape Plan (511 W Dayton)
L101	Landscape Plan (515 W Dayton)

G001	Project Title Sheet
G002	Existing Site Images
A001	Architectural Site Plan with Setbacks & Dwelling Separation
A002	Site Lighting & Photometric Plan
A100	511 Basement, First & Second Floor Plans & Notes
A101	515 Basement, First & Second Floor Plans & Notes
A102	511 & 515 Roof Plans
A200	Exterior Elevations & Materials
A201	Exterior Elevations
A202	Exterior Elevations
A203	3D Images

Black & White Image Sheets for UDC Submittal Only

A200 BW	Exterior Elevations & Materials
A201 BW	Exterior Elevations
A202 BW	Exterior Elevations
A203 BW	3D Images

511 & 515 W. Dayton Housing

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

LU & UDC Applications
NOT FOR CONSTRUCTION

Issued for:

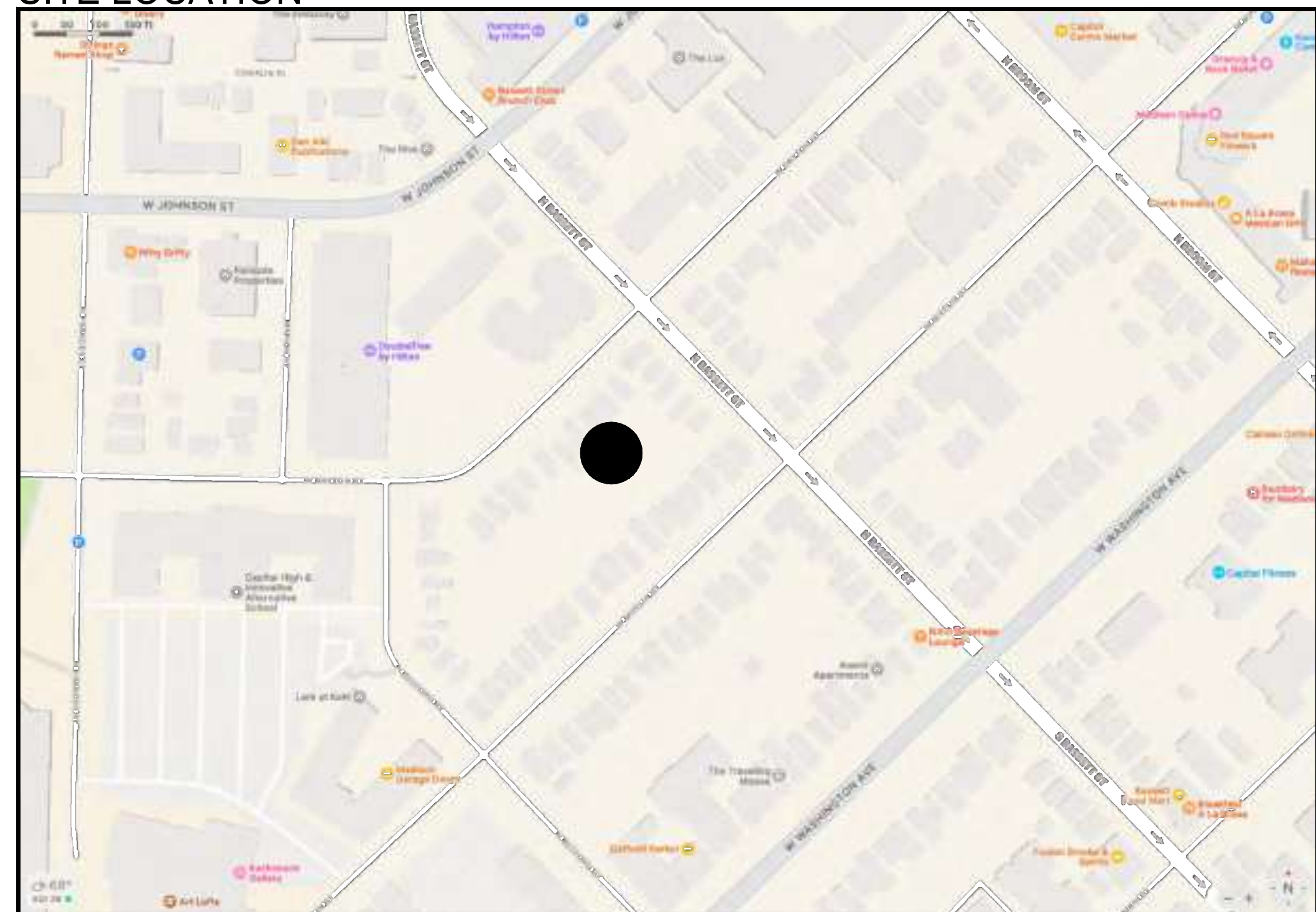
[illegible]

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

PROJECT TITLE SHEET

G001

SITE LOCATION





Cās₄
architecture, llc

4414 Regent Street; Suite 102
Madison, WI 53705
ph 608-709-1250

General Contractor
Daniels Construction
919 Applegate Road
Madison, WI 53713

**511 & 515 W. Dayton
Housing**
511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

Issued for:

[illegible]

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Existing Site & Context Image

G002

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

Issued for:

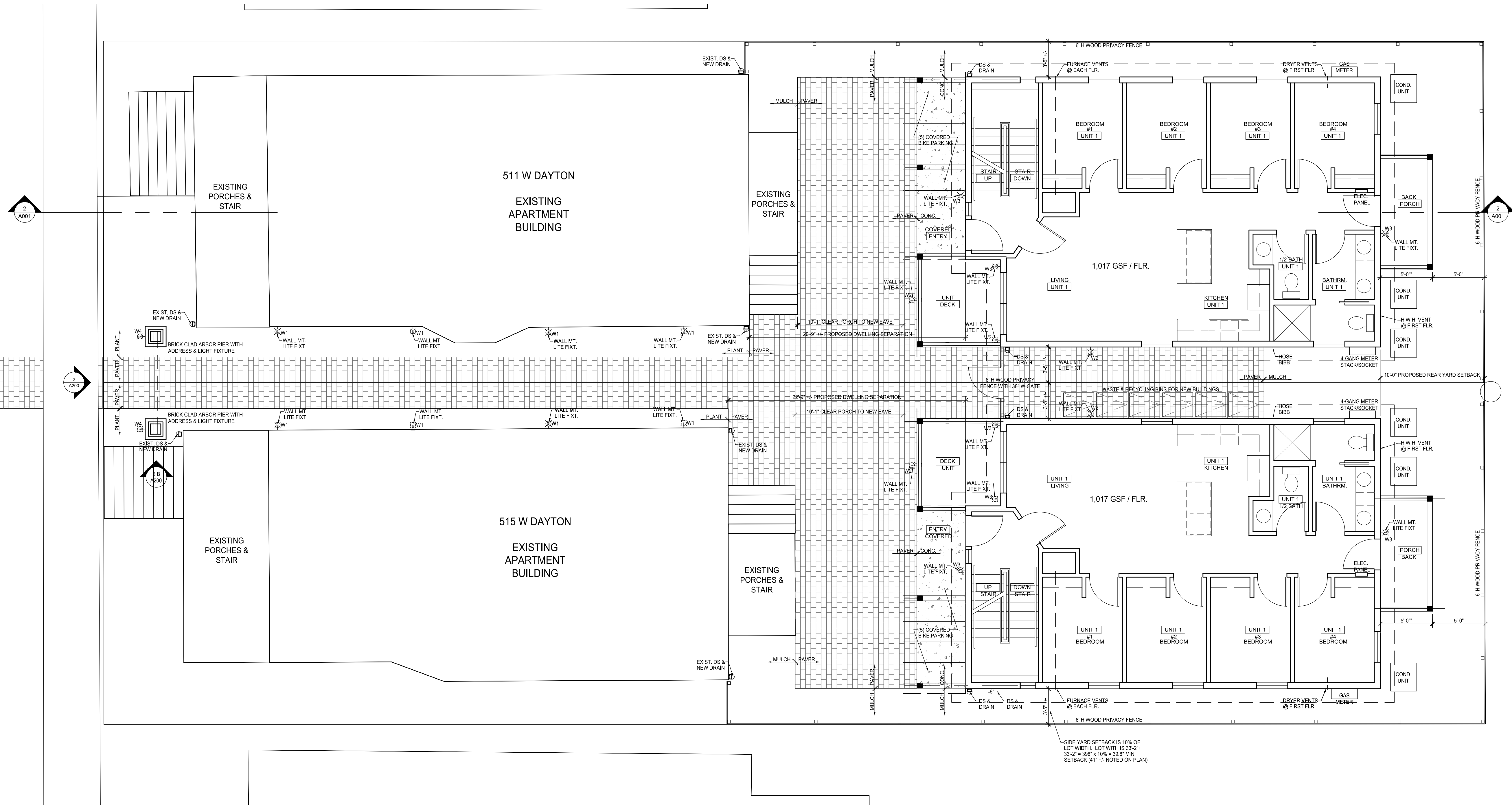
No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture

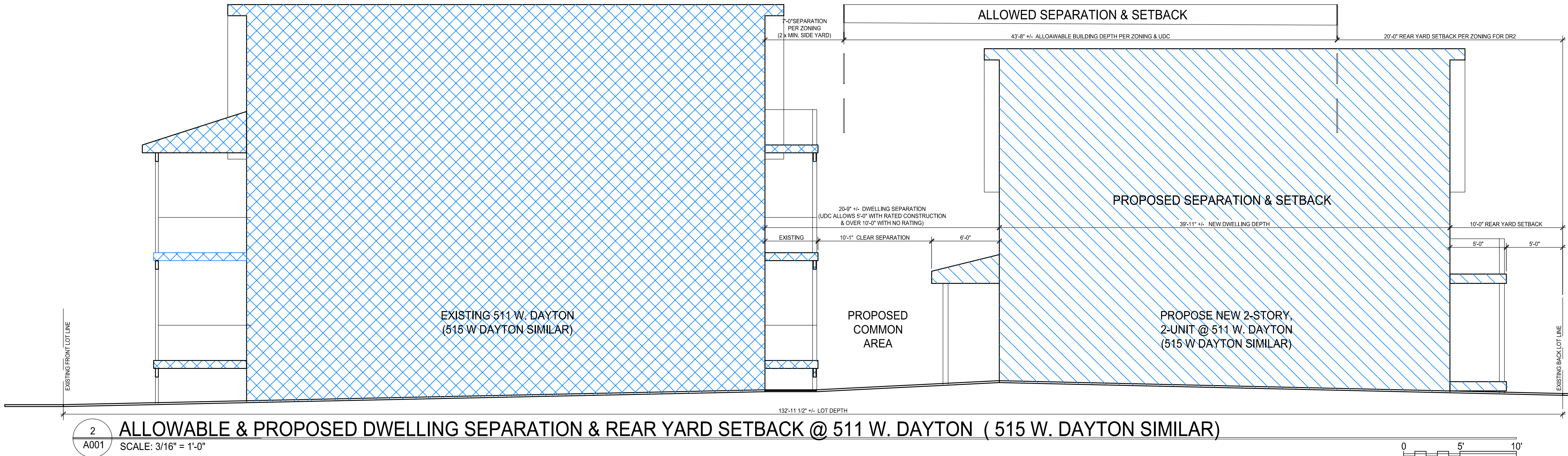
Checked by: CaS4 Architecture

**Site Plan with Setbacks &
Dwelling Separation**

A001

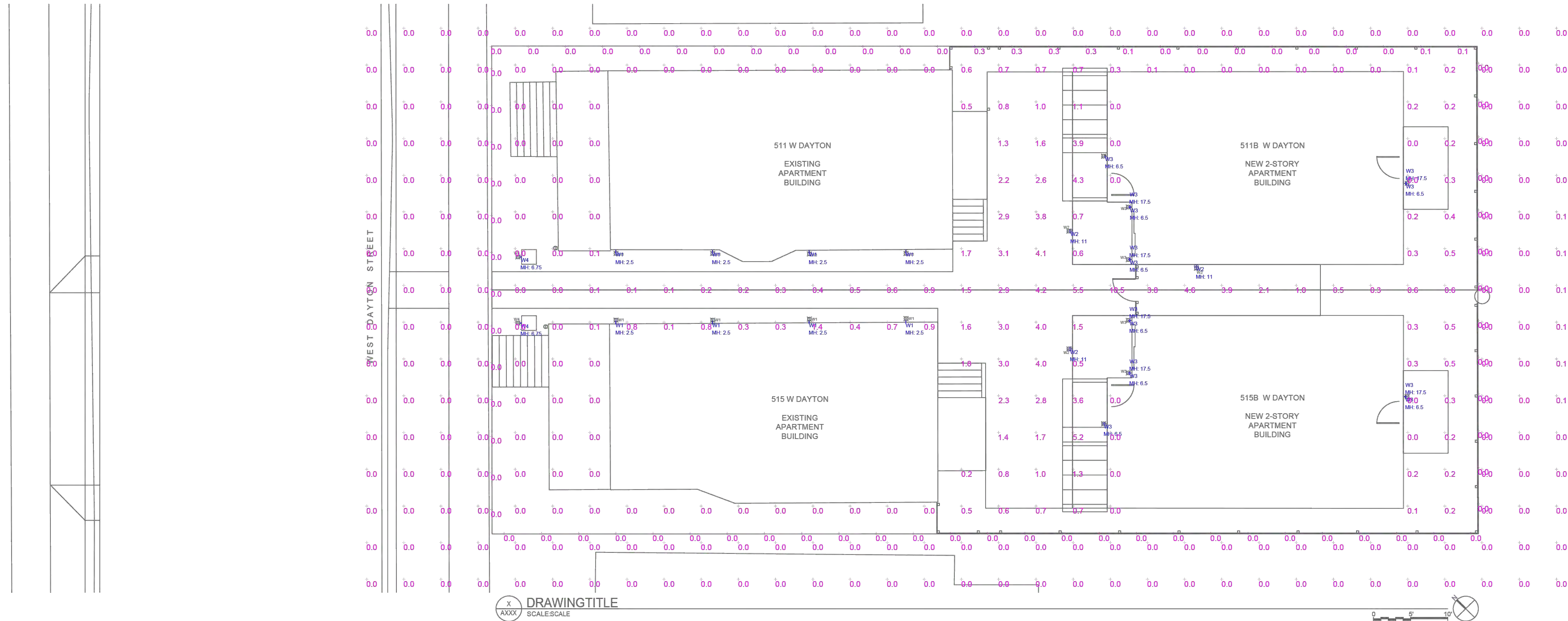


1 ARCHITECTURAL SITE PLAN WITH SETBACKS AND DWELLING SEPARATION
A001 SCALE: 3/16" = 1'-0"



2 ALLOWABLE & PROPOSED DWELLING SEPARATION & REAR YARD SETBACK @ 511 W. DAYTON (515 W. DAYTON SIMILAR)
A001 SCALE: 3/16" = 1'-0"

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.

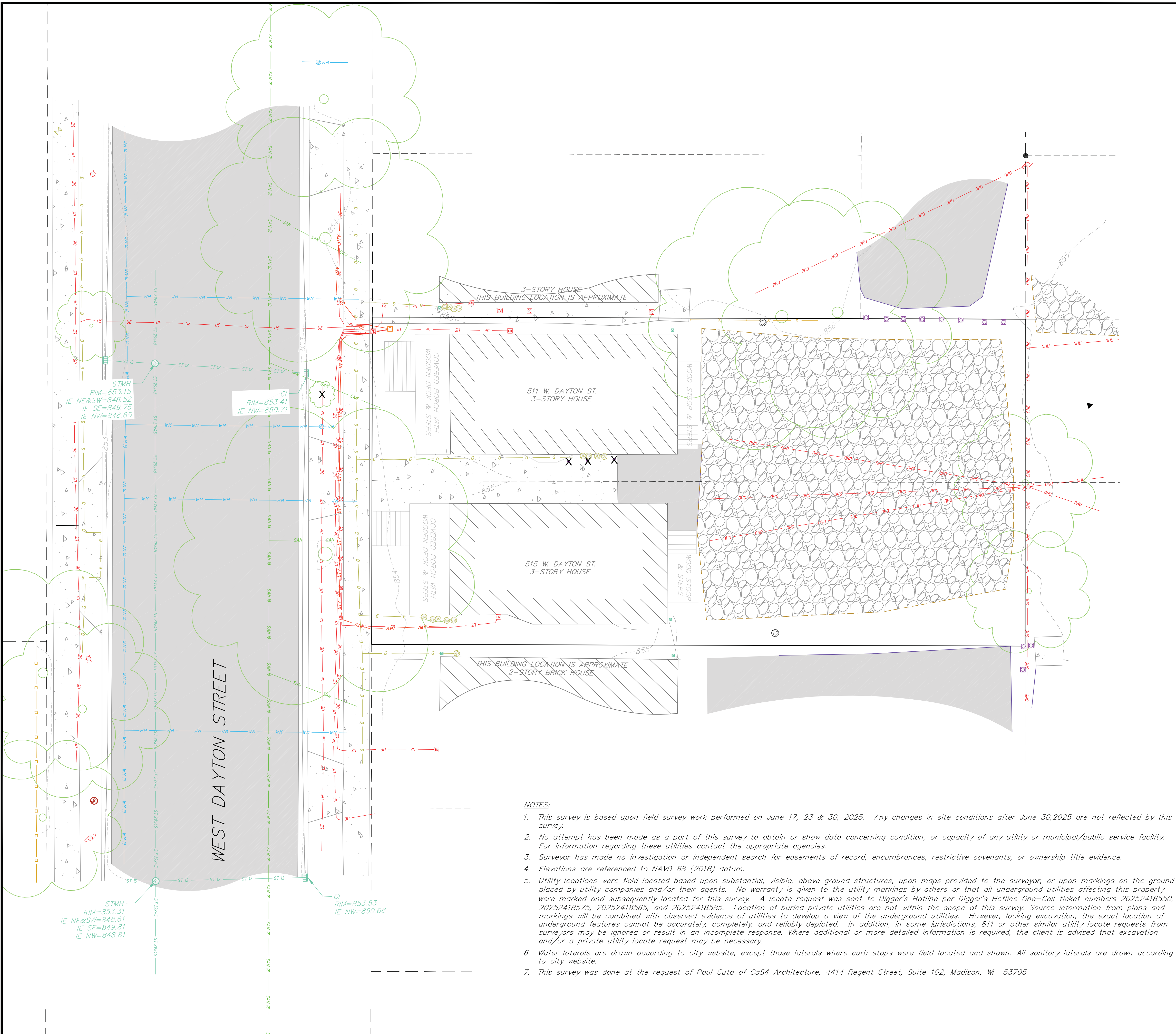


Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
W1	8	Single	0.950	KUZCO	ER30103-xx	3.1	24.8	22
W2	3	Single	0.950	LITHONIA	WDGE1 LED P0 xxK xxCRI VW	6.7947	20.384	761
W3	14	Single	0.950	KUZCO	EW264105-xx	9.8	137.2	617
W4	2	Single	0.950	WAC	WL-LED110-C-xx	3.23545	6.471	1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PRESUMED PROPERTY LINE	Illuminance	Fc	0.02	0.3	0.0	N.A.	N.A.
SITE	Illuminance	Fc	0.35	10.5	0.0	N.A.	N.A.

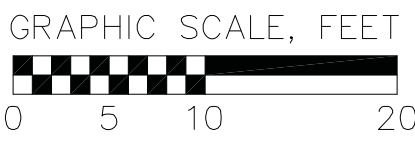
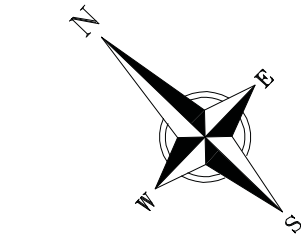
1 SITE LIGHTING / PHOTOMETRIC PLAN (COMBINED 511 & 515 W. DAYTON SITES)
A002 SCALE: 1/8" = 1'-0" 

[illegible]



SURVEY LEGEND

- ▲ FOUND NAIL
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD
- ⊙ SET NAIL
- △ SET P.K. NAIL



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⊠ EXISTING POST
- EXISTING CURB INLET
- EXISTING ROOF DRAIN
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING AIR CONDITIONING PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ⊙ EXISTING ELECTRIC METER
- ☆ EXISTING LIGHT POLE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING UNIDENTIFIED MANHOLE
- ⊙ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — UTV — EXISTING UNDERGROUND CABLE TV
- - - X - - - EXISTING WIRE FENCE
- - - □ - - - EXISTING WOOD FENCE
- - - G - - - EXISTING GAS LINE
- - - UE - - - EXISTING UNDERGROUND ELECTRIC LINE
- - - OHE - - - EXISTING OVERHEAD ELECTRIC LINE
- - - OHU - - - EXISTING OVERHEAD GENERAL UTILITIES
- - - SAN - - - EXISTING SANITARY SEWER LINE (SIZE NOTED)
- - - ST - - - EXISTING STORM SEWER LINE (SIZE NOTED)
- - - WM - - - EXISTING WATER MAIN (SIZE NOTED)
- - - 820 - - - EXISTING MAJOR CONTOUR
- - - 818 - - - EXISTING MINOR CONTOUR
- - - — - - EXISTING EDGE OF PAVEMENT
- - - - - - EXISTING EDGE OF GRAVEL



EXISTING GRAVEL SURFACE



EXISTING CONCRETE SURFACE



EXISTING ASPHALT SURFACE

NOTES:

1. This survey is based upon field survey work performed on June 17, 23 & 30, 2025. Any changes in site conditions after June 30, 2025 are not reflected by this survey.
2. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
4. Elevations are referenced to NAVD 88 (2018) datum.
5. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20252418550, 20252418575, 20252418585, and 20252418585. Location of buried private utilities are not within the scope of this survey. Source information from plans and markings will be combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.
6. Water laterals are drawn according to city website, except those laterals where curb stops were field located and shown. All sanitary laterals are drawn according to city website.
7. This survey was done at the request of Paul Cuta of CaS4 Architecture, 4414 Regent Street, Suite 102, Madison, WI 53705

Existing Conditions Plan

511 & 515 W Dayton Housing
511 & 515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISIONS	NO.	DATE	REMARKS

DATE
09/08/2025

DRAFTER
ZDRE

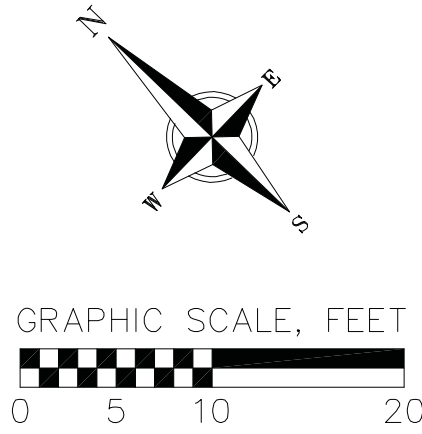
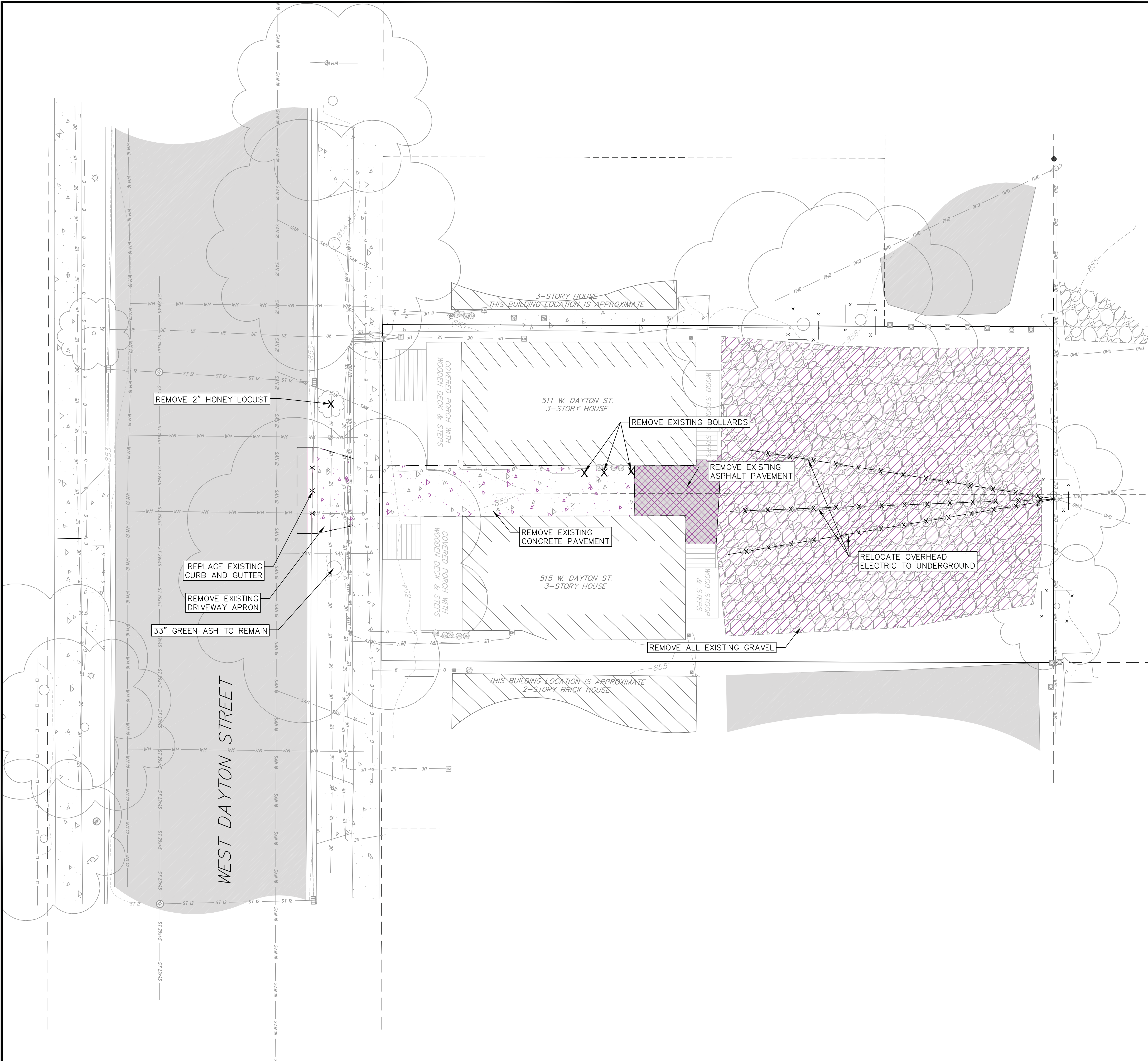
CHECKED
RKOL

PROJECT NO.
250510

C100



vierbicher
planners engineers advisors

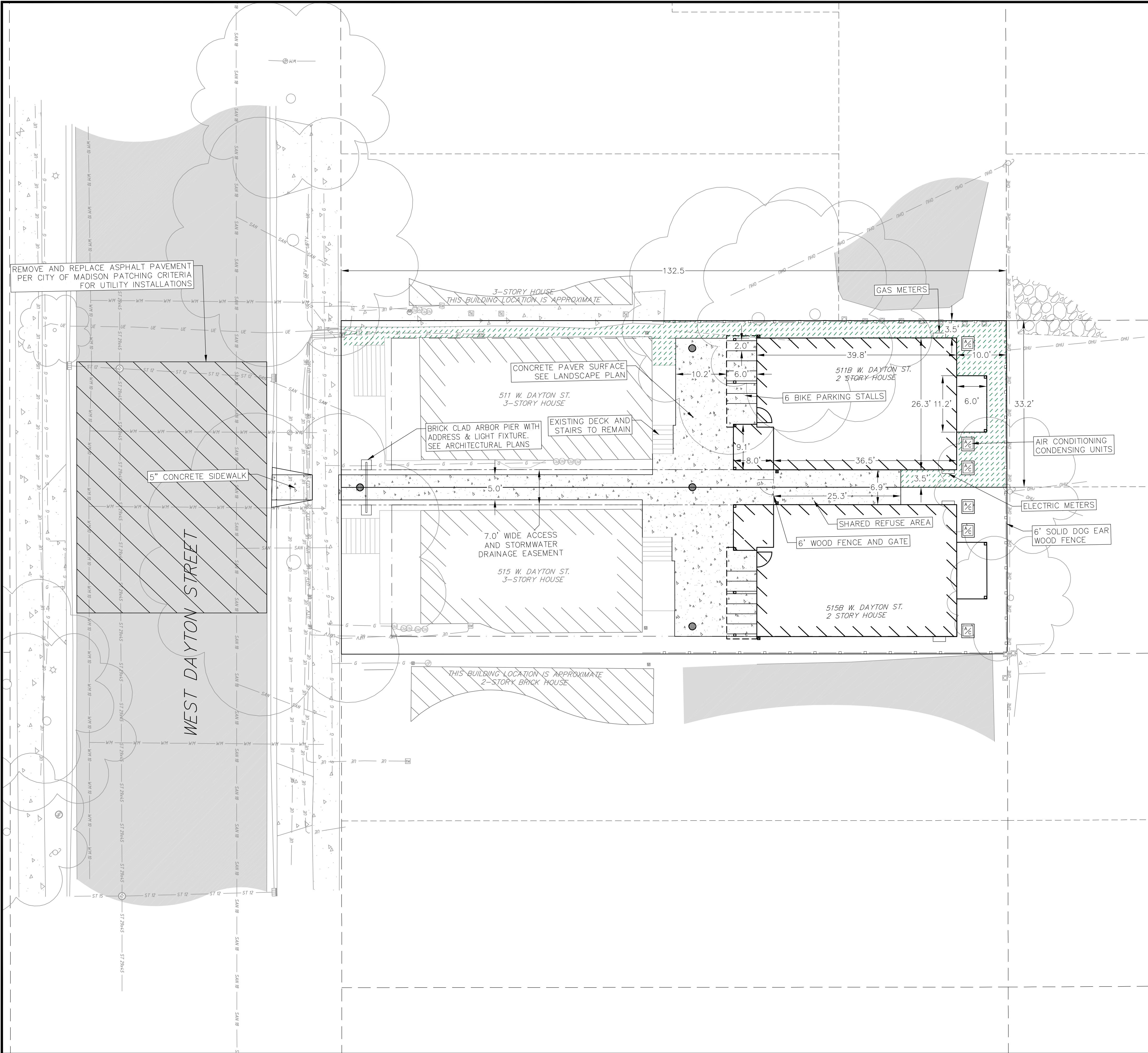


DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- GRAVEL REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL
- TREE PROTECTIVE FENCING

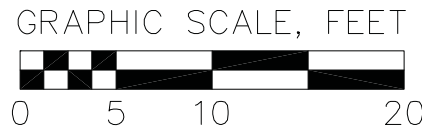
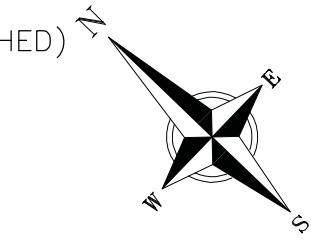
- DEMOLITION NOTES:
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 - COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS. EXTENTS OF SAW CUTTING PUBLIC IMPROVEMENTS SHOULD BE VERIFIED BY A CITY REPRESENTATIVE BEFORE CUTTING.
 - CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 - IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 - ALL TREE REMOVALS OVER UNDERGROUND UTILITIES PROHIBIT REMOVAL BY UPROOTING. TREES OVER UNDERGROUND UTILITIES MUST BE CUT AND THE STUMPS GROUND.

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Demolition Plan			
511 & 515 W Dayton Housing			
511 & 515 West Dayton Street			
City of Madison, Dane County, Wisconsin 53703			
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
DATE		DATE	
09/08/2025		DATE	
DRAFTER		DRAFTER	
ZDRE		DRAFTER	
CHECKED		CHECKED	
RKOL		CHECKED	
PROJECT NO.		PROJECT NO.	
250510		PROJECT NO.	
C101		PROJECT NO.	



SITE PLAN LEGEND	
	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED WOOD FENCE
	PROPOSED CONCRETE
	PROPOSED BUILDING

ABBREVIATIONS	
TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL



SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
3. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
4. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SITE INFORMATION	
ZONING DISTRICT	DR2
SITE ACREAGE	0.101 AC
SITE SQUARE FOOTAGE	4,399 SF
EXISTING BUILDING FOOTPRINT	1,455 SF
PROPOSED BUILDING FOOTPRINT	1,267 SF
PAVED AREA	621 SF
LANDSCAPE AREA	1,056 SF
TOTAL IMPERVIOUS AREA	3,343 SF (76.0%)
USABLE OPEN SPACE	622 SF
FRONT YARD SETBACK	10 FEET
SIDE YARD SETBACK	3.5 FEET
REAR YARD SETBACK	10 FEET

BIKE PARKING ANALYSIS			
UNIT TYPE	QTY	CODE REQ'D	TOTAL
		# STALLS REQ'D	
PROPOSED 4 BR	2	1 PER BEDROOM PLUS 1 GUEST SPACE PER 4 BEDROOMS	10 STALLS
BICYCLE SUBSTITUTION	2	FOUR (4) BICYCLE PARKING SPACES ABOVE THE MINIMUM NUMBER REQUIRED MAY BE SUBSTITUTED FOR ONE (1) REQUIRED AUTOMOBILE PARKING SPACE.	8 STALLS
TOTAL REQUIRED			18 STALLS
PROVIDED ABOVE GRADE			6 STALLS
PROVIDED BELOW GRADE			12 STALLS
TOTAL PROVIDED			18 STALLS

*2 AUTOMOBILE STALLS ARE REQUIRED (1 PER DWELLING UNIT) AND IS SATISFIED WITH BICYCLE SUBSTITUTION.



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Site Plan

511 W Dayton Housing
511 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

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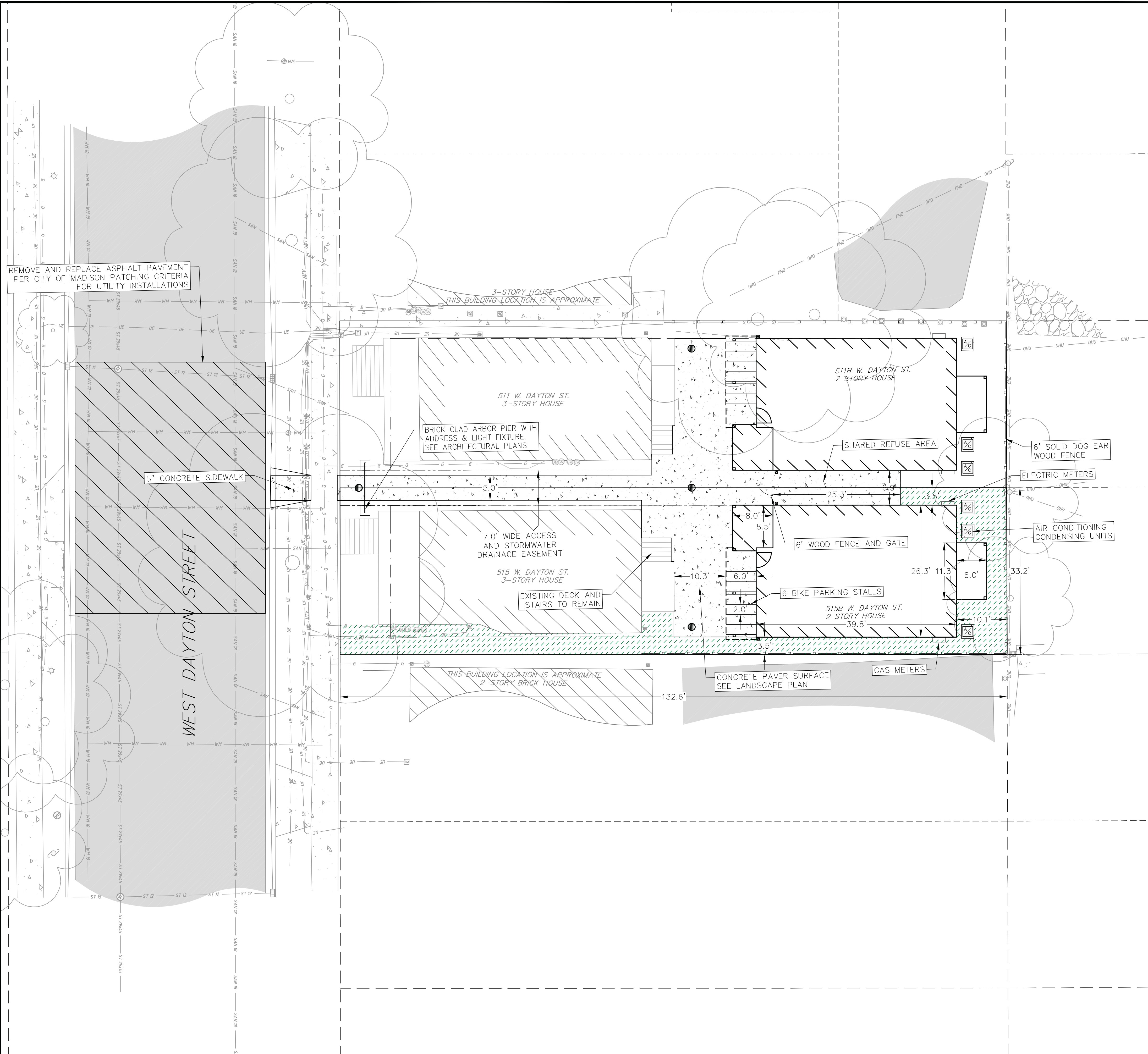
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C102



PROPERTY BOUNDARY

CURB AND GUTTER (REVERSE CURB HATCHED)

PROPOSED WOOD FENCE

PROPOSED CONCRETE

PROPOSED BUILDING

ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

GRAPHIC SCALE, FEET

0 5 10 20

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
3. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
4. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SITE INFORMATION	
ZONING DISTRICT	DR2
SITE ACREAGE	0.101 AC
SITE SQUARE FOOTAGE	4,401 SF
EXISTING BUILDING FOOTPRINT	1,383 SF
PROPOSED BUILDING FOOTPRINT	1,267 SF
PAVED AREA	655 SF
LANDSCAPE AREA	1,096 SF
TOTAL IMPERVIOUS AREA	3,305 SF (75.1%)
USABLE OPEN SPACE	842 SF
FRONT YARD SETBACK	10 FEET
SIDE YARD SETBACK	3.5 FEET
REAR YARD SETBACK	10 FEET

BIKE PARKING ANALYSIS			
UNIT TYPE	QTY	CODE REQ'D	TOTAL
		# STALLS REQ'D	
PROPOSED 4 BR	2	1 PER BEDROOM PLUS 1 GUEST SPACE PER 4 BEDROOMS	10 STALLS
BICYCLE SUBSTITUTION	2	FOUR (4) BICYCLE PARKING SPACES ABOVE THE MINIMUM NUMBER REQUIRED MAY BE SUBSTITUTED FOR ONE (1) REQUIRED AUTOMOBILE PARKING SPACE.	8 STALLS
TOTAL REQUIRED			18 STALLS
PROVIDED ABOVE GRADE			6 STALLS
PROVIDED BELOW GRADE			12 STALLS
TOTAL PROVIDED			18 STALLS

*2 AUTOMOBILE STALLS ARE REQUIRED (1 PER DWELLING UNIT) AND IS SATISFIED WITH BICYCLE SUBSTITUTION.

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Site Plan

515 W Dayton Housing

515 West Dayton Street

City of Madison, Dane County, Wisconsin 53703

REVISONS	REVISONS		REMARKS
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09/08/2025

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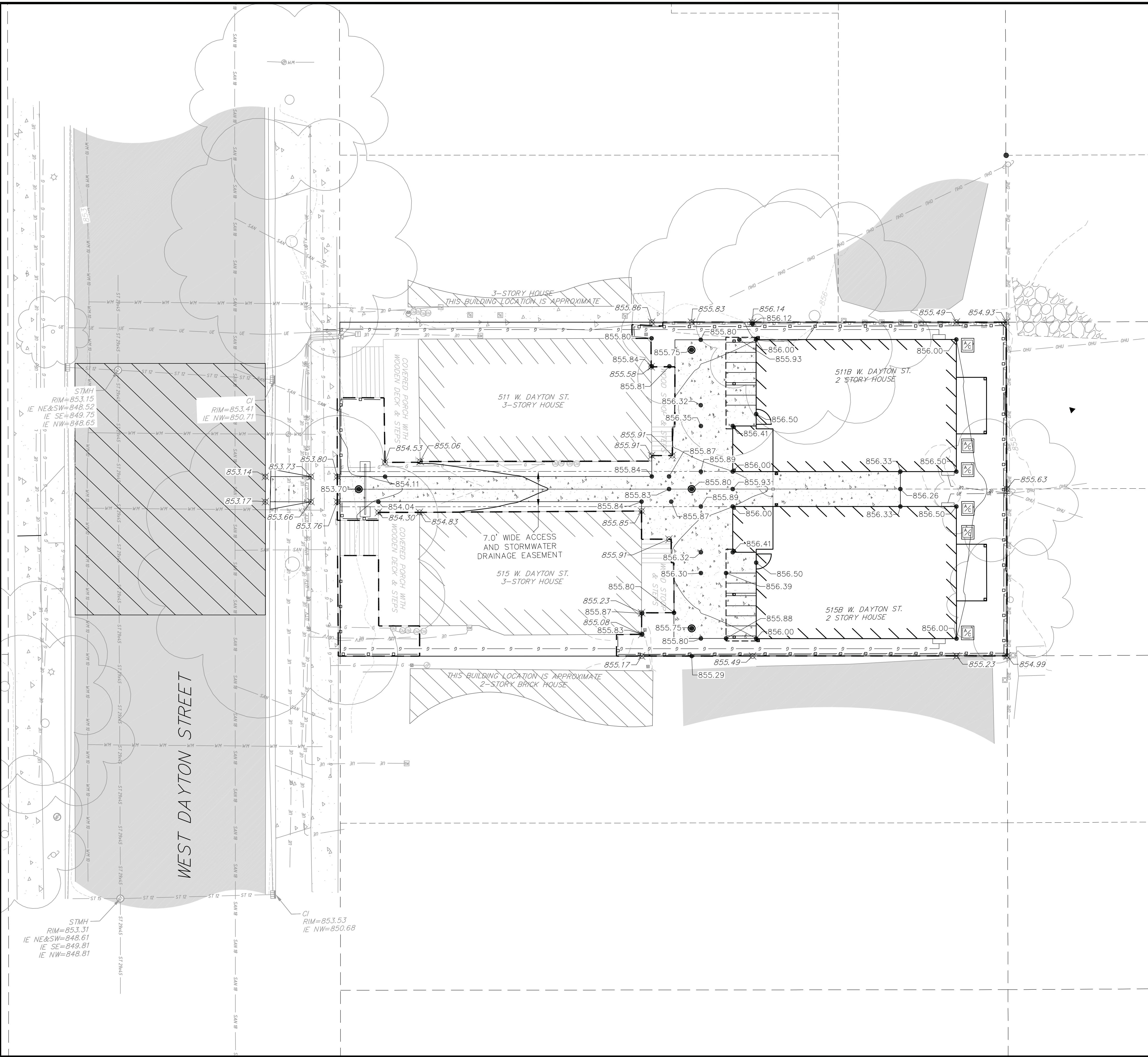
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PROJECT NO.

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GRADING LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 --- PROPOSED MAJOR CONTOURS
- 818 --- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD

GRAPHIC SCALE, FEET

0 5 10 20

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
 - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



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Grading Plan

511 & 515 W Dayton Housing
511 & 515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

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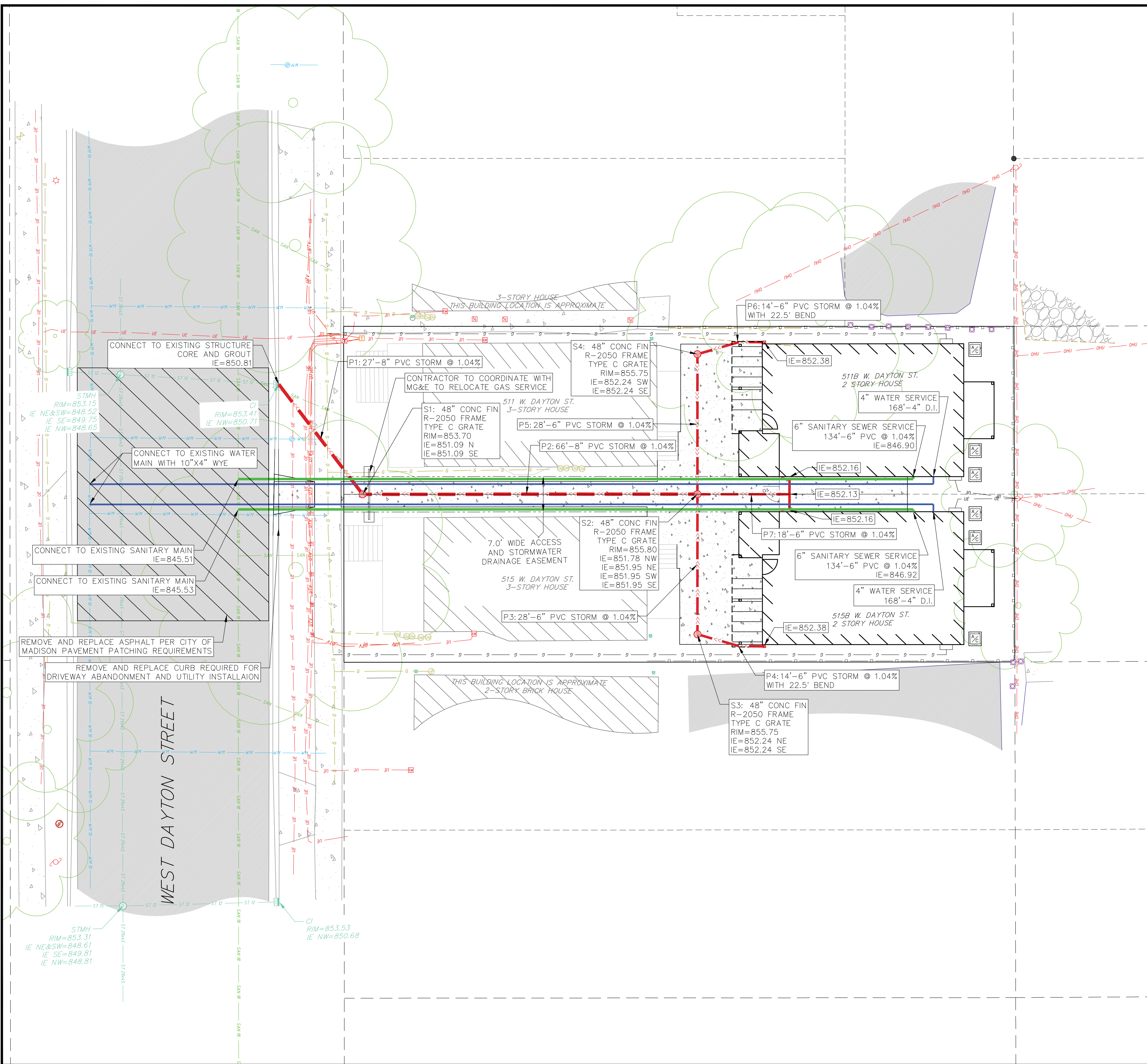
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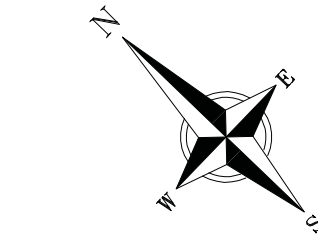
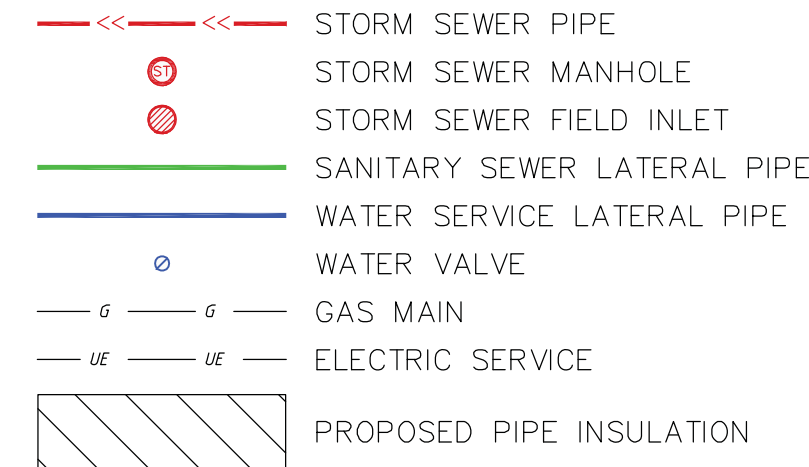
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PROPOSED UTILITY LEGEND



GRAPHIC SCALE, FEET



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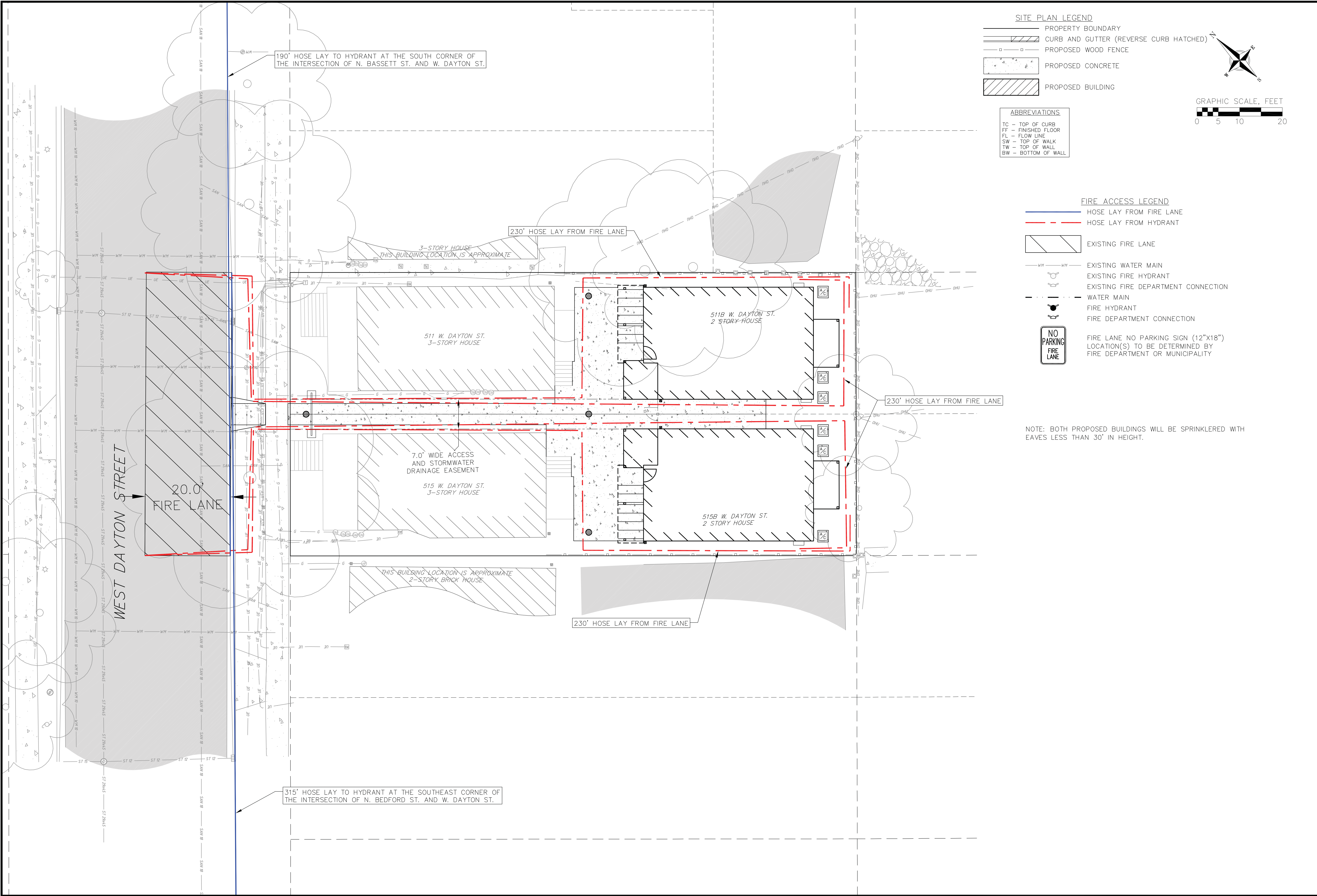
ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(H) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

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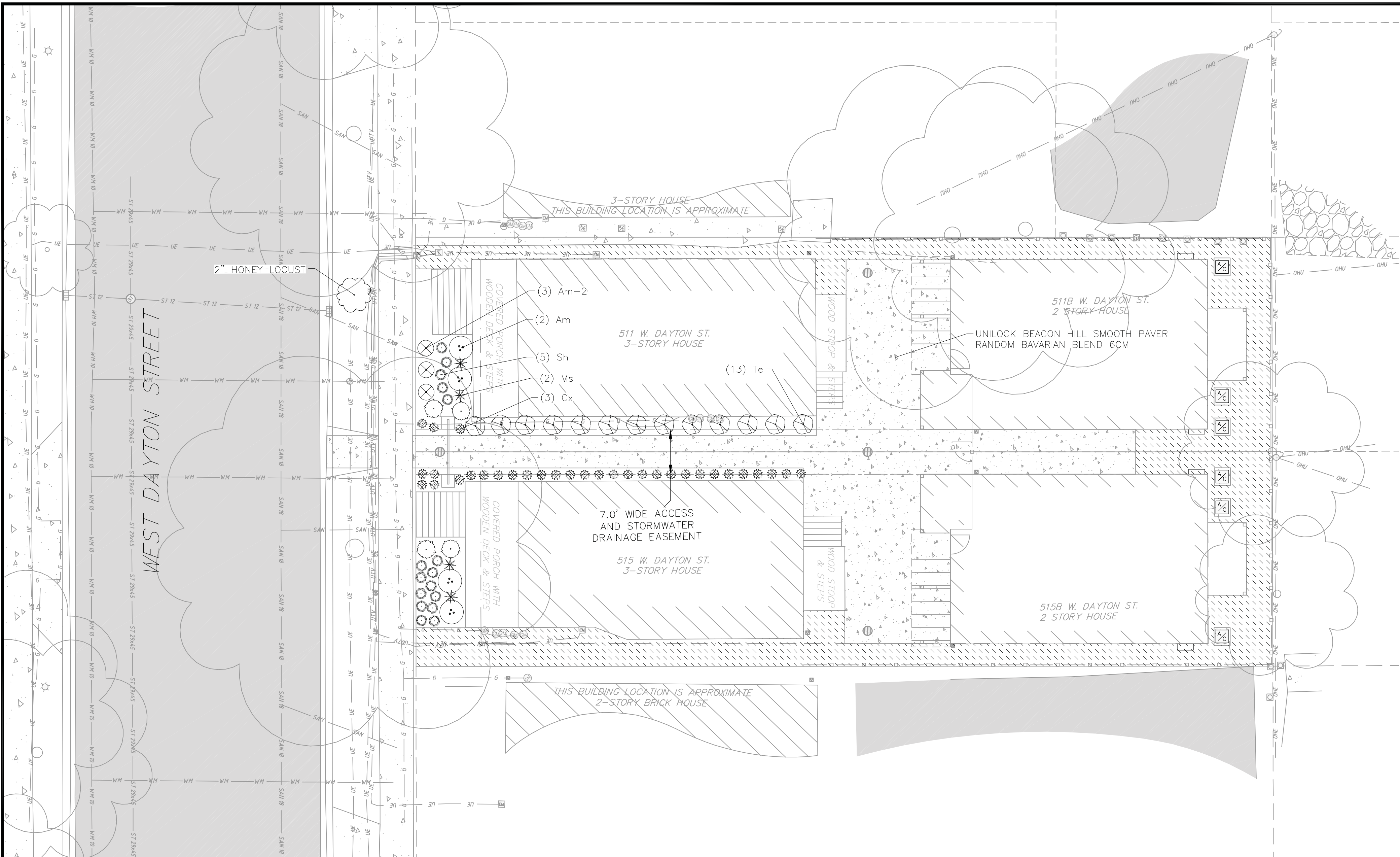




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Fire Access Plan			
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DATE 09/08/2025			
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CHECKED RKOL			
PROJECT NO. 250510			
C106			

511 & 515 W Dayton Housing
511 & 515 West Dayton Street
City of Madison, Dane County, Wisconsin 53703



PLANT SCHEDULE 511 W DAYTON

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	2
Am-2	Aronia melanocarpa 'UCONNAM012' / Ground Hug® Black Chokeberry	Cont.	2 Gal.	3
La	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	2
EVERGREEN SHRUBS				
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	#3	13
PERENNIALS				
MS	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	2
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	5

City of Madison Landscape Worksheet								
Address:		511 W Dayton St.		Date:	8/20/2025			
Total Square Footage of Developed Area:		(Site Area)	-	(Building Footprint at Grade)		=	2241	sf
			4400			2159		
Total Landscape Points Required (<5 ac):		2,241	/ 300 =	7	x 5 =	37	37	
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	-		
			Credits/ Existing Landscaping		New/ Proposed Landscaping			
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved		
Overstory deciduous tree	2.5" cal	35		0		0		
Tall Evergreen Tree	5-6 feet tall	35		0		0		
Ornamental tree	1.5" cal	15		0		0		
Upright evergreen shrub	3-4 feet tall	10		0		0		
Shrub, deciduous	#3 gallon	3		0	7	21		
Shrub, evergreen	#3 gallon	4		0	13	52		
Ornamental grasses/perennials	#1 gallon	2		0	7	14		
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0		
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0		
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0		
Sub Totals				0		87		
Total Points Provided:				87				

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE AREAS IDENTIFIED AS DECORATIVE STONE ARE TO BE INSTALLED USING 3/4" 'GRANITE MIST' AS SUPPLIED BY 'MIDWEST DECORATIVE STONE OR EQUAL TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- AREAS LABELED ARTIFICIAL TURF ARE TO BE INSTALLED USING POLYTURF - 'GARDEN GRASS PET & PLAY' OR EQUAL PER MANUFACTURER INSTRUCTIONS.

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.



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Landscape Plan

511 W Dayton Housing
511 West Dayton Street
City of Madison, Dane County, Wisconsin 53703

REVISONS	NO.	DATE	REMARKS

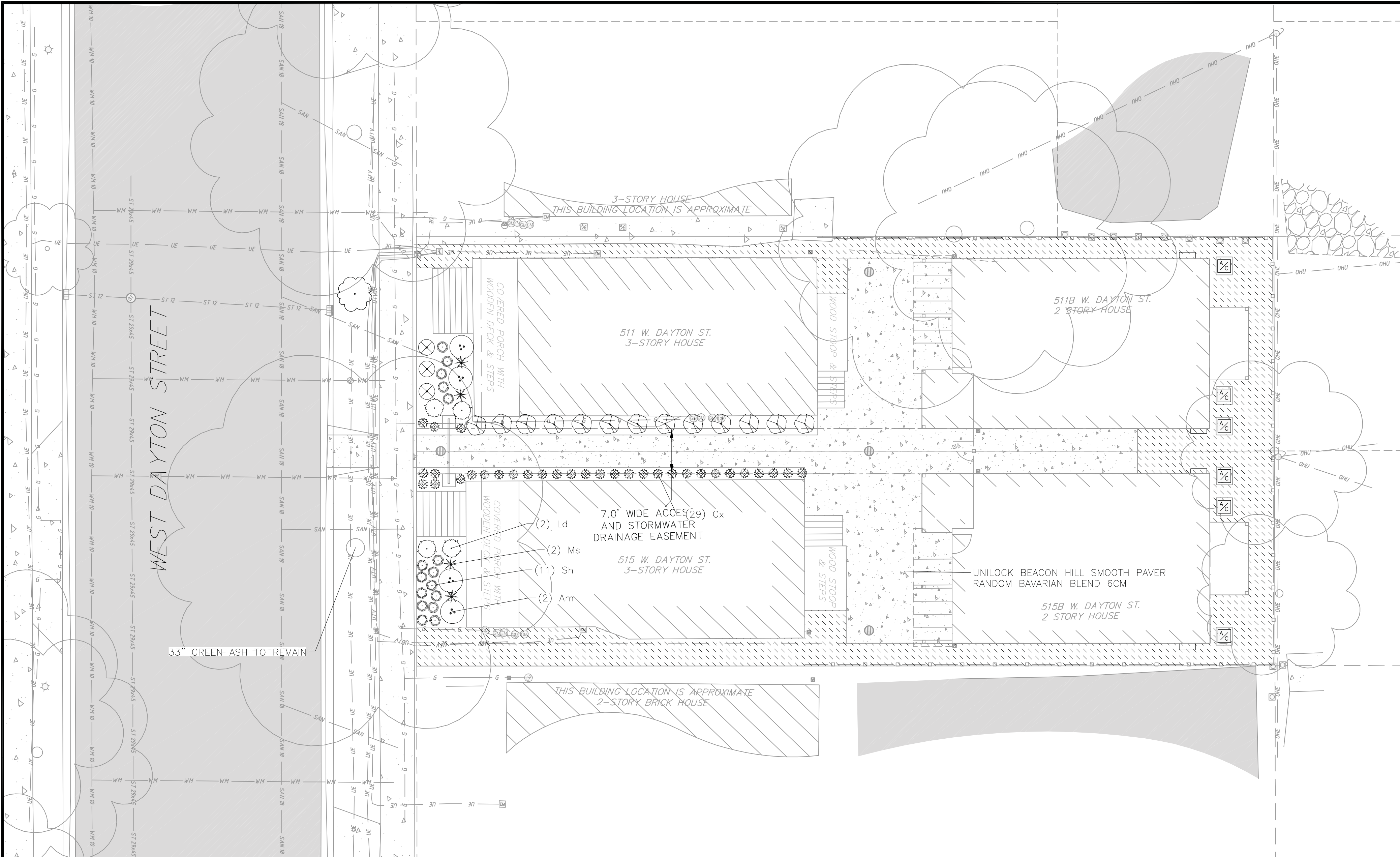
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PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE AREAS IDENTIFIED AS DECORATIVE STONE ARE TO BE INSTALLED USING 3/4" "GRANITE MIST" AS SUPPLIED BY 'MIDWEST DECORATIVE STONE OR EQUAL TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- AREAS LABELED ARTIFICIAL TURF ARE TO BE INSTALLED USING POLYTURF - 'GARDEN GRASS PET & PLAY' OR EQUAL PER MANUFACTURER INSTRUCTIONS.

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

PLANT SCHEDULE 515 W DAYTON

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	2
Ld	Lonicera clervilla / Honeysuckle	Cont.	3 Gal.	2
PERENNIALS				
Cx	Carex pensylvanica / Pennsylvania Sedge	Cont.	1 Gal.	29
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	2
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	11

City of Madison Landscape Worksheet						
Address:	515 W Dayton St.		Date:	8/20/2025		
Total Square Footage of Developed Area:	(Site Area)	-	(Building Footprint at Grade)		=	2327 sf
		4400				2073
Total Landscape Points Required (<5 ac):	2,327	/ 300 =	8	x 5 =	39	
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-	39
			Credits/ Existing Landscaping		New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0		0
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0	4	12
Shrub, evergreen	#3 gallon	4		0		0
Ornamental grasses/perennials	#1 gallon	2		0	42	84
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
Sub Totals				0		96
			Total Points Provided:		96	



vierbicher

planners engineers advisors

Landscape Plan

515 W Dayton Housing

515 West Dayton Street

City of Madison, Dane County, Wisconsin 53703

REVISIONS	NO.	DATE	REVISIONS			
			REMARKS			
REVISIONS	NO.	DATE	REVISIONS			
			REMARKS			
DATE			09/08/2025			
DRAFTER			ZDRE			
CHECKED			RKOL			
PROJECT NO.			250510			
L101						

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

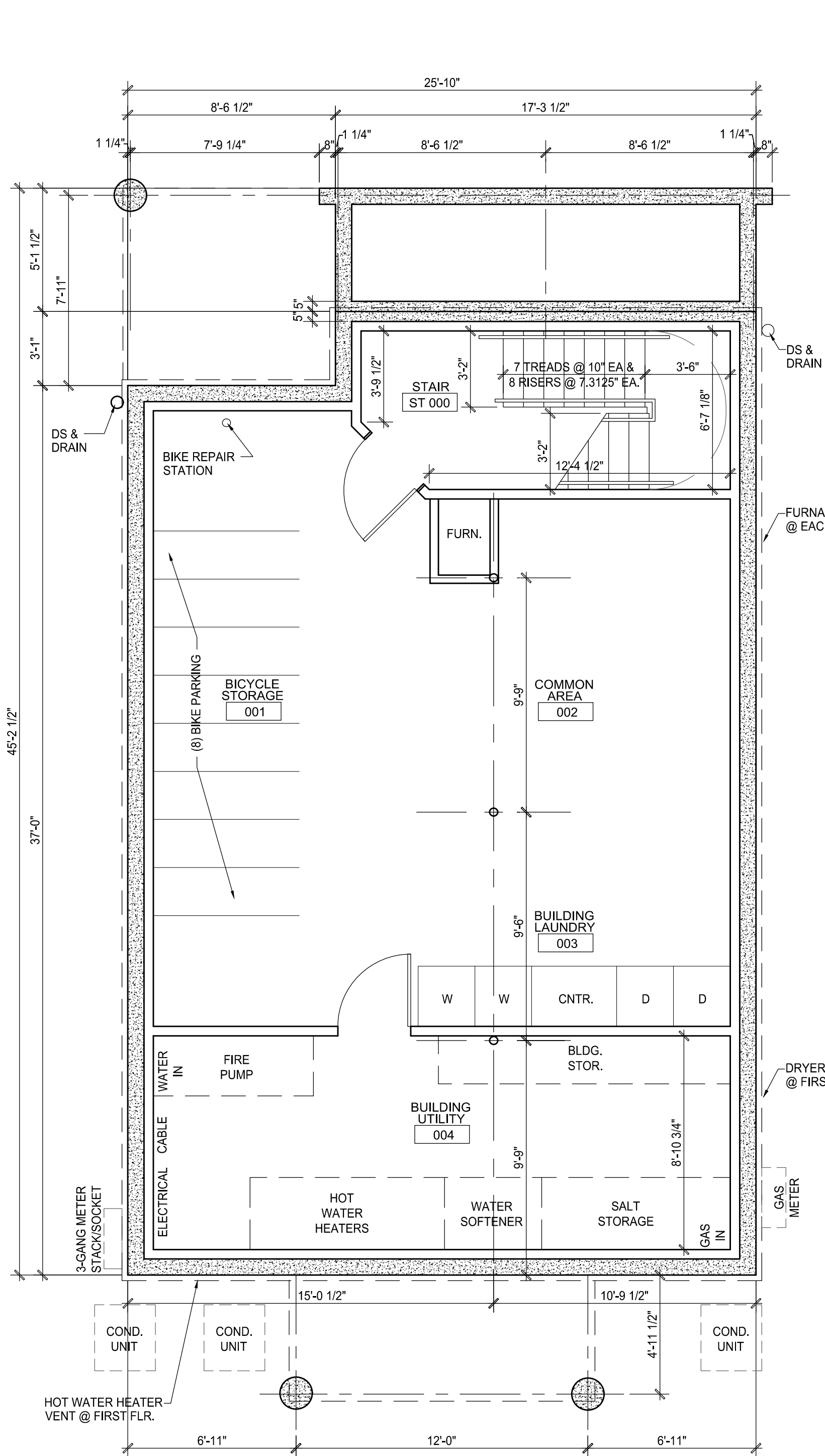
Issued for:

No.	Description	Date
1	Pre LU App Review Set	8-18-2025
2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

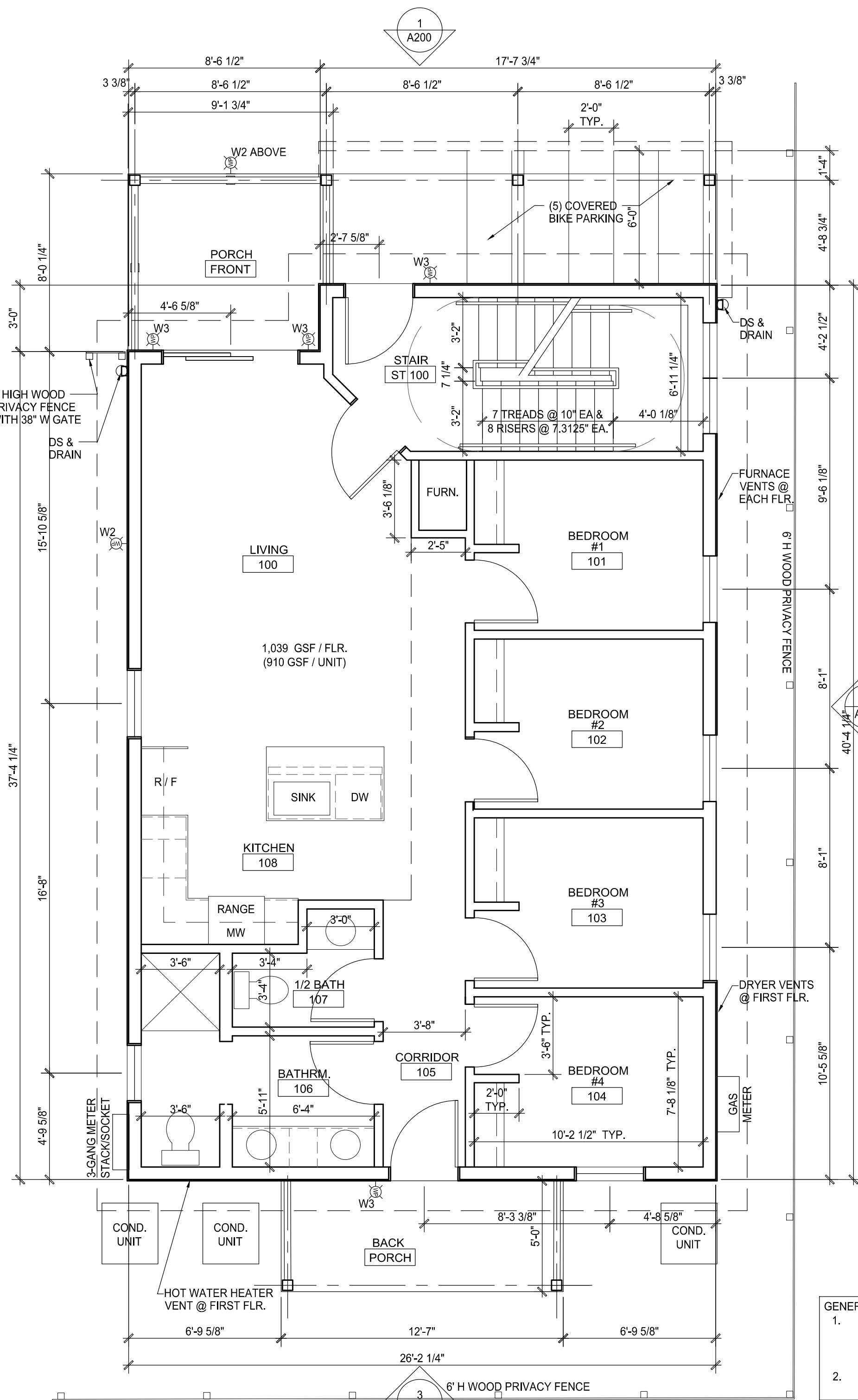
**511 - New Floor Plans &
Notes**

A100



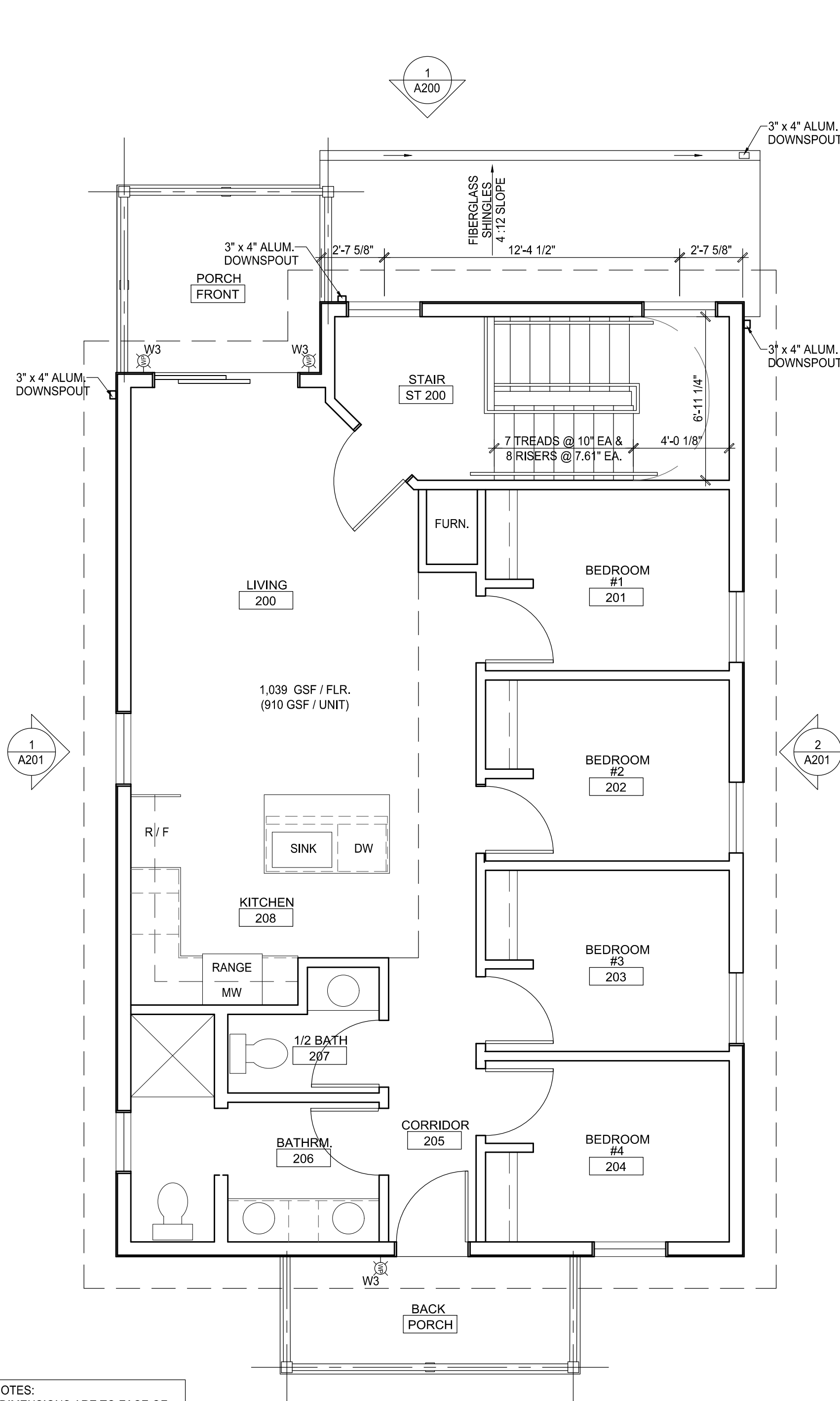
1
A100
511 - BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



2
A100
511 - FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



3
A100
511 - SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING, CENTERLINES OF OPENINGS AND FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. INTERIOR DIMENSIONS ARE FROM FACE OF GWB UNLESS NOTED OTHERWISE.

phone: 608-271-4800

Project #: 25009.00

Issued for:

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

A101



GENERAL PLAN NOTES:

1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING , CENTERLINES OF OPENINGS AND FACE OF CONCRETE UNLESS NOTED OTHERWISE
2. INTERIOR DIMENSIONS ARE FROM FACE OF GWB UNLESS NOTED OTHERWISE.



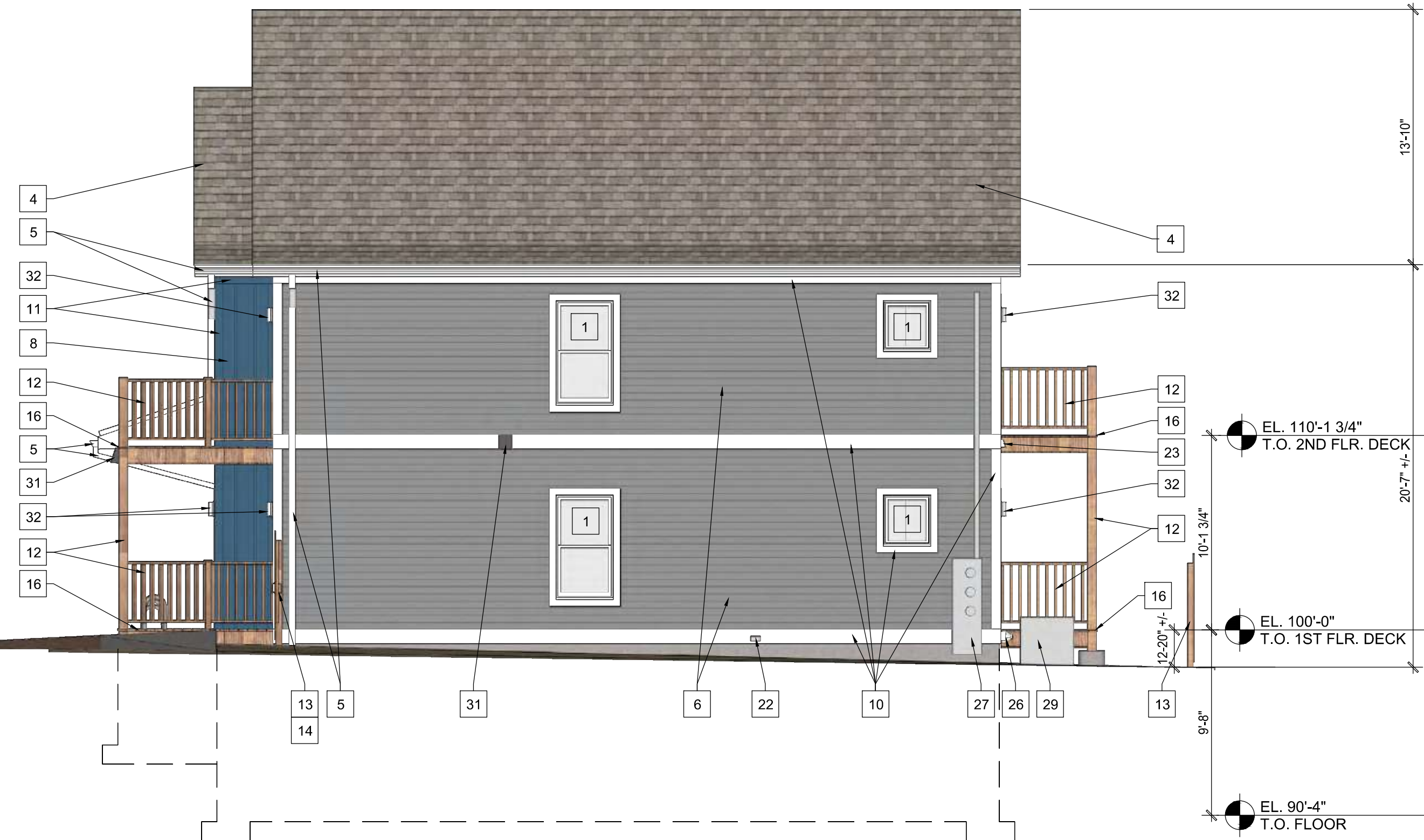
phone: 608-271-4800

511 West Dayton Street
Madison, WI 53703

Issued for:

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

A102



511 W. DAYTON
WEST SIDE ELEVATION
SCALE: 3/16" = 1'-0"



511 W. DAYTON
EAST SIDE ELEVATION
SCALE: 3/16" = 1'-0"

CāS₄
architecture, llc

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ph 608-709-1250

General Contractor

Daniels Construction

919 Applegate Road
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**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

511 - Exterior Elevations

A201

General Contractor

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919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

515 - Exterior Elevations

A201

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



515 W. DAYTON

1

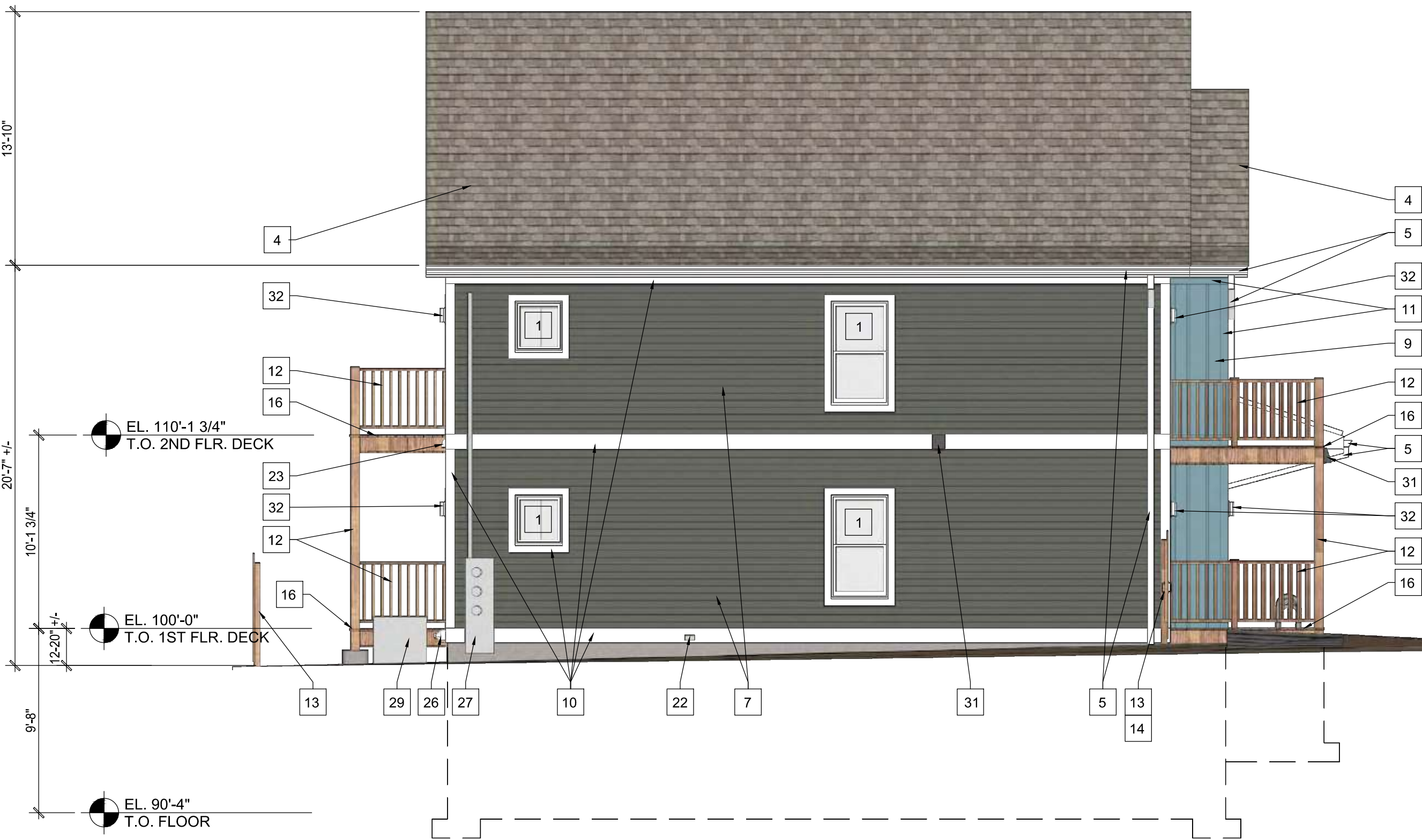
A202

WEST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



515 W. DAYTON

2

A202

EAST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'



511 & 515 W. Dayton Housing

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

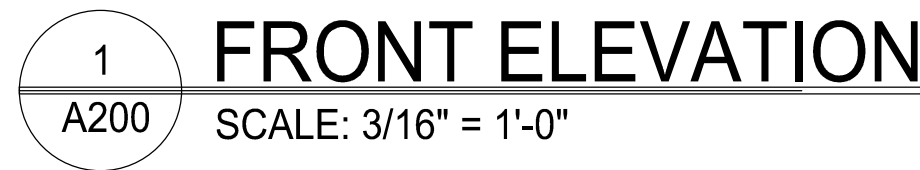
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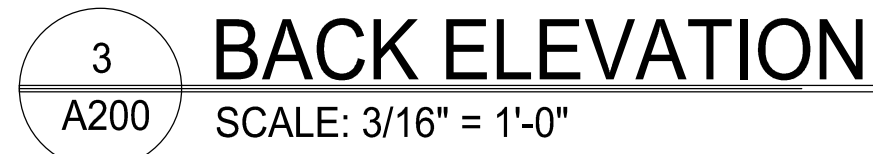
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Checked by: CaS4 Architecture

3D Views

A203



A200 SCALE: 3/16" = 1'-0"



A200 SCALE: N/A

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

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No.	Description	Date
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2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Exterior Elevations

A201

EXISTING 3-UNIT BUILDING - NO WORK EXCEPT PATH LIGHTING



511 W. DAYTON

1
A201
WEST SIDE ELEVATION
SCALE: 3/16" = 1'-0"

0 5' 10'

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



511 W. DAYTON

2
A201
EAST SIDE ELEVATION
SCALE: 3/16" = 1'-0"

0 5' 10'

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

**511 & 515 W. Dayton
Housing**

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

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NOT FOR CONSTRUCTION**

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2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

515 - Exterior Elevations

A202_{B/W}

EXISTING 3-UNIT BUILDING - NO WORK ON THIS BUILDING



515 W. DAYTON

WEST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

0 5' 10'

EXISTING 3-UNIT BUILDING - NO WORK EXCEPT PATH LIGHTING



515 W. DAYTON

EAST SIDE ELEVATION

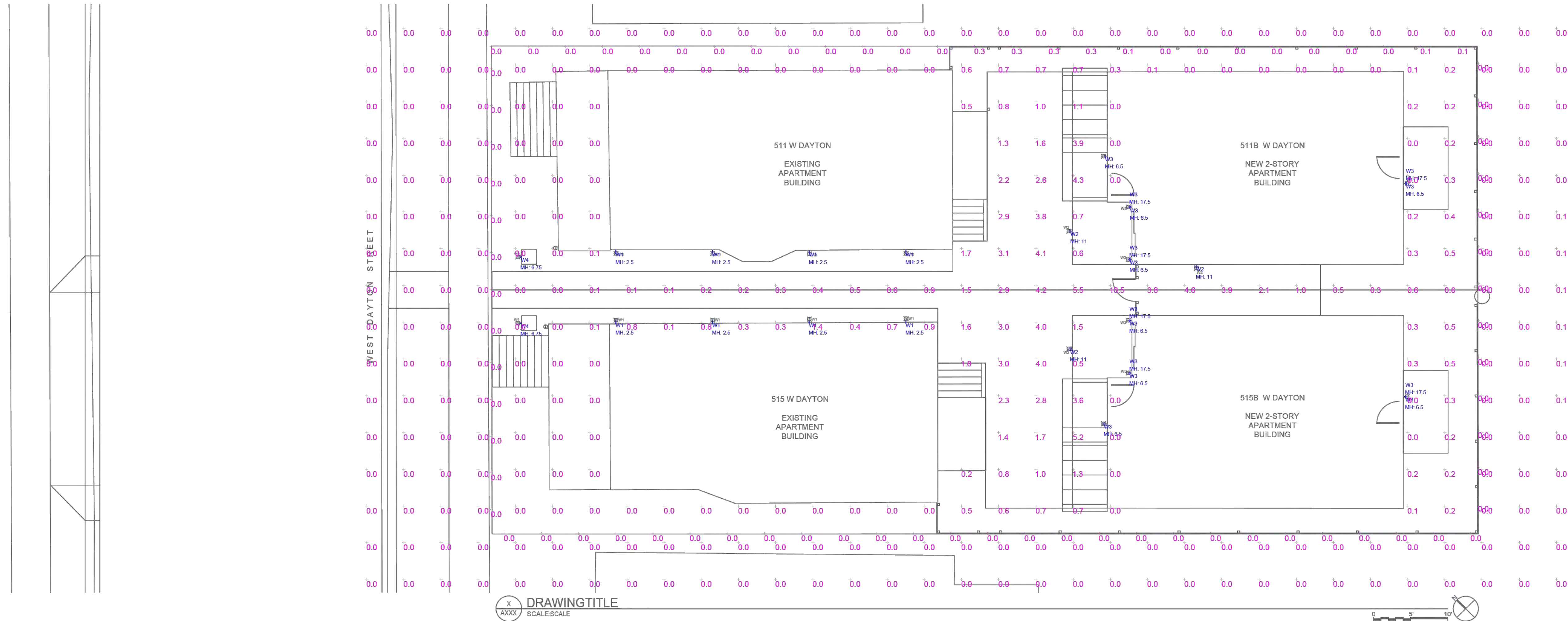
SCALE: 3/16" = 1'-0"

0 5' 10'

2

A202

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
W1	8	Single	0.950	KUZCO	ER30103-xx	3.1	24.8	22
W2	3	Single	0.950	LITHONIA	WDGE1 LED P0 xxK xxCRI VW	6.7947	20.384	761
W3	14	Single	0.950	KUZCO	EW264105-xx	9.8	137.2	617
W4	2	Single	0.950	WAC	WL-LED110-C-xx	3.23545	6.471	1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PRESUMED PROPERTY LINE	Illuminance	Fc	0.02	0.3	0.0	N.A.	N.A.
SITE	Illuminance	Fc	0.35	10.5	0.0	N.A.	N.A.

4414 Regent Street; Suite 102
Madison, WI 53705
ph 608-709-1250



Site Lighting Consultant

General Contractor

Daniels Construction

919 Applegate Road
Madison, WI 53713

phone: 608-271-4800

511 & 515 W. Dayton Housing

511 West Dayton Street
Madison, WI 53703

Project #: 25009.00

**LU & UDC Applications
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
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2	LU & UDC Applications	9-8-2025

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Combined Site Lighting & Photometric Plan

A002

ROTO ER30103 STEP LIGHTS

PROJECT



ER30103-BK
Black



ER30103-WH
White

SPECIFICATION DETAILS

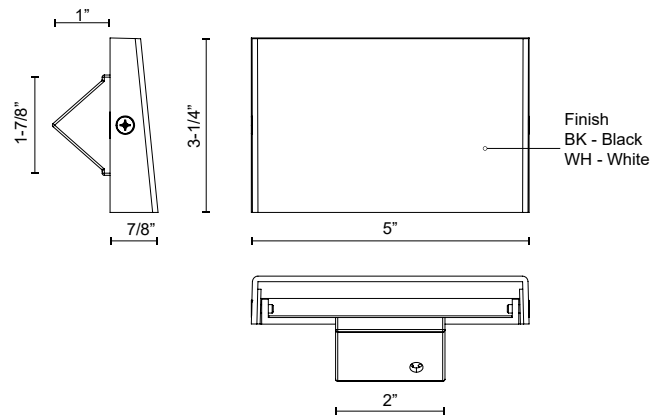
Fixture Dimensions	W5" x H3-1/4" x E7/8"
Light Source	AC LED Module
Wattage	4W
Total Lumens	340lm
Delivered Lumens	142lm (No Cover); BK-16lm; WH-34lm;
Voltage	120V
Color Temperature	3000K
CRI (Ra)	90CRI
Optional Color Temps	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	100% - 10%, ELV Dimmer (Not Included)
Glass Details	Clear Glass
ADA Compliant	Yes
Location	Wet
Paint Finish	BK02; WH02;

* For custom options, consult factory for details.

* For warranty information, please visit www.kuzcolighting.com/warranty

DESCRIPTION

The Roto collection is defined by distinct detailed elements that set it apart from your average step light. The geometric forms and architectural lines make this step light as decorative as it is functional, providing ample downlight for your outdoor needs. Only fits into a single gang box.



KUZCO

CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3

USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081

WWW.KUZCOLIGHTING.COM

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COMMENT





WDGE1 LED

Architectural Wall Sconce



Catalog
Number

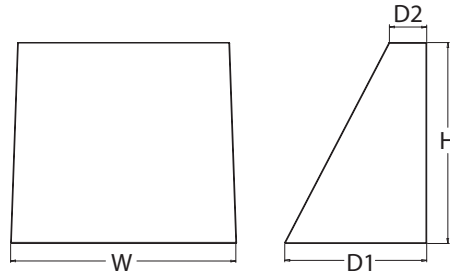
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.



design select

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.

*See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P0 P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ³ Shipped separately AWS 3/8inch Architectural wall spacer ⁴ PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available. ⁴

Options		Finish	
E4WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min) ⁵	DDBXD	Dark bronze
PE	Photocell, Button Type ⁶	DBLXD	Black
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) ⁷	DNAXD	Natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone
DSLE	Dual Switching (1 Driver, 2 Light Engines)		
CCE	Coastal Construction ⁴		
		DDBTXD	Textured dark bronze
		DBLTXD	Textured black
		DNATXD	Textured natural aluminum
		DWHGXD	Textured white
		DSSTXD	Textured sandstone



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
 Rev. 04/02/25

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1PBBW DDBXD U	WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS, DSLE or PE.
- Not qualified for DLC. Not available with E4WH.
- For PBBW and AWS with CCE option, require an RFA.
- E4WH not available with PE or DS.
- PE not available with DS.
- DS is not available with P0.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	VF	693	99	0	0	0	718	103	0	0	0	739	106	0	0	0	759	108	0	0	0	764	109	0	0	0
		VW	694	99	0	0	0	720	103	0	0	0	740	106	0	0	0	760	109	0	0	0	766	109	0	0	0
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P0	7W	0.060	0.035	0.030	0.026	--
	9W	--	--	--	--	0.026
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



COMMERCIAL OUTDOOR

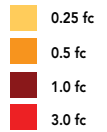
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WDGE1 LED
Rev. 04/02/25

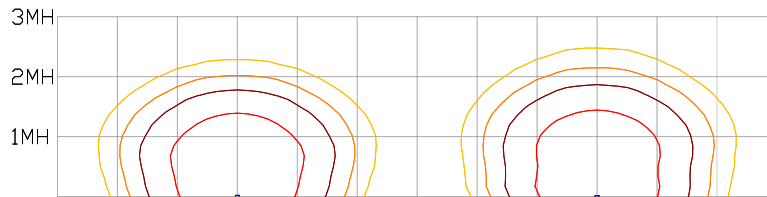
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

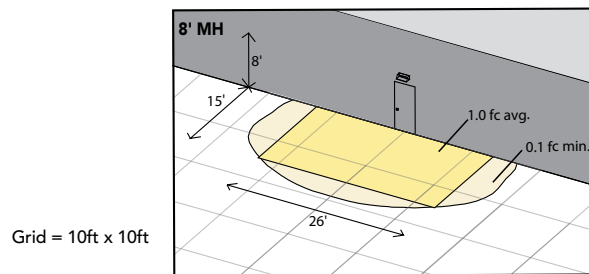
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

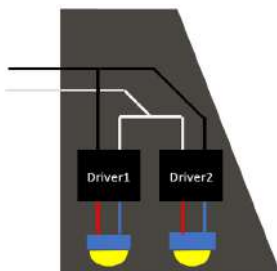


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

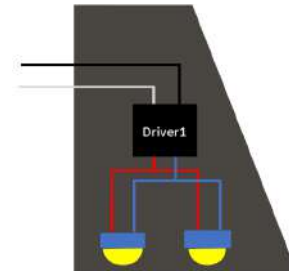
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Mounting, Options & Accessories



E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

GOVERNMENT PROCUREMENT

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
Rev. 04/02/25

NORDIC
EW264105
WALL

PROJECT



EW264105-BK
Black

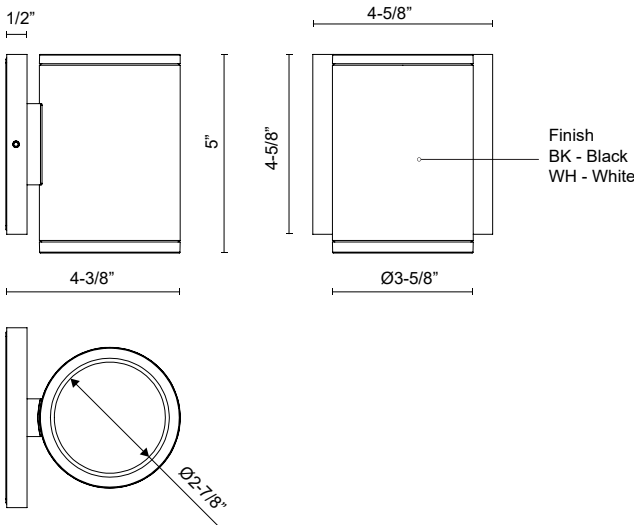


EW264105-WH
White

SPECIFICATION DETAILS

Fixture Dimensions	W4-5/8" x H5" x E4-3/8"
Height From Center	2-3/4"
Light Source	AC LED Module
Wattage	10W
Total Lumens	1050lm
Delivered Lumens	BK-617lm; WH-640lm
Voltage	120V
Color Temperature	3000K
CRI (Ra)	90CRI
Optical Details	Multi-Facetted Aluminum Reflector
Lens Details	Clear Glass
LED Rated Life	50,000 hours
Dimming Percentage	100% - 10%
Dimming Type	ELV Dimmer (Not Included)
Location	Wet, IP65
Canopy Dimensions	W4-5/8" x H4-5/8" x H1/2"
Paint Finish	BK02, WH02
Material	Aluminum + Glass
Illumination Direction	Up or Down
Mounting Style	All Orientation; Wall
DarkSky	Yes, Mounting in Down Direction; 3000K CCT or Below

*For custom options, consult factory for details.
*For warranty information, please visit www.kuzcolighting.com/warranty



KUZCO

CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3
USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081

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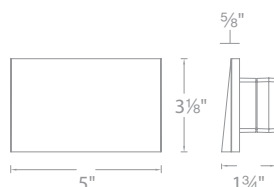


Model: WL-LED110

Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Horizontal rectangle Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Fluid decorative profile with full cut-off illumination
- Die Cast Aluminum construction with abrasion resistant powder coat finish or plated Brushed Nickel finish
- Magnetized design for easy installation and maintenance
- Title 24 Compliant (120V only)
- 50,000 hour rated life

SPECIFICATIONS

Construction: Die-cast aluminum

Input: 120V or 277VAC 50/60Hz

Power: Direct wiring, no remote driver needed.

Lumens: Up to 4 lm

Mounting: Fits into a switch box or a 2" x 4" Junction Box with minimum inside dimensions of 3"L x 2"W x 2.5"D

Dimming: 100% - 10% ELV (120V only)

CRI: 90

Standards: IP66, ETL & cETL Listed for wet locations

Voltage	Power	Model	Color Temp	Finishes
120V	3.5W	WL-LED110-C WL-LED110-AM	3000K Amber	BK Black on Aluminum BN* Brushed Nickel BZ Bronze on Aluminum WT White on Aluminum
277V	3W	WL-LED110F-C WL-LED110F-AM	3000K Amber	

*Brushed Nickel Finish is for interior use only

 - -

Example: **WL-LED110F-C-WT**

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Port Washington, NY 11050

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Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUN 2017

Model: WL-LED110

Step Light

WAC LIGHTING

Responsible Lighting®

FIXTURE PERFORMANCE

Input Voltage	Light Color	Finish	Lumens
WL-LED110 120V	C White	BK Black on Aluminum	4
		BN* Brushed Nickel on Aluminum	4
		BZ Bronze on Aluminum	4
		WT White on Aluminum	4
	AM Amber	BK Black on Aluminum	610 nm
		BN* Brushed Nickel on Aluminum	610 nm
		BZ Bronze on Aluminum	610 nm
		WT White on Aluminum	610 nm

Input Voltage	Light Color	Finish	Lumens
WL-LED110F 277V	C White	BK Black on Aluminum	4
		BN* Brushed Nickel on Aluminum	4
		BZ Bronze on Aluminum	4
		WT White on Aluminum	4
	AM Amber	BK Black on Aluminum	610 nm
		BN* Brushed Nickel on Aluminum	610 nm
		BZ Bronze on Aluminum	610 nm
		WT White on Aluminum	610 nm

*Brushed Nickel Finish is for interior use only

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