

# FIRST AND EAST WASHINGTON

MADISON, WISCONSIN



**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final pricing or construction-related purposes.

## LAND USE APPLICATION

MAY 19, 2021



**JLA**  
ARCHITECTS

JLA PROJECT NUMBER: 19-0802

# ABBREVIATIONS

<b>A</b>	accession	<b>D</b>	deception	<b>G</b>	garrison	<b>N</b>	nominal	<b>S</b>	straw
AD	addendum	DE	deception	GA	garrison	NA	nominal	SA	straw
ADJ	adjunct	DEP	deception	GB	garrison	NB	nominal	SB	straw
ADJ	adjunct	DEP	deception	GC	garrison	NC	nominal	SC	straw
ADJ	adjunct	DEP	deception	GD	garrison	ND	nominal	SD	straw
ADJ	adjunct	DEP	deception	GE	garrison	NE	nominal	SE	straw
ADJ	adjunct	DEP	deception	GF	garrison	NF	nominal	SF	straw
ADJ	adjunct	DEP	deception	GG	garrison	NG	nominal	SG	straw
ADJ	adjunct	DEP	deception	GH	garrison	NH	nominal	SH	straw
ADJ	adjunct	DEP	deception	GI	garrison	NI	nominal	SI	straw
ADJ	adjunct	DEP	deception	GJ	garrison	NJ	nominal	SJ	straw
ADJ	adjunct	DEP	deception	GK	garrison	NK	nominal	SK	straw
ADJ	adjunct	DEP	deception	GL	garrison	NL	nominal	SL	straw
ADJ	adjunct	DEP	deception	GM	garrison	NM	nominal	SM	straw
ADJ	adjunct	DEP	deception	GN	garrison	NN	nominal	SN	straw
ADJ	adjunct	DEP	deception	GO	garrison	NO	nominal	SO	straw
ADJ	adjunct	DEP	deception	GP	garrison	NP	nominal	SP	straw
ADJ	adjunct	DEP	deception	GQ	garrison	NQ	nominal	SQ	straw
ADJ	adjunct	DEP	deception	GR	garrison	NR	nominal	SR	straw
ADJ	adjunct	DEP	deception	GS	garrison	NS	nominal	SS	straw
ADJ	adjunct	DEP	deception	GT	garrison	NT	nominal	ST	straw
ADJ	adjunct	DEP	deception	GU	garrison	NU	nominal	SU	straw
ADJ	adjunct	DEP	deception	GV	garrison	NV	nominal	SV	straw
ADJ	adjunct	DEP	deception	GW	garrison	NW	nominal	SW	straw
ADJ	adjunct	DEP	deception	GX	garrison	NX	nominal	SX	straw
ADJ	adjunct	DEP	deception	GY	garrison	NY	nominal	SY	straw
ADJ	adjunct	DEP	deception	GZ	garrison	NZ	nominal	SZ	straw

# SYMBOL LEGEND

**VIEW NUMBER**  
**19** TITLE VIEW NAME  
 1/2" = 1' - 0" VIEW SCALE

**WALL TAG**  
 100 WALL TAG

**DOOR TAG**  
 200 DOOR TAG

**KEYNOTE TAG**  
 300 KEYNOTE TAG

**REVISION TAG**  
 400 REVISION TAG

**FURNITURE TAG**  
 500 FURNITURE TAG

**EQUIPMENT TAG**  
 600 EQUIPMENT TAG

**WINDOW TAG**  
 700 WINDOW TAG

**CASEWORK TAG (PLAN OR ELEVATION)**  
 800 CASEWORK TAG

**FLOOR**  
 900 FLOOR

**BASE**  
 1000 BASE

**WALL**  
 1100 WALL

**REMARKS**  
 1200 REMARKS

**FINISH PLAN TAG**  
 1300 FINISH PLAN TAG

**CEILING TAG**  
 1400 CEILING TAG

**ROOM TAG**  
 1500 ROOM TAG

**NORTH ARROW**  
 NORTH ARROW

**EXISTING CONSTRUCTION**  
 EXISTING CONSTRUCTION

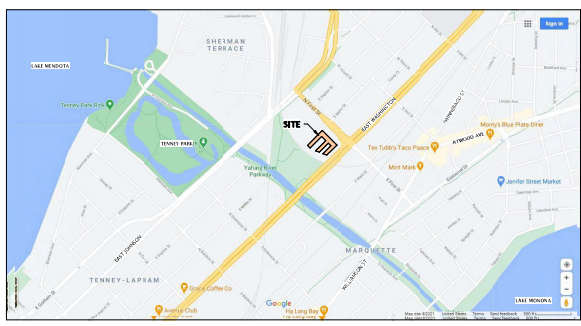
**DEMOLITION**  
 DEMOLITION

**NEW CONSTRUCTION**  
 NEW CONSTRUCTION

**NEW GRID AND IDENTIFICATION**  
 NEW GRID AND IDENTIFICATION

**EXISTING GRID AND IDENTIFICATION**  
 EXISTING GRID AND IDENTIFICATION

# VICINITY MAP



# PROJECT ADDRESS

FIRST AND EAST WASHINGTON  
 MADISON, WISCONSIN

# OWNER INFORMATION

WASHINGTON PLAZA CAPITAL, LLC  
 800 W BROADWAY, SUITE 400  
 MONONA, WI 53713  
 CONTACT: STEVE DORAN  
 EMAIL: SDORAN@GALWAYCOMPANIES.COM  
 MAIN: 608.327.4006

# PROJECT TEAM

## ARCHITECTURAL

JLA ARCHITECTS & PLANNERS  
 800 WEST BROADWAY - SUITE 200  
 MONONA, WISCONSIN 53713  
 CONTACT: ADAM FREDENDALL  
 EMAIL: AFREDENDALL@JLA-AP.COM  
 MAIN: 608.442.3823

## CIVIL ENGINEERING

GRAEF, INC.  
 1010 EAST WASHINGTON AVE, SUITE 202  
 CONTACT: LOEI BADREDDINE, PE  
 EMAIL: LOEI.BADREDDINE@GRAEF-USA.COM  
 MAIN: 608.242.1550

## STRUCTURAL ENGINEERING

GRAEF, INC.  
 1010 EAST WASHINGTON AVE, SUITE 202  
 CONTACT: LOEI BADREDDINE, PE  
 EMAIL: LOEI.BADREDDINE@GRAEF-USA.COM  
 MAIN: 608.242.1550

# SET ISSUE

LAND USE APPLICATION  
 MAY 19, 2021

# SHEET INDEX

SHEET DISCIPLINE AND NUMBER	REVISIONS	
	DATE	BY
0000		
0001		
0002		
0003		
0004		
0005		
0006		
0007		
0008		
0009		
0010		
0011		
0012		
0013		
0014		
0015		
0016		
0017		
0018		
0019		
0020		
0021		
0022		
0023		
0024		
0025		
0026		
0027		
0028		
0029		
0030		
0031		
0032		
0033		
0034		
0035		
0036		
0037		
0038		
0039		
0040		
0041		
0042		
0043		
0044		
0045		
0046		
0047		
0048		
0049		
0050		



JLA ARCHITECTS  
 MADISON : MILWAUKEE  
 jla-ap.com

JLA PROJECT NUMBER: 19-0802



FIRST AND EAST WASHINGTON

LAND USE APPLICATION

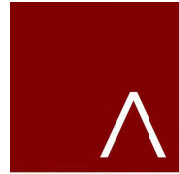
**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final pricing or construction-related purposes.

DATE OF REVISION: MAY 19, 2021

Mark	Description	Date

SHEET TITLE  
 INDEX SHEET

SHEET NUMBER  
 G001



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802



**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

FIRST & EAST WASHINGTON MIXED USE BUILDING DATA																				
FLOOR	TOTAL GROSS AREA (SF)	PARKING / UNFINISHED	FINISHED NON-LEASABLE	RESIDENTIAL AMENITY	RESIDENTIAL LEASABLE	COMMERCIAL LEASABLE	EFFICIENCY	UNITS								PARKING PROVIDED			RATIOS	
								STUDIO	1BR	1BR+	2BR	2BR+	T4	TOTAL	BRs	COVERED	EXTERIOR	TOTALS	PER UNIT	PER SF
6	47,890		9,275	1,180	36,145	1,290	80.63%	12	24	1	11	0	0	48	59					
5	57,303		10,833		46,470		81.10%	16	25	5	15	0	0	61	76					
4	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77					
3	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77					
2	57,767		12,607	7,800	37,360		78.18%	16	19	5	13	0	0	53	66					
<b>SUB-TOTALS</b>	<b>277,566</b>	<b>-</b>	<b>54,381</b>	<b>8,980</b>	<b>212,915</b>	<b>1,290</b>	<b>80.41%</b>													
<b>1ST FLOOR TOTAL</b>	<b>87,480</b>																			
L1 RESTAURANT						3,530														
L1 COMMERCIAL			450			10,830														
L1 RES. UNITS					7,430		NR	0	1	0	1	0	4	6	15					
L1 RES. AMENITY			3,000	4,350																
L1 PARKING		57,890														139	42	181		
LL PARKING	87,480	87,477	-	-	-	-										196		196		
<b>TOTALS</b>	<b>452,526</b>	<b>145,367</b>	<b>57,831</b>	<b>13,330</b>	<b>220,345</b>	<b>15,650</b>		<b>76</b>	<b>119</b>	<b>19</b>	<b>72</b>	<b>0</b>	<b>4</b>	<b>290</b>	<b>370</b>	<b>335</b>	<b>42</b>	<b>377</b>	<b>1.30</b>	<b>1.02</b>
								26.2%	41.0%	6.6%	24.8%	0.0%	1.4%							

BUILDING DATA:	
ADDRESS:	1184 EAST WASHINGTON AVE, MADISON WI
COUNTY ZONING:	CCT
SETBACKS PER ZONING CODE:	
FRONT:	15'
REAR:	5'
SIDE:	5'
BUILDING HEIGHT:	87 Ft.
TOTAL SITE AREA:	3,435 sq.
LOT COVERAGE:	55.7%
VEHICLE PARKING SPACES:	
EXTERIOR:	42
COVERED:	196 + 138 = 334
TOTAL PARKING:	376
JLA PARKING SPACES:	
OUTDOOR:	42
INDOOR COVERED:	334

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change until final construction documents are issued. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ESTIMATE: 04/19/2021

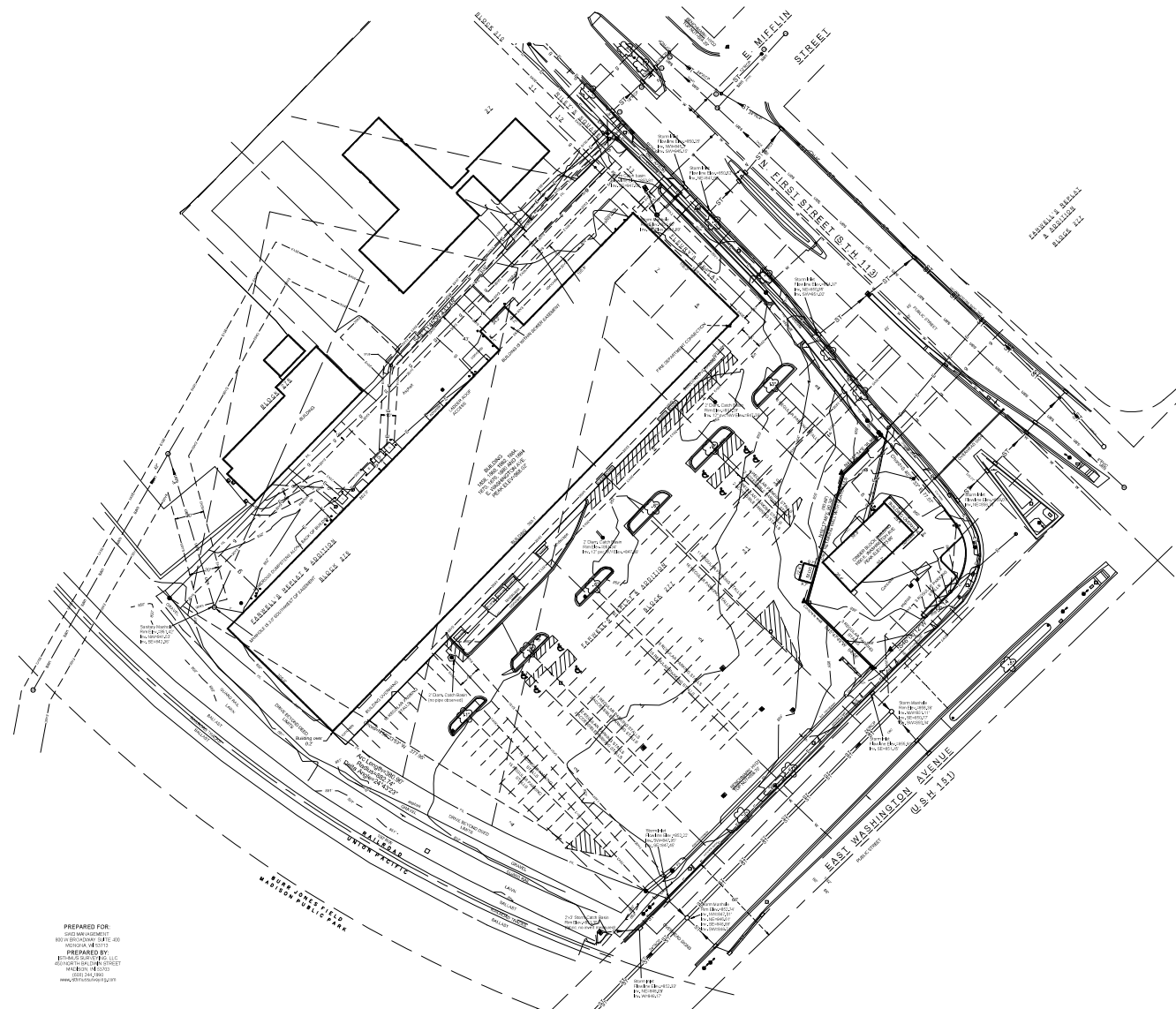
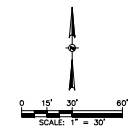
REVISION SCHEDULE		
NO.	Description	Date

SHEET TITLE

**BUILDING DATA**

SHEET NUMBER

**G002**



PREPARED FOR:  
 WISCONSIN HISTORIC  
 SOCIETY  
 800 WISCONSIN STREET, 400  
 MADISON, WI 53703  
 PREPARED BY:  
 GRAEF  
 1010 EAST WASHINGTON AVENUE, SUITE 202  
 MADISON, WI 53703-3130  
 PHONE: 608.261.1500  
 WWW.GRAEF-USA.COM

**NOTICE:**  
 In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
 The underground UTILES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground UTILES shown comprise all actual UTILES in the area, either in private or abandoned. GRAEF further does not warrant that the underground UTILES shown are in the exact location indicated. GRAEF has not physically located the underground UTILES.

**LEGEND**

▲	FOUNDING, HATCHING OR PATTERN	○	UNDERGROUND COMMUNICATIONS
●	FOUNDATION	○	ONE
●	FOUNDATION (CONCRETE)	○	UNDERGROUND COMMUNICATIONS
●	FOUNDATION (CONCRETE)	○	ONE
○	FOUNDATION (CONCRETE)	○	UNDERGROUND COMMUNICATIONS
○	FOUNDATION (CONCRETE)	○	ONE
○	FOUNDATION (CONCRETE)	○	UNDERGROUND COMMUNICATIONS
○	FOUNDATION (CONCRETE)	○	ONE
○	FOUNDATION (CONCRETE)	○	UNDERGROUND COMMUNICATIONS
○	FOUNDATION (CONCRETE)	○	ONE

READINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (SANS COUNTY ZONE), THE NORTH LINE OF THE SW 1/4 OF SECTION 6, T1N, R12E, SANS 5710 27' E



JLA PROJECT NUMBER: 19-0802

**GRAEF**

1010 East Washington Avenue,  
 Suite 202  
 Madison, WI 53703-3130  
 608 / 242 1550

www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change. The design additional detail. These are not final construction documents and should not be used for final bidding or construction without approval.

DATE OF CHANGE	REVISION SCHEDULE	DATE

SHEET TITLE  
**EXISTING CONDITIONS PLAN**

SHEET NUMBER  
**C001**

X:\MID\2019\20190707\Design\180601C\_00\_001\_Existing Conditions Plan\_0075 5/18/2021 4:28 PM



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRaEF**

1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550

www.graef-usa.com

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change. For more additional detail, these are related construction documents and should not be used for final bidding or construction of final purposes.

DATE OF BALANCE: MAY 10, 2021

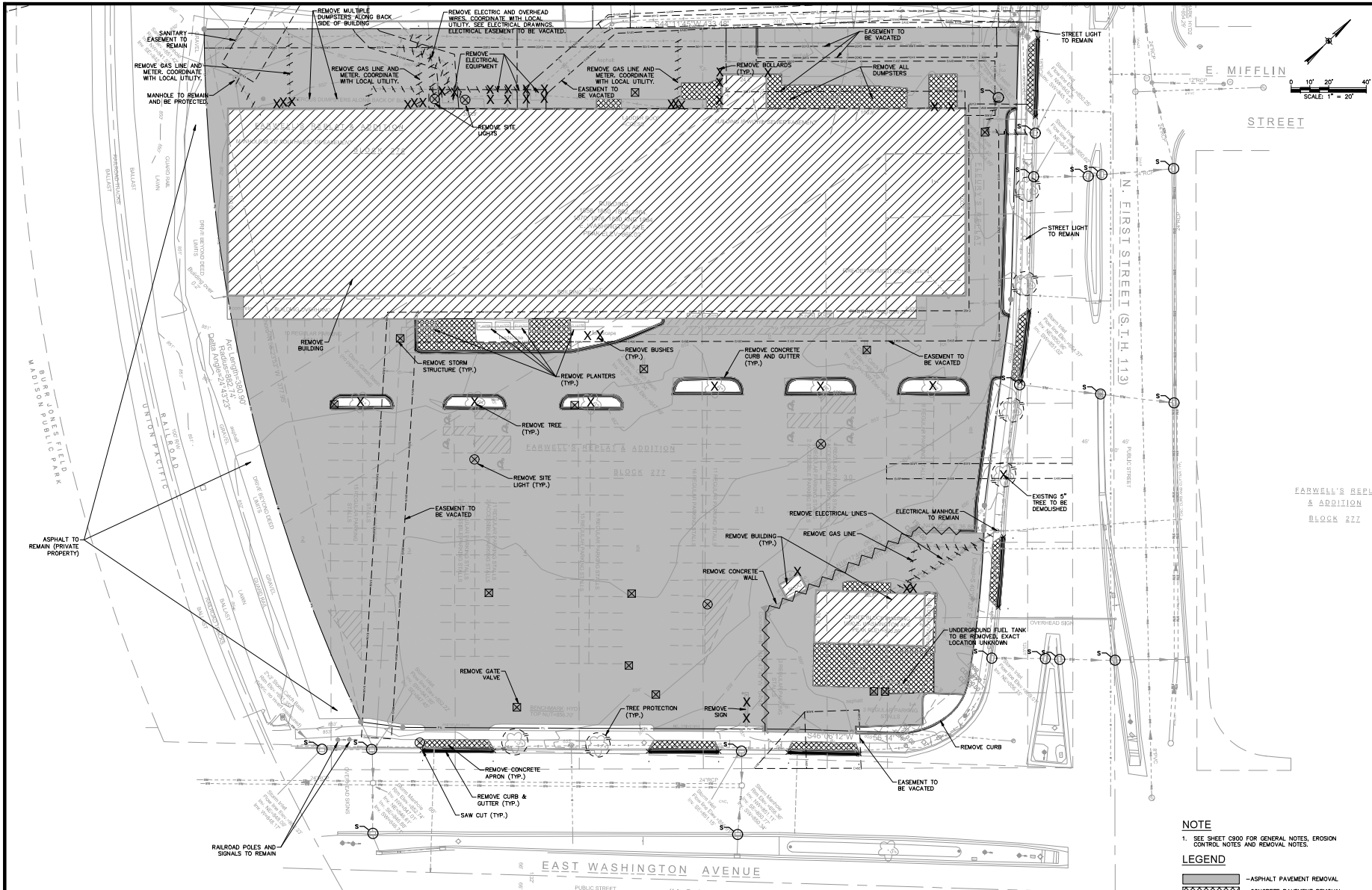
REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

**DEMOLITION AND  
EROSION CONTROL  
PLAN**

SHEET NUMBER

**C200**



**NOTE**  
1. SEE SHEET C200 FOR GENERAL NOTES, EROSION CONTROL NOTES AND REMOVAL NOTES.

**LEGEND**

- ASPHALT PAVEMENT REMOVAL
- CONCRETE PAVEMENT REMOVAL
- GRAVEL PAVEMENT REMOVAL
- BUILDING CANOPY REMOVAL
- SAWCUT
- CONCRETE WALL REMOVAL
- CURB AND GUTTER REMOVAL
- TREE AND BOLLARD REMOVAL
- SITE LIGHT REMOVAL
- UTILITY STRUCTURE REMOVAL
- STONE CONSTRUCTION ENTRANCE
- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION

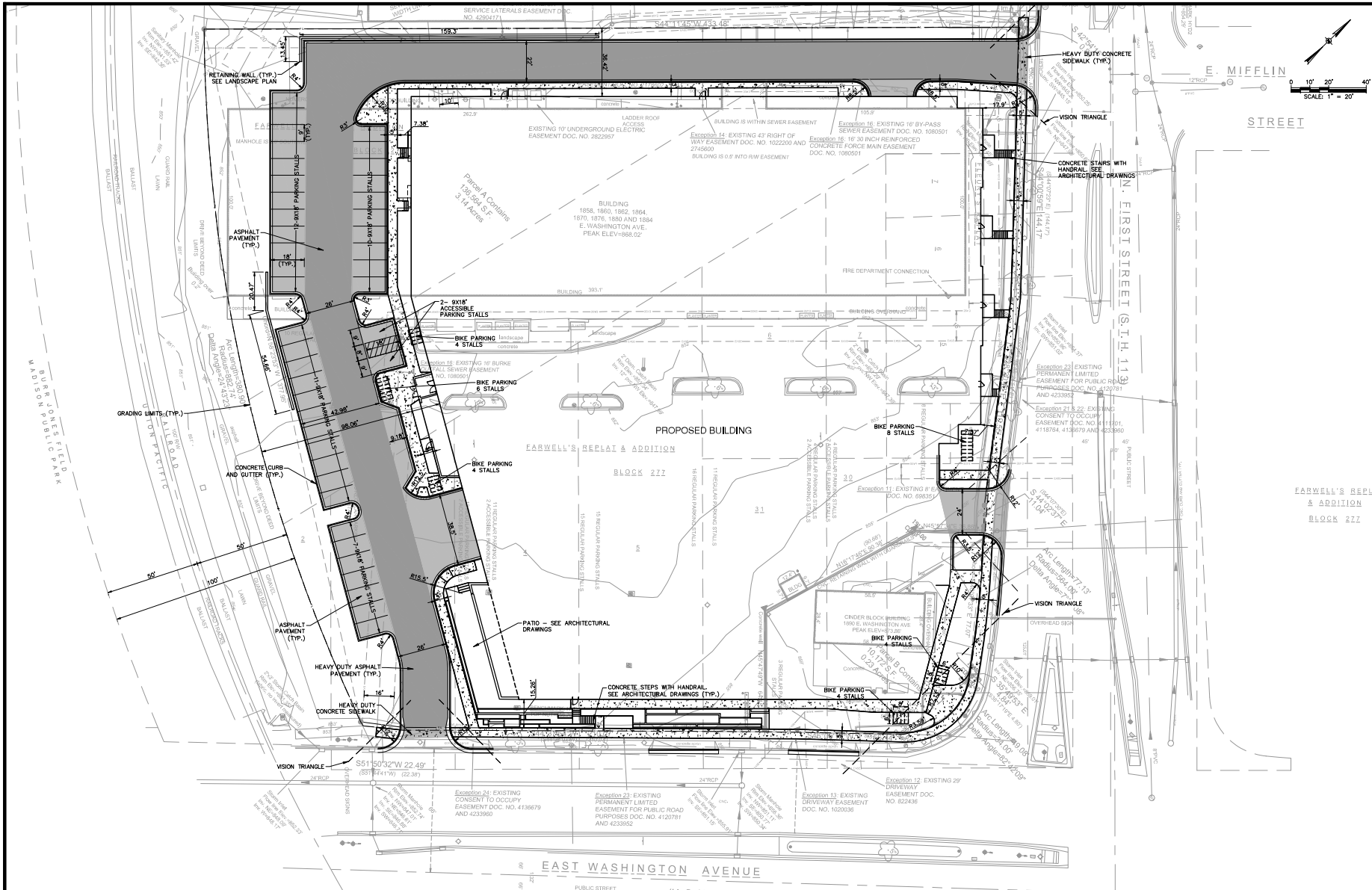
**EXISTING SITE DATA TABLE**

IMPERVIOUS AREA:	3.307 ACRES
PERVIOUS AREA:	0.062 ACRES
TOTAL CONSTRUCTION BOUNDARY AREA:	3.369 ACRES

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to excavation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground UTILITIES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all actual UTILITIES in the area, either to be added or abandoned. GRAEF further does not warrant that the underground UTILITIES shown are in the exact location indicated. GRAEF has not physically located the underground UTILITIES.

X:\MID\2021\20210705\Design\548604C\_00\_200\_Demo & E.C. Plan\_0075 5/18/2021 4:28 PM



JLA PROJECT NUMBER: 19-0802



1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550

www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change. For any additional detail, these are not final construction documents and should not be used for final bidding or construction without approval.

REVISION SCHEDULE		
NO.	Description	Date

DATE OF BALANCE: MAY 10, 2021

SHEET TITLE: **OVERALL LAYOUT PLAN**

SHEET NUMBER: **C300**

**SITE LAND USE INFORMATION**  
 SITE ACREAGE: 146,754 SF (3.369 AC)  
 SET BACKS:  
 FRONT YARD (EAST WASHINGTON AND FIRST STREET): 5- FEET  
 REAR YARD: 5- FEET  
 SIDE YARD: 5- FEET  
 TOTAL NUMBER OF STALLS: 42  
 ACCESSIBLE SURFACE STALLS: 2  
 SURFACE STALLS: 40  
 TOTAL NUMBER OF BIKE PARKING STALLS: 30  
 EXISTING IMPERVIOUS SURFACE AREA: 146,361 SF (3.360 AC)  
 NEW IMPERVIOUS SURFACE AREA: 105,438 SF (2.420 AC)  
 ROOF TOP SURFACE: 87,750 SF  
 ROOF TOP IMPERVIOUS: 13,371 SF  
 FOOT PRINT AREA: 87,750 SF  
 SIDEWALKS: 5,920 SF  
 PAVED: 26,147 SF  
 DISTURBANCE LIMITS: 146,754 SF (3.369 AC)  
 IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 105,438 SF (2.420 AC)  
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 71.8%

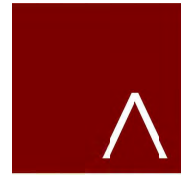
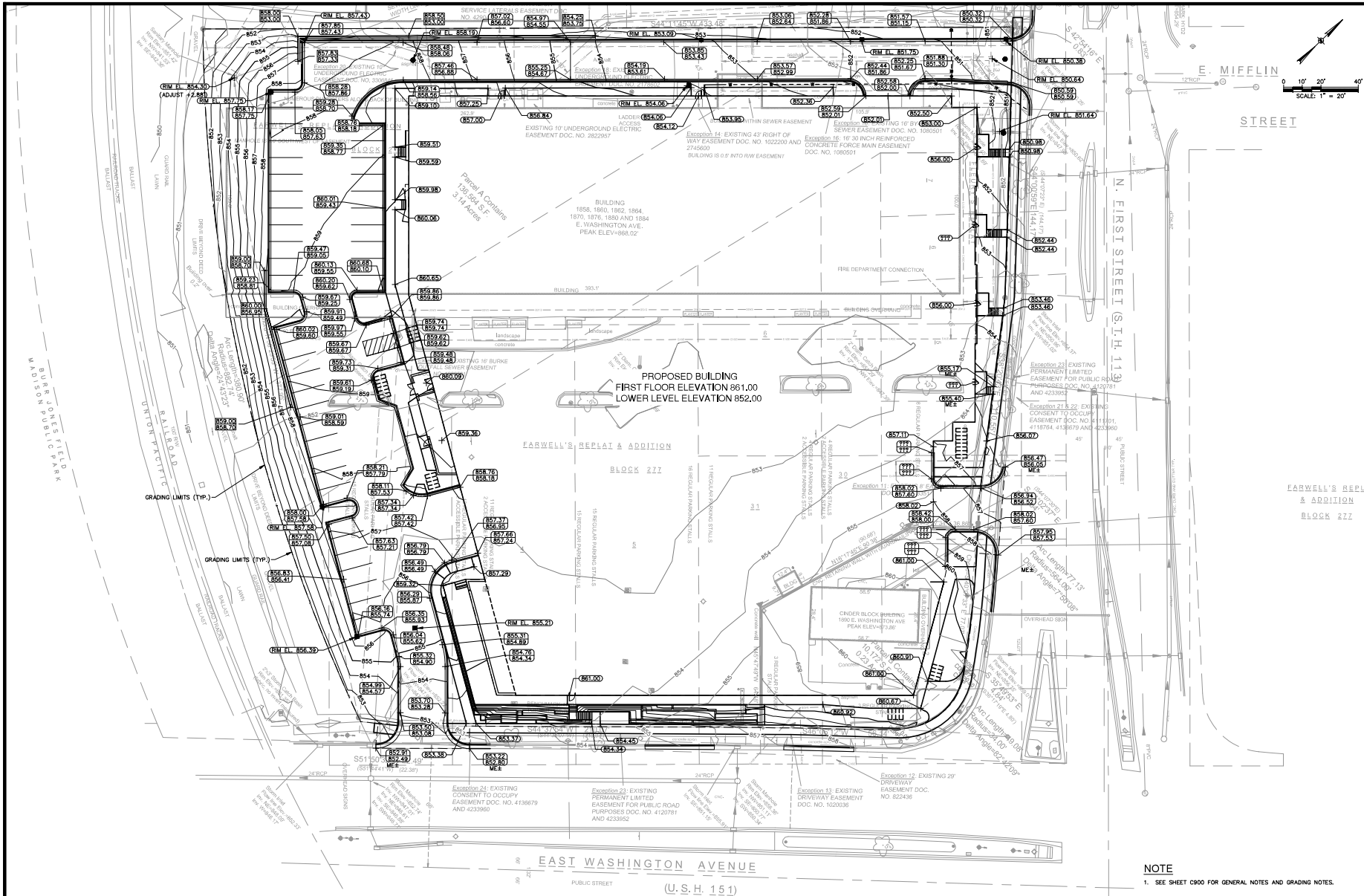
**NOTE**  
 1. SEE SHEET C900 FOR GENERAL NOTES AND LAYOUT NOTES.

**LEGEND**

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- HIGHSIDE CONCRETE CURB AND GUTTER
- FLUSH CONCRETE CURB AND GUTTER
- ADA RAMP WITH TRUNCATED DOMES

**NOTES:**  
 In accordance with Wisconsin statute 182.0175, damage to excavation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.  
 The underground UTILITIES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all field UTILITIES in the area, either to be avoided, relocated, or replaced. Further, field work may reveal additional UTILITIES shown due to the exact location indicated. GRAEF has not physically located the underground UTILITIES.

X:\MID\2021\20210705\Design\SS\8000C\_DD\_300\_Layout\Plan\_0075 5/18/2021 4:28 PM



SCALE: 1" = 20'

**JLA**  
ARCHITECTS  
MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**Gräef**

1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550

www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change. For any additional detail, there are related construction documents and they do not have the same level of final binding or contractual effect as such.

DATE OF BALANCE: MAY 10, 2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

**OVERALL GRADING PLAN**

SHEET NUMBER

**C400**

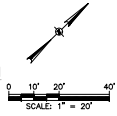
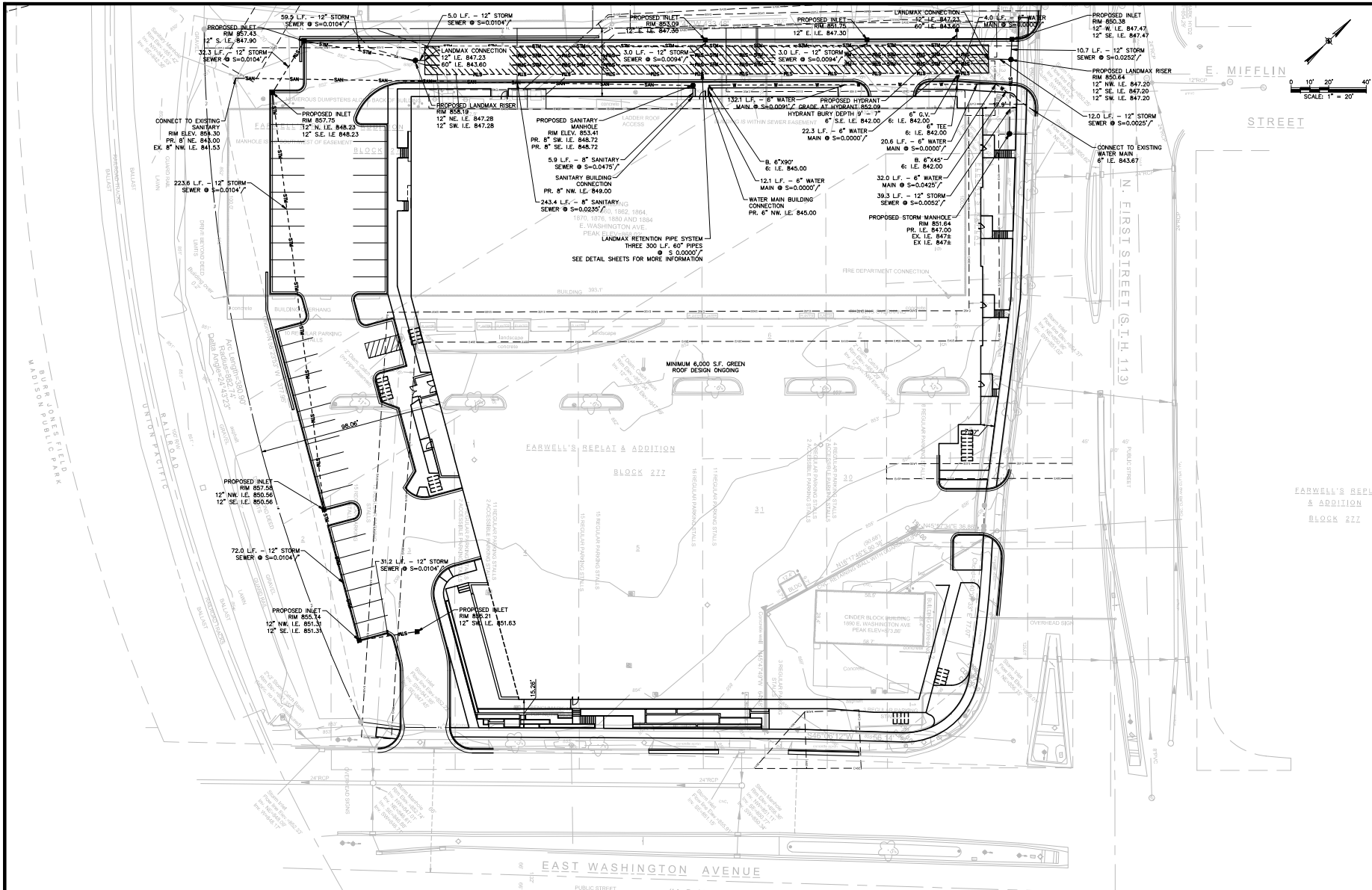
**NOTE**  
1. SEE SHEET C900 FOR GENERAL NOTES AND GRADING NOTES.

- LEGEND**
- 100 — EXISTING CONTOUR
  - 100 — PROPOSED CONTOUR
  - CONCRETE CURB AND GUTTER
  - HIGHSIDE CONCRETE CURB AND GUTTER
  - FLUSH CONCRETE CURB AND GUTTER
  - MANHOLE
  - CATCH BASIN
  - ADA RAMP WITH TRUNCATED DOMES
  - TOP OF CURB ELEVATION
  - FLANGE ELEVATION
  - SPOT ELEVATION
  - FINISHED GRADE AT TOP OF WALL
  - FINISHED GRADE AT BOTTOM OF WALL

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this plan, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**CONTRACTORS:**  
The underground UTILITIES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all actual utilities in the area, either to be avoided or relocated. Further, field work does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

X:\MID\2021\20210705\Design\Sheet\040\_C\_400\_Grading Plan\_0075 5/18/2021 4:28 PM



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**Gräef**

1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550

www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change. Nothing additional is shown on these drawings unless specifically noted. These are not final construction documents and should not be used for final bidding or construction without approval.

DATE OF BALANCE: MAY 10, 2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE  
**OVERALL UTILITY PLAN**

SHEET NUMBER  
**C500**

**NOTE**  
1. SEE SHEET C900 FOR GENERAL NOTES AND UTILITY NOTES.

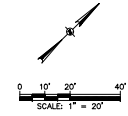
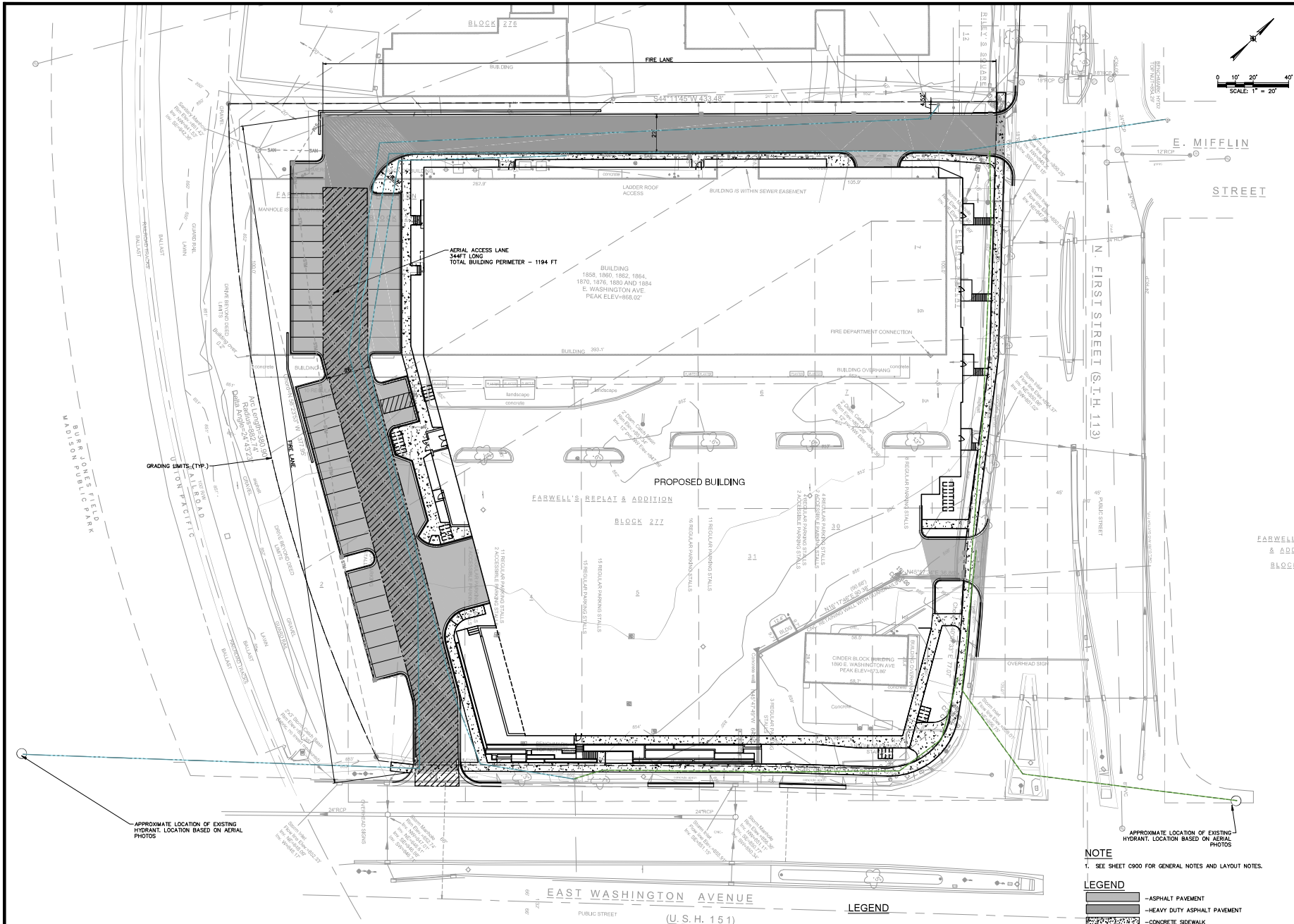
- LEGEND**
- PROPOSED STORM SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER MAIN
  - PROPOSED MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED UTILITY PLUG

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground UTILITIES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all UTILITIES in the area, either to be installed, or existing. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground UTILITIES.

X:\MID\2021\2021\0075\Design\SS\600C\_C0500\_UTILITY PLAN.dwg 5/18/2021 4:28 PM





JLA PROJECT NUMBER: 19-0802  
**GrāEF**  
1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550  
www.graef-usa.com

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change. For any additional detail, these are not final construction documents and should not be used for final bidding or construction without approval.

DATE OF REVISION	REVISION SCHEDULE
11-11-2021	

NO.	Description	Date

FIRE ACCESS PLAN

SHEET NUMBER  
**C600**

**NOTE**  
1. SEE SHEET C600 FOR GENERAL NOTES AND LAYOUT NOTES.

- LEGEND**
- ASPHALT PAVEMENT
  - HEAVY DUTY ASPHALT PAVEMENT
  - CONCRETE SIDEWALK
  - HEAVY DUTY CONCRETE SIDEWALK
  - CONCRETE CURB AND GUTTER
  - HIGHSIDE CONCRETE CURB AND GUTTER
  - FLUSH CONCRETE CURB AND GUTTER
  - ADA RAMP WITH TRUNCATED DOMES
  - AERIAL ACCESS LANE
  - 500FT FIRE LANE HOSE LAY
  - 250FT HOSE FROM FIRE ACCESS LANE OR HYDRANT

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transportation facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground UTILITIES shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either to be made or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

X:\MID\2021\2021\075\Design\SS\600\_C600\_Eire\_Access\_Plan\_0075 5/18/2021 4:28 PM

## GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY ISTHMUS SURVEYING IN APRIL 2020. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET C001 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

## EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EXCEED EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNRW) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL, TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO "TRAP" SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY VACUUMING ONCE THE STONE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DEBRIS.
9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY CITY OF MADISON OF ANY NEW STOCKPILE LOCATIONS.
10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
  1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  2. INSTALL SILT FENCE AND INLET PROTECTION STRUCTURE.
  3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA.
  4. INSTALL SEDIMENT BASIN AND GUTTER DIVERSIONS TO STABILIZE IMMEDIATELY AFTER INSTALLATION.
  5. STRIP TOPSOIL ONLY AND INSTALL TEMPORARY DIVERSIONS TO DIRECT RUNOFF TO SEDIMENT BASIN.
  6. STRIP TOPSOIL FROM REMAINDER OF SITE.
  7. PERFORM ROUGH GRADING AND BUILDING EXCAVATION. ADJUST DIVERSION DIVERSIONS AS NEEDED TO MAINTAIN DRAINAGE TO SEDIMENT BASIN.
  8. INSTALL UTILITIES, INSTALL INLET PROTECTION ON NEW INLETS.
  9. INSTALL BERRAP AT NEW OUTFALLS.
  10. CONSTRUCT BUILDINGS.
  11. INSTALL PAVEMENTS.
  12. REMOVE TEMPORARY CONSTRUCTION.
  13. REMOVE TEMPORARY SEDIMENTATION BASIN.
  13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
11. SITE Dewatering. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE DNRW "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL, TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ALL SEDIMENT TRACKING ON PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING. TO THE SATISFACTION OF THE CITY. BEFORE THE END OF EACH WORKDAY, FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE DNRW "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL, TECHNICAL STANDARDS". NOTIFY CITY OF MADISON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING AND MULCHING SOEDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SOEDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH, IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY OTHER CRIMPING OR BY APPLYING A TACKIFIER.
17. PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
18. USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS 1 TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY OWNER AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE, INTERSECTING DIRECTIONS.

## REMOVAL NOTES

1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTFULLY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
4. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
5. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
7. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
8. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL. REPAIRS/REPLACEMENT CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

## LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR PERMITTING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR FINAL DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
4. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
5. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
6. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
7. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
8. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE POUR SEQUENCE, LOCATION OF CONSTRUCTION ISOLATION, CONSTRUCTION JOINTS, AND TYPE OF REINFORCEMENT.

## GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.

## UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL SHOWN LATERALS TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPES INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
5. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
6. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
7. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECONOMIC ONE-TWO DRAPEST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE CITY ENGINEER.
8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAILED DESIGN INFORMATION.
9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
11. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
12. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 3' OF ALL PAVED AREAS.



JLA ARCHITECTS  
MADISON : MILWAUKEE  
jla-op.com

JLA PROJECT NUMBER: 19-0802

Gräef

1010 East Washington Avenue,  
Suite 202  
Madison, WI 53703-3130  
608 / 242 1550

www.graef-usa.com

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

## PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change. For any additional details, please refer to the construction documents and shall not be used for final bidding or construction without proper review.

DATE OF BALANCE: MAY 10, 2021

## REVISION SCHEDULE

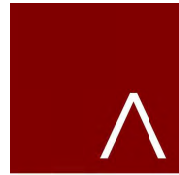
Rev.	Description	Date

## CONSTRUCTION NOTES

SHEET NUMBER

C900

SHEET NUMBER



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/11/19, 02/1

**REVISION SCHEDULE**

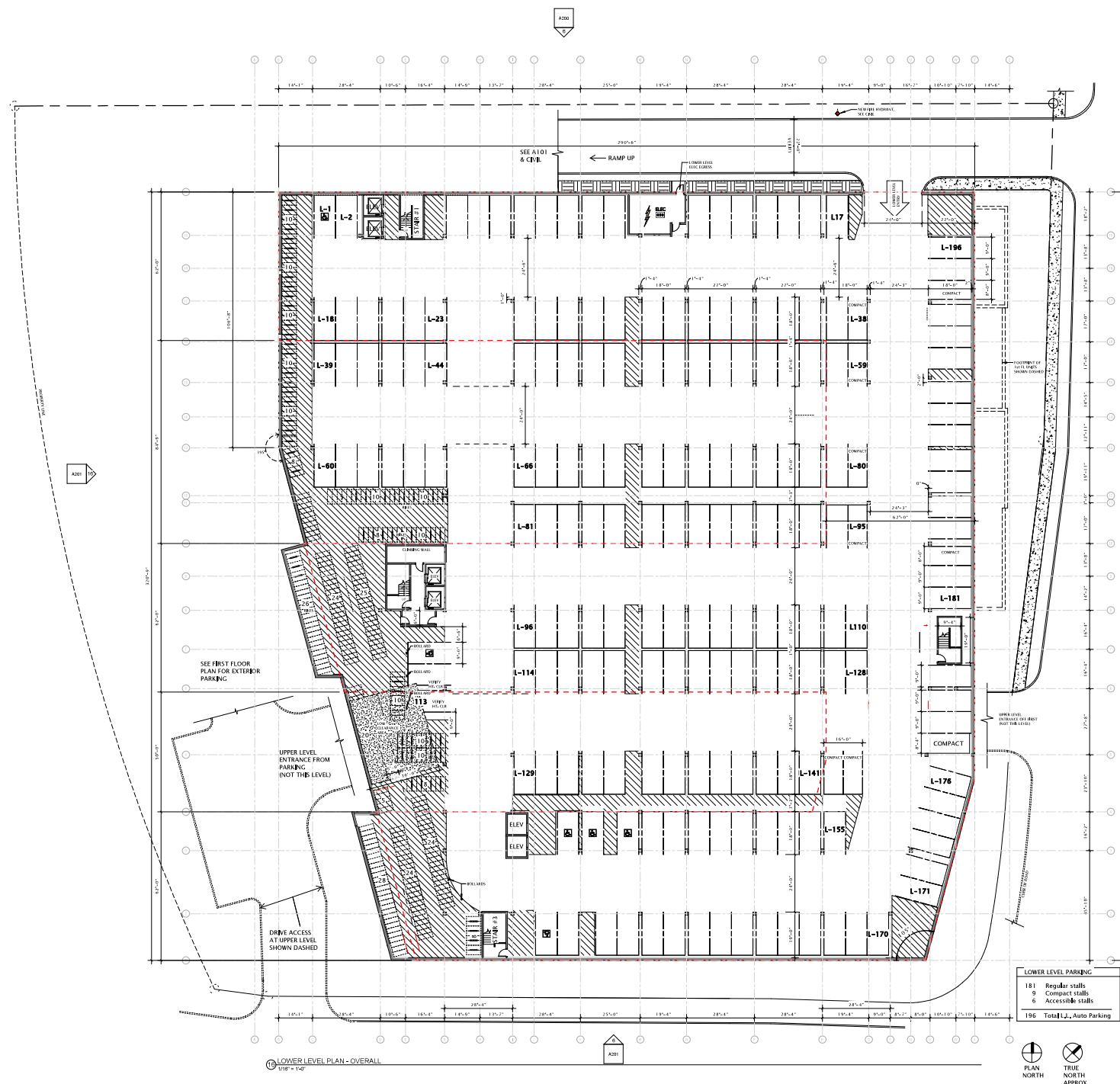
NO.	Description	Date

SHEET TITLE

**LOWER LEVEL PLAN -  
OVERALL**

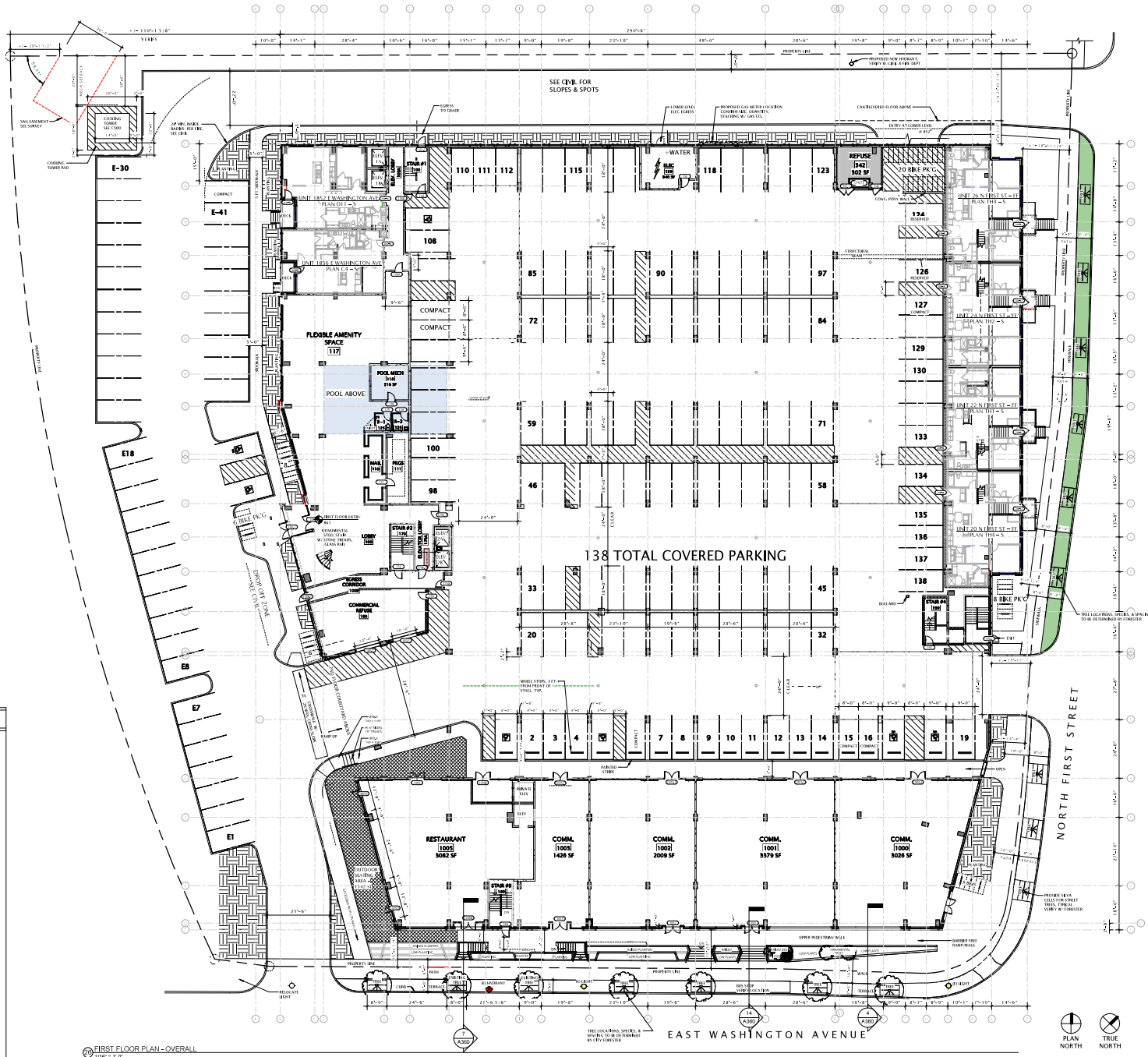
SHEET NUMBER

**A100**



LOWER LEVEL PLAN - OVERALL  
1/8" = 1'-0"

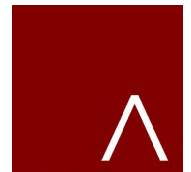




**GENERAL PLAN NOTES**

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL OR MASONRY WALL UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTACT MANUFACTURER FOR ALL DOOR OPENINGS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WOOD FINISHED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
5. VERIFY ALL WINDOW, DOOR, TUB, SINKS, SURFACE APPLIANCE, EQUIPMENT, ETC. MATCH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOM, LAUNDRY ROOM, CLOSET, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
7. PROVIDE BLOCKING AT ALL GYM BAR LOCATIONS - INCLUDING LOCKERS OF FUTURE GYM BAR & SEATING BATHROOM, DESIGNATED AS ACCESSIBLE.
8. PROVIDE BARRIERING AND SETTING "FLUSH" - TYPICAL THROUGHOUT EXTERIOR BUILDING.
9. FIELD VERIFY ALL CABINETS, LAUNCHES AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES, PROVIDE FINISHED FLOOR FINISH AT ALL EXTERIOR CABINETS ENDS.
10. CALL AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES, CALLS AT PERIMETER OF ALL CONDENSATION SPLICERS & SPLICERS.
11. RESTAURANT, BAR, ACCESSIBLES, ETC. ACCORDING TO THE MECHANICAL SCHEDULE.
12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED BY THE SCHEMATIC DRAWING AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

FIRST FLOOR PLAN - OVERALL  
1/18" = 1'-0"



**JLA**  
ARCHITECTS  
MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GALWAY**  
COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change without additional notice. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: AUGUST 18, 2021

REVISION SCHEDULE		
No.	Description	Date

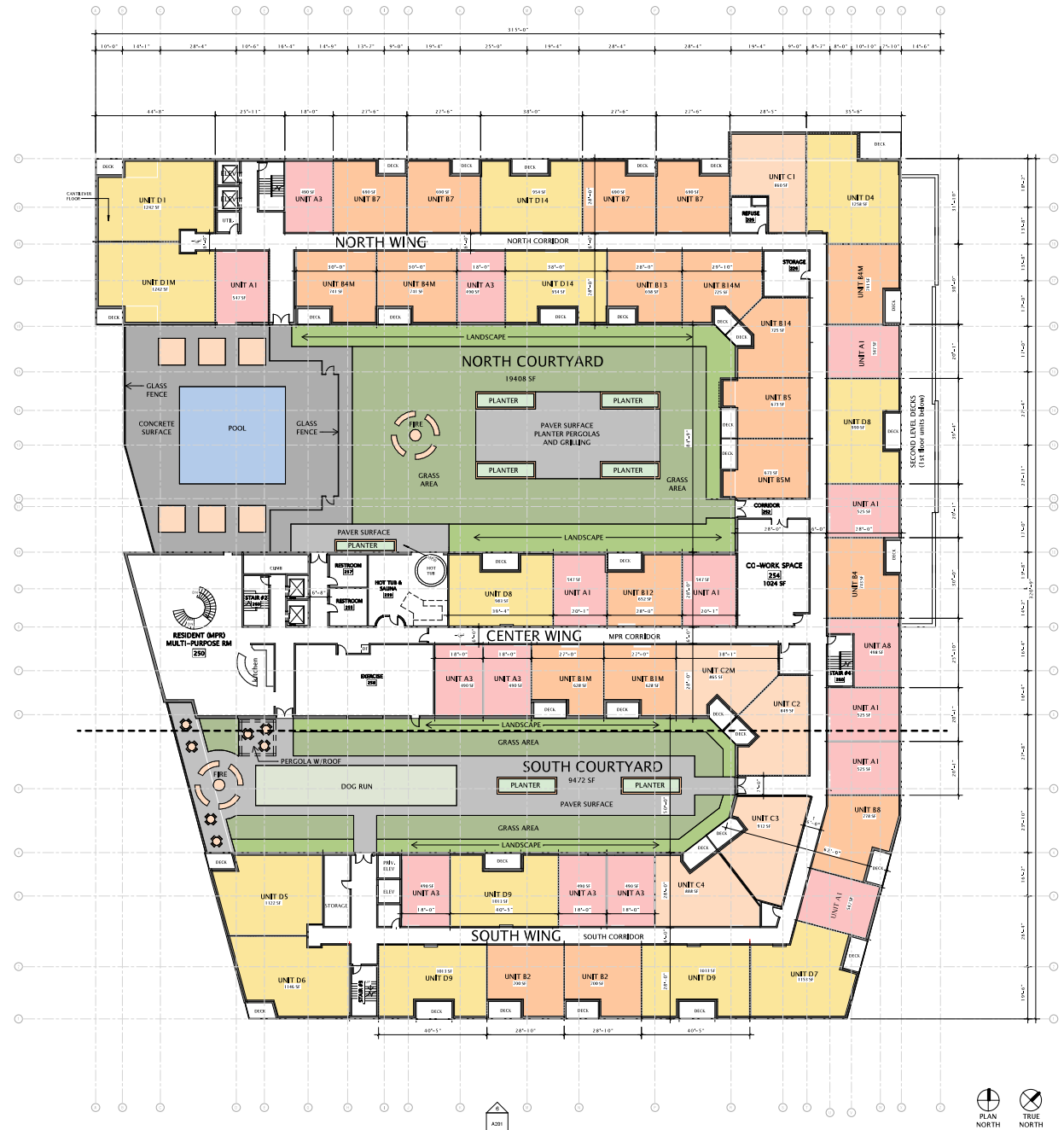
SHEET TITLE  
**FIRST FLOOR PLAN - OVERALL**

SHEET NUMBER  
**A101**



**GENERAL PLAN NOTES**

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUDO OR MASONRY WALLS UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL DOOR/SWING OPERATIONS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL NUMBERING, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVE TREATED.
5. VERIFY ALL WINDOW/DOOR/TUB/SINK/MECHANICAL APPLIANCE EQUIPMENT ETC. BEFORE ORDERING & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LINEN ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PERMITTED WALLS.
7. PROVIDE RACKING AT ALL GARAGE BAY LOCATIONS - INCLUDING LOCATIONS OF FUTURE GARAGE BAYS & SIXTY IN BATHROOMS INDICATED AS ACCESSIBLE.
8. PROVIDE FIBERGLASS FIBER 2015 IBC 716.2.1 - TYPICAL THROUGHOUT EXTERIOR FINISHING.
9. RE-VERIFY ALL CABINETS LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCE & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINET ENDS.
10. CARE AT BORDER OF ALL TUB & SHOWER ENCLOSURES. CHECK IF BORDER IS ALL COUNTERTOP BACKSPLASHES & MIRROR/SHADES.
11. INSTALL ENTRIES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
12. ALL WINDOW & DOOR SIZES SHALL BE AS SHOWN IN THE SCHEDULE AND AS NOTED ON THE EXTERIOR ELEVATION AND WINDOW SCHEDULES.



SECOND FLOOR PLAN - OVERALL  
SHEET # 102



**JLA**  
ARCHITECTS  
MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**Gräef**  
GALWAY  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

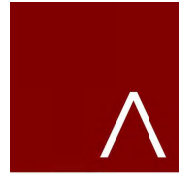
These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final pricing or construction-related purposes.

DATE OF REVISION: 04/19/2021

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE  
**SECOND FLOOR  
PLAN - OVERALL**

SHEET NUMBER  
**A102**



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

GRÄEF  
GALWAY COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS  
These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/11/19, 02/1

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE  
THIRD FLOOR PLAN - OVERALL

SHEET NUMBER  
A103

- GENERAL PLAN NOTES**
1. FINISH DIMENSIONS ARE TO OUTSIDE FACE OF TIE-INS OR MASON WALLS UNLESS OTHERWISE NOTED.
  2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
  3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
  4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
  5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, BRIDGE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
  6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING EXTERIORS, JANUARY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER ROOMS.
  7. PROVIDE BIDDING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
  8. PROVIDE REINFORCING FOR 2013 BIE 710.2.1 - TYPICAL THROUGHOUT TO BE BIDDING.
  9. FIELD VERIFY ALL CABINETS, COUNTERTOPS AND COORDINATE WITH THE APPLIANCE, SINKS, PROGRAMS, ETC. FOR ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END FINISHES AT ALL EXPOSED CABINETS ENDS.
  10. CALL OUT PROVIDER OF ALL TUB & SHOWER ENCLOSURES, SINKS & FIXTURES FOR ALL COUNTERTOP BACKSPASHES & REFRIGERATORS.
  11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S SCHEDULE.
  12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR ELEVATIONS AND WINDOW SCHEDULES.



THIRD FLOOR PLAN - OVERALL  
1/8" = 1'-0"

04/11/19, 02/1

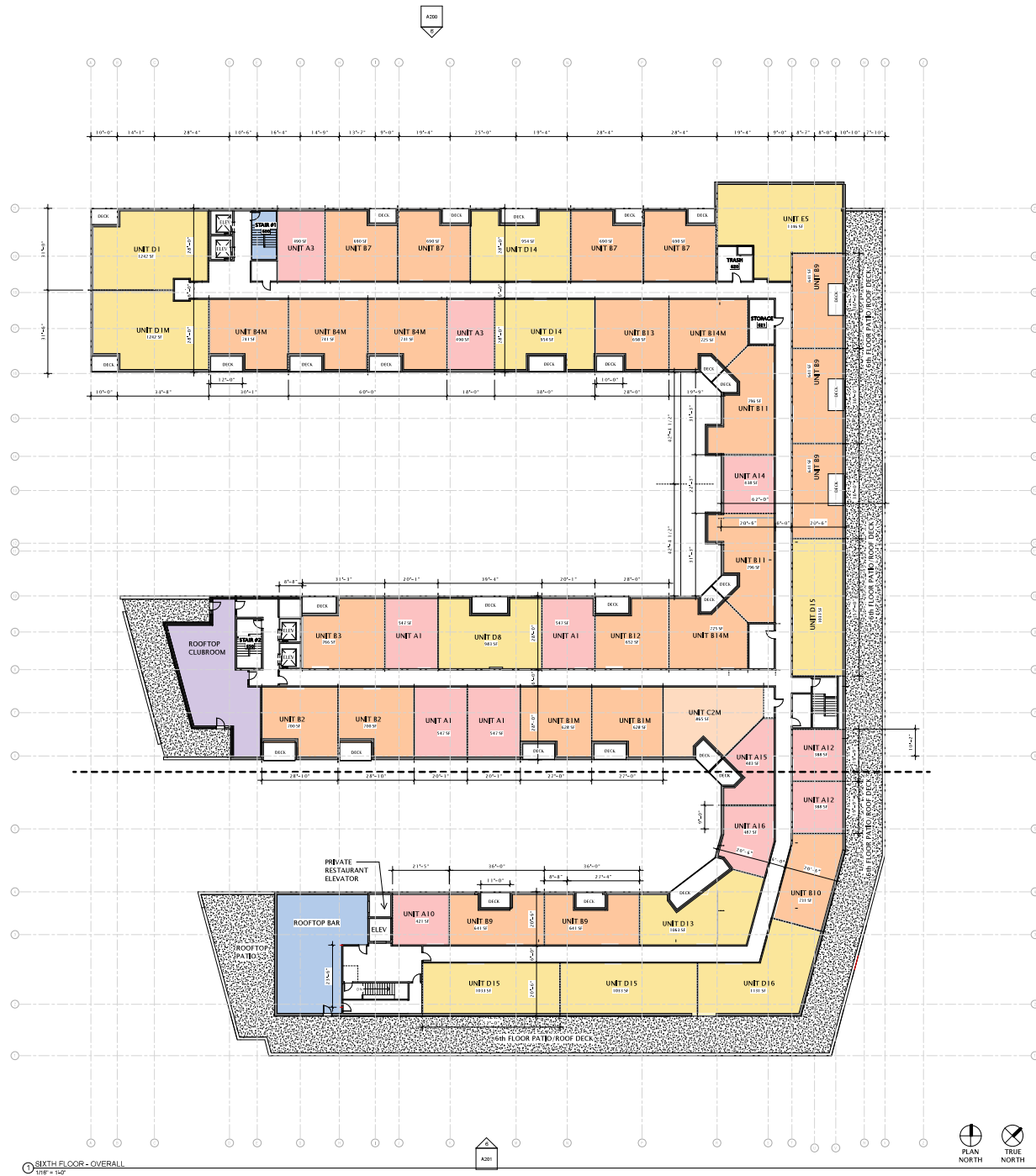
**GENERAL PLAN NOTES**

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF CURTAIN WALLS UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATIONS DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTACT MANUFACTURER FOR ALL WINDOW OPENINGS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL MEMBER-REL, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WINDOWS EXPOSED TO THE INTERIOR OPEN CONTACT WITH CONCRETE OR MASONRY SHALL BE PROPERLY FLASHED.
5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, HEAVY-DUTY APPLIANCE EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATTLEMENTS AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PUMPING WALLS.
7. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DEMONSTRATED AS ACCESSIBLE.
8. PROVIDE BRICKWORK PER 2015 IBC 2102.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
9. FIELD VERIFY ALL CABINETS, LAYOUTS AND CONSIDER WITH THE ENVIRONMENTAL REQUIREMENTS OF ALL APPLIANCES & FURNITURE. PROVIDE FINISHED FLOOR FINISH AT ALL KITCHEN CABINETS ONLY.
10. CALL OUT DIMENSIONS OF ALL TUBA SHOWER ENCLOSURES, CALLS AT HEIGHTS OF ALL COUNTERTOP ENCLOSURES & BENCHES/SEALS.
11. INSTALL FINISHES, ACCESSORIES, ETC. ACCORDING TO THE FINISHING SCHEDULE.
12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED BY THE SCOPED FINISHING AND AS INDICATED ON THE EXTERIOR MATERIALS AND WINDOW SCHEDULES.

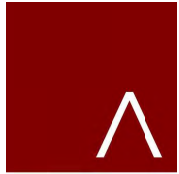








SIXTH FLOOR - OVERALL  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802



FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final pricing or construction without purpose.

DATE OF REVISION: 04/19/2021

**REVISION SCHEDULE**

NO.	Description	Date

SHEET TITLE

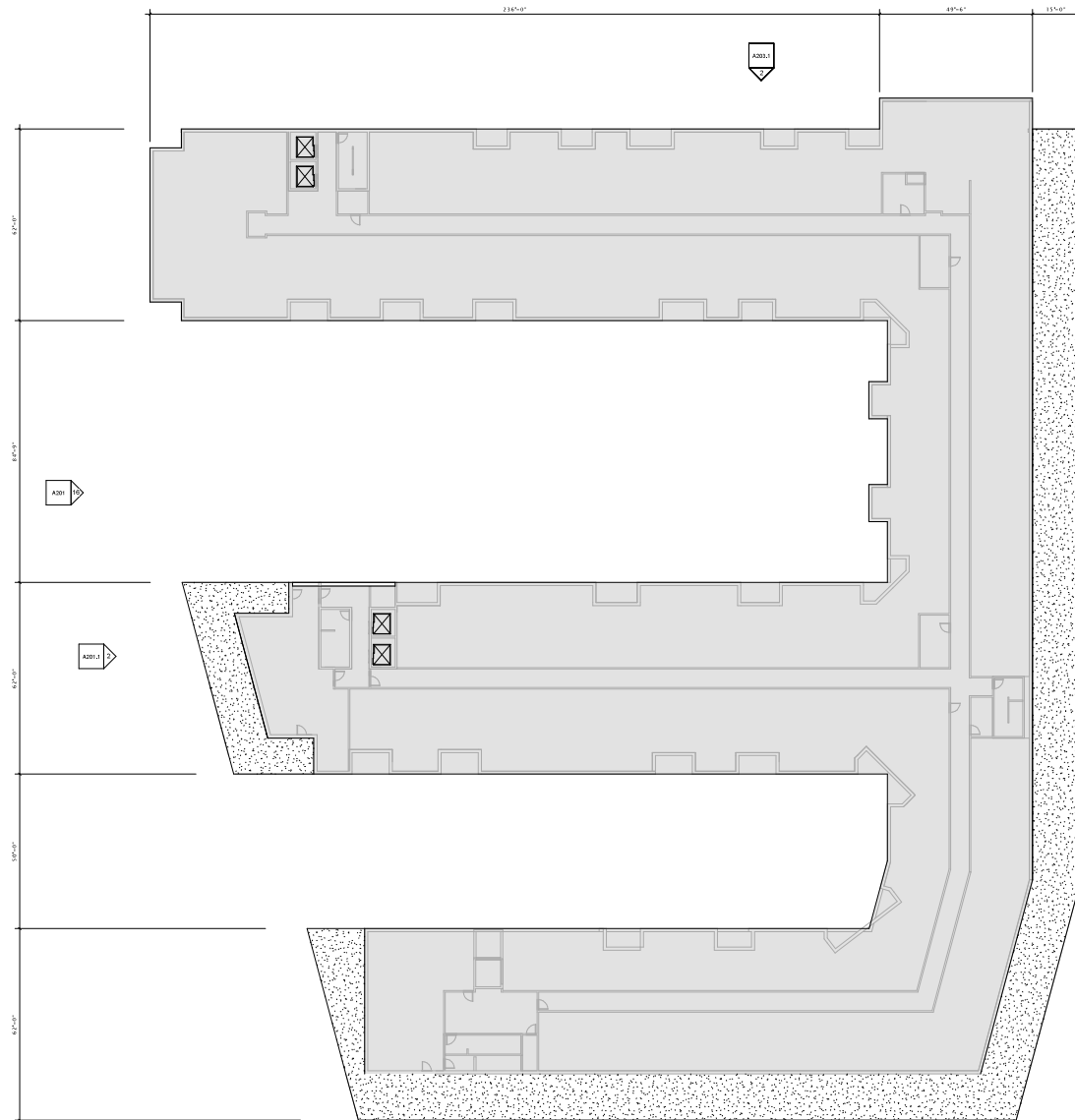
SIXTH FLOOR PLAN - OVERALL

SHEET NUMBER

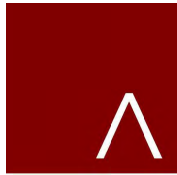
A106

**ROOF NOTES**

1. ROOF SHALL BE ROOF ASSEMBLY - WELA, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE BECHED AT 1/4" PER FOOT MINIMUM TO PROVIDE ROOF DRAINAGE. (SEE A501 FOR ROOF ASSEMBLY DESCRIPTIONS.)
2. PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAIN. PROVIDE A 3/4" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/ OR CRACKETS WHERE NECESSARY.
3. ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
4. AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" MINIMUM FROM BOTH SIDES OF FIRE WALL.
5. PROVIDE WATER-TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT MECA STANDARDS.
6. VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
7. DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE THERMOSEAL WEATHER-TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
8. OVERHANGS IF ANY SHALL BE AS SHOWN ON ROOF PLAN.
9. PROVIDE CONTINUOUS ATIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/ OR TAPE AS NEEDED TO PROVIDE SMOOTHTIGHT SEAL.
10. ALL DRYERS SHALL BE VENTED WITH 90% CLASSIFIED DRYER BOX & VENTS. PROVIDE POWER BOOSTER FAN VENT IF VENT RUN EXCEEDS 25'-0".
11. PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF ROOST FROM ROSE BIRD CHAWNS. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
12. PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOPS PER MANUFACTURER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
13. PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED HERE TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
14. ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN/ DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.



10 ROOF PLAN - OVERALL  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADSON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802



FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF ESTIMATE: 8/4/19, 2021

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

SHEET TITLE

ROOF PLAN  
OVERALL

SHEET NUMBER

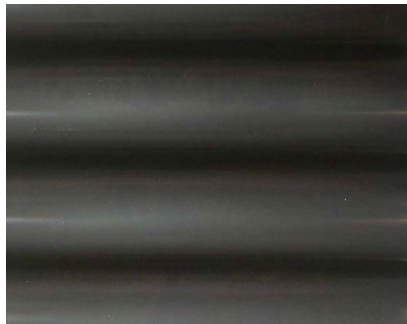
A110



UTILITY SIZE BRICK

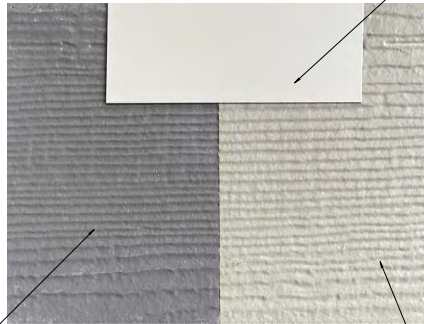


SANDSTONE – 12" X 24"



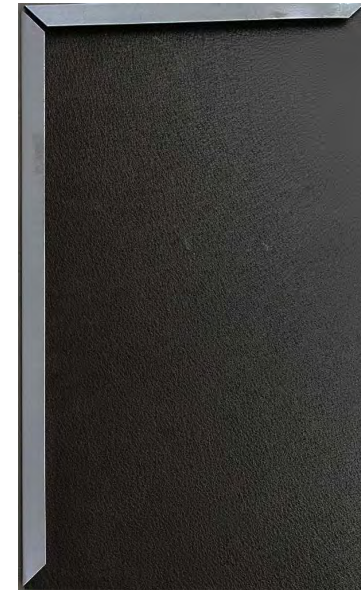
MATTE FINISH – BLACK  
CORRUGATED METAL  
PANELS

LIGHT GREY METAL  
PANEL TRIM

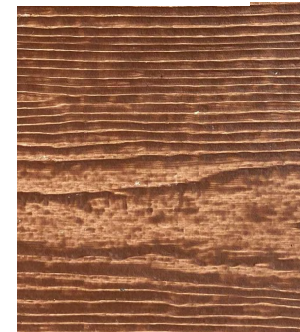


FIBER CEMENT PANEL –  
AGED PEWTER

FIBER CEMENT PANEL –  
MONTEREY TOUPE

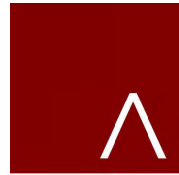


MATTE FINISH – BLACK  
INTERLOCKING FLAT  
METAL PANELS



FIBER CEMENT PANELS –  
MOUNTAIN CEDAR

\* APPEARANCE OF EXTERIOR MATERIALS IN FOLLOWING IMAGES  
MAY APPEAR INCONSISTENT DUE TO TRUE DAYLIGHT PARAMETERS.



**JLA**  
ARCHITECTS  
MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802



FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change and being updated as needed. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/19/2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

EXTERIOR MATERIALS

SHEET NUMBER

A200.0

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

PRECAST TRIM

SANDSTONE 12" X 24"

HORIZONTAL CABLE RAILING DARK GREY FINISH

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT PANEL - MONTEREY TOUPE

UTILITY SIZE BRICK

FIBER CEMENT - MOUNTAIN CEDAR



© EAST ELEVATION - IMAGE  
3/22' = 1"=0"

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT PANEL - MONTEREY TOUPE

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS



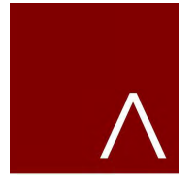
UTILITY SIZE BRICK

PRECAST TRIM

SANDSTONE 12" X 24"

FIBER CEMENT - MOUNTAIN CEDAR

© SOUTH ELEVATION - IMAGE  
3/22' = 1"=0"



**JLA**  
ARCHITECTS

MADSON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
**GALWAY**  
COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/19/22

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS - PERIMETER

SHEET NUMBER

A200.1

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

PRECAST TRIM

UTILITY SIZE BRICK

DECORATIVE CURTAIN WALL AT DOUBLE HEIGHT ENTRY LOBBY

HORIZONTAL CABLE RAILING DARK GREY FINISH

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN CEDAR



GLASS RAILING AT POOL PERIMETER

SANDSTONE 12" X 24"

FIBER CEMENT PANEL - AGED PEWTER

WEST ELEVATION - IMAGE  
3/22 @ 1/4"

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN CEDAR

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

FIBER CEMENT PANEL - MONTEREY TOUPE  
FIBER CEMENT PANEL - AGED PEWTER

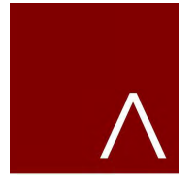
MATTE FINISH BLACK CORRUGATED METAL PANEL



UTILITY SIZE BRICK

CLIMBING LANDSCAPE TRELLIS

NORTH ELEVATION - IMAGE  
3/22 @ 1/4"



**JLA**  
ARCHITECTS

MADSON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
**GALWAY**  
COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/19/22

REVISION SCHEDULE

No.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS - PERIMETER

SHEET NUMBER

A201.1



NORTH COURTYARD - NORTH ELEVATION  
3/22 x 140'



NORTH COURTYARD - SOUTH ELEVATION  
3/22 x 140'



**JLA**  
ARCHITECTS

MADSON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRäEF**

**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change until final construction documents are issued. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 8/4/19, 2021

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR  
ELEVATIONS - NORTH  
COURTYARD

SHEET NUMBER

A202.1



1 SOUTH COURTYARD - NORTH ELEVATION  
3/02" = 1'-0"



2 SOUTH COURTYARD - SOUTH ELEVATION  
3/02" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
GALWAY  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change until being approved in detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/19/2021

REVISION SCHEDULE

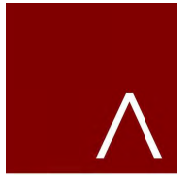
NO.	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR  
ELEVATIONS - SOUTH  
COURTYARD

SHEET NUMBER

A203.1



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

GRÄEF  
GALWAY COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change without additional notice. These are not final construction documents and should not be used for final bidding or construction without purpose.

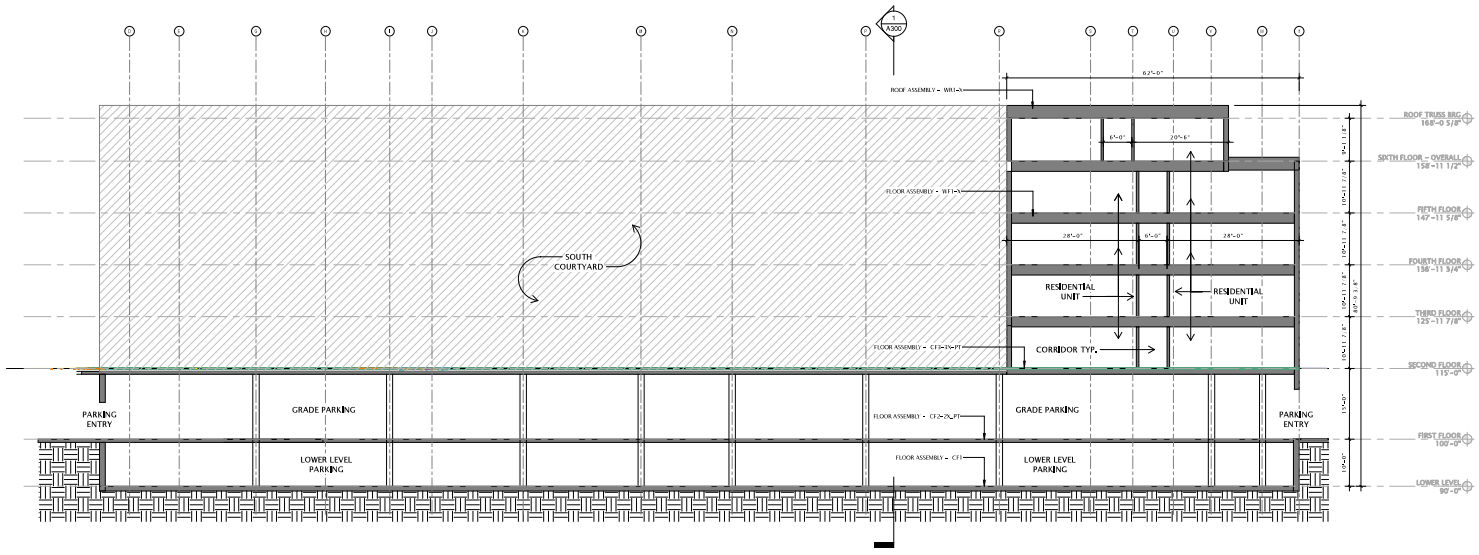
DATE OF SUBMITTAL: 6/21/19, 2021

REVISION SCHEDULE

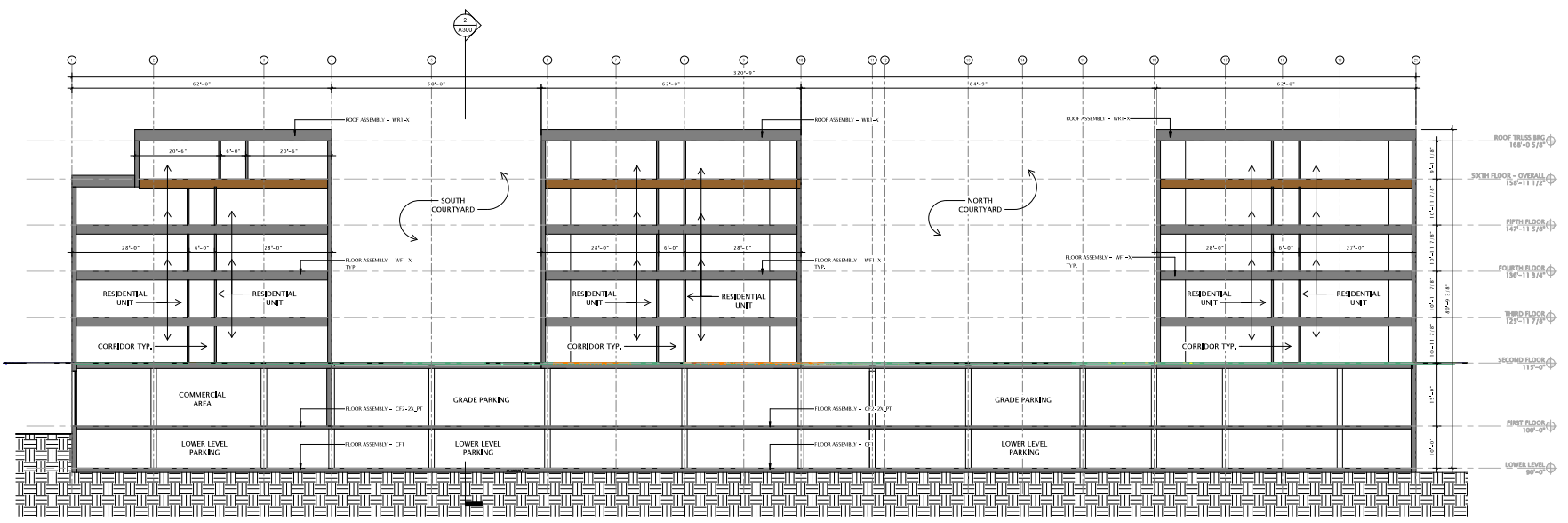
NO.	DESCRIPTION	DATE

SHEET TITLE  
OVERALL BUILDING SECTIONS

SHEET NUMBER  
A300

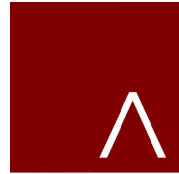


OVERALL BUILDING SECTION B  
9/27' = 1/4"



OVERALL BUILDING SECTION A  
9/27' = 1/4"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVIEW: AUGUST 16, 2021

REVISION SCHEDULE

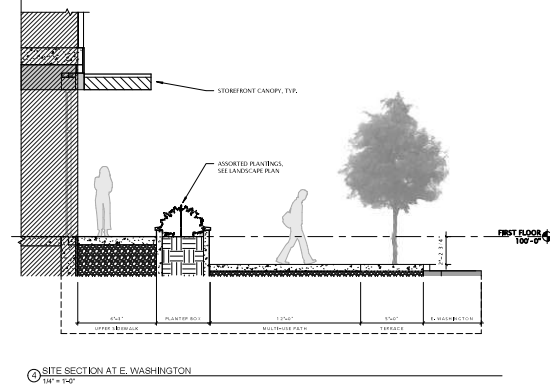
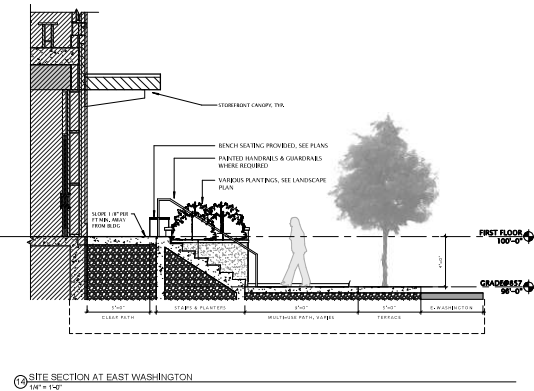
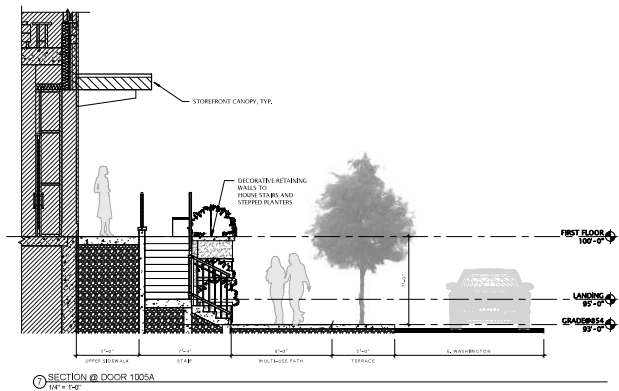
No.	Description	Date

SHEET TITLE

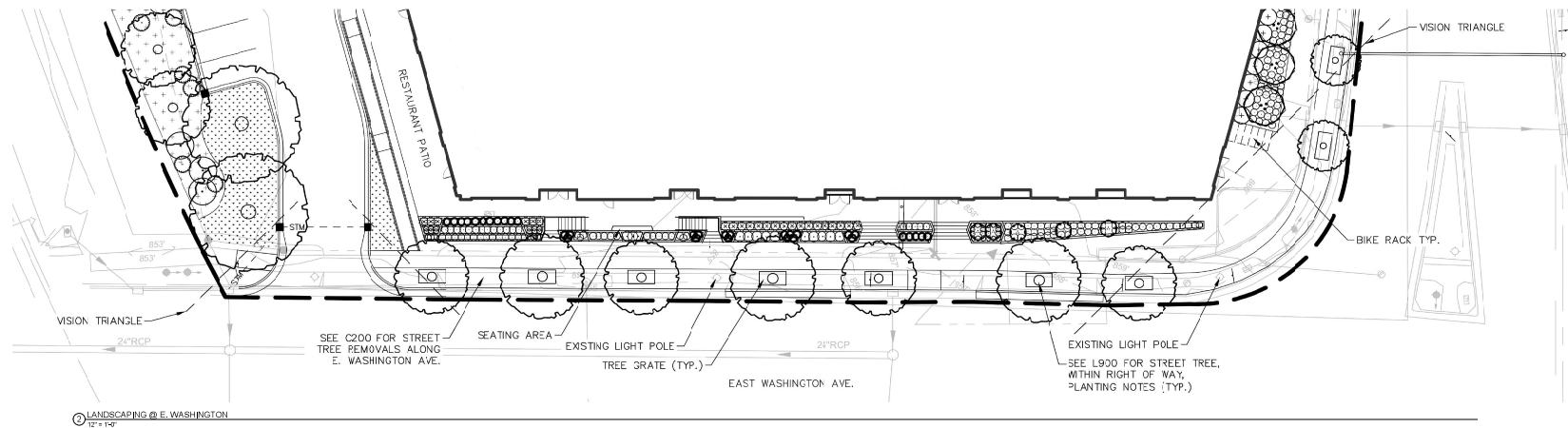
SITE SECTIONS AT E. WASHINGTON

SHEET NUMBER

A360



NOTE: PLANTINGS FOR VISUAL REFERENCE, REFER TO LANDSCAPE PLAN BELOW FOR LOCATION AND TYPE OF PROPOSED PLANTINGS

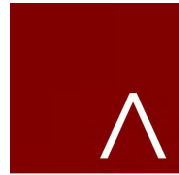




PERSPECTIVE 1 – FROM SE



PERSPECTIVE 2 – FROM SW



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change until being approved in detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF REVISION: 04/19/2021

**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

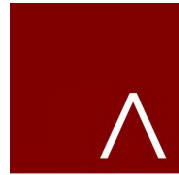
**A700**



PERSPECTIVE 3 - FROM NE



PERSPECTIVE 2 - FROM SE



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
GALWAY  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ESTIMATE: 04/11/2021

REVISION SCHEDULE		
No.	Description	Date

SHEET TITLE

BUILDING  
PERSPECTIVES

SHEET NUMBER

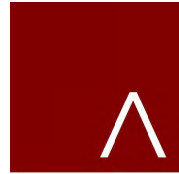
A701



PERSPECTIVE 5 – FROM NW



PERSPECTIVE 6 – FROM W



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÆF**  
GALWAY  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change and being additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF ESTIMATE: 04/19/2021

**REVISION SCHEDULE**

NO.	Description	Date

SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A702**



PERSPECTIVE 7 - FROM NE



PERSPECTIVE 8 - FROM SW



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**  
GALWAY  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVIEWS: 04/19/2021

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

SHEET TITLE

BUILDING  
PERSPECTIVES

SHEET NUMBER

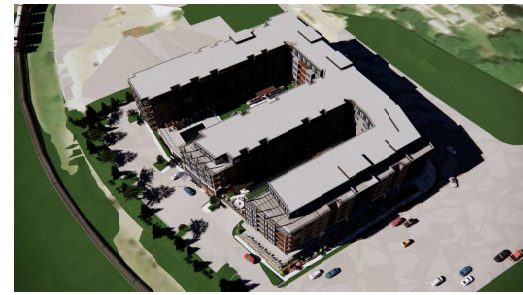
A703

9 AM

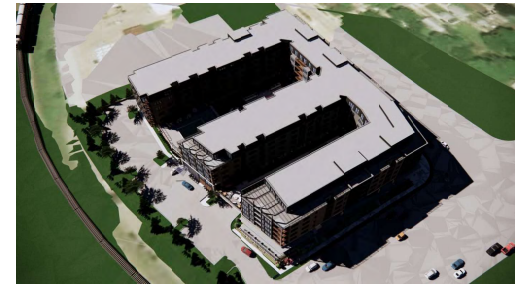
NOON

5 PM

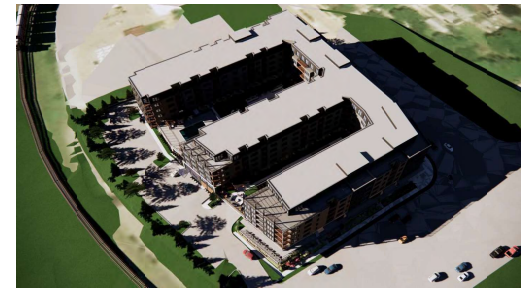
SPRING EQUINOX



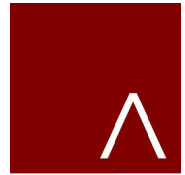
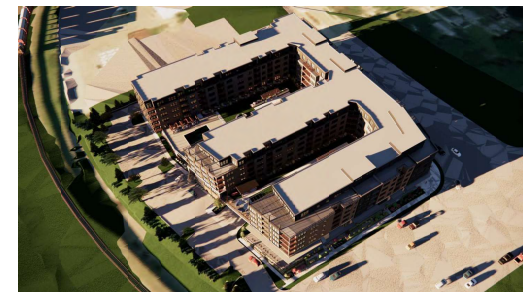
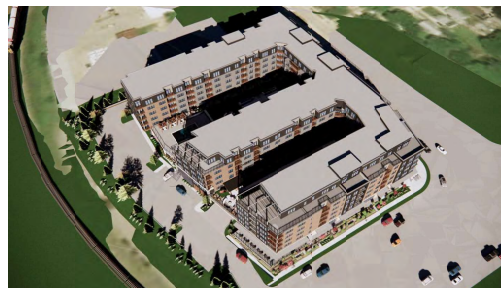
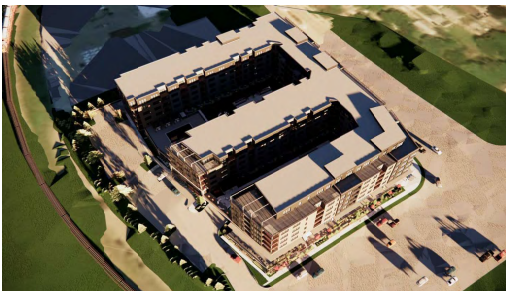
SUMMER SOLSTICE



AUTUMN EQUINOX



WINTER SOLSTICE



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**

**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change without additional detail. These are not final construction documents and should not be used for final bidding or construction without purpose.

DATE OF REVISION: 04/19/2021

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE

SOLAR SHADE  
ANALYSIS

SHEET NUMBER

A705