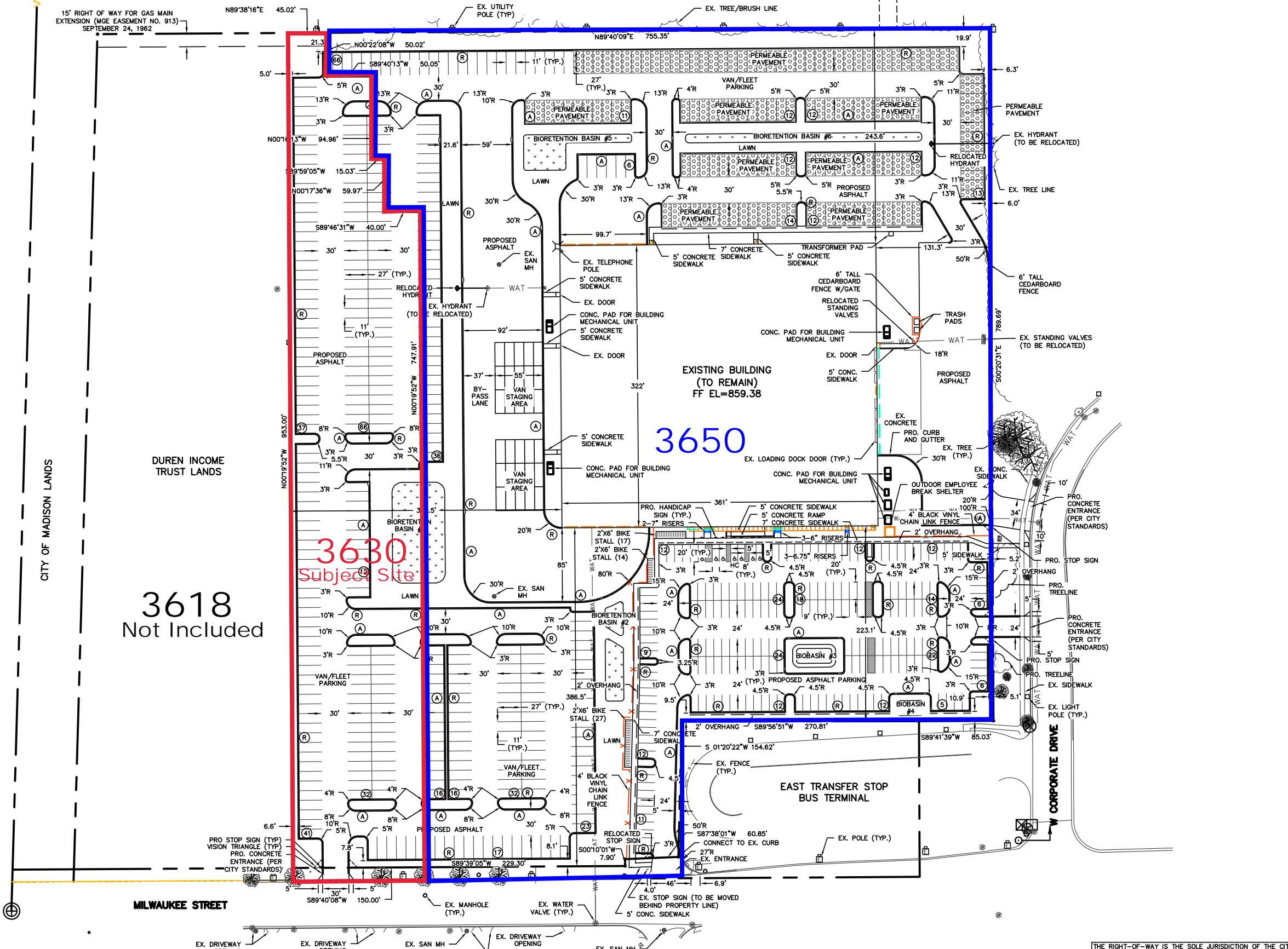


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CITY OF MADISON LANDS



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address 3650 MILWAUKEE STREET
 Site acreage (total) 16.15 Acres

Number of building stories (above grade) 1
 Building height 28'
 DSPS type of construction (new structures or additions) N/A
 Total square footage of building 116,238 S.F.
 Total square footage of garage N/A

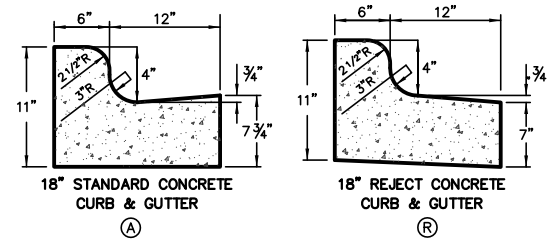
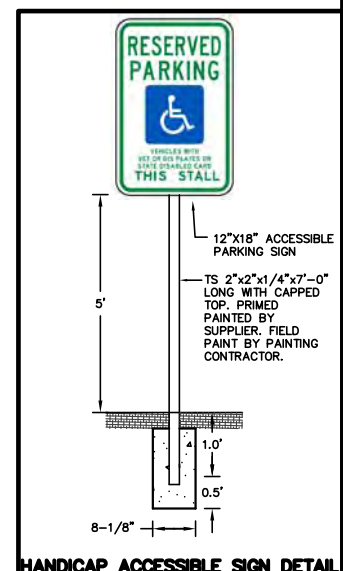
Use of property OFFICE AND PACKAGE DELIVERY
 Gross square feet of office 8,500 S.F.
 BUILDING AND PAVED AREA 527,648 S.F.
 OPEN SPACE AREA 175,848 S.F.
 LOT COVERAGE 75.0%

Number of bicycle stalls shown 58
 Number of parking stalls:

	SHOWN
Van/Fleet Parking	498
Employee Parking	204
Accessible	7
Total	709

Number of trees shown (See Landscape Plan)

STOP SIGNS SHALL BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN AT ALL CLASS III DRIVEWAY APPROACHES.



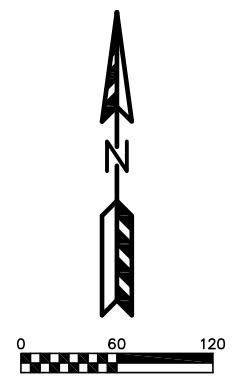
3650 MILWAUKEE STREET, CITY OF MADISON
 PROPOSED SITE PLAN
 PAGE: 2 OF 8
 DATED: DECEMBER 18, 2019

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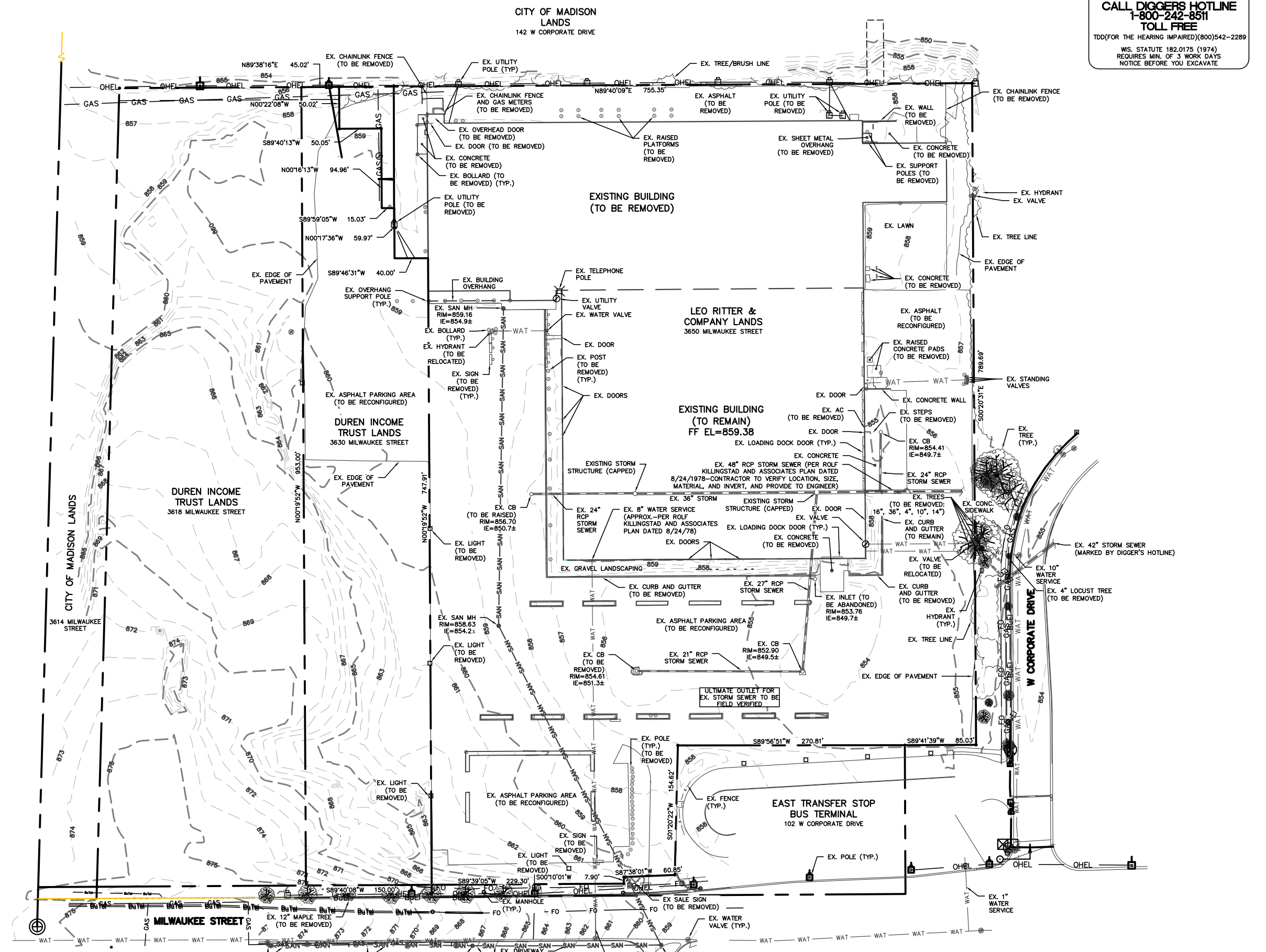
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TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



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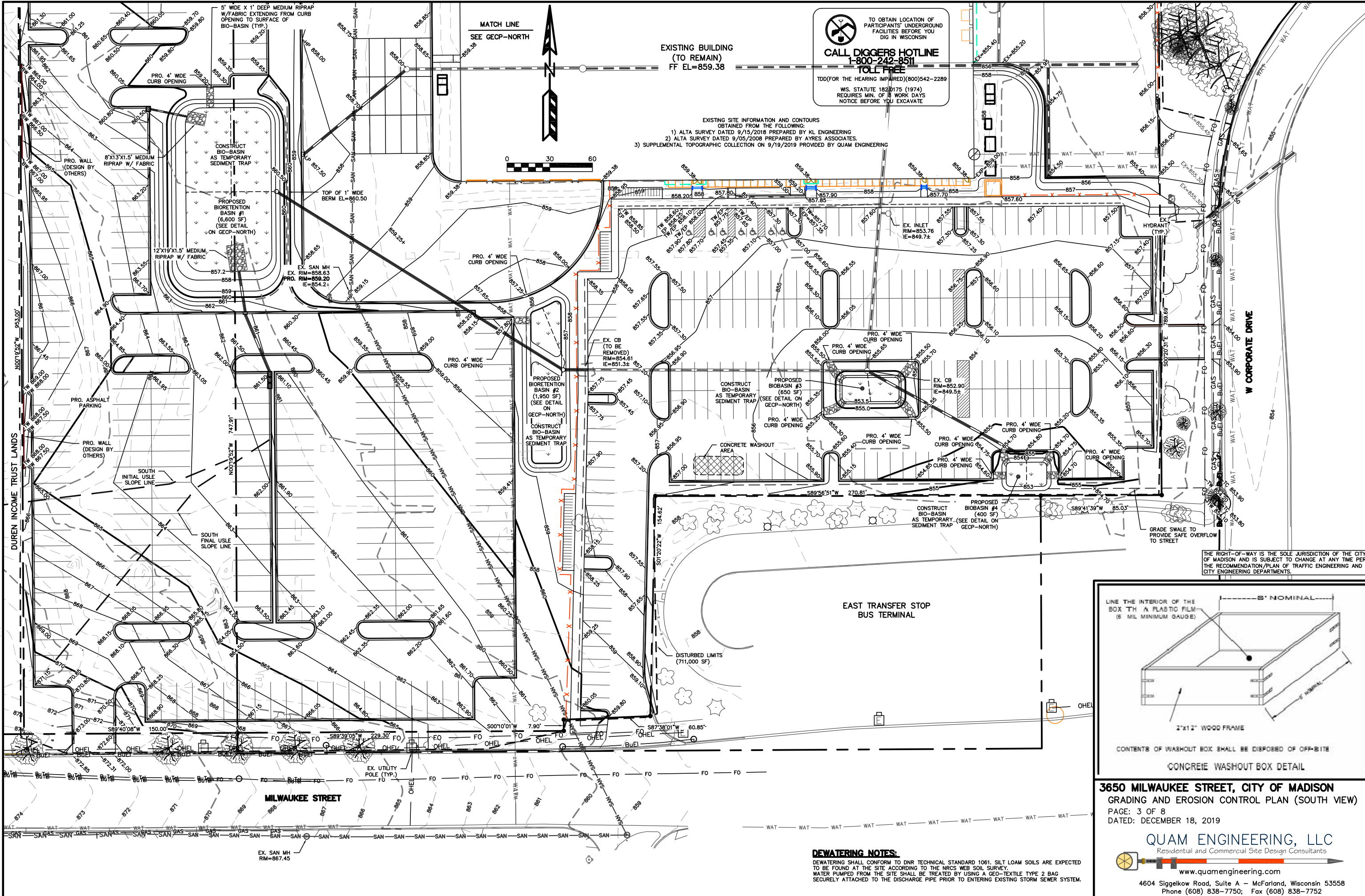


- LEGEND
- HYDRANT
 - STORM INLET
 - SIGN
 - LIGHT
 - POWER POLE
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - GAS VALVE
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 - BURIED GAS
 - OVERHEAD ELECTRIC
 - BURIED ELECTRIC
 - BURIED TELEPHONE
 - BURIED FIBER CABLE
 - SANITARY SEWER
 - WATER MAIN
 - STORM SEWER
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE

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3650 MILWAUKEE STREET, CITY OF MADISON
 EXISTING SITE PLAN
 PAGE: 1 OF 8
 DATED: DECEMBER 18, 2019

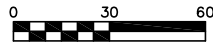
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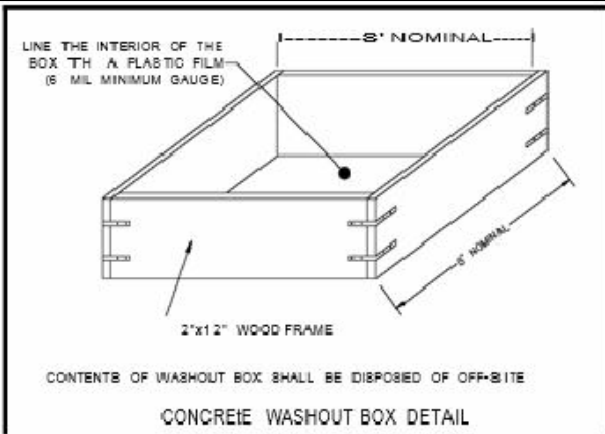
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MATCH LINE
SEE GECP-NORTH




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3650 MILWAUKEE STREET, CITY OF MADISON
GRADING AND EROSION CONTROL PLAN (SOUTH VIEW)
PAGE: 3 OF 8
DATED: DECEMBER 18, 2019

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DEWATERING NOTES:
DEWATERING SHALL CONFORM TO DNR TECHNICAL STANDARD 1061. SILT LOAM SOILS ARE EXPECTED TO BE FOUND AT THE SITE ACCORDING TO THE NRCS WEB SOIL SURVEY. WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A GEO-TEXTILE TYPE 2 BAG SECURELY ATTACHED TO THE DISCHARGE PIPE PRIOR TO ENTERING EXISTING STORM SEWER SYSTEM.

EROSION NOTES:

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

OWNER:
LEO RITTER & COMPANY
ATTN: DAVID RITTER
40 WEST 72ND STREET, SUITE E
NEW YORK, NY 10023

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

RESTORATION NOTES:

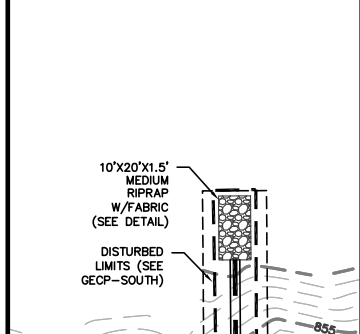
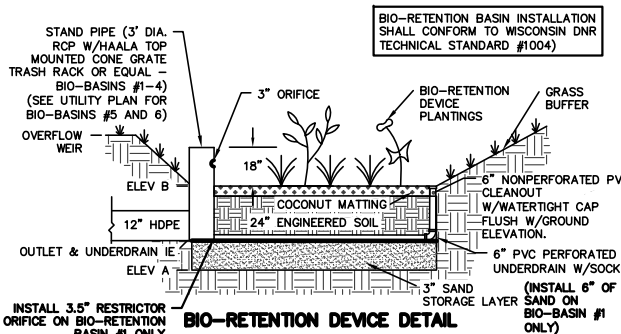
ALL PVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

TIME SCHEDULE:

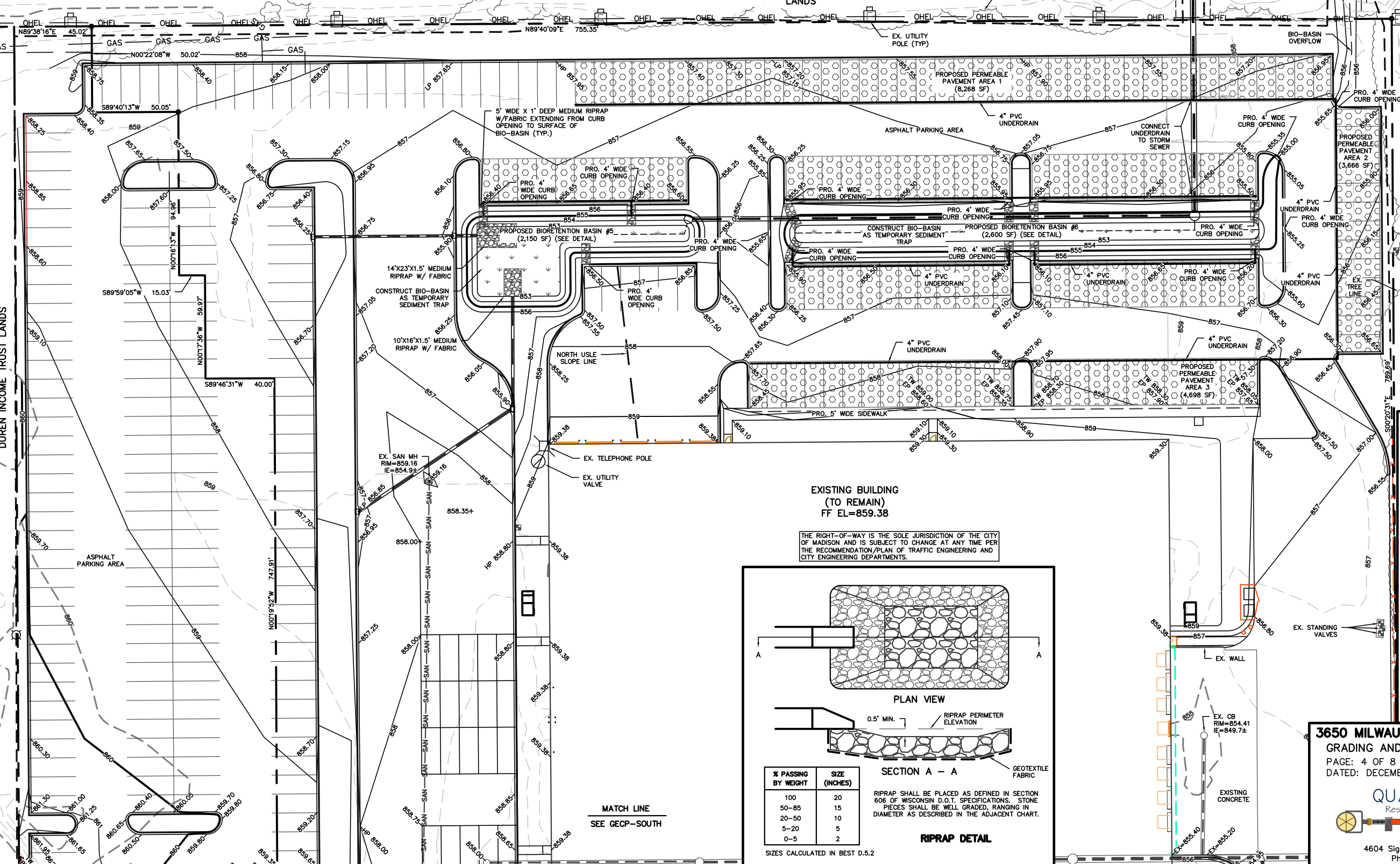
JANUARY 27, 2020	INSTALL INITIAL EROSION CONTROL DEVICES.
JANUARY 27 - MARCH 15, 2020	DEMOLISH EXISTING BUILDING.
MARCH 15, 2020 - JULY 1, 2020	GRADE SITE INCLUDING TEMPORARY SEDIMENT TRAPS AT ALL BIO-BASINS, INSTALL UTILITIES, AND RESTORE PVIOUS DISTURBED AREAS.
JUNE 15, 2020 - JULY 1, 2020	REMOVE ACCUMULATED SEDIMENT FROM BIO-BASIN AREAS, CONSTRUCT BIO-BASINS PER DETAIL, AND RESTORE PVIOUS DISTURBED AREAS.



BIO-RETENTION BASIN ELEVATIONS

BIO-RETENTION BASIN NUMBER	1	2	3	4	5	6
ELEV A	854.70	853.60	851.25	850.75	850.75	850.75
UNDERDRAIN IE	855.20	853.85	851.50	851.00	851.00	851.00
ELEV B	857.20	855.85	853.50	853.00	853.00	853.00
3" ORIFICE IE	858.20	856.85	854.50	854.00	854.00	854.00
STANDPIPE RIM	858.70	857.35	855.00	854.50	854.50	854.50
OVERFLOW WEIR ELEV	859.65	858.00	855.50	854.70	856.05	855.65

CITY OF MADISON LANDS



ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
70% SILICA SAND, 30% COMPOST W/ PH 5.5-6.5
COMPOST SHALL MEET MNR SPECIFICATION S100.
STORAGE/INTERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:
SAND: WASHED QUARTZ OR SILICA 0.02 - 0.04 INCHES IN DIA.

BIO-RETENTION DEVICE PLANTINGS TO BE PLANTED AT ONE PLUG PER SQUARE FOOT. PLUGS TO BE PLANT STOCK NAMED IN THE WET PRAIRIE MIX FROM AGRECOL CORPORATION OR APPROVED EQUIVALENT. A MINIMUM OF 10 DIFFERENT PLANT STOCK NAMES TO BE PLANTED.

TO PREVENT COMPACTION OF ENGINEERED SOIL AND SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE BIO-RETENTION DEVICE AREA.

THE CONTRACTOR SHALL PROVIDE A COPY OF DELIVERY TICKET OR INVOICE FOR ENGINEERED SOIL AND SAND STORAGE LAYER FOR AS-BUILT CERTIFICATION PURPOSES.

BIO-RETENTION DEVICE DETAILS

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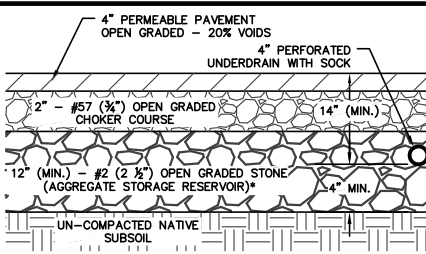
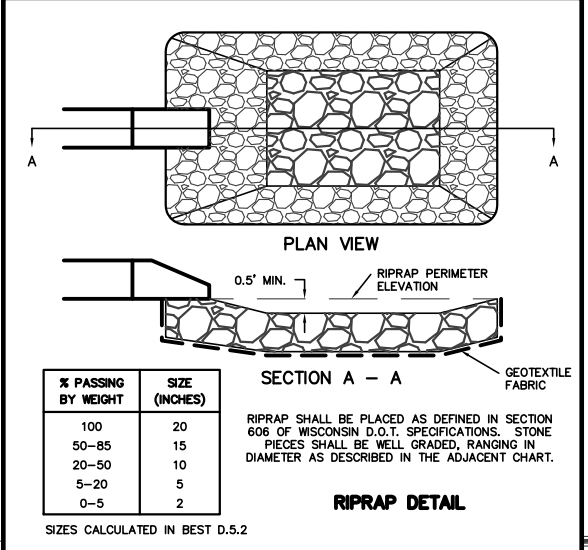
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EXISTING BUILDING (TO REMAIN)
FF EL=859.38

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AGGREGATE STORAGE RESERVOIR NOTES:

1. SHALL CONSIST OF OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE.
2. PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29 STANDARD TEST METHOD FOR BULK DENSITY ("UNIT WEIGHT") AND VOIDS IN AGGREGATE.
3. COMPLY WITH SOUNDNESS AND WEAR, AND FRACTURE REQUIREMENTS LISTED IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.2.4.5 - AGGREGATE BASE PHYSICAL PROPERTIES.
4. COMPLY WITH CONSTRUCTION REQUIREMENT IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.3 OR ADMINISTERING AUTHORITY.
5. IF ASPHALT IS USED AS PERMEABLE PAVEMENT, THEN ASPHALT SHALL BE POLYMER MODIFIED BINDER, GROUND TIRE RUBBER (GTR), OR FIBERS (CELLULOSE) MEETING THE DRAIN DOWN REQUIREMENT FOR WSDOT SMA OF 0.30%. THE DRAIN DOWN FOR THE UNCOMPACTED HMA MIXTURE SHALL BE TESTED USING AASHTO T-305 PROCEDURE.

PERMEABLE PAVEMENT DETAIL

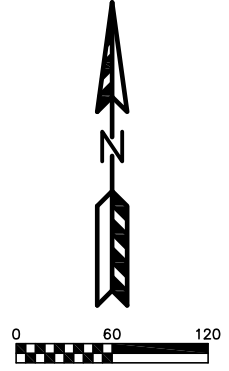
3650 MILWAUKEE STREET, CITY OF MADISON
GRADING AND EROSION CONTROL PLAN (NORTH VIEW)
PAGE: 4 OF 8
DATED: DECEMBER 18, 2019

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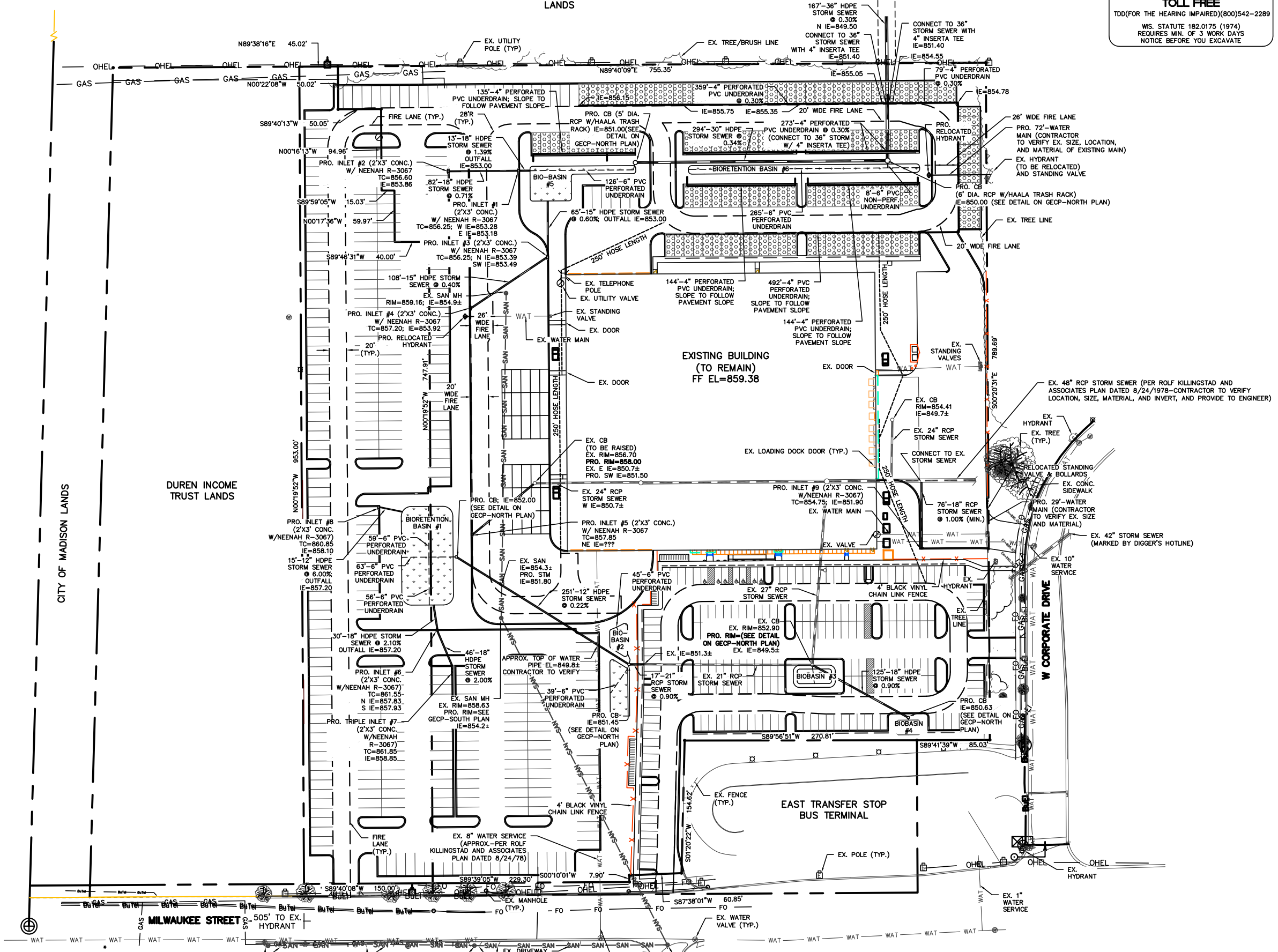
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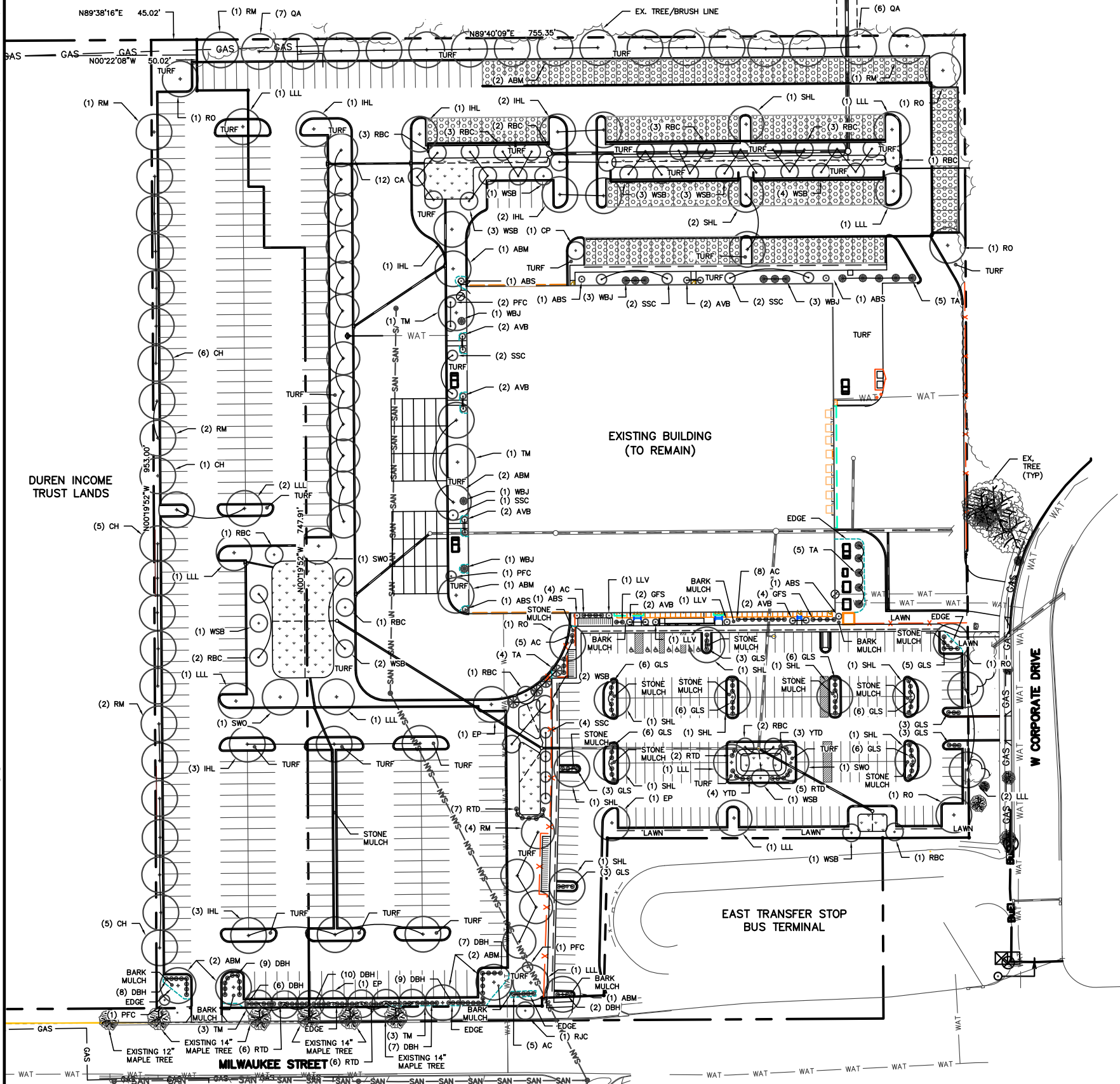
- LEGEND
- HYDRANT
 - STORM INLET
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 - LIGHT
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 - GAS VALVE
 - CURB STOP
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 - x - x - EXISTING FENCE
 - GAS BURIED GAS
 - OHEL OVERHEAD ELECTRIC
 - BuEl BURIED ELECTRIC
 - BuTel BURIED TELEPHONE
 - FO BURIED FIBER CABLE
 - SAN SANITARY SEWER
 - WAT WATER MAIN
 - STORM SEWER
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE

3650 MILWAUKEE STREET, CITY OF MADISON
FIRE LANE AND UTILITY PLAN
PAGE: 5 OF 8
DATED: DECEMBER 18, 2019

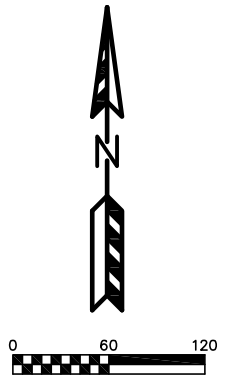
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PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
(122)			Canopy Trees	
ABM	11	2 1/2"	Autumn Blaze Maple	BB
CA	12	2"	Columnar Aspen	BB
CH	17	2 1/2"	Hackberry	BB
EP	3	2 1/2"	Exclamation Planetree	BB
IHL	13	2 1/2"	Imperial Honey Locust	BB
LLL	13	2 1/2"	Little Leaf Linden	BB
QA	13	2 1/2"	Quaking Aspen	BB
RM	11	2 1/2"	Red Maple	BB
RO	6	6"	Red Oak	BB
SHL	12	2"	Skyline Honeylocust	BB
TM	8	2"	Tatarian Maple	BB
SWO	3	2 1/2"	Swamp White Oak	BB
(66)			Low Ornamental Trees	
ABS	6	6"	Autumn Brilliance Serviceberry	BB
CP	1	2"	Callery Pear	BB
PFC	5	2"	Prairie Fire Crab	BB
RBC	22	2"	River Birch	BB
SSC	11	2"	Spring Snow Crab	BB
WSB	21	2"	Whitespire Birch	BB
(190)			Deciduous Shrubs	
AC	22	15"	Alpine Currant	Pot
AVB	12	36"	Aronwood Viburnum	Pot
DBH	58	18"	Dwarf Bush Honeysuckle	Pot
GFS	6	18"	Gold Flame Spirea	Pot
GLS	56	15"	Gro Low Sumac	Pot
LLV	3	36"	Leather Leaf Viburnum	Pot
RTD	26	24"	Red Twig Dogwood	Pot
YTD	7	24"	Yellow Twig Dogwood	Pot
(23)			Evergreen Shrubs	
TA	14	6"	Techy Arborvitae	BB
WBJ	9	6"	Wichita Blue Juniper	BB
RGP	14,550	2 1/2"	Planting 12" on center	plug
			Common Blue Star	
			Bottle Gentian	
			Obedient Plant	
			Columbine	
			Switchgrass	
			Black Eyed Susan	
			Wild Iris	
			Swamp Milkweed	
			White Turtlehead	
			Cardinal Flower	
			Turk's Cap Lily	
			Little Bluestem	
RJC	1	2"	Red Jewel Crabapple	BB

- NOTES:
- Designated lawn areas to receive a minimum of 4" of topsoil, bluegrass seed mix, starter fertilizer, straw mat mulch.
 - Designated turf areas to receive a minimum of 4" of topsoil, no-mow turf seed mix, starter fertilizer, straw mat mulch.
 - Turf and lawn areas in drainage swales and slopes greater than 3:1 shall be mulched with erosion control fabric (installed per manufacturer's specifications).
 - Foundation planting beds, parking lot islands, and designated planting beds to be mulched with #2 washed stone mulch spread to a depth of 3" over weed barrier fabric.
 - Designated planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3" rings (4" diameter) spread to a depth of 3".
 - Designated planting beds to be separated from lawn areas with 5" black vinyl edging.
 - Rain garden to receive coconut mat or shredded hardwood bark mulch.
 - Rain garden plants (RGP) to be installed 12" on center.
 - Rain garden to be constructed per WDNR specifications.
 - Owner will be responsible for landscape maintenance after completion and acceptance of the project.
 - Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608-266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with city forestry prior to the start of construction. Tree protection specifications can be found in Section 107.13 of City of Madison standard specifications for public works construction - <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf>. Any tree removals that are required for construction after the development plan is approved will require at least a 72-hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan.
 - City Forestry will issue a removal permit for two trees: 12" diameter maple tree & 4" locust tree due to driveway installation. Please contact City Forestry (608) 266-4816 to obtain the Street Tree Removal permit.
 - Contractor shall contact City Forestry (608) 266-4816 at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.

LANDSCAPE WORKSHEET

Landscaping Points Required

Developed Area = 587,255 SF
 Landscape Points: 587,255/500 x 5 = **5,873 points**

Total Landscape Points Required **5,873 points**

Landscaping Points Supplied

Existing canopy trees - 0 @ 35 = 0 points
 Proposed canopy trees - 122 @ 35 = 4,270 points
 Existing evergreen trees - 0 @ 35 = 0 points
 Proposed evergreen trees - 0 @ 35 = 0 points
 Existing ornamental trees - 0 @ 15 = 0 points
 Proposed ornamental trees - 66 @ 15 = 990 points
 Existing upright evergreen shrubs - 0 @ 10 = 0 points
 Proposed upright evergreen shrubs - 23 @ 10 = 230 points
 Existing deciduous shrubs - 0 @ 3 = 0 points
 Proposed deciduous shrubs - 190 @ 3 = 570 points
 Existing evergreen shrubs - 0 @ 4 = 0 points
 Proposed evergreen shrubs - 0 @ 4 = 0 points
 Existing perennials & grasses 0 @ 2 = 0 points
 Proposed perennials & grasses 0 @ 2 = 0 points

Total landscape points supplied = 6,060 points

Lot Frontage Landscaping Required
 (Section 28.142(5) Development Frontage Landscaping)

One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) linear feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.

Milwaukee Street = 440 LF

Over story trees required 440/30' = 14.67 **15 trees**
 Shrubs required (440/30') x 5 = 73.33 **74 shrubs**

Over story trees supplied **14 trees**
 Ornamental/Evergreen trees supplied **2 trees**
 Shrubs supplied **75 shrubs**



Paul Skidmore, Landscape Architect LLC
 Paul Skidmore, ASLA
 Landscape Architect
 13 Red Maple Trail (608) 826-0032
 Madison, WI 53717 (608) 335-1529 (c)
 paulskidmore@tds.net

3650 MILWAUKEE STREET, CITY OF MADISON
 LANDSCAPE PLAN
 PAGE: 6 OF 8
 DATED: DECEMBER 18, 2019

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

EXISTING SITE INFORMATION AND CONTOURS
OBTAINED FROM THE FOLLOWING:
1) ALTA SURVEY DATED 9/15/2018 PREPARED BY KL ENGINEERING
2) ALTA SURVEY DATED 9/05/2008 PREPARED BY AYRES ASSOCIATES.
3) SUPPLEMENTAL TOPOGRAPHIC COLLECTION ON 9/19/2019 PROVIDED BY QUAM ENGINEERING



CITY OF MADISON
LANDS

DUREN INCOME
TRUST LANDS



CITY OF MADISON
LANDS

EXISTING BUILDING
(TO REMAIN)

W CORPORATE DRIVE

EAST TRANSFER STOP
BUS TERMINAL

MILWAUKEE STREET

-  - PERVIOUS AREA:
175,846 SF
25.0%
-  - IMPERVIOUS AREA:
527,648 SF
75.0%

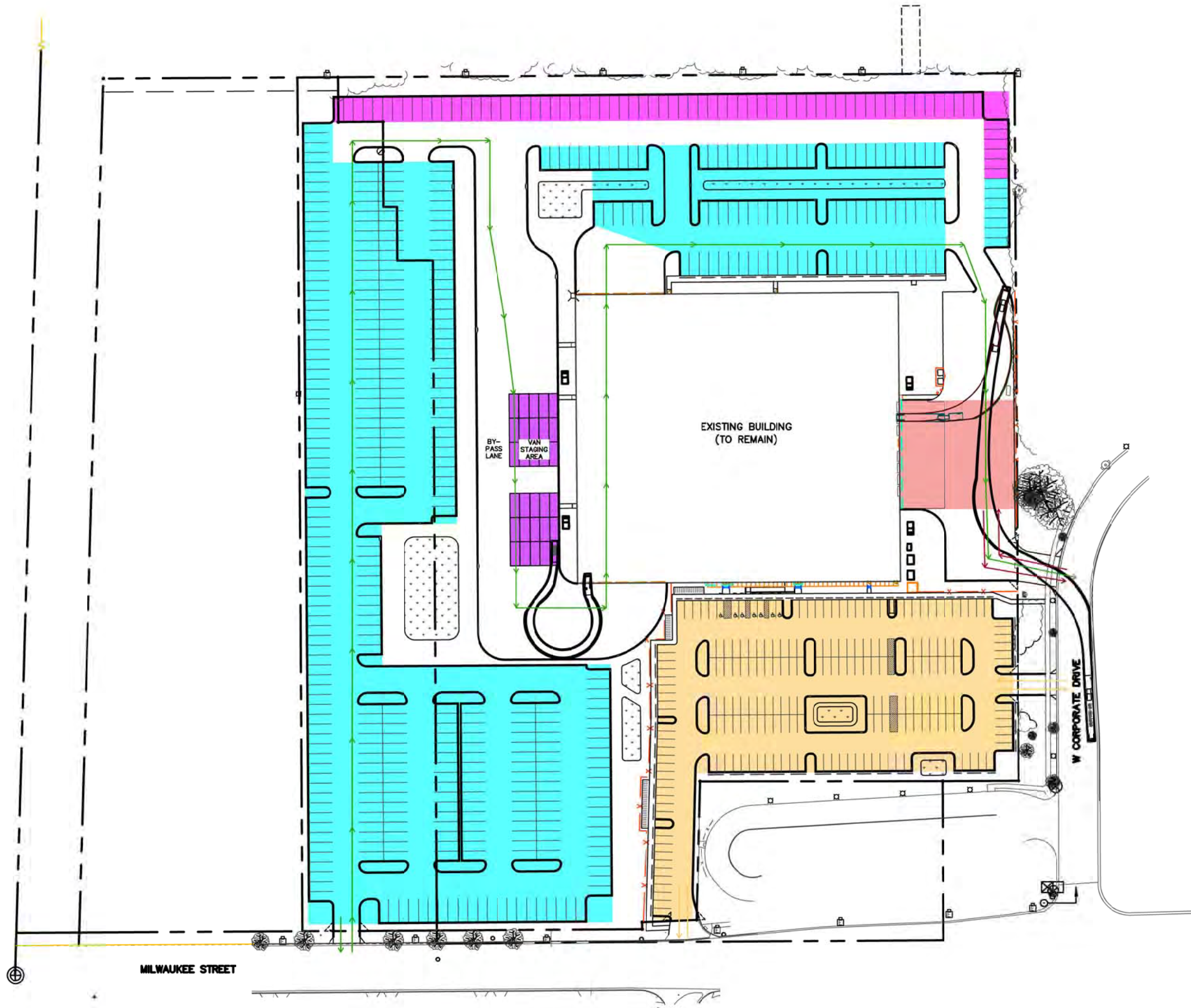
3650 MILWAUKEE STREET, CITY OF MADISON
PERVIOUS SURFACE PLAN
PAGE: 7 OF 8
DATED: DECEMBER 18, 2019



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THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

EXISTING SITE INFORMATION AND CONTOURS
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COMMERCIAL DELIVERY PLAN BREAKDOWN		
PARKING	VEHICLE TYPE	SHIFT TIMES
ASSOCIATE SPACES	PASSENGER CARS/PICK-UP TRUCKS	10:30PM-6:30AM 7:00AM-2:30PM
MANAGER/PICKUP SPACES	PASSENGER CARS/PICK-UP TRUCKS	7:30AM-12:00PM
DSP MANAGER SPACES	PASSENGER CARS/PICK-UP TRUCKS	7:30AM-12:00PM
VAN MAINTENANCE SPACES	MERCEDES BENZ 2500 SPRINTER TRUCK	7:30AM-10:00AM 12:00PM-1:30PM 4:00PM-6:30PM 8:00PM-9:30PM
VAN PARKING SPACES	MERCEDES BENZ 2500 SPRINTER TRUCK	7:30AM-10:00AM 12:00PM-1:30PM 4:00PM-6:30PM 8:00PM-9:30PM
VAN PERSONAL VEHICLE SPACES	PASSENGER CARS/PICK-UP TRUCKS	7:30AM-10:00AM 12:00PM-1:30PM 4:00PM-6:30PM 8:00PM-9:30PM
VAN STAGING	MERCEDES BENZ 2500 SPRINTER TRUCK	7:30AM-10:00AM 12:00PM-1:30PM 4:00PM-6:30PM 8:00PM-9:30PM
TRAILER/BOX TRUCK LOADING	WB-67 SEMI	9:00PM-2:00AM (6) 7:30AM-9:30AM (2)

3650 MILWAUKEE STREET, CITY OF MADISON
 COMMERCIAL DELIVERY PLAN
 PAGE: 8 OF 8
 DATED: DECEMBER 18, 2019

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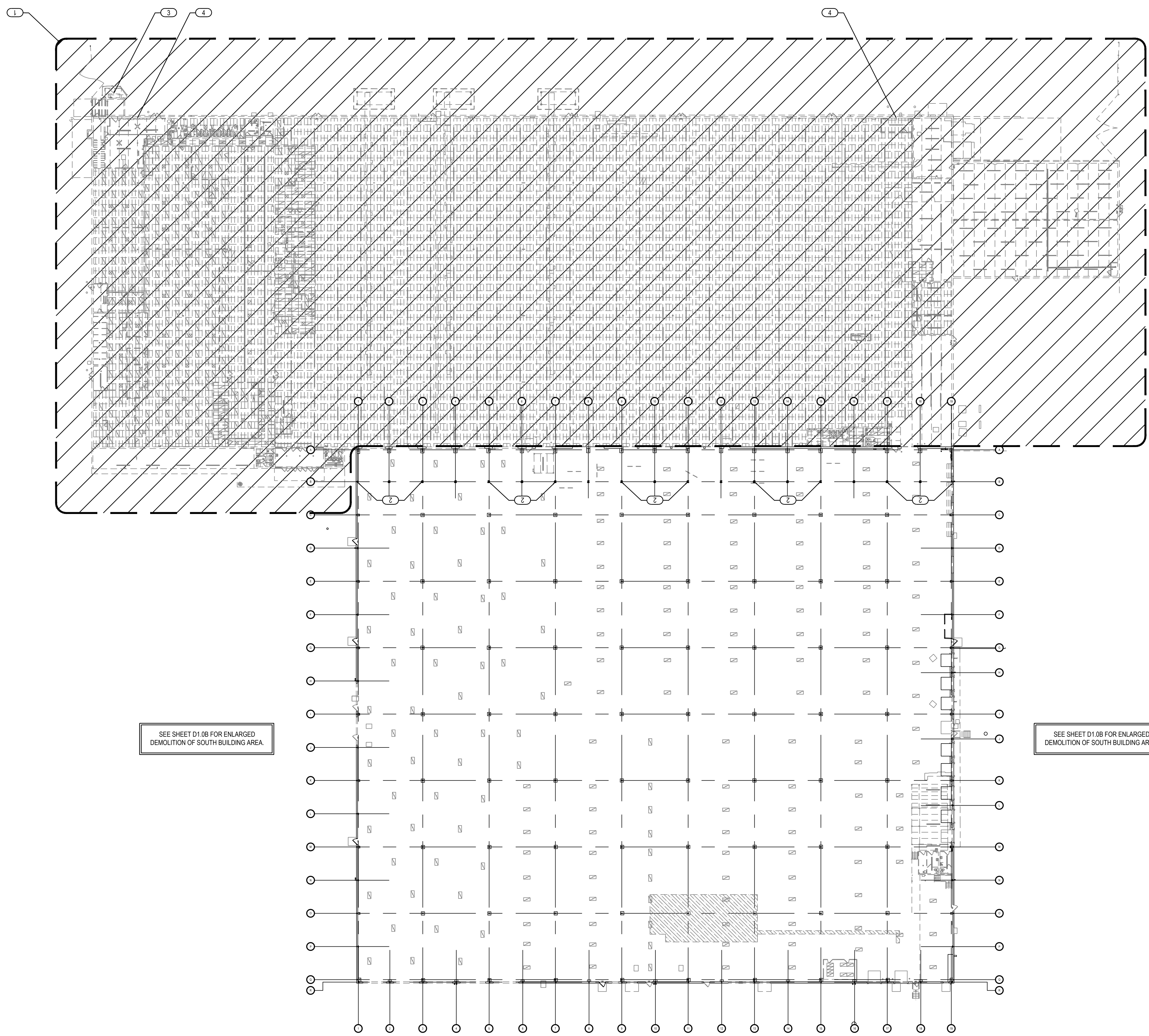
DEMOLITION KEY NOTES DENOTED BY SYMBOL: **(E)**

1. HATCHED AREA INDICATED BUILDING AREA TO BE REMOVED COMPLETELY. INCLUDED BUT NOT LIMITED TO ALL WALLS AND ASSOCIATED COMPONENTS, PLUMBING FIXTURES, CEILINGS, AND ALL STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. COORDINATE WITH CIVIL, STRUCTURAL AND MEP DRAWINGS.
2. NORTHERN BUILDING DEMOLITION NOT TO OCCUR UNTIL NEW ROW OF COLUMNS AND ASSOCIATED STRUCTURE HAS BEEN CONSTRUCTED. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION.
3. EXISTING GAS SERVICE. COORDINATE RELOCATION/EXTENSION TO NEW SERVICE ENTRANCE WITH CIVIL DRAWINGS AND UTILITY COMPANY.
4. EXISTING ELECTRICAL SERVICE. COORDINATE RELOCATION/EXTENSION TO NEW SERVICE ENTRANCE WITH CIVIL DRAWINGS AND UTILITY COMPANY. GO TO CONFIRM ALL UTILITIES, INCLUDING ELECTRIC, GAS, SANITARY, STORM AND WATER CONNECTION POINTS AND COORDINATE, AND INCLUDE ALL FEES ASSOCIATED WITH NEW SERVICES.

GENERAL DEMOLITION NOTES

- REFER TO ARCHITECTURAL SPECIFICATIONS FOR GENERAL NOTES AND REQUIREMENTS.
- PATCH AND REPAIR ALL AREAS OF DEMOLITION TO CREATE A SMOOTH AND EVEN TRANSITION TO RECEIVE NEW FINISHES.
- REMOVE ALL UNUSED EQUIPMENT, PIPING, CONDUITS, ETC. TO THE POINT OF ORIGIN. PATCH AND REPAIR AREAS AS REQUIRED. NOTHING TO BE ABANDONED WITHIN SPACE. VERIFY POSSIBLE REUSE WITH NEW EQUIPMENT PLAN PRIOR TO REMOVAL.
- NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE COMPROMISED. STRUCTURE TO BE PROPERLY SUPPORTED DURING DEMOLITION WITH SHORING DESIGN BY OTHERS. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- ALL EXISTING UTILITIES, PIPES, LINES AND CONDUITS WHICH ARE TO REMAIN SHALL BE CONCEALED WITHIN FLOORS, WALLS OR CEILINGS.

Date	Revision/Description
07.22.19	ISSUED FOR BIDDING / PERMIT
11.6.19	ADDENDUM A



SEE SHEET D1.08 FOR ENLARGED DEMOLITION OF SOUTH BUILDING AREA.

SEE SHEET D1.08 FOR ENLARGED DEMOLITION OF SOUTH BUILDING AREA.

AMAZON DELIVERY STATION - DWI4
 3650 MILWAUKEE STREET
 MADISON, WI 53714

Project No. 756898-01
 Scale AS NOTED
 Drawn
 Checked SCU
 Date 07.22.19

Drawing Title
OVERALL DEMOLITION PLAN

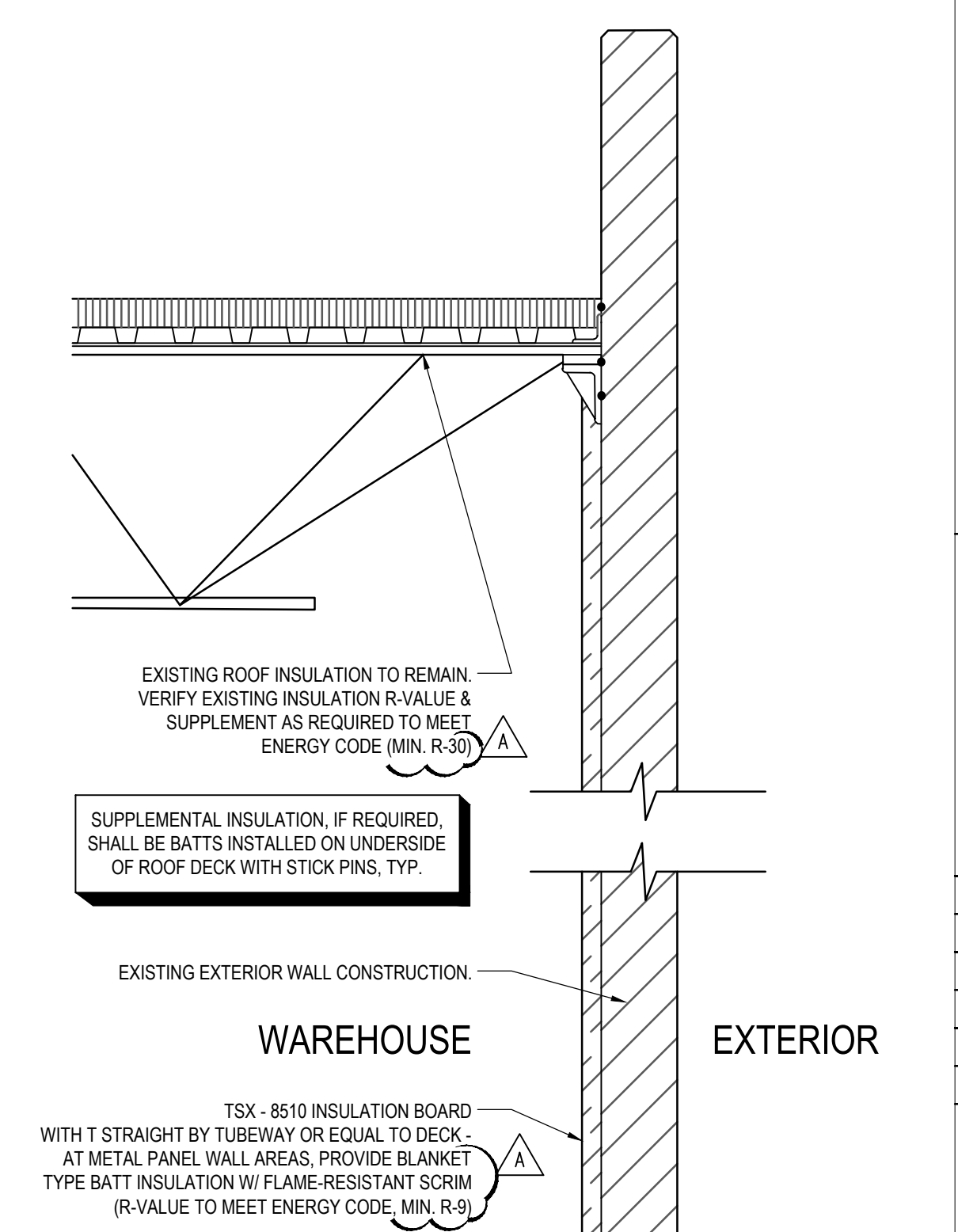
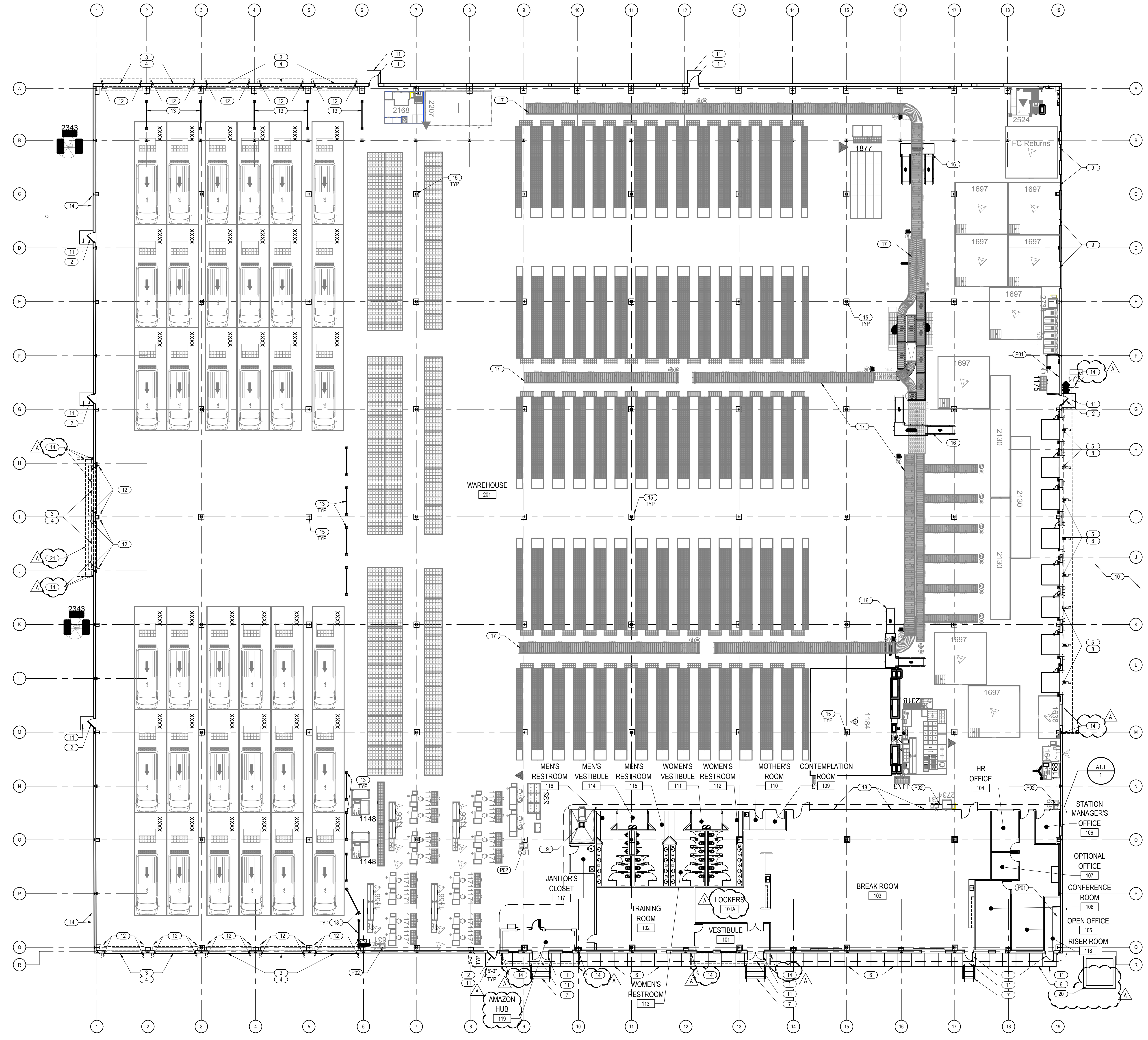
Drawing No. **D1.0A**

1 OVERALL DEMOLITION PLAN
 SCALE: 1/32" = 1'-0"
 NORTH

Date	07.22.19
Time	11:51:19
Revision/Submitted	
ISSUED FOR BIDDING / PERMIT	ADDENDUM A
No.	

- ### FLOOR PLAN KEY NOTES
1. NEW MAN DOOR. REFER TO DOOR AND HARDWARE SCHEDULES FOR DETAILS. REFER TO A1.4 FOR SIGNAGE. PAINT INTERIOR FACE OF DOOR (P-10) @ WAREHOUSE EXIT DOORS ONLY.
2. EXISTING MAN DOOR. REFER TO DOOR AND HARDWARE SCHEDULES FOR DETAILS. GC TO COORDINATE CONDITION WITH AMAZON CM TO DETERMINE IF ANY REPAIR/REPLACEMENT IS REQUIRED. REMAIN DOOR AND FRAME (INSIDE AND OUTSIDE) AS REQUIRED TO MATCH ADJACENT WALL SURFACES. REFER TO A1.4 FOR SIGNAGE. PAINT INTERIOR FACE OF DOOR (P-10) @ WAREHOUSE EXIT DOORS ONLY.
3. HIGH SPEED VERTICAL FABRIC ROLL UP DOOR INSTALLED. REFER TO MOUNTING DETAILS AND COORDINATE WITH MANUFACTURER'S SPECIFICATIONS. REFERENCE DETAILS ON A1.5.
4. DRIVE-THRU OVERHEAD COILING DOOR, INCLUDING MANUAL OPERATED OVERHEAD ROLLING DOORS, TRACK, FRAMING AND HARDWARE INSTALLED ON THE INTERIOR OF THE WAREHOUSE. REFER TO DOOR AND HARDWARE SCHEDULES FOR DETAILS.
5. NEW INBOUND VERTICAL LIFT OVERHEAD SECTIONAL DOOR, INCLUDING MANUAL OPERATED OVERHEAD ROLLING DOORS, TRACK, FRAMING AND HARDWARE. REFER TO DOOR AND HARDWARE SCHEDULES FOR DETAILS.
6. NEW CONCRETE SIDEWALK WITH CONTROL JOINTS AT 5'-0" O.C. MAX. AND EXPANSION JOINTS AT 25'-0" ON CENTER MAX. COORDINATE WITH CIVIL DRAWINGS FOR CONNECTION TO STAIRS AND ADA ACCESSIBLE RAMP.
7. CONCRETE STAIR AND STEEL HANDRAIL BY OTHERS. REFER TO CIVIL DRAWINGS.
8. LOADING DOCK DOORS TO RECEIVE SIGNAGE AND DOCK EQUIPMENT AS NECESSARY. TO INCLUDE EDGE OF DOCK LEVELER OR PIT LEVELER, TRUCK RESTRAINT DEVICE AND COMMUNICATION SYSTEM, DOCK SEAL, DOCK BUMPER, COMBINATION DOCK LIGHT AND FAN AND TRACK GUARD. REFER TO A1.2 AND A1.5 FOR DETAILS. COORDINATE WITH AMAZON CM.
9. INFILL LOCATION OF FORMER OVERHEAD DOOR OPENING WITH NEW METAL PANEL SYSTEM TO MATCH EXISTING. PROVIDE ALL SUPPORTS AND SUPPLEMENTAL FRAMING AS REQUIRED FOR SECURE ATTACHMENT. INSTALL BATT INSULATION WITH FLAME RETARDANT SCRIM AT INTERIOR SIDE TO MATCH EXISTING.
10. EXTERIOR LOADING AREA. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS.
11. NEW CONCRETE FROST SLAB IF EXISTING FROST IS NOT PRESENT. GC TO ENSURE LEVEL SURFACE WITH ADJACENT CONCRETE IF REFER. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. NEW BOLLARD. G.C. TO PAINT P-8. REFER TO DETAILS ON A1.2.
13. PRE-FABRICATED BOLT-DOWN GUARD RAIL EQUAL TO HEARTLAND ENGINEERED PRODUCTS "S4F-T-RAIL" 42" HIGH - RAIL SYSTEM. TYP. FINAL LOCATION TO BE COORDINATED WITH AMAZON CM.
14. NEW ROOF UTTER AND ANCHOR BOLTS. COORDINATE WITH UTTER FOR STORMWATER CONNECTION. GC TO VERIFY BUILDING CONSTRUCTION FOR PROPER CONNECTION AND WATER DRAINAGE.
15. EXISTING BUILDING COLUMN. PREP AND PAINT ALL COLUMNS PER COLUMN IDENTIFICATION DETAIL ON SHEET A1.4.
16. METAL STAIRWAY OVER CONVEYOR BELT SYSTEM. PROVIDED AND INSTALLED BY CONVEYOR VENDOR.
17. CONVEYOR SYSTEM BY OTHERS. TYP.
18. TIME CLOCKS (S) REQUIRED.
19. SCRUBBER DUMP HOSE BIB TO BE PROVIDED. SEE SHEET A1.2.
20. PRE-FABRICATED SMOKING SHELTER, HANDI HUT MODEL 4584-4 ON 12x12x8" CONCRETE PAD. COORDINATE FINAL LOCATION WITH CIVIL DRAWINGS.
21. SHOP FABRICATED ALUMINUM FRAME MANSARD DOOR AWNING WITH STANDING SEAM ROOF PANELS, COMPLETE WITH TOP FLASHING (BY GENERAL AWNINGS OR APPROVED EQUAL). GALVALUME FINISH - COLOR: "SLATE GRAY". FABRICATOR TO SUBMIT SHOP DRAWINGS FOR REVIEW/APPROVAL, INCLUDING RECOMMENDED METALS BASED UPON FIELD CONDITIONS. GC TO COORDINATE WITH MANUFACTURER AND DETERMINE IF SUPPLEMENTAL STRUCTURAL SUPPORTS ARE REQUIRED. CONTACT ARCHITECT OF RECORD IF ADDITIONAL FRAMING IS REQUIRED.
- P01. EXISTING FIRE RISER TO REMAIN. SPRINKLER SYSTEM TO BE MODIFIED, AS REQUIRED, TO COMPLY WITH AMAZON DESIGN CRITERIA.
- P02. NEW WATER COOLER TO BE PROVIDED/INSTALLED BY G.C. REFER TO PLUMBING DRAWINGS.

- ### GENERAL NOTES
1. SEE SHEET A1.5 FOR DOOR DESIGNATIONS AND INFORMATION.
2. REFER TO ARCHITECTURAL SPECIFICATIONS FOR GENERAL NOTES AND REQUIREMENTS.
3. FIELD VERIFY ALL DIMENSIONS AND ADVISE ARCHITECT OF ANY DISCREPANCIES.
4. DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
5. GYPSUM WALLBOARD:
- A. WORK SHALL COMPLY WITH ASTM C840 STANDARD SPECIFICATION FOR APPLICATION AND FINISHING OF GYPSUM BOARD.
 - B. GYPSUM WALLBOARD TO RECEIVE FINISHES SHALL BE TAPED, AND FINISHED WITH 3 COATS OF JOINT COMPOUND LEVEL 4 FINISHES PER ASTM C840. SURFACE SHALL BE SMOOTH AND READY TO RECEIVE FINISH MATERIAL. PROVIDE MOISTURE RESISTANT GWR IN RESTROOM WET WALLS AND AT SINK COUNTERS IF REQUIRED.
 - C. GYPSUM WALLBOARD NOT TO RECEIVE FINISHES SHALL BE FINISHED TO LEVEL 2 FINISH PER ASTM C840.
 - D. WATER RESISTANT GYP. BD. TO BE 5/8" DENS-ARMOR PLUS OR EQUAL COMPLYING WITH ASTM C1178, C1288, OR C1325. PROVIDE AT PARTITIONS ADJACENT TO PLUMBING FIXTURES.
 - E. ALL GYPSUM BOARDS TO BE 5/8" THICK UNLESS NOTED OTHERWISE. PROVIDE TYPE 'X' GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
 - F. CONTROL JOINTS SHALL BE INSTALLED WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 FEET. SPACE JOINTS 30 FT. O.C. MAX. WHERE NEW PARTITIONS ARE TO ALIGN TO EXISTING, ALIGN FROM FINISH FACE OF BOTH. IF PARTITIONS ARE TO ATTACH, MAKE TRANSITION SMOOTH SO AS TO OFFER NO INDICATION OF ATTACHMENT.
 - G. ALL BOTTOM TRACK RUNNERS TO BE HELD IN PLACE WITH FASTENERS AT 2'-0" O.C. MAX. WITH HILTI POWER DRIVER - SEE PARTITION TYPE A.
 - H. METAL STUD NON-STRUCTURAL WALL SYSTEMS TO FOLLOW ASTM C754 AND ASTM 645.
 - I. FIRE STOPPING REQUIREMENTS: ALL PENETRATIONS WITHIN NON-PENETRATED WALLS AND PARTITIONS SHALL BE TIGHTLY SEALED USING APPROVED LISTED MATERIAL & SYSTEMS COMPLYING WITH ASTM E 814 OR UL-1479 (AS PER CODE). SEALANT MEETING THESE REQUIREMENTS TO BE FLAME STOP OR APPROVED EQUAL.
 - J. PROVIDE COMPRESSIBLE FIRE STOPPING MATERIAL AND FIRE STOPPING SEALANT AT ALL PENETRATIONS OF FIRE RATED PARTITIONS.
 - K. INSULATING MATERIALS, WHEN INSTALLED IN BUILDINGS OF ANY TYPE CONSTRUCTION SHALL COMPLY WITH LOCAL JURISDICTION CODE. MINIMUM R-VALUES: WALLS R-5 @ ROOF R-30.
 - L. ALL PLYWOOD BLOCKING TO BE FIRE RETARDANT TREATED.
 - M. VERIFY CONDITION OF EXISTING SLAB. GRIND AND SEAL EXISTING SLAB AS REQUIRED FOR SMOOTH FINISH (I.E. UNLEVEL CONDITIONS, HOLES, SPALLING, ETC.).
 - N. PROVIDE NEW WINDOW TREATMENTS IN WAREHOUSE AND SUPPORT AREAS. EXTERIOR WINDOWS TO RECEIVE WINDOW FILM AND INTERIOR WINDOWS RECEIVE BLINDS. REFER TO FINISH SCHEDULE.



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"

2 WAREHOUSE INSULATION DETAIL
SCALE: 3/4" = 1'-0"

AMAZON DELIVERY STATION - DW14
3650 MILWAUKEE STREET
MADISON, WI 53714

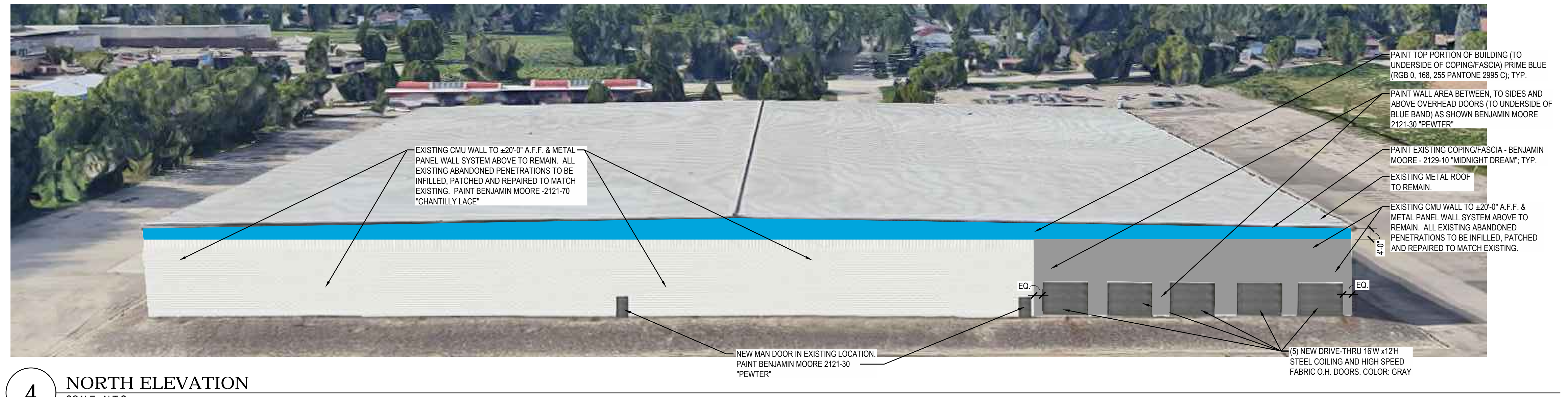


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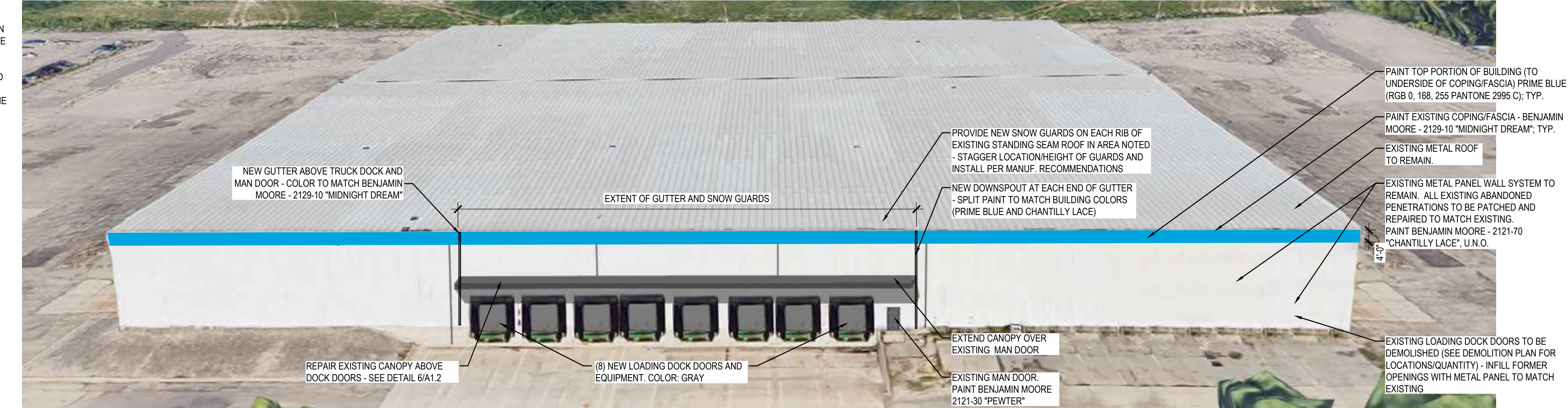
FLOOR PLAN

Drawing No. A1.0

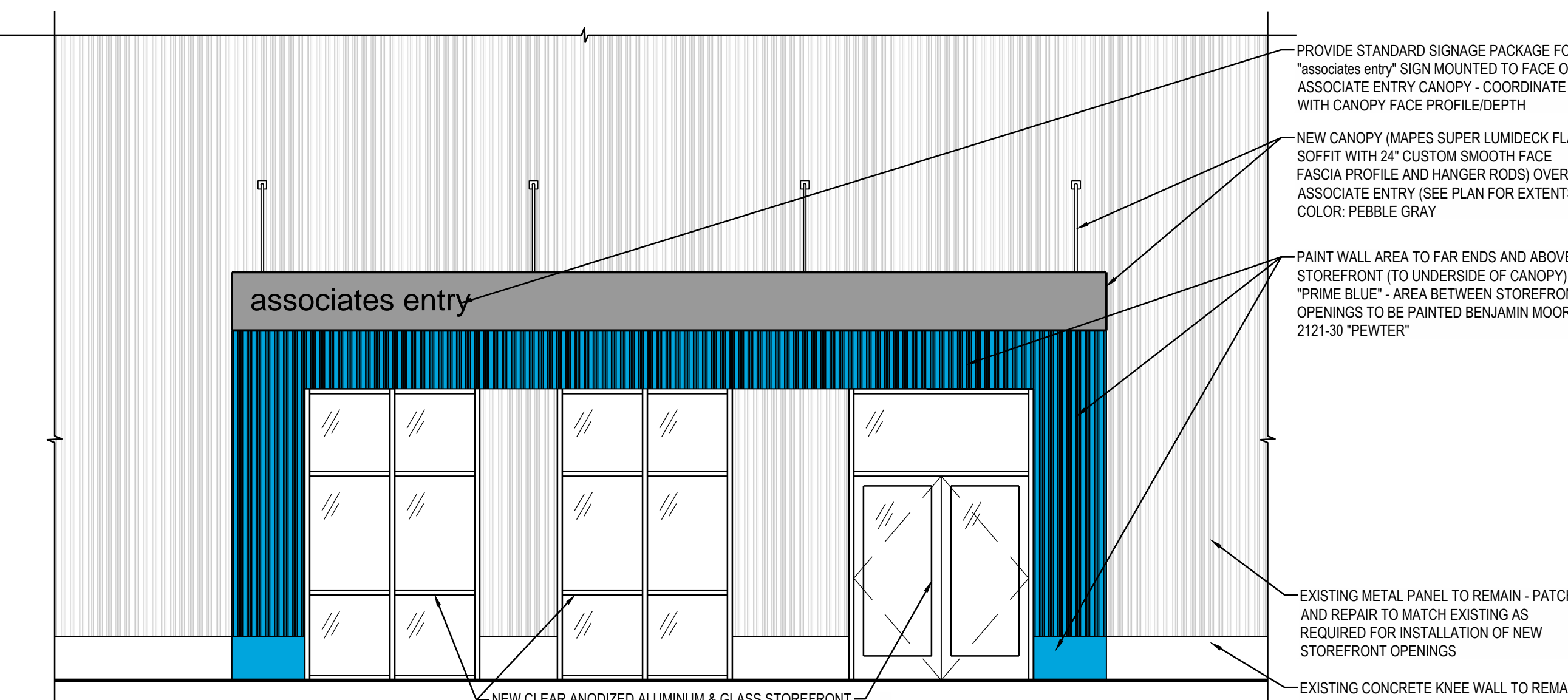
Date	07/22/19
Revision/Description	116.19
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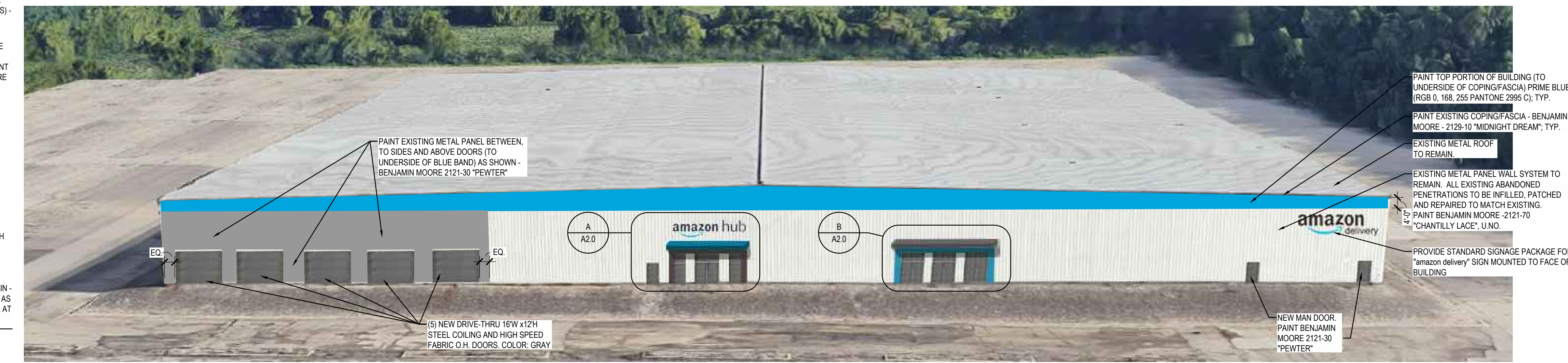
4 NORTH ELEVATION
SCALE: N.T.S.



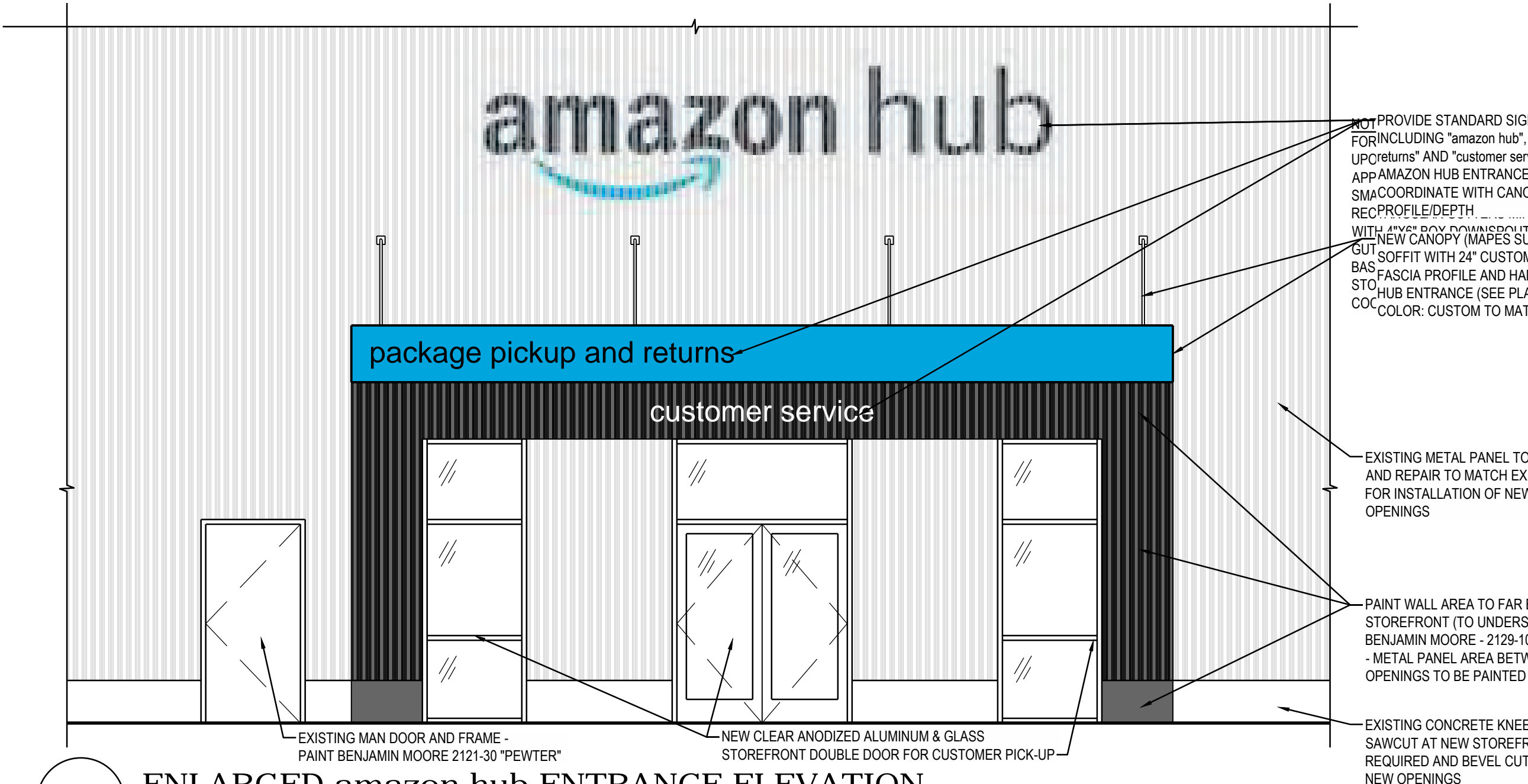
3 EAST ELEVATION
SCALE: N.T.S.



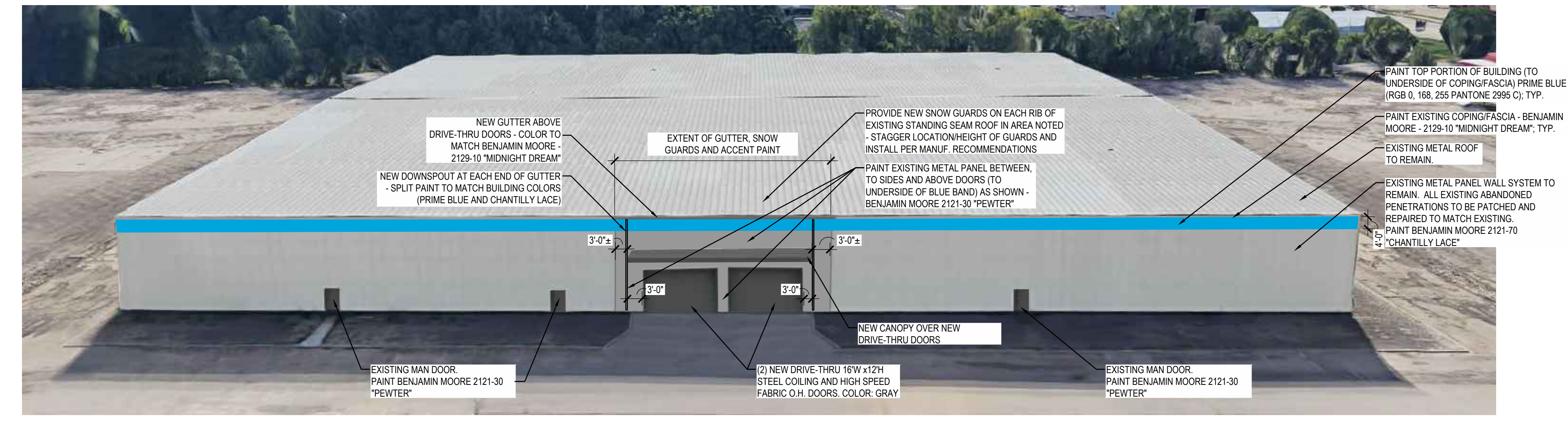
B ENLARGED associates entry ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: N.T.S.



A ENLARGED amazon hub ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: N.T.S.

NOTE:
• SITE SCOPE SHOWN IS NOT REPRESENTATIVE OF FULL SCOPE OF CIVIL WORK REQUIRED. REFER TO CIVIL DOCUMENTS FOR SCOPE OF SITE WORK TO BE DONE.

AMAZON DELIVERY STATION - DW14
3650 MILWAUKEE STREET
MADISON, WI 53714



Project No. 756898-01
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Drawing Title
EXTERIOR ELEVATIONS
SHEET ADDED
Drawing No. A2.0