

A1 LOCATION MAP



RENOVATION PLATO'S MADISON, WI

3841 E WASHINGTON AVE, MADISON, WI 53714

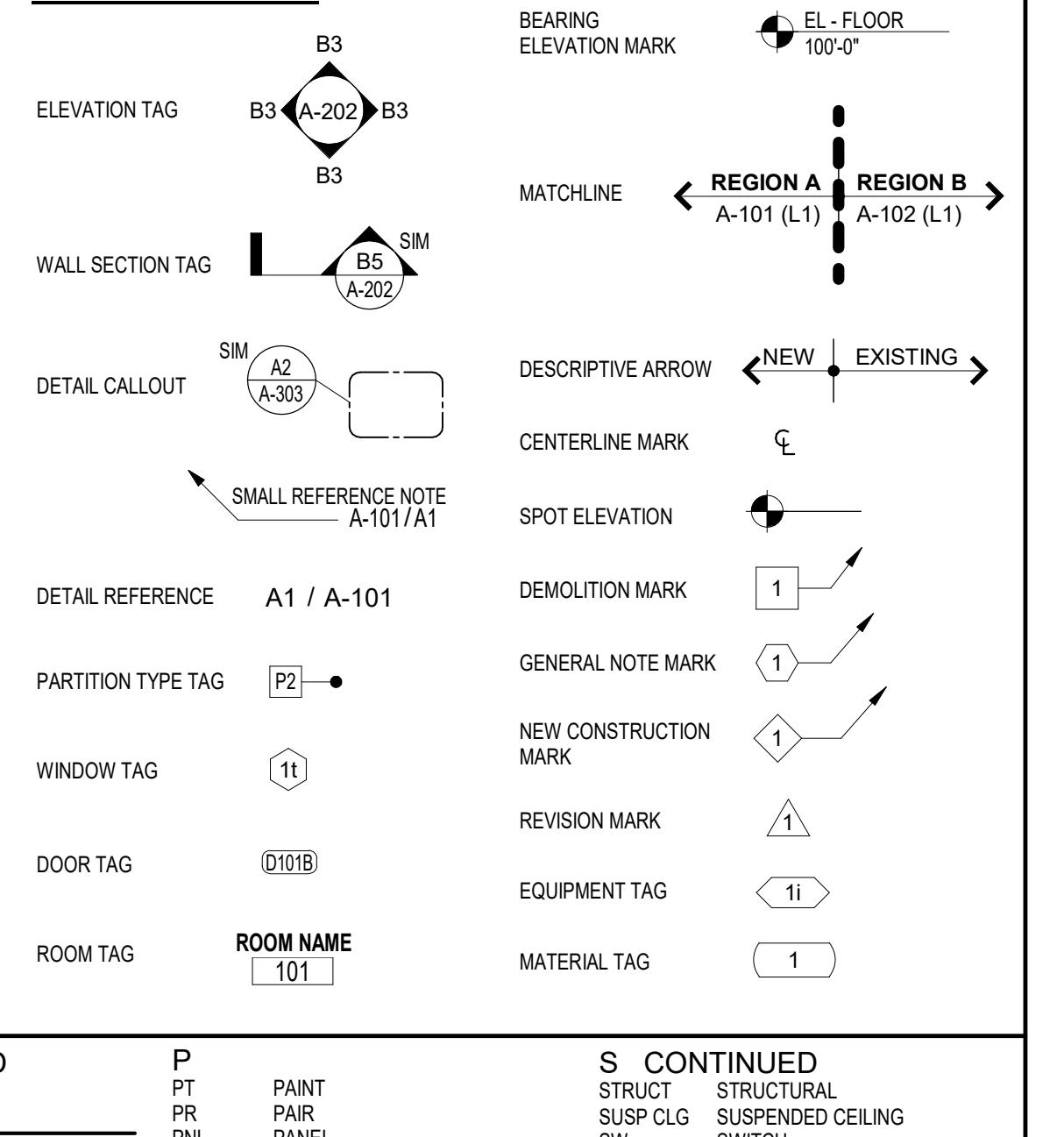
MATERIAL LEGEND

ACOUSTIC TILE (SECTION)	RIGID INSULATION
BATT INSULATION	SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT, TILE (LARGE SCALE)
BRICK	WOOD BLOCKING
CARPET	WOOD MEMBER (CONTINUOUS)
CONCRETE	WOOD STUDS, PARALAM, FINISHED
CONCRETE MASONRY UNITS	ELEVATION
CONCRETE, PLASTER CUT STONE, STUCCO	BRICK
EARTH COMPACTED/ DISTURBED	GLASS
METAL	WOOD
METAL STUDS	
PLYWOOD (LARGE SIZE)	

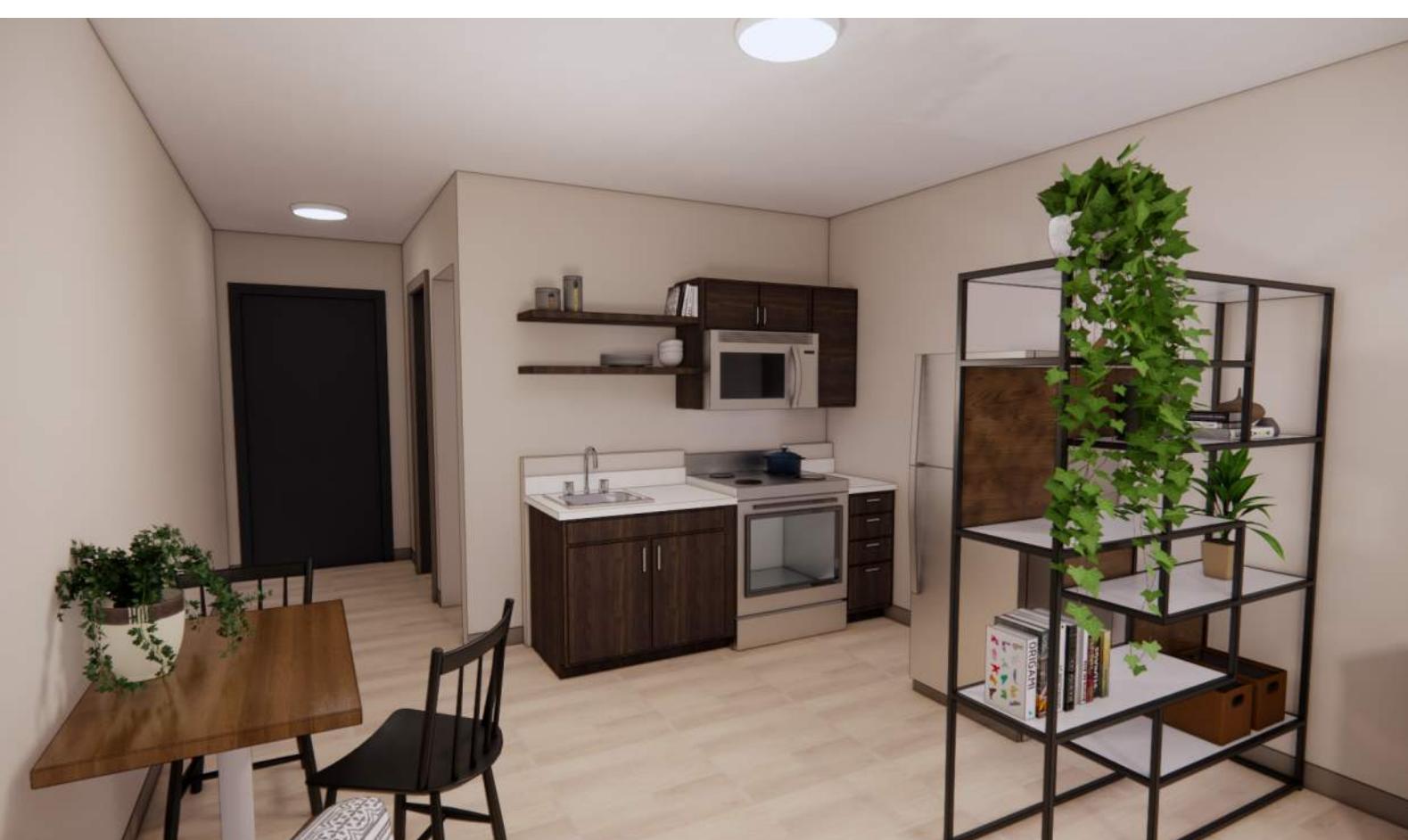
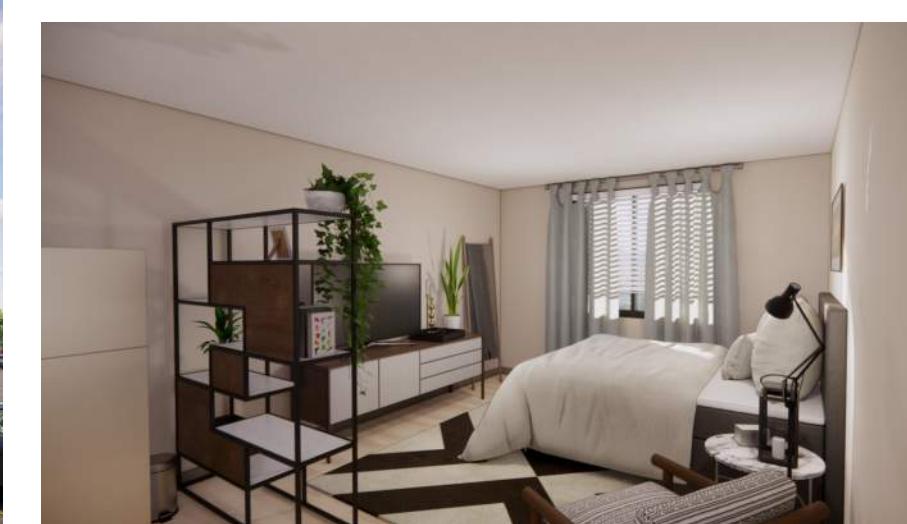
ABBREVIATIONS

A	D	H	P	S
AFF	CONTINUED	CONTINUED	PT	CONTINUED
ACF	DISHWASHER	HOT WATER	PR	STRUCT
ACS PNL	DR	HYD	PNL	STRUCTURAL
ACC	DOUBLE	HYDRANT	PTD	SUSP CLG
ACT	DOWN		PBD	SUSPENDED CEILING
ACOUS PNL	DOWNSPOUT		PTN	SWITCH
ADMIN	DRAWING		PERF	
APC	DRINKING FOUNTAIN		PERIM	
CEILING	EA	EACH	PLAS	
AWT	EA	EACH WAY	PERP	
ACOUSTICAL WALL	EW	EASEMENT	PLAM	
TREATMENT	ESMT	EAST	PLYWOOD	
ADJ	ELEV	ELECTRIC, ELECTRICAL	PVC	
ADJUSTABLE	ELEVATOR	EL	POLYVINYL CHLORIDE	
AHU	EQUIPMENT	ELEVATOR	LB	
AIR HANDLING UNIT	EQUIPMENT	LAB	POUNDS PER CUBIC FOOT	
ALT	EXHAUST FAN	LAMINATE	PLF	
ALTERNATE	EXISTING	LAU	POUNDS PER LINEAR FOOT	
ALUM	EXPANSION	LAV	PSF	
ALUMINUM	EXPANSION JOINT	LWC	POUNDS PER SQUARE INCH	
AB	EXTERIOR	LWC	PREFAB	
ANCHOR BOLT	EXTERIOR INSULATION & FINISH SYSTEM	MASONRY	PREFINISH	
L	EXT	LINEAR FOOT	PROJ	
ANGLE	FF	LL	PROPERTY LINE	
ANOD	FIN	LLH	QT	
ANODIZE / ANODIZED	FF EL	LONG LEG HORIZONTAL	QUARRY TILE	
APPROX	FE	LLV	REF	
APPROXIMATE	FE FIRE EXTINGUISHER CABINET	LONG LEG VERTICAL	REFERENCE, REFRIGERATOR	
ARCH	FIXT	M	RCP	
ARCHITECTURAL	FLASH	Maint	REFLECTED CEILING PLAN	
ASPH	FLASHING	MH	REINFOR	
ASPHALT	FO	MANHOLE	REQD	
B	FO	MANUFACTURED	RESTD	
BSMT	FGL	MFR	REST	
BASEMENT	FIN	MANUFACTURER	RESTROOM	
BEAM	FINISH	MFG	REV	
BRG	FINISH	MO	RISER, RADIUS, RANGE	
BEARING	FF EL	MASONRY OPENING	RD	
BRG PL	FACE BRICK	MBR	ROOF DRAIN	
BEARING PLATE	FACE OF FINISH	MASTER BEDROOM	RFG	
BR	FGL	MATERIAL	ROOM	
BELOW	FINISH	MAX	ROUGH OPENING	
BTWN	FF EL	MECH	ROUGH SAWN	
BETWEEN	FINISH FLOOR ELEVATION	METAL	RS	
BITUM	FE	MICROWAVE	W	
BOARD	FE FIRE EXTINGUISHER	MIN	WC	
BOTH	EXTINGUISHER CABINET	MISC	WCST	
BS	FIXTURE	MR	WC	
BOTH SIDES	FLASHING	MOUNTED	WC	
BW	FLASH	MULL	WC	
BOTH WAYS	FLASHING	N	WAINSCOT	
BOT	FO	NOM	WALL COVERING,	
BOTTOM	FLOOR CLEANOUT	NIC	WATER CLOSET	
BRKT	FO	NOT IN CONTRACT	WATER HEATER	
BRACKET	FLOOR DRAIN	NTS	WATERPROOFING	
BLDG	FLUOR	NOT TO SCALE	WORKING POINT	
BUILDING	FLUORESCENT	O	WT	
BUR	FLL	OFFICE	WWF	
BUILT-UP ROOFING	FOOT	ON CENTER	WELDED WIRE FABRIC	
C	FT	OPENING	W	
CAB	FTG	OPPOSITE	WEST, WIDE	
CABINET	FTG	OD	WINDOW	
CUH	FOOT	OUTSIDE DIAMETER	WDW	
CABINET UNIT HEATER	FTG	OUT TO OUT	WIRED GLASS	
CPT	FTG	OVERALL	WGL	
CARPET	FTDNT	OVERLAP	W/	
CAST-IN-PLACE	FRAME	OD	WITHOUT	
CS	FA	OVERLAP	WOOD	
CAST STONE	FURNACE	OVERFLOW ROOF DRAIN	W/	
CLG	FURN	OVERHANG	W/	
CEMENT	FURG	OWNER FURNISHED/ CONTRACTOR INSTALLED	W/	
CTR	FS	OWNER FURNISHED/ OWNER INSTALLED	W/	
CL	FULL SIZE	OWNER INSTALLED	W/	
C TO C	G	OFFICE	STL JST	
CERAMIC TILE	GA	ON CENTER	STOR	
CH BD	Gauge	OPENING	STORAGE	
CHALKBOARD	GALV STL	OPPOSITE	STREET	
C	GENERAL CONTRACTOR	OD	STREET	
CHANNEL	GC	OUTSIDE DIAMETER	ST	
CLR	GL	OUT TO OUT	ST	
CLO	GRAB BAR	SQ IN	ST	
CLOSET	GRAB BAR	SQ YD	ST	
COL	GYP BD	SQUARE INCH	ST	
COLUMN	GYPUM BOARD	SQUARE YARD	ST	
CONC	H	STAINLESS STEEL	ST	
CONCRETE	HCP	STANDARD	ST	
CMU	HARDWARE	STEEL JOIST	ST	
CONCRETE MASONRY UNIT	HEATING, VENTILATION & AIR CONDITIONING	OWNER FURNISHED/ OWNER INSTALLED	STOR	
CJ	HVAC	OVERLAP	STORAGE	
CONSTRUCTION JOINT, CONTROL JOINT	HT	OVERLAP	STORM DRAIN	
D	H	OVERLAP	STREET	
DL	HIGH	OVERLAP	ST	
DEMO	HIGHWAY	OF/C	ST	
DEMOLITION	HOLLOW METAL	OWNER FURNISHED/ OWNER INSTALLED	ST	
DEPT	HORIZONTAL	OWNER INSTALLED	ST	
DET	HP	OWNER INSTALLED	STREET	
DIAG	HORESEPOWER	ST		
DIAGONAL		ST		
DIA		ST		
DIA		ST		
DIM		ST		
DIMENSION		ST		

GRAPHIC SYMBOLS



Plato's



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PHONE: 918-742-1463

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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
COVER SHEET

PROJECT NUMBER
0210377

SHEET NUMBER
G-001

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suite 200
phone: 405.231.3105

NOT FOR
CONSTRUCTION
DATE: 07/15/2022

UNIT MIX LEGEND

STUDIO

FIRST FLOOR: 90 UNITS
SECOND FLOOR: 90 UNITS

ONE BEDROOM

FIRST FLOOR: 5 UNITS
SECOND FLOOR: 5 UNITS

190 TOTAL UNITS

STAIR / ELEVATOR

FIRST FLOOR: 1,822 SF
SECOND FLOOR: 3,066 SF

AMENITY / PUBLIC SPACE

FIRST FLOOR: 16,162 SF
SECOND FLOOR: 8,096 SF

OFFICE SPACE

FIRST FLOOR: 955 SF
SECOND FLOOR: 0 SF

PUBLIC RESTROOMS

FIRST FLOOR: 525 SF
SECOND FLOOR: 314 SF

MECHANICAL / STORAGE

FIRST FLOOR: 1,935 SF
SECOND FLOOR: 2,780 SF

UNIT TYPES AND QUANTITIES

FIRST FLOOR	
STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

SECOND FLOOR	
STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 FIRST FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"

0 8' 16' 32' N



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SHEET TITLE
FIRST FLOOR UNIT MIX PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
Z-101



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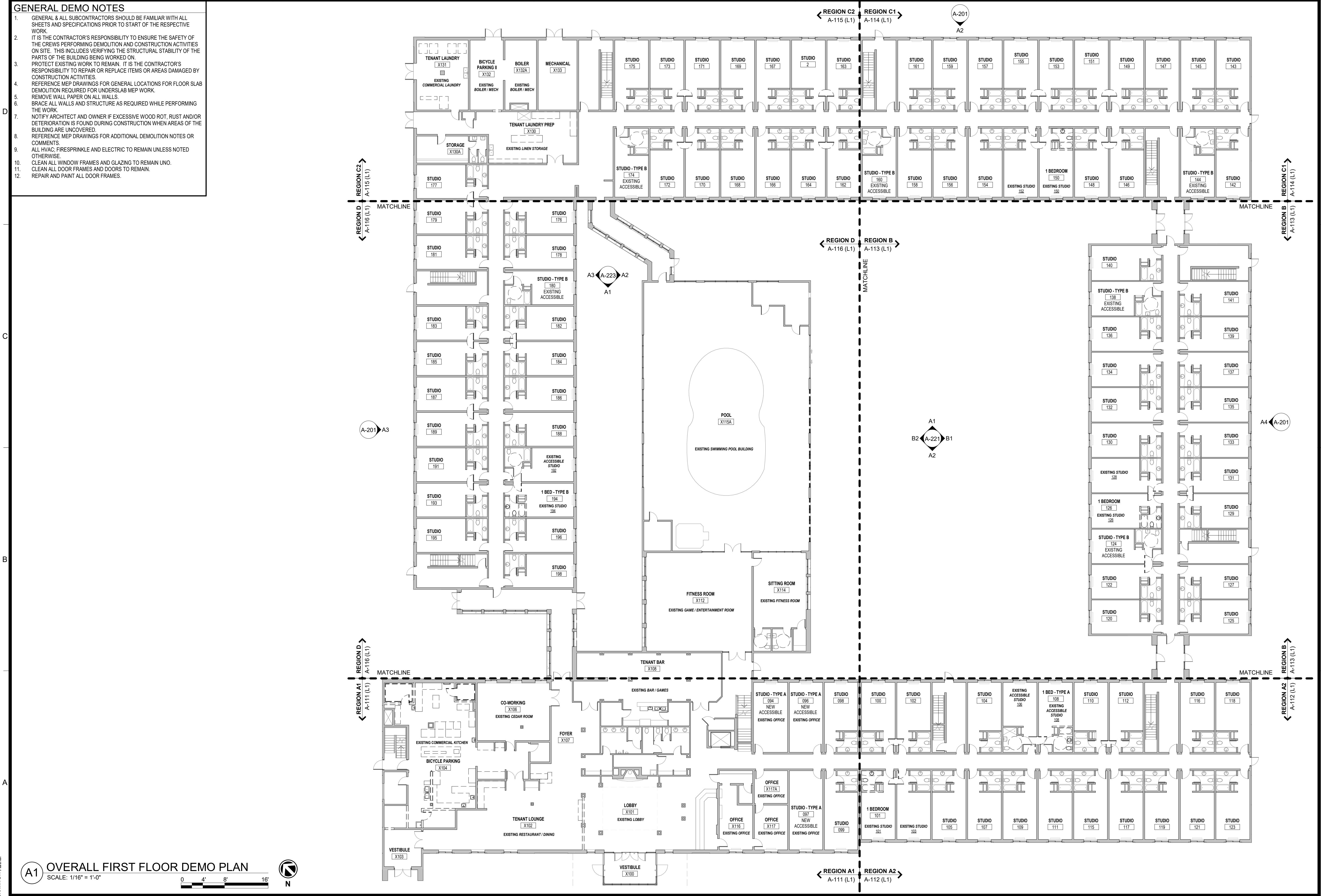
UNIT TOTAL: 190

A1 SECOND FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"

0 8' 16' 32' N





RENOVATION PLATO'S MADISON, WI

SUBMISSION DATES
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SHEET TITLE
DEMO PLAN - OVERALL
FIRST FLOOR

PROJECT NUMBER
0210377

SHEET NUMBER
D-101

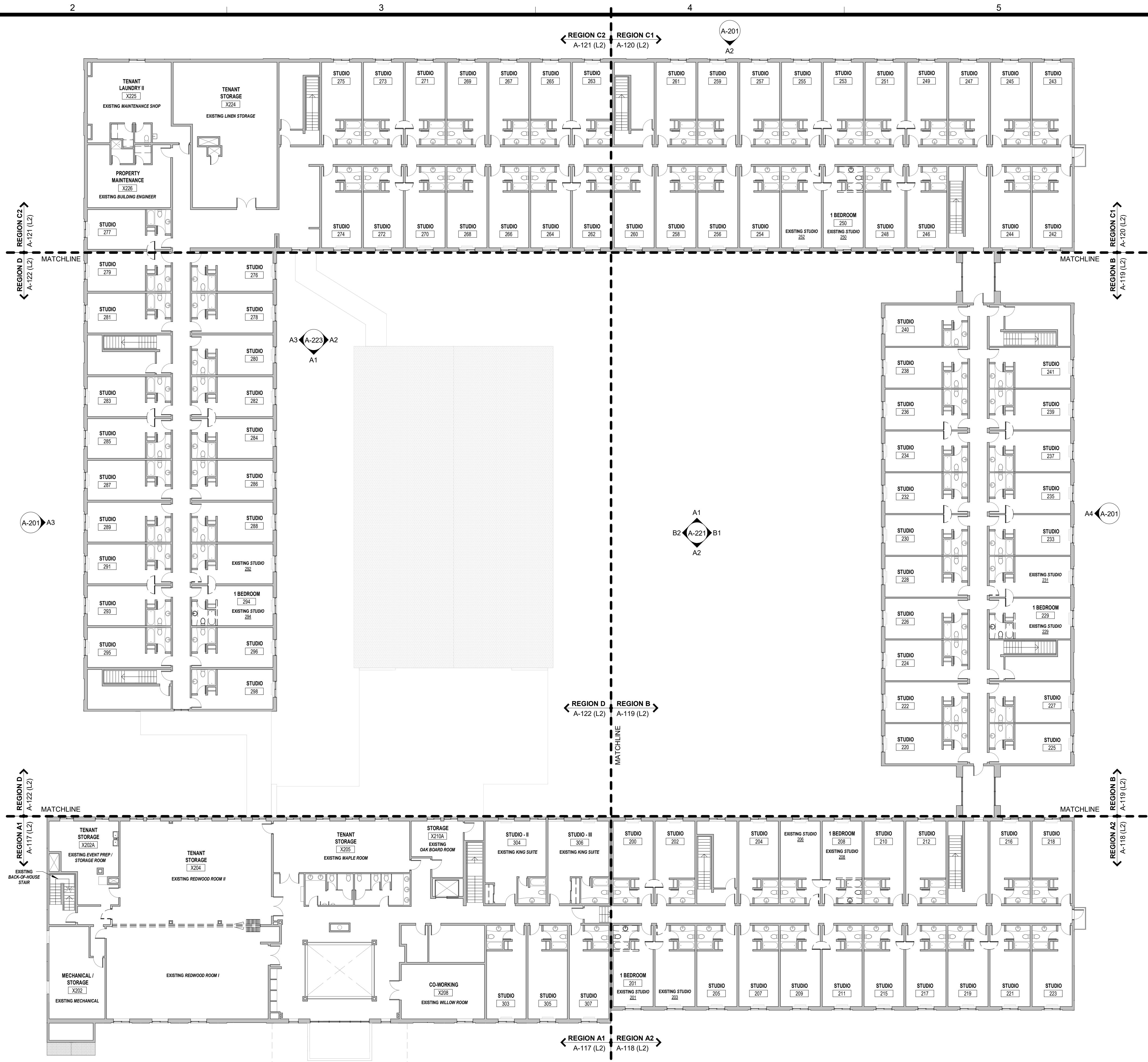


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GENERAL DEMO NOTES

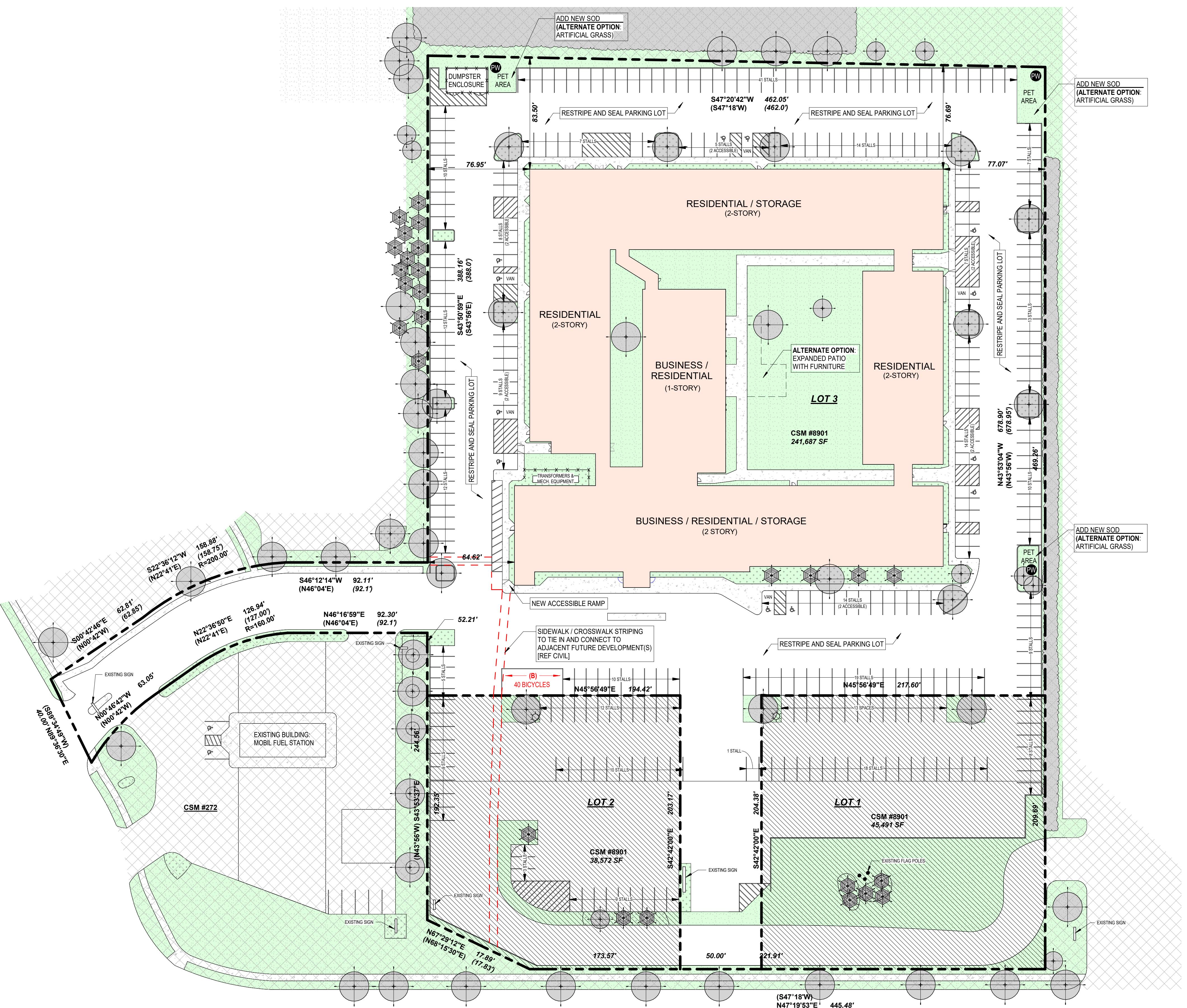
- GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
- PROTECT EXISTING WORK TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ITEMS OR AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
- REFERENCE MEP DRAWINGS FOR GENERAL LOCATIONS FOR FLOOR SLAB DEMOLITION REQUIRED FOR UNDERSLAB MEP WORK.
- REMOVE WALL PAPER ON ALL WALLS.
- BRACE ALL WALLS AND STRUCTURE AS REQUIRED WHILE PERFORMING THE WORK.
- NOTIFY ARCHITECT AND OWNER IF EXCESSIVE WOOD ROT, RUST AND/OR DEGRADATION IS FOUND DURING CONSTRUCTION WHEN AREAS OF THE BUILDING ARE UNCOVERED.
- REFERENCE MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES OR COMMENTS.
- ALL HVAC, FIRESPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
- CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNO.
- CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
- REPAIR AND PAINT ALL DOOR FRAMES.



A1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'-0"

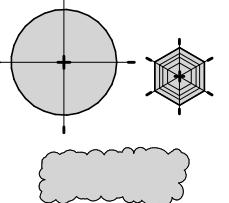
0 20' 40' 80'



ARCHITECTURAL SITE PLAN

LANDSCAPING

EXISTING TREE /
TREE LINE



SITE / SURVEY

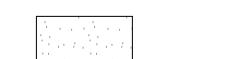
EXISTING BUILDING



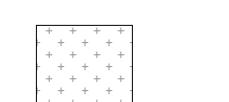
LANDSCAPING



GRASS / LAWN / SOD



PLANTING MULCH / ROCKS /
EXISTING SOIL / DIRT



SIDEWALK / CONCRETE



POTENTIAL FUTURE REAL
ESTATE DEVELOPMENT



OUT OF SCOPE



FUTURE SIDEWALK /
CROSSWALK / NEW STRIPING



GUEST BICYCLE RACK



ACCESSIBLE PARKING SPOT



PROPERTY LINE



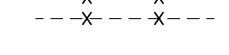
CURB / BOUNDARY



PROPERTY LINE LOCATION &
LENGTH (RECORDED)



CHAIN LINK / WOOD FENCE



LIGHT POLE / FLOOD LIGHT



PET WASTE DISPOSAL STATION



DATA

EXISTING BUILDING

- RESIDENTIAL - 197 GUEST ROOMS
- MEETING ROOMS
- FITNESS ROOM
- GAME ROOM
- INDOOR POOL
- KITCHEN
- BAR

RENOVATION

- RESIDENTIAL:
 - CO-WORKING
 - BICYCLE STORAGE
 - TENANT STORAGE
 - LOUNGES
 - FITNESS
 - RECREATION

STUDIOS

1-BEDROOMS

TOTAL:

180

10

190

LOT 3 AREA: +/-241,687 SF

10% SITE IMPROVEMENT
ALLOWANCE: +/-24,168 SF

PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.141(3) & TABLE 28I-2 FOR LOCAL PARKING REQUIREMENTS. CURRENTLY ZONED AS CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL).

EXISTING QTY

OVERALL

LOT 3

331 STALLS

239 STALLS

NEW QTY

OVERALL

LOT 3

320 STALLS

228 STALLS

REQUIRED

LOT 3

0 STALLS

PROVIDED

LOT 3 (TOTAL)

228 STALLS [COMPLIANT]

ACCESSIBLE PARKING

REQUIRED -

IBC 1106.2 (2%)

VAN - IBC 1106.5

5 STALLS

1 STALL

PROVIDED:

COMBINED:

12 STALLS TOTAL [COMPLIANT]

5 STALLS [COMPLIANT]

BICYCLE PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.141(11) & TABLE 28I-3 FOR BICYCLE PARKING REQUIREMENTS.

REQUIRED

TENANT (1 PER UNIT):

GUEST (1 PER 10 UNITS):

ENCLOSED (MIN 90%)

UN-ENCLOSED

190 STALLS

19 STALLS (MAX 100'-0" FROM ENTRANCE)

189 STALLS

20 STALLS

PROVIDED

TENANT:

GUEST:

194 ENCLOSED STALLS [COMPLIANT]

40 UN-ENCLOSED STALLS (WITHIN 100'-0" OF ENTRANCE) [COMPLIANT]

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ARCHITECTURAL SITE
PLAN

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NOT FOR
CONSTRUCTION
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1

2

3

4

5

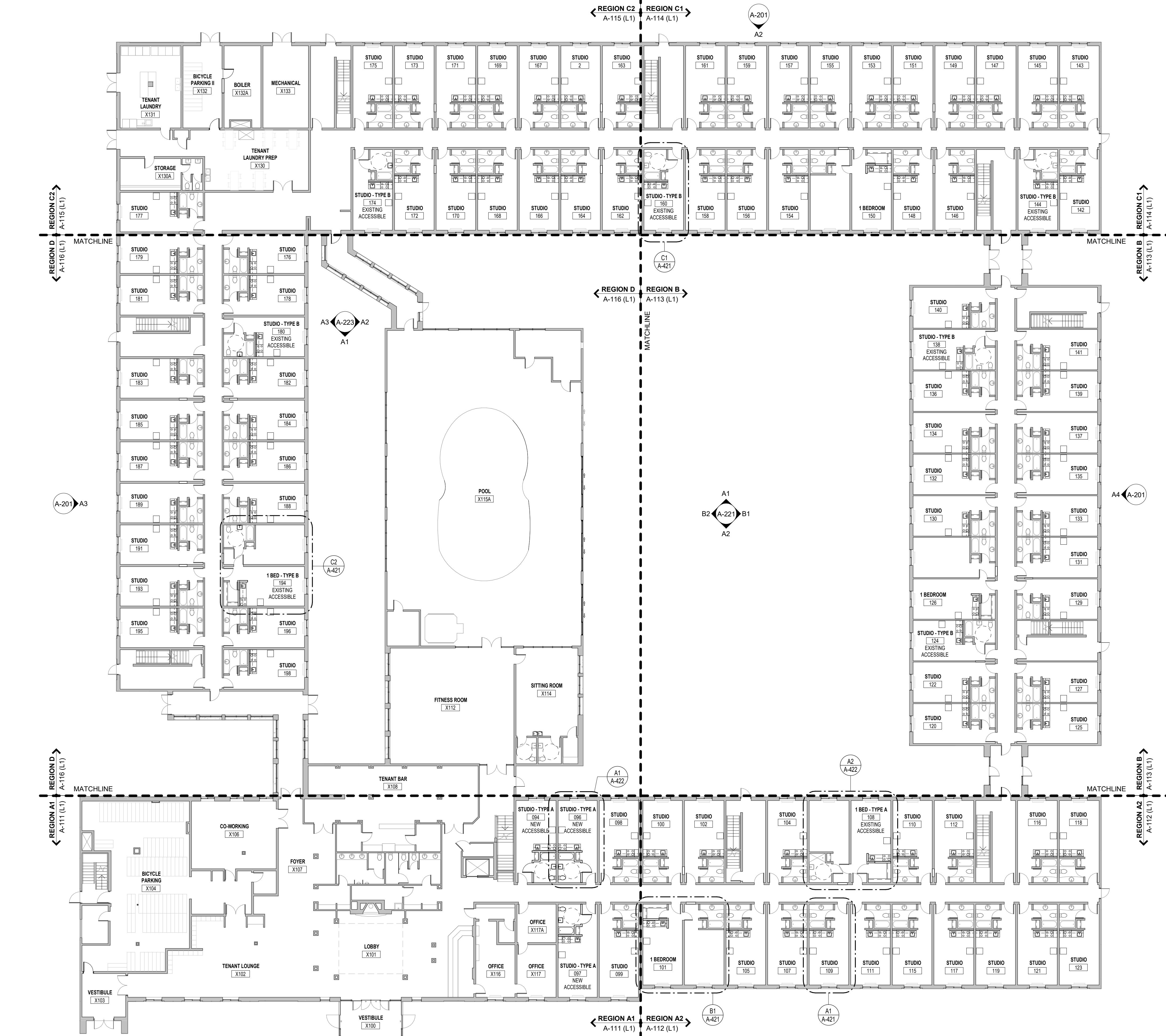
GENERAL PLAN NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK EQUIPMENT AND LABOR PERSONNEL.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
- THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION, ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
- ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION, ANY NEW FURNITURE IS OWNER PROVIDED. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
- ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
- PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES. EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS, DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT. REPLACE DAMAGED ACOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
- PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
- ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
- ALL EXISTING PLUMBING IS TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS (REF DEMO PLANS FOR THE PLUMBING FIXTURES TO BE REMOVED).
- GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF B1 / A-422 FOR TYPICAL ACCESSIBILITY STANDARDS).
- ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-70 FOR FINISH SCHEDULE).
- REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPPS.
- ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
- ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 1/3").
- ALL EXISTING STORAGE / ELECTRICAL / MECHANICAL CLOSETS ARE TO REMAIN AS IS UNCHANGED.
- ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 10 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI A117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
- PREPARE NEW PET AREAS AND PLACE DOWN NEW SOD IF NECESSARY. INSTALL NEW PET WASTE DISPOSAL STATIONS (REF A-001 FOR LOCATIONS).
- CAMERAS TO REMAIN AS IS. PROTECT / COVER CAMERAS DURING PAINTING AND ANY DEMOLITION OR NEW CONSTRUCTION.
- REVIEW ANY EXISTING FIRE EXTINGUISHER CABINETS FOR RUST, FUNCTIONALITY AND DEBRIS. CLEAN AND REPAIR / REPLACE AS NEEDED.
- ALL EXTERIOR COLUMNS TO BE CLEANED AND PREPARED TO RECEIVE NEW PAINT.
- CLEAN ALL UNIT CEILINGS AND SOFFITS. CONDITIONS ARE TO REMAIN AS IS UNLESS DAMAGED OR IN NEED OF REPAIR.
- FIRE-SEAL ALL MEP PENETRATIONS THROUGH EXPOSED RATED WALL AND FLOOR ASSEMBLIES.
- REPLACE PTACs AS NECESSARY (REF MEP).
- THE TERMS "ACCESSIBLE" AND "ADA (AMERICANS WITH DISABILITIES ACT)" ARE USED INTERCHANGEABLY THROUGHOUT; HOWEVER, 2009 ANSI A117.1 IS STILL THE BASIS FOR ALL ACCESSIBILITY STANDARDS EMPLOYED THEREIN.
- RESTRIPE AND SEAL EXISTING PARKING LOT; REF SITE PLAN.
- ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET.

A1 OVERALL FIRST FLOOR PLAN

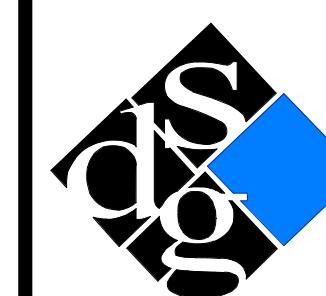
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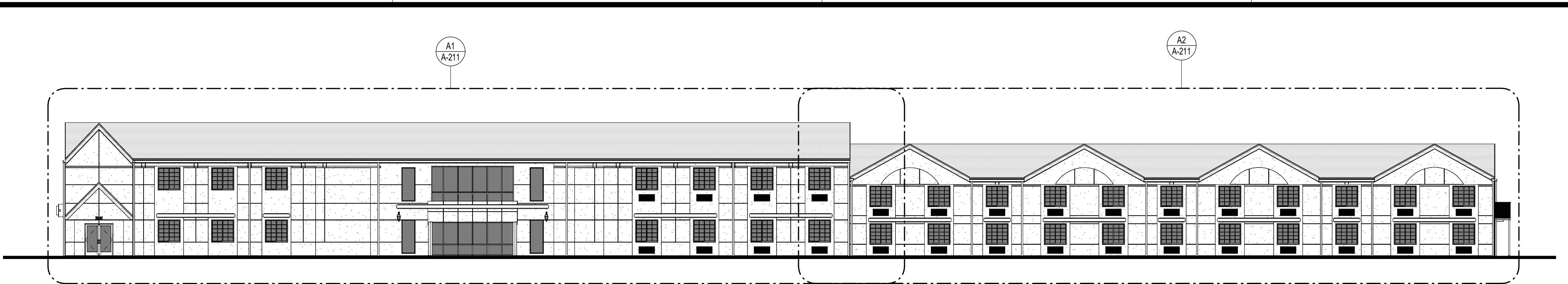


GENERAL PLAN NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK EQUIPMENT AND LABOR PERSONNEL.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
- THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION, ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
- ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION, ANY NEW FURNITURE IS OWNER PROVIDED. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
- ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
- PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES.
- EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS, DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT.
- REPLACE DAMAGED ACOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
- PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
- ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
- ALL EXISTING PLUMBING IS TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS (REF DEMO PLANS FOR THE PLUMBING FIXTURES TO BE REMOVED).
- GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF B1 / A-422 FOR TYPICAL ACCESSIBILITY STANDARDS).
- ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-70 FOR FINISH SCHEDULE).
- REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPPS.
- ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
- ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 1/3).
- ALL EXTERIOR STORAGE / ELECTRICAL / MECHANICAL CLOSETS ARE TO REMAIN AS IS UNCHANGED.
- ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 10 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI 117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
- PREPARE NEW PET AREAS AND PLACE DOWN NEW SOD IF NECESSARY. INSTALL NEW PET WASTE DISPOSAL STATIONS (REF A-001 FOR LOCATIONS).
- CAMERAS TO REMAIN AS IS. PROTECT / COVER CAMERAS DURING PAINTING AND ANY DEMOLITION OR NEW CONSTRUCTION.
- REVIEW ANY EXISTING FIRE EXTINGUISHER CABINETS FOR RUST, FUNCTIONALITY AND DEBRIS. CLEAN AND REPAIR / REPLACE AS NEEDED.
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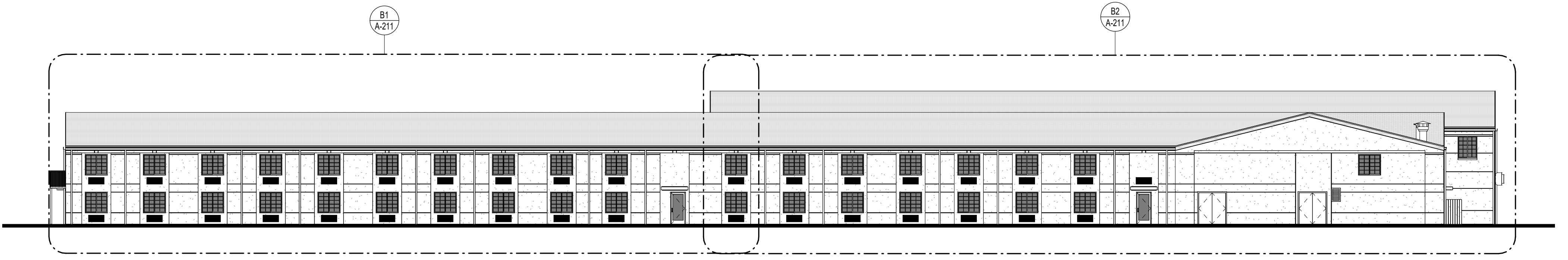

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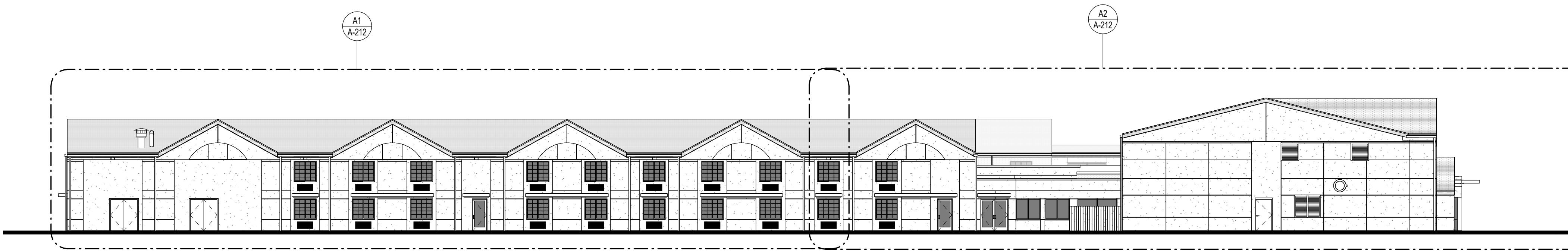
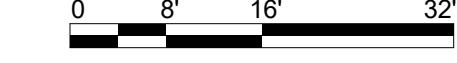
A1 OVERALL NORTH ELEVATION

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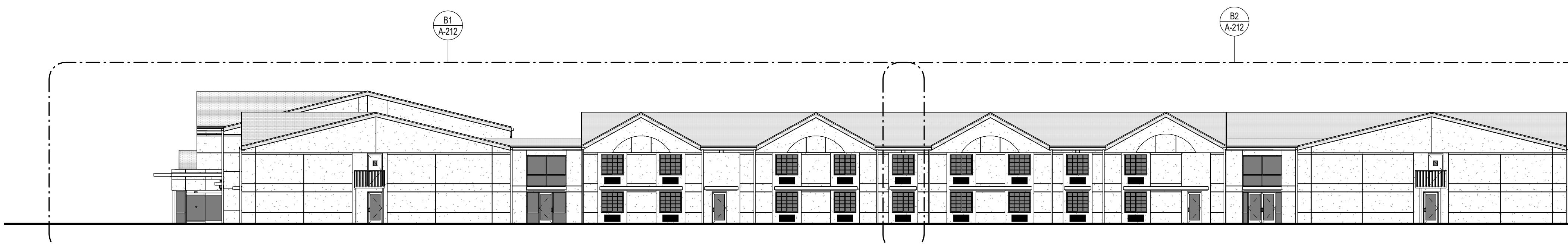
A2 OVERALL SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



A3 OVERALL EAST ELEVATION

SCALE: 1/16" = 1'-0"



A4 OVERALL WEST ELEVATION

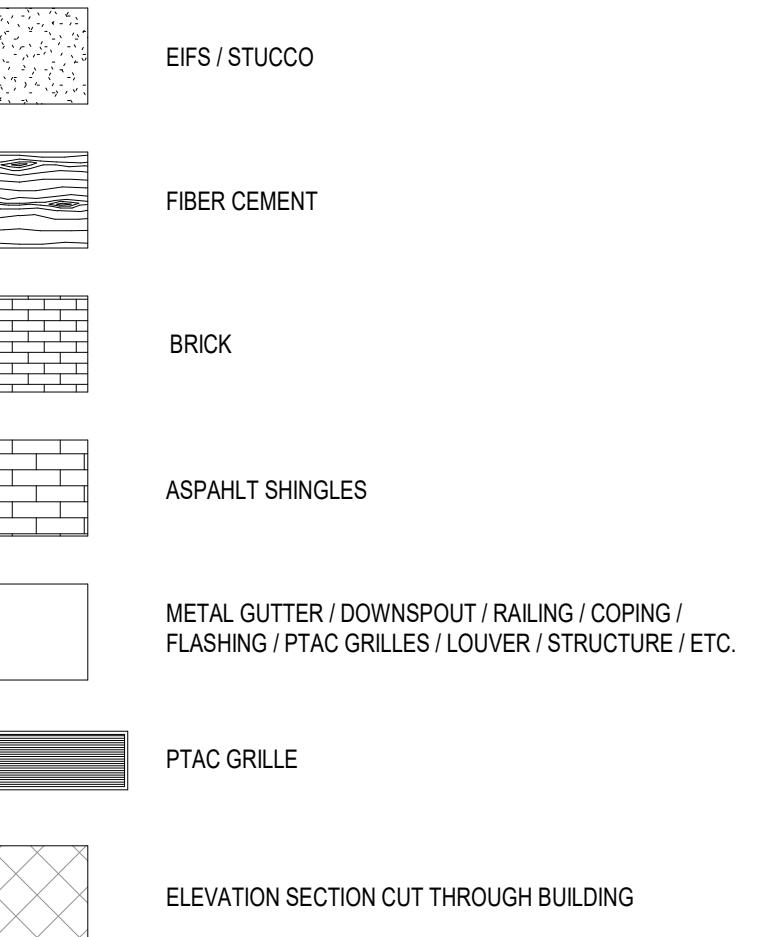
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EXTERIOR ELEVATION NOTES

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10. GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND



EXTERIOR PAINT COLOR LEGEND

EPT-1 WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY

EPT-2 WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

EPT-3 PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

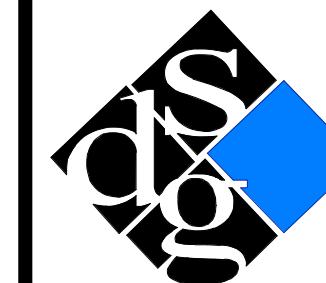
**RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
OVERALL EXTERIOR
ELEVATIONS

PROJECT NUMBER
0210377

SHEET NUMBER
A-201

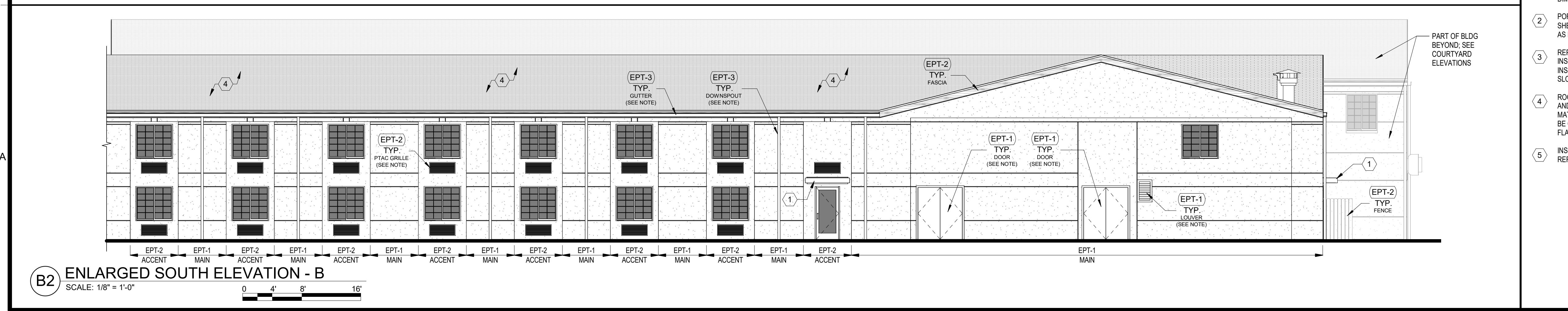
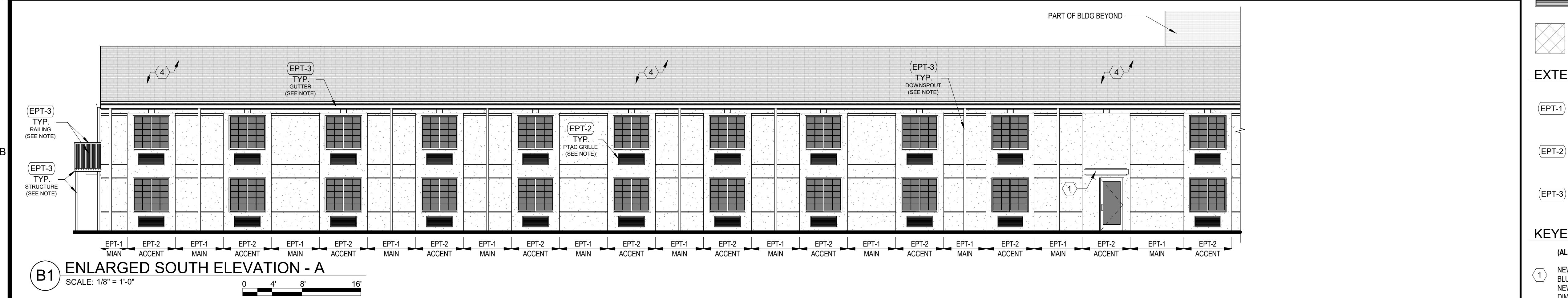
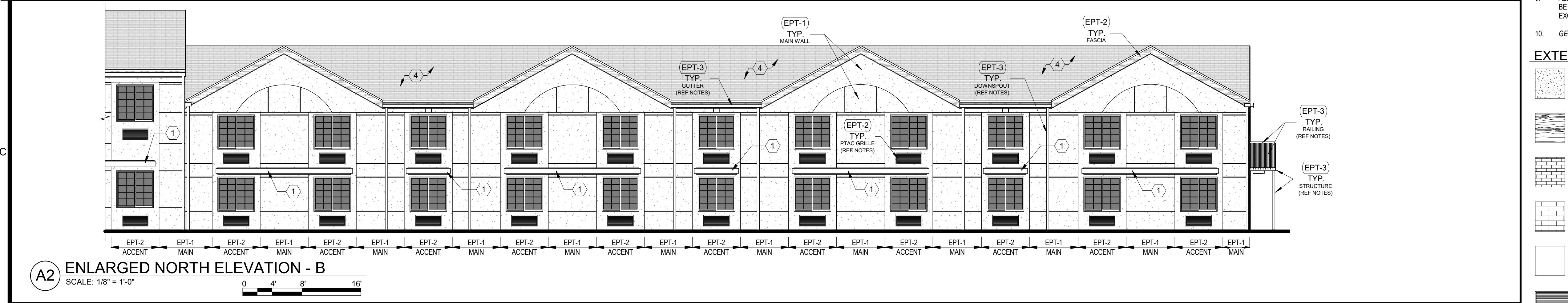
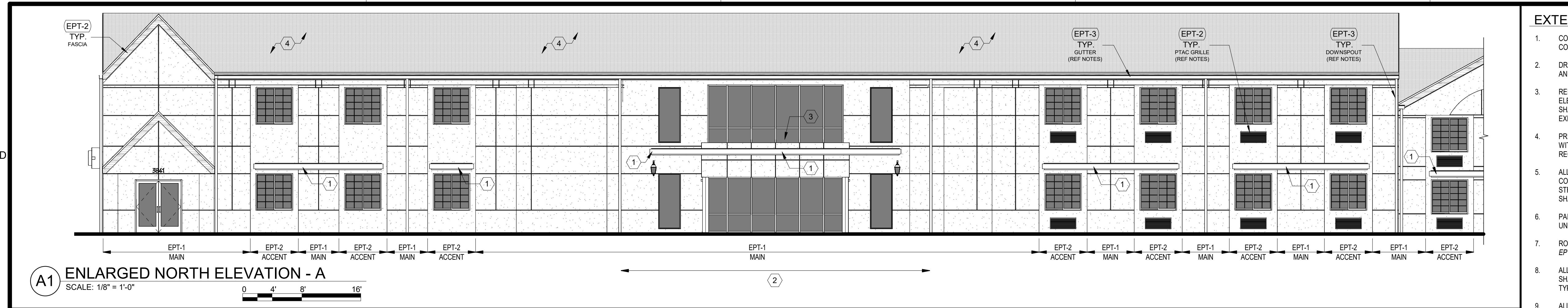


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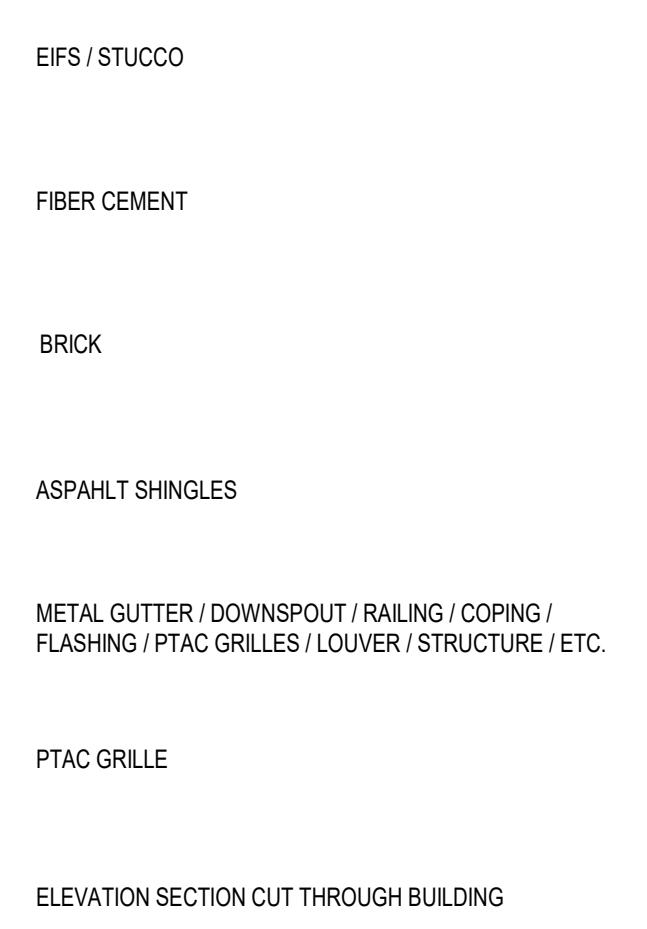
DATE: 07/15/2022



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EXTERIOR ELEVATION LEGEND



EXTERIOR PAINT COLOR LEGEND

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EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

(ALSO REFER TO GENERAL NOTES ON THE OVERALL FLOOR PLANS)

- NEW HORIZONTAL METAL CANOPY / AWNING. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
- PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
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**RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
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SHEET TITLE
ENLARGED EXTERIOR ELEVATIONS I

PROJECT NUMBER
0210377

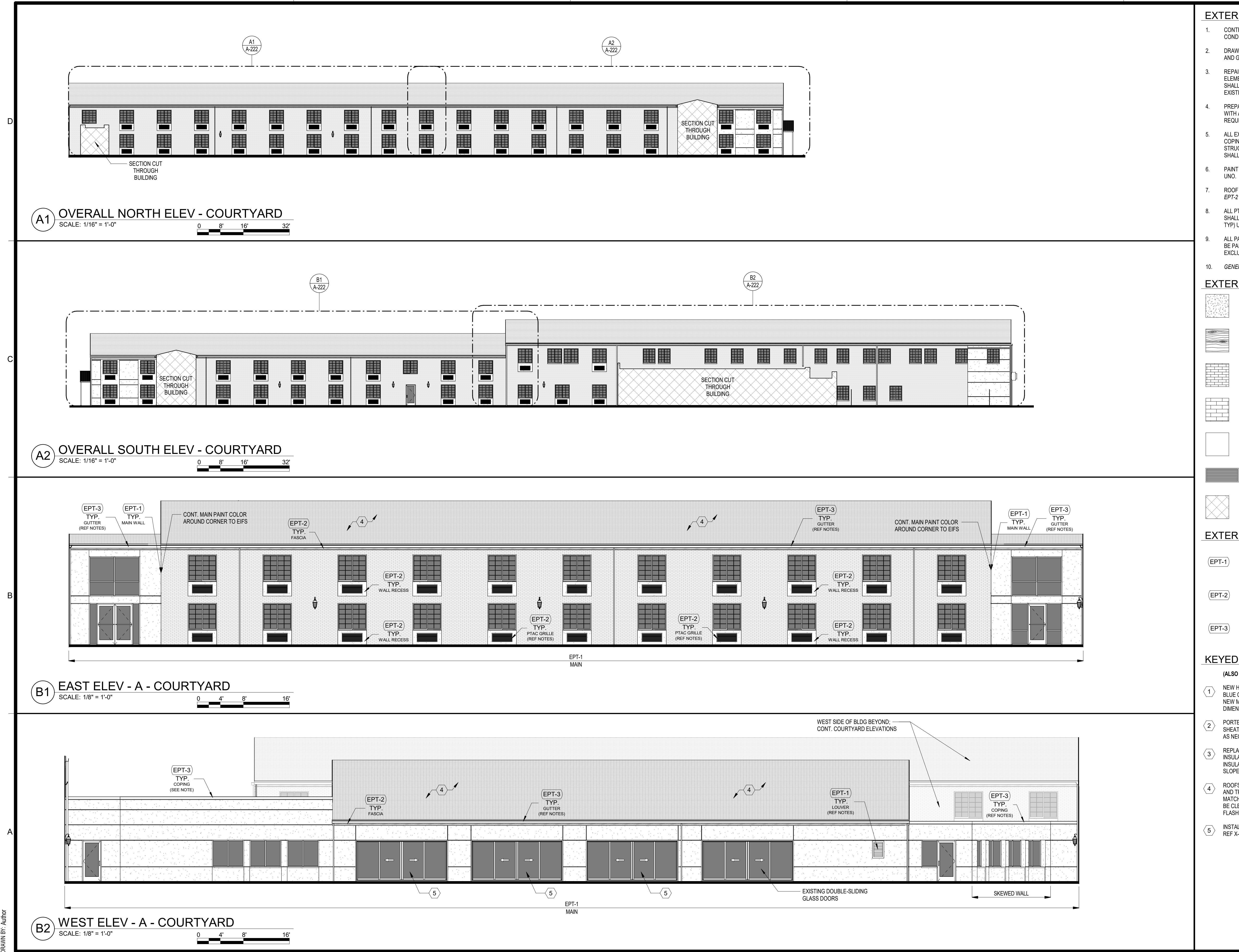
SHEET NUMBER
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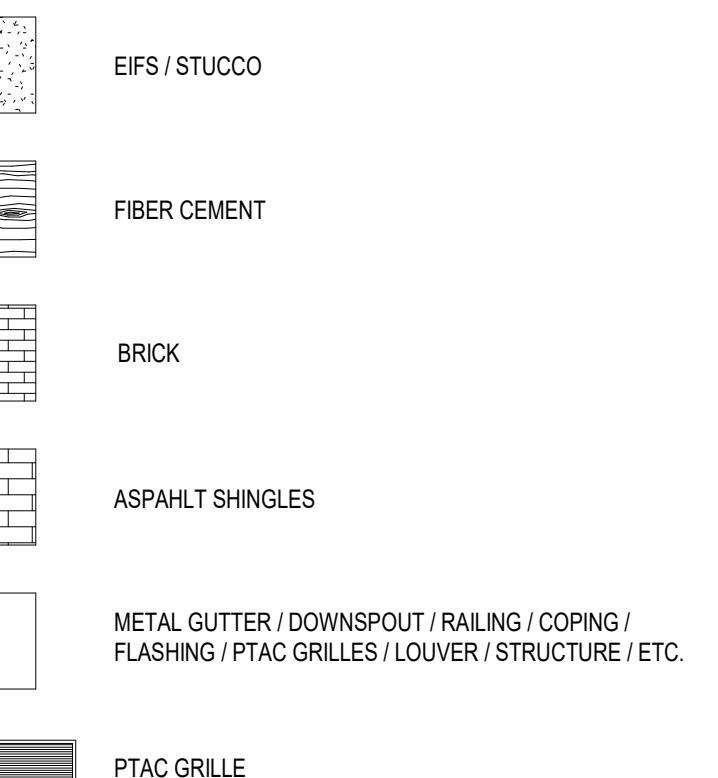
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EXTERIOR ELEVATION LEGEND



ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

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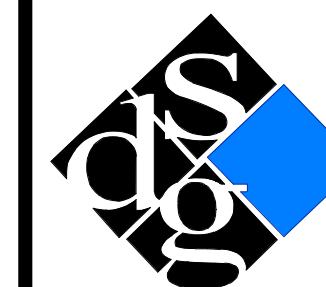
**RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
COURTYARD ELEVATIONS

PROJECT NUMBER
0210377

SHEET NUMBER
A-221



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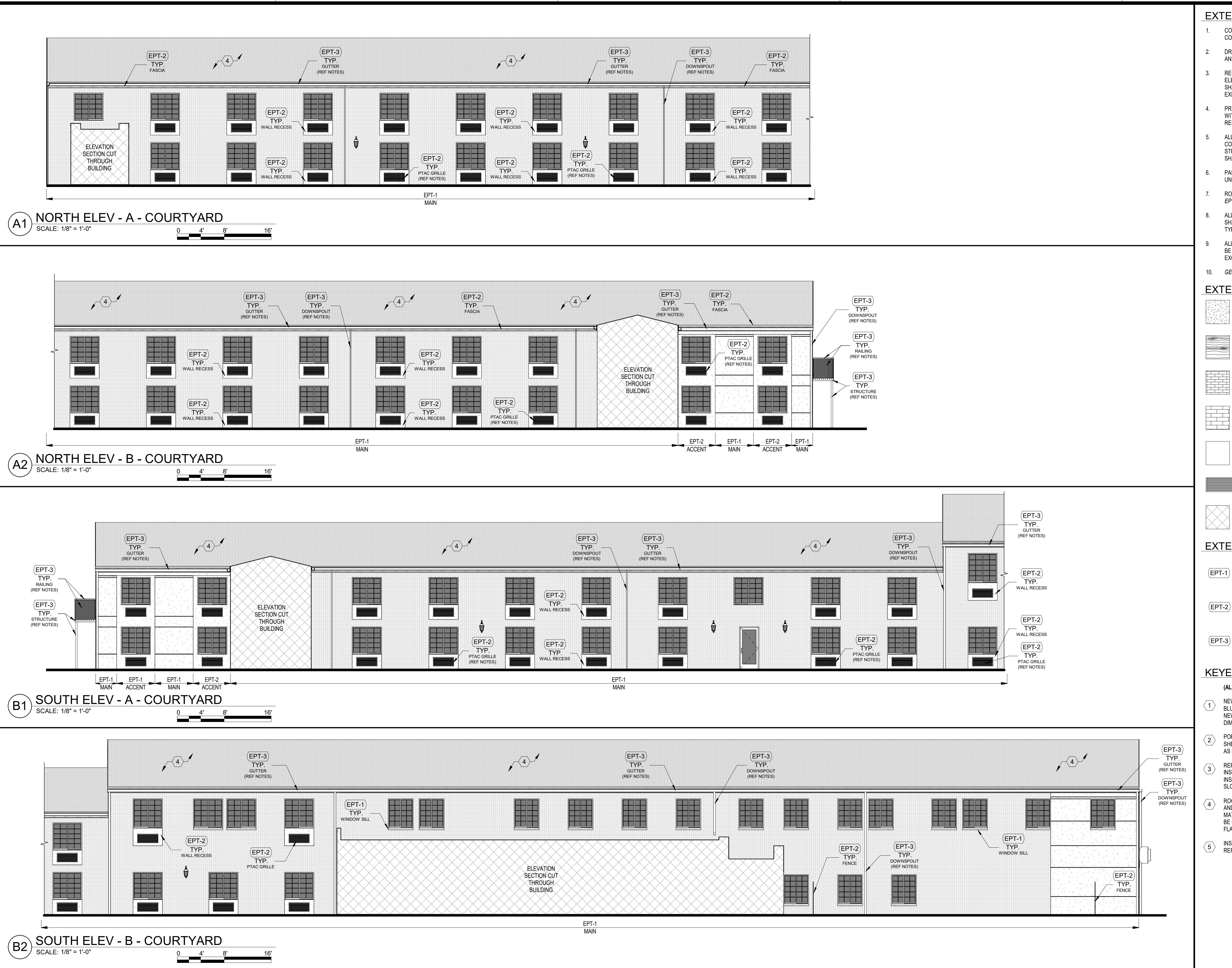
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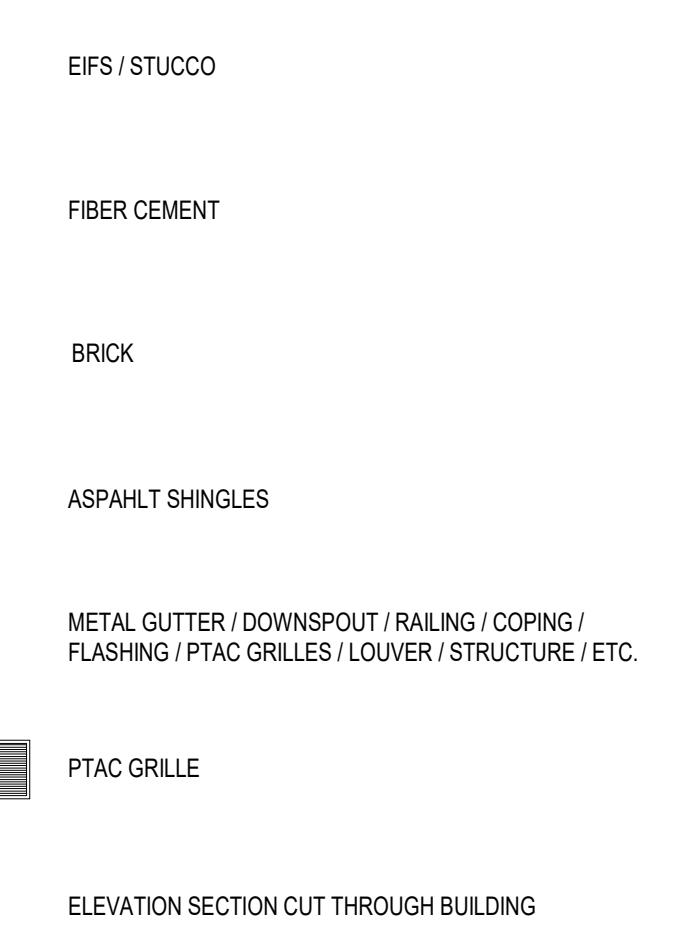
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EXTERIOR ELEVATION LEGEND



EXTERIOR PAINT COLOR LEGEND

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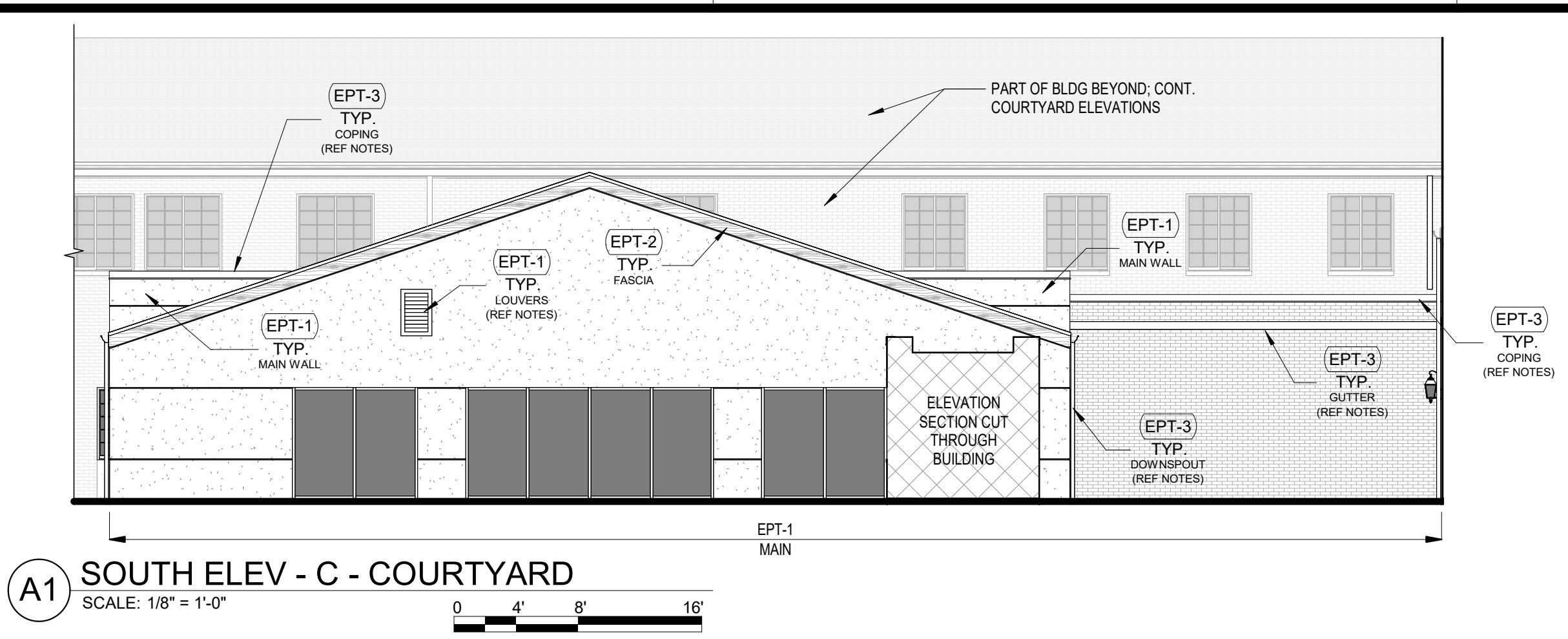
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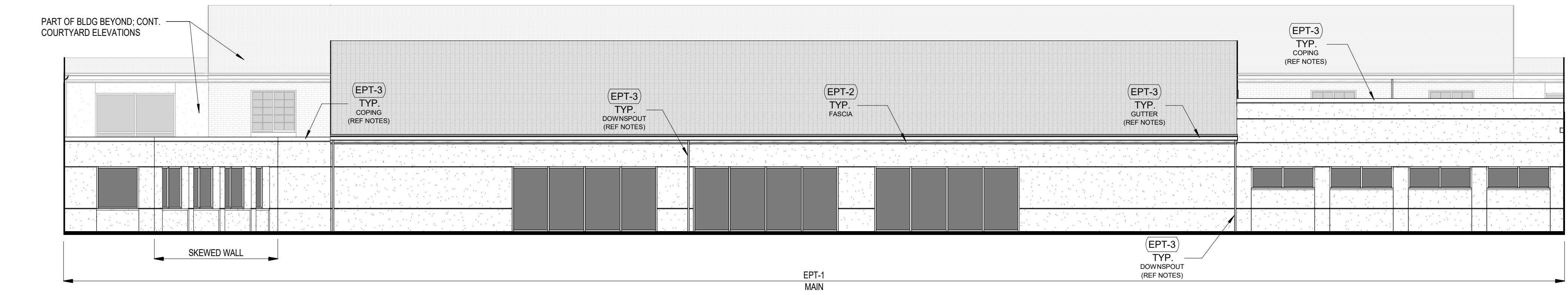
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A1 SOUTH ELEV - C - COURTYARD

SCALE: 1/8" = 1'-0"

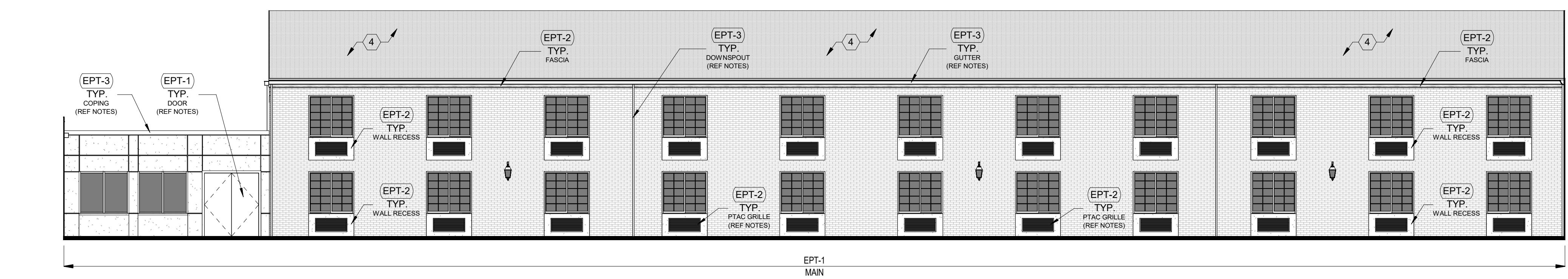
0 4' 8' 16'



A2 EAST ELEV - B - COURTYARD

SCALE: 1/8" = 1'-0"

0 4' 8' 16'



A3 WEST ELEV - B - COURTYARD

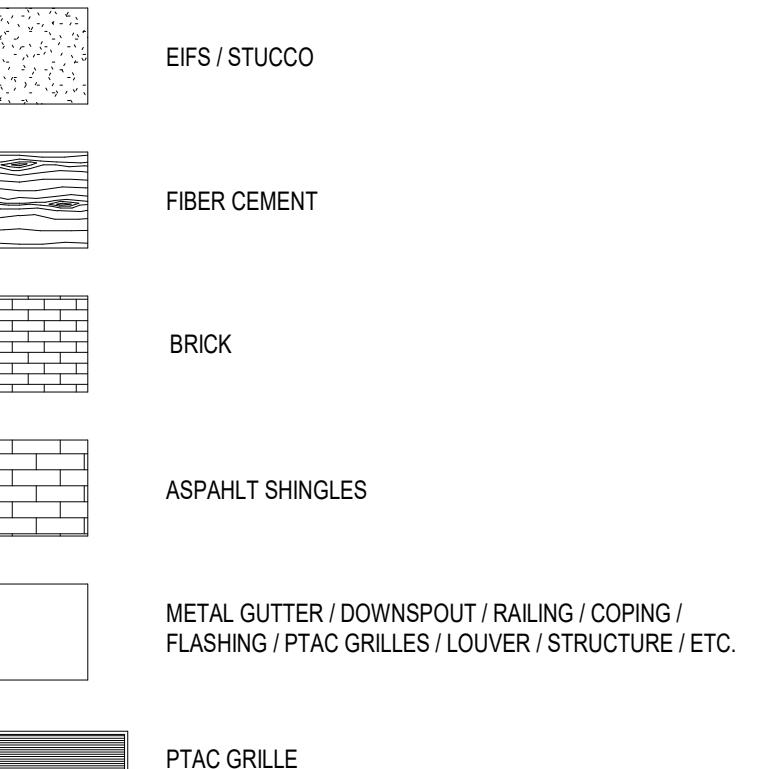
SCALE: 1/8" = 1'-0"

0 4' 8' 16'

EXTERIOR ELEVATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES INCLUDED ARE FOR REFERENCE ONLY.
- REPAIR / REPLACE ANY DAMAGED EXTERIOR MATERIALS AND ELEMENTS AS NECESSARY; ANYTHING REPAIRED OR REPLACED SHALL MATCH THE PROPERTIES (TEXTURE, MATERIAL, ETC.) OF THE EXISTING / ADJACENT ONES UNO.
- PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
- ALL EXTERIOR METALLIC ELEMENTS (GUTTERS, DOWNSPOUTS, COPINGS, FLASHING, RAILINGS, BALLUSTERS, ETC.) AND STRUCTURAL ELEMENTS (SLAB / FLOOR EDGES, COLUMNS, ETC.) SHALL BE PAINTED WITH EPT-3 UNO.
- PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
- ROOF FASCIAS AND EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-2 UNO.
- ALL PTAC GRILLES AND ALL OTHER MECHANICAL GRILLES / LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1, TYP.) UNO.
- ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1, TYP.) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.
- GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND



EXTERIOR PAINT COLOR LEGEND

(EPT-1)	WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
(EPT-2)	WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
(EPT-3)	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRI/CORN BLACK

KEYED EXTERIOR NOTES

(ALSO REFER TO GENERAL NOTES ON THE OVERALL FLOOR PLANS)

- NEW HORIZONTAL METAL CANOPY / AWNING; REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
- PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE; NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
- ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.

RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

PROGRESS PRINT ONLY

SHEET TITLE

COURTYARD ELEVATIONS

II

PROJECT NUMBER

0210377

SHEET NUMBER

A-223



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DATE: 07/15/2022

INTERIOR FINISH SCHEDULE								
ROOM NUMBER	ROOM NAME	FLOOR		WALLS				CEILING FINISH
		FINISH	BASE	NORTH	EAST	SOUTH	WEST	
X100	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101	LOBBY	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101A	RECEPTION	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101B	JANITOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X102	TENANT LOUNGE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X103	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X104	BICYCLE PARKING	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-1
X104A	MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X104B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X105	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X106	CO-WORKING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X107	FOYER	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X107A	JANITOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X108	TENANT BAR	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X108A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X108B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X109	MEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
X110	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
X111	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X111A	ELEC / MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X112	FITNESS ROOM	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X114	SITTING ROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X114A	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	EXISTING TL	PT-1	PT-1	PT-2
X114B	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	EXISTING TL	PT-2
X114C	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X115	SWIMMING POOL DECK	EXISTING	EXISTING	PT-4a	PT-4a	PT-4a	PT-4a	PT-2a
X115C	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X115D	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X116	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X117	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X117A	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X118	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X118A	MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X119	STAIR # 1	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X119A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X120	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X121	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X122	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X123	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X123A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X124	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X125	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X126	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X127	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X128	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X129	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X130	TENANT LAUNDRY PREP	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
X130A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X131	TENANT LAUNDRY	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
X132	BICYCLE PARKING II	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X132A	BOILER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X133	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X134	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X135	STAIR # 9	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X136	STAIR # 10	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X136A	SPRINKLER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X137	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X200	GALLERY	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X201	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X202	MECHANICAL / STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X202A	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X203	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X204	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X205	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X205A	FACILITY STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X206	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X207	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X208	CO-WORKING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X209	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X209A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X210	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X210A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X211	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X212	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X212A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X214	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	EXISTING
X215	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X216	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X217	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X217A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X218	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X218A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X219	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X220	STAIR # 6	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X221	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X222	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X222A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X223	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X223A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X224	TENANT STORAGE	EXISTING						



EXTERIOR RENDERING - FROM WEST SIDE OF BLDG



EXTERIOR RENDERING - FROM EAST SIDE OF BUILDING



EXTERIOR RENDERING - FROM EAST COURTYARD OF BUILDING



EXTERIOR RENDERING - FROM ACCESS ROAD / E. EASHINGTON AVE



EXTERIOR RENDERING - FROM SOUTH WEST CORNER OF BUILDING

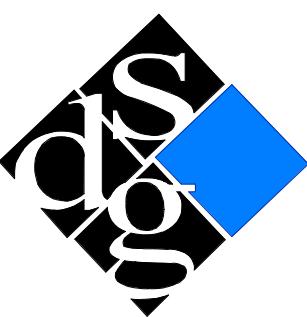
RENOVATION PLATO'S MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
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A
SHEET TITLE
EXTERIOR RENDERINGS

PROJECT NUMBER
0210377

SHEET NUMBER
AP-101



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DATE: 07/15/2022

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INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT

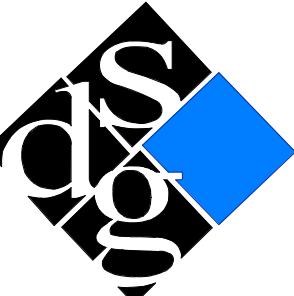
RENOVATION PLATO'S MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
INTERIOR UNIT
RENDERINGS

PROJECT NUMBER
0210377

SHEET NUMBER
AP-102



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DATE: 07/15/2022

1

2

3

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5



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AARON M.
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CASTLE ROCK
CO
07/15/2022

**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

GENERAL:
CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS, WISCONSIN DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS AND WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.

ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.

NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

DIGGERS HOTLINE:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "DIGGERS HOTLINE" AT 1-800-242-8511.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE WORK AND GRADING:

ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND CURB RAMPS SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE INTERIM FINAL RULES FOR PUBLIC RIGHT-OF-WAY, PUBLISHED IN THE FEDERAL REGISTER, SEPTEMBER 2010. WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THIS ACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THE ADA WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADA, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
RAMP SLOPES SHALL NOT EXCEED 1:12
GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE

FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.

GEOTECHNICAL:

NONE PROVIDED

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY DONOFRIO KOTTKE AND ASSOCIATES, DATED JUNE 28, 2022.

LEGAL DESCRIPTION:

LOTS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8901 RECORDED IN VOL. 49 OF CERTIFIED SURVEY MAPS, ON PAGES 259-262, AS DOCUMENT NO 2965461, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

THIS DESCRIPTION DESCRIBES ALL THE LAND DESCRIBED IN THE TITLE COMMITMENT IDENTIFIED AS FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 2121927 BEARING AN EFFECTIVE DATE OF JANUARY 20, 2022.

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1 TOP BRASS CAP MONUMENT	BENCHMARK 2 TOP 1-1/4" REBAR MAG NAIL IN CONCRETE	BENCHMARK 3
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

EROSION CONTROL NOTES:

ALL EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND CITY OF MADISON STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS AND SPECIFICATIONS.

SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED INTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.

TEMPORARY EROSION CONTROL:

ALL DISTURBED EARTH SURFACES WHICH ARE NOT PAVED OR BUILDING PADS SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

SPECIES	LBS/ACRE	PERCENT PURITY
OATS ¹	131	98
CEREAL RYE ²	131	97
WINTER WHEAT ³	131	95
ANNUAL RYEGRASS ²	80	95

¹SPRING AND SUMMER SEEDING

²FALL SEEDING

PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SHALL BE INSTALLED.

THE SUBGRADE SHALL BE LOOSENERED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 LBS. PER 1000 SQ. FT. OR 450 LBS. PER ACRE) SHALL BE MIXED WITH THE LOOSENERED SOIL BY DISKING OR OTHER SUITABLE MEANS.

SOIL SHALL BE TESTED AND LIME TREATED IF REQUIRED BY TESTING FIRM.

SEEDS MAY BE DRILLED OR BROADCAST UNIFORMLY.

SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE SLOPE TO MINIMIZE EROSION.

MULCH SHALL BE USED ON ALL SLOPES GREATER THAN 5 PERCENT OR AS NEEDED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS EXCEED 1 INCH IN HEIGHT.

AS-BUILTS:

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER, EXCEPT FOR MINOR FIELD ADJUSTMENTS. ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

PERMANENT EROSION CONTROL PRACTICES:

BERMUDA GRASS SOLID SLAB SOD OR SEEDING SHALL BE USED ON THIS PROJECT IN ALL DISTURBED AREAS.

SOIL SHALL BE LOOSENERED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND FERTILIZER SHALL BE MIXED WITH THE LOOSENERED SURFACE SOIL BY DISKING OR OTHER SUITABLE MEANS.

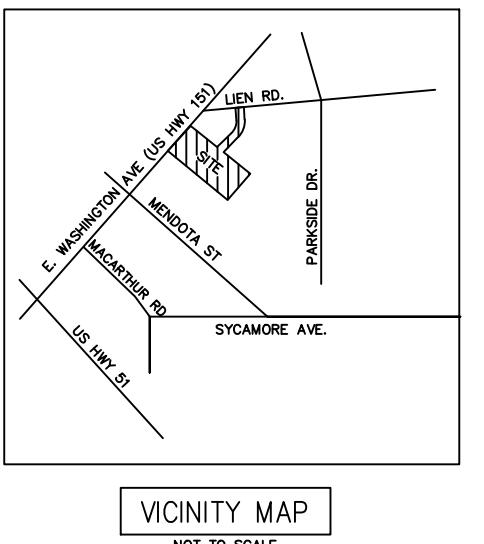
SOIL SHALL BE TESTED FOR pH AND SHALL BE TREATED WITH LIME AS REQUIRED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE OR ONE MONTH.

SODDED AND SEEDED AREAS SHALL BE PREPARED AND PLACED IN ACCORDANCE WITH CITY OF MADISON SPECIFICATIONS. SEED SLOPES LESS THAN 5%. SOD SLOPES BETWEEN 5% AND 4:1. STAKE SOD ON SLOPES GREATER THAN 4:1.

CIVIL SHEET INDEX:

C100	GENERAL NOTES
C200	OVERALL SURVEY
C201	ENLARGED SURVEY 1
C202	ENLARGED SURVEY 2
C203	TOPOGRAPHIC SURVEY
C300	OVERALL DEMO AND EROSION CONTROL PLAN
C301	ENLARGED DEMO AND EROSION CONTROL PLAN 1
C302	ENLARGED DEMO AND EROSION CONTROL PLAN 2
C400	OVERALL SITE PLAN
C401	ENLARGED SITE PLAN 1
C402	ENLARGED SITE PLAN 2
C403	FIRE ACCESS PLAN
C500	OVERALL GRADING PLAN
C501	ENLARGED GRADING PLAN 1
C502	ENLARGED GRADING PLAN 2
C600	DETAILS
C601	DETAILS
L1	CITY LANDSCAPE PLAN



MISCELLANEOUS NOTES

(N1) The basis of bearings of this survey is based on the most Northwestern lines of Lots 1, 2 and 3, Certified Survey Map Number 8901, City of Madison, Dane County, Wisconsin, recorded May 5, 1998 in Volume 49 of Certified Survey Maps, Page 259, as Document Number 2965461, having a recorded bearing of North 47° 19' 53" West.

(N2) The table below described the type and number of visible striped parking stalls entirely within the property boundary. Stalls that are partially within boundary are listed under the heading "partial". Partial stalls are not counted in total

VISIBLE STRIPED PARKING

REGULAR	HANDICAP	TRAILER	PARTIAL REGULAR	PARTIAL HANDICAP	TOTAL
340	11	0	0	0	351

(N3) The subject property contains 325,753 square feet or 7.4783 acres.

(N4) During our field site visit, there was not observable evidence of earth moving work, building construction or building additions within recent months.

(N5) During our field site visit, there was not observable evidence of site use as a solid waste dump, dump, or sanitary landfill.

(N6) All measured and recorded bearings and dimensions are the same unless noted otherwise.

(N7) Visible evidence of direct physical access to a dedicated public right of way is observed by the drive entrance to and from Lien Road, as shown hereon.

(N8) There were no changes in street right of way lines either completed or proposed available from the controlling jurisdiction. There was no evidence of recent street or sidewalk construction or repairs.

(N9) This survey was made in accordance with the laws and/or Minimum Standards of the State of Wisconsin.

(N10) There is no visible evidence of cemeteries, individual gravesites or burial grounds on the subject property.

(N11) The building area shown hereon is for the exterior building dimensions at ground level.

(N12) This survey does not constitute a title search by the surveyor to determine ownership or easements of record, rights of way, or title or record. The surveyor has relied upon First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

(N13) This ALTA/NSPS Land Title Survey, and the information hereon, may not be used for any additional or extended purposes beyond that for which it was intended and may not be used by any parties other than those to which it is certified.

(N14) The property forms a mathematically closed figure without gaps or gores.

(N15) All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, parking, easements, servitudes, and significant observations are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.

(N16) On the date of this survey, portions of the subject property were covered with up to five inches of snow and ice and plowed snow piles up to four feet in height were observed. Only the above ground improvements visible on the date of this survey are noted hereon.

ZONING INFORMATION

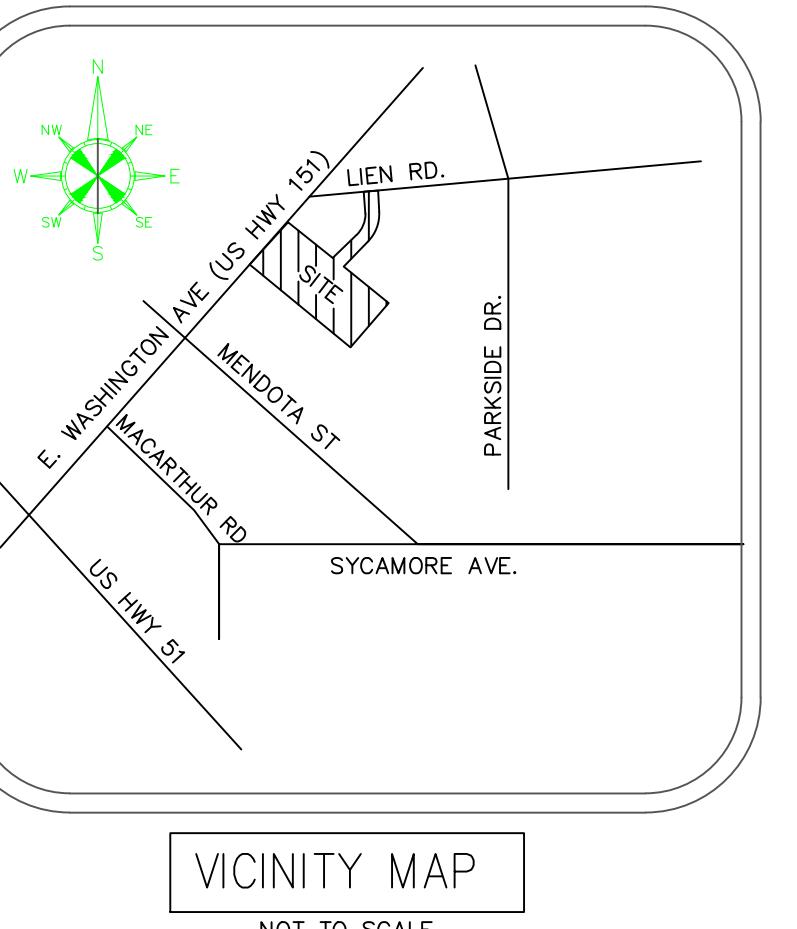
This office has not been provided with the applicable zoning information for the subject property, by the client, pursuant to Table A Items 6(a) and 6(b).

UTILITY NOTE

LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED ABOVE GROUND EVIDENCE ONLY. SURVEYOR WAS NOT PROVIDED WITH UTILITY PLANS OR MARKINGS TO DETERMINE ANY SUBSURFACE LOCATIONS. THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV

FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD ZONE AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION SURVEY MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES NOT PARTICIPATE IN THE FLOOD INSURANCE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE X AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 55025C 0427H DATED 9-17-2014 AND IS NOT IN A FLOOD ZONE AREA. THE FLOOD INSURANCE RATE PROGRAM WAS CONTACTED ON 2-2-2022 BY TELEPHONE OR EMAIL (www.fema.gov)



VICINITY MAP

NOT TO SCALE

SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B TITLE COMMITMENT

- (16) Public or private rights, if any, in such portion of the land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. This item is not plotted hereon as it does not affect the subject property.
- (17) A Slope Easement contained in Warranty Deed recorded April 20, 1953 as Document Number 852121. This item is plotted hereon and does affect the subject property.
- (18) Finding, Determination and Declaration by the State Highway Commission of Wisconsin Establishing a Certain Controlled Access Highway in Dane County, Wisconsin recorded February 24, 1956 as Document Number 913143. This item is plotted hereon and does affect the subject property.
- (19) A Sanitary Sewer and Water Main Easement recorded December 11, 1956 as Document Number 930464, Release of Easement recorded August 27, 1998 as Document Number 3012049, and Affidavit of Correction recorded February 18, 2008 as Document Number 4398443. This item is not plotted hereon as it does not affect the subject property.
- (20) Access Restriction set forth in Quit Claim Deed recorded October 3, 1957 as Document Number 946488. This item is plotted hereon and does affect the subject property.
- (21) A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998715. This item is plotted hereon and does affect the subject property.
- (22) A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716. This item is plotted hereon and does affect the subject property.
- (23A) Terms, Provisions and Conditions contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 23, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- (23B) Right of Way Easement contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 23, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is plotted hereon and does affect the subject property.
- (23C) A Sign Easement contained in Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645. This item is plotted hereon and does affect the subject property.
- (24) A 40.00 foot wide Right of Way Easement contained in Warranty Deed recorded March 23, 1967 as Document Number 1180760. This item is plotted hereon and does affect the subject property.
- (25) An Easement for Sign and Underground Power recorded September 21, 1967 as Document Number 1196055. This item is plotted hereon and does affect the subject property.
- (26) Agreement Regarding Surface Water Drainage recorded April 8, 1968 as Document Number 1210484. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- (27) Access Restriction set forth in Instrument recorded April 8, 1968 as Document Number 1210486. This item is plotted hereon and does affect the subject property.
- (28) Easement and Agreement recorded June 4, 1968 as Document Number 1215163 and re-recorded July 10, 1968 as Document Number 1218244. This item is plotted hereon and does affect the subject property.
- (29) A 10.00 foot wide Sanitary Sewer Easement recorded July 29, 1968 as Document Number 1219679. This item is plotted hereon and does affect the subject property.
- (30) A 7.00 foot wide Slope Easement contained in Warranty Deed recorded September 27, 1968 as Document Number 1224536. This item is plotted hereon and does affect the subject property.
- (31A) A 30.00 foot wide Cross Easement Agreement recorded September 27, 1968 as Document Number 1224537. This item is plotted hereon and does affect the subject property.
- (31B) Supplement to Cross Easement Agreement recorded June 19, 1995 as Document Number 2682865. This item is plotted hereon and does affect the subject property.
- (32A) Terms, Provisions and Conditions noted on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- (32B) A 10.00 foot wide Public Utility Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- (32C) A 15.00 foot wide Water Service Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- (33) A 10.00 foot wide Ameritech General Easement recorded May 18, 1998 as Document Number 2970474. This item is plotted hereon and does affect the subject property.
- (34) Right of Way Grant Underground Electric recorded July 29, 1998 as Document Number 2999728. This item is plotted hereon and does affect the subject property.
- (35) Right of Way Grant Underground Electric recorded June 20, 2005 as Document Number 4068621. This item is plotted hereon and does affect the subject property.

TITLE LEGAL DESCRIPTION

Lots 1, 2 and 3 of Certified Survey Map No. 8901 recorded in Vol. 49 of Certified Survey Maps, on Pages 259-262, as Document No. 2965461, in the City of Madison, Dane County, Wisconsin.

This description describes all the land described in the title commitment identified as First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

ALTA/NSPS LAND TITLE SURVEY

MADISON PLAZA HOTEL

PARTNER PROJECT NUMBER 22-353542

ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT, NUMBER 2121927, CONTAINING AN EFFECTIVE DATE OF JANUARY 20, 2022.

CERTIFICATION

To: RepVblk Madison LLC; REPVBLK AR LLC; Knight Barry Title Services, LLC; First American Title Insurance Company, and Partner Engineering and Science, Inc.:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 6(b), 7(g), 7(b)(1), 7(c), 8, 9, 13, 14, 16 and 17 of Table A thereof. The field work was completed on February 15, 2022.



David R. Cheney

Wisconsin Registered Land Surveyor

Registration Number S-45

Date of Survey: 2-15-2022

Date of Last Revision: 2-25-2022

PROPERTY ADDRESS: 3841 EAST WASHINGTON AVENUE; MADISON, WI 53714

Survey Prepared By:
Sarko Surveying Inc.

847 County Road JG

Mount Horeb, WI 53572

Phone: 608-832-6428

Fax: 608-848-3859

Email: rsarko@tds.net



COMPLIANT 2022
PARTNER ENGINEERING &
LAND SURVEYING
ALL RIGHTS RESERVED
NO PART OF THIS
MANUAL IS
STRICTLY PROHIBITED
BY PARTNER ENGINEERING

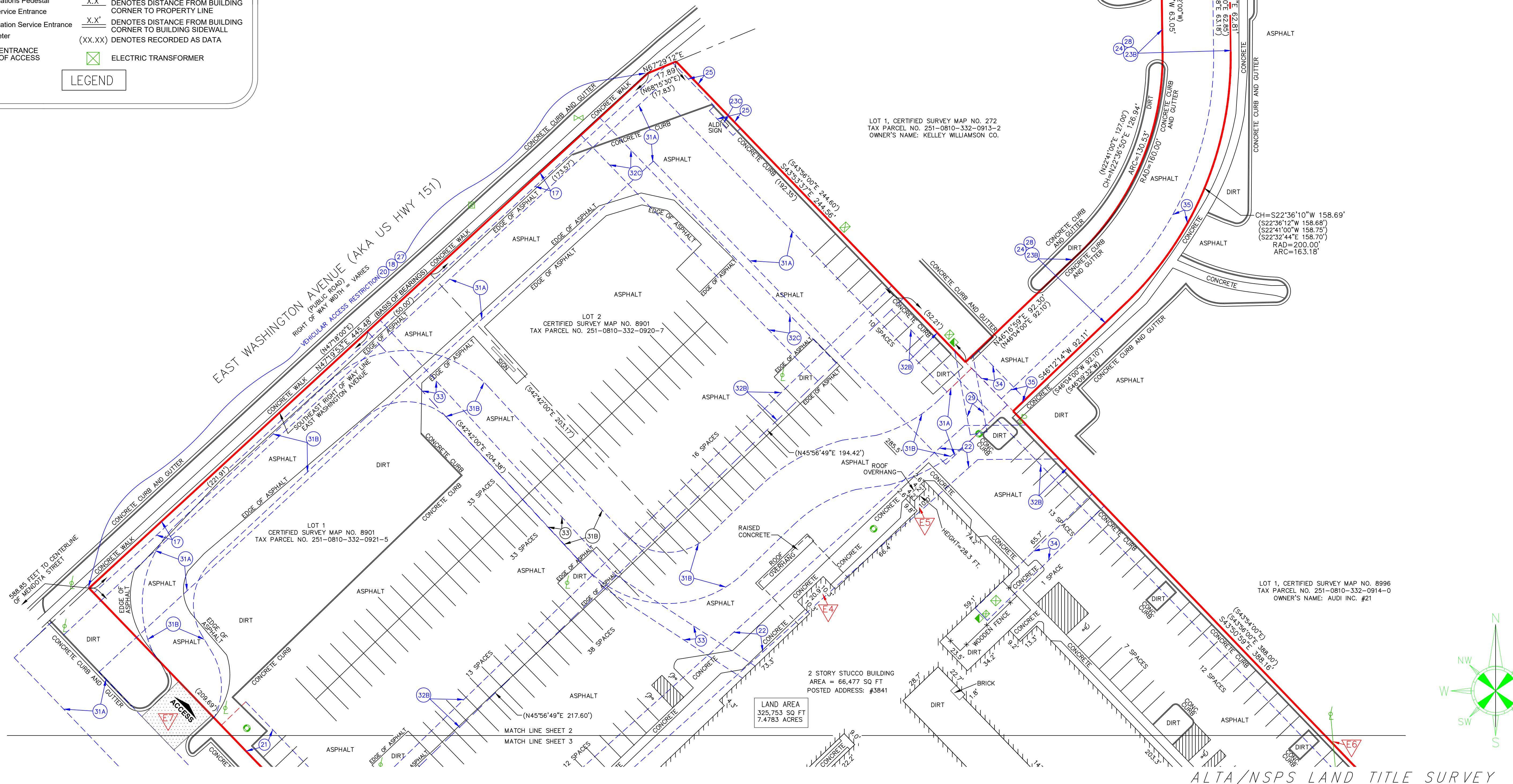
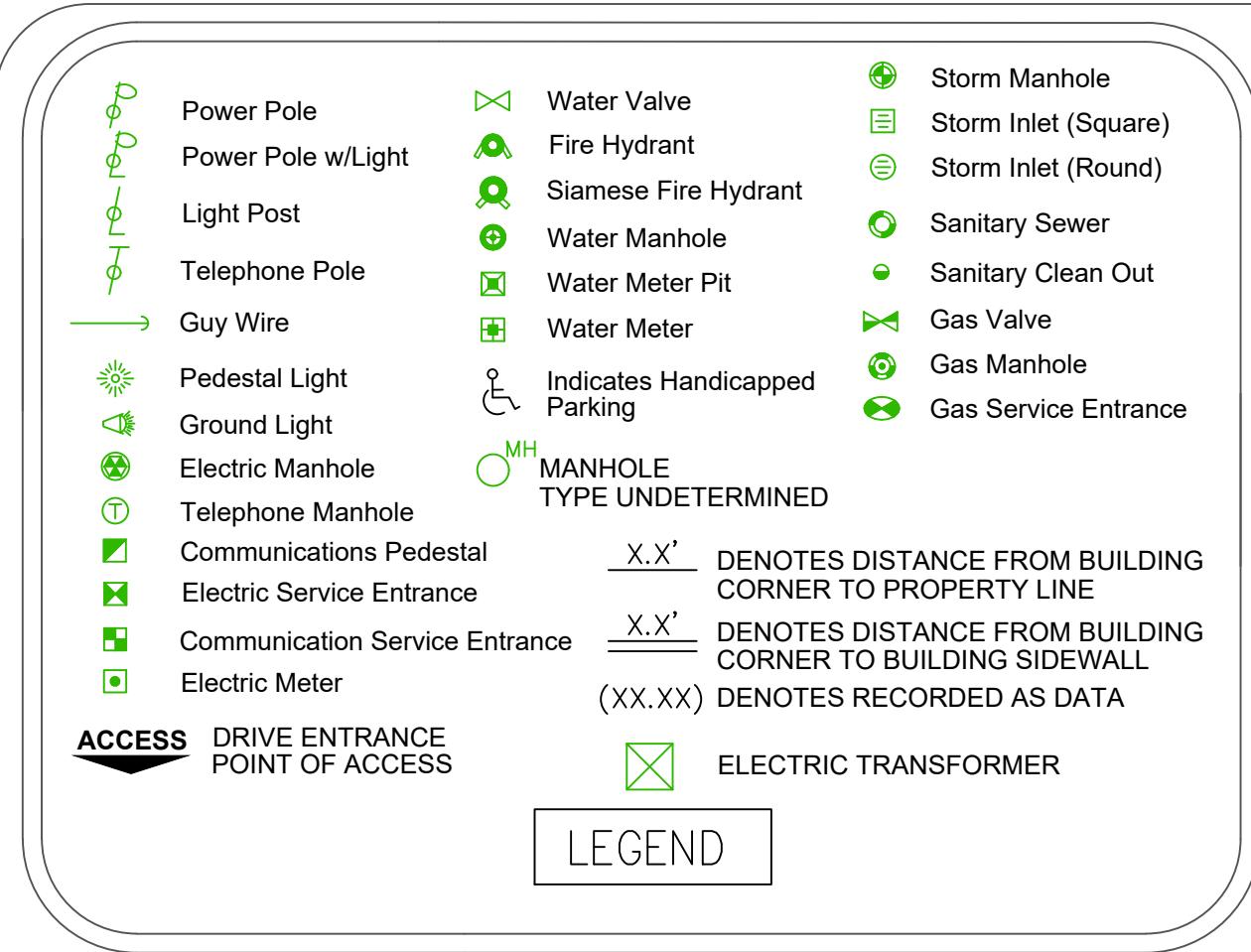
STATEMENT OF ENCROACHMENTS

- (E1) A light pole encroaches 0.4 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- (E2) The concrete curb encroaches from 1.9 to 2.1 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- (E3) The concrete curb encroaches from 1.5 to 1.8 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- (E4) The 2 story stucco building encroaches from 8.7 to 9.4 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- (E5) The 2 story stucco building encroaches from 11.1 to 11.6 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- (E6) An overhead electric distribution line servicing light poles located on the subject property enters the subject property from adjacent privately owned lands to the North and East.
- (E7) Indirect access to East Washington Avenue across the adjacent property to the Southwest, as constructed, requires travel across a portion of said adjacent property to the Southwest which does not appear to be subject to a beneficial ingress and egress easement, as per the subject title commitment.

PARTNER
Engineering and Science, Inc.
<http://www.partneresi.com>

2154 TORRANCE BLVD SUITE 200
TORRANCE, CA 90501
T 310-615-4500

<http://www.partneresi.com>

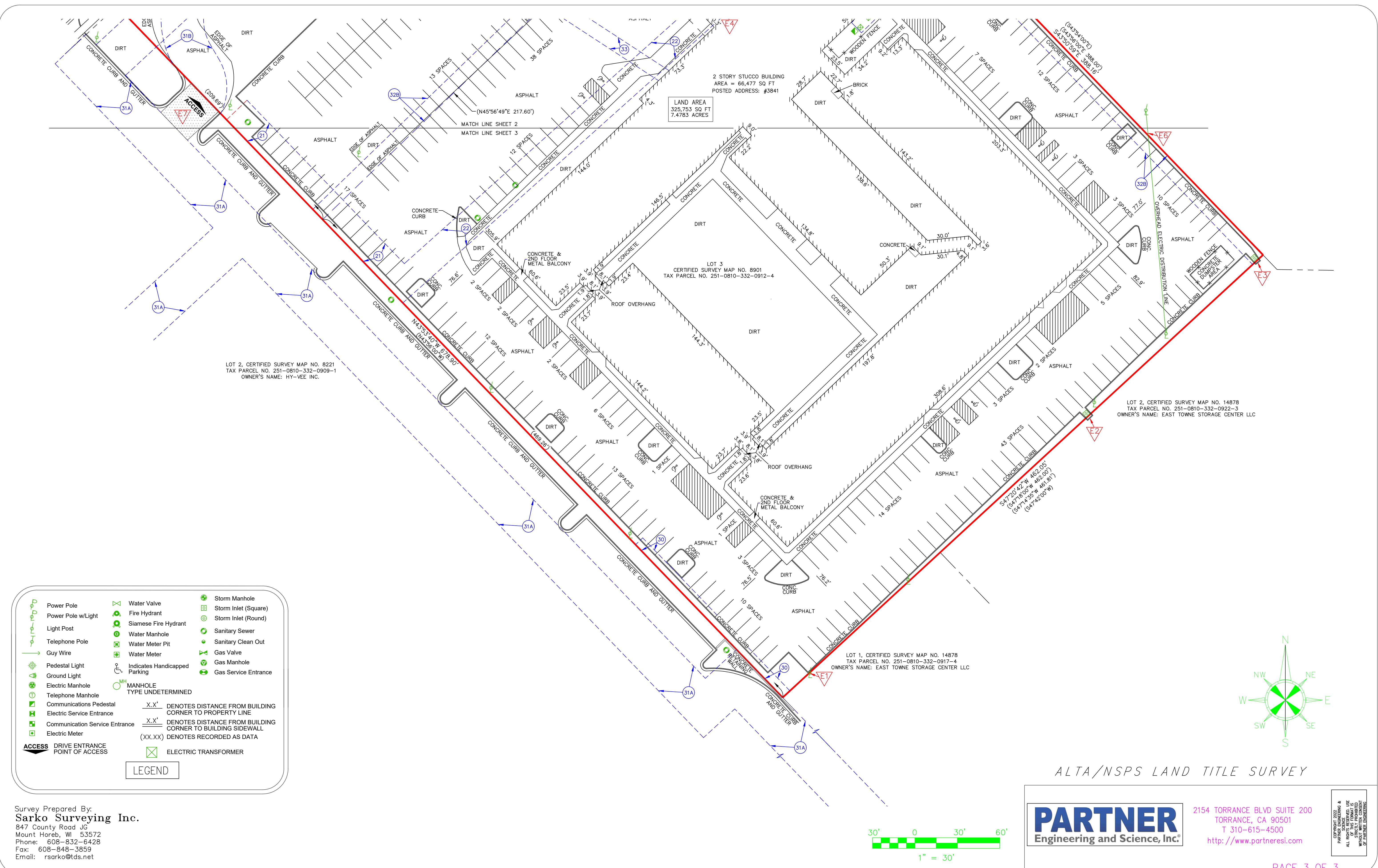


Survey Prepared By:
Sarko Surveying Inc.
847 County Road JG
Mount Horeb, WI 53572
Phone: 608-832-6428
Fax: 608-848-3859
Email: rsarko@tds.net

PARTNER
Engineering and Science, Inc.[®]

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SCIENCE
ALL RIGHTS RESERVED. USE
OF THIS FORMAT IS
STRICTLY PROHIBITED
WITHOUT WRITTEN CONSENT
OF PARTNER ENGINEERING

LEGEND

FOUND PK NAIL

FOUND 3/4" REBAR

FOUND 1-1/4" REBAR

FOUND CHISELED "X"

FOUND 1" PIPE

PLACED CUT "X" IN CONCRETE

SANITARY SEWER

GAS MAIN

OVERHEAD ELECTRIC

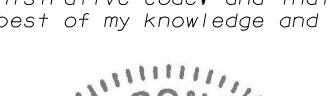
UNDERGROUND ELECTRIC

UNDERGROUND TELECOMMUNICATION

— E —— OHE ——	OVERHEAD ELECTRIC
— E ----- E ——	UNDERGROUND ELECTRIC
— T ----- T ——	UNDERGROUND TELECOMMUNICATION
[E]	ELECTRIC TRANSFORMER
[T]	TELECOMMUNICATION PEDESTAL
[V]	TELECOMMUNICATION VAULT
(○)	MANHOLE
(//) ■■■	CATCH BASIN/INLET
∅	POWER POLE
○○	LIGHT POLE
hydrant	HYDRANT
—○—	SIGN
(deciduous tree)	DECIDUOUS TREE
(bush)	BUSH
(wavy line)	SHRUB LINE
(flagpole)	FLAGPOLE
(9)	NUMBER OF PARKING SPACES
(handicap)	ACCESSIBLE PARKING SPACE
(rectangle)	CONCRETE
(wavy line)	RETAINING WALL
— X ——	FENCE
— — — — —	CONCRETE CURB
DE	DOORWAY ELEVATION
918	EXISTING CONTOUR
918.32	SPOT ELEVATION (@ DECIMAL PT.)
TC 11.16	TOP OF CURB ELEVATION
()	"RECORDED AS" INFORMATION

This detailed site plan illustrates a residential area with three lots (Lot 1, Lot 2, and Lot 3) and various utility and easement features. The plan includes the following key elements:

- LOT 1 (Top Right):** Includes a 10' wide row grant underground electric easement (Doc. No. 4068621) and an ingress-egress easement (Doc. Nos. 5390097, 1180760, 1215163, 1218244). Survey data: N22°36'12" E 126.94', RAD = 160.00', S22°36'12" W 158.68', RAD = 200.00', S22°36'12" E 158.68', RAD = 158.70'.
- LOT 2 (Middle Left):** Includes a 10' wide utility easement (Doc. No. 2965461 3006342), a 15' wide water service easement (Doc. No. 2965461 3006342), and an 10' wide Ameritech easement (Doc. No. 2970474). Survey data: N47°18'00"E 445.48', N47°19'53"E 445.48', S43°56'00"E 373.57', N43°53'40"W 678.90', S43°56'00"E 373.57', N43°53'40"W 678.90'.
- LOT 3 (Bottom Center):** Includes a 20' wide sanitary sewer easement (Doc. No. 998716), an existing building with a first floor elevation of 867.0, and a 7' wide slope easement (Doc. No. 1224536). Survey data: N46°00'00"E 92.10', N46°16'59"E 92.30', S46°12'14"W 92.11', S46°04'00"W 92.10'.
- Utilities and Easements:** The plan shows various utility lines including asphalt roads, concrete foundations, and utility easements for power, gas, and sewer. Specific easement details include: 30' wide cross easement (Doc. No. 1224537), 30' wide cross easement (Doc. No. 2682865), 4' wide slope easement (Doc. No. 852121), 10' wide utility easement (Doc. No. 2965461 3006342), 10' wide sanitary sewer easement (Doc. No. 1219679), 10' wide row grant underground electric (Doc. No. 2999728), and 10' wide utility easement (Doc. No. 2965461 3006342).
- Other Features:** The plan includes a sign, bollard, mobile station gas pipes, overhang, and a dumpster area.

<p><u>SURVEYOR'S CERTIFICATE</u></p> <p>I, Brett T. Stoffregan, Professional Land Surveyor, S-2742, hereby certify that I have surveyed and mapped the above property in accordance with information furnished and in compliance with the requirements of Chapter A-E 7, Wisconsin Administrative Code; and that the map hereon is a correct representation of such survey to the best of my knowledge and belief.</p>	
--	---

LEGAL DESCRIPTION
Lots 1, 2 and 3, Certified Survey Map No. 8901 recorded in Volume 49 of Certified Survey Maps, on Pages 259-262 as Document Number 2965461, in the City of Madison, Dane County, Wisconsin.

NOTES

RENOVATION PLATO'S OF MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

PROGRESS PRINT ONLY

SHEET TITLE
EXISTING

PROJECT NUMBER
2280028

SHEET NUMBER
C203



schwerdt design group
architecture | interiors | planning
2231 sw wanamaker rd suite 300
topeka, kansas 66614-4275
phone: 785.273.7540

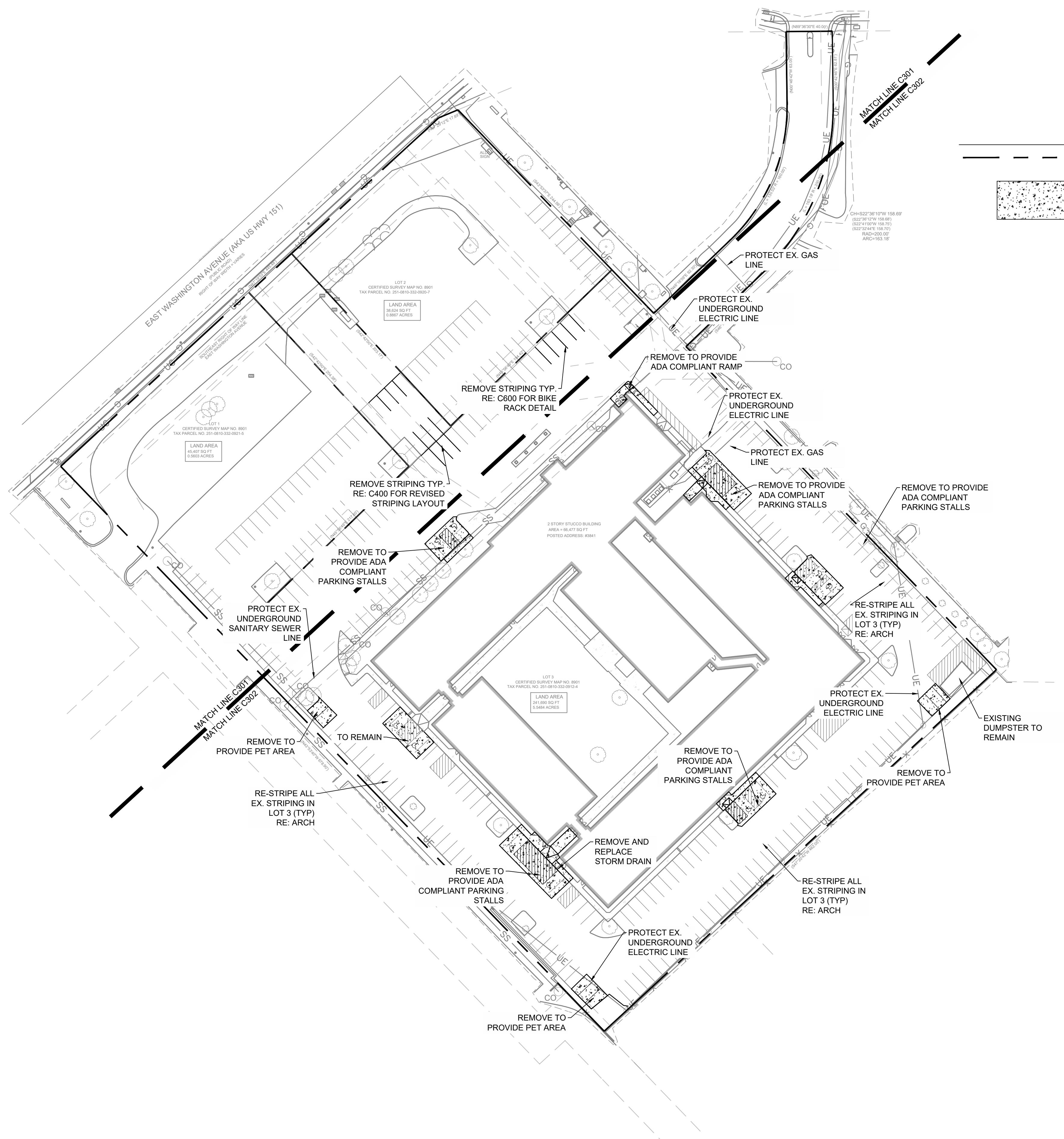
500 north broadway suite 200
oklahoma city, ok 73102

PROGRESS PRINT

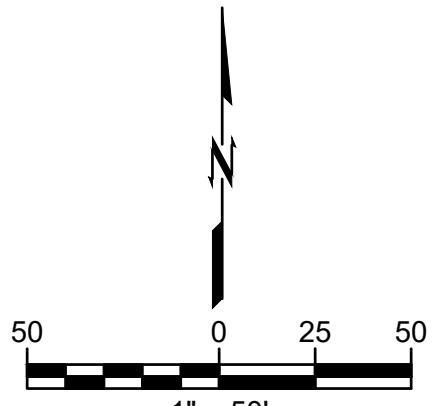
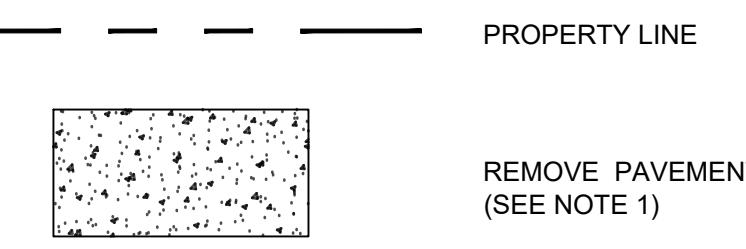
NOT FOR CONSTRUCTION

DATE: 06/29/2022

11. *What is the primary purpose of the following statement?*



LEGEND



GENERAL NOTES

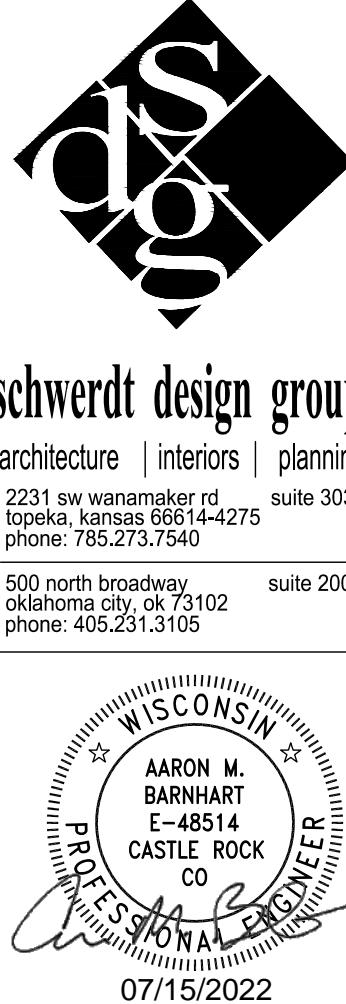
- ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
- CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
- CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
- WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED, IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
- CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
- CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
- CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

SITE INFORMATION SUMMARY	
TOTAL SITE AREA:	241,690 SF
DISTURBED AREA:	8,067 SF
EXISTING PERVIOUS AREA:	38,950 SF
EXISTING IMPERVIOUS AREA:	202,740 SF
PROPOSED PERVIOUS AREA:	40,126 SF
PROPOSED IMPERVIOUS AREA:	201,564 SF

NOT FOR
CONSTRUCTION



RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714





schwerdt design group

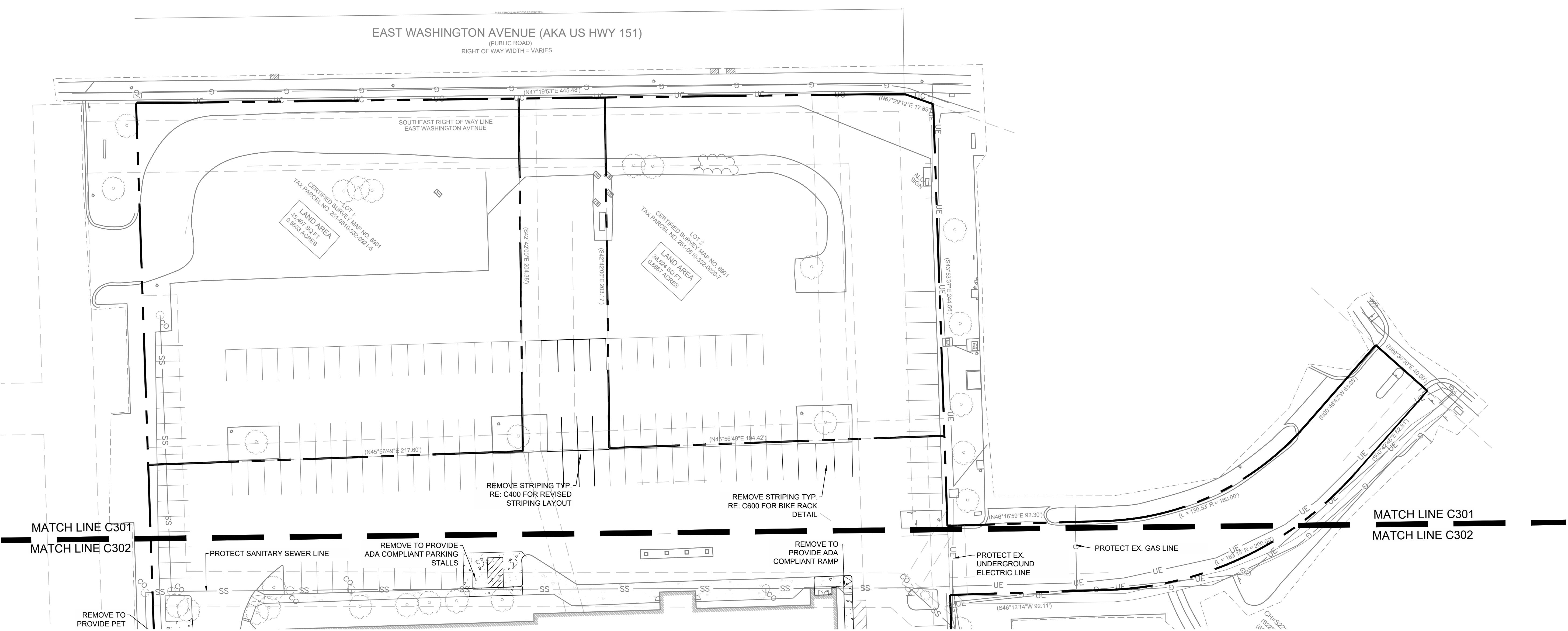
architecture | interiors | planning
2231 sw wanamaker rd suite 303
topeka, kansas 66614-4275
phone: 785.273.5940

500 north broadway, suite 102 suite 200
oklahoma city, oklahoma 73104 phone: 405.231.3105

07/15/2022



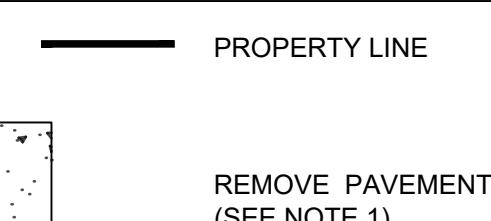
**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714



GENERAL NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
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4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

LEGEND



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ENLARGED DEMO AND EROSION CONTROL PLAN 1
SUBMISSION DATES
UDC AND LUA
07/15/2022
PROJECT NUMBER
2280028
SHEET NUMBER
C301



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07/15/2022

RENOVATION PLATO'S MADISON

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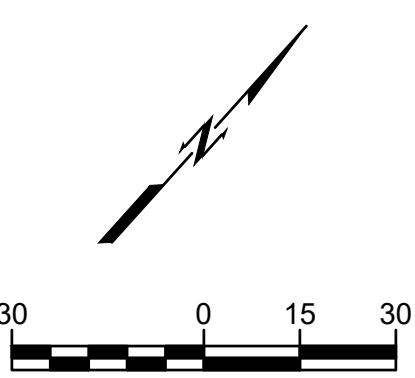
SUBMISSION DATES
UDC AND LUA

07/15/2022

SHEET TITLE
ENLARGED DEMO
AND EROSION
CONTROL PLAN 2

PROJECT NUMBER
2280028

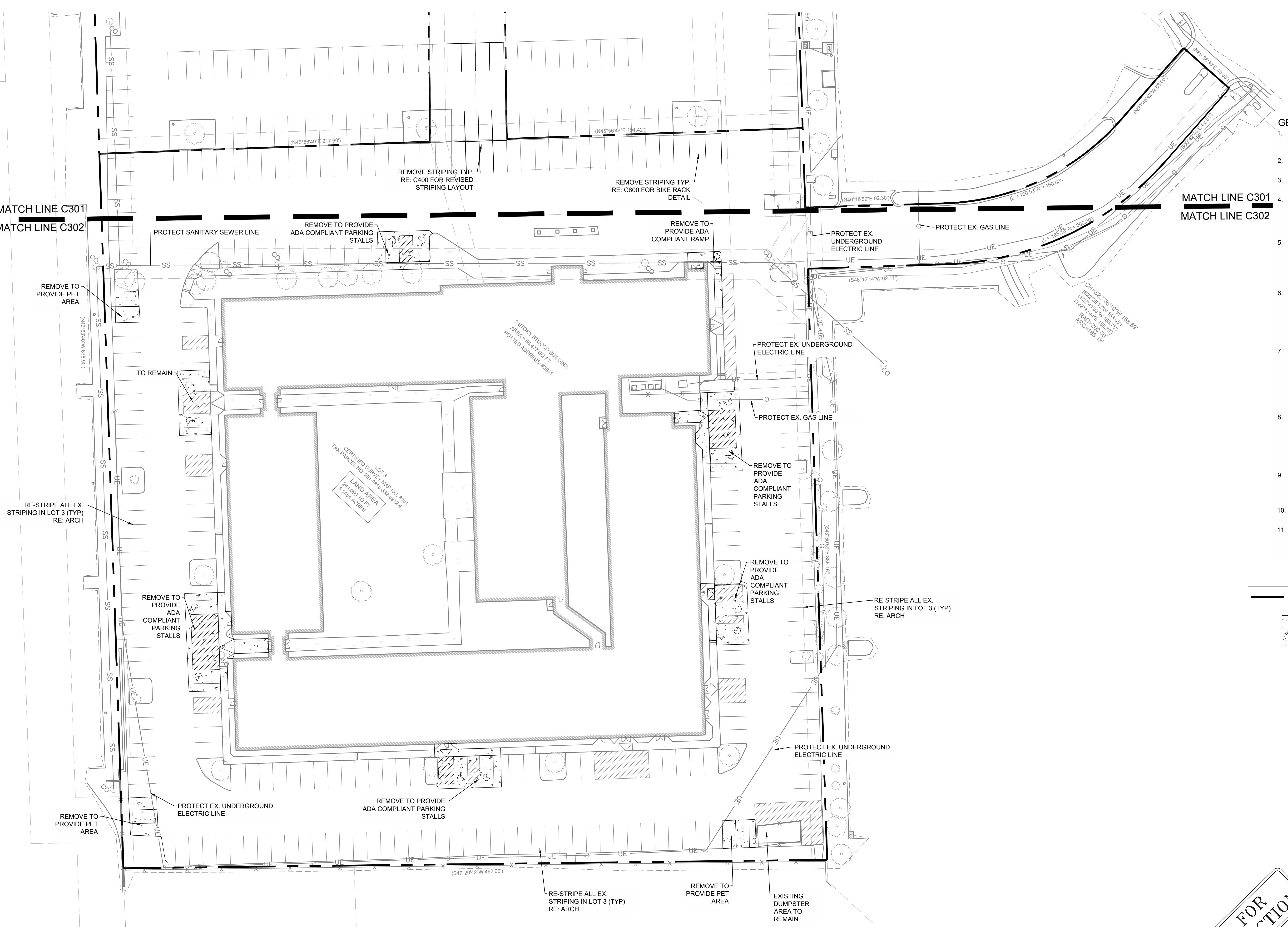
SHEET NUMBER
C302



GENERAL DEMOLITION NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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LEGEND

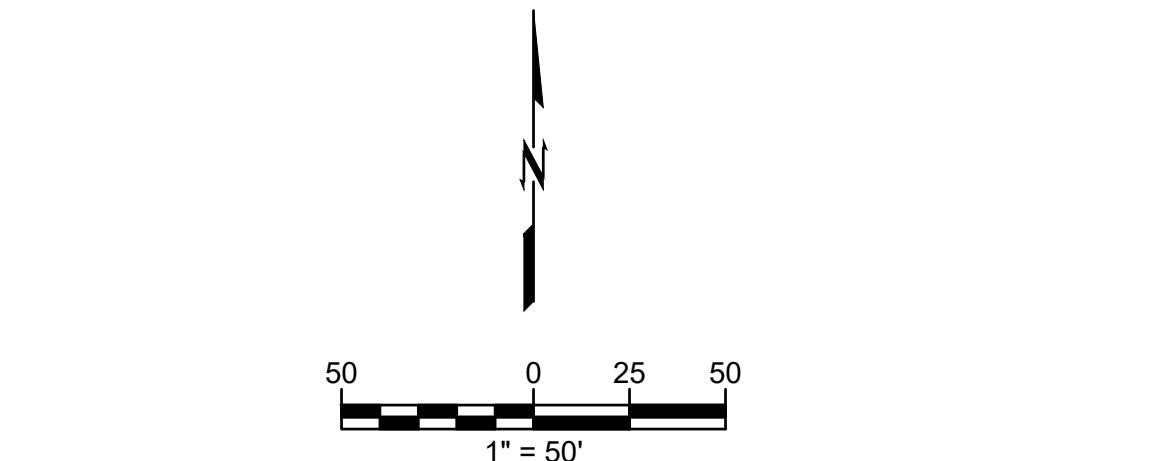
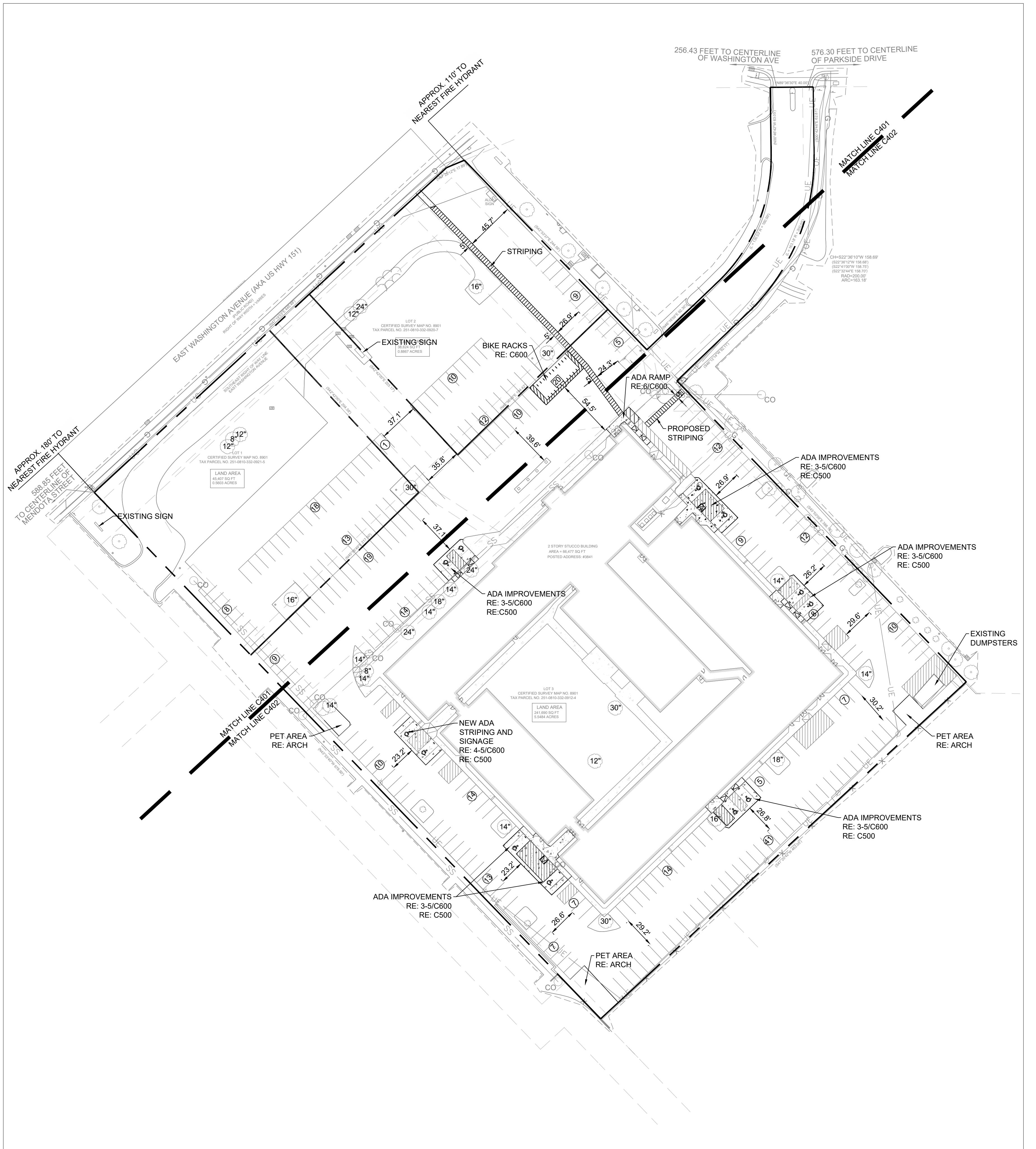


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LEGEND

- PROPERTY LINE
- PROP CONCRETE PAVEMENT
- # PARKING COUNT
- # NUMBER OF BICYCLE RACKS
- # TREE DIAMETER IN INCHES

EXISTING PARKING SUMMARY

LOT 1	
PROPOSED STANDARD PARKING	39
EXISTING STANDARD PARKING	39
TOTAL STANDARD PARKING CHANGE	0
LOT 2	
PROPOSED STANDARD PARKING	31
EXISTING STANDARD PARKING	31
TOTAL STANDARD PARKING CHANGE	0
LOT 3	
ACCESSIBLE	
PROPOSED ACCESSIBLE PARKING	12
EXISTING ACCESSIBLE PARKING	12
TOTAL ACCESSIBLE PARKING CHANGE	0
STANDARD	
PROPOSED STANDARD PARKING	215
EXISTING STANDARD PARKING	239
TOTAL STANDARD PARKING CHANGE	-24

PROPOSED BICYCLE PARKING SUMMARY

LOT 3	
PROVIDED - EXTERIOR	
2' BIKE RACKS	20
TOTAL BICYCLE SPACES PROVIDED	40
REQUIRED	
TOTAL BICYCLE SPACES REQUIRED: (1 PER DWELLING UNIT) (1 PER 10 UNITS FOR GUESTS)	171
NOTE: RE: ARCH PLANS FOR INDOOR BIKE RACK LOCATIONS	

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
- ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
- RADIi = 3'-00" U.N.O.

PROPOSED PARKING SUMMARY

LOT 1	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	39
TOTAL PARKING PROVIDED	39
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A
LOT 2	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	31
TOTAL PARKING PROVIDED	31
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A
LOT 3	
PROVIDED	
ACCESSIBLE PARKING	12
STANDARD PARKING (9' X 18')	215
TOTAL PARKING PROVIDED	227
REQUIRED	
MINIMUM STANDARD PARKING PER TABLE 281-2, NO MINIMUM REQUIRED FOR CC-T ZONED PARCELS	0
MAXIMUM STANDARD PARKING	387


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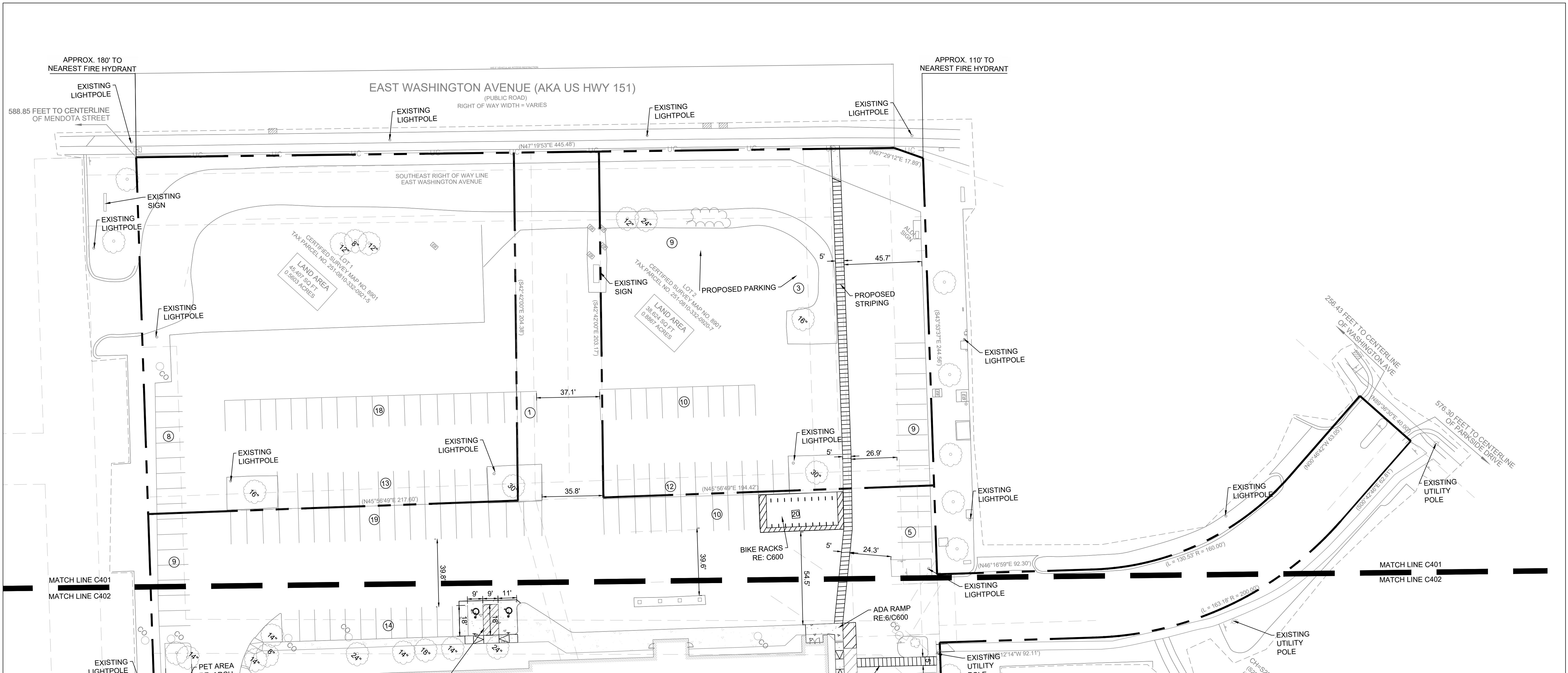
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**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714



GENERAL NOTES

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4. REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
5. ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
6. RADII = 3'-00" U.N.O.

30 0 15 30
1" = 30'

LEGEND

PROPERTY LINE

PROP. CONCRETE PAVEMENT

PARKING COUNT

NUMBER OF BICYCLE RACKS

TREE DIAMETER IN INCHES

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SUBMISSION DATES
UDC AND LUA

07/15/2022

SHEET TITLE
ENLARGED SITE
PLAN 1

PROJECT NUMBER
2280028

SHEET NUMBER
C401

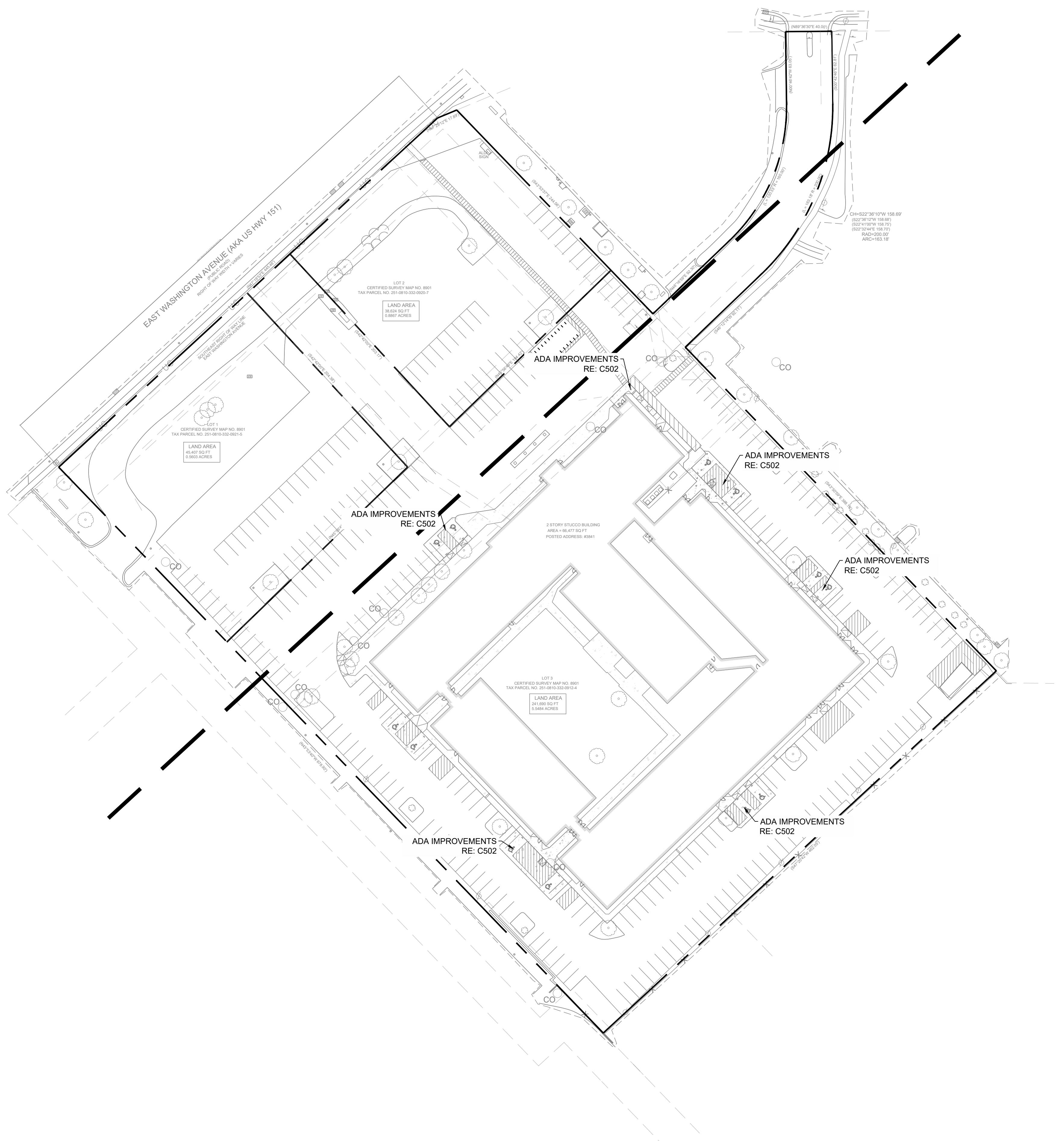


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**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA
07/15/2022

SHEET TITLE
OVERALL
GRADING PLAN

PROJECT NUMBER
2280028

SHEET NUMBER
C500

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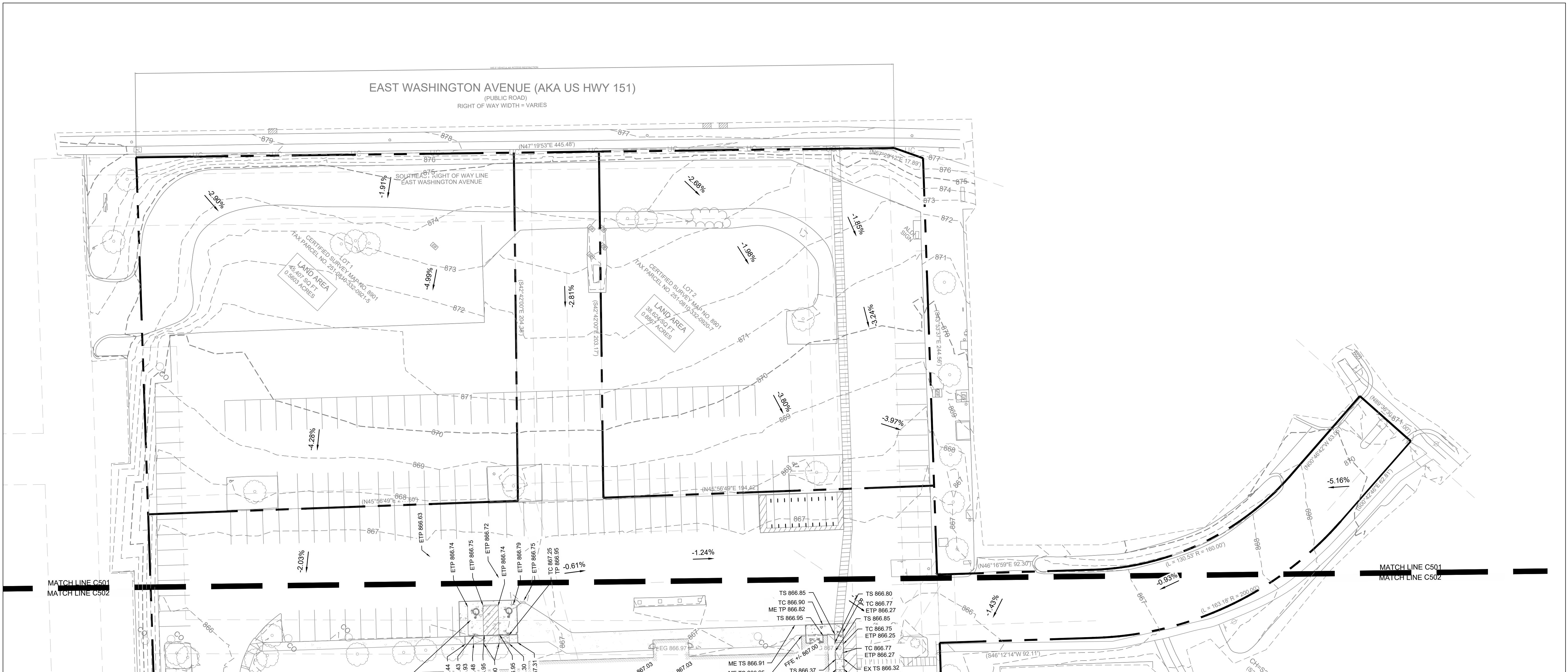
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suite 200

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SUBMISSION DATES

UDC AND LUA

07/15/2022

sheet title
ENLARGED
GRADING PLAN 1

PROJECT NUMBER

2280028

SHEET NUMBER

C501

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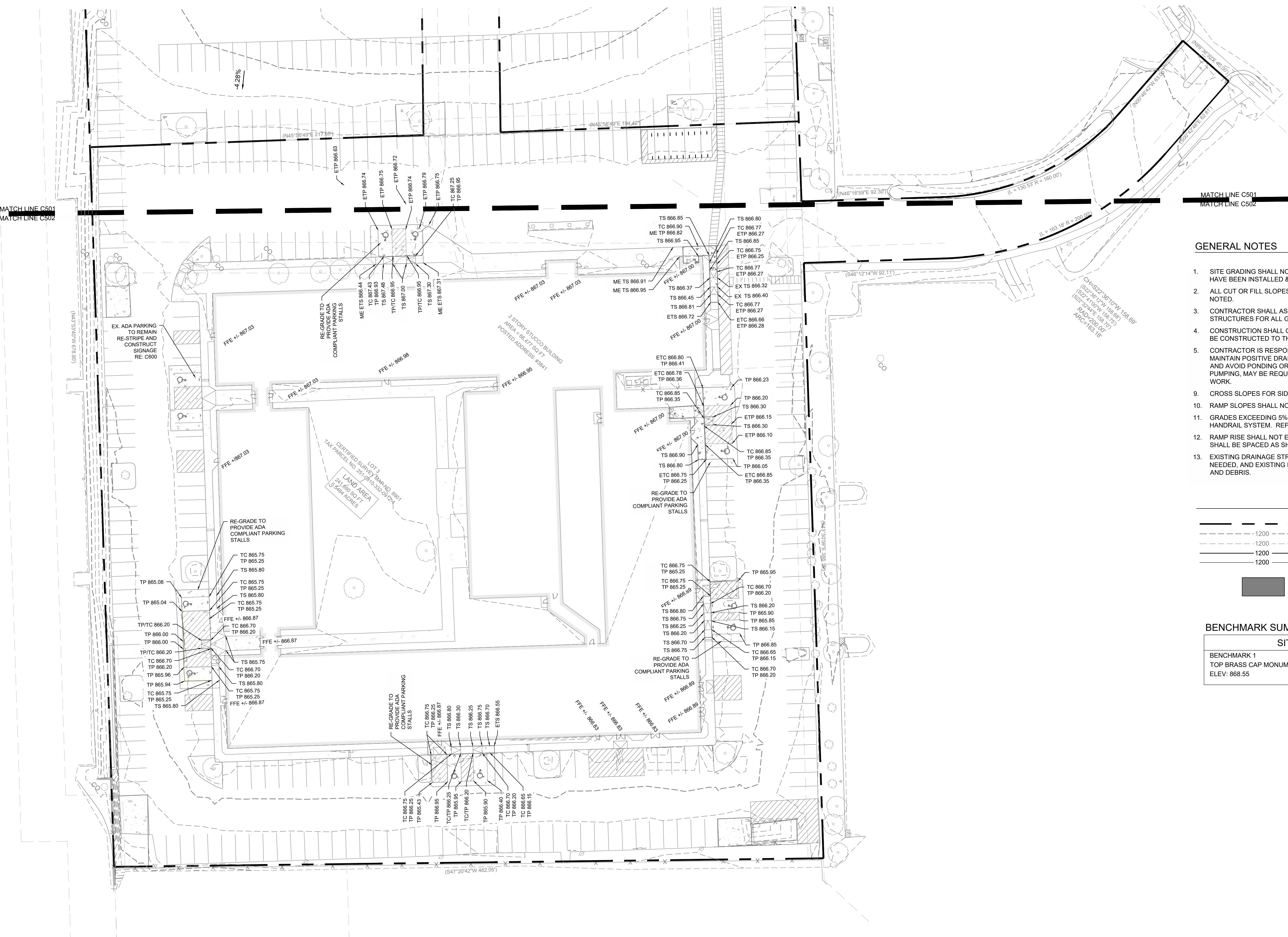
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GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY Dewatering, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
6. CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
7. RAMP SLOPES SHALL NOT EXCEED 1:12
8. GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE WITH REQUIRED HANDRAIL SYSTEM. REFERENCE ARCHITECT FOR HANDRAIL DETAILS.
9. RAMP RISE SHALL NOT EXCEED 30' WITHOUT REQUIRED LANDINGS. LANDINGS SHALL BE SPACED AS SHOWN ON PLANS.
10. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

PROPERTY LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MAJOR CONTOUR	
ACCESIBLE PATH TO BUILDING	

BENCHMARK SUMMARY:

SITE BENCHMARKS

BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR MAG NAIL IN CONCRETE	

ELEV: 868.55

ELEV: 870.39

ELEV: 870.35

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SUBMISSION DATES

UDC AND LUA

07/15/2022

SHEET TITLE
ENLARGED
GRADING PLAN 2

PROJECT NUMBER
2280028

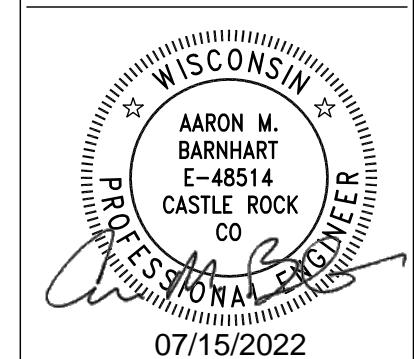
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C502



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**RENOVATION
PLATO'S MADISON**
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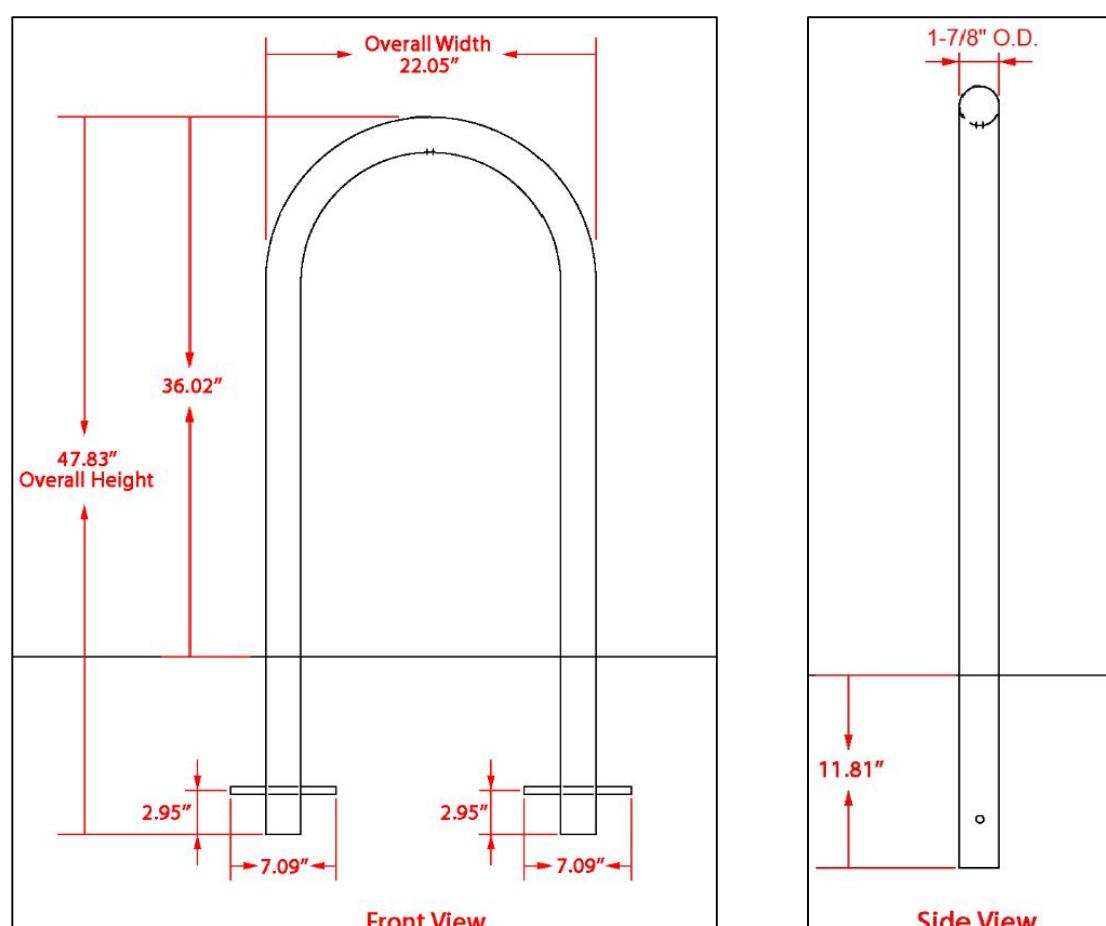
SUBMISSION DATES
UDC AND LUA

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SHEET TITLE
DETAILS

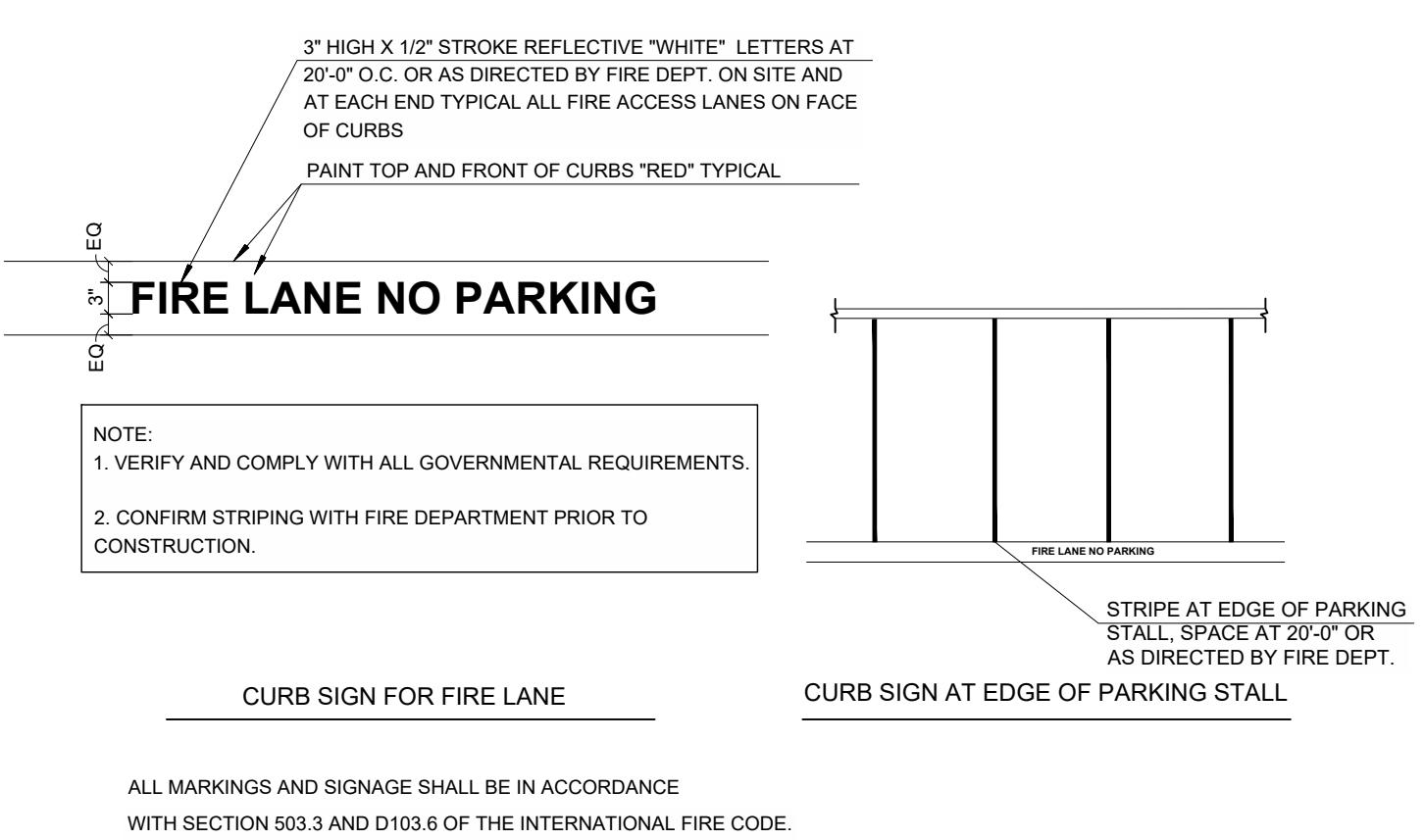
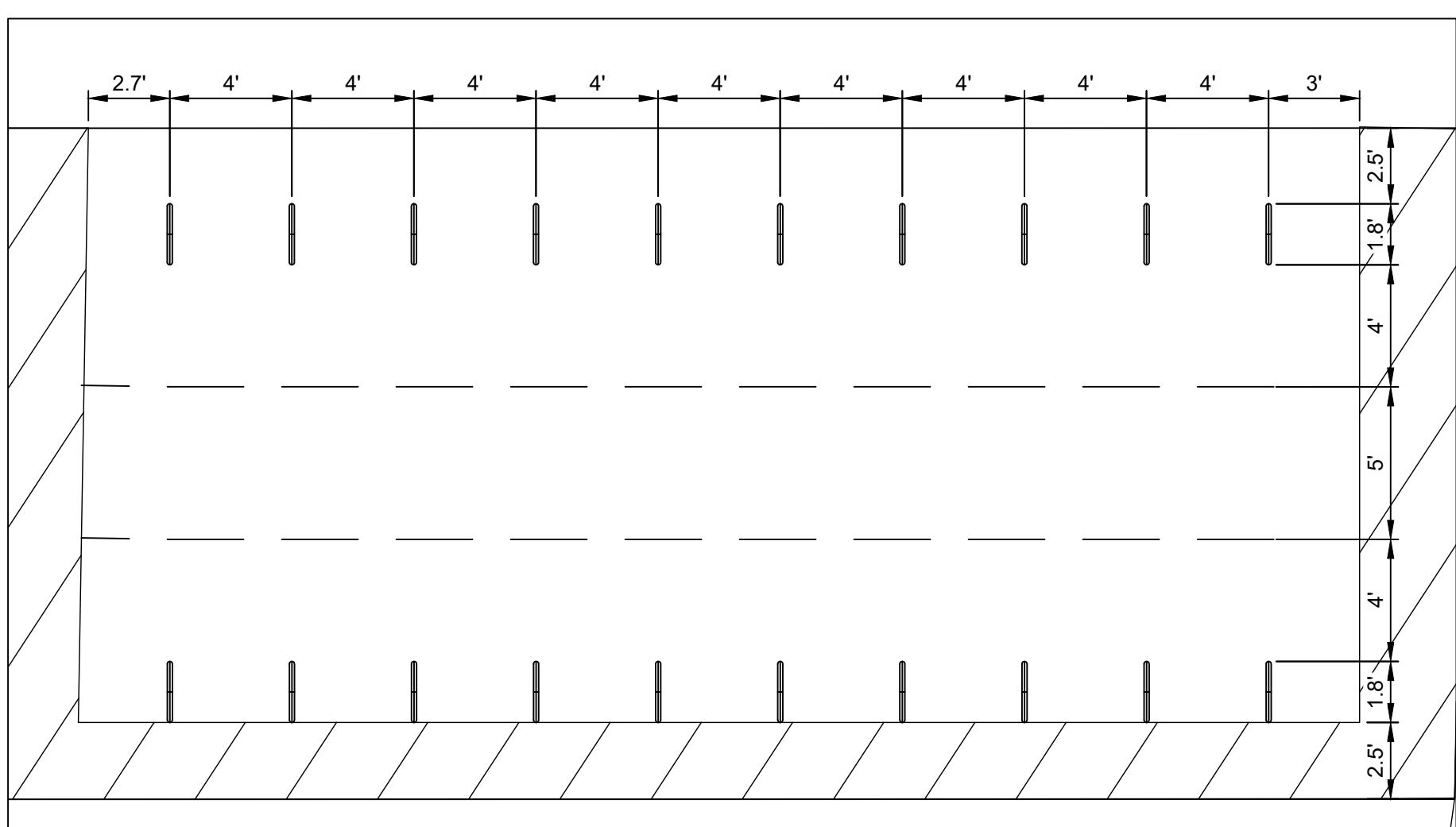
PROJECT NUMBER
2280028

SHEET NUMBER
C600



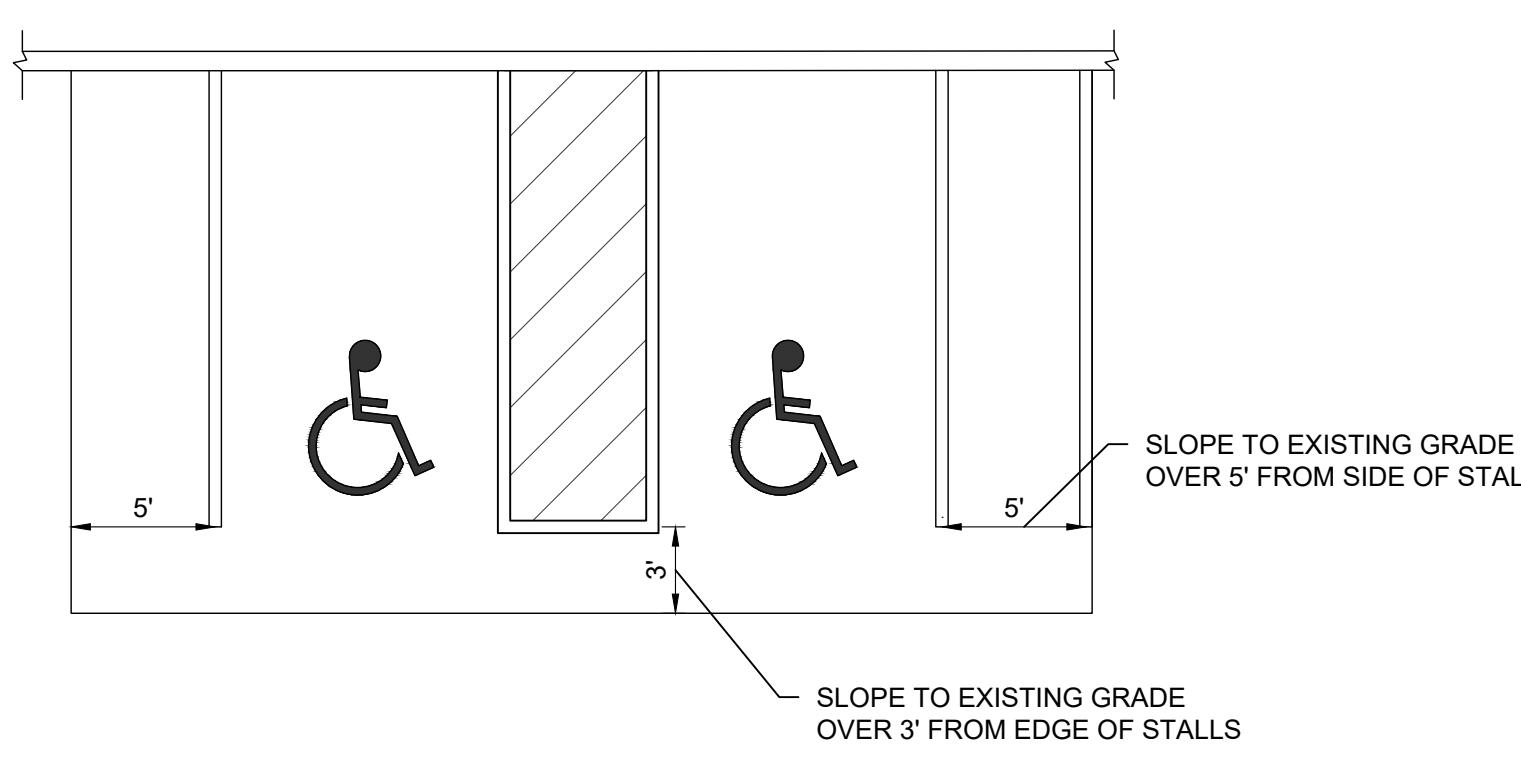
1 BIKE RACK

SCALE: NTS



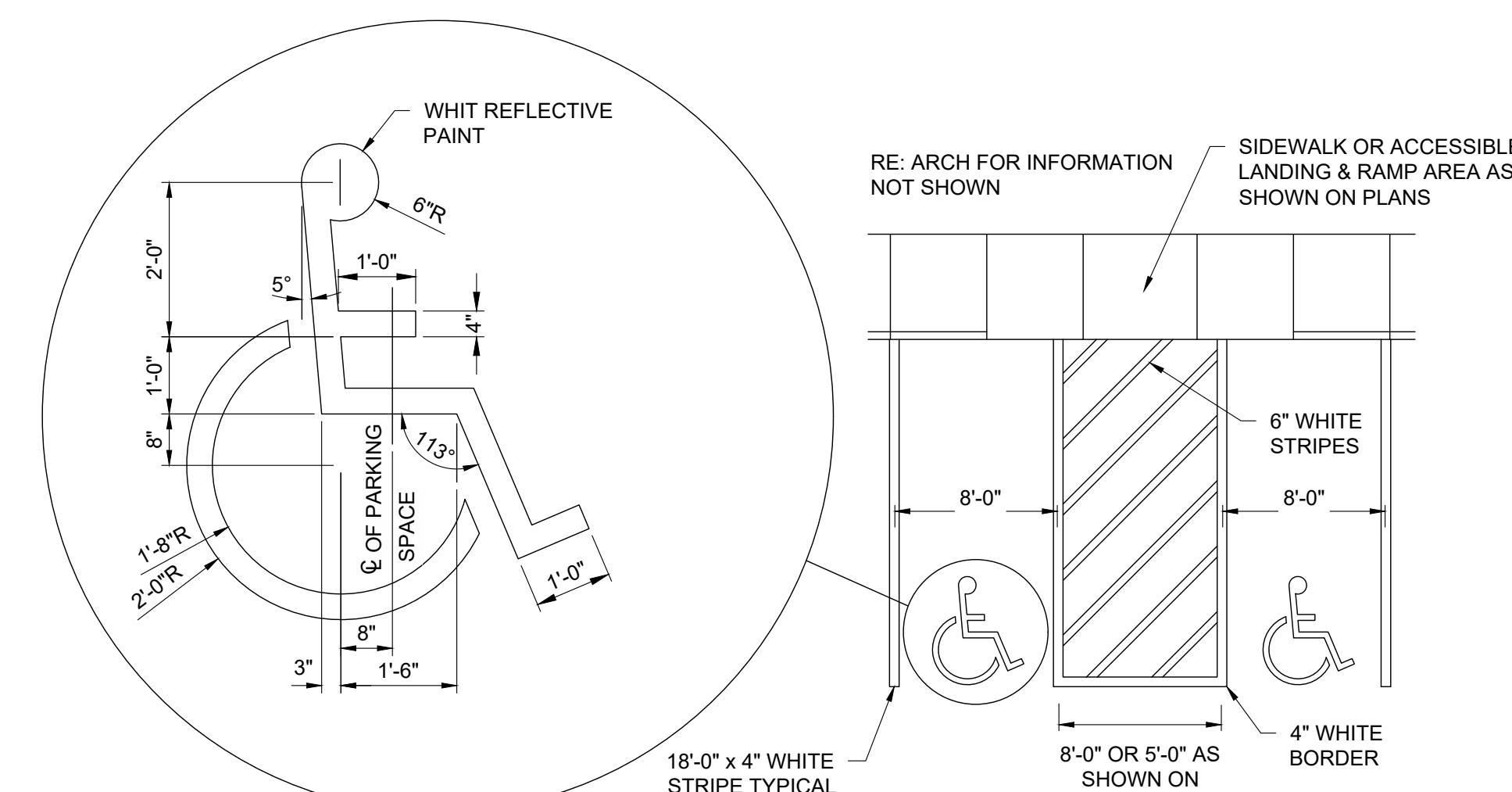
2 FIRE LANE STRIPING

SCALE: NTS



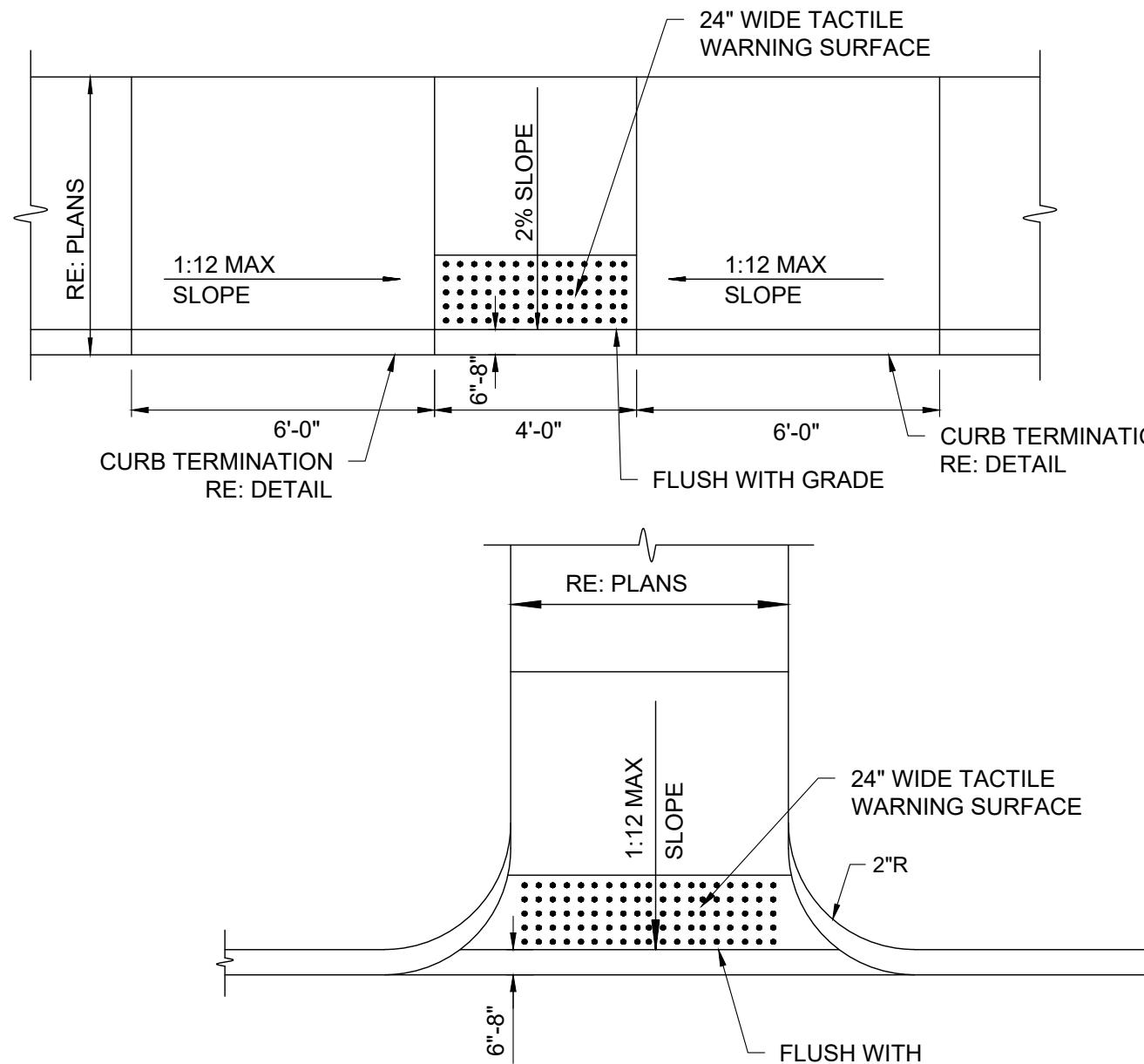
3 ADA STALL RAISE

SCALE: NTS



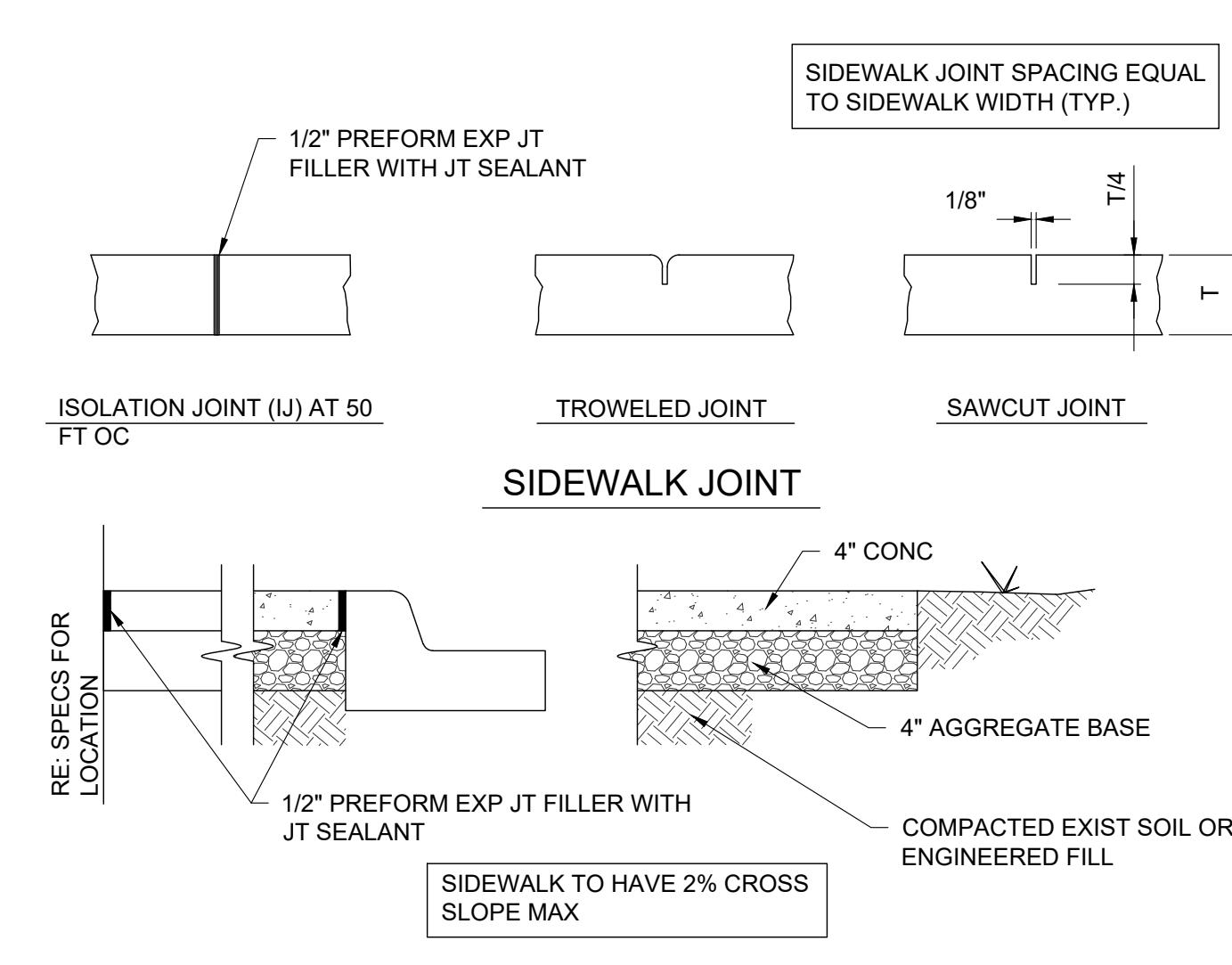
4 ACCESSIBLE STRIPING

SCALE: NTS



6 CURB RAMPS

SCALE: NTS



7 SIDEWALK

SCALE: NTS

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City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 3841 E Washington Ave, Madison, WI 53714

Contact Name & Phone #: Patrick Altendorf, 405-536-2026

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.

