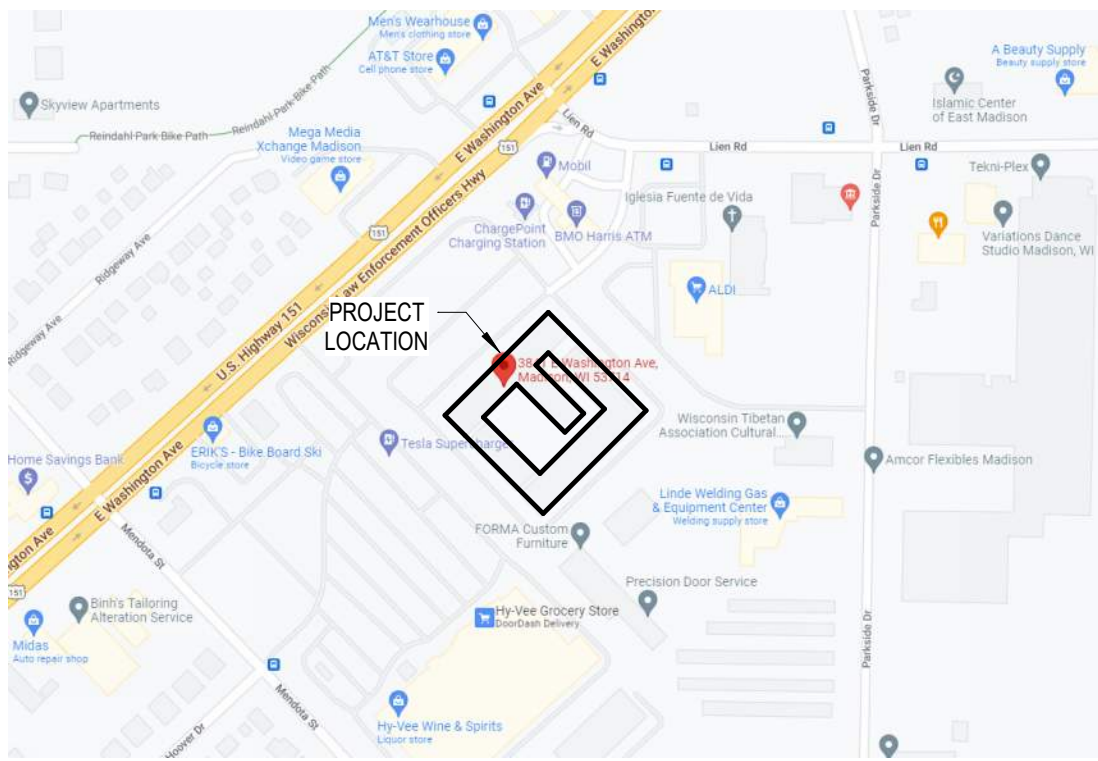


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## A1 LOCATION MAP

SCALE: NOT TO SCALE



## MATERIAL LEGEND

PLAN OR SECTION		RIGID INSULATION
ACOUSTIC TILE (SECTION)		
BATT INSULATION		SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT
BRICK		TILE (LARGE SCALE)
CARPET		WOOD BLOCKING
CONCRETE		WOOD MEMBER (CONTINUOUS)
CONCRETE MASONRY UNITS		WOOD STUDS, PARALLEL, FINISHED
CONCRETE, PLASTER CUT STONE, STUCCO		
EARTH COMPACTED/DISTURBED		
METAL		
METAL STUDS		
PLYWOOD (LARGE SIZE)		

## ABBREVIATIONS

A	ABOVE FINISH FLOOR
ACS PNL	ACCESS PANEL
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ACOUS PNL	ACOUSTICAL PANEL
ADMIN	ADMINISTRATION
APC	ACOUSTICAL PANEL CEILING
AWT	ACOUSTICAL WALL TREATMENT
ADJ	ADJUSTABLE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
L	ANGLE
ANOD	ANODIZE / ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
B	
BSMT	BASEMENT
BM	BEAM
BRG	BEARING
BRG PL	BEARING PLATE
BR	BEDROOM
BLW	BELOW
BTWN	BETWEEN
BITUM	BITUMINOUS
BD	BOARD
BF	BOTH FACES
BS	BOTH SIDES
BW	BOTH WAYS
BOT	BOTTOM
BRKT	BRACKET
BLDG	BUILDING
BUR	BUILT-UP ROOFING
C	
CAB	CABINET
CUH	CABINET UNIT HEATER
CPT	CARPET
CIP	CAST-IN-PLACE
CST	CAST STONE
CLG	CEILING
CEM	CEMENT
CTR	CENTER
CL	CENTER LINE
C TO C	CERAMIC TILE
CH BD	CHALKBOARD
C	CHANNEL
CLR	CLEAR
CLO	CLOSET
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CJ	CONSTRUCTION JOINT, CONTROL JOINT
D	
DL	DEAD LOAD
DEMO	DEMOLITION
DEPT	DEPARTMENT
D	DEPTH
DET	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION

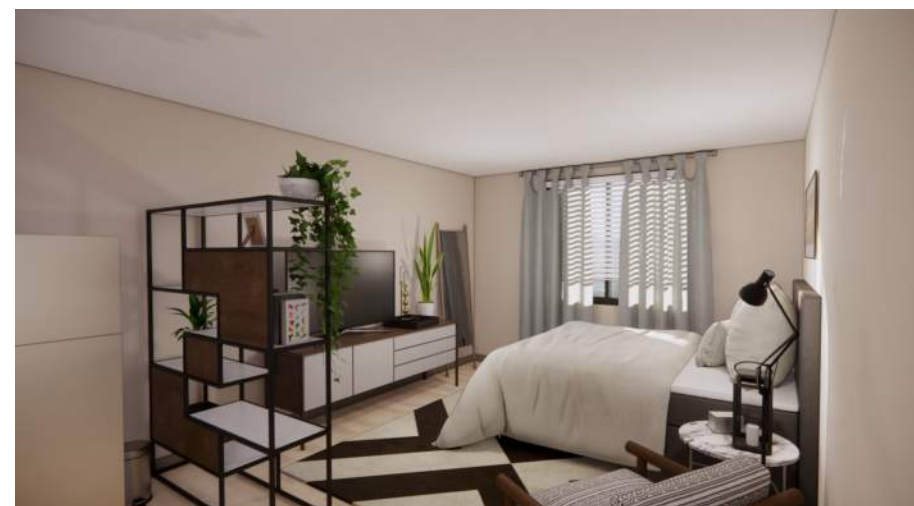
D	
DW	DISHWASHER
DR	DOOR
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
DF	DRINKING FOUNTAIN
E	
EA	EACH
EW	EACH WAY
ESMT	EASEMENT
E	EAST
ELEC	ELECTRIC, ELECTRICAL
EL	ELEVATION
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EXH FN	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
F	
FC BRK	FACE BRICK
FOF	FACE OF FINISH
FGL	FIBERGLASS
FIN	FINISH
FF EL	FINISH FLOOR ELEVATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIXT	FIXTURE
FLASH	FLASHING
FLR	FLOOR
FDO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FL	FLOW LINE
FT	FOOT
FTG	FOOTING
FDTN	FOUNDATION
FR	FRAME
FA	FRESH AIR
FURN	FURNACE
FURG	FURRING
FS	FULL SIZE
G	
GA	GAUGE
GALV STL	GALVANIZED STEEL
GC	GENERAL CONTRACTOR
GL	GLASS
GYP BD	GYPSUM BOARD
H	
HCP	HANDICAPPED
HDW	HARDWARE
HVAC	HARDWOOD HEATING, VENTILATION & AIR CONDITIONING
HT	HEIGHT
H	HIGH
HWY	HIGHWAY
HMW	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HORSEPOWER

H	
HW	HOT WATER
HYD	HYDRANT
I	
INCL	INCLUDED
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
J	
JAN	JANITOR
K	
KIT	KITCHEN
L	
LAB	LABORATORY
LAM	LAMINATE
LAU	LAUNDRY
LAV	LAVATORY
LWC	LIGHTWEIGHT CONCRETE
LCMU	LIGHTWEIGHT CONCRETE MASONRY
LF	LINEAR FOOT
LL	LIVE LOAD
LR	LIVING ROOM
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
M	
MAINT	MAINTENANCE
MH	MANHOLE
MFD	MANUFACTURED
MFR	MANUFACTURER
MFG	MANUFACTURING
MO	MASONRY OPENING
MBR	MASTER BEDROOM
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MW	MICROWAVE
MIN	MINIMUM, MINUTE
MISC	MISCELLANEOUS
MR	MOISTURE RESISTANT
MTD	MOUNTED
MULL	MULLION
N	
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O	
OFF	OFFICE
OC	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
O/O	OUT TO OUT
OA	OVERALL
ORD	OVERFLOW ROOF DRAIN
OH	OVERHANG
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/ OWNER INSTALLED

P	
PT	PAINT
PR	PAIR
PNL	PANEL
PTD	PAPER TOWEL DISPENSER
PBD	PARTICLE BOARD
PTN	PARTITION
PVG	PAVING
PERF	PERFORATED
PERIM	PERIMETER
PLAS	PLASTER
PERP	PERPENDICULAR
PLUM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PVC	POLYVINYL CHLORIDE
LB	POUND
PCF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PCC	PREFABRICATED CONCRETE
PREFAB	PREFABRICATE
PREFIN	PREFINISH
PROJ	PROJECT
PL	PROPERTY LINE
Q	
QT	QUARRY TILE
R	
REF	REFERENCE, REFRIGERATOR
RCP	REFLECTED CEILING PLAN
REINF	REINFORCE
REQD	REQUIRED
RESIL	RESILIENT
REST	RESTROOM
RA	RETURN AIR
REV	REVISION
R	RISER, RADIUS, RANGE
RD	ROOF DRAIN
RFG	ROOFING
RM	ROOM
RO	ROUGH OPENING
RS	ROUGH SAWN
S	
SNU	SANITARY NAPKIN DISPENSER
SNDU	SANITARY NAPKIN DISPOSAL UNIT
SS	SANITARY SEWER
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SV	SHEET VINYL
SHV	SHELVING
SHR	SHOWER
SIM	SIMILAR
SCWD	SOLID CORE WOOD
STC	SOUND TRANSMISSION CLASS
S	SOUTH
SPEC	SPECIFICATION
SB	SPLASH BLOCK
SF	SQUARE FOOT
SQ IN	SQUARE INCH
SQ YD	SQUARE YARD
SST	STAINLESS STEEL
STD	STANDARD
STL JST	STEEL JOIST
STOR	STORAGE
SD	STORM DRAIN
ST	STREET

S	
STRUCT	STRUCTURAL
SUSP CLG	SUSPENDED CEILING
SW	SWITCH
T	
TK BD	TACKBOARD
TEL	TELEPHONE
TV	TELEVISION
TMPD	TEMPERED
TER	TERRAZZO
THK	THICKNESS
TPD	TOILET PAPER HOLDER
T&G	TONGUE AND GROOVE
T&B	TOP AND BOTTOM
TOC	TOP OF CURB
TOF	TOP OF CONCRETE
TOM	TOP OF FOOTING
TOS	TOP OF MASONRY
TOW	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
TRANS	TRANSPARENT
*TF	TRANSPARENT WOOD FINISH
T	TREAD
TYP	TYPICAL
U	
UNFIN	UNFINISHED
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
V	
VR	VAPOR RETARDER
VNR	VENEER
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
VWF	VINYL WALL FABRIC
V	VOLT
W	
WSC	WAINSCOT
WC	WALL COVERING, WATER CLOSET
WH	WATER HEATER
WP	WATERPROOFING, WORKING POINT
WT	WEIGHT
WWF	WELDED WIRE FABRIC
W	WEST, WIDE
WDW	WINDOW
WGL	WIRED GLASS
W	WITH
W/O	WITHOUT
WD	WOOD

# Plato's



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## SHEET INDEX

### GENERAL

G-001	COVER SHEET
G-002	SITE CONTEXT INFORMATION
Z-101	FIRST FLOOR UNIT MIX PLAN
Z-102	SECOND FLOOR UNIT MIX PLAN

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C200	OVERALL SURVEY
C201	ENLARGED SURVEY 1
C202	ENLARGED SURVEY 2
C203	TOPOGRAPHIC SURVEY
C300	OVERALL DEMO AND EROSION CONTROL PLAN
C301	ENLARGED DEMO AND EROSION CONTROL PLAN 1
C302	ENLARGED DEMO AND EROSION CONTROL PLAN 2
C400	OVERALL SITE PLAN
C401	ENLARGED SITE PLAN 1
C402	ENLARGED SITE PLAN 2
C403	FIRE ACCESS PLAN
C500	OVERALL GRADING PLAN
C501	ENLARGED GRADING PLAN 1
C502	ENLARGED GRADING PLAN 2
C600	DETAILS
C601	DETAILS

### LANDSCAPE

L1	CITY LANDSCAPE PLAN
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### DEMOLITION

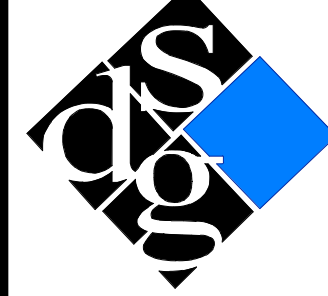
D-101	DEMO PLAN - OVERALL FIRST FLOOR
D-102	DEMO PLAN - OVERALL SECOND FLOOR

### ARCHITECTURAL

A-001	ARCHITECTURAL SITE PLAN
A-101	OVERALL FIRST FLOOR PLAN
A-102	OVERALL SECOND FLOOR PLAN
A-103	ROOF PLAN
A-201	OVERALL EXTERIOR ELEVATIONS
A-211	ENLARGED EXTERIOR ELEVATIONS I
A-212	ENLARGED EXTERIOR ELEVATIONS II
A-221	COURTYARD ELEVATIONS I
A-222	COURTYARD ELEVATIONS II
A-223	COURTYARD ELEVATIONS III
A-701	FINISH SCHEDULE

### PRESENTATION

AP-101	EXTERIOR RENDERINGS
AP-102	INTERIOR UNIT RENDERINGS



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phone: 405-231-3105

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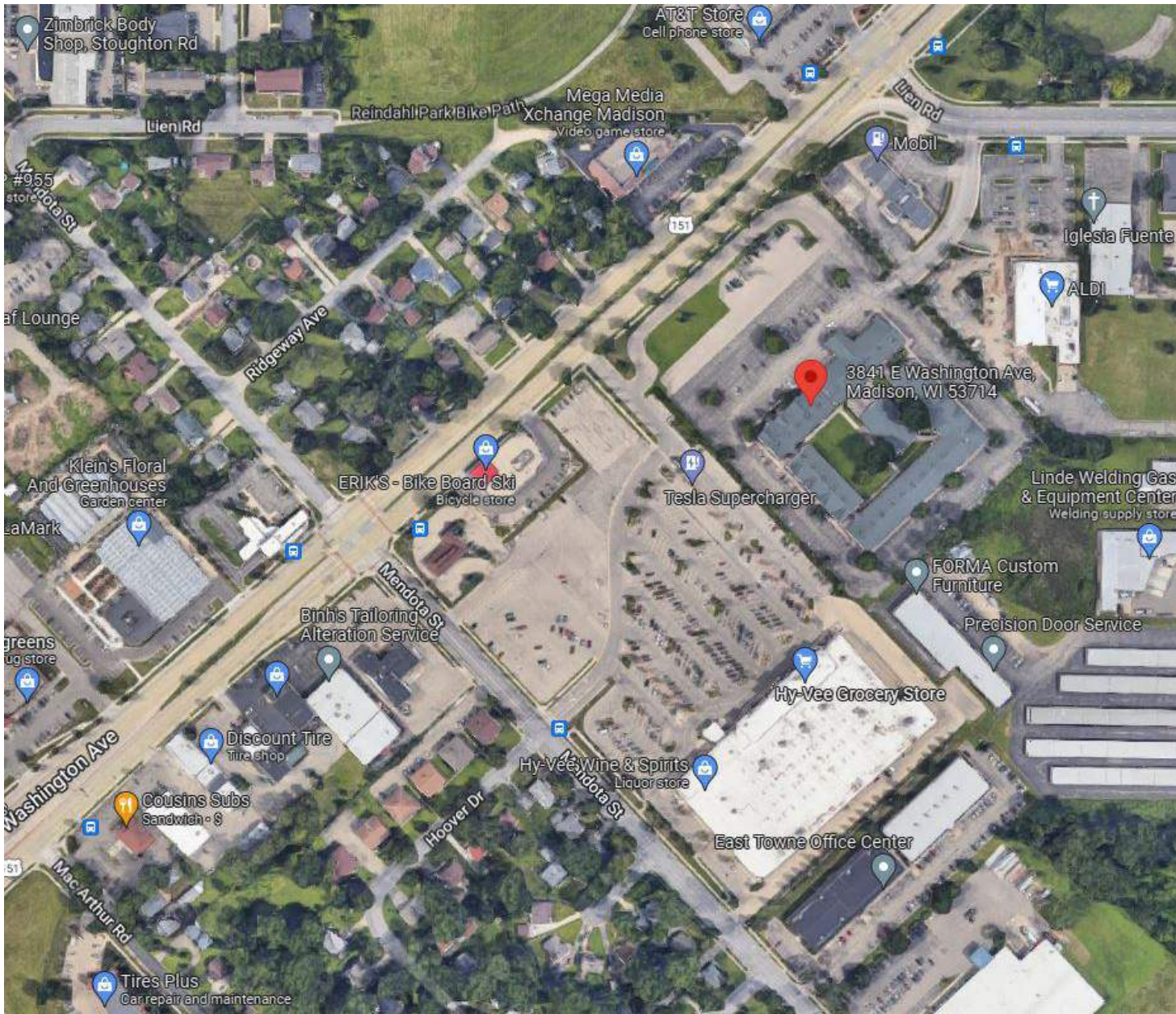
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COVER SHEET

PROJECT NUMBER  
0210377

SHEET NUMBER  
G-001



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**A3** MADISON SATELLITE SITE PLAN  
SCALE: 12" = 1'-0"



**A2** SIGNAGE - BUILDING - TO BE DEMOLISHED  
SCALE: 12" = 1'-0"



**A1** SIGNAGE - E EASHINGTON AVE - OFF STREET  
SCALE: 12" = 1'-0"



**B5** SIGNAGE - LIEN RD  
SCALE: 12" = 1'-0"



**B2** ALDI - 3925 LIEN RD  
SCALE: 12" = 1'-0"



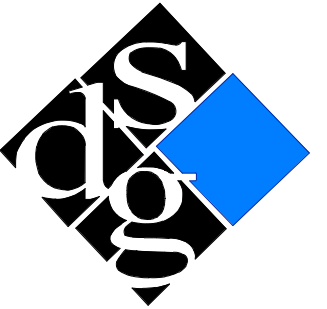
**B4** ERIK'S BIKES SKIS BOARDS - 3813 E WASHINGTON  
SCALE: 12" = 1'-0"



**B1** HY-VEE 3801 E WASHINGTON AVE  
SCALE: 12" = 1'-0"



**B3** MOBIL - 3859 E WASHINGTON  
SCALE: 12" = 1'-0"



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SHEET TITLE  
SITE CONTEXT  
INFORMATION

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**G-002**



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UNIT MIX LEGEND

FIRST FLOOR:90 UNITS

SECOND FLOOR:90 UNITS

**ONE BEDROOM**

FIRST FLOOR:5 UNITS

SECOND FLOOR:5 UNITS

190 TOTAL UNITS

**STAIR / ELEVATOR**

FIRST FLOOR:1,822 SF

SECOND FLOOR:3,066 SF

**AMENITY / PUBLIC SPACE**

FIRST FLOOR:16,162 SF

SECOND FLOOR:8,096 SF

**OFFICE SPACE**

FIRST FLOOR:955 SF

SECOND FLOOR:0 SF

**PUBLIC RESTROOMS**

FIRST FLOOR:525 SF

SECOND FLOOR:314 SF

**MECHANICAL / STORAGE**

FIRST FLOOR:1,935 SF

SECOND FLOOR:2,780 SF

UNIT TYPES AND QUANTITIES

FIRST FLOOR

STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

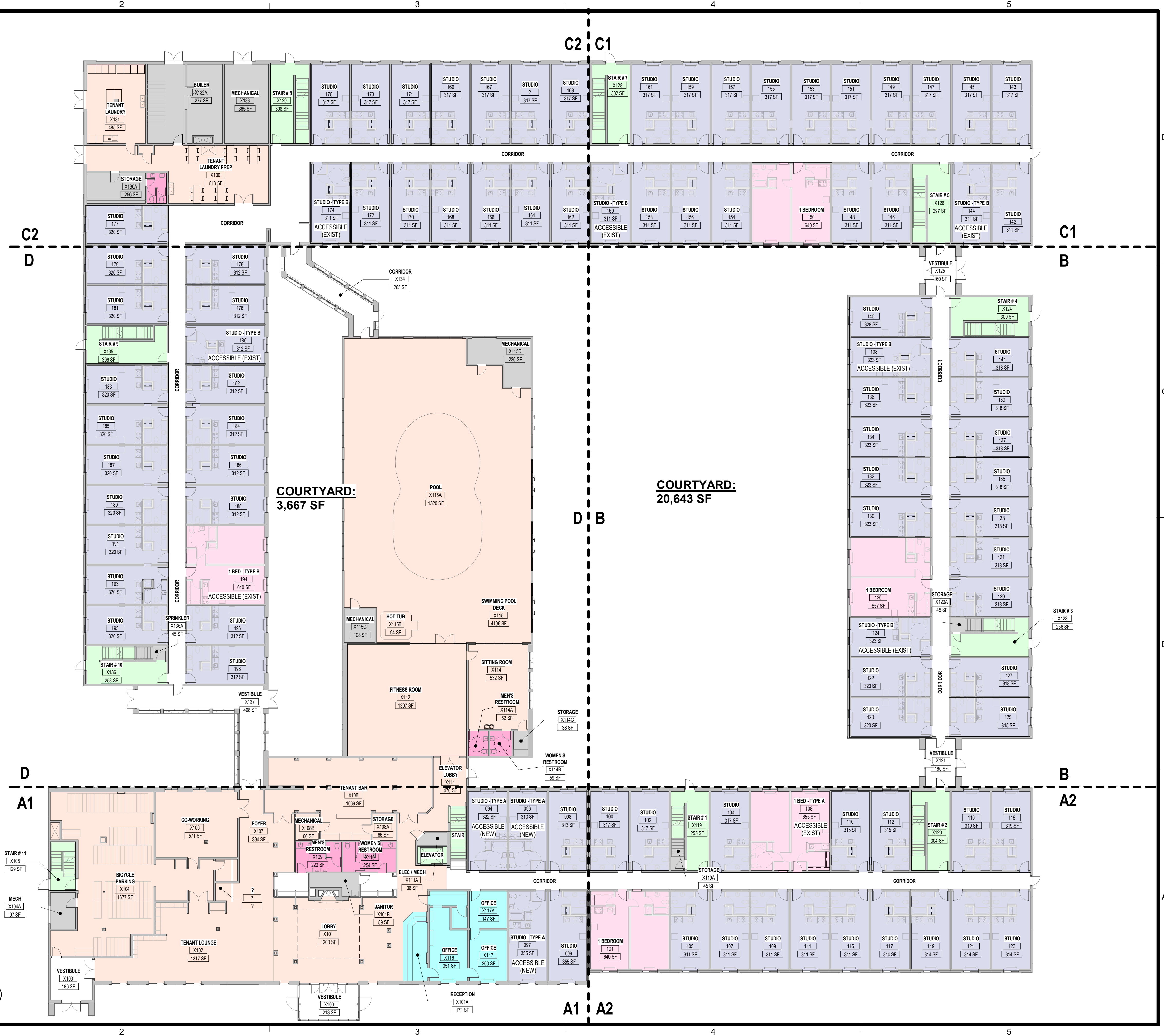
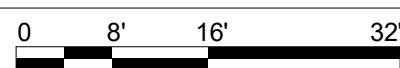
SECOND FLOOR

STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 FIRST FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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SHEET TITLE  
FIRST FLOOR UNIT MIX  
PLAN

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**Z-101**



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UNIT MIX LEGEND

<div></div>	<b>STUDIO</b>	
	FIRST FLOOR:	90 UNITS
	SECOND FLOOR:	90 UNITS
<div></div>	<b>ONE BEDROOM</b>	
	FIRST FLOOR:	5 UNITS
	SECOND FLOOR:	5 UNITS
190 TOTAL UNITS		
<div></div>	<b>STAIR / ELEVATOR</b>	
	FIRST FLOOR:	1,822 SF
	SECOND FLOOR:	3,066 SF
<div></div>	<b>AMENITY / PUBLIC SPACE</b>	
	FIRST FLOOR:	16,162 SF
	SECOND FLOOR:	8,096 SF
<div></div>	<b>OFFICE SPACE</b>	
	FIRST FLOOR:	955 SF
	SECOND FLOOR:	0 SF
<div></div>	<b>PUBLIC RESTROOMS</b>	
	FIRST FLOOR:	525 SF
	SECOND FLOOR:	314 SF
<div></div>	<b>MECHANICAL / STORAGE</b>	
	FIRST FLOOR:	1,935 SF
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UNIT TYPES AND QUANTITIES

FIRST FLOOR

STUDIO	81
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ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

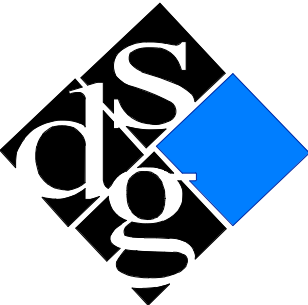
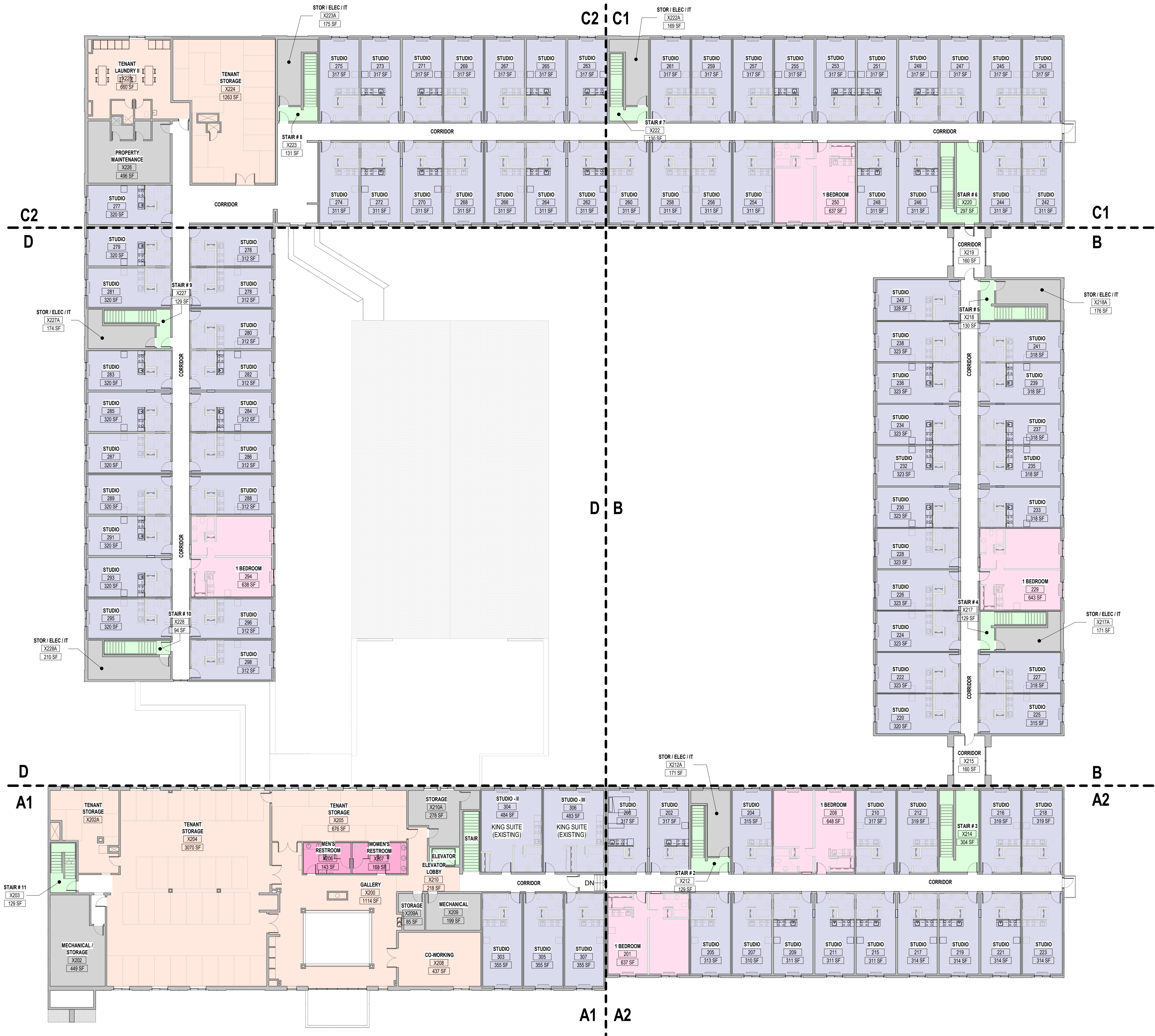
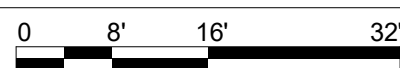
SECOND FLOOR

STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 SECOND FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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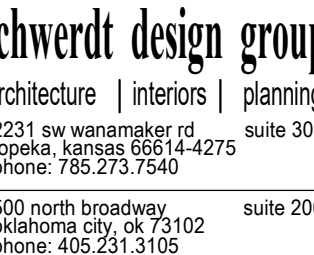
SHEET TITLE  
SECOND FLOOR UNIT MIX  
PLAN

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**Z-102**



1. GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
3. PROTECT EXISTING WORK TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ITEMS OR AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
4. REFERENCE MEP DRAWINGS FOR GENERAL LOCATIONS FOR FLOOR SLAB DEMOLITION REQUIRED FOR UNDERSLAB MEP WORK.
5. REMOVE WALL PAPER ON ALL WALLS.
6. BRACE ALL WALLS AND STRUCTURE AS REQUIRED WHILE PERFORMING THE WORK.
7. NOTIFY ARCHITECT AND OWNER IF EXCESSIVE WOOD ROT, RUST AND/OR DETERIORATION IS FOUND DURING CONSTRUCTION WHEN AREAS OF THE BUILDING ARE UNCOVERED.
8. REFERENCE MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES OR COMMENTS.
9. ALL HVAC, FIRE SPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
10. CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNDO.
11. CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
12. REPAIR AND PAINT ALL DOOR FRAMES.

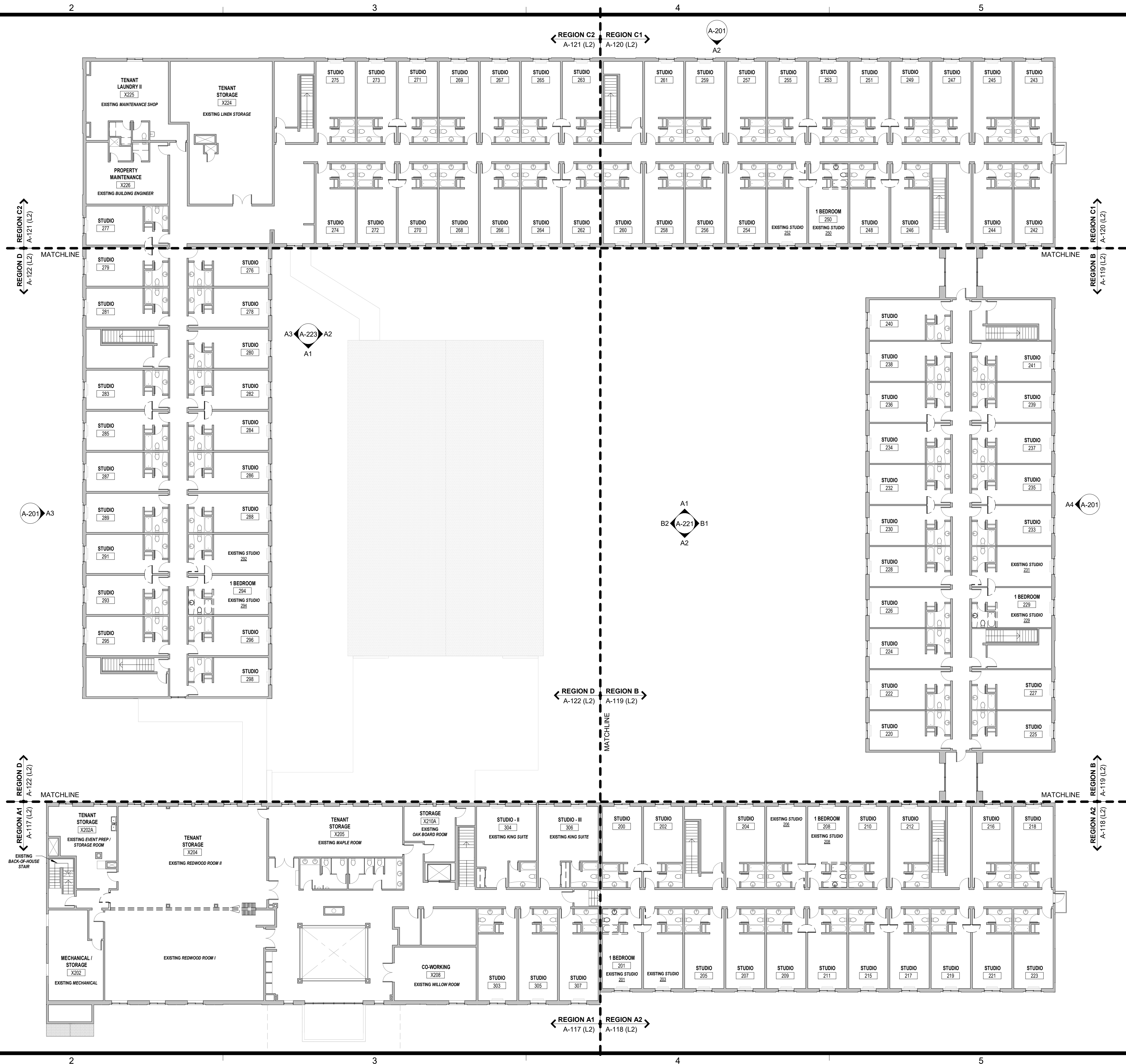


DATE: 07/15/2022

SHEET NUMBER  
**D-101**



1. GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
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10. CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNDO.
11. CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
12. REPAIR AND PAINT ALL DOOR FRAMES.



**A1 OVERALL SECOND FLOOR DEMO PLAN**  
SCALE: 1/16" = 1'-0" 0 4' 8' 16'



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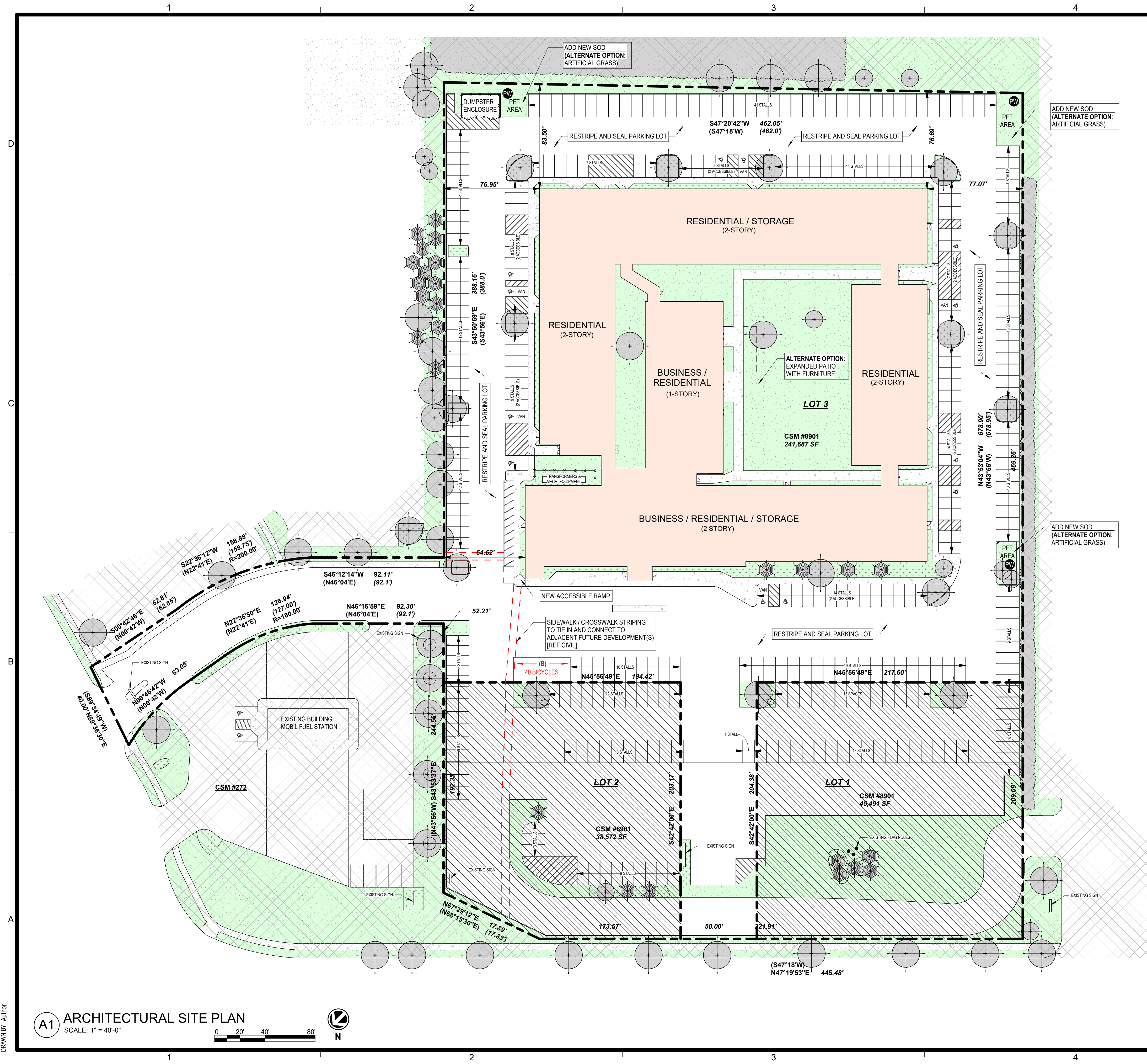
SHEET TITLE  
DEMO PLAN - OVERALL  
SECOND FLOOR

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**D-102**



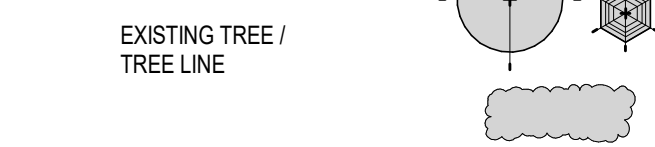
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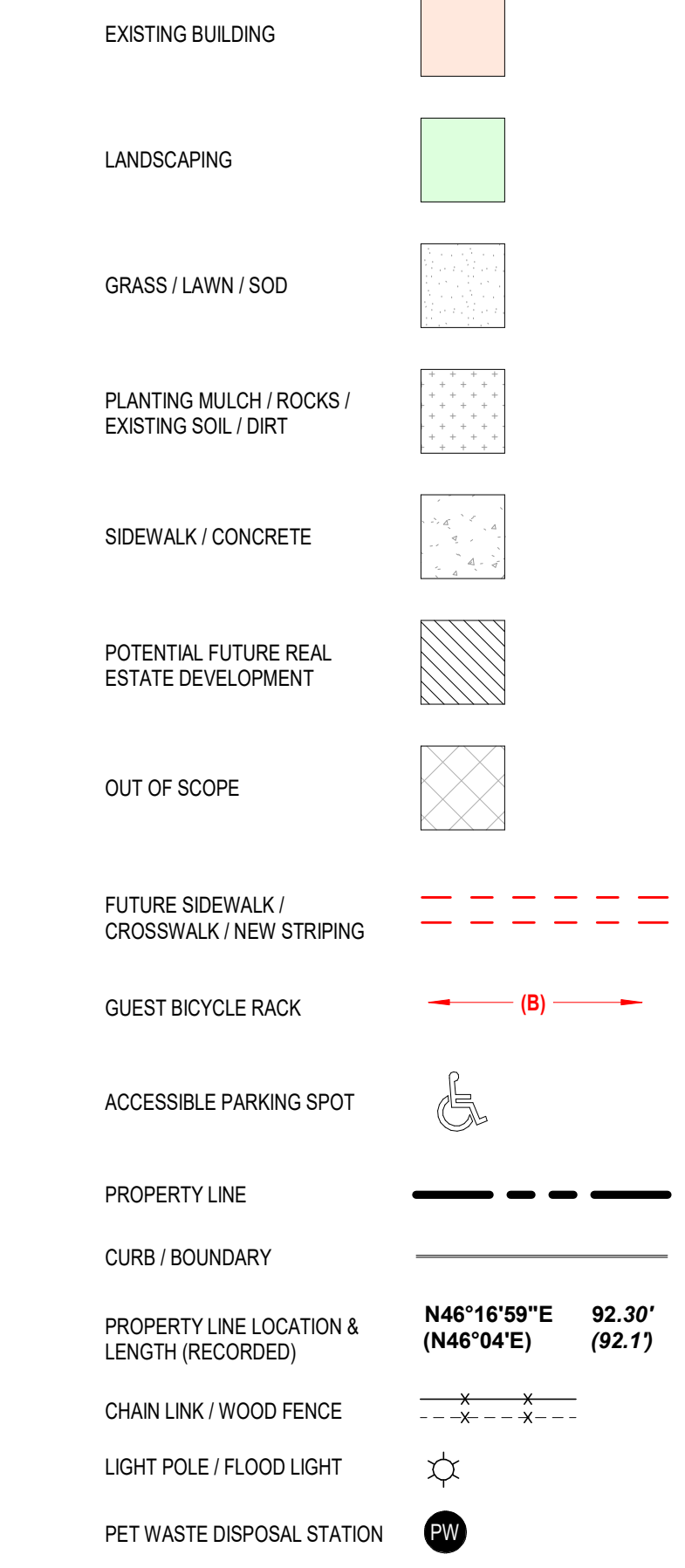
**A1** ARCHITECTURAL SITE PLAN  
SCALE: 1" = 40'-0"  
0 20' 40' 80'

## ARCHITECTURAL SITE PLAN

### LANDSCAPING



### SITE / SURVEY



### DATA

EXISTING BUILDING		RENOVATION	
• RESIDENTIAL - 197 GUEST ROOMS		• RESIDENTIAL:	STUDIOS 180
• MEETING ROOMS		• CO-WORKING	1-BEDROOMS 10
• FITNESS ROOM		• BICYCLE STORAGE	TOTAL 190
• GAME ROOM		• TENANT STORAGE	
• INDOOR POOL		• LOUNGES	
• KITCHEN		• FITNESS	
• BAR		• RECREATION	

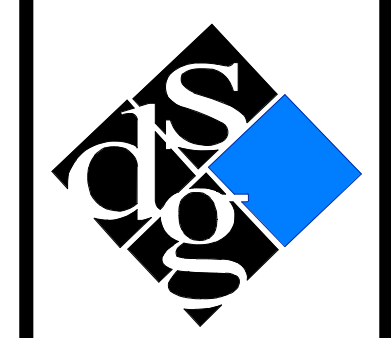
**PARKING**  
REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.14(13) & TABLE 281-2 FOR LOCAL PARKING REQUIREMENTS. CURRENTLY ZONED AS CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL).

EXISTING QTY	OVERALL	331 STALLS
LOT 3	239 STALLS	
NEW QTY	OVERALL	320 STALLS
LOT 3	228 STALLS	
REQUIRED	LOT 3	0 STALLS
PROVIDED	LOT 3 (TOTAL)	228 STALLS [COMPLIANT]

ACCESSIBLE PARKING	
REQUIRED:	IBC 1106.2 (2%) 5 STALLS
	VAN - IBC 1106.5 1 STALL
PROVIDED:	COMBINED: 12 STALLS TOTAL [COMPLIANT]
	VAN: 5 STALLS [COMPLIANT]

**BICYCLE PARKING**  
REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.14(11) & TABLE 281-3 FOR BICYCLE PARKING REQUIREMENTS.

REQUIRED	TENANT (1 PER UNIT); GUEST (1 PER 10 UNITS); ENCLOSED (MIN 90%) UN-ENCLOSED	190 STALLS 19 STALLS (MAX 100'-0" FROM ENTRANCE) 189 STALLS 20 STALLS
PROVIDED	TENANT: GUEST:	194 ENCLOSED STALLS [COMPLIANT] 40 UN-ENCLOSED STALLS (WITHIN 100'-0" OF ENTRANCE) [COMPLIANT]



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**DATE: 07/15/2022**

**RENOVATION**  
**PLATO'S MADISON, WI**  
3841 E WASHINGTON AVE, MADISON, WI 53714

**SUBMISSION DATES**  
**PROGRESS PRINT ONLY**

**SHEET TITLE**  
**ARCHITECTURAL SITE PLAN**

**PROJECT NUMBER**  
**0210377**

**SHEET NUMBER**  
**A-001**



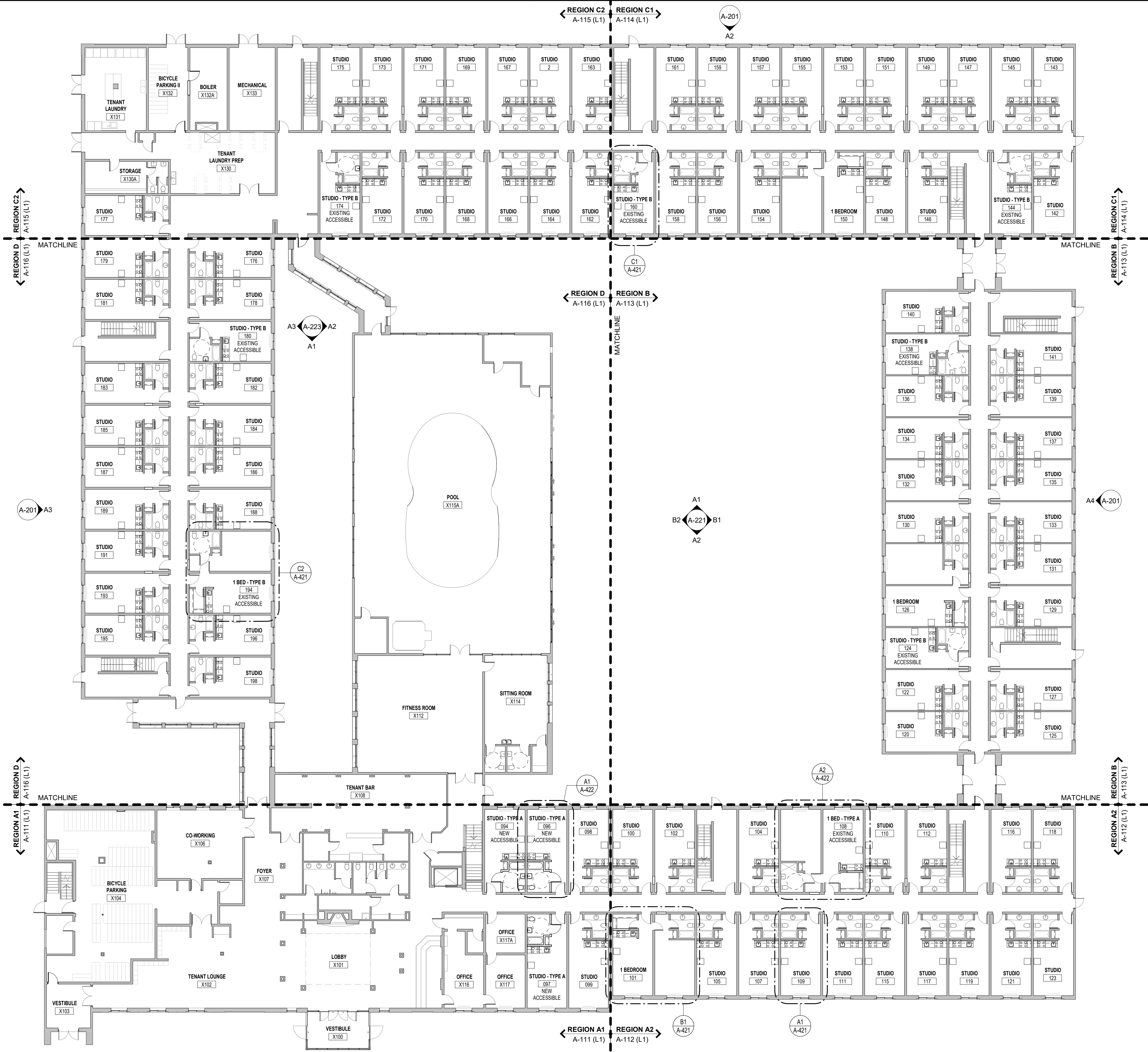
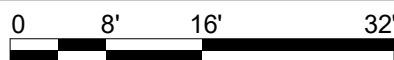
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GENERAL PLAN NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK, EQUIPMENT AND LABOR PERSONNEL.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
3. THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
5. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
6. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
10. ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION; ANY NEW FURNITURE IS OWNER PROVIDED.
11. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
12. ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
13. PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES.
14. EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS. DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT.
15. REPLACE DAMAGED ACCOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
16. PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
17. ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
18. ALL EXISTING PLUMBING IS TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS (REF DEMO PLANS FOR THE PLUMBING FIXTURES TO BE REMOVED).
19. GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF B1 / A-422 FOR TYPICAL ACCESSIBILITY STANDARDS).
20. ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-701 FOR FINISH SCHEDULE).
21. REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPS.
22. ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
23. ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 13").
24. ALL EXISTING STORAGE / ELECTRICAL / MECHANICAL CLOSETS ARE TO REMAIN AS IS UNO.
25. ROOFS TO BE CLEANED. ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, GUTTERS AND DOWNSPOUTS AS NECESSARY.
26. OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 19 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI 117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
27. PREPARE NEW PET AREAS AND PLACE DOWN NEW SOD IF NECESSARY. INSTALL NEW PET WASTE DISPOSAL STATIONS (REF A-001 FOR LOCATIONS).
28. CAMERAS TO REMAIN AS IS. PROTECT / COVER CAMERAS DURING PAINTING AND ANY DEMOLITION OR NEW CONSTRUCTION.
29. REVIEW ANY EXISTING FIRE EXTINGUISHER CABINETS FOR RUST, FUNCTIONALITY AND DEBRIS. CLEAN AND REPAIR / REPLACE AS NEEDED.
30. ALL EXTERIOR COLUMNS TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT.
31. CLEAN ALL UNIT CEILINGS AND SOFFITS. CONDITIONS ARE TO REMAIN AS IS UNLESS DAMAGED OR IN NEED OF REPAIR.
32. FIRE-SEAL ALL MEP PENETRATIONS THROUGH EXPOSED RATED WALL AND FLOOR ASSEMBLIES.
33. REPLACE PTACS AS NECESSARY (REF MEP).
34. THE TERMS "ACCESSIBLE" AND "ADA (AMERICANS WITH DISABILITIES ACT)" ARE USED INTERCHANGEABLY THROUGHOUT; HOWEVER, 2009 ANSI 117.1 IS STILL THE BASIS FOR ALL ACCESSIBILITY STANDARDS EMPLOYED THEREIN.
35. RESTRIPE AND SEAL EXISTING PARKING LOT; REF SITE PLAN.
36. ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET.

A1 OVERALL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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RENOVATION  
PLATO'S MADISON, WI  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
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SHEET TITLE  
OVERALL FIRST FLOOR  
PLAN

PROJECT NUMBER  
0210377

SHEET NUMBER  
A-101



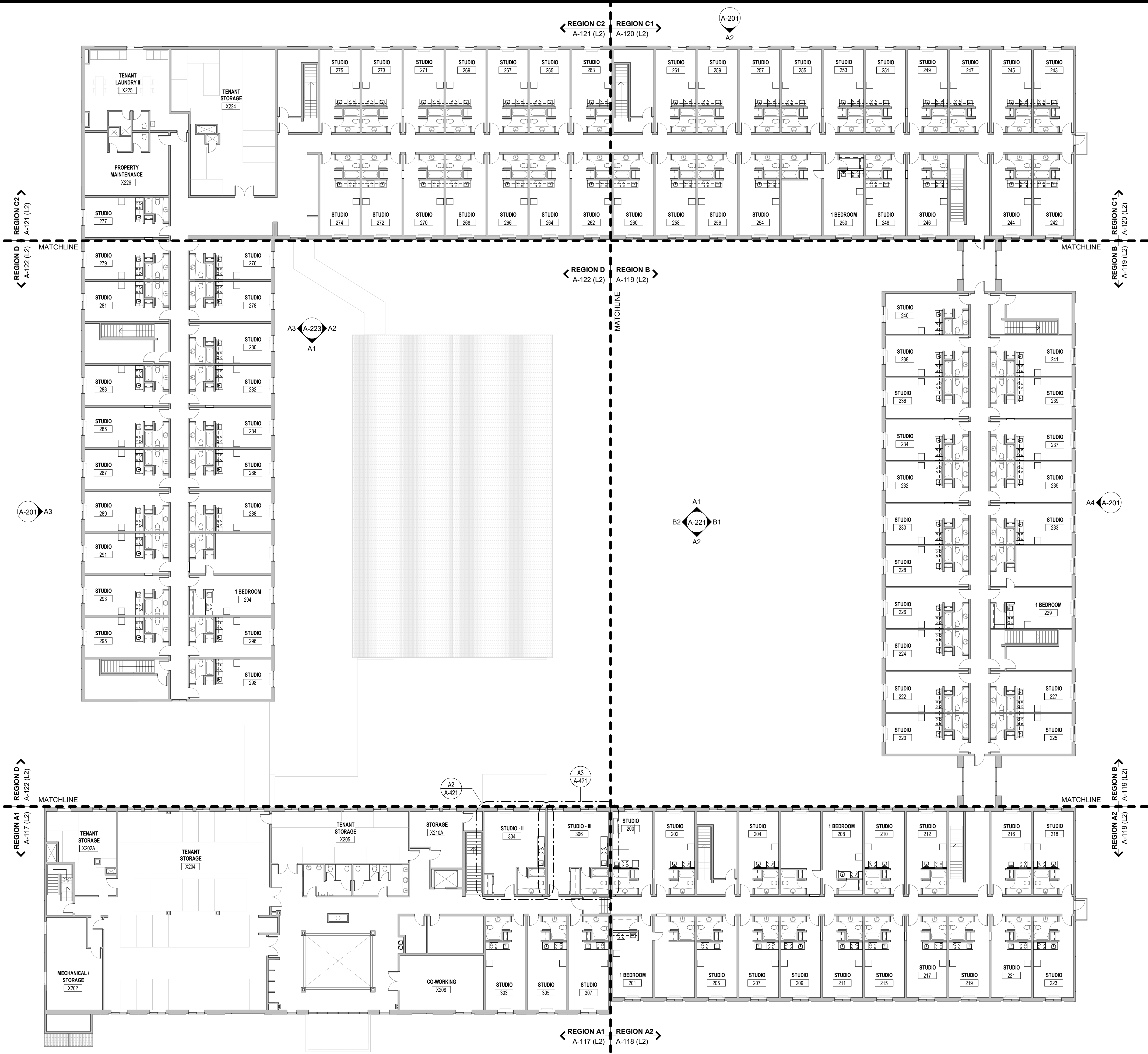
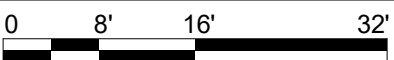
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GENERAL PLAN NOTES

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29. REPLACE PTACS AS NECESSARY (REF MEP).
30. THE TERMS "ACCESSIBLE" AND "ADA (AMERICANS WITH DISABILITIES ACT)" ARE USED INTERCHANGEABLY THROUGHOUT; HOWEVER, 2009 ANSI 117.1 IS STILL THE BASIS FOR ALL ACCESSIBILITY STANDARDS EMPLOYED THEREIN.
31. RESTRIPE AND SEAL EXISTING PARKING LOT; REF SITE PLAN.
32. ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET.

A1 OVERALL SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"





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## KEYED EXTERIOR NOTES

(ALSO REFER TO GENERAL NOTES ON THE OVERALL FLOOR PLANS)

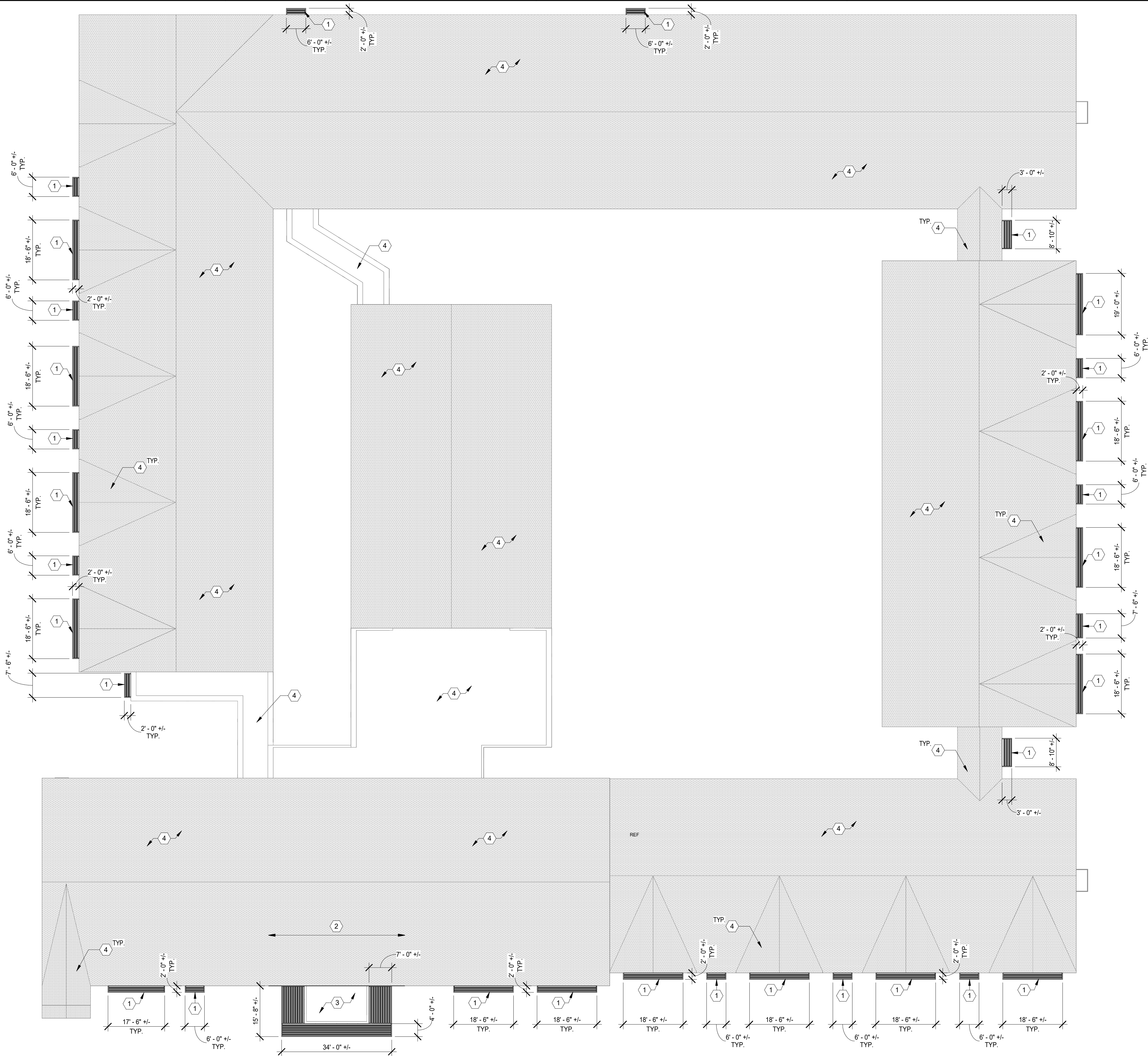
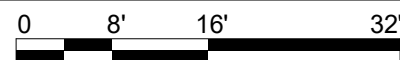
- NEW HORIZONTAL METAL CANOPY / AWNING. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
- PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
- ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.

## ROOF LEGEND

- ASPHALT SHINGLE ROOF; EXISTING
- EXISTING FLAT ROOF TO REMAIN; GRAVEL ON MEMBRANE
- NEW METAL CANOPY / AWNING

## A1 OVERALL ROOF PLAN

SCALE: 1/16" = 1'-0"



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RENOVATION  
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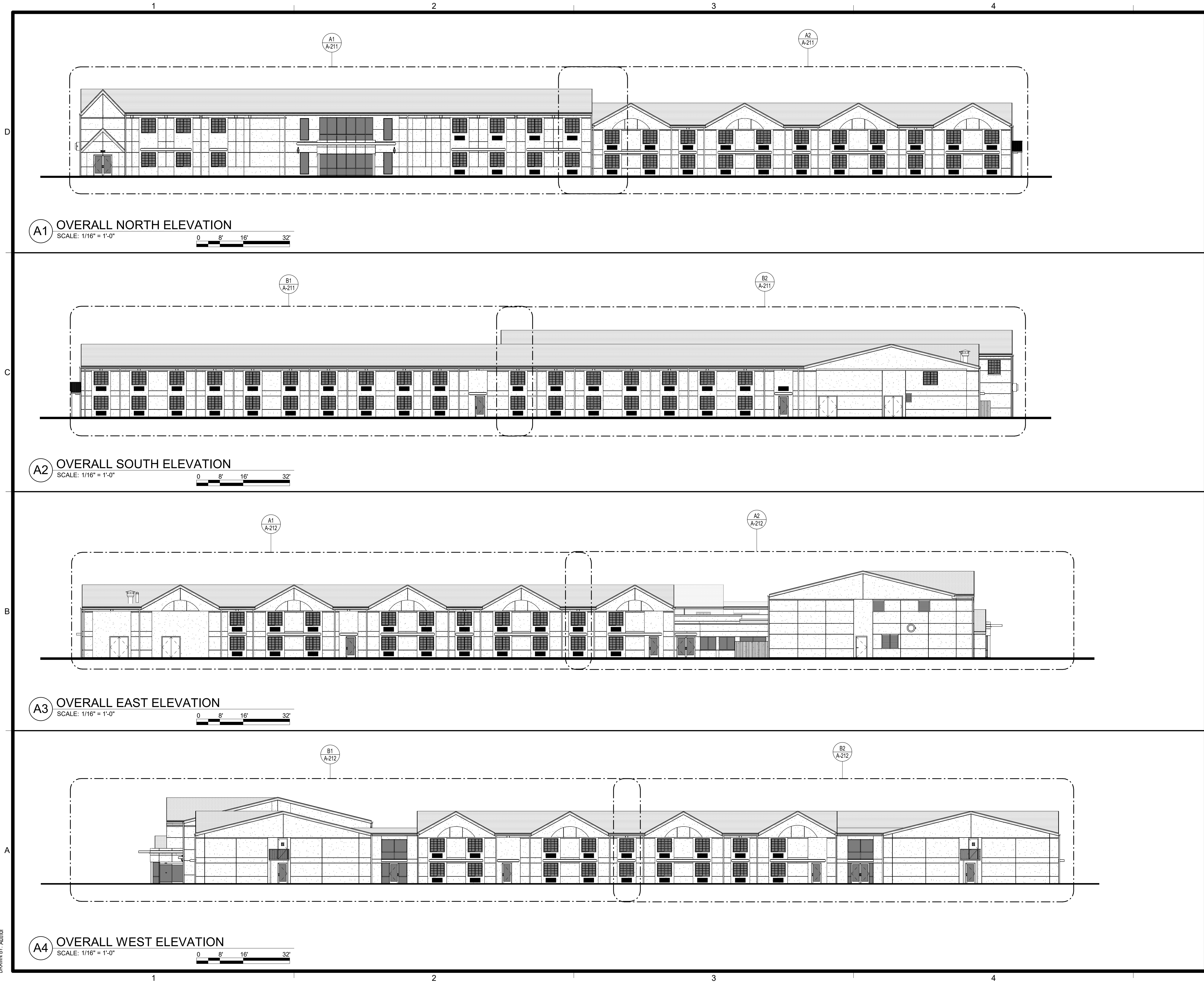
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ROOF PLAN

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**A-103**



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- EXTERIOR ELEVATION NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
  - DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES INCLUDED ARE FOR REFERENCE ONLY.
  - REPAIR / REPLACE ANY DAMAGED EXTERIOR MATERIALS AND ELEMENTS AS NECESSARY; ANYTHING REPAIRED OR REPLACED SHALL MATCH THE PROPERTIES (TEXTURE, MATERIAL, ETC.) OF THE EXISTING / ADJACENT ONES UNO.
  - PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
  - ALL EXTERIOR METALLIC ELEMENTS (GUTTERS, DOWNSPOUTS, COPINGS, FLASHING, RAILINGS, BALLUSTERS, ETC.) AND STRUCTURAL ELEMENTS (SLAB / FLOOR EDGES, COLUMNS, ETC.) SHALL BE PAINTED WITH EPT-3 UNO.
  - PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
  - ROOF FASCIAS AND EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-2 UNO.
  - ALL PTAC GRILLES AND ALL OTHER MECHANICAL GRILLES / LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO.
  - ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.
  - GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

- EXTERIOR ELEVATION LEGEND**
- EIFS / STUCCO
  - FIBER CEMENT
  - BRICK
  - ASPAHLT SHINGLES
  - METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
  - PTAC GRILLE
  - ELEVATION SECTION CUT THROUGH BUILDING

- EXTERIOR PAINT COLOR LEGEND**
- EPT-1** WALL PAINT: MAIN  
SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
  - EPT-2** WALL PAINT: ACCENT, FASCIAS  
SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
  - EPT-3** PAINT: METALS / STRUCTURE  
SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

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oklahoma city, ok 73102  
phone: 405.231.3105

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**RENOVATION**  
**PLATO'S MADISON, WI**  
3841 E WASHINGTON AVE, MADISON, WI 53714

**SUBMISSION DATES**  
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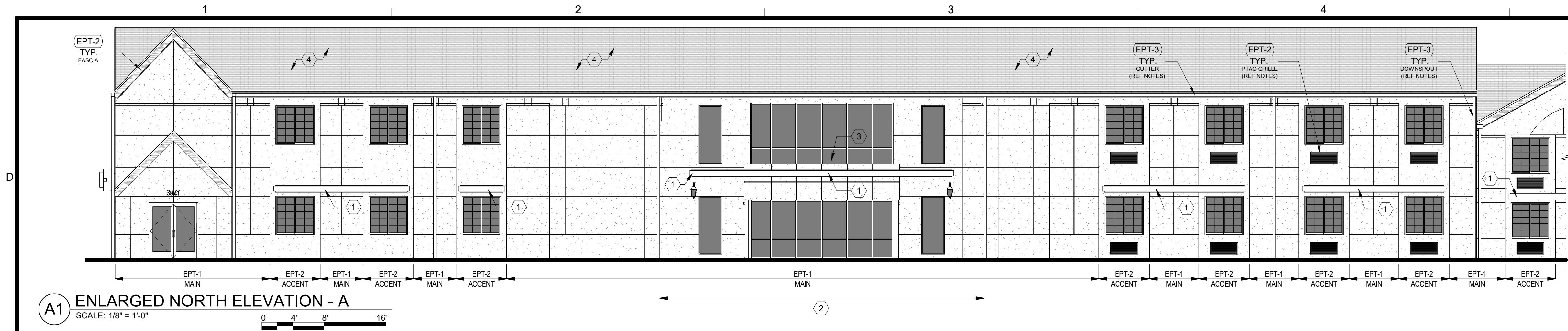
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OVERALL EXTERIOR ELEVATIONS

**PROJECT NUMBER**  
**0210377**

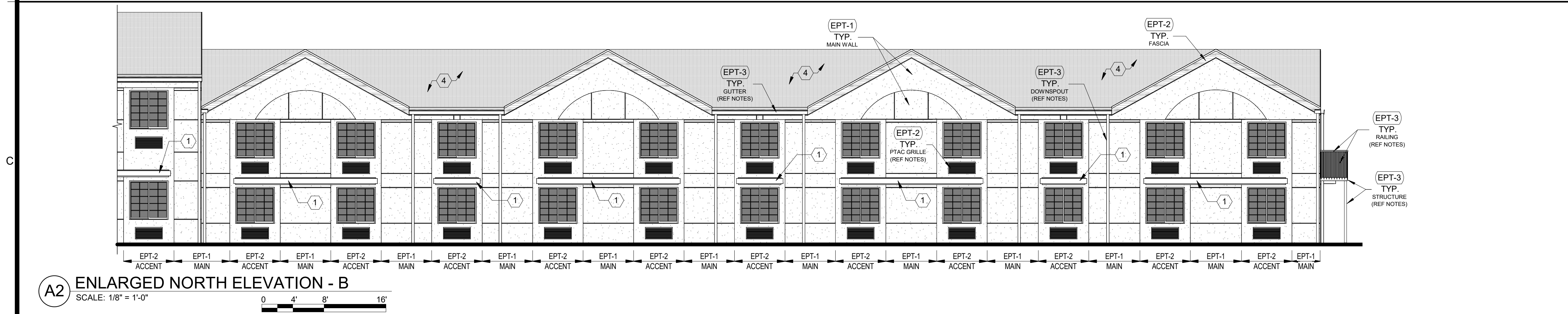
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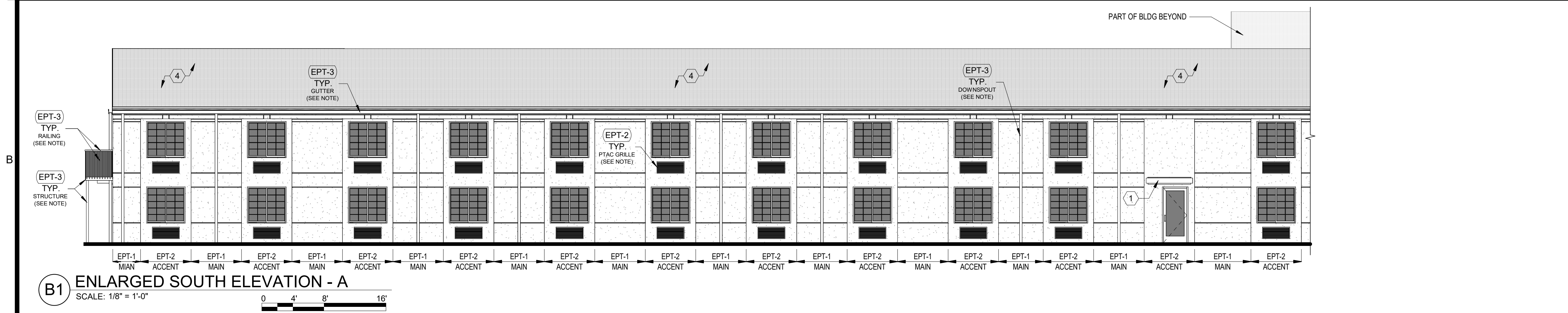
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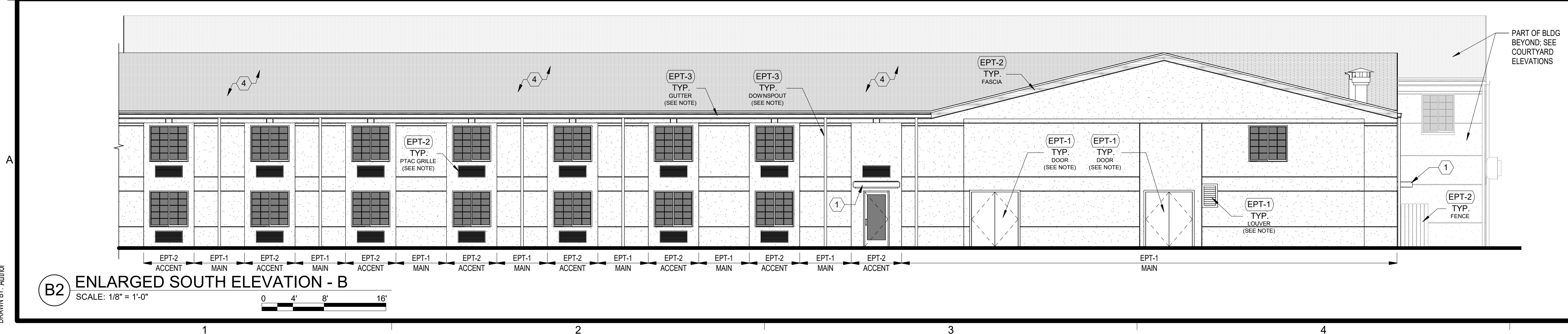
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SCALE: 1/8" = 1'-0"



A2 ENLARGED NORTH ELEVATION - B  
SCALE: 1/8" = 1'-0"



B1 ENLARGED SOUTH ELEVATION - A  
SCALE: 1/8" = 1'-0"



B2 ENLARGED SOUTH ELEVATION - B  
SCALE: 1/8" = 1'-0"

## EXTERIOR ELEVATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
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- PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
- ROOF FASCIAS AND EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-2 UNO.
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- GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

## EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

## EXTERIOR PAINT COLOR LEGEND

EPT-1	WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
EPT-2	WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

## KEYED EXTERIOR NOTES

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- NEW HORIZONTAL METAL CANOPY / AWNING. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
  - PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
  - REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
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  - INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.



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500 north broadway suite 200  
oklahoma city, ok 73102  
phone: 405.231.3105

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**RENOVATION**  
**PLATO'S MADISON, WI**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
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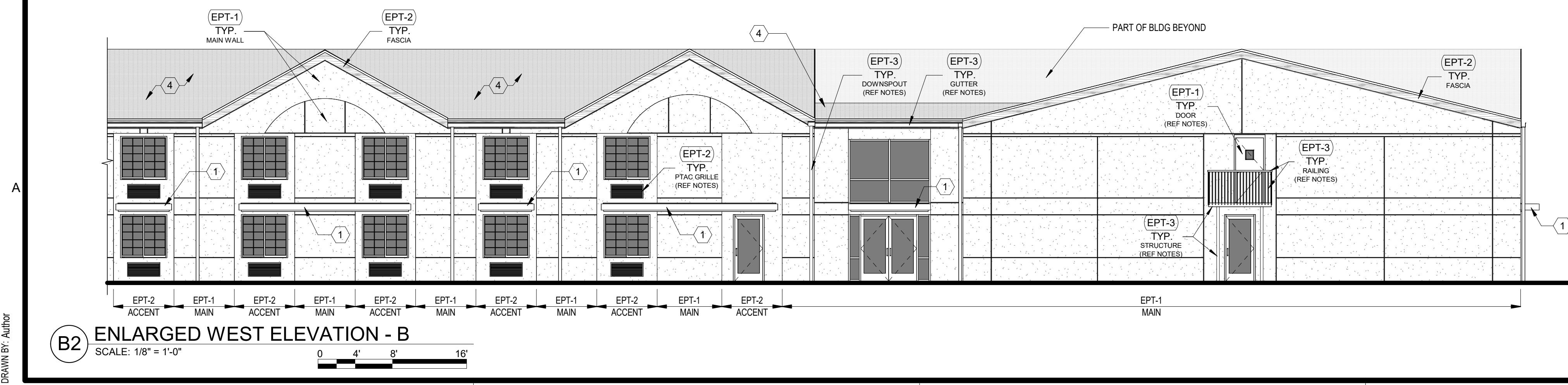
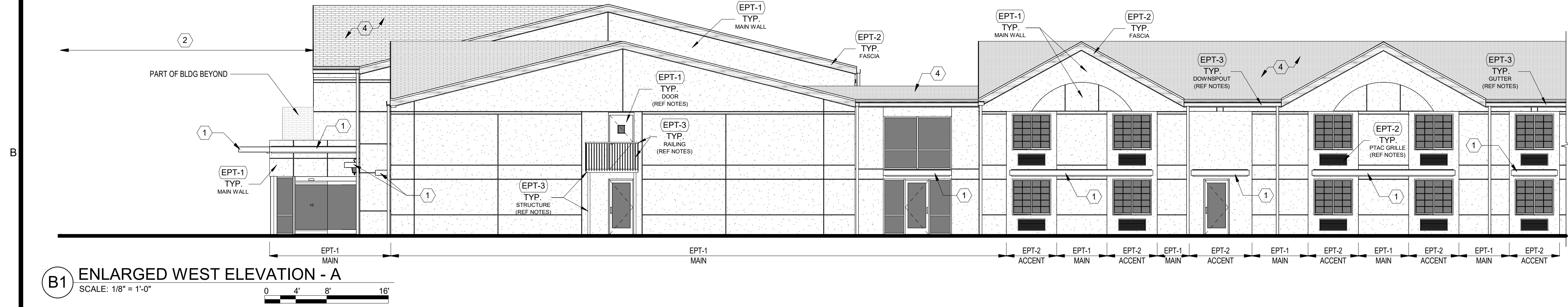
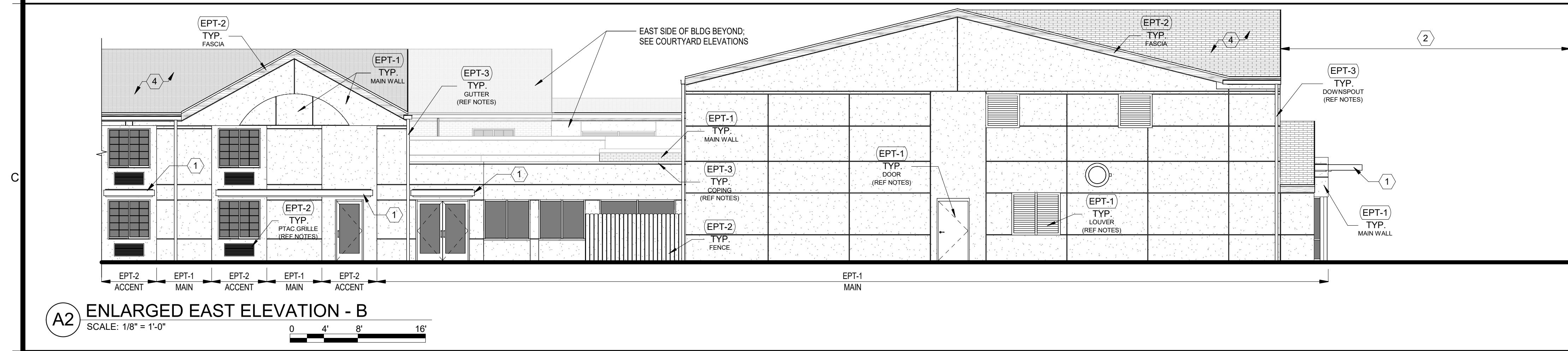
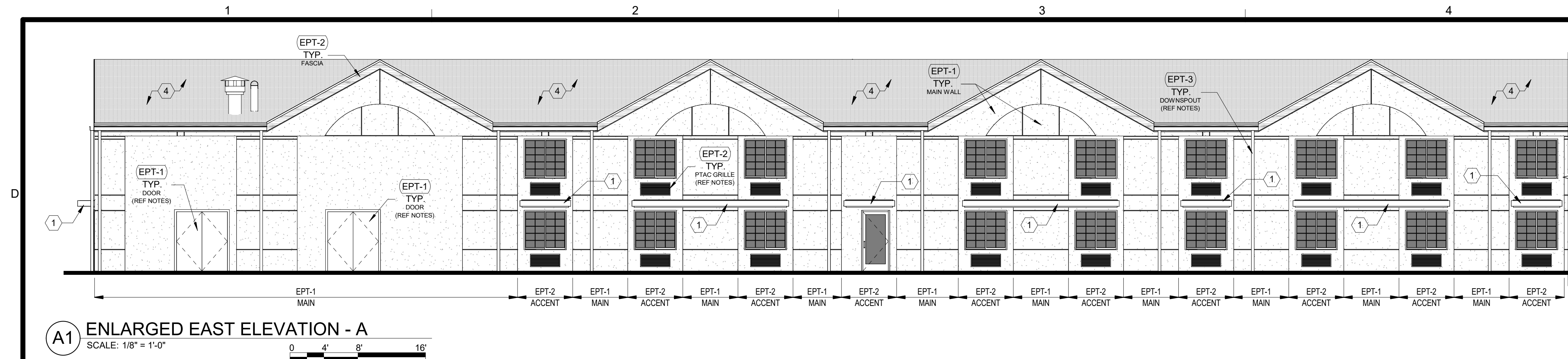
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ENLARGED EXTERIOR  
ELEVATIONS I

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**A-211**



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## EXTERIOR ELEVATION NOTES

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6. PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
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8. ALL PTAC GRILLES AND ALL OTHER MECHANICAL GRILLES / LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO.
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10. GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

## EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

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EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

## KEYED EXTERIOR NOTES

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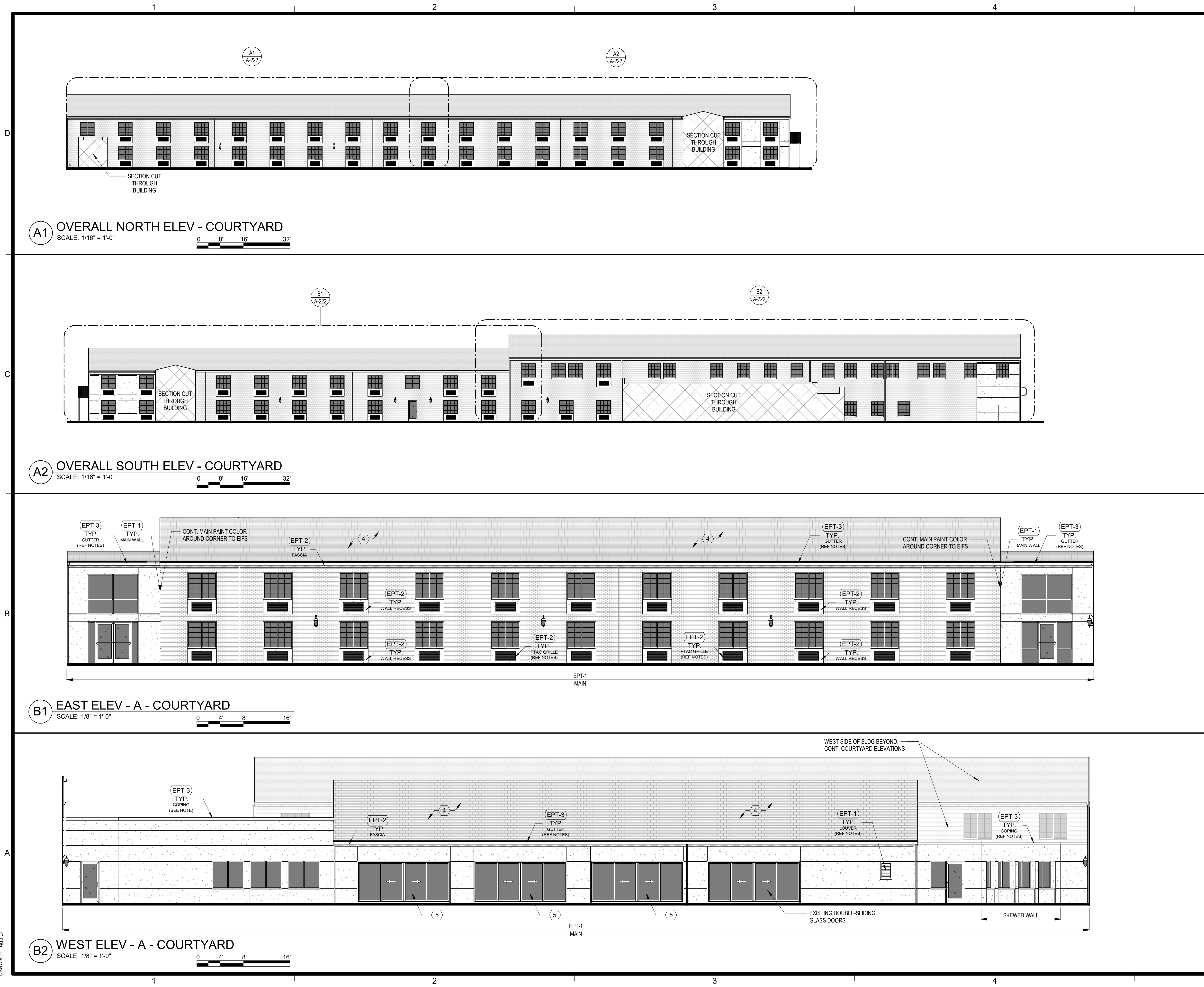
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PROJECT NUMBER  
0210377

SHEET NUMBER  
A-212



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### EXTERIOR ELEVATION NOTES

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### EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

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**schwerdt design group**  
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oklahoma city, ok 73102  
phone: 405.231.3105

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**RENOVATION**  
**PLATO'S MADISON, WI**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
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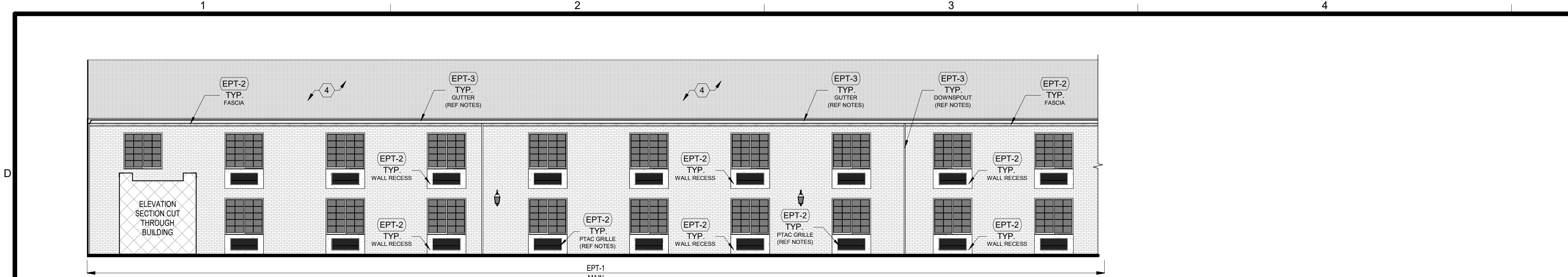
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COURTYARD ELEVATIONS I

PROJECT NUMBER  
**0210377**

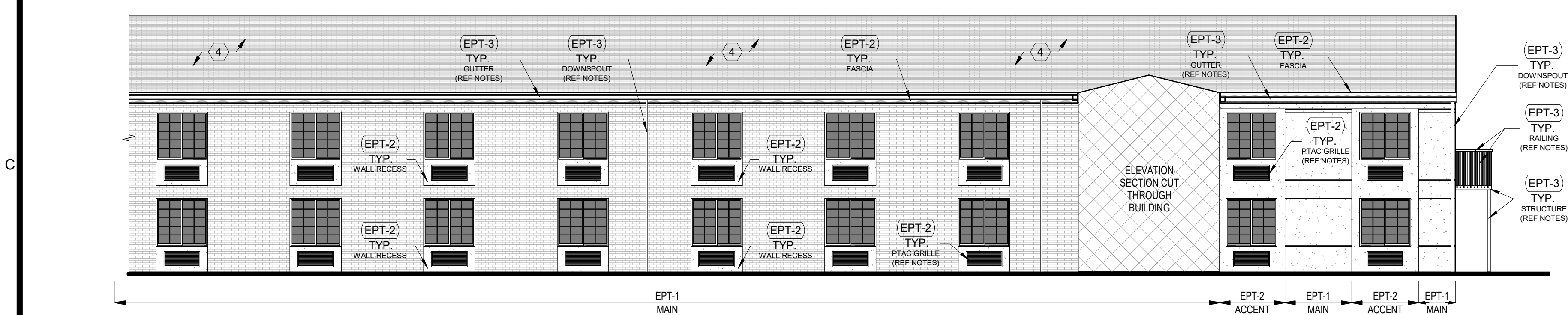
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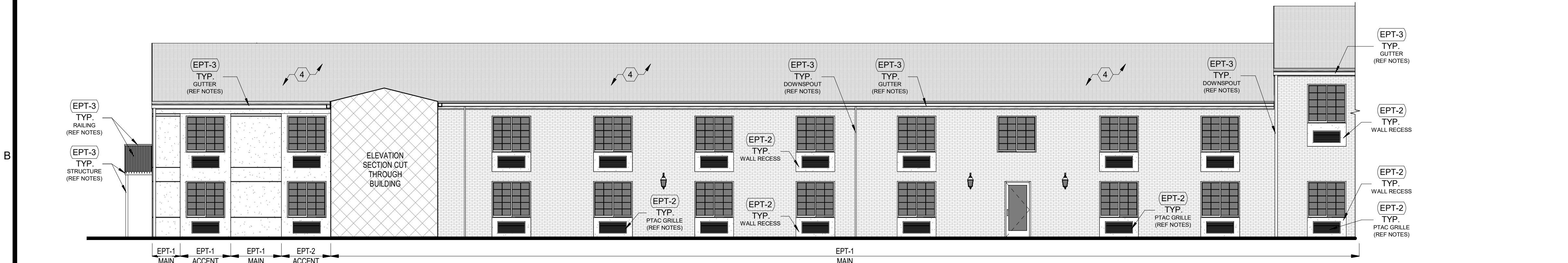
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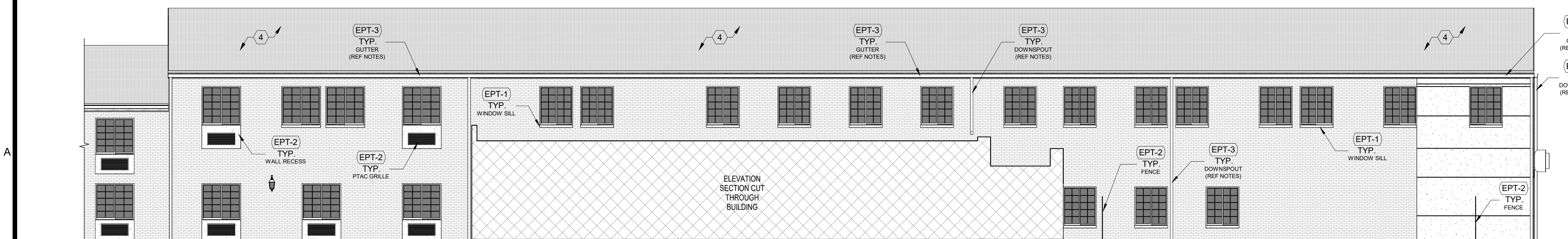
**A1 NORTH ELEV - A - COURTYARD**  
SCALE: 1/8" = 1'-0"



**A2 NORTH ELEV - B - COURTYARD**  
SCALE: 1/8" = 1'-0"



**B1 SOUTH ELEV - A - COURTYARD**  
SCALE: 1/8" = 1'-0"



**B2 SOUTH ELEV - B - COURTYARD**  
SCALE: 1/8" = 1'-0"

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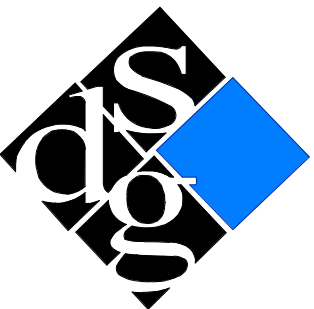
	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

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## KEYED EXTERIOR NOTES

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phone: 405.231.3105

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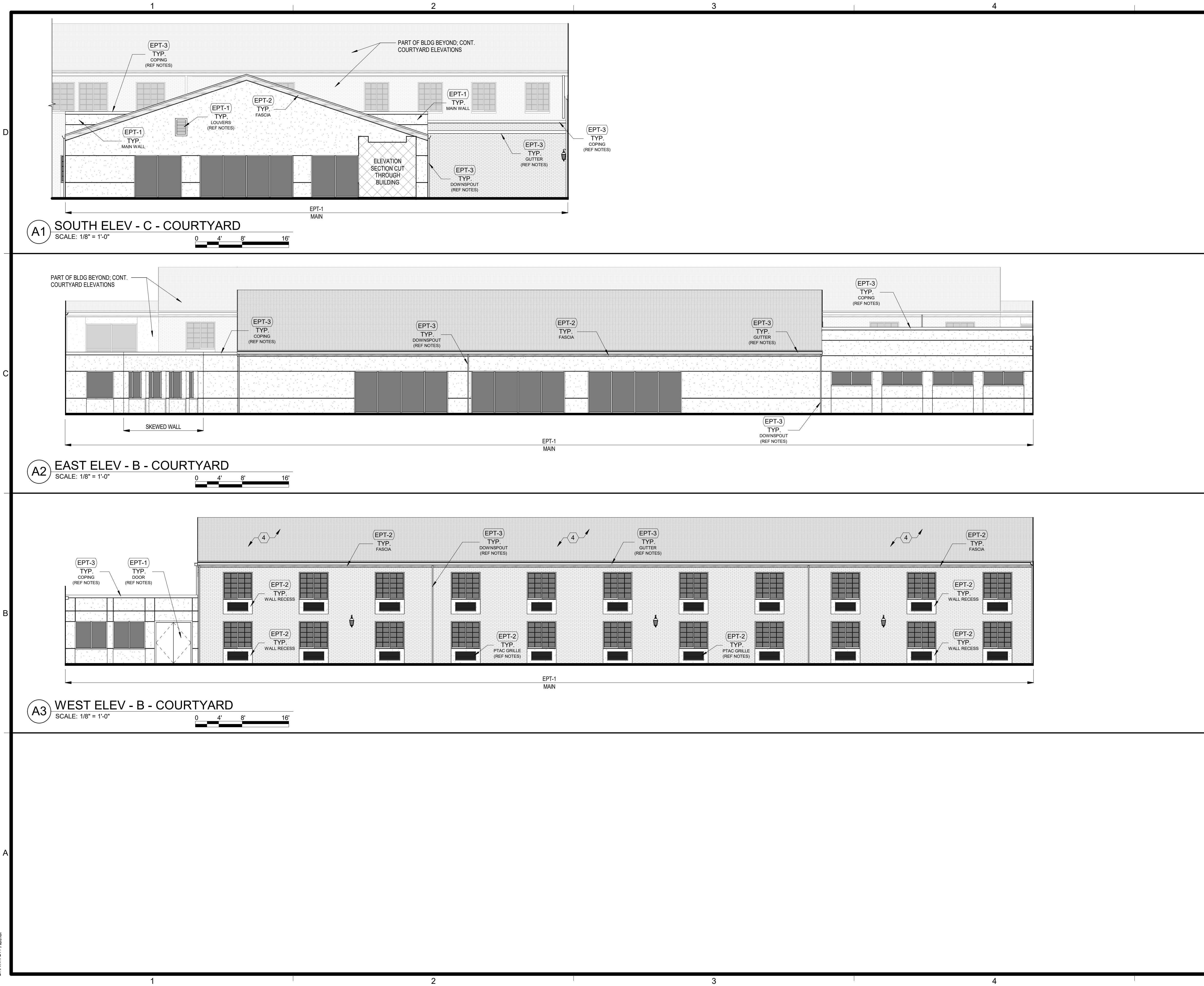
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COURTYARD ELEVATIONS  
II

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**A-222**



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EXTERIOR ELEVATION LEGEND

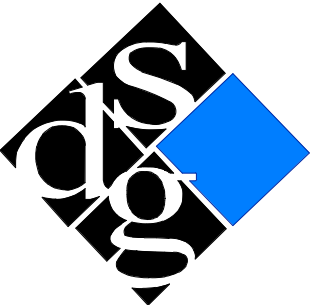
- EIFS / STUCCO
- FIBER CEMENT
- BRICK
- ASPAHLT SHINGLES
- METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
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- ELEVATION SECTION CUT THROUGH BUILDING

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COURTYARD ELEVATIONS  
III

PROJECT NUMBER  
0210377

SHEET NUMBER  
A-223



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DATE: 7/15/2022 11:01:05 AM  
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INTERIOR FINISH SCHEDULE								
ROOM NUMBER	ROOM NAME	FLOOR		WALLS				CEILING FINISH
		FINISH	BASE	NORTH	EAST	SOUTH	WEST	
X100	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101	LOBBY	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101A	RECEPTION	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X101B	JANITOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X102	TENANT LOUNGE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X103	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X104	BICYCLE PARKING	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-1
X104A	MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X104B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X105	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X106	CO-WORKING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X107	FOYER	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X107A	JANITOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X108	TENANT BAR	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X108A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X108B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X109	MEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
X110	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
X111	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X111A	ELEC / MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X112	FITNESS ROOM	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X114	SITTING ROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X114A	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	EXISTING TL	PT-1	PT-1	PT-2
X114B	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	EXISTING TL	PT-2
X114C	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X115	SWIMMING POOL DECK	EXISTING	EXISTING	PT-4a	PT-4a	PT-4a	PT-4a	PT-2a
X115C	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X115D	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X116	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X117	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X117A	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X118	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X118A	MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X119	STAIR # 1	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X119A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X120	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X121	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X122	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X123	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X123A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X124	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X125	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X126	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X127	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X128	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X129	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X130	TENANT LAUNDRY PREP	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
X130A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X131	TENANT LAUNDRY	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
X132	BICYCLE PARKING II	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X132A	BOILER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X133	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X134	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X135	STAIR # 9	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X136	STAIR # 10	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X136A	SPRINKLER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X137	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X200	GALLERY	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X201	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X202	MECHANICAL / STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X202A	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X203	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X204	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X205	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X205A	FACILITY STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X206	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X207	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X208	CO-WORKING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X209	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X209A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X210	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X210A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X211	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X212	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X212A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X214	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	EXISTING
X215	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
X216	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X217	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X217A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X218	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X218A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X219	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X220	STAIR # 6	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X221	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X222	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X222A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X223	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X223A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X224	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X225	TENANT LAUNDRY II	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
X226	PROPERTY MAINTENANCE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X227	STAIR # 9	CPT-1	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X227A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
X228	STAIR # 10	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
X228A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING

**ELEVATOR CAB FINISH NOTE:** REPLACE FLOORING AND SIDE PANELS; ADD MATCHING HANDRAILS ON THE OTHER 2 SIDES OF THE CAB. CLEAN AND POLISH EXISTING STEEL SURFACES AND DOORS. THOROUGHLY CLEAN CEILING.

**POOL DECK FINISH NOTE:** SHOULD THE OWNER DECIDE TO BACKFILL EXISTING SWIMMING POOL AND HOT TUB, THEY SHALL GIVE DIRECTION ON NEW FLOORING FINISHES.

TYPICAL UNIT FINISH SCHEDULE							
ROOM NAME	FLOOR		WALLS				CEILING FINISH
	FINISH	BASE	NORTH	EAST	SOUTH	WEST	
STUDIO - TYPICAL	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - II	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - III	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - TYPICAL	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - ACCESSIBLE - TYPE A	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - ACCESSIBLE - TYPE A	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - ACCESSIBLE - TYPE B	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - ACCESSIBLE - TYPE B	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2

**NOTE:** REF A-421 & A-422 FOR UNIT NAMES, ENLARGED FLOOR PLANS & FLOOR CHANGE LOCATIONS (IF APPLICABLE)

**NOTE:** OWNER TO DETERMINE FINISH COLOR PALETTE, REF FINISH PALETTE OPTIONS. GC TO COORDINATE & CONFIRM WITH OWNER.

#### FINISH KEY

TYPICAL DWELLING UNIT COLORS	PAINT		FLOORING		CEILING	
	INTERIOR	EXTERIOR (REF EXTERIOR ELEVATIONS)	CARPET	TILE		
	PT-1	EPT-1	CPT-1	TL-1	ACT-1	2X2 ACOUSTIC CEILING TILE MFR: USG CEILING MODEL: RADAR HIGH NRC EDGE: REGULAR SIZE: 2X2 COLOR AND NO: TBD OR EQUAL
	WALL PAINT MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY NUMBER: SW7029 FINISH: EGGSHELL	EXTERIOR FIELD PAINT USES: MAIN WALLS, DOORS, MECH / LOUVERS MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY NUMBER: SW7029 MODEL: FINISH: ACRYLIC LATEX	UNIT CORRIDOR CARPET MFR: PATCRAFT MODEL: DECIDE 10439 COLOR AND NO.: SANDSTONE 00160	PORCELAIN FLOOR TILE MFR: DALTILE MODEL: SADDLE BROOK XT COLOR AND NO.: WALNUT CREEK XT SDB5 SIZE: 6X36 INSTALL: STAGGER		
	PT-2	EPT-2	CPT-2	TL-2	ACT-1a	2X2 ACOUSTIC CEILING TILE (ALTERNATE) MFR: USG CEILING MODEL: FROST EDGE: REGULAR SIZE: 2X2X3/4 COLOR AND NO: TBD OR EQUAL
	CEILING PAINT MFR: SHERWIN WILLIAMS COLOR: PURE WHITE NUMBER: SW7005 FINISH: EGGSHELL	EXTERIOR FIELD PAINT USES: ACCENT, FASCIAS MFR: SHERWIN WILLIAMS COLOR: REQUISITE GRAY NUMBER: SW7023 MODEL: FINISH: ACRYLIC LATEX	UNIT CORRIDOR ACCENT CARPET MFR: PATCRAFT MODEL: HOMEROOM V3.0 I0351 COLOR & NO.: HOMECOMING 00490 NOTE: PRICE OUT MODULAR CPT AS ALTERNATE.	PORCELAIN FLOOR TILE MFR: DALTILE MODEL: LINDEN POINT COLOR AND NO: GRIGIO LP21 FINISH: MATTE SIZE: 12X24 INSTALL: STAGGER		
	PT-2a	EPT-3	CPT-3	TL-3	ACT-2	EXISTING GRID AND TILE TO REMAIN; CLEAN THOROUGHLY. REPAIR / REPLACE TILES AND GRID WITH MATCHING AS NECESSARY.
	CEILING / STRUCTURE PAINT - SWIMMING POOL MFR: SHERWIN WILLIAMS COLOR: PURE WHITE NUMBER: SW7005 FINISH: EPOXY-BASED	EXTERIOR FIELD PAINT USES: METALS, STRUCTURE MFR: SHERWIN WILLIAMS COLOR: TRICORN BLACK NUMBER: SW6258 MODEL: FINISH: ACRYLIC LATEX	CARPET TILE - AMENITY SPACES, PUBLIC CORRIDORS MFR: J+J FLOORING (KINETEX) MODEL: NETWORK DEMI-PLANK COLOR AND NO: TBD SIZE: 12"X48" INSTALL: ASHLAR GLUE DOWN	PORCELAIN WALL TILE MFR: DALTILE MODEL: LINDEN POINT COLOR AND NO: GRIGIO LP21 FINISH: MATTE SIZE: 10X14 INSTALL: STACK BOND		
	PT-3		LVT-1		MILLWORK	
	DOOR PAINT/TRIM MFR: SHERWIN WILLIAMS COLOR: SPALDING GRAY NUMBER: SW6074 FINISH: EGGSHELL NOTE: ALSO USE FOR UNIT CABINETRY IF APPLICABLE. GC TO CONFIRM CABINETRY FINISH/MATERIAL WITH OWNER.		LUXURY VINYL TILE MFR: PATCRAFT MODEL: HOMEGRAIN COLOR AND NO.: GALLERY 00100-V2 SIZE: 6"X48" INSTALL: STAGGER GLUE DOWN	WALL BASE WB-1	COUNTERS	
PT-4		CONCRETE	WB-1	C-1	SOLID SURFACE COUNTERTOP MFR: WILSONART COLOR AND NO: TBD, PRICE GROUP 1	
WALL PAINT MFR: SHERWIN WILLIAMS COLOR: TBD NUMBER: FINISH: EGGSHELL		PC-1	RUBBER WALL BASE MFR: JOHNSONITE COLOR: MOON ROCK SIZE: 4" HIGH W/ TOE KICK	C-2	QUARTZ COUNTERTOP MFR: CAMBRIA COLOR: BRITTANNICA BLOCK THICKNESS: 2CM	
PT-4a			WB-2	C-3	SOLID SURFACE COUNTER MFR: WILSONART COLOR: FRENCH BLUE MELANGE 9024ML THICKNESS: EDGE:	
WALL PAINT - SWIMMING POOL MFR: SHERWIN WILLIAMS COLOR: TBD NUMBER: FINISH: EPOXY-BASED			TILE WALL BASE MFR: DALTILE MODEL: LINDEN POINT WALL BULLNOSE S-4310 COLOR AND NO: GRIGIO LP21 SIZE: 3X10		LAMINATE	
			FLOOR TRANSITIONS	PL-1	PLASTIC LAMINATE MFR: WILSONART COLOR: NEOWALNUT NUMBER: 7991-38 FINISH:	
			FT-1	PL-2	PLASTIC LAMINATE MFR: WILSONART COLOR: HAPPY DOTS NUMBER: Y0703 FINISH:	
					SHELVING	
				S-1	UNIT CLOSET SHELVING, TYP. MFR: TBD COLOR: TBD NUMBER: TBD FINISH: TBD	
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**EXTERIOR RENDERING - FROM WEST SIDE OF BLDG**



**EXTERIOR RENDERING - FROM EAST SIDE OF BUILDING**



**EXTERIOR RENDERING - FROM EAST COURTYARD OF BUILDING**



**EXTERIOR RENDERING - FROM ACCESS ROAD / E. EASHINGTON AVE**



**EXTERIOR RENDERING - FROM SOUTH WEST CORNER OF BUILDING**



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**SHEET NUMBER  
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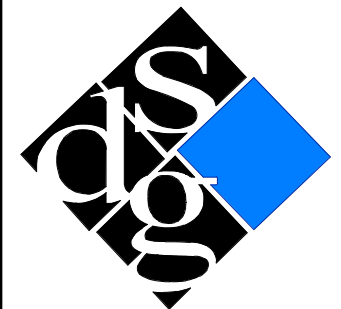
INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT



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SHEET TITLE  
INTERIOR UNIT  
RENDERINGS

PROJECT NUMBER  
**0210377**

SHEET NUMBER  
**AP-102**

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GENERAL:

CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS,STREETS,WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS, WISCONSIN DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS AND WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.

ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.

NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

DIGGERS HOTLINE:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "DIGGERS HOTLINE" AT 1-800-242-8511.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE WORK AND GRADING:

ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND CURB RAMPS SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE INTERIM FINAL RULES FOR PUBLIC RIGHT-OF-WAY, PUBLISHED IN THE FEDERAL REGISTER, SEPTEMBER 2010. WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THIS ACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THE ADA WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADA, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50  
RAMP SLOPES SHALL NOT EXCEED 1:12  
GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE

FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.

GEOTECHNICAL:

NONE PROVIDED

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY D'ONOFRIO KOTTKE AND ASSOCIATES, DATED JUNE 28, 2022.

LEGAL DESCRIPTION:

LOTS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8901 RECORDED IN VOL. 49 OF CERTIFIED SURVEY MAPS, ON PAGES 259-262, AS DOCUMENT NO 2965461, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

THIS DESCRIPTION DESCRIBES ALL THE LAND DESCRIBED IN THE TITLE COMMITMENT IDENTIFIED AS FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 2121927 BEARING AN EFFECTIVE DATE OF JANUARY 20, 2022.

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

EROSION CONTROL NOTES:

ALL EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND CITY OF MADISON STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS AND SPECIFICATIONS.

SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED INTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.

TEMPORARY EROSION CONTROL:

ALL DISTURBED EARTH SURFACES WHICH ARE NOT PAVED OR BUILDING PADS SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

SPECIES	LBS/ACRE	PERCENT PURITY
OATS <sup>1</sup>	131	98
CEREAL RYE <sup>2</sup>	131	97
WINTER WHEAT <sup>2</sup>	131	95
ANNUAL RYEGRASS <sup>2</sup>	80	95

<sup>1</sup>SPRING AND SUMMER SEEDING  
<sup>2</sup>FALL SEEDING

PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SHALL BE INSTALLED.

THE SUBGRADE SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 LBS. PER 1000 SQ. FT. OR 450 LBS. PER ACRE) SHALL BE MIXED WITH THE LOOSENED SOIL BY DISKING OR OTHER SUITABLE MEANS.

SOIL SHALL BE TESTED AND LIME TREATED IF REQUIRED BY TESTING FIRM.

SEEDS MAY BE DRILLED OR BROADCAST UNIFORMLY.

SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE SLOPE TO MINIMIZE EROSION.

MULCH SHALL BE USED ON ALL SLOPES GREATER THAN 5 PERCENT OR AS NEEDED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS EXCEED 1 INCH IN HEIGHT.

AS-BUILTS:

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

PERMANENT EROSION CONTROL PRACTICES:

BERMUDA GRASS SOLID SLAB SOD OR SEEDING SHALL BE USED ON THIS PROJECT IN ALL DISTURBED AREAS.

SOIL SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND FERTILIZER SHALL BE MIXED WITH THE LOOSENED SURFACE SOIL BY DISKING OR OTHER SUITABLE MEANS.

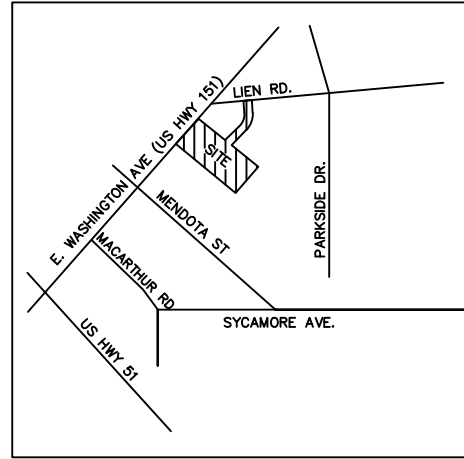
SOIL SHALL BE TESTED FOR pH AND SHALL BE TREATED WITH LIME AS REQUIRED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE OR ONE MONTH.

SODDED AND SEEDED AREAS SHALL BE PREPARED AND PLACED IN ACCORDANCE WITH CITY OF MADISON SPECIFICATIONS. SEED SLOPES LESS THAN 5%. SOD SLOPES BETWEEN 5% AND 4:1. STAKE SOD ON SLOPES GREATER THAN 4:1.

CIVIL SHEET INDEX:

C100 GENERAL NOTES  
C200 OVERALL SURVEY  
C201 ENLARGED SURVEY 1  
C202 ENLARGED SURVEY 2  
C203 TOPOGRAPHIC SURVEY  
C300 OVERALL DEMO AND EROSION CONTROL PLAN  
C301 ENLARGED DEMO AND EROSION CONTROL PLAN 1  
C302 ENLARGED DEMO AND EROSION CONTROL PLAN 2  
C400 OVERALL SITE PLAN  
C401 ENLARGED SITE PLAN 1  
C402 ENLARGED SITE PLAN 2  
C403 FIRE ACCESS PLAN  
C500 OVERALL GRADING PLAN  
C501 ENLARGED GRADING PLAN 1  
C502 ENLARGED GRADING PLAN 2  
C600 DETAILS  
C601 DETAILS  
L1 CITY LANDSCAPE PLAN



VICINITY MAP  
NOT TO SCALE

LEGEND

— 660 —	EXISTING MAJOR CONTOUR	BM	BENCH MARK	OHD	OVERHEAD DOOR
— 662 —	EXISTING MINOR CONTOUR	CO	CLEANOUT	PAVT	PAVEMENT
— 660 —	NEW MAJOR CONTOUR	↓	DOWN GUY	PE	POLYETHYLENE
— 662 —	NEW MINOR CONTOUR	EP	EMERGENCY PHONE	PVC	POLY VINYL CHLORIDE
— X —	FENCE	FO	FIBER OPTIC MANHOLE	R	RADIUS
— T —	TELEPHONE OVERHEAD	FDC	FIRE DEPT CONNECTION	RD	ROOF DRAIN
— FH —	POWER LINE OVERHEAD	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
— G —	GAS LINE	GW	GAS / OIL WELL	RCP	REINF CONCRETE PIPE
— O —	OIL LINE	GM	GAS METER	RJ	RESTRAINED JOINT
— PUG —	POWER UNDERGROUND	LP	LIGHT POLE	SGDI	SINGLE GRATE CURB INLET
— TUG —	TELEPHONE UNDERGROUND	P	POWER MANHOLE	SF	SQUARE FEET
— TVUG —	TV UNDERGROUND	PB	POWER POLE	SJ	SAW JOINT
— W —	WATER LINE	SS	PULL BOX	SY	SQUARE YARDS
— SS —	SANITARY SEWER LINE	ST	SANITARY MANHOLE	TC	TOP OF CURB
— SF —	FLOW LINE DITCH	S	STEAM MANHOLE	TG	TOP OF GRATE
— SF —	SILT FENCE	TJ	STORM MANHOLE	TJ	TOOLED JOINT
		T	TELEPHONE MANHOLE	TOF	TOP OF FOOTING
		TPED	TELEPHONE PEDESTAL	TP	TOP OF PAVEMENT
		XFMR	TRANSFORMER PAD	TR	TOP OF RIM
		VALVE	VALVE	TS	TOP OF STEP
		WH	WATER HYDRANT	TW	TOP OF WALL
		WM	WATER METER	TS	TOP OF STEP
		WM	WATER WELL	TW	TOP OF WALL
		LS	LIFT STATION MANHOLE	UNO	UNLESS NOTED OTHERWISE

NOT FOR  
CONSTRUCTION



wallace  
design  
collective

wallace design collective, pc  
structural-civil-landscape-survey  
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oklahoma city, oklahoma 73104  
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schwerdt design group  
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RENOVATION  
PLATO'S MADISON  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
UDC AND LUA

07/15/2022

SHEET TITLE  
GENERAL  
NOTES

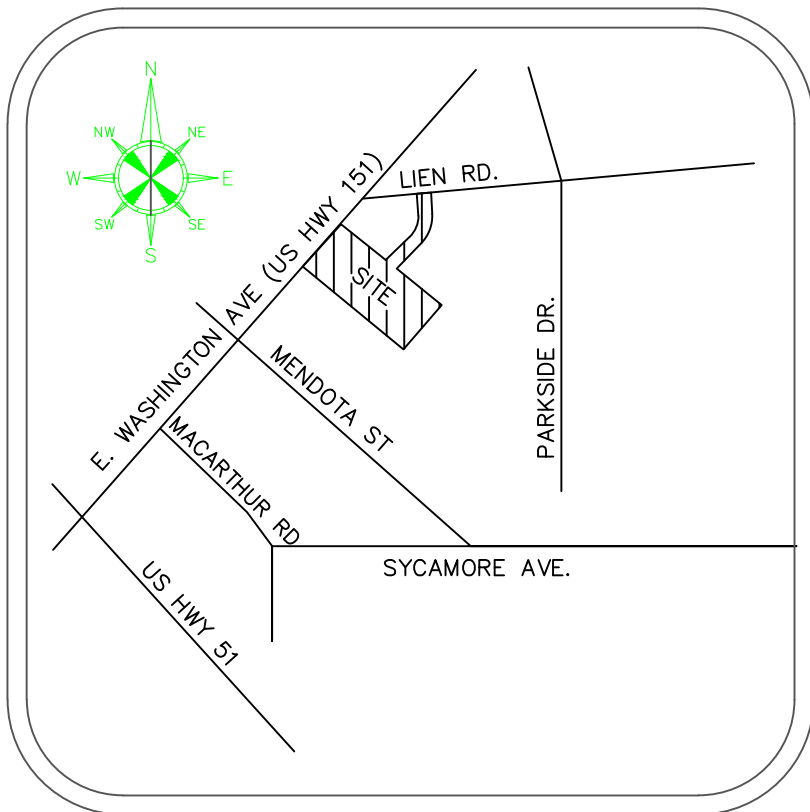
PROJECT NUMBER  
2280028

SHEET NUMBER  
C100



MISCELLANEOUS NOTES

- N1 The basis of bearings of this survey is based on the most Northwesterly lines of Lots 1, 2 and 3, Certified Survey Map Number 8901, City of Madison, Dane County, Wisconsin, recorded May 5, 1998 in Volume 48 of Certified Survey Maps, Page 259, as Document Number 2965461, having a recorded bearing of North 47° 19' 53" West.
- N2 The table below described the type and number of visible striped parking stalls entirely within the property boundary. Stalls that are partially within boundary are listed under the heading "partial". Partial stalls are not counted in total
- | VISIBLE STRIPED PARKING |          |         |                    |                     |       |
|-------------------------|----------|---------|--------------------|---------------------|-------|
| REGULAR                 | HANDICAP | TRAILER | PARTIAL<br>REGULAR | PARTIAL<br>HANDICAP | TOTAL |
| 340                     | 11       | 0       | 0                  | 0                   | 351   |
- N3 The subject property contains 325,753 square feet or 7.4783 acres.
- N4 During our field site visit, there was not observable evidence of earth moving work, building construction or building additions within recent months.
- N5 During our field site visit, there was not observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- N6 All measured and recorded bearings and dimensions are the same unless noted otherwise.
- N7 Visible evidence of direct physical access to a dedicated public right of way is observed by the drive entrance to and from Lien Road, as shown hereon.
- N8 There were no changes in street right of way lines either completed or proposed available from the controlling jurisdiction. There was no evidence of recent street or sidewalk construction or repairs.
- N9 This survey was made in accordance with the laws and/or Minimum Standards of the State of Wisconsin.
- N10 There is no visible evidence of cemeteries, individual gravesites or burial grounds on the subject property.
- N11 The building area shown hereon is for the exterior building dimensions at ground level.
- N12 This survey does not constitute a title search by the surveyor to determine ownership or easements of record, rights of way, or title or record. The surveyor has relied upon First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.
- N13 This ALTA/NSPS Land Title Survey, and the information hereon, may not be used for any additional or extended purposes beyond that for which it was intended and may not be used by any parties other than those to which it is certified.
- N14 The property forms a mathematically closed figure without gaps or gores.
- N15 All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, parking, easements, servitudes, and significant observations are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- N16 On the date of this survey, portions of the subject property were covered with up to five inches of snow and ice and plowed snow piles up to four feet in height were observed. Only the above ground improvements visible on the date of this survey are noted hereon.



VICINITY MAP

NOT TO SCALE

SURVEY RELATED ITEMS  
CORRESPONDING TO SCHEDULE  
B TITLE COMMITMENT

- 16 Public or private rights, if any, in such portion of the land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. This item is not plotted hereon as it does not affect the subject property.
- 17 A Slope Easement contained in Warranty Deed recorded April 20, 1953 as Document Number 852121. This item is plotted hereon and does affect the subject property.
- 18 Finding, Determination and Declaration by the State Highway Commission of Wisconsin Establishing a Certain Controlled Access Highway in Dane County, Wisconsin recorded February 24, 1956 as Document Number 913143. This item is plotted hereon and does affect the subject property.
- 19 A Sanitary Sewer and Water Main Easement recorded December 11, 1956 as Document Number 930464, Release of Easement recorded August 27, 1998 as Document Number 3012049, and Affidavit of Correction recorded February 18, 2008 as Document Number 4398443. This item is not plotted hereon as it does not affect the subject property.
- 20 Access Restriction set forth in Quit Claim Deed recorded October 3, 1957 as Document Number 946488. This item is plotted hereon and does affect the subject property.
- 21 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998715. This item is plotted hereon and does affect the subject property.
- 22 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716. This item is plotted hereon and does affect the subject property.
- 23A Terms, Provisions and Conditions contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 23B Right of Way Easement contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is plotted hereon and does affect the subject property.
- 23C A Sign Easement contained in Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645. This item is plotted hereon and does affect the subject property.
- 24 A 40.00 foot wide Right of Way Easement contained in Warranty Deed recoded March 23, 1967 as Document Number 1180760. This item is plotted hereon and does affect the subject property.
- 25 An Easement for Sign and Underground Power recorded September 21, 1967 as Document Number 1196055. This item is plotted hereon and does affect the subject property.
- 26 Agreement Regarding Surface Water Drainage recorded April 8, 1968 as Document Number 1210484. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 27 Access Restriction set forth in Instrument recorded April 8, 1968 as Document Number 1210486. This item is plotted hereon and does affect the subject property.
- 28 Easement and Agreement recorded June 4, 1968 as Document Number 1215163 and re-recorded July 10, 1968 as Document Number 1218244. This item is plotted hereon and does affect the subject property.
- 29 A 10.00 foot wide Sanitary Sewer Easement recorded July 29, 1968 as Document Number 1219679. This item is plotted hereon and does affect the subject property.
- 30 A 7.00 foot wide Slope Easement contained in Warranty Deed recorded September 27, 1968 as Document Number 1224536. This item is plotted hereon and does affect the subject property.
- 31A A 30.00 foot wide Cross Easement Agreement recorded September 27, 1968 as Document Number 1224537. This item is plotted hereon and does affect the subject property.
- 31B Supplement to Cross Easement Agreement recorded June 19, 1995 as Document Number 2682865. This item is plotted hereon and does affect the subject property.
- 32A Terms, Provisions and Conditions noted on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 32B A 10.00 foot wide Public Utility Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 32C A 15.00 foot wide Water Service Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 33 A 10.00 foot wide Ameritech General Easement recorded May 18, 1998 as Document Number 2970474. This item is plotted hereon and does affect the subject property.
- 34 Right of Way Grant Underground Electric recorded July 29, 1998 as Document Number 2999728. This item is plotted hereon and does affect the subject property.
- 35 Right of Way Grant Underground Electric recorded June 20, 2005 as Document Number 4068621. This item is plotted hereon and does affect the subject property.

STATEMENT OF ENCROACHMENTS

- E1 A light pole encroaches 0.4 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E2 The concrete curb encroaches from 1.9 to 2.1 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E3 The concrete curb encroaches from 1.5 to 1.8 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E4 The 2 story stucco building encroaches from 8.7 to 9.4 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E5 The 2 story stucco building encroaches from 11.1 to 11.6 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E6 An overhead electric distribution line servicing light poles located on the subject property enters the subject property from adjacent privately owned lands to the North and East.
- E7 Indirect access to East Washington Avenue across the adjacent property to the Southwest, as constructed, requires travel across a portion of said adjacent property to the Southwest which does not appear to be subject to a beneficial ingress and egress easement, as per the subject title commitment.

TITLE LEGAL DESCRIPTION

Lots 1, 2 and 3 of Certified Survey Map No. 8901 recorded in Vol. 49 of Certified Survey Maps, on Pages 259–262, as Document No. 2965461, in the City of Madison, Dane County, Wisconsin.

This description describes all the land described in the title commitment identified as First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

ALTA/NSPS LAND TITLE SURVEY

FOR

MADISON PLAZA HOTEL

PARTNER PROJECT NUMBER 22–353548.2

ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT, NUMBER 2121927, CONTAINING AN EFFECTIVE DATE OF JANUARY 20, 2022.

CERTIFICATION

To: Repvblik Madison LLC; REPVBLIK AR LLC; Knight Barry Title Services, LLC; First American Title Insurance Company; and Partner Engineering and Science, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16 and 17 of Table A thereof. The field work was completed on February 15, 2022.

David R. Cheney  
David Cheney  
Wisconsin Registered Land Surveyor  
Registration Number S–45  
Date of Survey: 2–15–2022  
Date of Last Revision: 2–25–2022

PROPERTY ADDRESS: 3841 EAST WASHINGTON AVENUE; MADISON, WI 53714

Survey Prepared By:  
**Sarko Surveying Inc.**  
847 County Road JG  
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ZONING INFORMATION

This office has not been provided with the applicable zoning information for the subject property, by the client, pursuant to Table A Items 6(a) and 6(b).

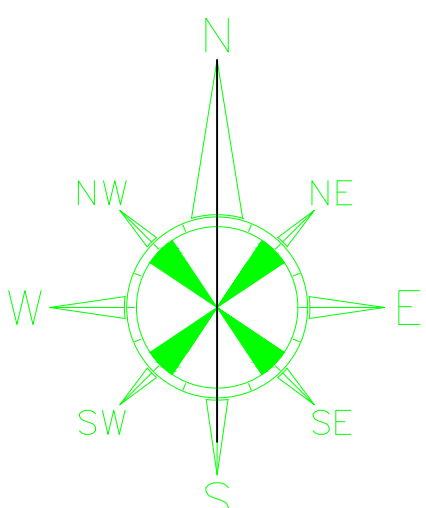
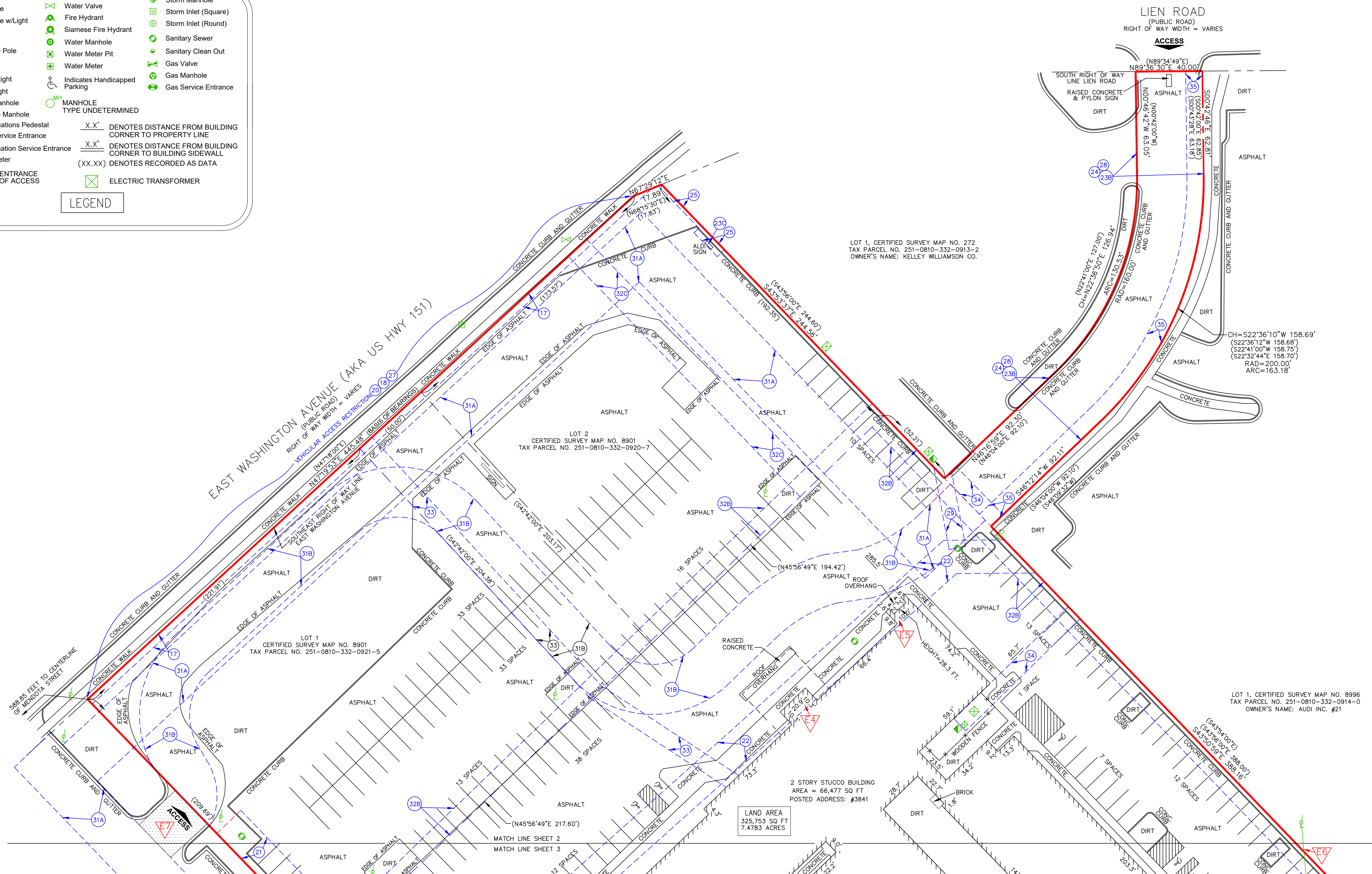
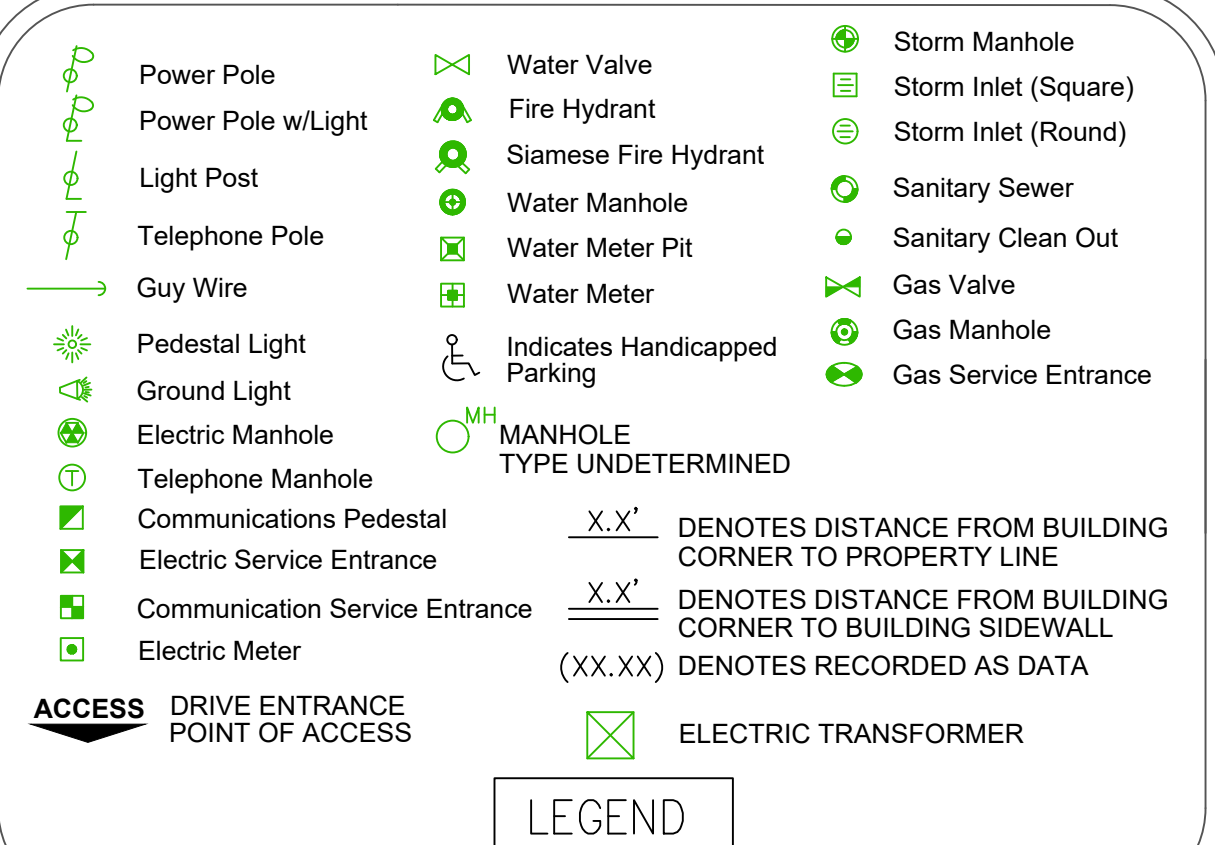
UTILITY NOTE

LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED ABOVE GROUND EVIDENCE ONLY. SURVEYOR WAS NOT PROVIDED WITH UTILITY PLANS OR MARKINGS TO DETERMINE ANY SUBSURFACE LOCATIONS. THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV

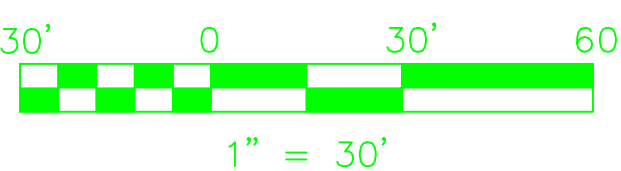
FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE X AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 55025C 0427H DATED 9–17–2014 AND IS NOT IN A FLOOD ZONE AREA. THE FLOOD INSURANCE RATE PROGRAM WAS CONTACTED ON 2–2–2022 BY TELEPHONE OR EMAIL (www.fema.gov)





Survey Prepared By:  
**Sarko Surveying Inc.**  
847 County Road JG  
Mount Horeb, WI 53572  
Phone: 608-832-6428  
Fax: 608-848-3859  
Email: [rsarko@tds.net](mailto:rsarko@tds.net)

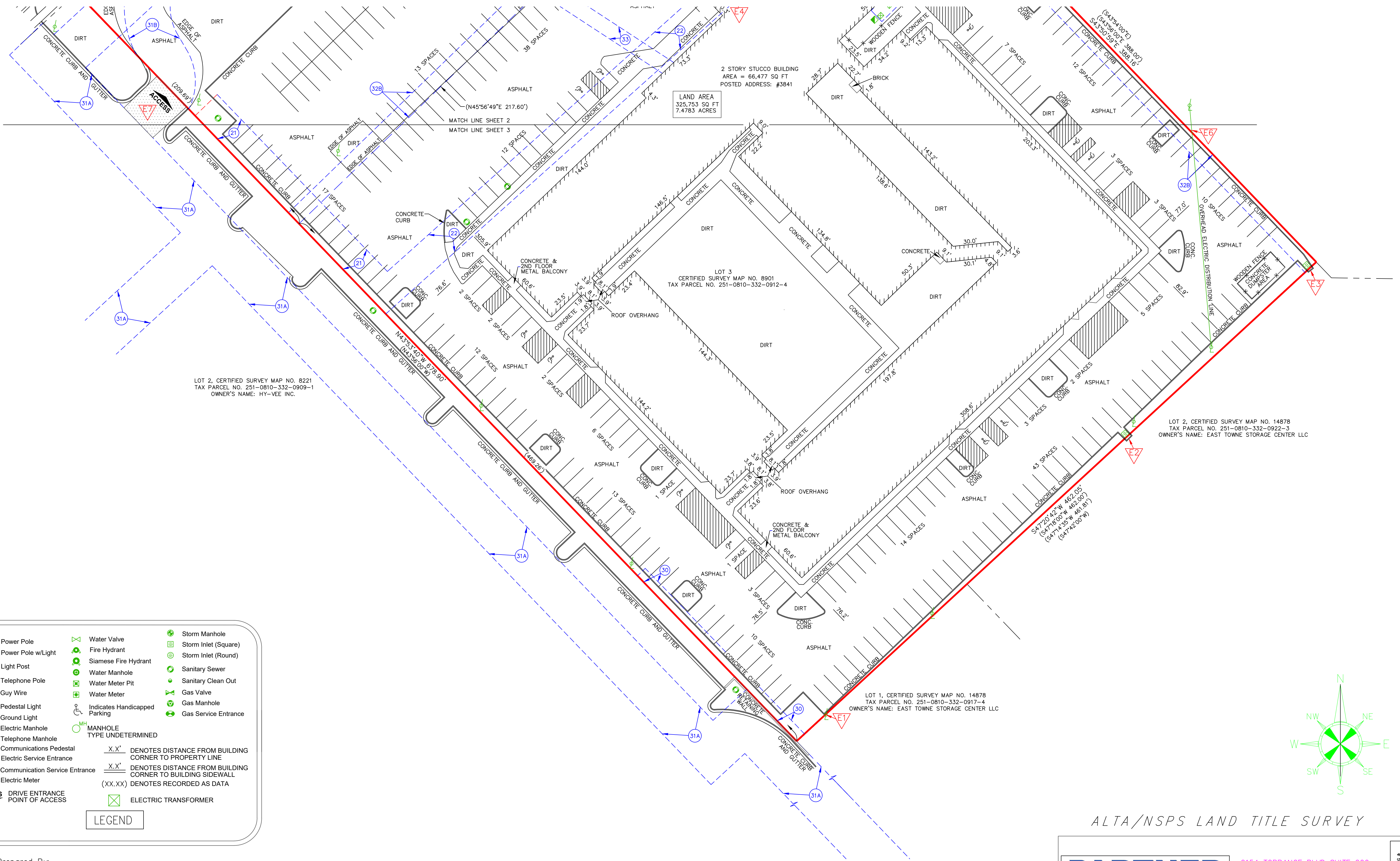


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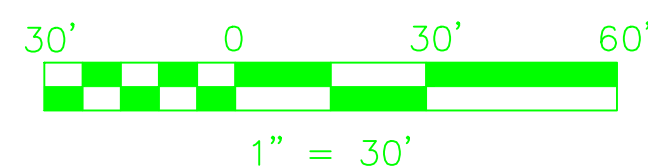




Power Pole	Water Valve	Storm Manhole
Power Pole w/Light	Fire Hydrant	Storm Inlet (Square)
Light Post	Siamese Fire Hydrant	Storm Inlet (Round)
Telephone Pole	Water Manhole	Sanitary Sewer
Guy Wire	Water Meter Pit	Sanitary Clean Out
	Water Meter	Gas Valve
	Indicates Handicapped Parking	Gas Manhole
		Gas Service Entrance
Pedestal Light		
Ground Light		
Electric Manhole	MANHOLE TYPE UNDETERMINED	
Telephone Manhole		
Communications Pedestal	X.X' DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE	
Electric Service Entrance	X.X' DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDEWALL	
Communication Service Entrance	(XX.XX) DENOTES RECORDED AS DATA	
Electric Meter		
ACCESS DRIVE ENTRANCE POINT OF ACCESS	ELECTRIC TRANSFORMER	

LEGEND

Survey Prepared By:  
**Sarko Surveying Inc.**  
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ALTA/NSPS LAND TITLE SURVEY

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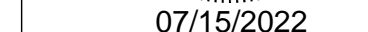








500 north broadway  
oklahoma city, ok 73102  
phone: 405.231.3105



PROPERTY LINE

REMOVE PAVEMENT  
(SEE NOTE 1)

## GENERAL NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND SHALL IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

SITE INFORMATION SUMMARY	
TOTAL SITE AREA:	241,690 SF
DISTURBED AREA:	8,067 SF
EXISTING PERVIOUS AREA:	38,950 SF
EXISTING IMPERVIOUS AREA:	202,740 SF
PROPOSED PERVIOUS AREA:	40,126 SF
PROPOSED IMPERVIOUS AREA:	201,564 SF

NOT FOR  
CONSTRUCTION

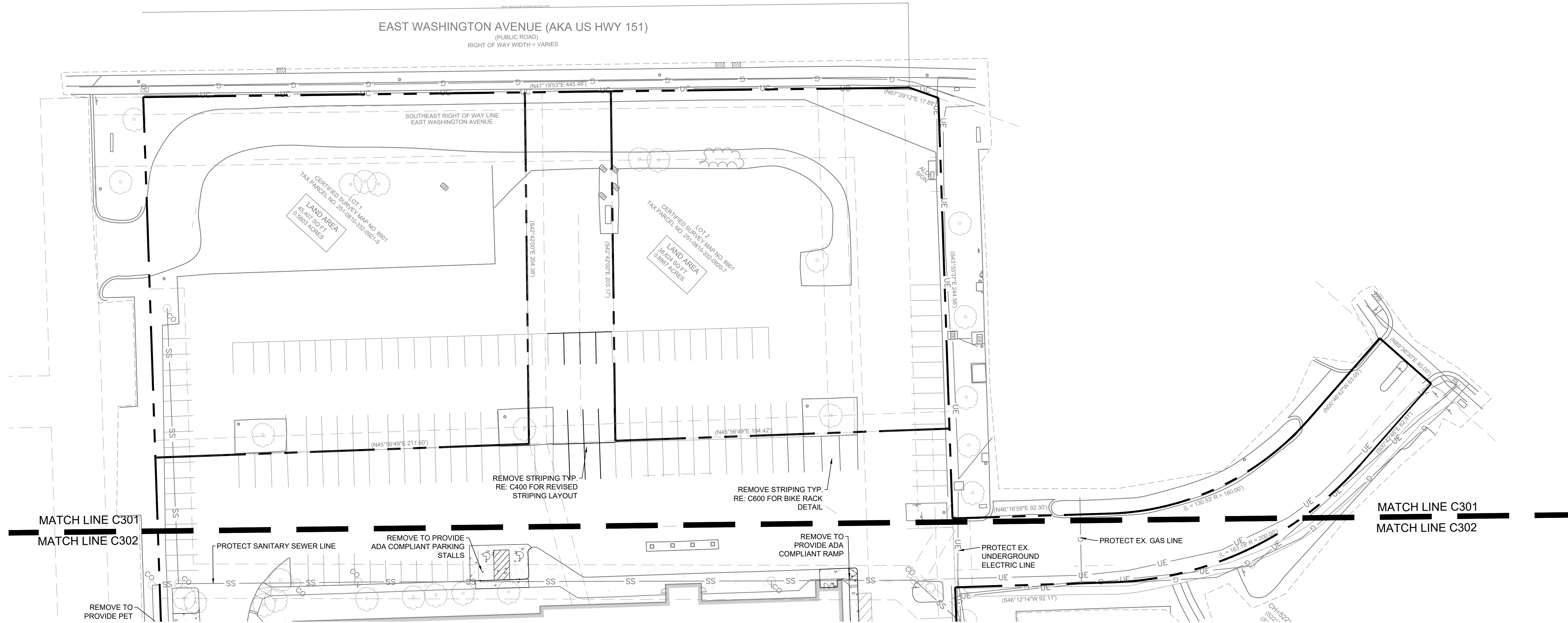


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**RENOVATION  
PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LWA
07/15/2022
SHEET TITLE
OVERALL DEMO AND EROSION CONTROL PLAN
PROJECT NUMBER
2280028
SHEET NUMBER
C300

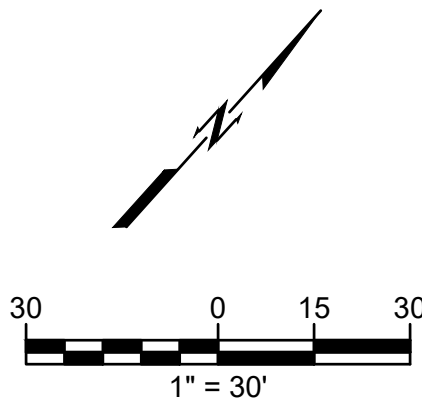
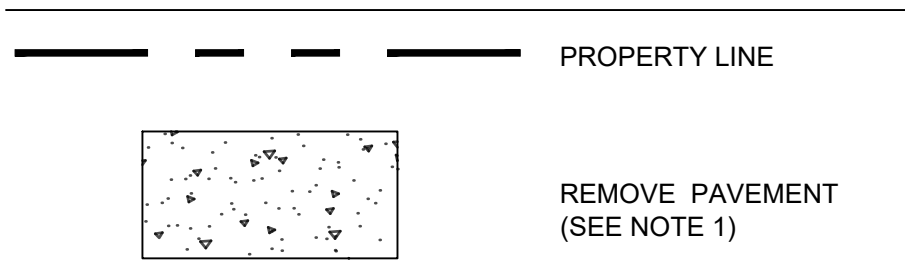




GENERAL NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
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10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

LEGEND



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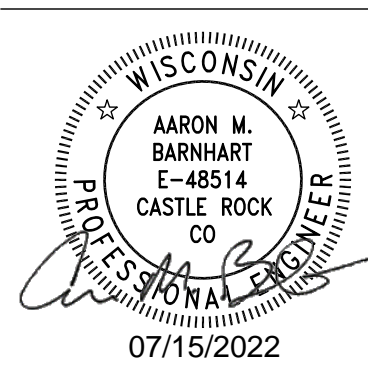
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**RENOVATION**  
**PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
UDC AND LUA

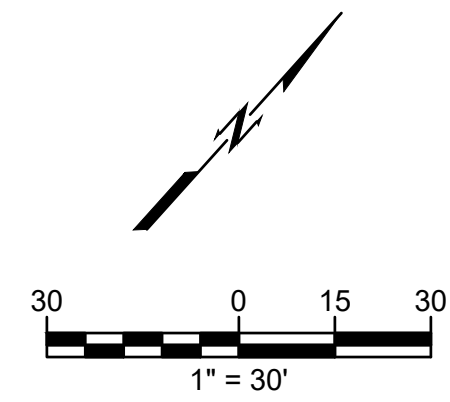
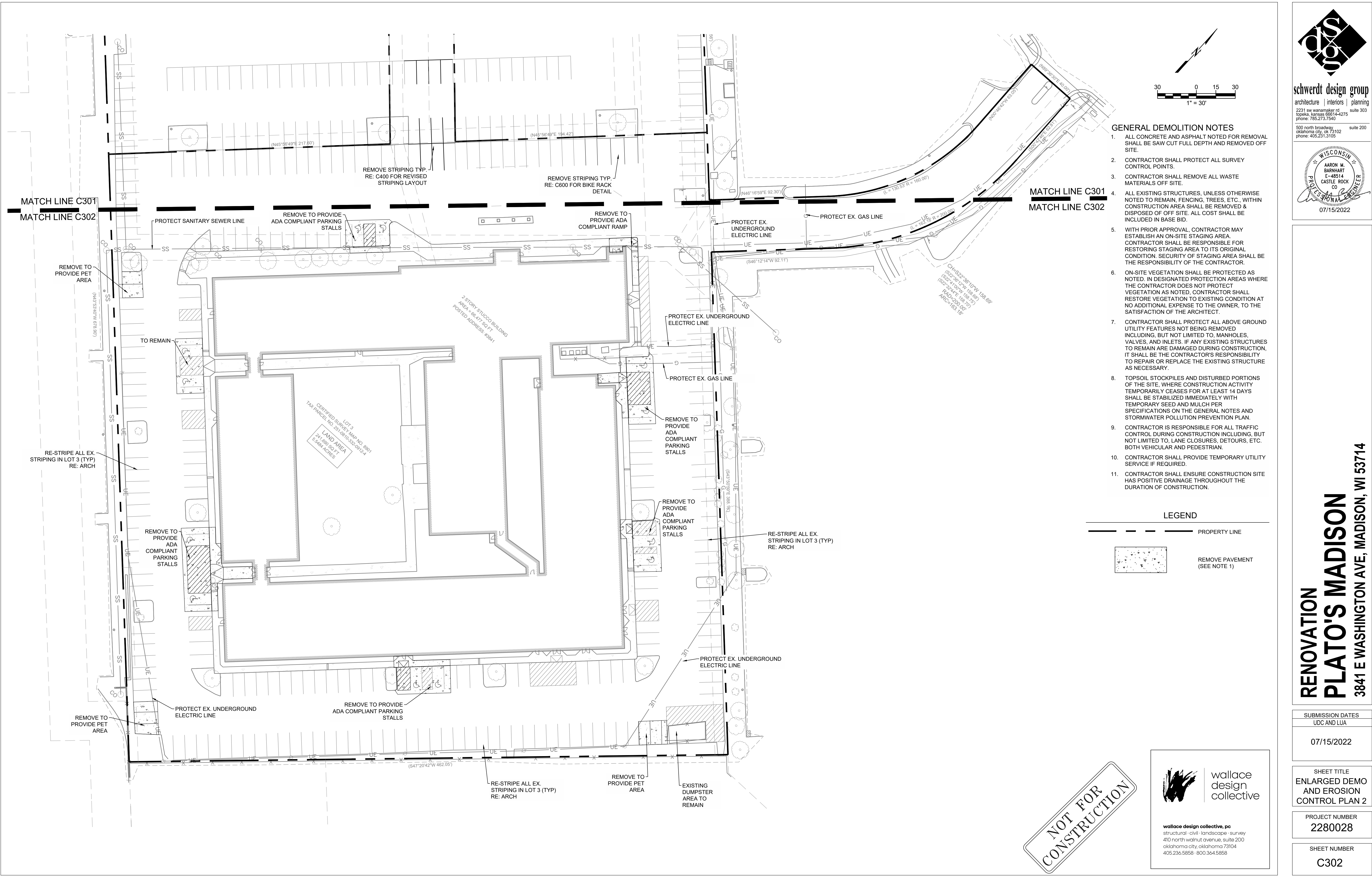
07/15/2022

SHEET TITLE  
ENLARGED DEMO  
AND EROSION  
CONTROL PLAN 1

PROJECT NUMBER  
2280028

SHEET NUMBER  
C301





- GENERAL DEMOLITION NOTES**
1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
  2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
  3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
  4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
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  6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED, IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
  7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
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  10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
  11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

**LEGEND**

--- PROPERTY LINE

[Pattern] REMOVE PAVEMENT (SEE NOTE 1)

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**RENOVATION**

**PLATO'S MADISON**

3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

UDC AND LUA

07/15/2022

SHEET TITLE

ENLARGED DEMO AND EROSION CONTROL PLAN 2

PROJECT NUMBER

2280028

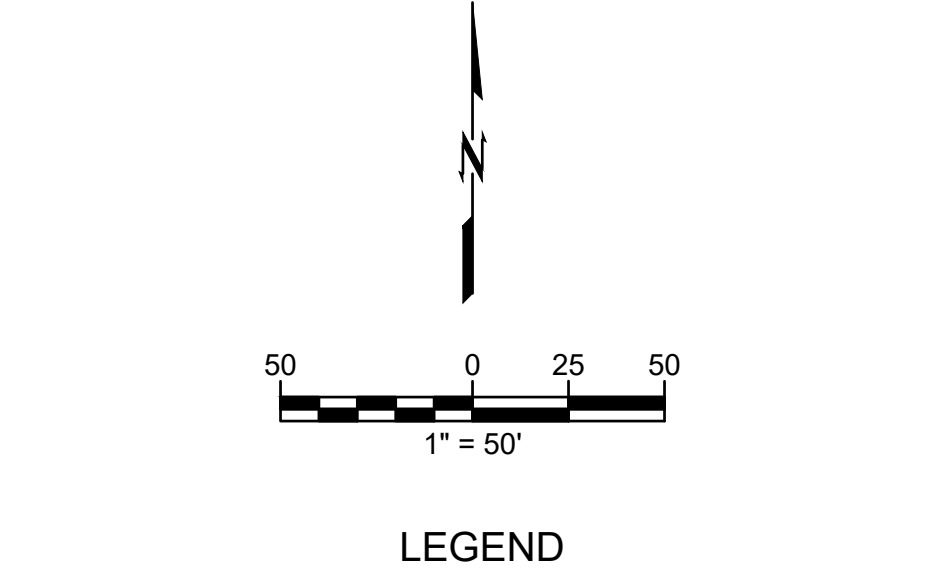
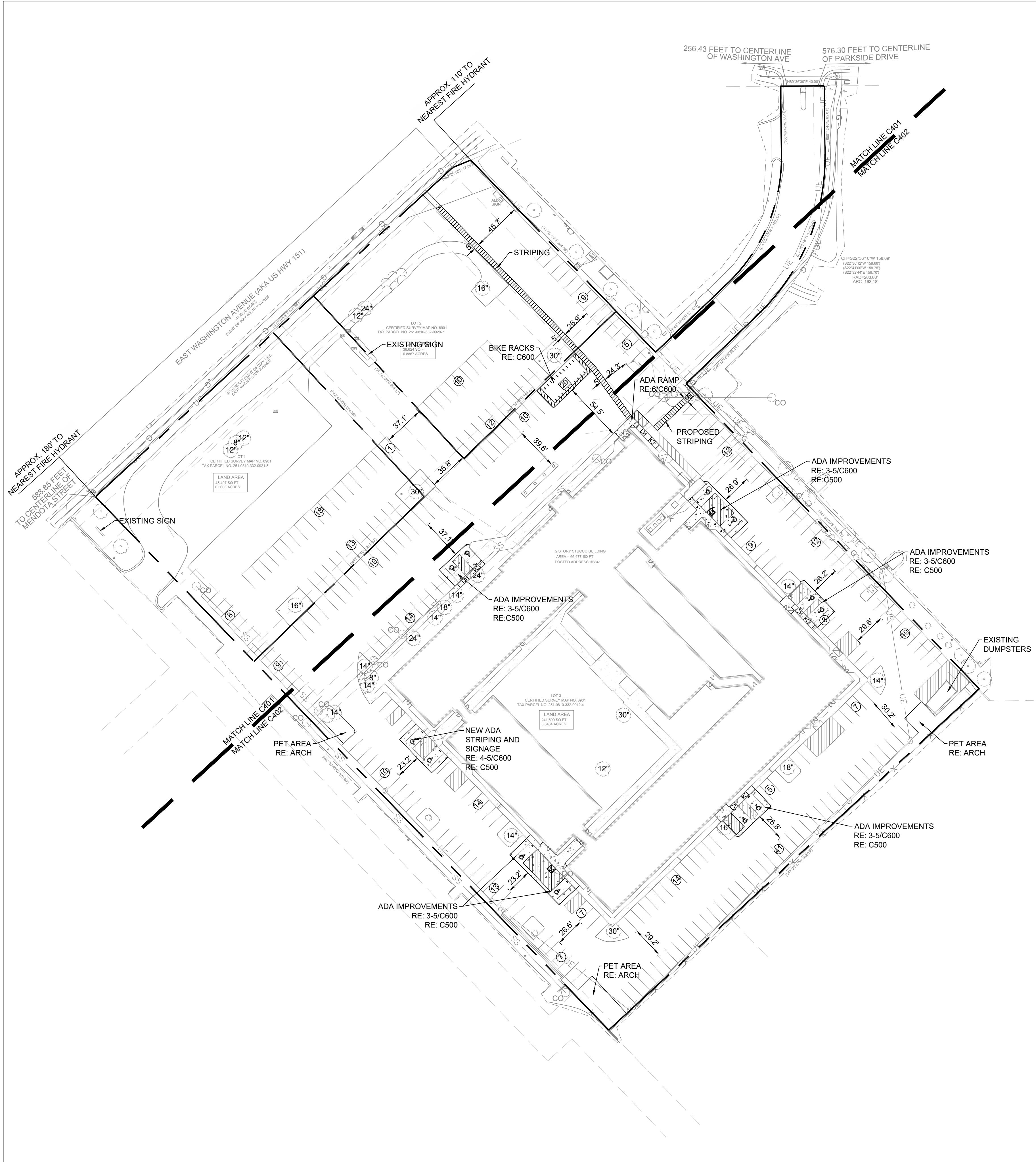
SHEET NUMBER

C302

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EXISTING PARKING SUMMARY	
LOT 1	
PROPOSED STANDARD PARKING	39
EXISTING STANDARD PARKING	39
TOTAL STANDARD PARKING CHANGE	0
LOT 2	
PROPOSED STANDARD PARKING	31
EXISTING STANDARD PARKING	31
TOTAL STANDARD PARKING CHANGE	0
LOT 3	
PROPOSED STANDARD PARKING	215
EXISTING STANDARD PARKING	239
TOTAL STANDARD PARKING CHANGE	-24

PROPOSED BICYCLE PARKING SUMMARY	
LOT 3	
PROVIDED - EXTERIOR	20
2' BIKE RACKS	
TOTAL BICYCLE SPACES PROVIDED	40
REQUIRED	171
TOTAL BICYCLE SPACES REQUIRED:	
(1 PER DWELLING UNIT)	
(1 PER 10 UNITS FOR GUESTS)	
NOTE: RE: ARCH PLANS FOR INDOOR BIKE RACK LOCATIONS	


- GENERAL NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
  - ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
  - ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
  - RADII = 3'-00" U.N.O.






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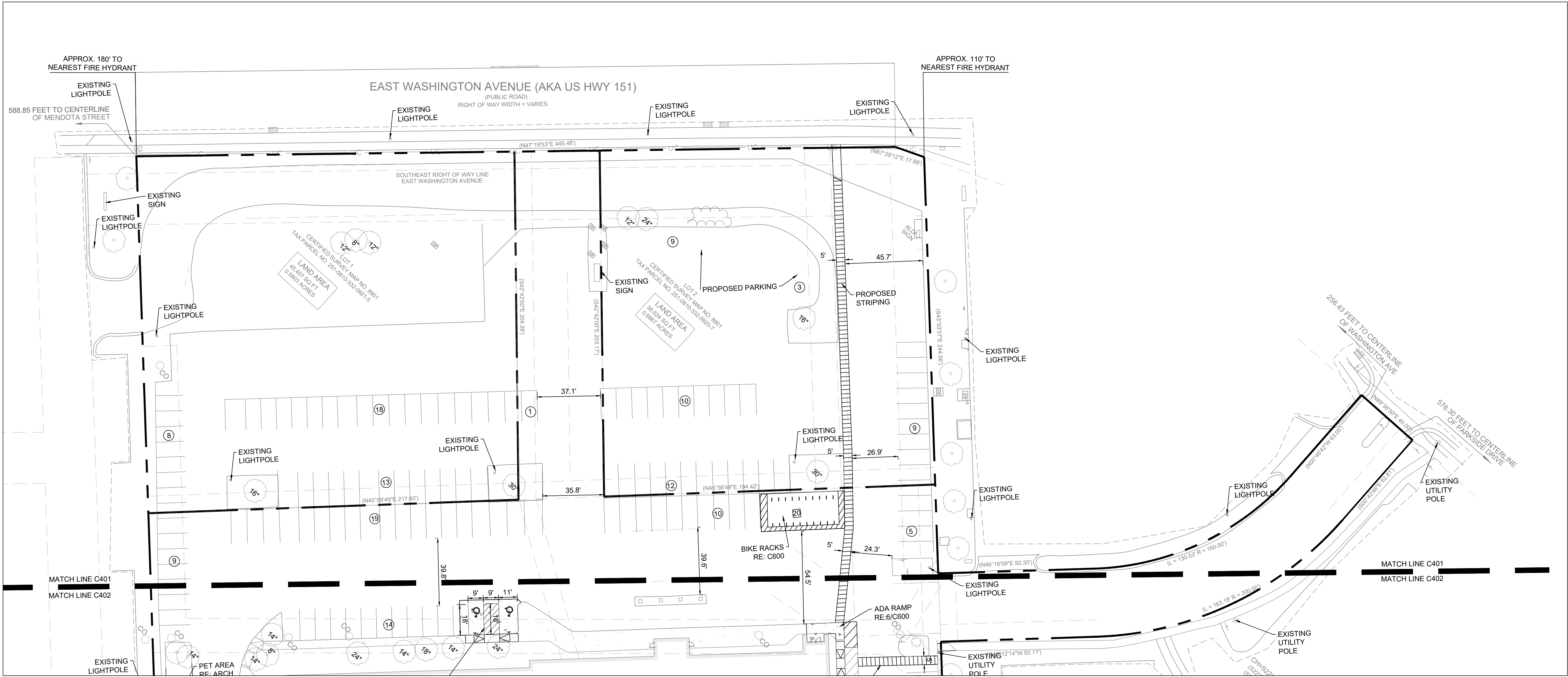
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phone: 405.231.3105



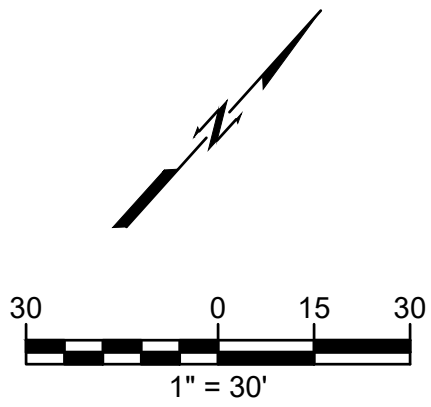
RENOVATION  
PLATO'S MADISON  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA
07/15/2022
SHEET TITLE
OVERALL SITE PLAN
PROJECT NUMBER
2280028
SHEET NUMBER
C400





- GENERAL NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
  2. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  4. REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
  5. ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
  6. RADII = 3'-00" U.N.O.



LEGEND	
	PROPERTY LINE
	PROP. CONCRETE PAVEMENT
	PARKING COUNT
	NUMBER OF BICYCLE RACKS
	TREE DIAMETER IN INCHES

NOT FOR  
CONSTRUCTION



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**RENOVATION  
PLATO'S MADISON**  
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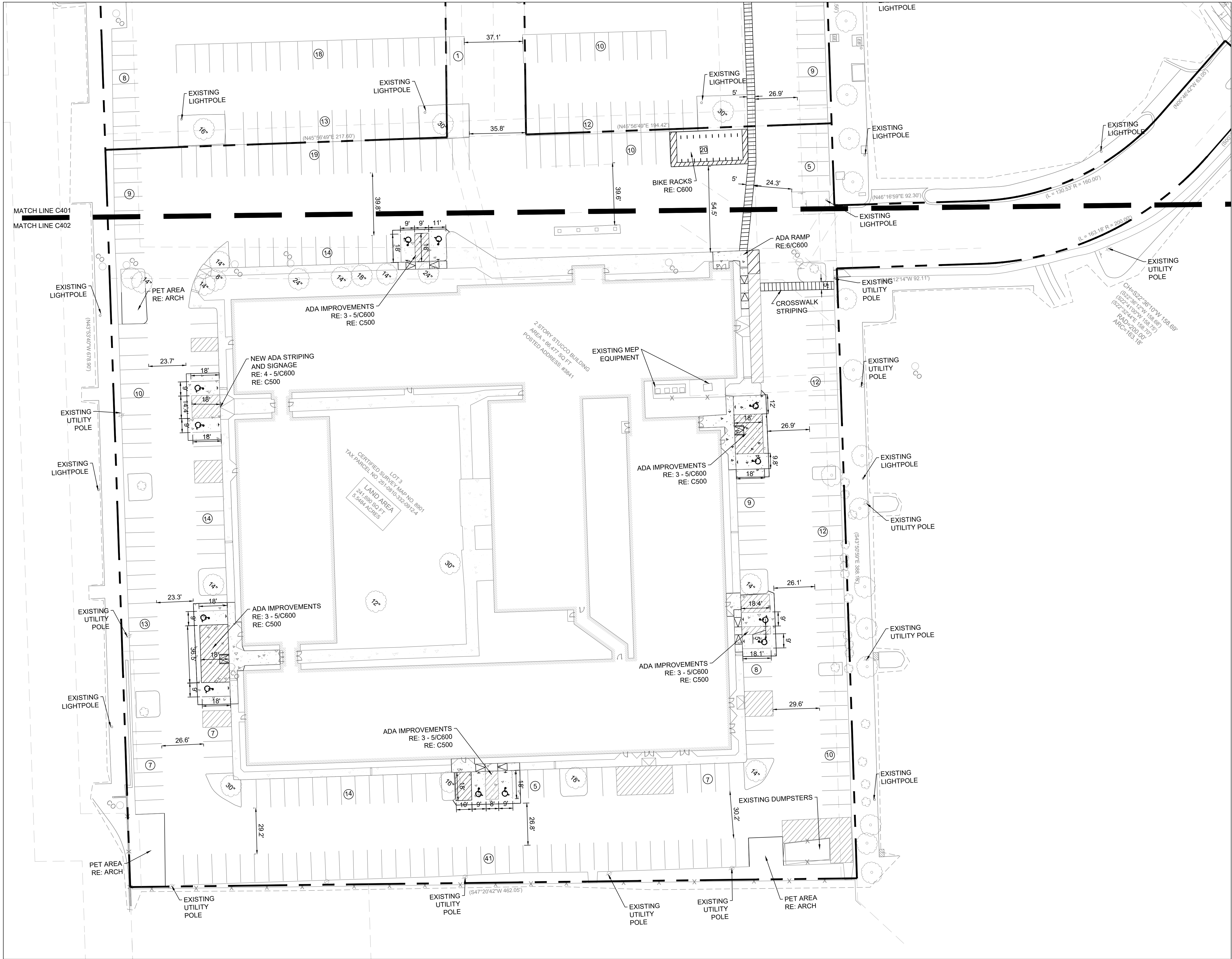
SUBMISSION DATES
UDC AND LUA
07/15/2022

SHEET TITLE  
ENLARGED SITE  
PLAN 1

PROJECT NUMBER  
2280028

SHEET NUMBER  
C401





- GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
  - ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
  - ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
  - RADII = 3'-00" U.N.O.

LEGEND	
	PROPERTY LINE
	PROP. CONCRETE PAVEMENT
	PARKING COUNT
	NUMBER OF BICYCLE RACKS
	TREE DIAMETER IN INCHES

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**RENOVATION**  
**PLATO'S MADISON**  
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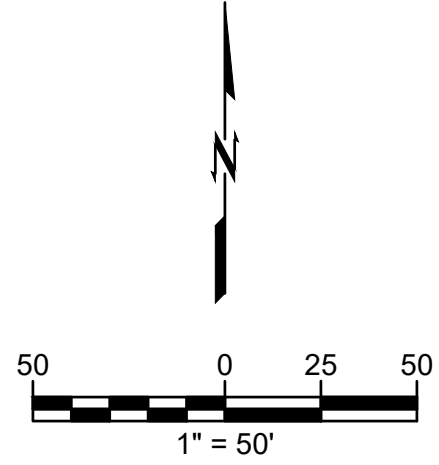
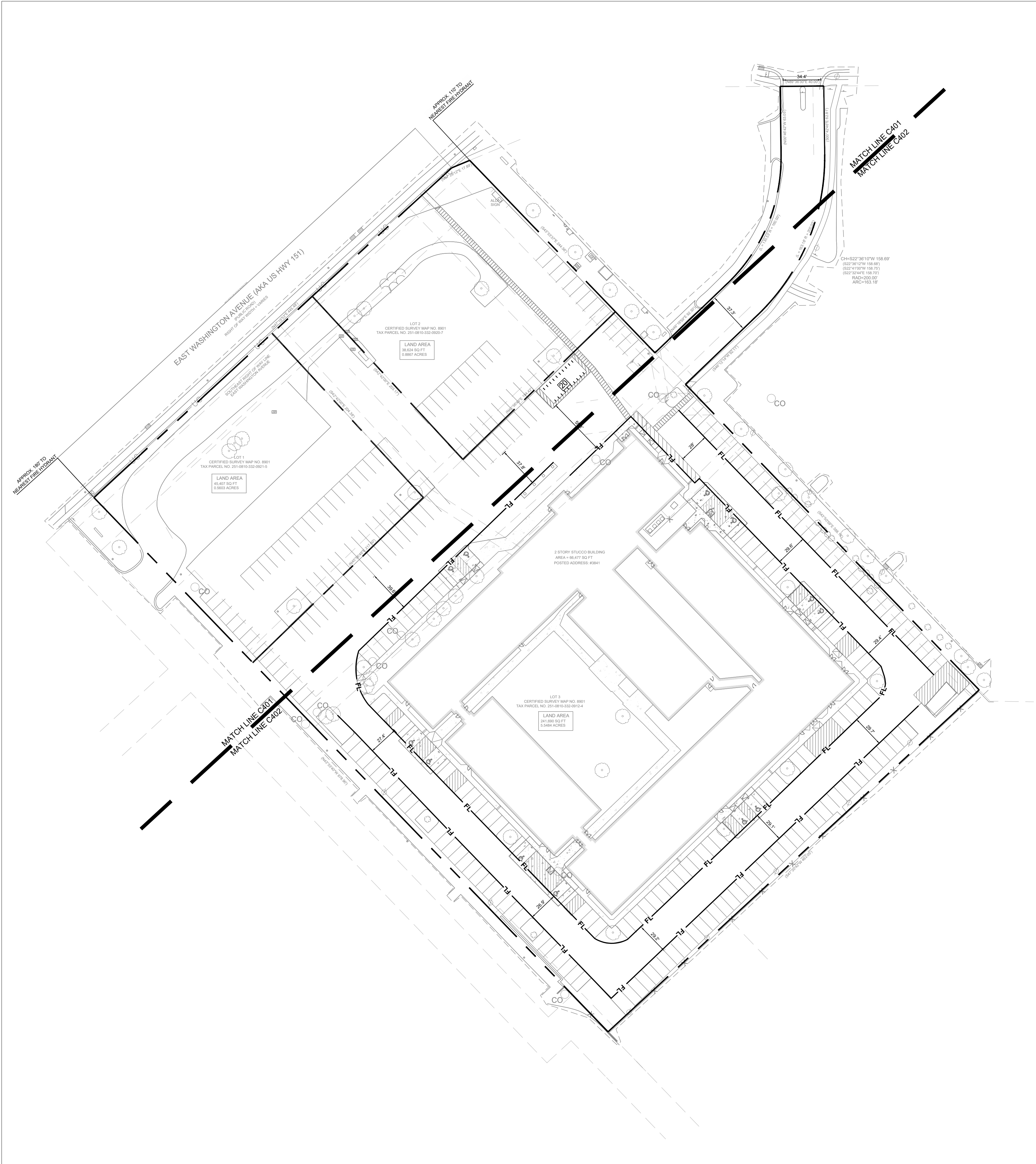
SUBMISSION DATES  
UDC AND LUA  
07/15/2022

SHEET TITLE  
ENLARGED SITE  
PLAN 2

PROJECT NUMBER  
2280028

SHEET NUMBER  
C402





LEGEND

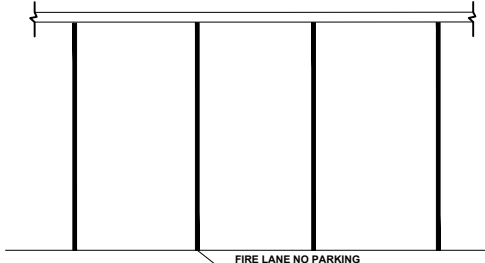
- PROPERTY LINE
- FL FIRE LANE  
RE: 1/ THIS SHEET

3" HIGH X 1/2" STROKE REFLECTIVE "WHITE" LETTERS AT  
20'-0" O.C. OR AS DIRECTED BY FIRE DEPT. ON SITE AND  
AT EACH END TYPICAL ALL FIRE ACCESS LANES ON FACE  
OF CURBS

PAINT TOP AND FRONT OF CURBS "RED" TYPICAL

FIRE LANE NO PARKING

NOTE:  
1. VERIFY AND COMPLY WITH ALL GOVERNMENTAL REQUIREMENTS.  
2. CONFIRM STRIPING WITH FIRE DEPARTMENT PRIOR TO  
CONSTRUCTION.



STRIPES AT EDGE OF PARKING  
STALL SPACE AT 20'-0" OR  
AS DIRECTED BY FIRE DEPT.

CURB SIGN FOR FIRE LANE

CURB SIGN AT EDGE OF PARKING STALL

ALL MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE  
WITH SECTION 503.3 AND D103.6 OF THE INTERNATIONAL FIRE CODE.

1 FIRE LANE STRIPING

SCALE: NTS



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RENOVATION  
PLATO'S MADISON  
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SUBMISSION DATES  
UDC AND LUA

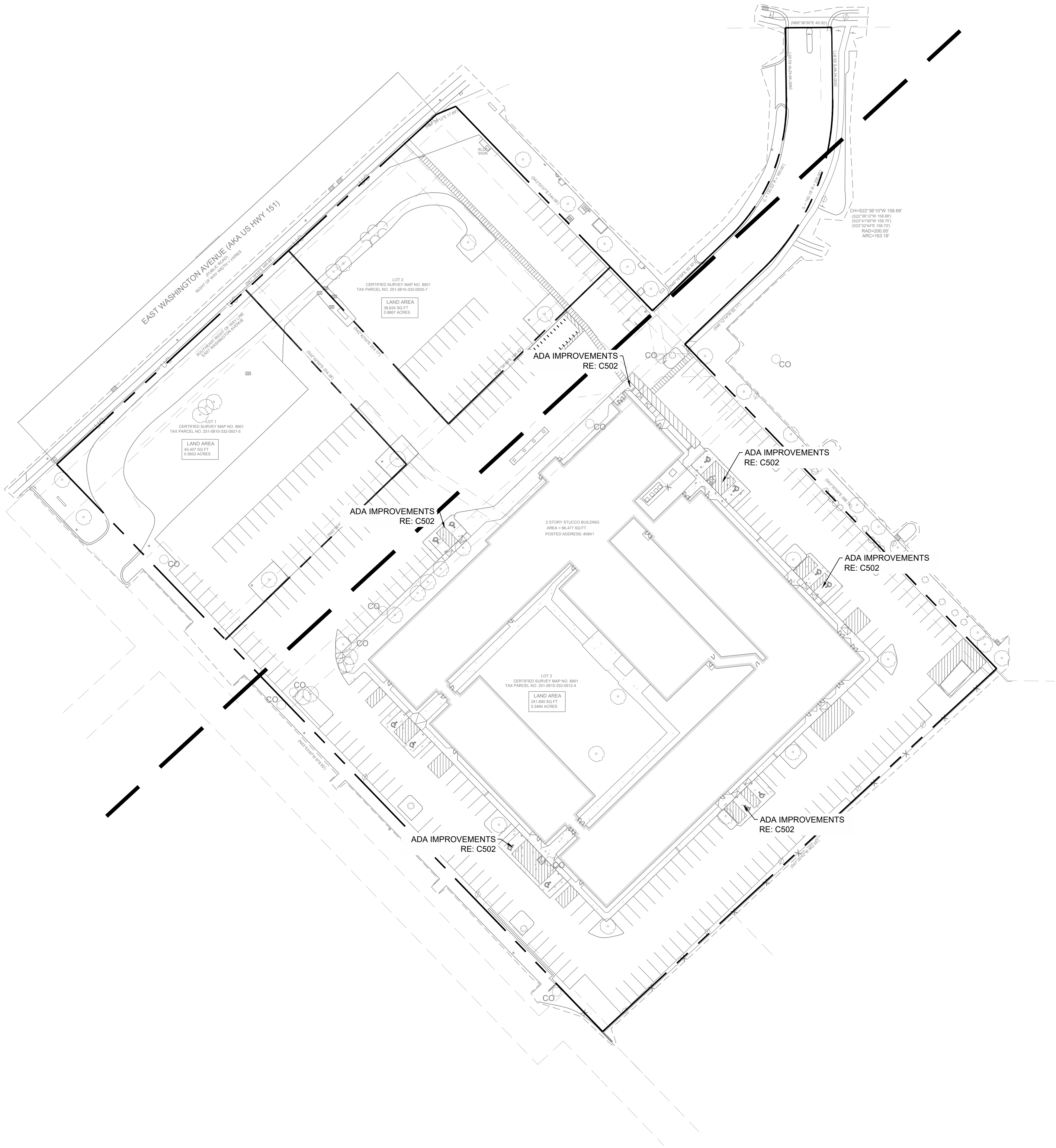
07/15/2022

SHEET TITLE  
FIRE ACCESS  
EXHIBIT

PROJECT NUMBER  
2280028

SHEET NUMBER  
C403





GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
6. ALL SIDEWALKS AND RAMPS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

---	PROPERTY LINE
- - - - -	EXISTING MAJOR CONTOUR
- - - - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR MAG NAIL IN CONCRETE	
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

NOT FOR  
CONSTRUCTION

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**RENOVATION**  
**PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
UDC AND LUA

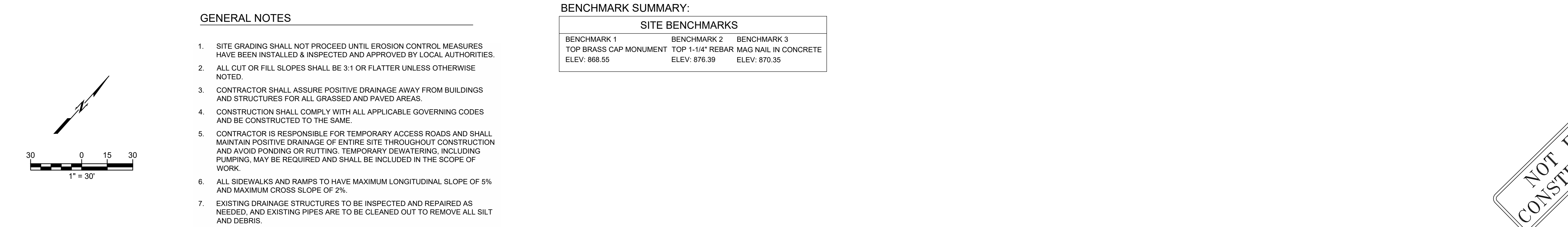
07/15/2022

SHEET TITLE  
OVERALL  
GRADING PLAN

PROJECT NUMBER  
2280028

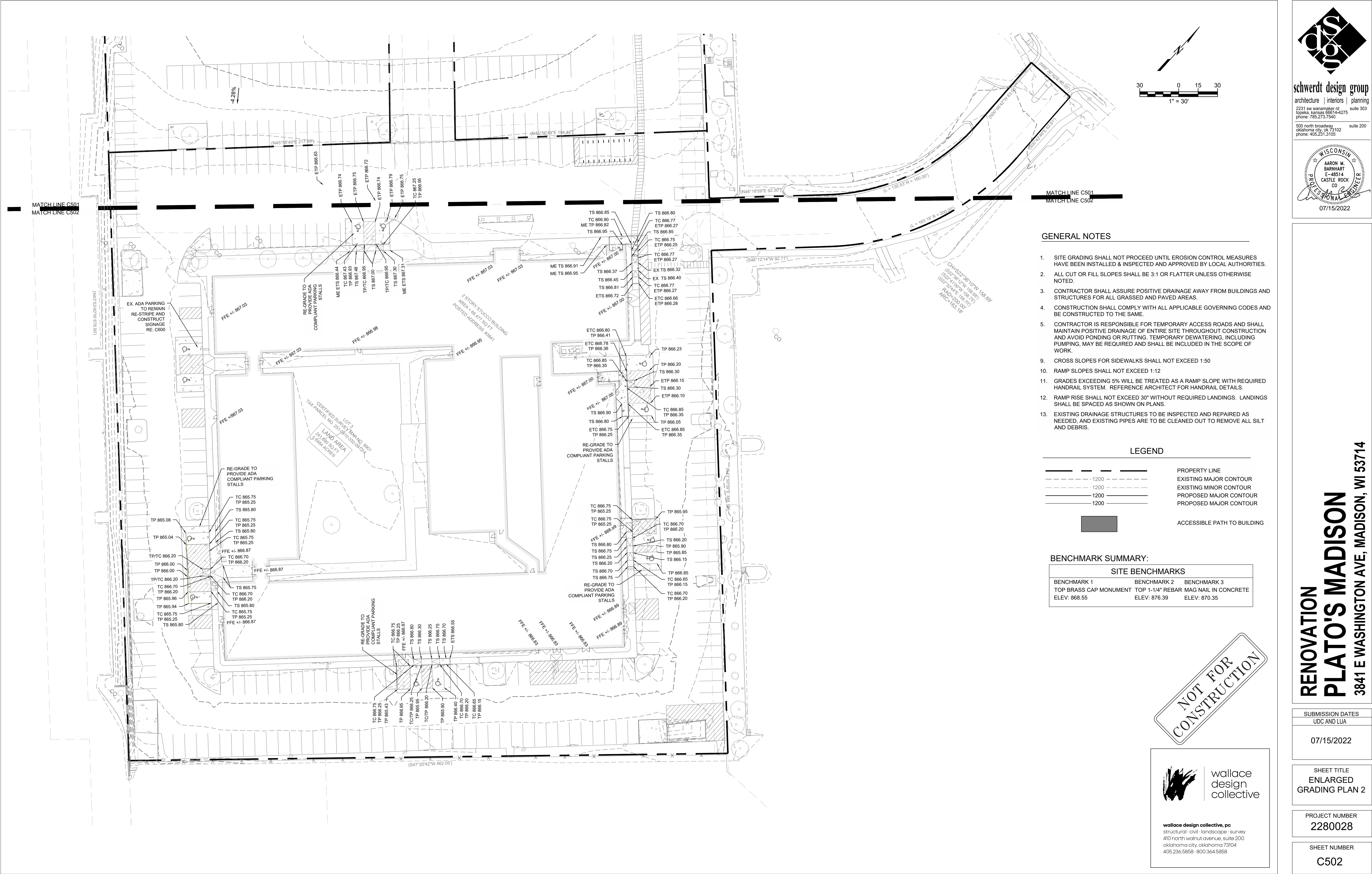
SHEET NUMBER  
C500





SHEET NUMBER  
C501





GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
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5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
9. CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
10. RAMP SLOPES SHALL NOT EXCEED 1:12
11. GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE WITH REQUIRED HANDRAIL SYSTEM. REFERENCE ARCHITECT FOR HANDRAIL DETAILS.
12. RAMP RISE SHALL NOT EXCEED 30° WITHOUT REQUIRED LANDINGS. LANDINGS SHALL BE SPACED AS SHOWN ON PLANS.
13. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

---	PROPERTY LINE
- - - -	EXISTING MAJOR CONTOUR
- - - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR
■	ACCESSIBLE PATH TO BUILDING

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

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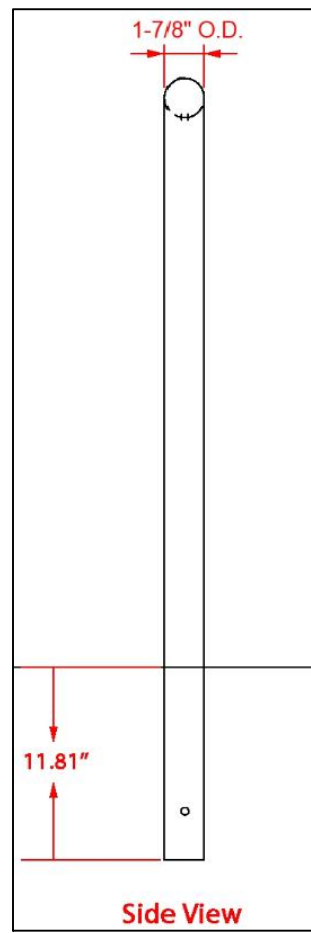
**AARON M. BARNHART**  
E-48514  
CASTLE ROCK  
CO  
PROFESSIONAL ENGINEER  
07/15/2022

**RENOVATION**  
**PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA
07/15/2022
SHEET TITLE
ENLARGED
GRADING PLAN 2
PROJECT NUMBER
2280028
SHEET NUMBER
C502

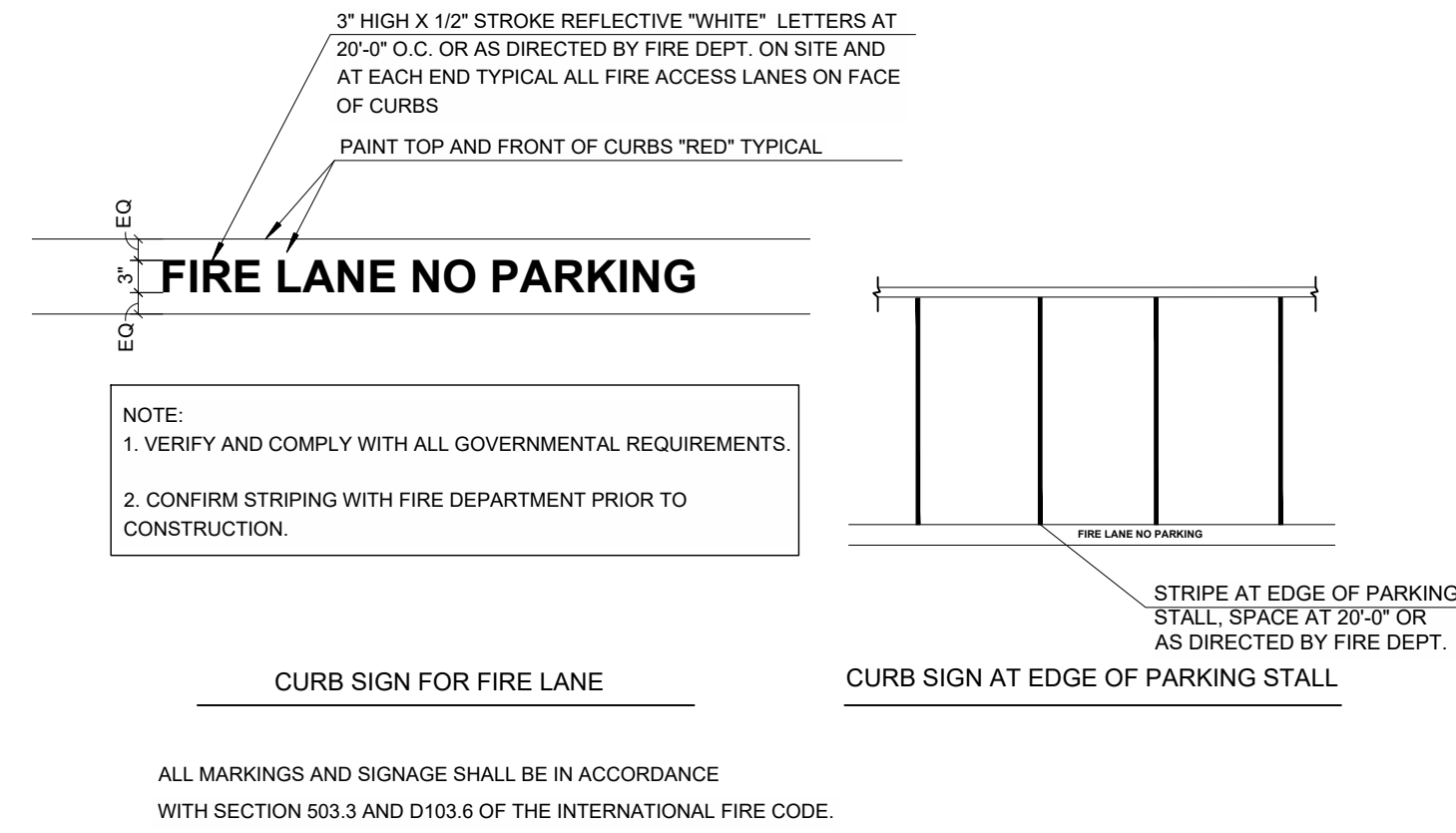
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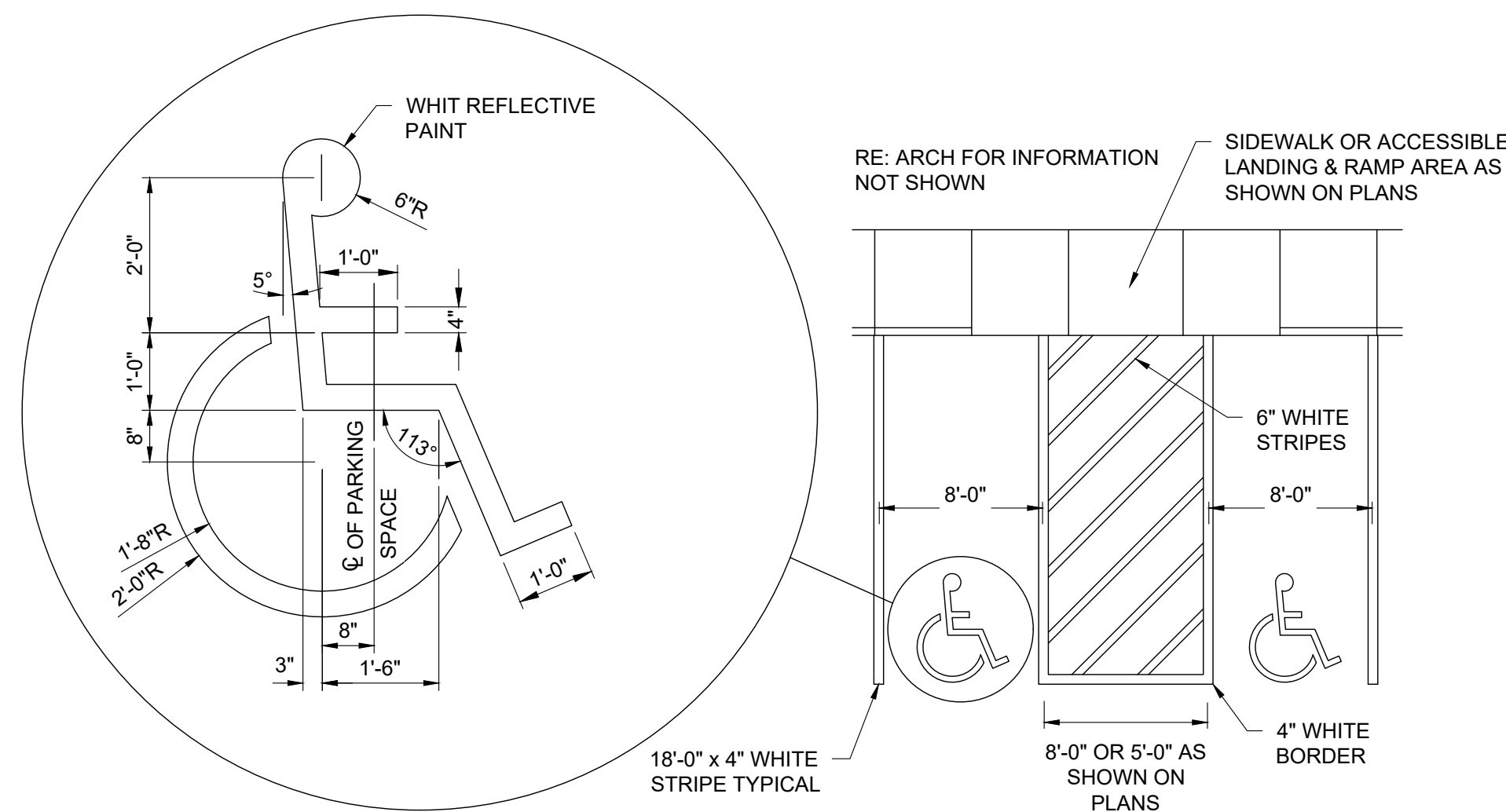


Material	Finish	Dimensions	Weight
Steel tubing	Powder-coated black	22.05" w x 47.83" h Above ground: 22.05" w x 36.02" h	24 lbs.

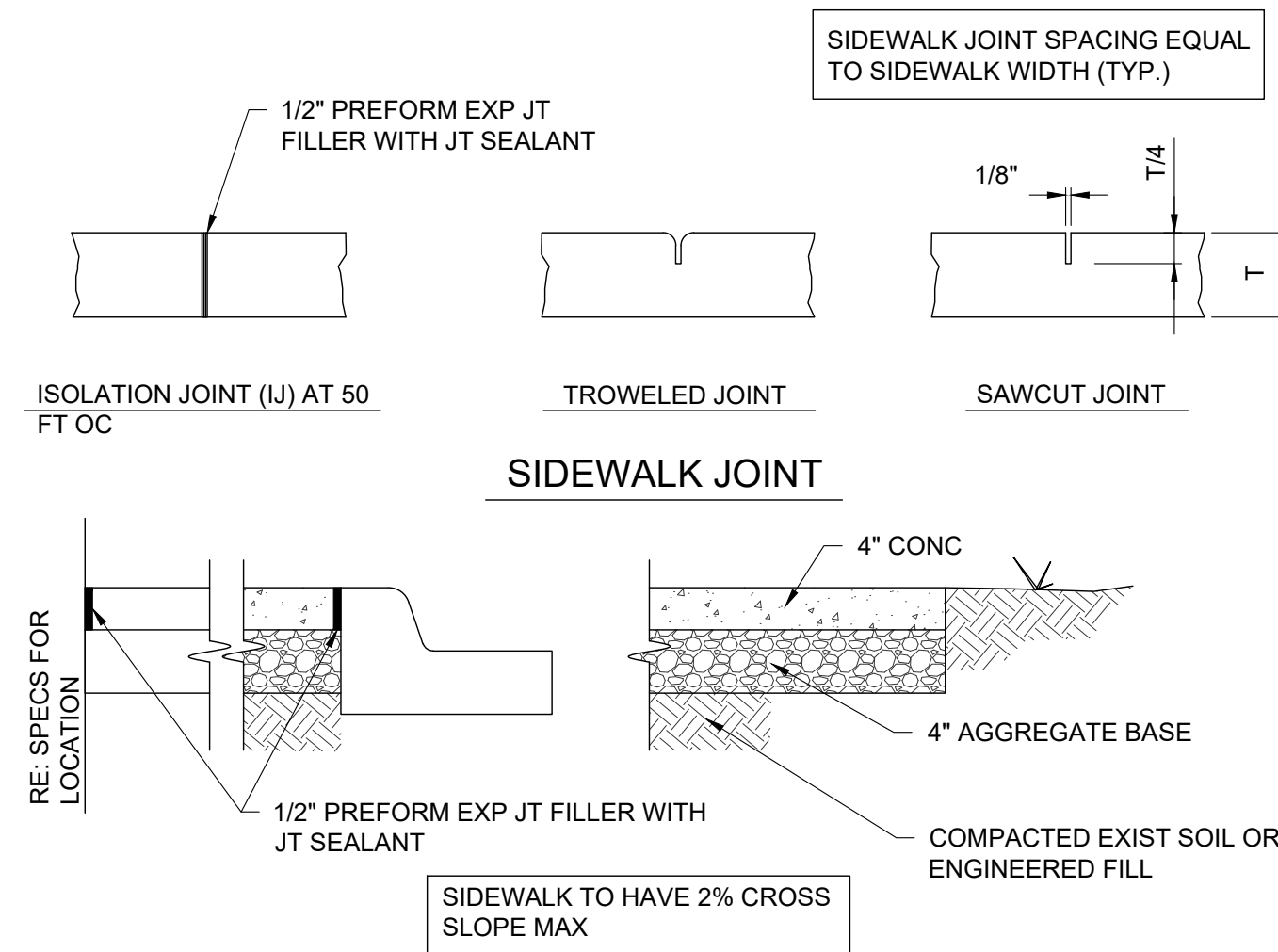
**Type of Mount:** Inground mount  
**Size of Tubing:** 1-7/8" O.D. x 11-gauge



## SCALE: NTS

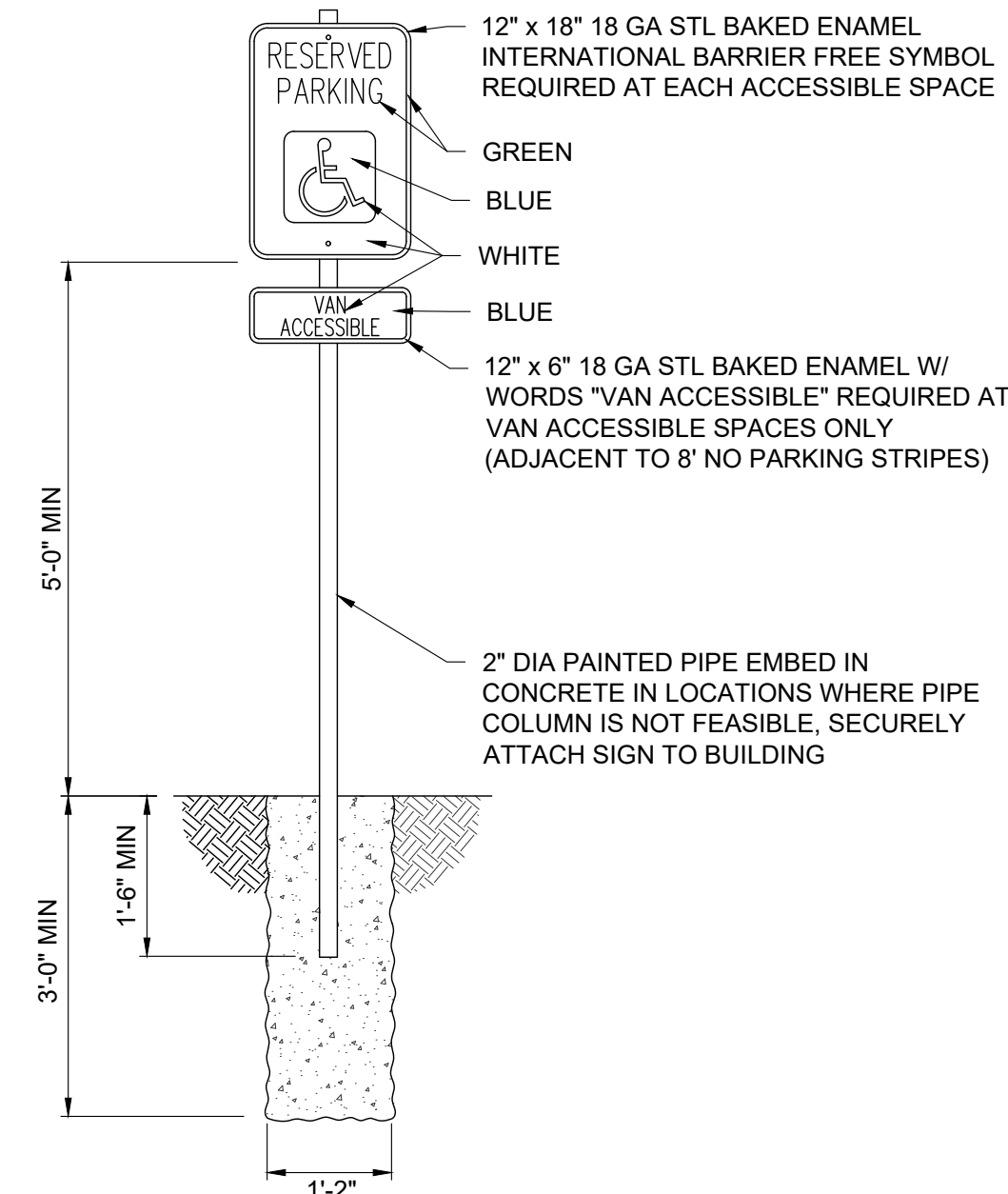


## SCALE: NTS



## SCALE: NT:

## SCALE: NTS



## SCALE: NTS



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231 sw wanamaker rd suite 303  
pepeka, kansas 66614-4275  
phone: 785.273.7540

600 north broadway  
oklahoma city, ok 73102  
phone: 405.231.3105



07/15/2022

**RENOVATION**  
**PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
UDC AND LUA

07/15/2022

SHEET TITLE

DETAILS

PROJECT NUMBER  
2280028

SHEET NUMBER

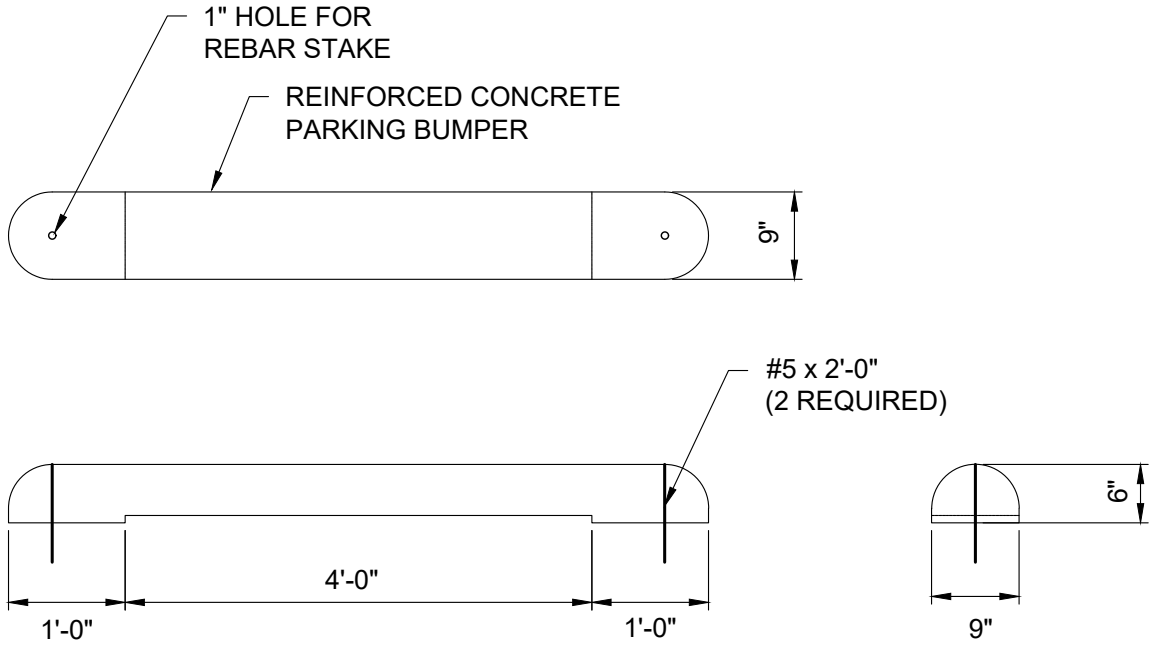
C600



1

(NOT INCLUDED IN THIS MILESTONE)

SCALE: NTS



2 PARKING BUMPER

SCALE: NTS

NOT FOR  
CONSTRUCTION



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07/15/2022

RENOVATION  
**PLATO'S MADISON**  
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES  
UDC AND LUA

07/15/2022

SHEET TITLE

DETAILS

PROJECT NUMBER

2280028

SHEET NUMBER

C601





# City of Madison Fire Department

30 West Mifflin Street, 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 3841 E Washington Ave, Madison, WI 53714

**Contact Name & Phone #:** Patrick Altendorf, 405-536-2026

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A

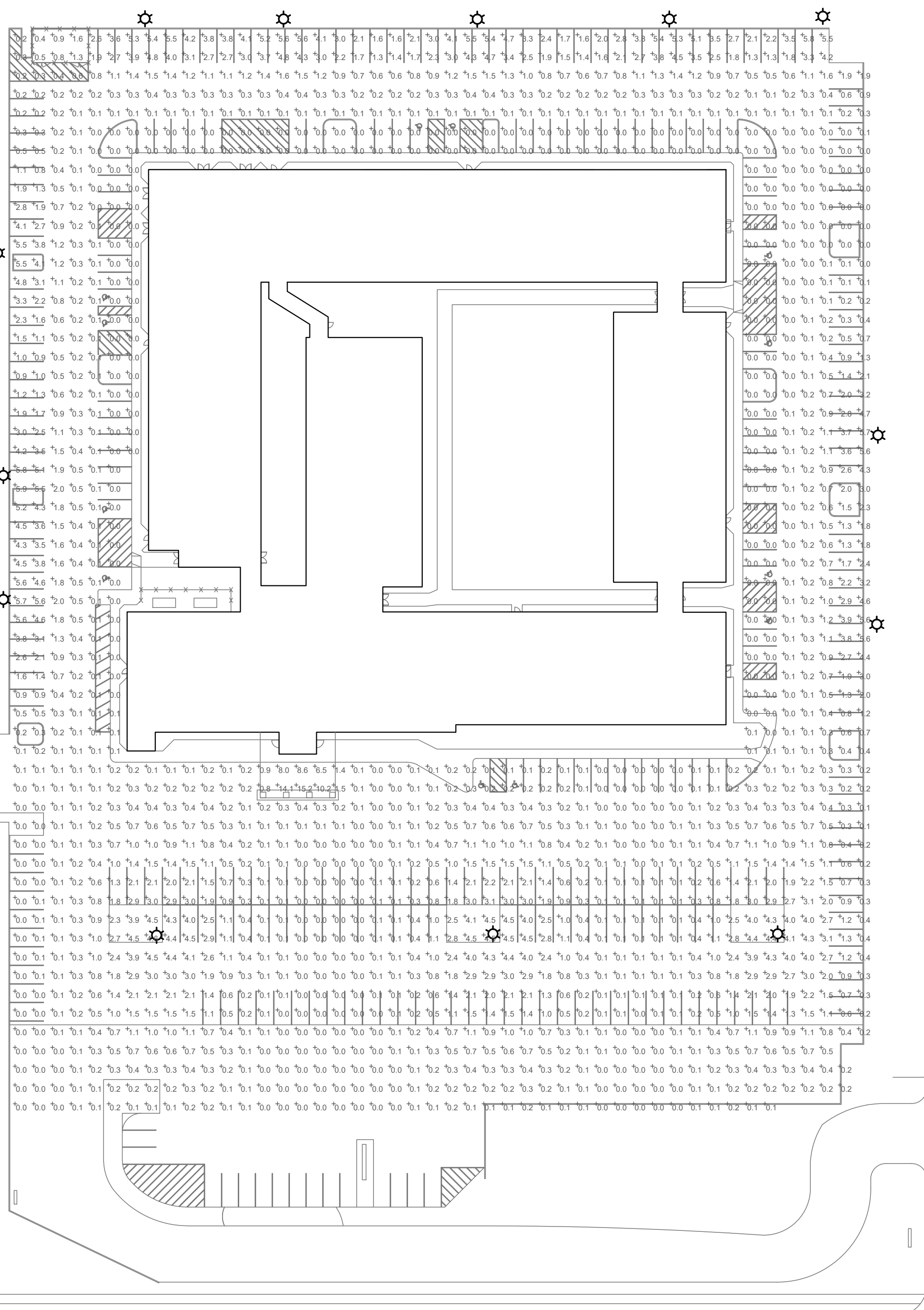
Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.



1  
D  
C  
B  
A  
FILE PATH:  
DRAWN BY:


1  
2  
3  
4  
5



PHOTOMETRICS NOTES  
LIGHTS EXISTING TO REMAIN. LOCATIONS  
DETERMINED FROM FIELD INVESTIGATION OF  
SITE. EXACT MODELS OF FIXTURES WERE  
UNABLE TO BE DETERMINED AND MODELED  
AS SIMILAR FIXTURES.

AVERAGE: 0.8 FC  
MAXIMUM: 15.2 FC  
MINIMUM: 0.0 FC

PHOTOMETRICS PLAN  
1" = 50'

  
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OVERLAND PARK, KS  
PROFESSIONAL ENGINEER

RENOVATION  
PLATO'S OF MADISON, WI  
3841 E WASHINGTON AVE, MADISON, WI 53704

SUBMISSION DATES
July 18, 2022
SHEET TITLE
PHOTOMETRICS
PROJECT NUMBER
2280028
SHEET NUMBER
E100