

RENOVATION PLATO'S MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

A1 LOCATION MAP
SCALE: NOT TO SCALE

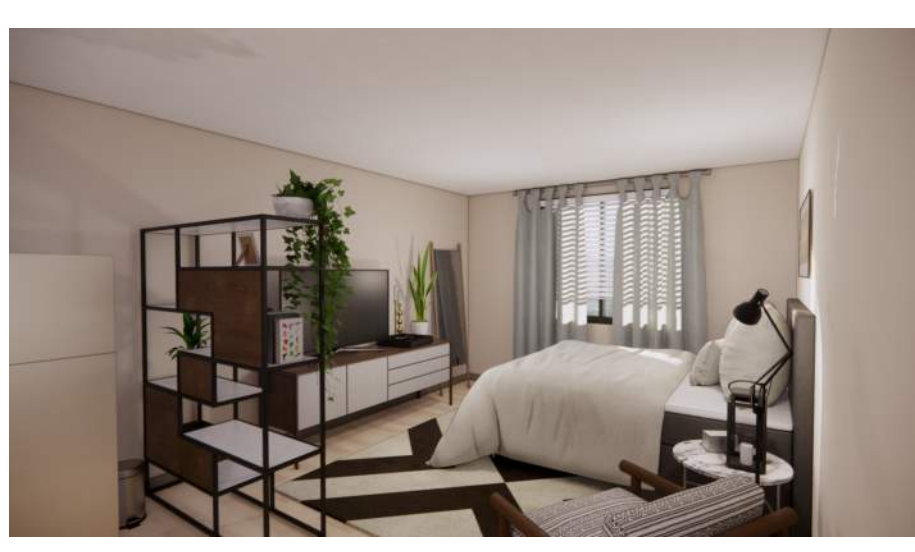
MATERIAL LEGEND

PLAN OR SECTION	RIGID INSULATION
ACOUSTIC TILE (SECTION)	SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT TILE (LARGE SCALE)
BATT INSULATION	WOOD BLOCKING
BRICK	WOOD MEMBER (CONTINUOUS)
CARPET	WOOD STUDS, PARALAM, FINISHED
CONCRETE	ELEVATION
CONCRETE MASONRY UNITS	BRICK
CONCRETE, PLASTER CUT STONE, STUCCO	GLASS
EARTH COMPACTED/DISTURBED	WOOD
METAL	
METAL STUDS	
PLYWOOD (LARGE SIZE)	

GRAPHIC SYMBOLS

ELEVATION TAG	B3	BEARING ELEVATION MARK	EL - FLOOR 100'-0"
WALL SECTION TAG	B5 A-202	MATCHLINE	REGION A A-101 (L1) REGION B A-102 (L1)
DETAIL CALLOUT	A2 A-303	DESCRIPTIVE ARROW	NEW EXISTING
DETAIL REFERENCE	A1 / A-101	CENTERLINE MARK	℄
PARTITION TYPE TAG	P2	SPOT ELEVATION	⊙
WINDOW TAG	1t	DEMOLITION MARK	1
DOOR TAG	D101B	GENERAL NOTE MARK	1
ROOM TAG	ROOM NAME 101	NEW CONSTRUCTION MARK	1
		REVISION MARK	1
		EQUIPMENT TAG	1i
		MATERIAL TAG	1

Plato's



ABBREVIATIONS

A AFF ABOVE FINISH FLOOR ACS PNL ACCESS PANEL ACC ACCESSIBLE ACT ACOUSTICAL CEILING TILE ACOUS PNL ACOUSTICAL PANEL ADMIN ADMINISTRATION APC ACOUSTICAL PANEL AWT ACOUSTICAL WALL TREATMENT ADJ ADJUSTABLE AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM AB ANCHOR BOLT L ANGLE ANOD ANODIZE / ANODIZED APPROX APPROXIMATE ARCH ARCHITECTURAL ASPH ASPHALT	B BSMT BASEMENT BM BEAM BRG BEARING BRG PL BEARING PLATE BR BEDROOM BLW BELOW BTWN BETWEEN BITUM BITUMINOUS BD BOARD BF BOTH FACES BS BOTH SIDES BW BOTH WAYS BOT BOTTOM BRKT BRACKET BLDG BUILDING BUR BUILT-UP ROOFING	C CAB CABINET CUH CABINET UNIT HEATER OPT CARPET CIP CAST-IN-PLACE CS CAST STONE CLG CEILING CEM CEMENT CTR CENTER CL CENTER LINE C TO C CERAMIC TILE CH BD CHALKBOARD C CHANNEL CLR CLEAR CLO CLOSET COL COLUMN CONC CONCRETE CMU CONCRETE MASONRY UNIT CJ CONSTRUCTION JOINT, CONTROL JOINT	D DL DEAD LOAD DEMO DEMOLITION DEPT DEPARTMENT D DEPTH DET DETAIL DIAG DIAGONAL DIA DIAMETER DIM DIMENSION	D DW DISHWASHER DR DOOR DBL DOUBLE DN DOWN DS DOWNSPOUT DWG DRAWING DF DRINKING FOUNTAIN E EA EACH EW EACH WAY ESMT EASEMENT E EAST ELEC ELECTRIC, ELECTRICAL EL ELEVATION ELEV ELEVATOR EQ EQUAL EQUIP EQUIPMENT EXH FN EXHAUST FAN EXIST EXISTING EXP EXPANSION EXT EXTERIOR EJ EXPANSION JOINT EXF EXTERIOR FINISH SYSTEM F FC BRK FACE BRICK FOF FACE OF FINISH FGL FIBERGLASS FIN FINISH FF EL FINISH FLOOR ELEVATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FIXT FIXTURE FLASH FLASHING FLR FLOOR FOO FLOOR CLEANOUT FD FLOOR DRAIN FLUOR FLUORESCENT FLL FLOW LINE FT FOOT FTG FOOTING FDTN FOUNDATION FR FRAME FA FRESH AIR FURN FURNACE FURG FURRING FS FULL SIZE	G GA GAUGE GALV STL GALVANIZED STEEL GC GENERAL CONTRACTOR GL GLASS GB GRAB BAR GYP BD GYPSUM BOARD H HCP HANDICAPPED HDP HARDWARE HWAC HEATING, VENTILATION & AIR CONDITIONING HT HEIGHT H HIGH HWY HIGHWAY HM HOLLOW METAL HORZ HORIZONTAL HP HORSEPOWER	H HW HOT WATER HYD HYDRANT I INCL INCLUDED ID INSIDE DIAMETER INSUL INSULATION INT INTERIOR J JAN JANITOR K KIT KITCHEN L LAB LABORATORY LAM LAMINATE LAU LAUNDRY LAV LAVATORY LWC LIGHTWEIGHT CONCRETE LCMU LIGHTWEIGHT CONCRETE MASONRY LF LINEAR FOOT LL LIVE LOAD LR LIVING ROOM LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL M MAINT MAINTENANCE MH MANHOLE MFD MANUFACTURED MFR MANUFACTURER MFG MANUFACTURING MO MASONRY OPENING MBR MASTER BEDROOM MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MTL METAL MW MICROWAVE MIN MINIMUM, MINUTE MISC MISCELLANEOUS MR MOISTURE RESISTANT MTD MOUNTED MULL MULLION	N NRC NOISE REDUCTION COEFFICIENT NOM NOMINAL N NORTH NIC NOT IN CONTRACT NTS NOT TO SCALE O OC OFFICE ON CENTER OPNG OPENING OPP OPPOSITE OD OUTSIDE DIAMETER O/O OUT TO OUT OA OVERALL ORD OVERFLOW ROOF DRAIN OVERHANG OF/CI OWNER FURNISHED/ CONTRACTOR INSTALLED OF/OI OWNER FURNISHED/ OWNER INSTALLED	P PT PAINT PR PAIR PNL PANEL PTD PAPER TOWEL DISPENSER PBD PARTICLE BOARD PTN PARTITION PVG PAVING PERF PERFORATED PERIM PERIMETER PLAS PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PLYWD POLYVINYL CHLORIDE LB POUND PCF POUNDS PER CUBIC FOOT PLF POUNDS PER LINEAR FOOT PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PCC PRECAST CONCRETE PREFAB PREFABRICATE PREFIN PREFINISH PROJ PROJECT PL PROPERTY LINE Q QT QUARRY TILE R REF REFERENCE, REFRIGERATOR RCP REFLECTED CEILING PLAN REINF REINFORCE REQD REQUIRED RESIL RESILIENT REST RESTROOM RA RETURN AIR REV REVISION R RISER, RADIUS, RANGE RD ROOF DRAIN RFG ROOFING RM ROOM RO ROUGH OPENING RS ROUGH SAWN S SNU SANITARY NAPKIN DISPENSER SNDU SANITARY NAPKIN DISPOSAL UNIT SS SANITARY SEWER SCHED SCHEDULE SECT SECTION SHT SHEET SV SHEET VINYL SHV SHELVE SHR SHOWER SIM SIMILAR SCWD SOLID CORE WOOD STC SOUND TRANSMISSION CLASS S SOUTH SPEC SPECIFICATION SB SPLASH BLOCK SF SQUARE FOOT SQ INCH SQUARE INCH SQ YD SQUARE YARD SST STAINLESS STEEL STD STANDARD STL JST STEEL JOIST STOR STORAGE SD STORM DRAIN ST STREET	S STRUCT STRUCTURAL SUSP CLG SUSPENDED CEILING SW SWITCH TK BD TACKBOARD TEL TELEPHONE TV TELEVISION TEMPD TEMPERED TER TERRAZZO THK THICKNESS TPD TOILET PAPER HOLDER T&G TONGUE AND GROOVE T&B TOP AND BOTTOM TOC TOP OF CURB TOP OF CONCRETE TOP OF FOOTING TOM TOP OF MASONRY TOS TOP OF STEEL TOW TOP OF WALL TB TOWEL BAR TRANS TRANSPARENT *TF TRANSPARENT WOOD FINISH T TREAD TYP TYPICAL U UNFIN UNFINISHED UH UNIT HEATER UNO UNLESS NOTED OTHERWISE V VR VAPOR RETARDER VNR VENER VENT VENTILATION VERT VERTICAL VEST VESTIBULE VB VINYL BASE VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING VWF VINYL WALL FABRIC V VOLT W WSCOT WAINSCOT WC WALL COVERING, WATER CLOSET WH WATER HEATER WP WATERPROOFING, WORKING POINT WT WEIGHT WVF WELDED WIRE FABRIC W WEST, WIDE WDW WINDOW WGL WIRED GLASS W WITH W/O WITHOUT WD WOOD
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RENOVATION

PLATO'S MADISON, WI

3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

PROGRESS PRINT ONLY

SHEET TITLE

COVER SHEET

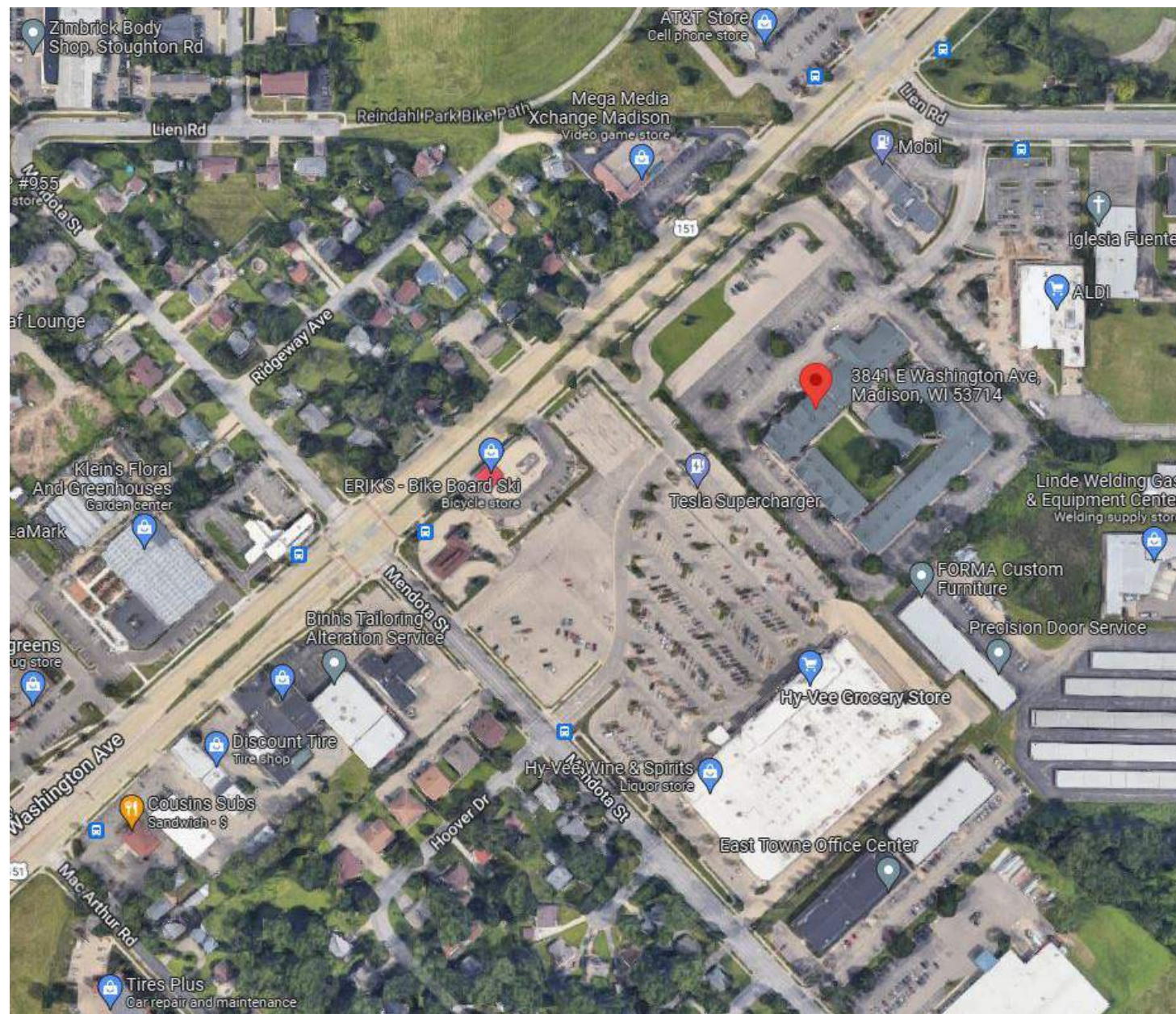
PROJECT NUMBER

0210377

SHEET NUMBER

G-001

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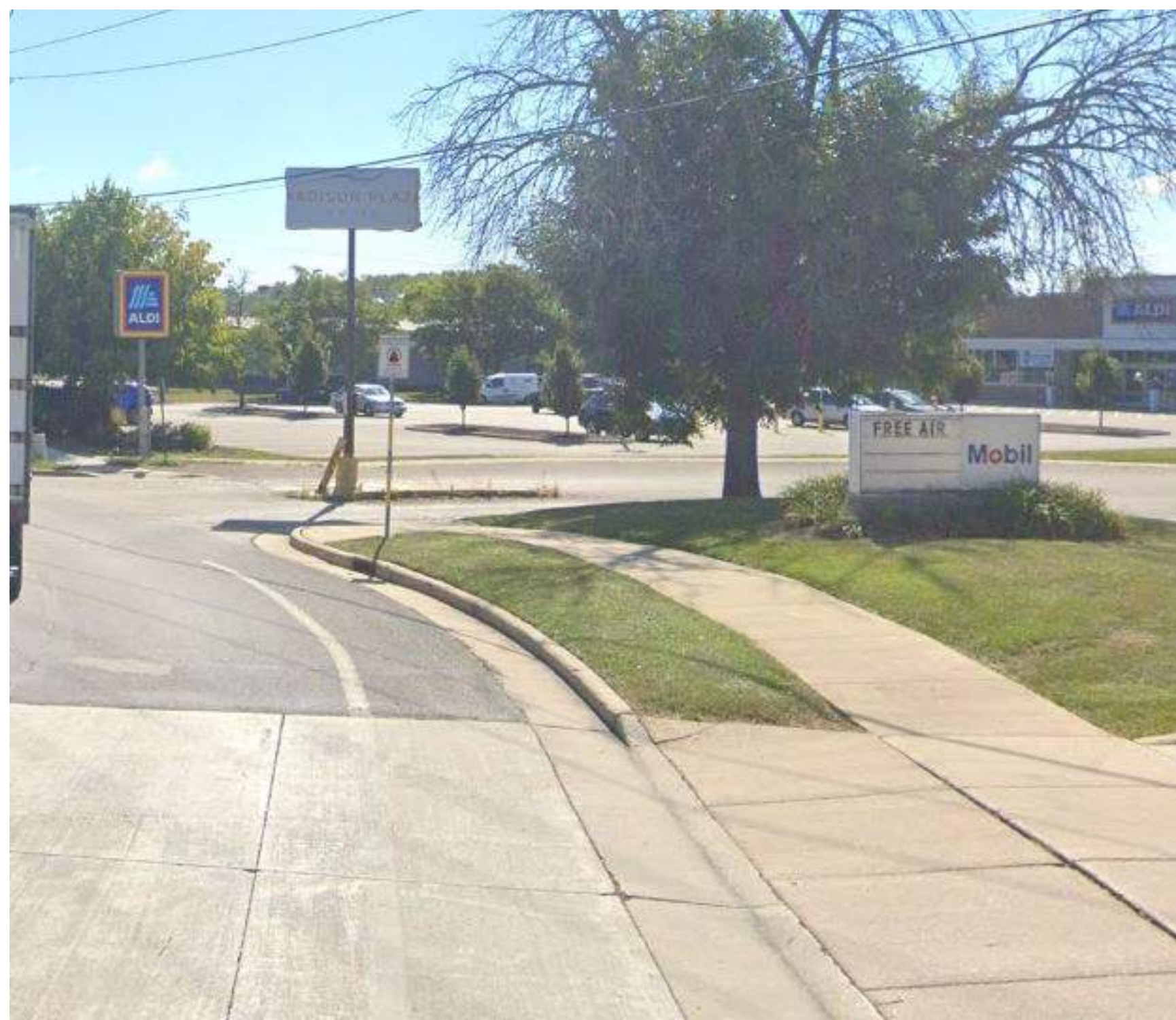
A3 MADISON SATELLITE SITE PLAN
SCALE: 12" = 1'-0"



A2 SIGNAGE - BUILDING - TO BE DEMOLISHED
SCALE: 12" = 1'-0"



A1 SIGNAGE - E WASHINGTON AVE - OFF STREET
SCALE: 12" = 1'-0"



B5 SIGNAGE - LIEN RD
SCALE: 12" = 1'-0"



B2 ALDI - 3925 LIEN RD
SCALE: 12" = 1'-0"



B1 HY-VEE 3801 E WASHINGTON AVE
SCALE: 12" = 1'-0"



B4 ERIK'S BIKES SKIS BOARDS - 3813 E WASHINGTON
SCALE: 12" = 1'-0"



B3 MOBIL - 3859 E WASHINGTON
SCALE: 12" = 1'-0"



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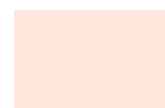
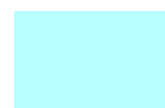


SHEET TITLE
SITE CONTEXT
INFORMATION

PROJECT NUMBER
0210377

SHEET NUMBER
G-002

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UNIT MIX LEGEND

	STUDIO
	FIRST FLOOR: 90 UNITS
	SECOND FLOOR: 90 UNITS
	ONE BEDROOM
	FIRST FLOOR: 5 UNITS
	SECOND FLOOR: 5 UNITS
	190 TOTAL UNITS
	STAIR / ELEVATOR
	FIRST FLOOR: 1,822 SF
	SECOND FLOOR: 3,066 SF
	AMENITY / PUBLIC SPACE
	FIRST FLOOR: 16,162 SF
	SECOND FLOOR: 8,096 SF
	OFFICE SPACE
	FIRST FLOOR: 955 SF
	SECOND FLOOR: 0 SF
	PUBLIC RESTROOMS
	FIRST FLOOR: 525 SF
	SECOND FLOOR: 314 SF
	MECHANICAL / STORAGE
	FIRST FLOOR: 1,935 SF
	SECOND FLOOR: 2,780 SF

UNIT TYPES AND QUANTITIES

FIRST FLOOR

STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

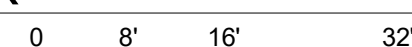
SECOND FLOOR

STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 FIRST FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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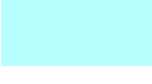


SHEET TITLE
 FIRST FLOOR UNIT MIX PLAN

PROJECT NUMBER
0210377

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Z-101

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UNIT MIX LEGEND

	STUDIO
	FIRST FLOOR: 90 UNITS
	SECOND FLOOR: 90 UNITS
	ONE BEDROOM
	FIRST FLOOR: 5 UNITS
	SECOND FLOOR: 5 UNITS
	190 TOTAL UNITS
	STAIR / ELEVATOR
	FIRST FLOOR: 1,822 SF
	SECOND FLOOR: 3,066 SF
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	FIRST FLOOR: 16,162 SF
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	OFFICE SPACE
	FIRST FLOOR: 955 SF
	SECOND FLOOR: 0 SF
	PUBLIC RESTROOMS
	FIRST FLOOR: 525 SF
	SECOND FLOOR: 314 SF
	MECHANICAL / STORAGE
	FIRST FLOOR: 1,935 SF
	SECOND FLOOR: 2,780 SF

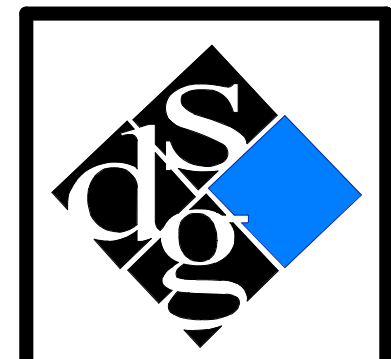
UNIT TYPES AND QUANTITIES

FIRST FLOOR	
STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95
SECOND FLOOR	
STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95
UNIT TOTAL:	190



A1 SECOND FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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 SECOND FLOOR UNIT MIX PLAN

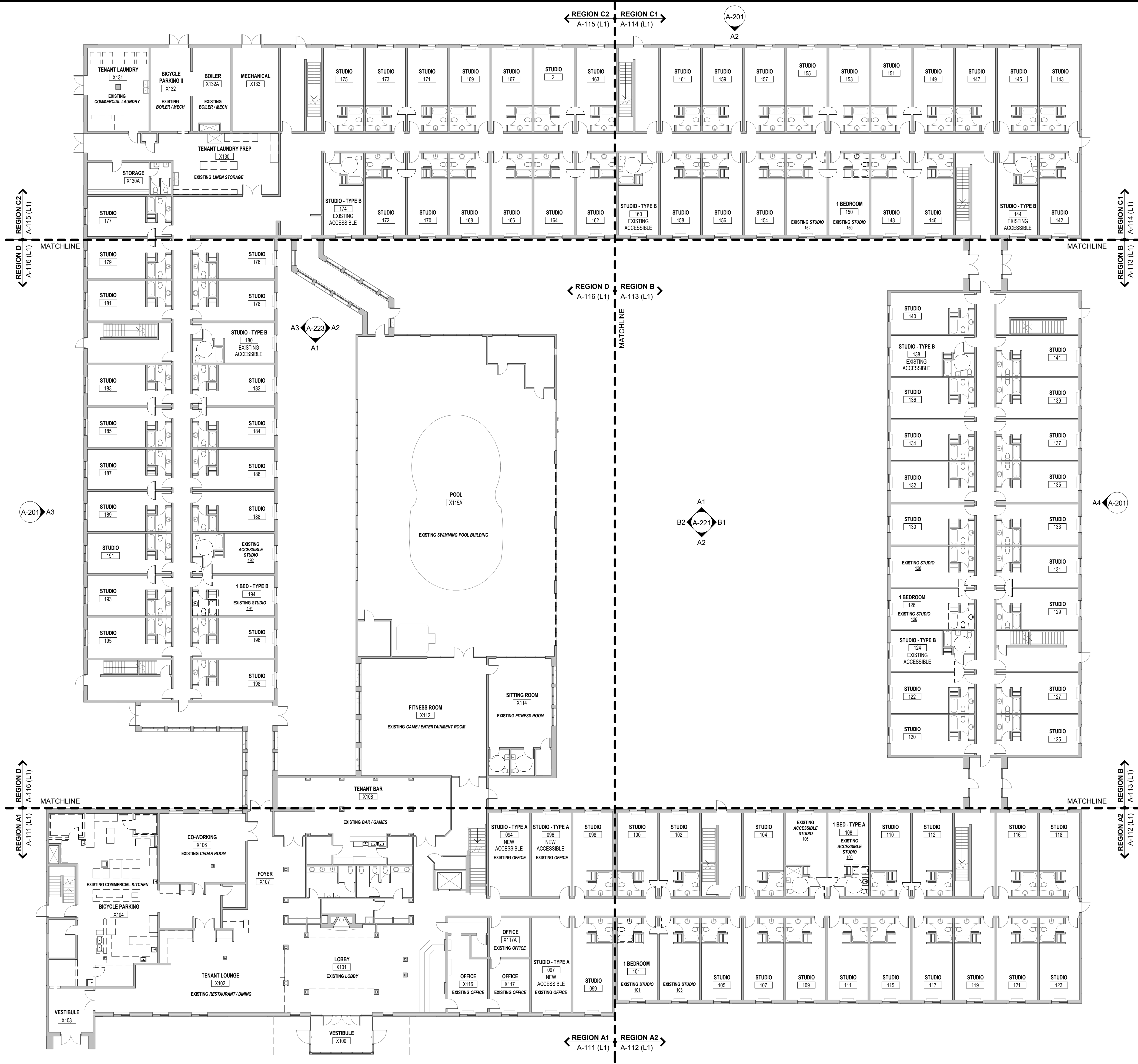
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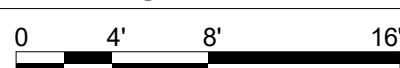
GENERAL DEMO NOTES

1. GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
3. PROTECT EXISTING WORK TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ITEMS OR AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
4. REFERENCE MEP DRAWINGS FOR GENERAL LOCATIONS FOR FLOOR SLAB DEMOLITION REQUIRED FOR UNDERSLAB MEP WORK.
5. REMOVE WALL PAPER ON ALL WALLS.
6. BRACE ALL WALLS AND STRUCTURE AS REQUIRED WHILE PERFORMING THE WORK.
7. NOTIFY ARCHITECT AND OWNER IF EXCESSIVE WOOD ROT, RUST AND/OR DETERIORATION IS FOUND DURING CONSTRUCTION WHEN AREAS OF THE BUILDING ARE UNCOVERED.
8. REFERENCE MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES OR COMMENTS.
9. ALL HVAC, FIRESPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
10. CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNO.
11. CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
12. REPAIR AND PAINT ALL DOOR FRAMES.



A1 OVERALL FIRST FLOOR DEMO PLAN

SCALE: 1/16" = 1'-0"



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SHEET TITLE
 DEMO PLAN - OVERALL
 FIRST FLOOR

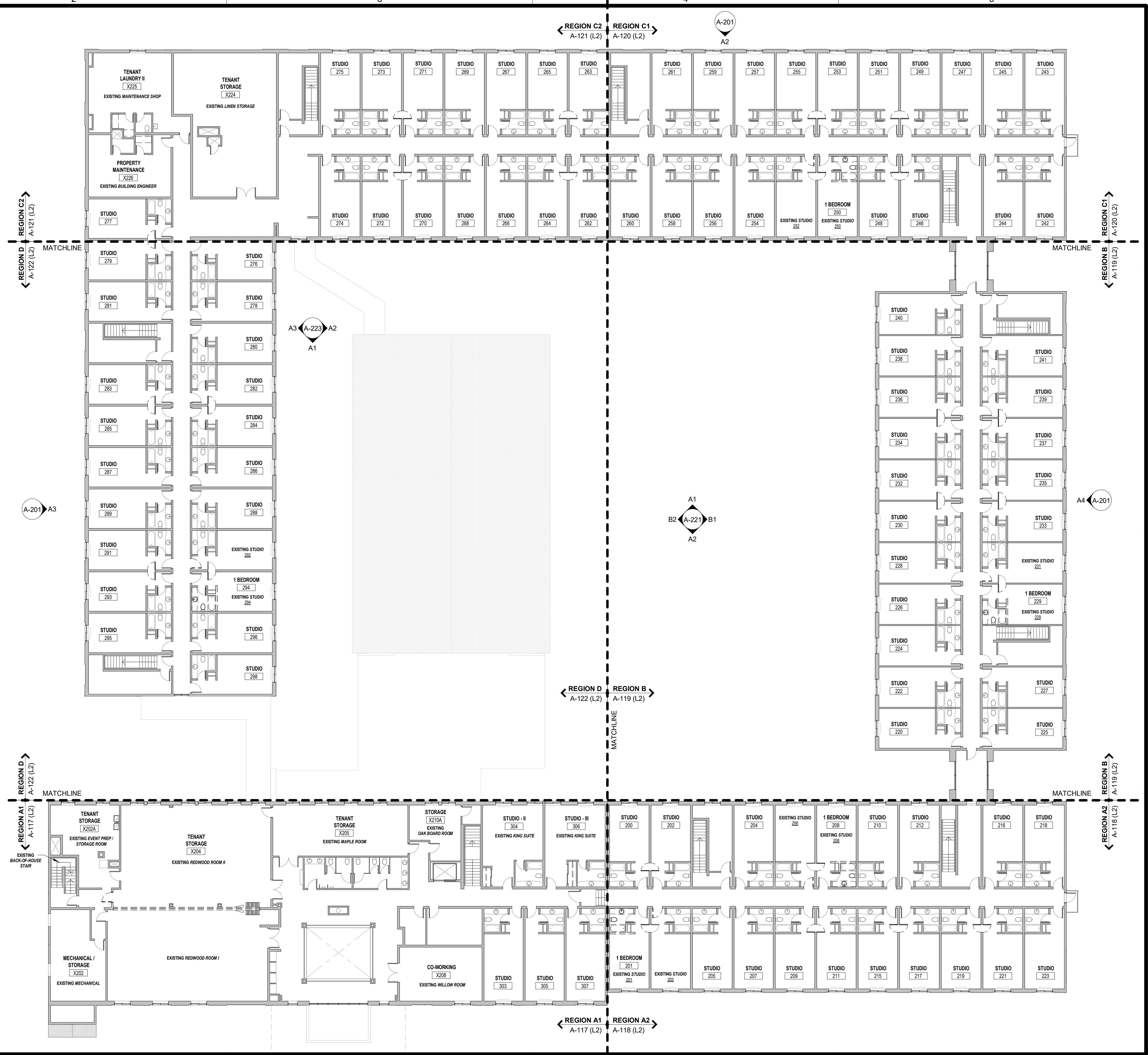
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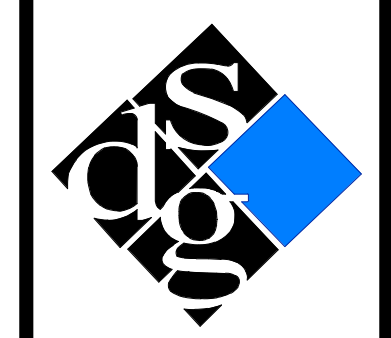
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GENERAL DEMO NOTES

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- ALL HVAC, FIRESPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
- CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNO.
- CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
- REPAIR AND PAINT ALL DOOR FRAMES.



A1 OVERALL SECOND FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"



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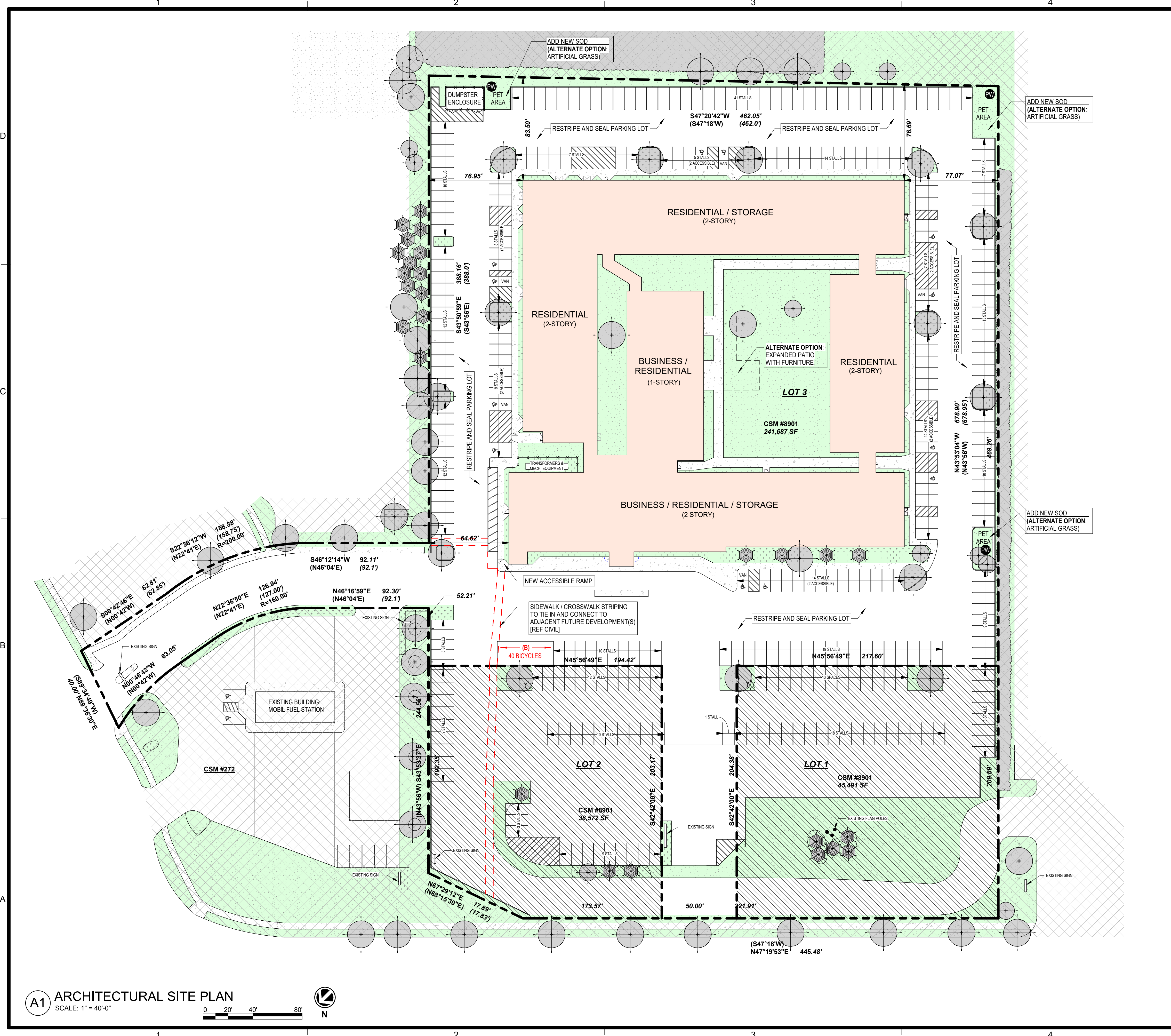
SHEET TITLE
DEMO PLAN - OVERALL
SECOND FLOOR

PROJECT NUMBER
0210377

SHEET NUMBER
D-102

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A1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 40'-0"
 0 20' 40' 80'

ARCHITECTURAL SITE PLAN

LANDSCAPING

EXISTING TREE / TREE LINE

SITE / SURVEY

EXISTING BUILDING

LANDSCAPING

GRASS / LAWN / SOD

PLANTING MULCH / ROCKS / EXISTING SOIL / DIRT

SIDEWALK / CONCRETE

POTENTIAL FUTURE REAL ESTATE DEVELOPMENT

OUT OF SCOPE

FUTURE SIDEWALK / CROSSWALK / NEW STRIPING

GUEST BICYCLE RACK

ACCESSIBLE PARKING SPOT

PROPERTY LINE

CURB / BOUNDARY

PROPERTY LINE LOCATION & LENGTH (RECORDED)

CHAIN LINK / WOOD FENCE

LIGHT POLE / FLOOD LIGHT

PET WASTE DISPOSAL STATION

DATA

EXISTING BUILDING	RENOVATION	STUDIOS
<ul style="list-style-type: none"> RESIDENTIAL - 197 GUEST ROOMS MEETING ROOMS FITNESS ROOM GAME ROOM INDOOR POOL KITCHEN BAR 	<ul style="list-style-type: none"> RESIDENTIAL CO-WORKING BICYCLE STORAGE TENANT STORAGE LOUNGES FITNESS RECREATION 	180 10 TOTAL: 190

LOT 3 AREA: +/- 241,687 SF
 10% SITE IMPROVEMENT ALLOWANCE: +/- 24,168 SF

PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.141(3) & TABLE 28I-2 FOR LOCAL PARKING REQUIREMENTS. CURRENTLY ZONED AS CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL).

EXISTING QTY	OVERALL	LOT 3
	331 STALLS	239 STALLS
NEW QTY	OVERALL	LOT 3
	320 STALLS	228 STALLS
REQUIRED	LOT 3	0 STALLS
PROVIDED	LOT 3 (TOTAL)	228 STALLS [COMPLIANT]

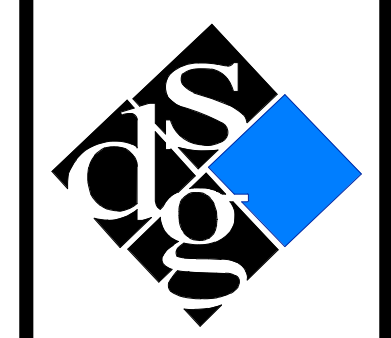
ACCESSIBLE PARKING

REQUIRED	IBC 1106.2 (2%)	5 STALLS
	VAN - IBC 1106.5	1 STALL
PROVIDED	COMBINED	12 STALLS TOTAL [COMPLIANT]
	VAN	5 STALLS [COMPLIANT]

BICYCLE PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.141(11) & TABLE 28I-3 FOR BICYCLE PARKING REQUIREMENTS.

REQUIRED	TENANT (1 PER UNIT); GUEST (1 PER 10 UNITS); ENCLOSED (MIN 90%) UN-ENCLOSED	190 STALLS 19 STALLS (MAX 100'-0" FROM ENTRANCE) 189 STALLS 20 STALLS
PROVIDED	TENANT; GUEST:	194 ENCLOSED STALLS [COMPLIANT] 40 UN-ENCLOSED STALLS (WITHIN 100'-0" OF ENTRANCE) [COMPLIANT]



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RENOVATION PLATO'S MADISON, WI
 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
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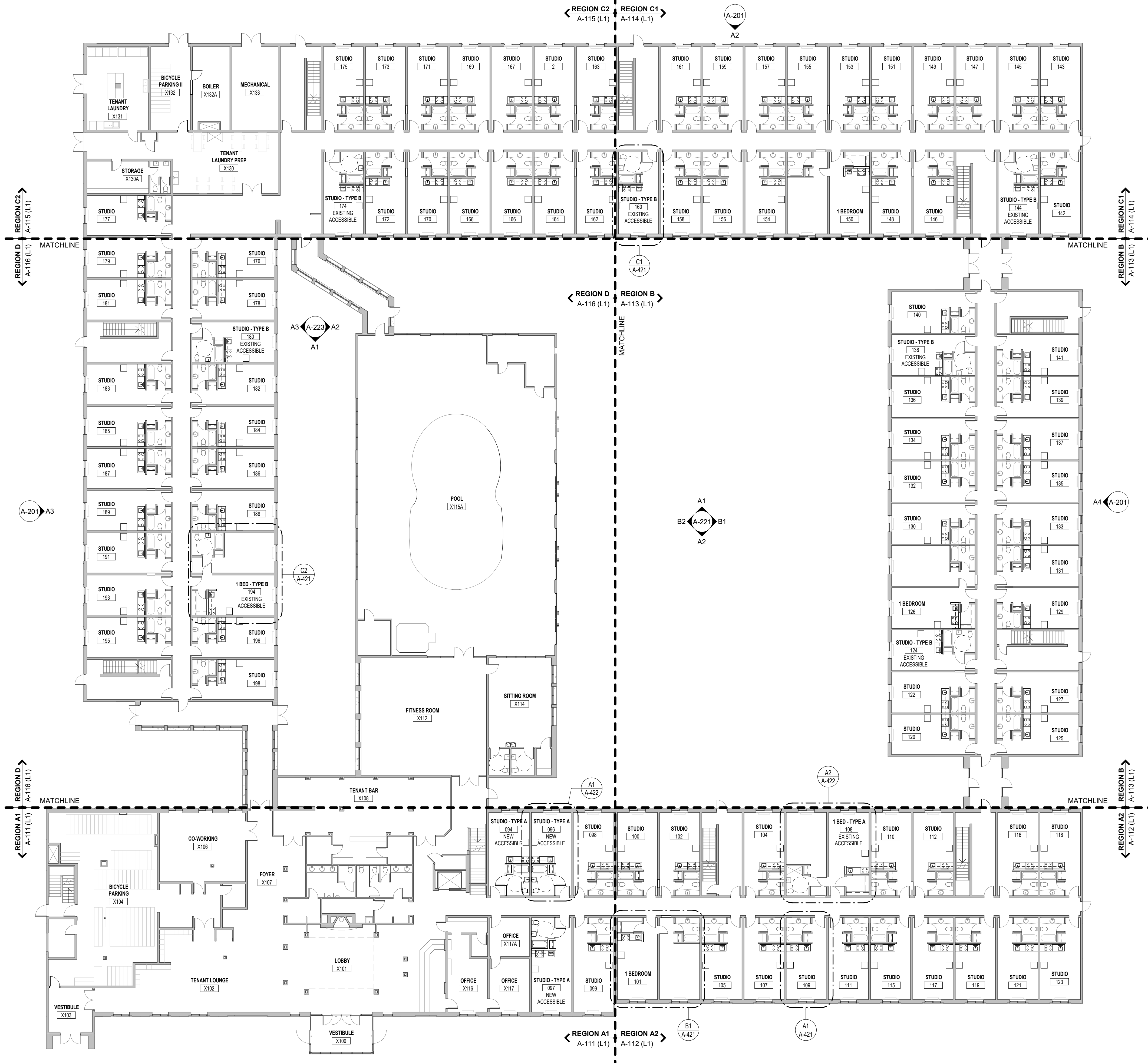
SHEET TITLE
 ARCHITECTURAL SITE PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
A-001

GENERAL PLAN NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK, EQUIPMENT AND LABOR PERSONNEL.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
3. THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
5. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
6. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
10. ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION. ANY NEW FURNITURE IS OWNER PROVIDED. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
11. ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
12. PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES. EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS. DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT. REPLACE DAMAGED ACCOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
13. PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
14. ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
15. ALL EXISTING PLUMBING IS TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS (REF DEMO PLANS FOR THE PLUMBING FIXTURES TO BE REMOVED). GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF B1 / A-422 FOR TYPICAL ACCESSIBILITY STANDARDS).
16. ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-701 FOR FINISH SCHEDULE).
17. REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPS.
18. ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
19. ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 13").
20. ALL EXISTING STORAGE / ELECTRICAL / MECHANICAL CLOSETS ARE TO REMAIN AS IS UNO.
21. ROOFS TO BE CLEANED. ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, GUTTERS AND DOWNSPOUTS AS NECESSARY.
22. OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 19 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI 117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
23. PREPARE NEW PET AREAS AND PLACE DOWN NEW SOD IF NECESSARY. INSTALL NEW PET WASTE DISPOSAL STATIONS (REF A-001 FOR LOCATIONS).
24. CAMERAS TO REMAIN AS IS. PROTECT / COVER CAMERAS DURING PAINTING AND ANY DEMOLITION OR NEW CONSTRUCTION.
25. REVIEW ANY EXISTING FIRE EXTINGUISHER CABINETS FOR RUST, FUNCTIONALITY AND DEBRIS. CLEAN AND REPAIR / REPLACE AS NEEDED. ALL EXTERIOR COLUMNS TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT.
26. CLEAN ALL UNIT CEILINGS AND SOFFITS. CONDITIONS ARE TO REMAIN AS IS UNLESS DAMAGED OR IN NEED OF REPAIR.
27. FIRE-SEAL ALL MEP PENETRATIONS THROUGH EXPOSED RATED WALL AND FLOOR ASSEMBLIES.
28. REPLACE PTACS AS NECESSARY (REF MEP).
29. THE TERMS "ACCESSIBLE" AND "ADA (AMERICANS WITH DISABILITIES ACT)" ARE USED INTERCHANGEABLY THROUGHOUT. HOWEVER, 2009 ANSI 117.1 IS STILL THE BASIS FOR ALL ACCESSIBILITY STANDARDS EMPLOYED THEREIN.
30. RESTRIPES AND SEAL EXISTING PARKING LOT. REF SITE PLAN.
31. ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET.



A1 OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

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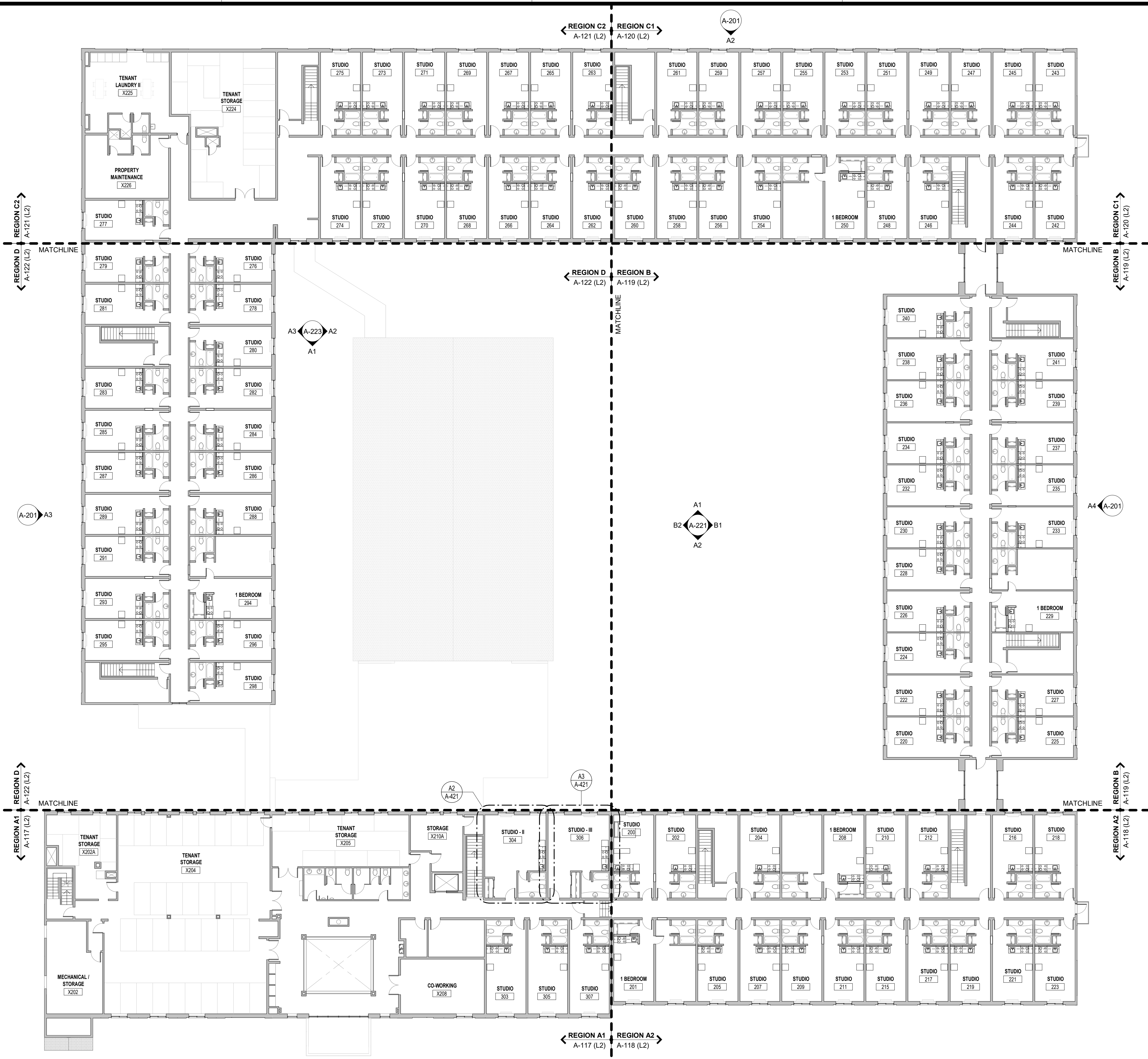
SHEET TITLE
 OVERALL FIRST FLOOR PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
A-101

GENERAL PLAN NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK, EQUIPMENT AND LABOR PERSONNEL.
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- RESTRIPES AND SEAL EXISTING PARKING LOT; REF SITE PLAN.
- ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET.



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A1 OVERALL SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

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 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
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SHEET TITLE
 OVERALL SECOND FLOOR PLAN

PROJECT NUMBER
0210377

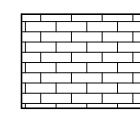


SHEET NUMBER
A-102

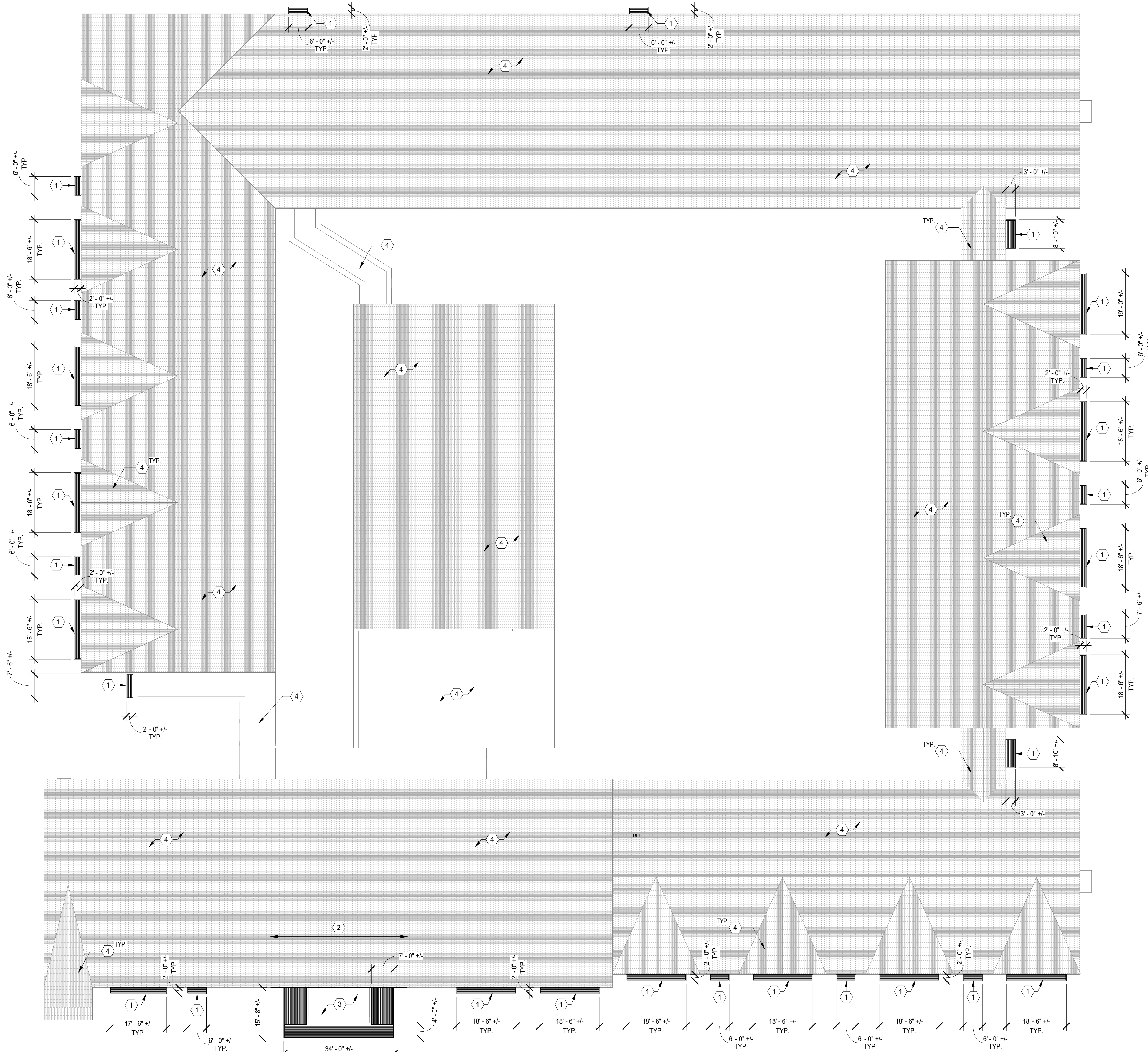
KEYED EXTERIOR NOTES

(ALSO REFER TO GENERAL NOTES ON THE OVERALL FLOOR PLANS)

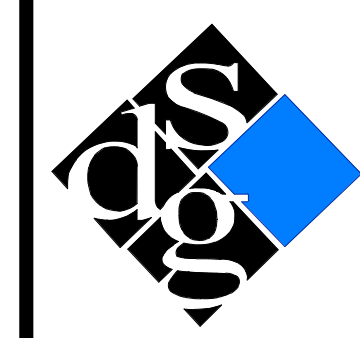
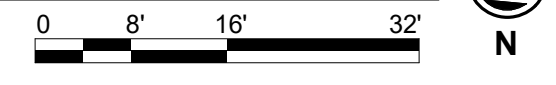
- ① NEW HORIZONTAL METAL CANOPY / AWNING. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES. REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
- ② PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- ③ REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
- ④ ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- ⑤ INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.

ROOF LEGEND

-  ASPHALT SHINGLE ROOF; EXISTING
-  EXISTING FLAT ROOF TO REMAIN; GRAVEL ON MEMBRANE
-  NEW METAL CANOPY / AWNING



A1 OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"



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SHEET TITLE
ROOF PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
A-103

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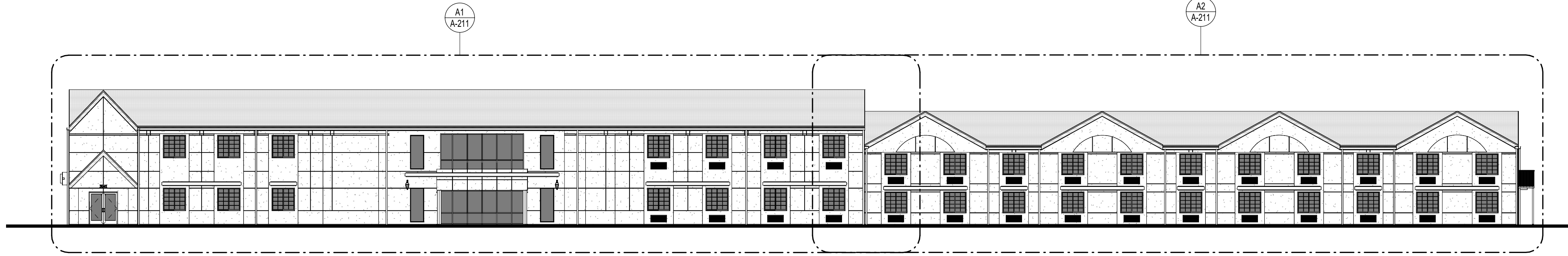
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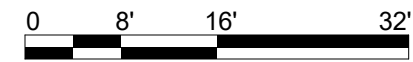
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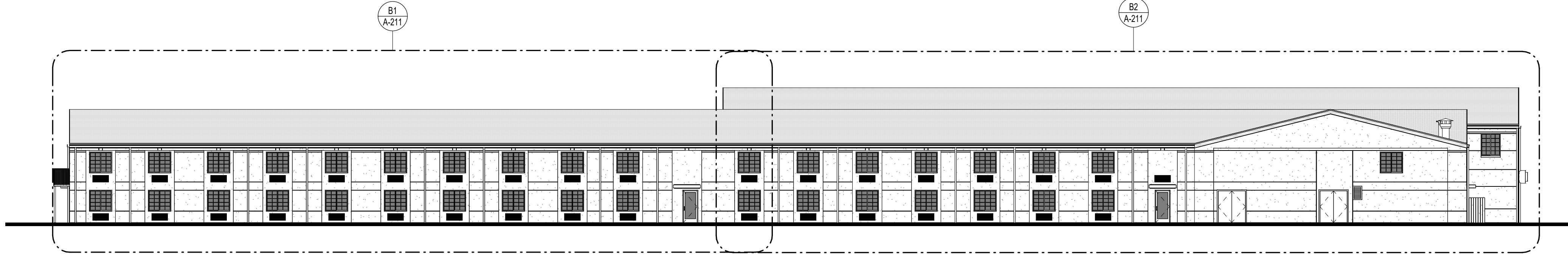
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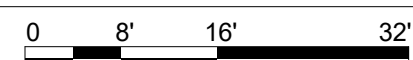
A1 OVERALL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



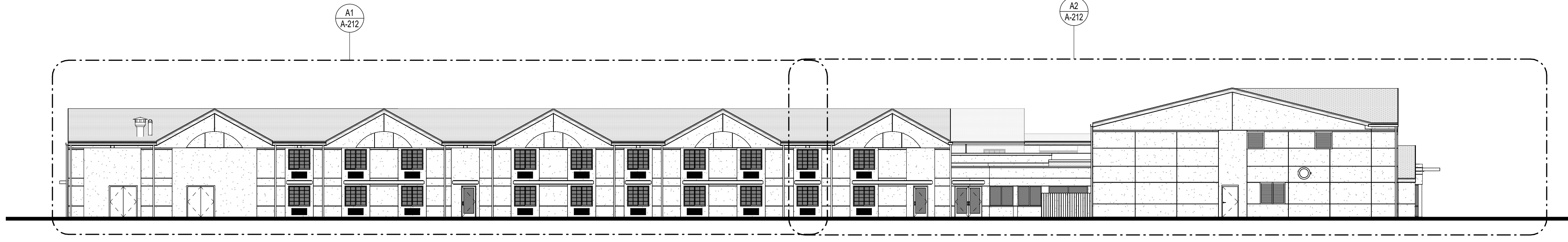
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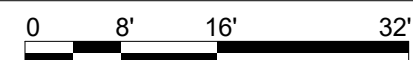
A2 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



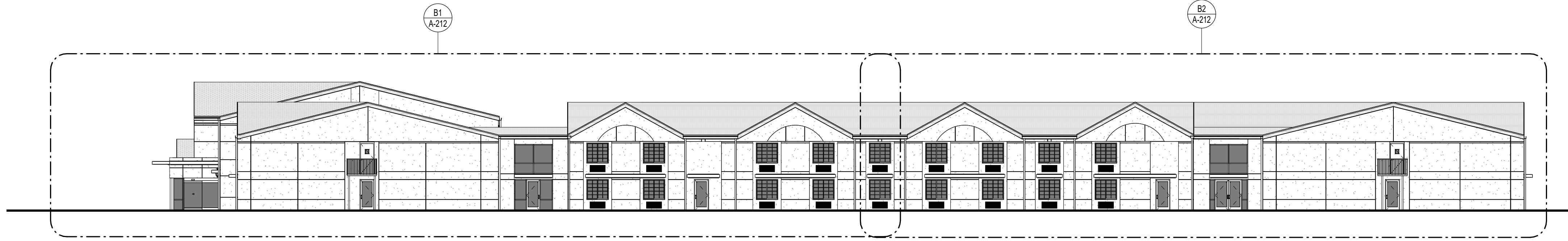
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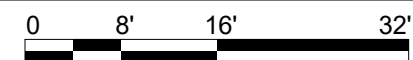
A3 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



A



A4 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"



1

2

3

4

5

EXTERIOR ELEVATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES INCLUDED ARE FOR REFERENCE ONLY.
- REPAIR / REPLACE ANY DAMAGED EXTERIOR MATERIALS AND ELEMENTS AS NECESSARY; ANYTHING REPAIRED OR REPLACED SHALL MATCH THE PROPERTIES (TEXTURE, MATERIAL, ETC.) OF THE EXISTING / ADJACENT ONES UNO.
- PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
- ALL EXTERIOR METALLIC ELEMENTS (GUTTERS, DOWNSPOUTS, COPINGS, FLASHING, RAILINGS, BALLUSTERS, ETC.) AND STRUCTURAL ELEMENTS (SLAB / FLOOR EDGES, COLUMNS, ETC.) SHALL BE PAINTED WITH EPT-3 UNO.
- PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
- ROOF FASCIAS AND EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-2 UNO.
- ALL PTAC GRILLES AND ALL OTHER MECHANICAL GRILLES / LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO.
- ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.
- GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND

- EIFS / STUCCO
- FIBER CEMENT
- BRICK
- ASPHALT SHINGLES
- METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
- PTAC GRILLE
- ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

- EPT-1** WALL PAINT- MAIN
SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
- EPT-2** WALL PAINT- ACCENT, FASCIAS
SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
- EPT-3** PAINT- METALS / STRUCTURE
SHERWIN WILLIAMS - SW6258 - TRICORN BLACK



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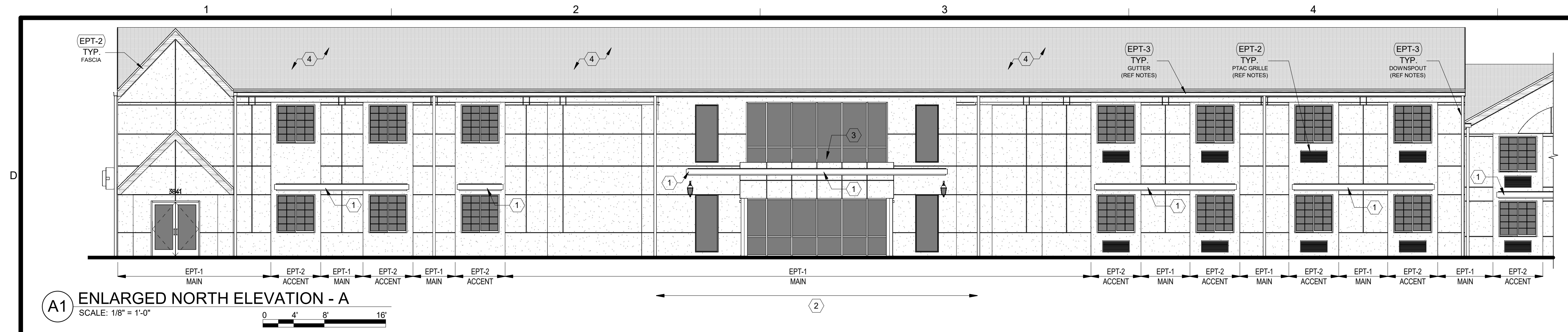
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SHEET TITLE
OVERALL EXTERIOR ELEVATIONS

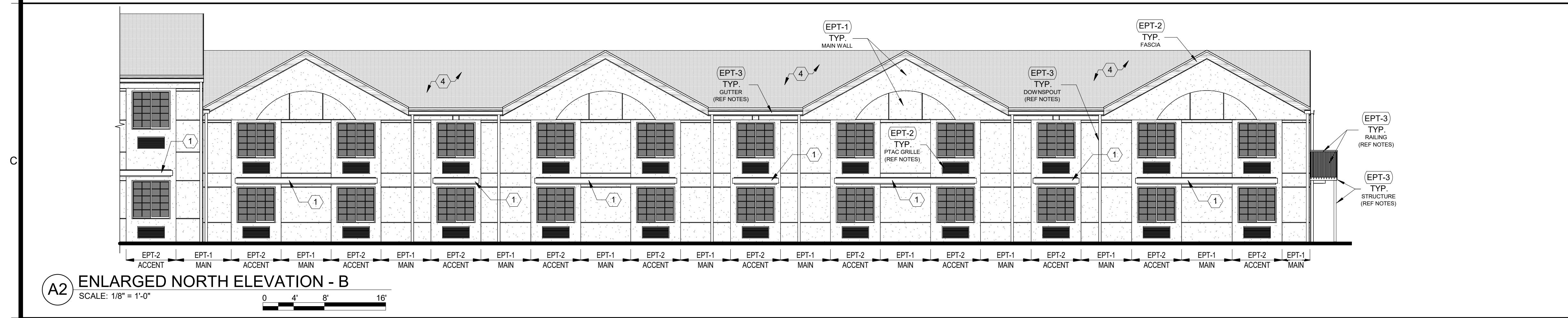
PROJECT NUMBER
0210377

SHEET NUMBER
A-201

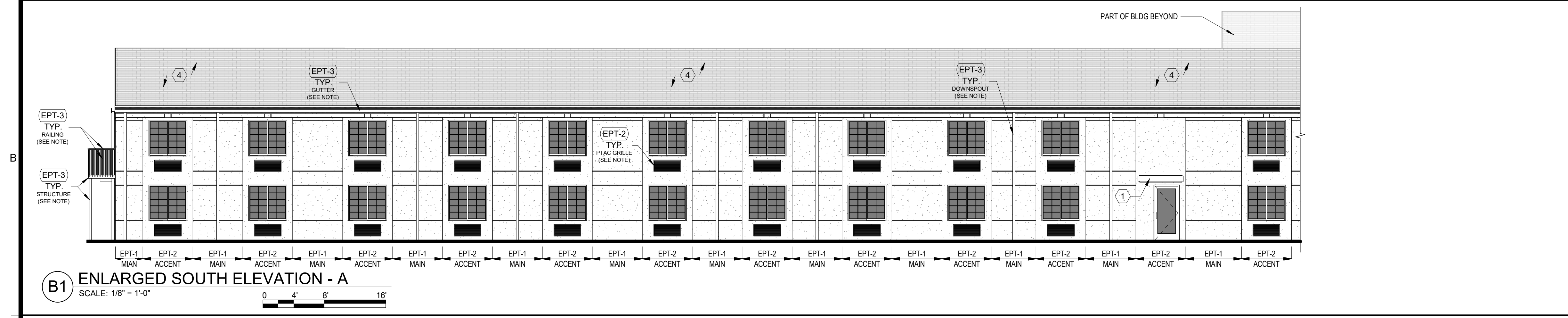
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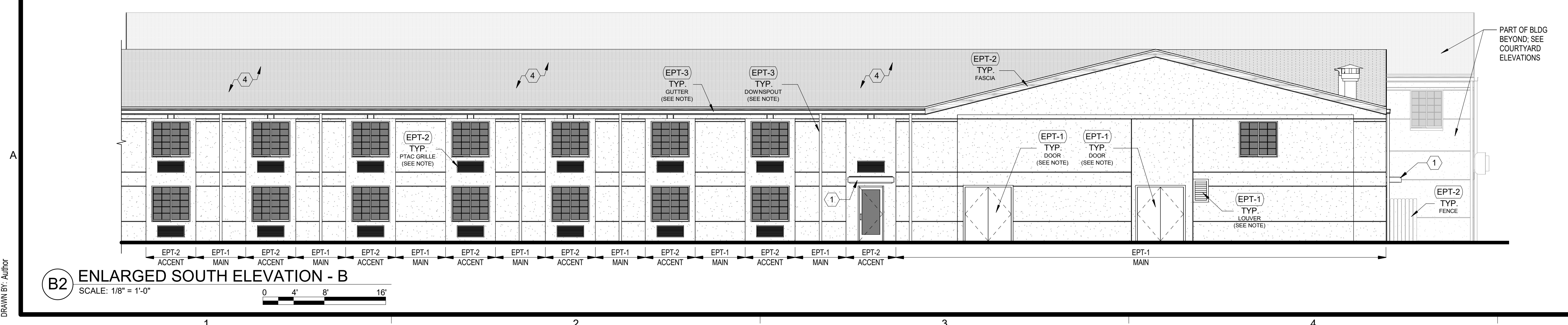
A1 ENLARGED NORTH ELEVATION - A
SCALE: 1/8" = 1'-0"



A2 ENLARGED NORTH ELEVATION - B
SCALE: 1/8" = 1'-0"



B1 ENLARGED SOUTH ELEVATION - A
SCALE: 1/8" = 1'-0"



B2 ENLARGED SOUTH ELEVATION - B
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES INCLUDED ARE FOR REFERENCE ONLY.
- REPAIR / REPLACE ANY DAMAGED EXTERIOR MATERIALS AND ELEMENTS AS NECESSARY; ANYTHING REPAIRED OR REPLACED SHALL MATCH THE PROPERTIES (TEXTURE, MATERIAL, ETC.) OF THE EXISTING / ADJACENT ONES UNO.
- PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
- ALL EXTERIOR METALLIC ELEMENTS (GUTTERS, DOWNSPOUTS, COPINGS, FLASHING, RAILINGS, BALLUSTERS, ETC.) AND STRUCTURAL ELEMENTS (SLAB / FLOOR EDGES, COLUMNS, ETC.) SHALL BE PAINTED WITH EPT-3 UNO.
- PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
- ROOF FASCIAS AND EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-2 UNO.
- ALL PTAC GRILLES AND ALL OTHER MECHANICAL GRILLES / LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO.
- ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1, TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.
- GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

EPT-1	WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
EPT-2	WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

- (ALSO REFER TO GENERAL NOTES ON THE OVERALL FLOOR PLANS)
- NEW HORIZONTAL METAL CANOPY / AWNING. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES. REF ROOF PLAN FOR TYPICAL CANOPY DIMENSIONS.
 - PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
 - REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
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 - INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.

PROGRESS PRINT

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DATE: 07/15/2022

RENOVATION

PLATO'S MADISON, WI

3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

PROGRESS PRINT ONLY

SHEET TITLE

ENLARGED EXTERIOR ELEVATIONS I

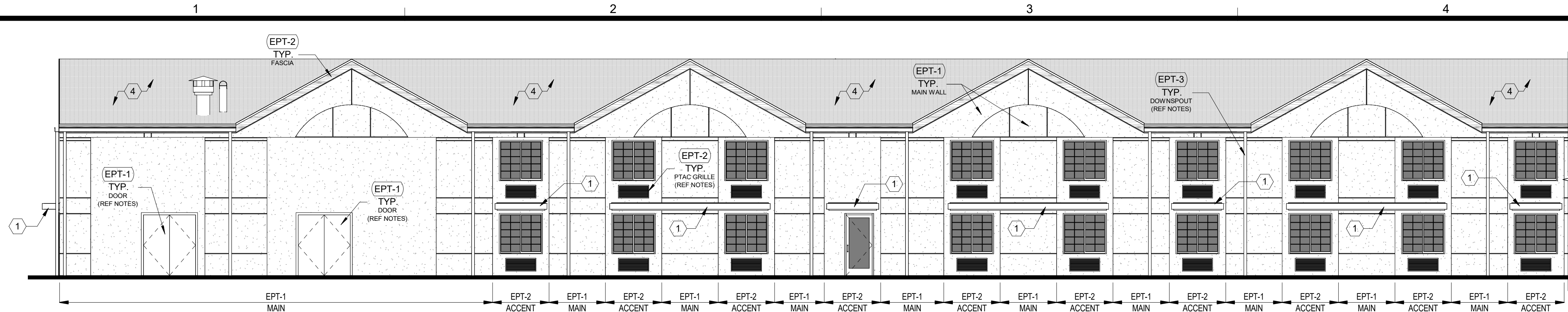
PROJECT NUMBER

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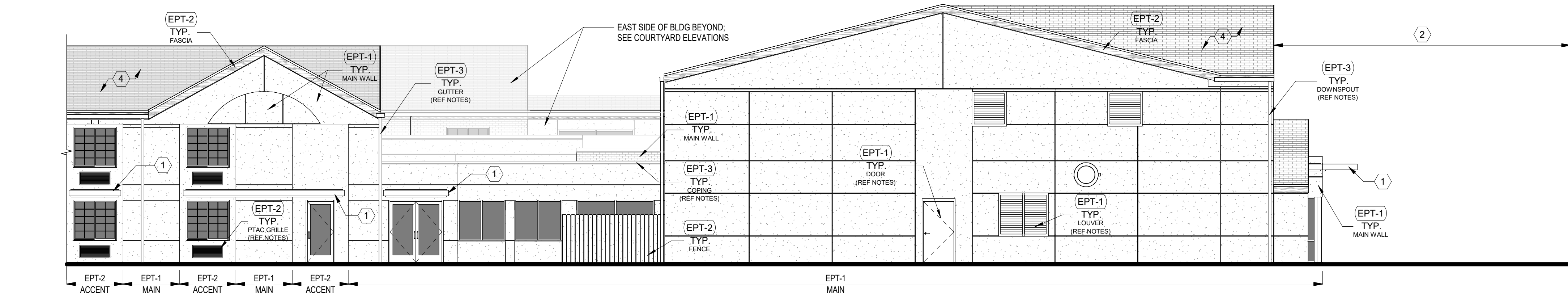
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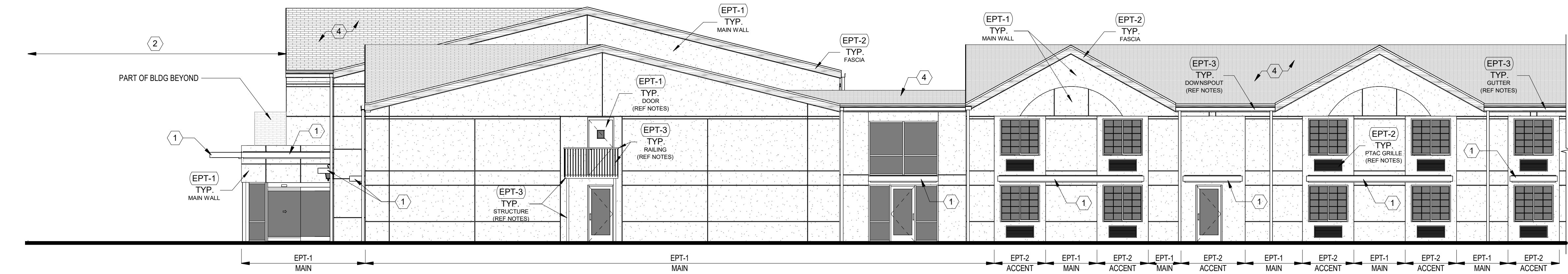
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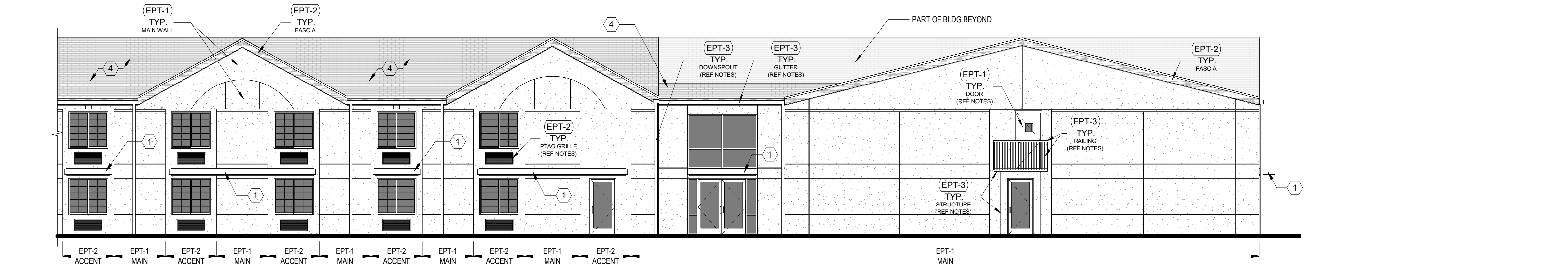
A1 ENLARGED EAST ELEVATION - A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



A2 ENLARGED EAST ELEVATION - B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



B1 ENLARGED WEST ELEVATION - A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



B2 ENLARGED WEST ELEVATION - B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

EXTERIOR ELEVATION NOTES

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EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

EPT-1	WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
EPT-2	WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

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PROGRESS PRINT
NOT FOR CONSTRUCTION
DATE: 07/15/2022

RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
ENLARGED EXTERIOR ELEVATIONS II

PROJECT NUMBER
0210377

SHEET NUMBER
A-212

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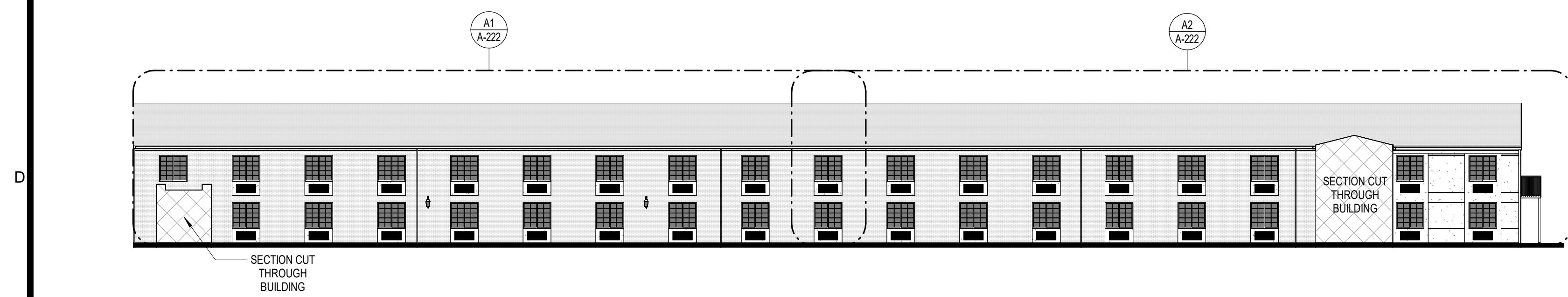
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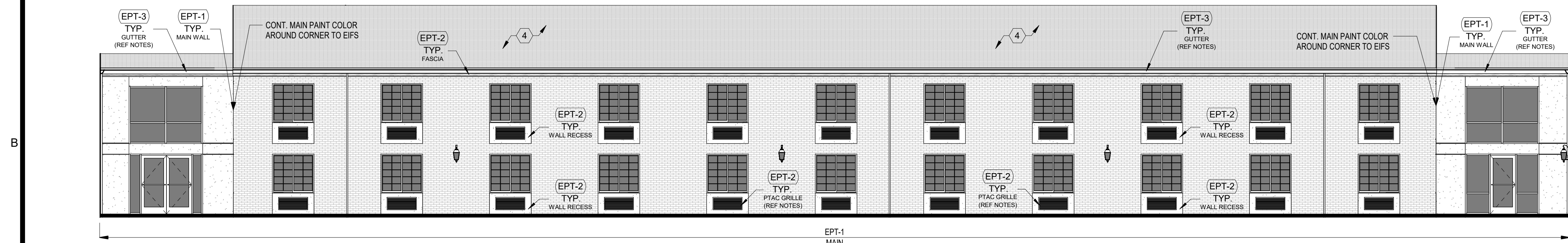
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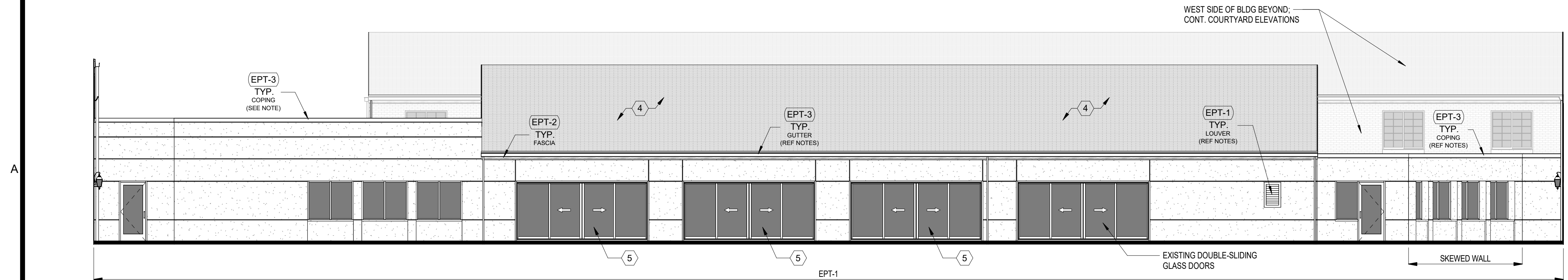
A1 OVERALL NORTH ELEV - COURTYARD
SCALE: 1/16" = 1'-0"
0 8' 16' 32'



A2 OVERALL SOUTH ELEV - COURTYARD
SCALE: 1/16" = 1'-0"
0 8' 16' 32'



B1 EAST ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



B2 WEST ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

EXTERIOR ELEVATION NOTES

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EXTERIOR ELEVATION LEGEND

- EIFS / STUCCO
- FIBER CEMENT
- BRICK
- ASPAHLT SHINGLES
- METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
- PTAC GRILLE
- ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

- EPT-1** WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
- EPT-2** WALL PAINT: ACCENT, FASCIAS SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
- EPT-3** PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

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schwerdt design group
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PROGRESS PRINT

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DATE: 07/15/2022

RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
COURTYARD ELEVATIONS I

PROJECT NUMBER
0210377

SHEET NUMBER
A-221

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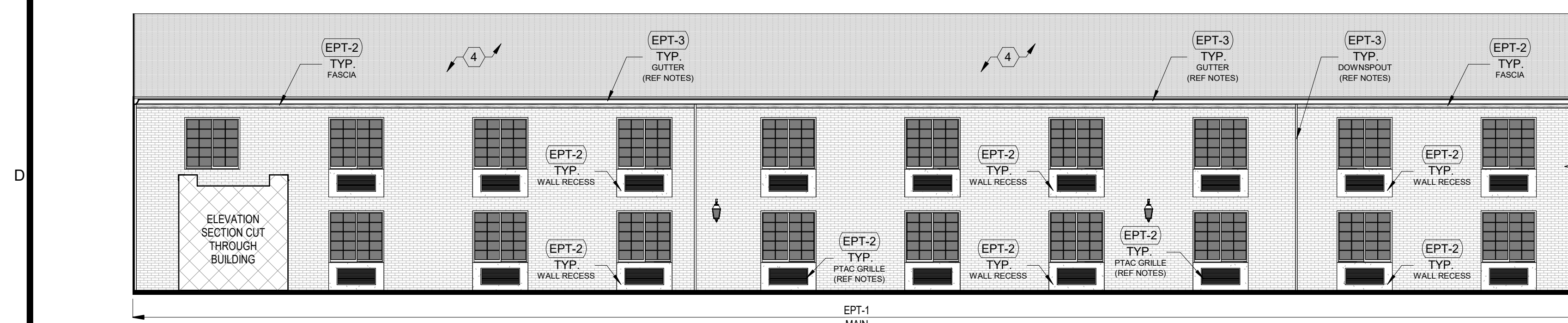
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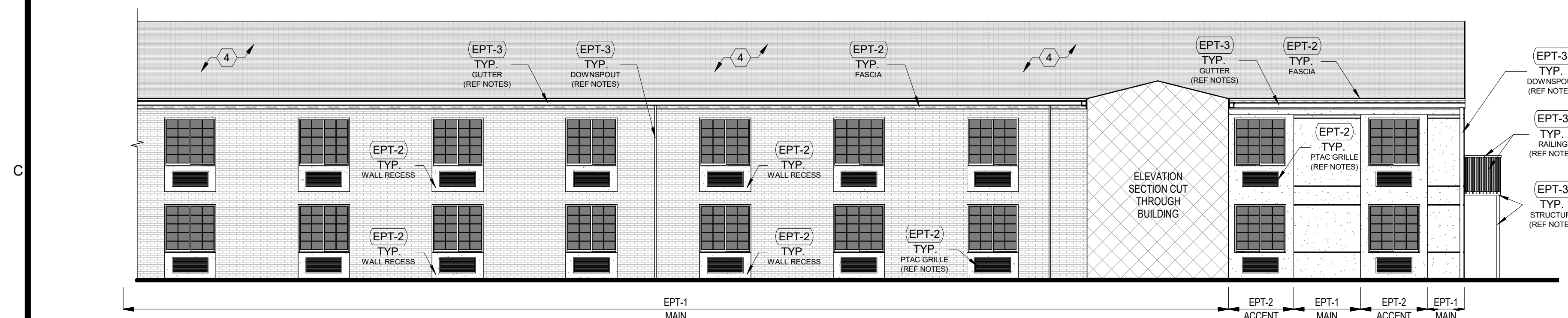
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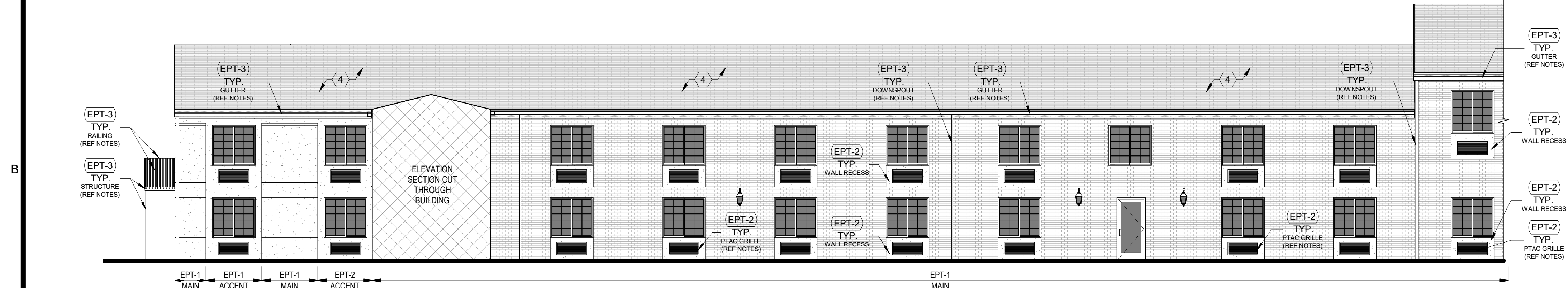
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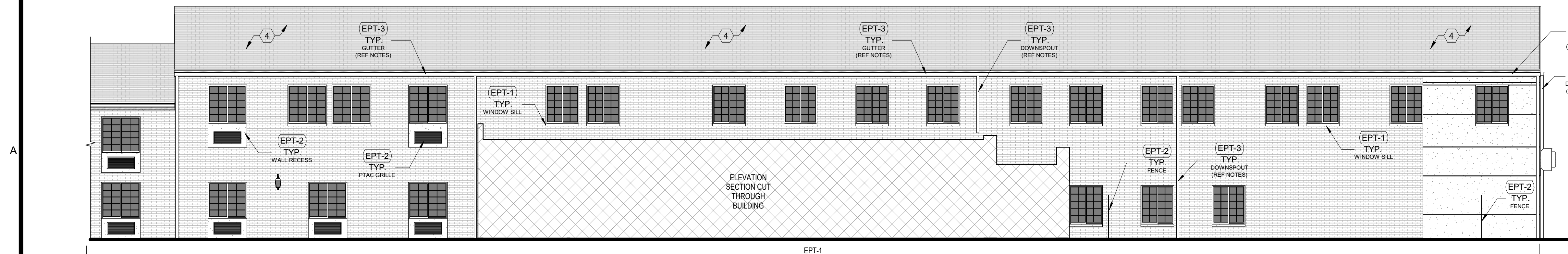
A1 NORTH ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"



A2 NORTH ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"



B1 SOUTH ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"



B2 SOUTH ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

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EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
	PTAC GRILLE
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

EPT-1	WALL PAINT: MAIN SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
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EPT-3	PAINT: METALS / STRUCTURE SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

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3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
COURTYARD ELEVATIONS II

PROJECT NUMBER
0210377

SHEET NUMBER
A-222

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DRAWN BY: Author

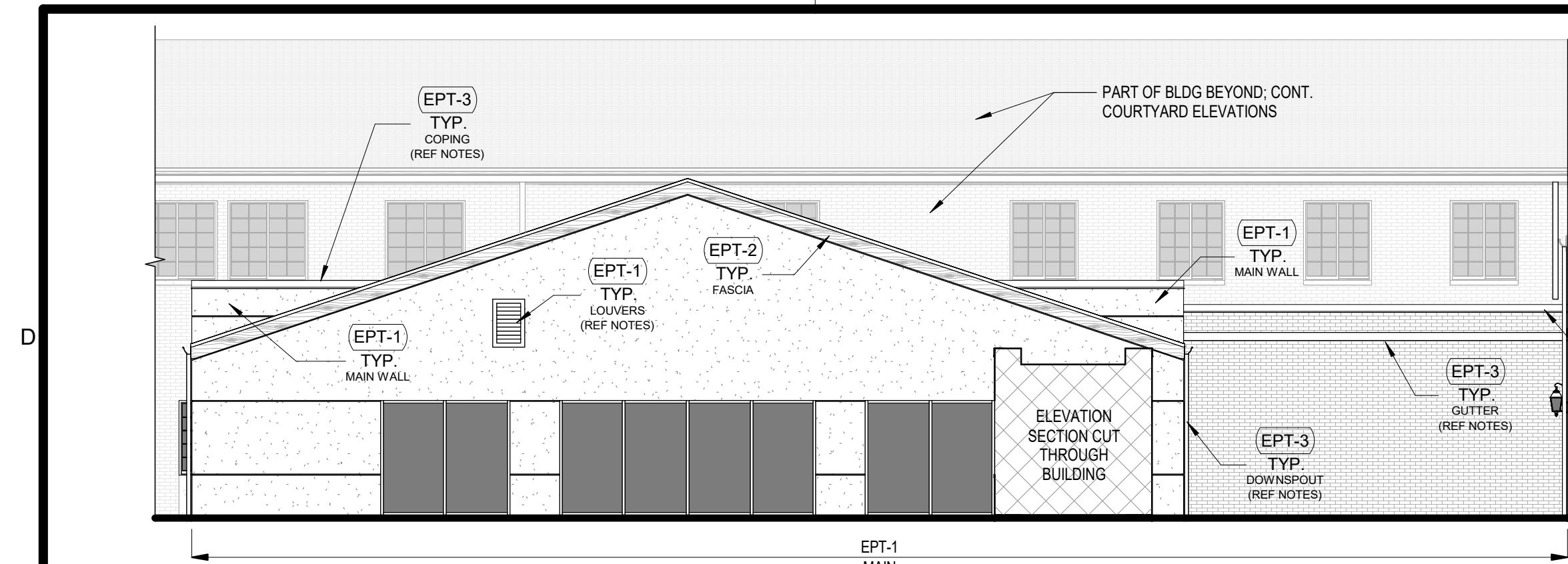
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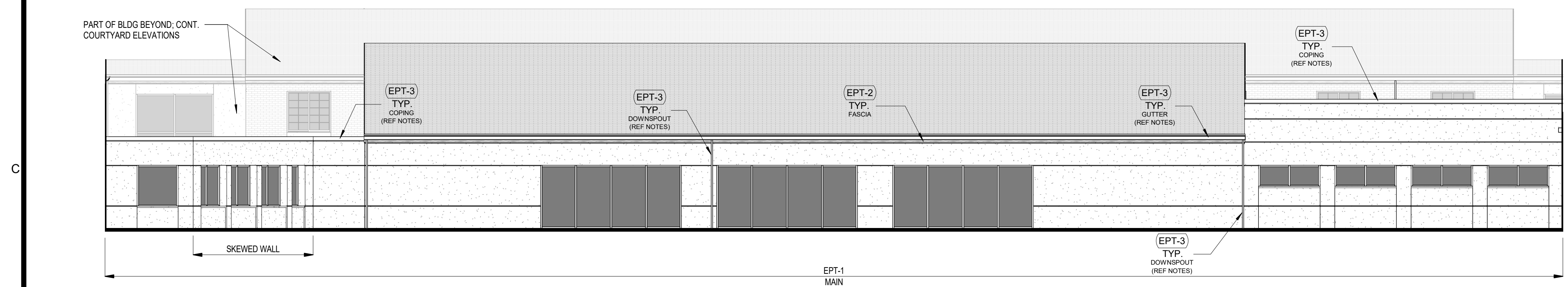
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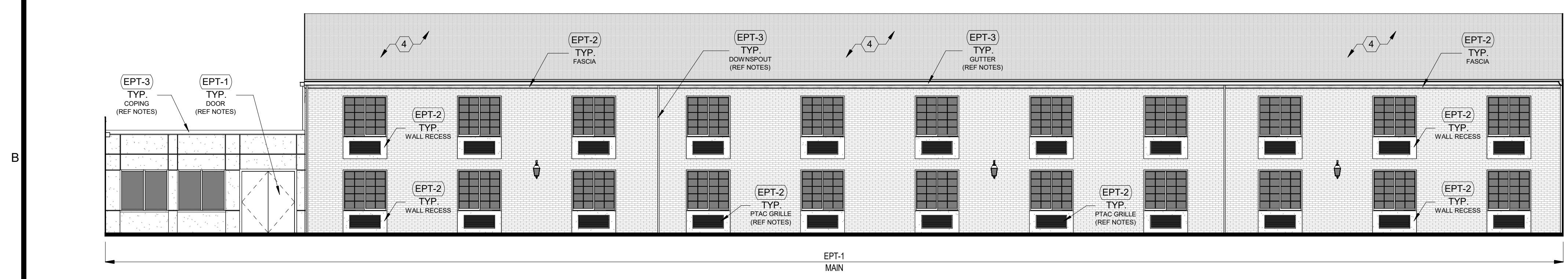
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A1 SOUTH ELEV - C - COURTYARD
SCALE: 1/8" = 1'-0"



A2 EAST ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"



A3 WEST ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATION LEGEND

- EIFS / STUCCO
- FIBER CEMENT
- BRICK
- ASPHALT SHINGLES
- METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / PTAC GRILLES / LOUVER / STRUCTURE / ETC.
- PTAC GRILLE
- ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT COLOR LEGEND

- EPT-1** WALL PAINT: MAIN
SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
- EPT-2** WALL PAINT: ACCENT, FASCIAS
SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
- EPT-3** PAINT: METALS / STRUCTURE
SHERWIN WILLIAMS - SW6258 - TRICORN BLACK

KEYED EXTERIOR NOTES

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 - PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
 - REPLACE EXISTING ROOFING; TPO MEMBRANE ON TAPERED INSULATION SUBSTRATE. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4".
 - ROOFS TO BE CLEANED. ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
 - INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF X-XXX FOR DOOR SCHEDULE AND DETAILS.

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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
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SHEET TITLE
COURTYARD ELEVATIONS
III

PROJECT NUMBER
0210377

SHEET NUMBER
A-223

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INTERIOR FINISH SCHEDULE

Table with columns: ROOM NUMBER, ROOM NAME, FLOOR, BASE, NORTH, EAST, SOUTH, WEST, CEILING FINISH. Lists various rooms like VESTIBULE, LOBBY, RECEPTION, JANITOR, etc., with their respective finish codes.

TYPICAL UNIT FINISH SCHEDULE

Table with columns: ROOM NAME, FLOOR, BASE, NORTH, EAST, SOUTH, WEST, CEILING FINISH. Lists typical unit rooms like STUDIO - TYPICAL, BATHROOM, STUDIO - II, etc., with their respective finish codes.

NOTE: REF A-421 & A-422 FOR UNIT NAMES, ENLARGED FLOOR PLANS & FLOOR CHANGE LOCATIONS (IF APPLICABLE)

NOTE: OWNER TO DETERMINE FINISH COLOR PALETTE, REF FINISH PALETTE OPTIONS, GC TO COORDINATE & CONFIRM WITH OWNER.

GENERAL FINISH NOTES

- 1. REFER TO SHEET G-001 FOR SHEET INDEX
2. ALL FLOOR FINISHES TO TERMINATE AT CENTER OF DOOR FRAME UNLESS NOTED OTHERWISE
3. REFER TO FINISH FLOOR PLANS, REFLECTED CEILING PLANS, ELEVATIONS, AND DETAILS FOR EXTENT OF MULTIPLE FINISHES.
4. DO NOT PAINT ALUMINUM OR OTHER NON-FERROUS METALS THAT ARE PRE-FINISHED.
5. MATCH VERTICAL FINISH OF ALL INTERIOR GYPSUM BOARD SOFFITS TO HORIZONTAL FINISH AS NOTED ON RCP OR ROOM FINISH SCHEDULE, UNO.
6. FINISH ALL EXPOSED CEILING DESIGNATED AS 'OTS' (OPEN TO STRUCTURE) AS INDICATED ON ROOM FINISH SCHEDULE. PAINTING INCLUDES, BUT IS NOT LIMITED TO: EXPOSED STRUCTURE, JOISTS, METAL DECKING, EXISTING TECTUM PANELS, DUCTWORK, CONDUIT, ELECTRICAL BOXES AND MECHANICAL EQUIPMENT.
7. PAINT ALL INTERIOR METAL DOOR FRAMES COLOR TO MATCH EXISTING TRIM PAINT COLOR.
8. PAINT OR FINISH THE FOLLOWING ITEMS TO MATCH ADJACENT PAINT OR FINISH:
A. ELECTRICAL PANELS IN FINISHED ROOMS
B. GRILLES, LOUVERS ETC. PRIMED OR SPECIFIED TO BE PAINTED
C. UNFINISHED SPEAKER OUTLET GRILLES
D. VISIBLE PORTIONS OF DUCTWORK AND MECH EQUIPMENT BEHIND VENTS, GRILLES AND DIFFUSERS
9. FINISH FLOOR PATTERNS TO BE CENTERED IN EACH ROOM AND PARALLEL TO THE LONGEST WALL UNO
10. CORNER GUARDS ARE TO BE INSTALLED AT ALL OUTSIDE CORNERS OF ALL PARTITIONS AND ARE TO BE FULL HEIGHT FROM TOP OF BASE. COORDINATE FLOORING INSTALLATION WITH CASEWORK TO ENSURE FLOORING EXTENDS UNDER ALL CASEWORK.
12. ALL CLOSETS AND ALCOVES WITHOUT SEPARATE ROOM NUMBERS TO HAVE SAME FLOORING AND PATTERNS AS THE LARGER, IDENTIFIED ROOM
13. NOT ALL FLOORING MATERIALS SHOWN ON FINISH PLANS, REFER TO FINISH SCHEDULE FOR MATERIALS IN LOCATIONS NOT SHOWN
14. ALL BRICK TO REMAIN AS EXISTING. DO NOT PAINT.
15. TOWER CORRIDOR CEILINGS TO REMAIN AS EXISTING. REPAIR SECTIONS AS NECESSARY WITH MATCHING PAINT COLOR.
16. ALL TILE TO REMAIN EXISTING IN UNIT RESTROOMS TO BE CLEANED AND RE-GROUTED WHERE NECESSARY.
17. ALL CORRIDORS TO RECEIVE CPT-1/CPT-2, WB-1 AND PT-1(WALLS). REF TYPICAL CORRIDOR FINISH PLAN FOR INSTALLATION PATTERNS & DETAILS.
18. REFER DOOR SCHEDULE FOR INTERIOR DOOR / FRAME PAINT COLORS.
19. GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

FINISH KEY

FINISH KEY table with columns: INTERIOR, EXTERIOR (REF EXTERIOR ELEVATIONS), CARPET, TILE, CEILING, FLOORING, MILLWORK, CONCRETE, WINDOW BLINDS, MAILBOXES / PACKAGE BOXES, MISCELLANEOUS / ACCESSORIES. Lists materials like WALL PAINT, EXTERIOR FIELD PAINT, CARPET, PORCELAIN FLOOR TILE, etc.

ELEVATOR CAB FINISH NOTE: REPLACE FLOORING AND SIDE PANELS; ADD MATCHING HANDRAILS ON THE OTHER 2 SIDES OF THE CAB. CLEAN AND POLISH EXISTING STEEL SURFACES AND DOORS. THOROUGHLY CLEAN CEILING.

POOL DECK FINISH NOTE: SHOULD THE OWNER DECIDE TO BACKFILL EXISTING SWIMMING POOL AND HOT TUB, THEY SHALL GIVE DIRECTION ON NEW FLOORING FINISHES.



2231 sw wansmaker rd topeka, kansas 66614-4275 phone: 785.273.7540 suite 303
590 north broadway oklahoma city, ok 73102 phone: 405.231.3105 suite 200

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RENOVATION PLATO'S MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

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SHEET TITLE FINISH SCHEDULE

PROJECT NUMBER 0210377

SHEET NUMBER A-701

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EXTERIOR RENDERING - FROM WEST SIDE OF BLDG



EXTERIOR RENDERING - FROM EAST SIDE OF BUILDING



EXTERIOR RENDERING - FROM EAST COURTYARD OF BUILDING



EXTERIOR RENDERING - FROM ACCESS ROAD / E. EASHINGTON AVE



EXTERIOR RENDERING - FROM SOUTH WEST CORNER OF BUILDING



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 phone: 405.231.3105

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**NOT FOR
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DATE: 07/15/2022

**RENOVATION
 PLATO'S MADISON, WI
 3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
 PROGRESS PRINT ONLY

SHEET TITLE
 EXTERIOR RENDERINGS

PROJECT NUMBER
0210377

SHEET NUMBER
AP-101

1

2

3

4

5



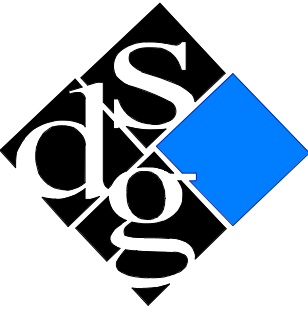
INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT



INTERIOR RENDERING - TYPICAL UNIT



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DATE: 07/15/2022

RENOVATION
PLATO'S MADISON, WI
 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
INTERIOR UNIT
RENDERINGS

PROJECT NUMBER
0210377

SHEET NUMBER
AP-102

1

2

3

4

5

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GENERAL:

CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS, WISCONSIN DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS AND WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.

ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.

NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

DIGGERS HOTLINE:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "DIGGERS HOTLINE" AT 1-800-242-8511.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE WORK AND GRADING:

ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND CURB RAMPS SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE INTERIM FINAL RULES FOR PUBLIC RIGHT-OF-WAY, PUBLISHED IN THE FEDERAL REGISTER, SEPTEMBER 2010. WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THIS ACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THE ADA WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADA, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

- CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
- RAMP SLOPES SHALL NOT EXCEED 1:12
- GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE

FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.

GEOTECHNICAL:

NONE PROVIDED

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY D'ONOFRIO KOTTKE AND ASSOCIATES, DATED JUNE 28, 2022.

LEGAL DESCRIPTION:

LOTS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8901 RECORDED IN VOL. 49 OF CERTIFIED SURVEY MAPS, ON PAGES 259-262, AS DOCUMENT NO 2965461, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

THIS DESCRIPTION DESCRIBES ALL THE LAND DESCRIBED IN THE TITLE COMMITMENT IDENTIFIED AS FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 2121927 BEARING AN EFFECTIVE DATE OF JANUARY 20, 2022.

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

EROSION CONTROL NOTES:

ALL EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND CITY OF MADISON STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS AND SPECIFICATIONS.

SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED INTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.

TEMPORARY EROSION CONTROL:

ALL DISTURBED EARTH SURFACES WHICH ARE NOT PAVED OR BUILDING PADS SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

SPECIES	LBS/ACRE	PERCENT PURITY
OATS ¹	131	98
CEREAL RYE ²	131	97
WINTER WHEAT ²	131	95
ANNUAL RYEGRASS ²	80	95

¹SPRING AND SUMMER SEEDING
²FALL SEEDING

PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SHALL BE INSTALLED.

THE SUBGRADE SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 LBS. PER 1000 SQ. FT. OR 450 LBS. PER ACRE) SHALL BE MIXED WITH THE LOOSENED SOIL BY DISKING OR OTHER SUITABLE MEANS.

SOIL SHALL BE TESTED AND LIME TREATED IF REQUIRED BY TESTING FIRM.

SEEDS MAY BE DRILLED OR BROADCAST UNIFORMLY.

SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE SLOPE TO MINIMIZE EROSION.

MULCH SHALL BE USED ON ALL SLOPES GREATER THAN 5 PERCENT OR AS NEEDED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS EXCEED 1 INCH IN HEIGHT.

AS-BUILTS:

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

PERMANENT EROSION CONTROL PRACTICES:

BERMUDA GRASS SOLID SLAB SOD OR SEEDING SHALL BE USED ON THIS PROJECT IN ALL DISTURBED AREAS.

SOIL SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND FERTILIZER SHALL BE MIXED WITH THE LOOSENED SURFACE SOIL BY DISKING OR OTHER SUITABLE MEANS.

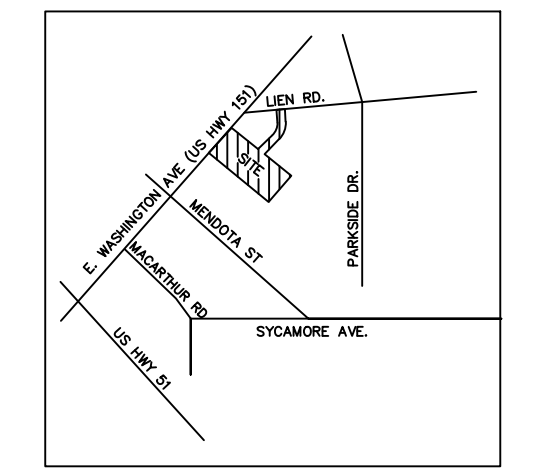
SOIL SHALL BE TESTED FOR pH AND SHALL BE TREATED WITH LIME AS REQUIRED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE OR ONE MONTH.

SODDED AND SEEDED AREAS SHALL BE PREPARED AND PLACED IN ACCORDANCE WITH CITY OF MADISON SPECIFICATIONS. SEED SLOPES LESS THAN 5%. SOD SLOPES BETWEEN 5% AND 4:1. STAKE SOD ON SLOPES GREATER THAN 4:1.

CIVIL SHEET INDEX:

- C100 GENERAL NOTES
- C200 OVERALL SURVEY
- C201 ENLARGED SURVEY 1
- C202 ENLARGED SURVEY 2
- C203 TOPOGRAPHIC SURVEY
- C300 OVERALL DEMO AND EROSION CONTROL PLAN
- C301 ENLARGED DEMO AND EROSION CONTROL PLAN 1
- C302 ENLARGED DEMO AND EROSION CONTROL PLAN 2
- C400 OVERALL SITE PLAN
- C401 ENLARGED SITE PLAN 1
- C402 ENLARGED SITE PLAN 2
- C403 FIRE ACCESS PLAN
- C500 OVERALL GRADING PLAN
- C501 ENLARGED GRADING PLAN 1
- C502 ENLARGED GRADING PLAN 2
- C600 DETAILS
- C601 DETAILS
- L1 CITY LANDSCAPE PLAN



VICINITY MAP
NOT TO SCALE

LEGEND

— 660 —	EXISTING MAJOR CONTOUR	BM	BENCH MARK	OHD	OVERHEAD DOOR
— 662 —	EXISTING MINOR CONTOUR	CO	CLEANOUT	PAVT	PAVEMENT
— 660 —	NEW MAJOR CONTOUR	←	DOWN GUY	PE	POLYETHYLENE
— 662 —	NEW MINOR CONTOUR	EP	EMERGENCY PHONE	PVC	POLY VINYL CHLORIDE
— X —	FENCE	FO	FIBER OPTIC MANHOLE	R	RADIUS
— T —	TELEPHONE OVERHEAD	FDC	FIRE DEPT CONNECTION	RD	ROOF DRAIN
— FH —	POWER LINE OVERHEAD	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
— G —	GAS LINE	GW	GAS / OIL WELL	RCP	REINF CONCRETE PIPE
— O —	OIL LINE	GM	GAS METER	RJ	RESTRAINED JOINT
— PUG —	POWER UNDERGROUND	LP	LIGHT POLE	SGDI	SINGLE GRATE CURB INLET
— TUG —	TELEPHONE UNDERGROUND	P	POWER MANHOLE	SF	SQUARE FEET
— TVUG —	TV UNDERGROUND	↑	POWER POLE	SJ	SAW JOINT
— W —	WATER LINE	PB	PULL BOX	SY	SQUARE YARDS
— SS —	SANITARY SEWER LINE	SS	SANITARY MANHOLE	TC	TOP OF CURB
— - - - -	FLOW LINE DITCH	ST	STEAM MANHOLE	TG	TOP OF GRATE
— SF —	SILT FENCE	S	STORM MANHOLE	TJ	TOOLED JOINT
		T	TELEPHONE MANHOLE	TOF	TOP OF FOOTING
		TPED	TELEPHONE PEDESTAL	TP	TOP OF PAVEMENT
		XFMR	TRANSFORMER PAD	TR	TOP OF RIM
		WH	VALVE	TS	TOP OF STEP
		WM	WATER HYDRANT	TW	TOP OF WALL
		WM	WATER METER	UNO	UNLESS NOTED OTHERWISE
		W	WATER WELL		
		LS	LIFT STATION MANHOLE		



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WISCONSIN PROFESSIONAL ENGINEER
AARON M. BARNHART
E-48514
CASTLE ROCK
CO
07/15/2022

RENOVATION PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA
07/15/2022

SHEET TITLE
GENERAL NOTES

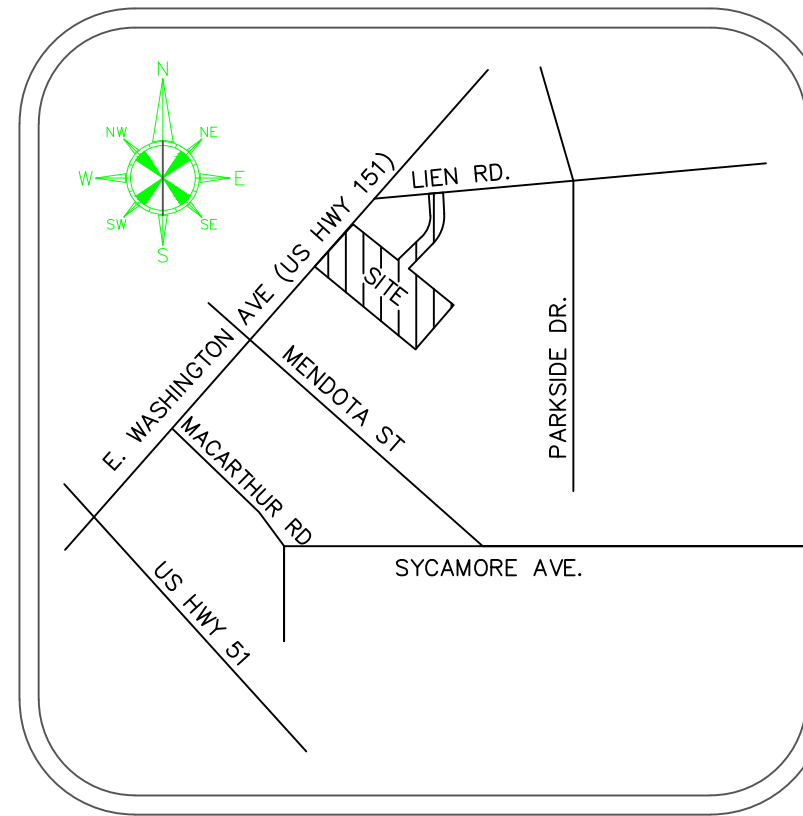
PROJECT NUMBER
2280028

SHEET NUMBER
C100

MISCELLANEOUS NOTES

- N1 The basis of bearings of this survey is based on the most Northwesterly lines of Lots 1, 2, and 3, Certified Survey Map Number 8901, City of Madison, Dane County, Wisconsin, recorded May 5, 1998 in Volume 49 of Certified Survey Maps, Page 259, as Document Number 2965461, having a recorded bearing of North 47° 19' 53" West.
- N2 The table below described the type and number of visible striped parking stalls entirely within the property boundary. Stalls that are partially within boundary are listed under the heading "partial". Partial stalls are not counted in total.

VISIBLE STRIPED PARKING					
REGULAR	HANDICAP	TRAILER	PARTIAL REGULAR	PARTIAL HANDICAP	TOTAL
340	11	0	0	0	351
- N3 The subject property contains 325,753 square feet or 7.4783 acres.
- N4 During our field site visit, there was not observable evidence of earth moving work, building construction or building additions within recent months.
- N5 During our field site visit, there was not observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- N6 All measured and recorded bearings and dimensions are the same unless noted otherwise.
- N7 Visible evidence of direct physical access to a dedicated public right of way is observed by the drive entrance to and from Lien Road, as shown hereon.
- N8 There were no changes in street right of way lines either completed or proposed available from the controlling jurisdiction. There was no evidence of recent street or sidewalk construction or repairs.
- N9 This survey was made in accordance with the laws and/or Minimum Standards of the State of Wisconsin.
- N10 There is no visible evidence of cemeteries, individual gravesites or burial grounds on the subject property.
- N11 The building area shown hereon is for the exterior building dimensions at ground level.
- N12 This survey does not constitute a title search by the surveyor to determine ownership or easements of record, rights of way, or title or record. The surveyor has relied upon First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.
- N13 This ALTA/NSPS Land Title Survey, and the information hereon, may not be used for any additional or extended purposes beyond that for which it was intended and may not be used by any parties other than those to which it is certified.
- N14 The property forms a mathematically closed figure without gaps or gores.
- N15 All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, parking, easements, servitudes, and significant observations are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- N16 On the date of this survey, portions of the subject property were covered with up to five inches of snow and ice and plowed snow piles up to four feet in height were observed. Only the above ground improvements visible on the date of this survey are noted hereon.



VICINITY MAP
NOT TO SCALE

SURVEY RELATED ITEMS
CORRESPONDING TO SCHEDULE
B TITLE COMMITMENT

- 16 Public or private rights, if any, in such portion of the land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. This item is not plotted hereon as it does not affect the subject property.
- 17 A Slope Easement contained in Warranty Deed recorded April 20, 1953 as Document Number 852121. This item is plotted hereon and does affect the subject property.
- 18 Finding, Determination and Declaration by the State Highway Commission of Wisconsin Establishing a Certain Controlled Access Highway in Dane County, Wisconsin recorded February 24, 1956 as Document Number 913143. This item is plotted hereon and does affect the subject property.
- 19 A Sanitary Sewer and Water Main Easement recorded December 11, 1956 as Document Number 930464, Release of Easement recorded August 27, 1998 as Document Number 3012049, and Affidavit of Correction recorded February 18, 2008 as Document Number 4398443. This item is not plotted hereon as it does not affect the subject property.
- 20 Access Restriction set forth in Quit Claim Deed recorded October 3, 1957 as Document Number 946488. This item is plotted hereon and does affect the subject property.
- 21 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998715. This item is plotted hereon and does affect the subject property.
- 22 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716. This item is plotted hereon and does affect the subject property.
- 23A Terms, Provisions and Conditions contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 23B Right of Way Easement contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is plotted hereon and does affect the subject property.
- 23C A Sign Easement contained in Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645. This item is plotted hereon and does affect the subject property.
- 24 A 40.00 foot wide Right of Way Easement contained in Warranty Deed recorded March 23, 1967 as Document Number 1180760. This item is plotted hereon and does affect the subject property.
- 25 An Easement for Sign and Underground Power recorded September 21, 1967 as Document Number 1196055. This item is plotted hereon and does affect the subject property.
- 26 Agreement Regarding Surface Water Drainage recorded April 8, 1968 as Document Number 1210484. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 27 Access Restriction set forth in Instrument recorded April 8, 1968 as Document Number 1210486. This item is plotted hereon and does affect the subject property.
- 28 Easement and Agreement recorded June 4, 1968 as Document Number 1215163 and re-recorded July 10, 1968 as Document Number 1218244. This item is plotted hereon and does affect the subject property.
- 29 A 10.00 foot wide Sanitary Sewer Easement recorded July 29, 1968 as Document Number 1219679. This item is plotted hereon and does affect the subject property.
- 30 A 7.00 foot wide Slope Easement contained in Warranty Deed recorded September 27, 1968 as Document Number 1224536. This item is plotted hereon and does affect the subject property.
- 31A A 30.00 foot wide Cross Easement Agreement recorded September 27, 1968 as Document Number 1224537. This item is plotted hereon and does affect the subject property.
- 31B Supplement to Cross Easement Agreement recorded June 19, 1995 as Document Number 2682865. This item is plotted hereon and does affect the subject property.
- 32A Terms, Provisions and Conditions noted on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 32B A 10.00 foot wide Public Utility Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 32C A 15.00 foot wide Water Service Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 33 A 10.00 foot wide Ameritech General Easement recorded May 18, 1998 as Document Number 2970474. This item is plotted hereon and does affect the subject property.
- 34 Right of Way Grant Underground Electric recorded July 29, 1998 as Document Number 2999728. This item is plotted hereon and does affect the subject property.
- 35 Right of Way Grant Underground Electric recorded June 20, 2005 as Document Number 4068621. This item is plotted hereon and does affect the subject property.

STATEMENT OF ENCROACHMENTS

- E1 A light pole encroaches 0.4 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E2 The concrete curb encroaches from 1.9 to 2.1 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E3 The concrete curb encroaches from 1.5 to 1.8 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E4 The 2 story stucco building encroaches from 8.7 to 9.4 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E5 The 2 story stucco building encroaches from 11.1 to 11.6 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E6 An overhead electric distribution line servicing light poles located on the subject property enters the subject property from adjacent privately owned lands to the North and East.
- E7 Indirect access to East Washington Avenue across the adjacent property to the Southwest, as constructed, requires travel across a portion of said adjacent property to the Southwest which does not appear to be subject to a beneficial ingress and egress easement, as per the subject title commitment.

TITLE LEGAL DESCRIPTION

Lots 1, 2 and 3 of Certified Survey Map No. 8901 recorded in Vol. 49 of Certified Survey Maps, on Pages 259-262, as Document No. 2965461, in the City of Madison, Dane County, Wisconsin.

This description describes all the land described in the title commitment identified as First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

ALTA/NSPS LAND TITLE SURVEY

MADISON PLAZA HOTEL

PARTNER PROJECT NUMBER 22-353548.2

ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT, NUMBER 2121927, CONTAINING AN EFFECTIVE DATE OF JANUARY 20, 2022.

CERTIFICATION

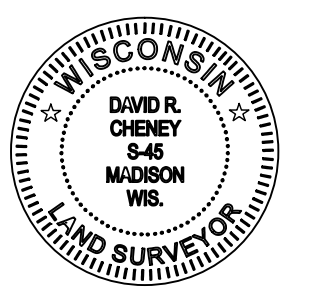
To: Repvblik Madison LLC; REPVBK AR LLC; Knight Barry Title Services, LLC; First American Title Insurance Company; and Partner Engineering and Science, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16 and 17 of Table A thereof. The field work was completed on February 15, 2022.

David R. Cheney
David Cheney
Wisconsin Registered Land Surveyor
Registration Number S-45
Date of Survey: 2-15-2022
Date of Last Revision: 2-25-2022

PROPERTY ADDRESS: 3841 EAST WASHINGTON AVENUE; MADISON, WI 53714

Survey Prepared By:
Sarko Surveying Inc.
847 County Road JG
Mount Horeb, WI 53572
Phone: 608-832-6428
Fax: 608-848-3859
Email: rsarko@tds.net



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Engineering and Science, Inc.
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ZONING INFORMATION

This office has not been provided with the applicable zoning information for the subject property, by the client, pursuant to Table A Items 6(a) and 6(b).

UTILITY NOTE

LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED ABOVE GROUND EVIDENCE ONLY. SURVEYOR WAS NOT PROVIDED WITH UTILITY PLANS OR MARKINGS TO DETERMINE ANY SUBSURFACE LOCATIONS. THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV

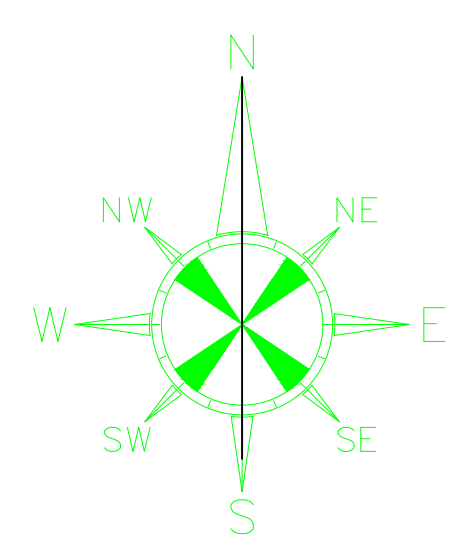
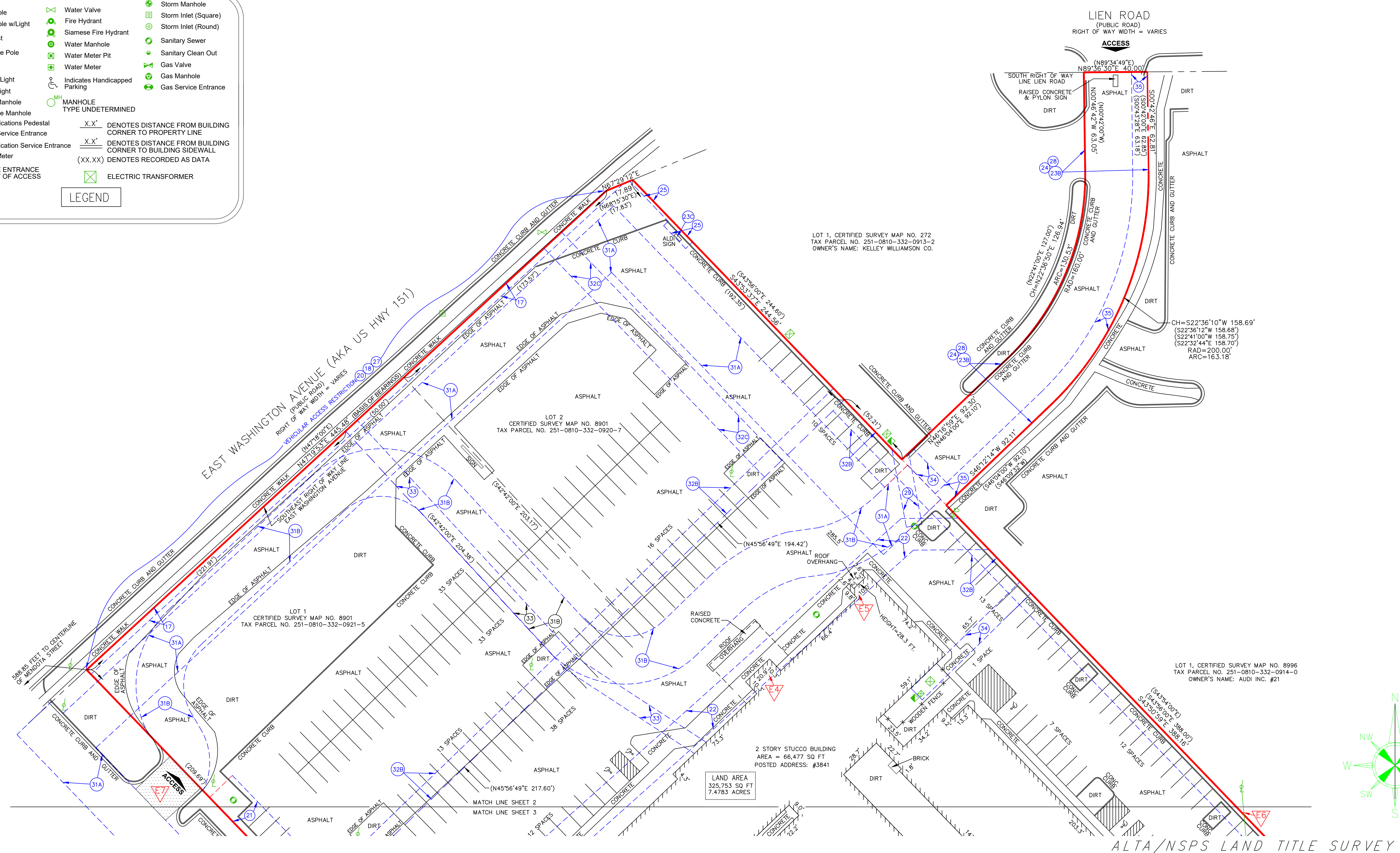
FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE X AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 55025C 0427H DATED 9-17-2014 AND IS NOT IN A FLOOD ZONE AREA. THE FLOOD INSURANCE RATE PROGRAM WAS CONTACTED ON 2-2-2022 BY TELEPHONE OR EMAIL (www.fema.gov)

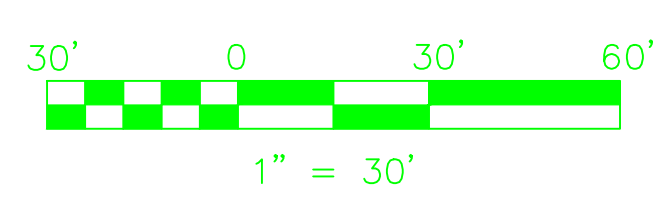
	Power Pole		Water Valve		Storm Manhole
	Power Pole w/Light		Fire Hydrant		Storm Inlet (Square)
	Light Post		Siamese Fire Hydrant		Storm Inlet (Round)
	Telephone Pole		Water Manhole		Sanitary Sewer
	Guy Wire		Water Meter Pit		Sanitary Clean Out
	Pedestal Light		Water Meter		Gas Valve
	Ground Light		Indicates Handicapped Parking		Gas Manhole
	Electric Manhole		MANHOLE TYPE UNDETERMINED		Gas Service Entrance
	Telephone Manhole				
	Communications Pedestal	X.X'	DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE		
	Electric Service Entrance	X.X'	DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDEWALL		
	Communication Service Entrance	(XX.XX)	DENOTES RECORDED AS DATA		
	Electric Meter		ELECTRIC TRANSFORMER		

ACCESS
 DRIVE ENTRANCE
 POINT OF ACCESS

LEGEND



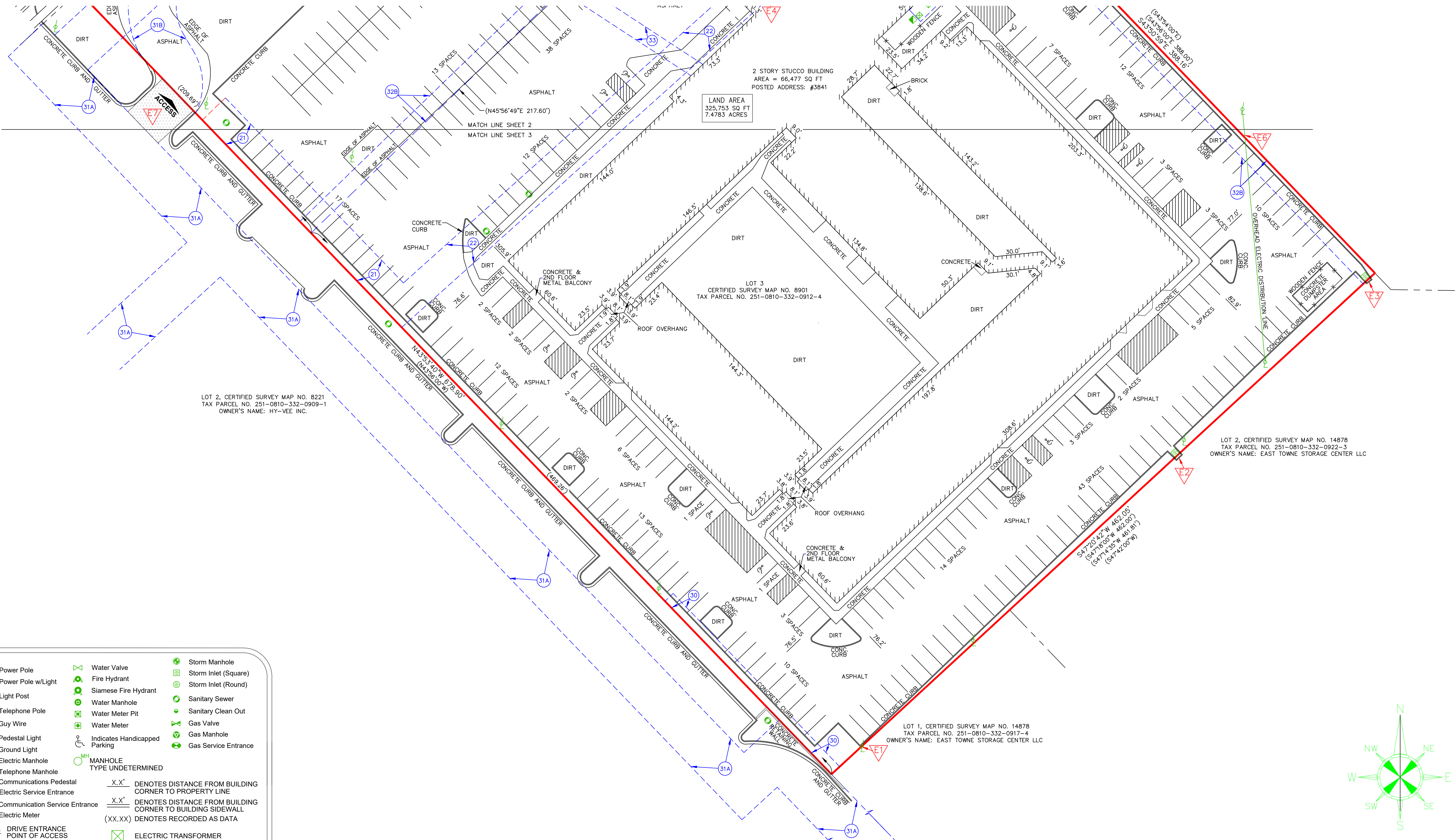
Survey Prepared By:
Sarko Surveying Inc.
 847 County Road JG
 Mount Horeb, WI 53572
 Phone: 608-832-6428
 Fax: 608-848-3859
 Email: rsarko@tds.net



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LAND AREA
325,753 SQ FT
7.4783 ACRES

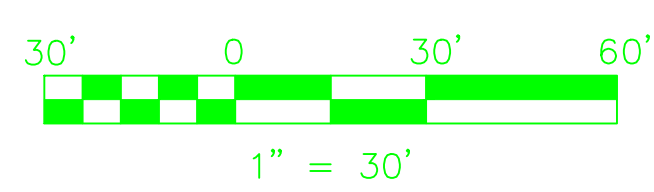
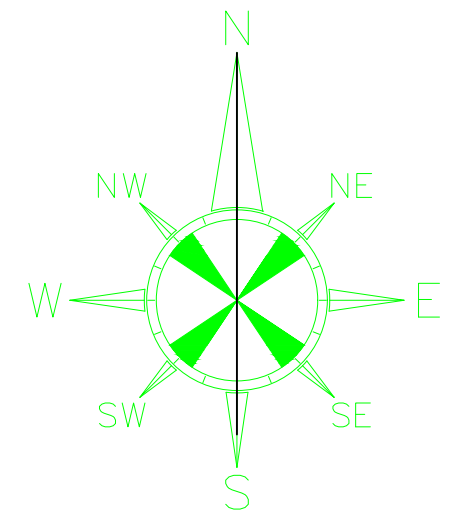
LOT 2, CERTIFIED SURVEY MAP NO. 8221
TAX PARCEL NO. 251-0810-332-0909-1
OWNER'S NAME: HY-VEE INC.

LOT 2, CERTIFIED SURVEY MAP NO. 14878
TAX PARCEL NO. 251-0810-332-0922-3
OWNER'S NAME: EAST TOWNE STORAGE CENTER LLC

LOT 1, CERTIFIED SURVEY MAP NO. 14878
TAX PARCEL NO. 251-0810-332-0917-4
OWNER'S NAME: EAST TOWNE STORAGE CENTER LLC

	Power Pole		Water Valve		Storm Manhole
	Power Pole w/Light		Fire Hydrant		Storm Inlet (Square)
	Light Post		Siamese Fire Hydrant		Storm Inlet (Round)
	Telephone Pole		Water Manhole		Sanitary Sewer
	Guy Wire		Water Meter Pit		Sanitary Clean Out
	Pedestal Light		Water Meter		Gas Valve
	Ground Light		Indicates Handicapped Parking		Gas Manhole
	Electric Manhole		MANHOLE TYPE UNDETERMINED		Gas Service Entrance
	Telephone Manhole				
	Communications Pedestal	$X.X'$	DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE		
	Electric Service Entrance	$X.X'$	DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDEWALL		
	Communication Service Entrance	$(XX.XX)$	DENOTES RECORDED AS DATA		
	Electric Meter				
	DRIVE ENTRANCE POINT OF ACCESS		ELECTRIC TRANSFORMER		

LEGEND



ALTA/NSPS LAND TITLE SURVEY

Survey Prepared By:
Sarko Surveying Inc.
847 County Road JG
Mount Horeb, WI 53572
Phone: 608-832-6428
Fax: 608-848-3859
Email: rsarko@tds.net

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 500 north broadway suite 200
 oklahoma city, ok 73102
 phone: 405.531.3105

PROGRESS PRINT

NOT FOR CONSTRUCTION

DATE: 06/29/2022

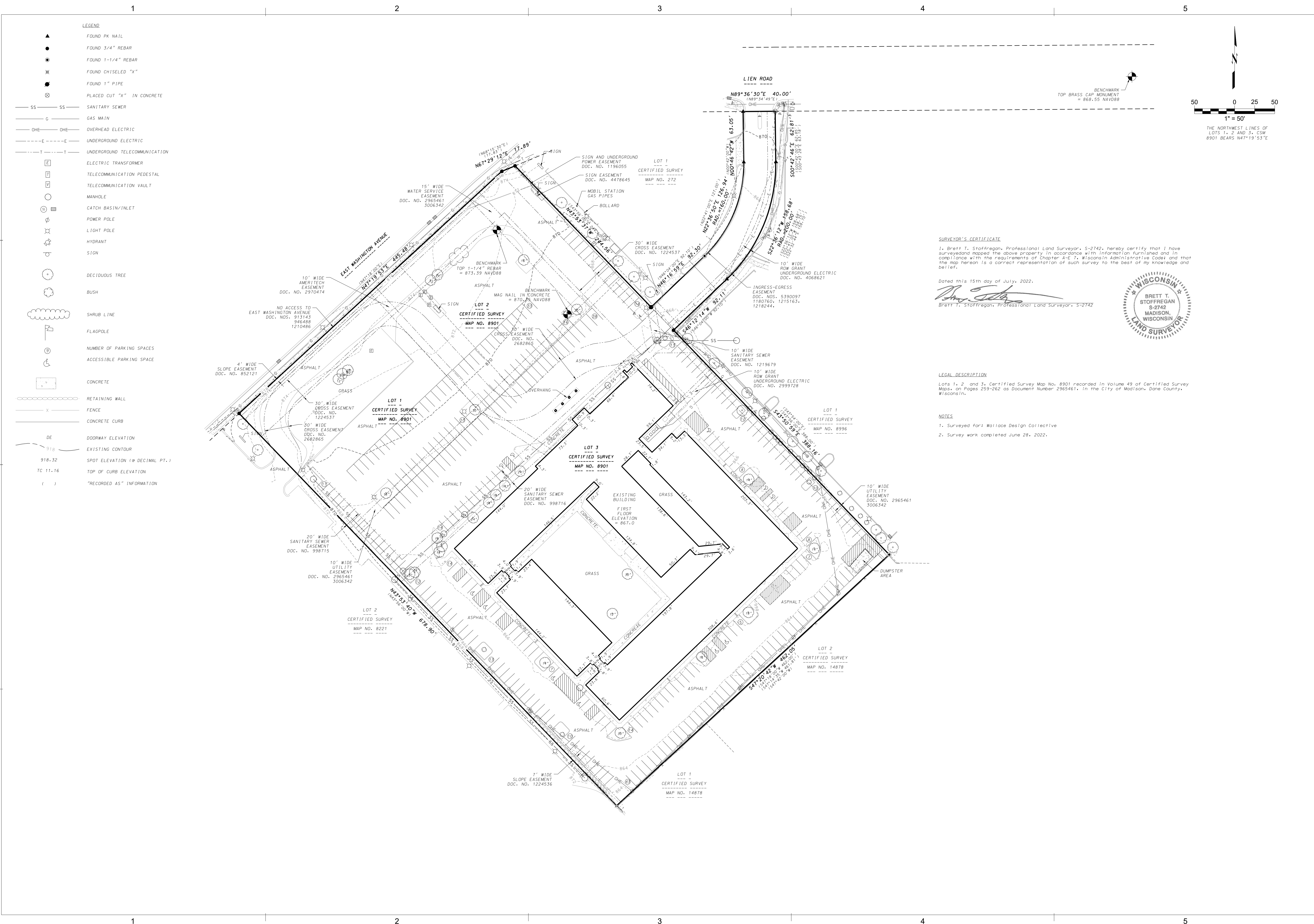
**RENOVATION
 PLATO'S OF MADISON, WI
 3841 E WASHINGTON AVE, MADISON, WI 53714**

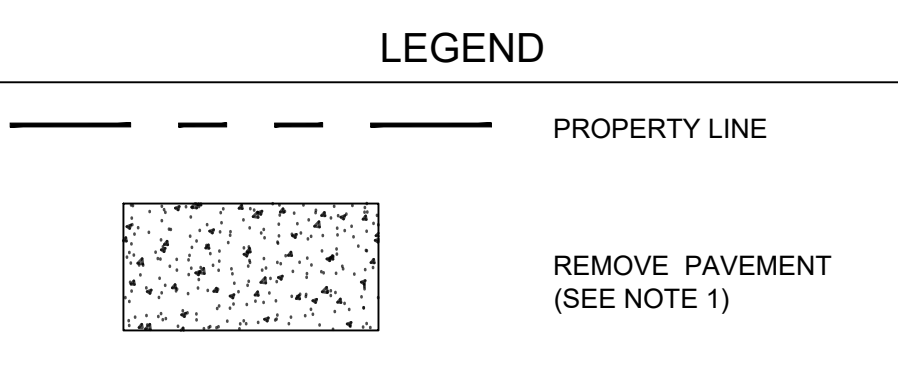
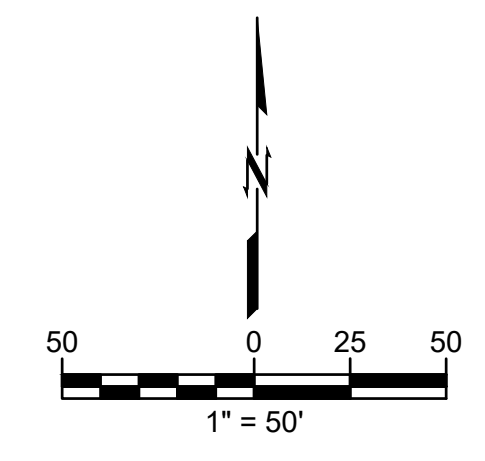
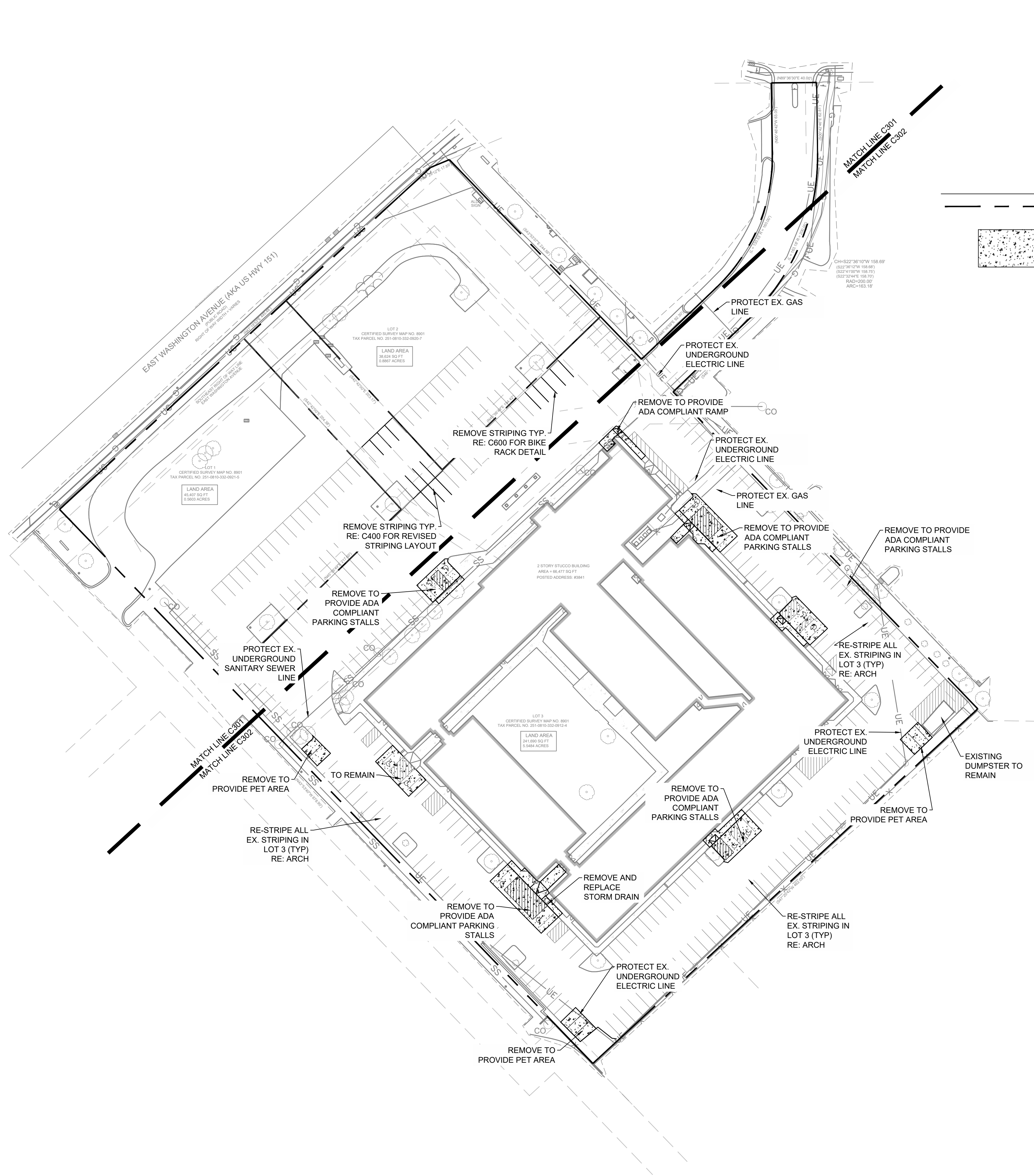
SUBMISSION DATES
 PROGRESS PRINT ONLY

SHEET TITLE
 EXISTING
 CONDITIONS

PROJECT NUMBER
 2280028

SHEET NUMBER
 C203





- GENERAL NOTES**
1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
 2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
 3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
 4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
 5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
 7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
 8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
 10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
 11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

SITE INFORMATION SUMMARY	
TOTAL SITE AREA:	241,690 SF
DISTURBED AREA:	8,067 SF
EXISTING PERVIOUS AREA:	38,950 SF
EXISTING IMPERVIOUS AREA:	202,740 SF
PROPOSED PERVIOUS AREA:	40,126 SF
PROPOSED IMPERVIOUS AREA:	201,564 SF

NOT FOR CONSTRUCTION

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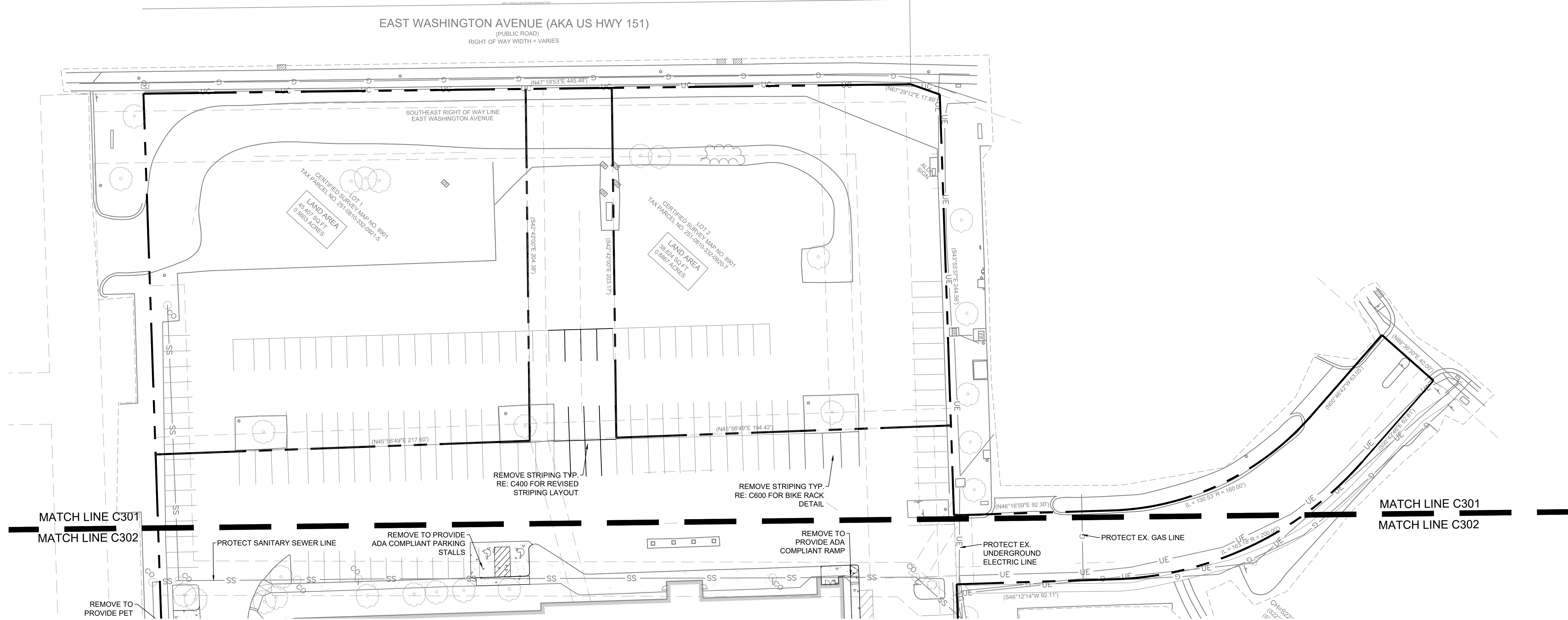
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oklahoma city, oklahoma 73104
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500 north broadway suite 200
oklahoma city, ok 73102 phone: 405.231.3105

WISCONSIN
AARON M. BARNHART
E-48514
CASTLE ROCK
CO
PROFESSIONAL ENGINEER
07/15/2022

RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES	UDC AND LUA
	07/15/2022
SHEET TITLE	OVERALL DEMO AND EROSION CONTROL PLAN
PROJECT NUMBER	2280028
SHEET NUMBER	C300



EAST WASHINGTON AVENUE (AKA US HWY 151)
(PUBLIC ROAD)
RIGHT OF WAY WIDTH = VARIES

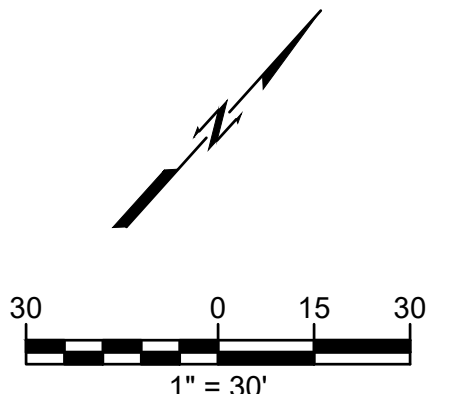
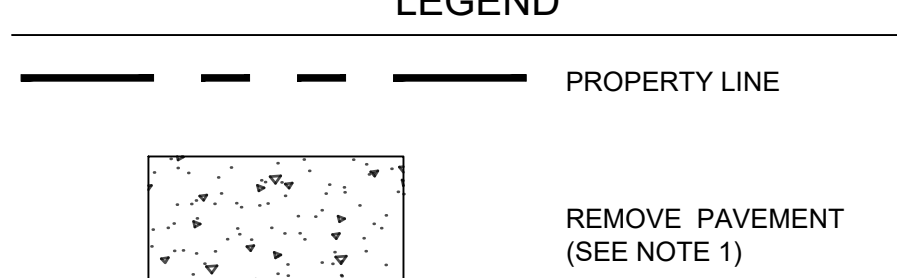
CERTIFIED SURVEY MAP NO. 8801
TAX PARCEL NO. 251-581010-302-062-1-5
LAND AREA
65,410.50 SQ FT
0.8803 ACRES

CERTIFIED SURVEY MAP NO. 8801
TAX PARCEL NO. 251-581010-302-062-1-5
LAND AREA
3,624.50 SQ FT
0.0827 ACRES

GENERAL NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
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11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

LEGEND



NOT FOR CONSTRUCTION



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oklahoma city, oklahoma 73104
405.236.5858 - 800.364.5858



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500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105



**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

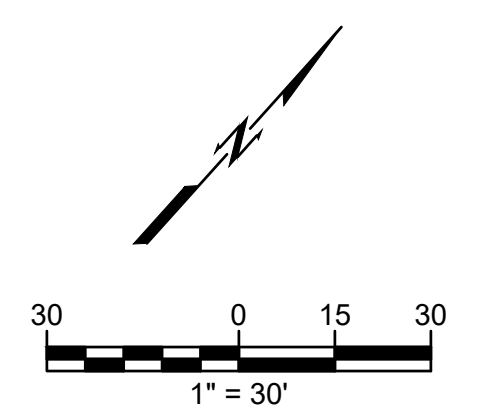
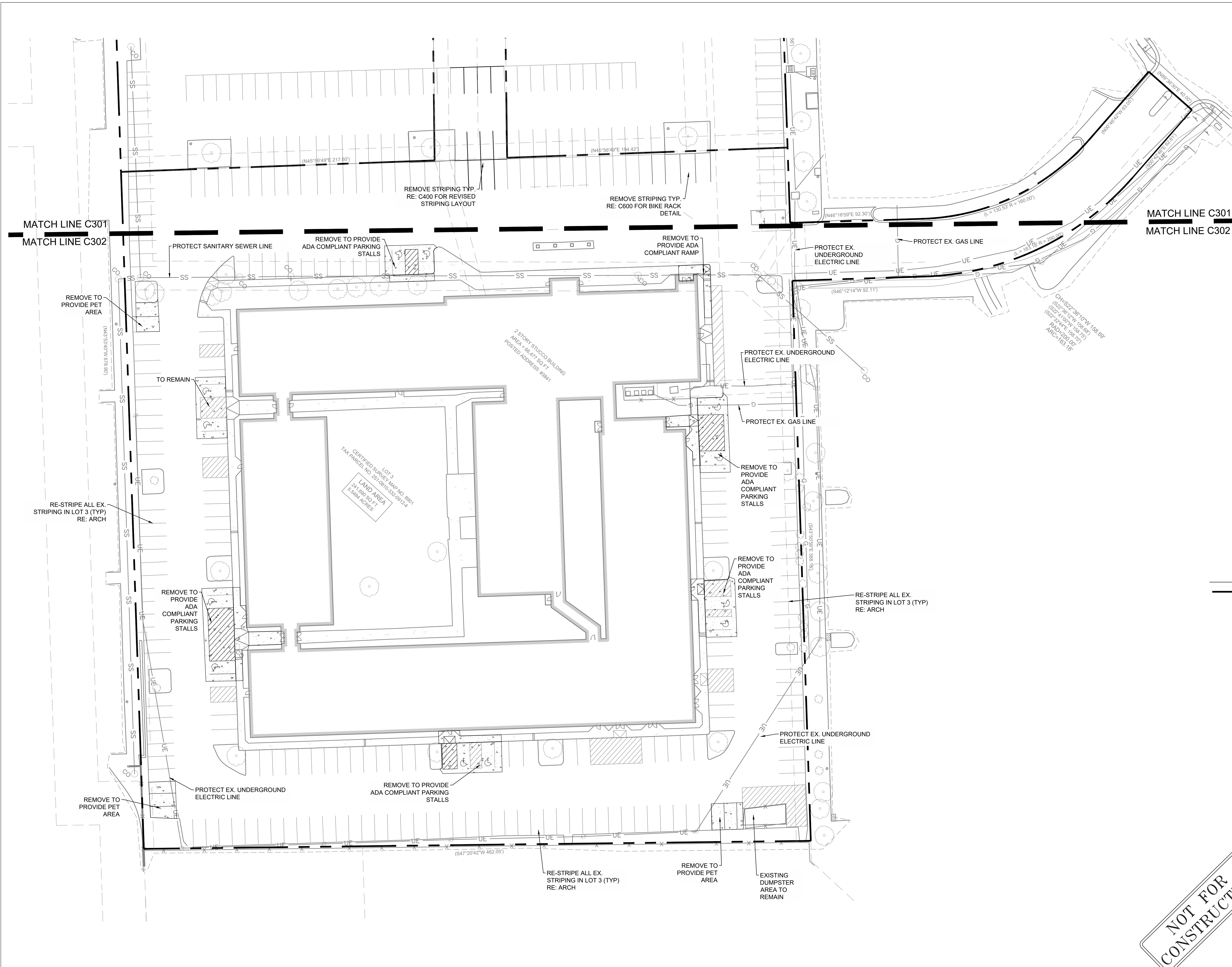
SUBMISSION DATES
UDC AND LUA

07/15/2022

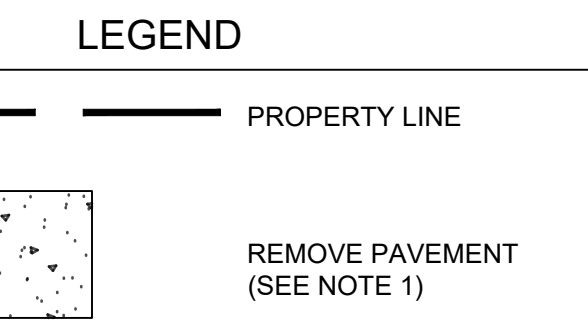
SHEET TITLE
ENLARGED DEMO
AND EROSION
CONTROL PLAN 1

PROJECT NUMBER
2280028

SHEET NUMBER
C301



- GENERAL DEMOLITION NOTES**
1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
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 500 north broadway suite 200
 oklahoma city, ok 73102
 phone: 405.231.3105

Professional Engineer
 Aaron M. Barnhart
 E-48514
 Castle Rock, CO
 07/15/2022

**RENOVATION
 PLATO'S MADISON
 3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
 UDC AND LUA
 07/15/2022

SHEET TITLE
 ENLARGED DEMO
 AND EROSION
 CONTROL PLAN 2

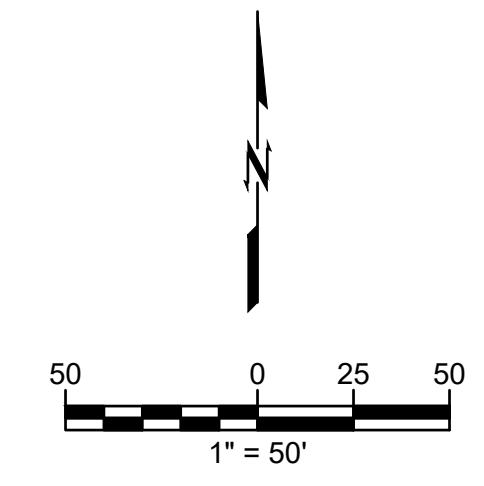
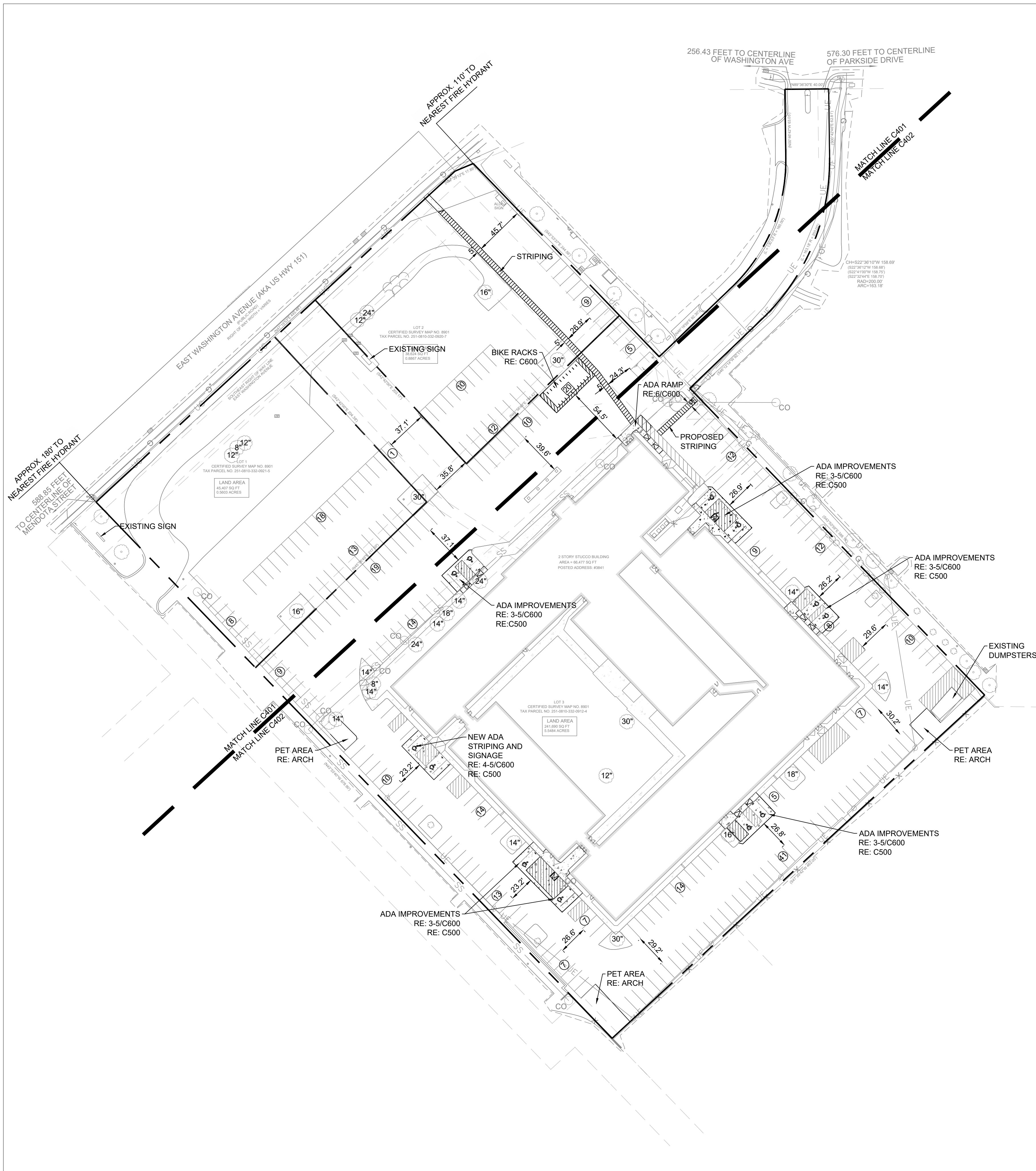
PROJECT NUMBER
 2280028

SHEET NUMBER
 C302

**NOT FOR
 CONSTRUCTION**

**wallace
 design
 collective**

wallace design collective, pc
 structural - civil - landscape - survey
 410 north walnut avenue, suite 200
 oklahoma city, oklahoma 73104
 405.236.5858 - 800.364.5858



LEGEND

- PROPERTY LINE
- PROP. CONCRETE PAVEMENT
- PARKING COUNT
- NUMBER OF BICYCLE RACKS
- TREE DIAMETER IN INCHES

EXISTING PARKING SUMMARY	
LOT 1	
PROPOSED STANDARD PARKING	39
EXISTING STANDARD PARKING	39
TOTAL STANDARD PARKING CHANGE	0
LOT 2	
PROPOSED STANDARD PARKING	31
EXISTING STANDARD PARKING	31
TOTAL STANDARD PARKING CHANGE	0
LOT 3	
ACCESSIBLE	
PROPOSED ACCESSIBLE PARKING	12
EXISTING ACCESSIBLE PARKING	12
TOTAL ACCESSIBLE PARKING CHANGE	0
STANDARD	
PROPOSED STANDARD PARKING	215
EXISTING STANDARD PARKING	239
TOTAL STANDARD PARKING CHANGE	-24

PROPOSED BICYCLE PARKING SUMMARY	
LOT 3	
PROVIDED - EXTERIOR	
2' BIKE RACKS	20
TOTAL BICYCLE SPACES PROVIDED	40
REQUIRED	
TOTAL BICYCLE SPACES REQUIRED: (1 PER DWELLING UNIT) (1 PER 10 UNITS FOR GUESTS)	171
NOTE: RE: ARCH PLANS FOR INDOOR BIKE RACK LOCATIONS	

- GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
 - ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
 - RADII = 3'-00" U.N.O.

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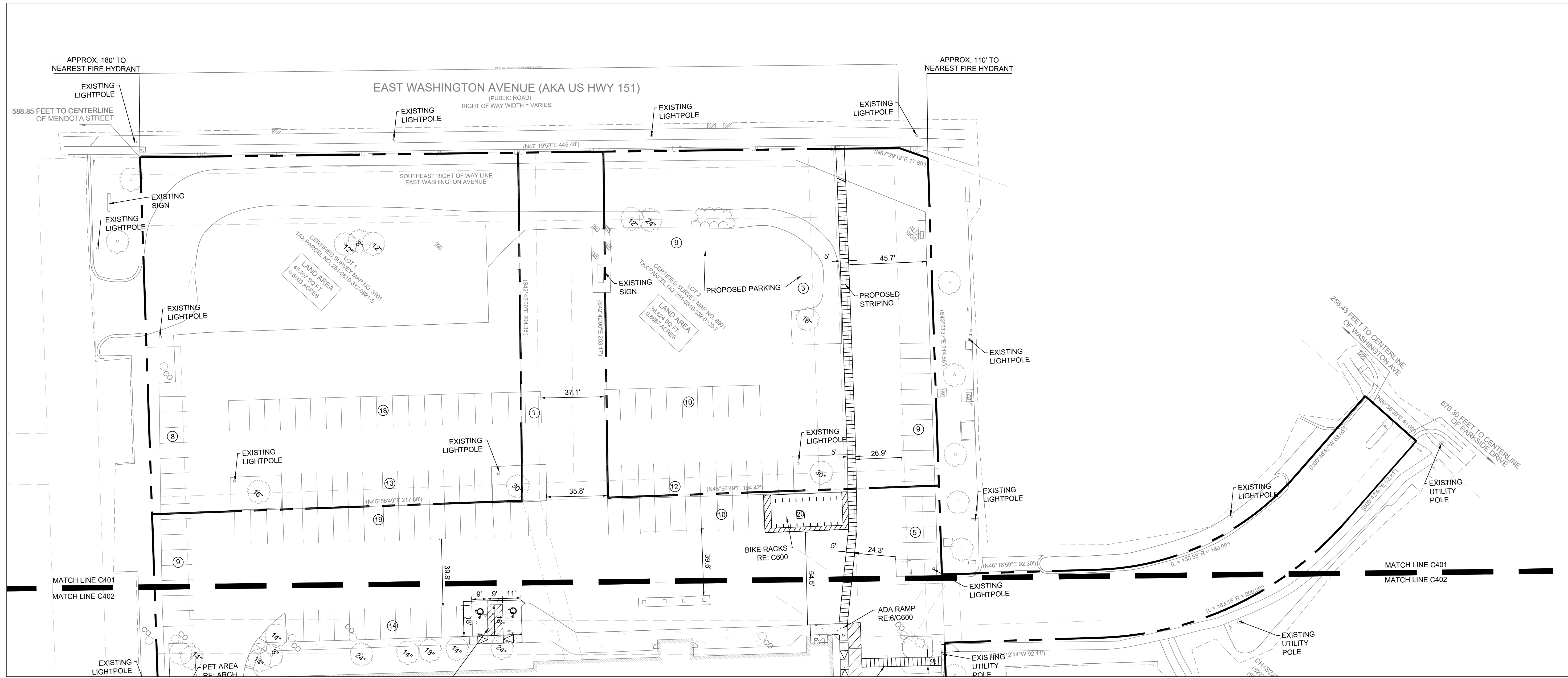
PROPOSED PARKING SUMMARY	
LOT 1	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	39
TOTAL PARKING PROVIDED	39
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A
LOT 2	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	31
TOTAL PARKING PROVIDED	31
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A
LOT 3	
PROVIDED	
ACCESSIBLE PARKING	12
STANDARD PARKING (9' X 18')	215
TOTAL PARKING PROVIDED	227
REQUIRED	
MINIMUM STANDARD PARKING PER TABLE 281-2, NO MINIMUM REQUIRED FOR CC-T ZONED PARCELS	0
MAXIMUM STANDARD PARKING	387

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WISCONSIN
AARON M. BARNHART
E-48514
CASTLE ROCK
CO
PROFESSIONAL ENGINEER
07/15/2022

RENOVATION
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3841 E WASHINGTON AVE, MADISON, WI 53714


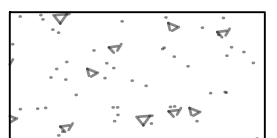

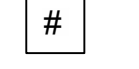

SUBMISSION DATES UDC AND LUA
07/15/2022
SHEET TITLE OVERALL SITE PLAN
PROJECT NUMBER 2280028
SHEET NUMBER C400



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
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4. REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
5. ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
6. RADII = 3'-00" U.N.O.

LEGEND

-  PROPERTY LINE
-  PROP. CONCRETE PAVEMENT
-  PARKING COUNT
-  NUMBER OF BICYCLE RACKS
-  TREE DIAMETER IN INCHES

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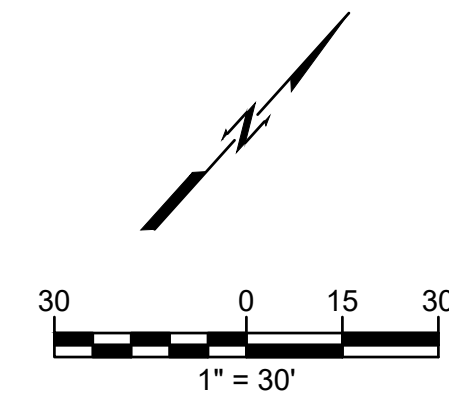
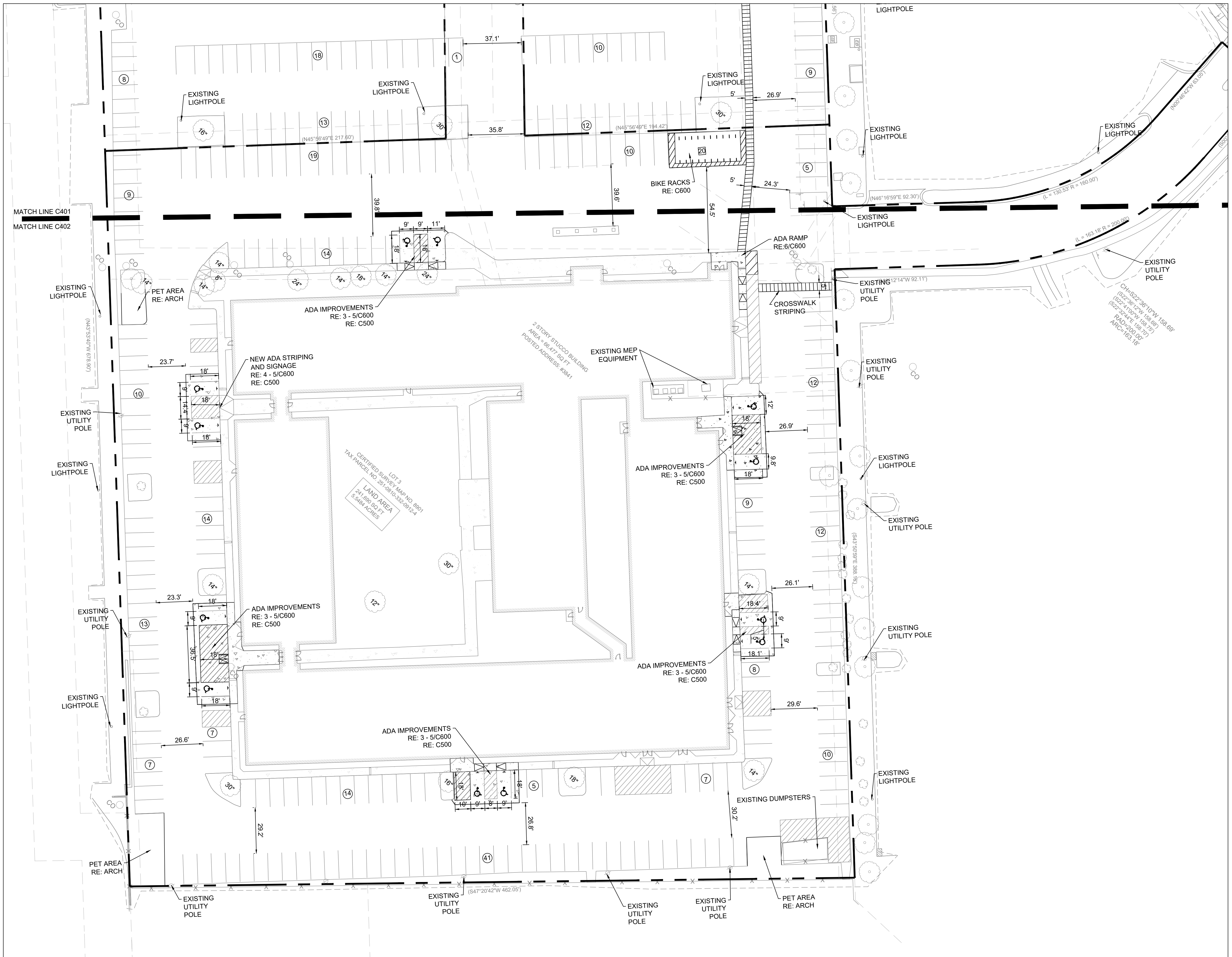
RENOVATION PLATO'S MADISON
 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
 UDC AND LUA
 07/15/2022

SHEET TITLE
 ENLARGED SITE PLAN 1

PROJECT NUMBER
 2280028

SHEET NUMBER
 C401



- GENERAL NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
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 5. ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
 6. RADII = 3'-00" U.N.O.

LEGEND

	PROPERTY LINE
	PROP. CONCRETE PAVEMENT
	PARKING COUNT
	NUMBER OF BICYCLE RACKS
	TREE DIAMETER IN INCHES

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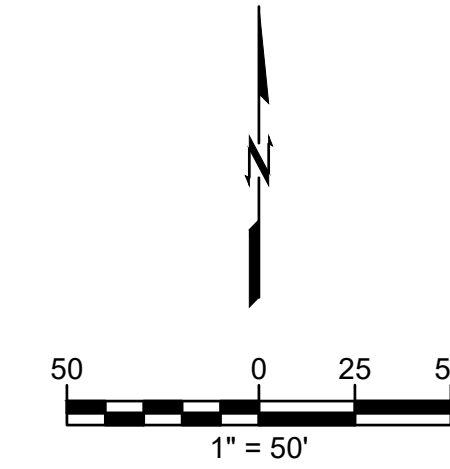
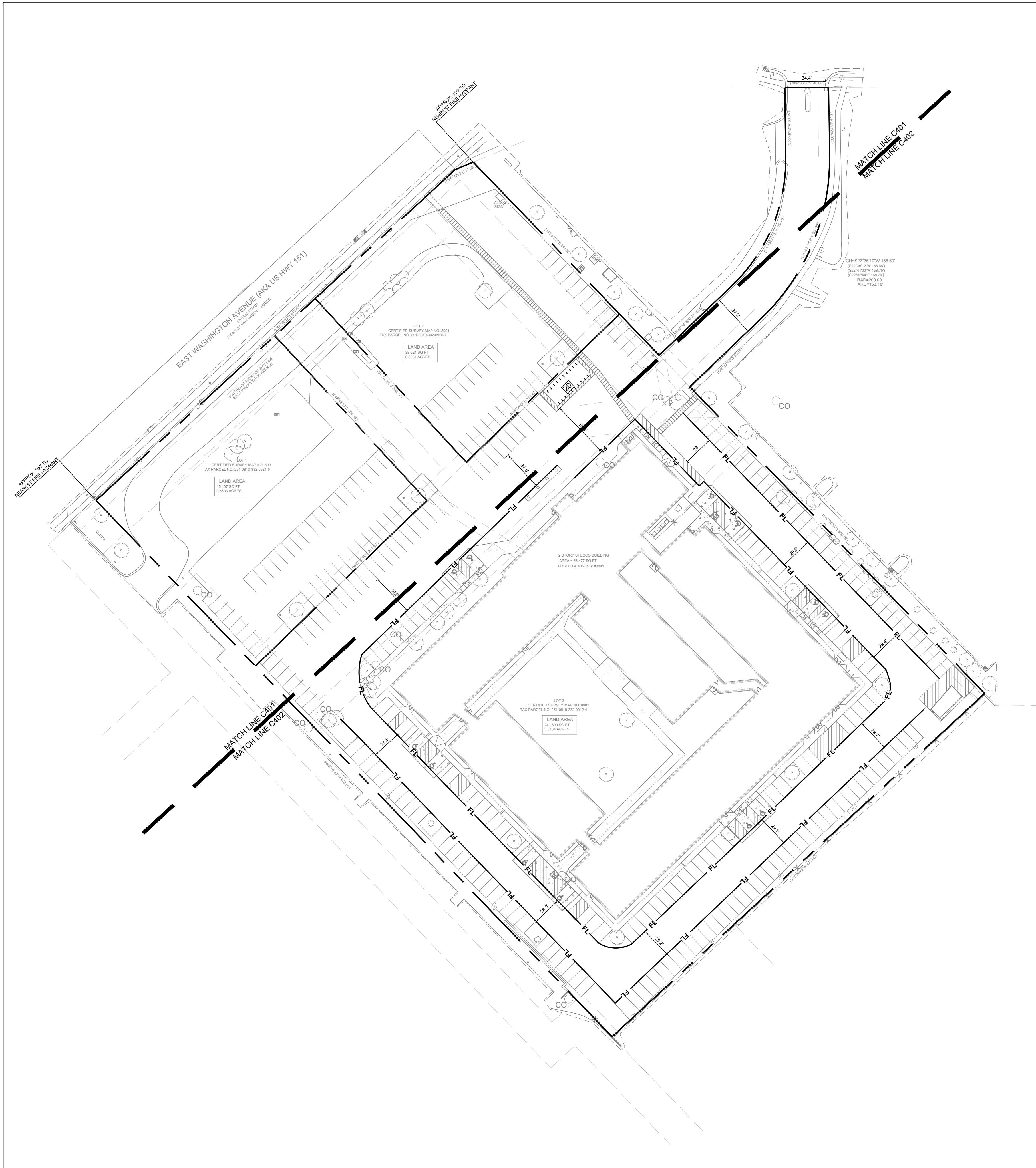
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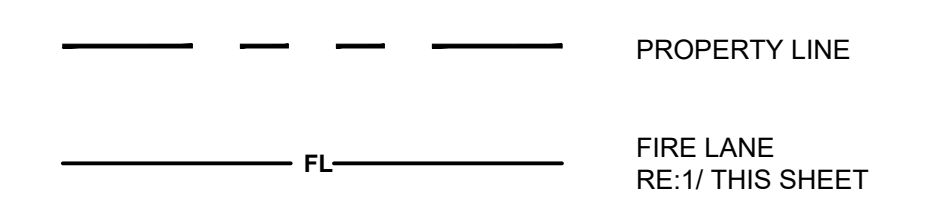
PROFESSIONAL ENGINEER
 AARON M. BARNHART
 E-48514
 CASTLE ROCK
 CO
 07/15/2022

RENOVATION
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SUBMISSION DATES UDC AND LUA
07/15/2022
SHEET TITLE ENLARGED SITE PLAN 2
PROJECT NUMBER 2280028
SHEET NUMBER C402



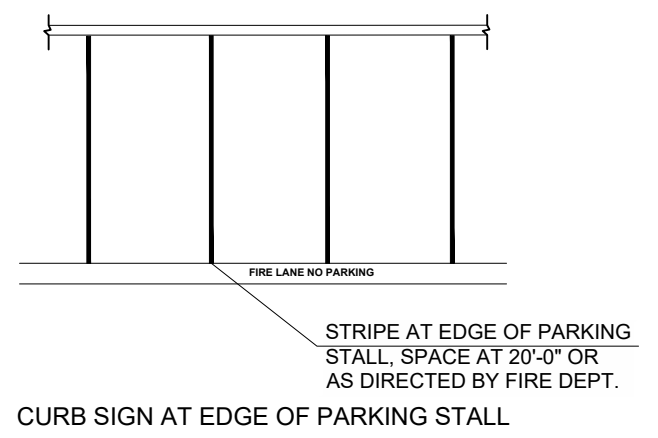
LEGEND



3" HIGH X 1/2" STROKE REFLECTIVE "WHITE" LETTERS AT 20'-0" O.C. OR AS DIRECTED BY FIRE DEPT. ON SITE AND AT EACH END TYPICAL ALL FIRE ACCESS LANES ON FACE OF CURBS
 PAINT TOP AND FRONT OF CURBS "RED" TYPICAL

FIRE LANE NO PARKING

NOTE:
 1. VERIFY AND COMPLY WITH ALL GOVERNMENTAL REQUIREMENTS.
 2. CONFIRM STRIPING WITH FIRE DEPARTMENT PRIOR TO CONSTRUCTION.



CURB SIGN FOR FIRE LANE

ALL MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH SECTION 503.3 AND D103.6 OF THE INTERNATIONAL FIRE CODE.

1 FIRE LANE STRIPING
 SCALE: NTS

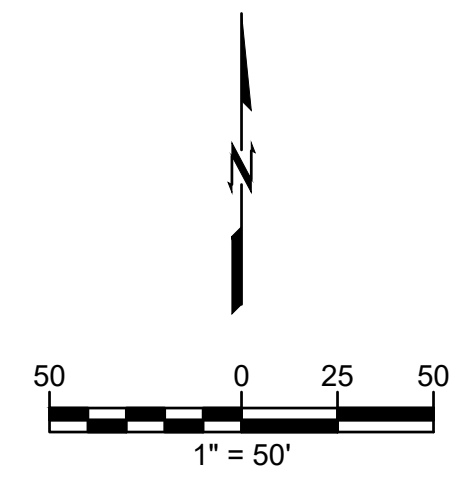
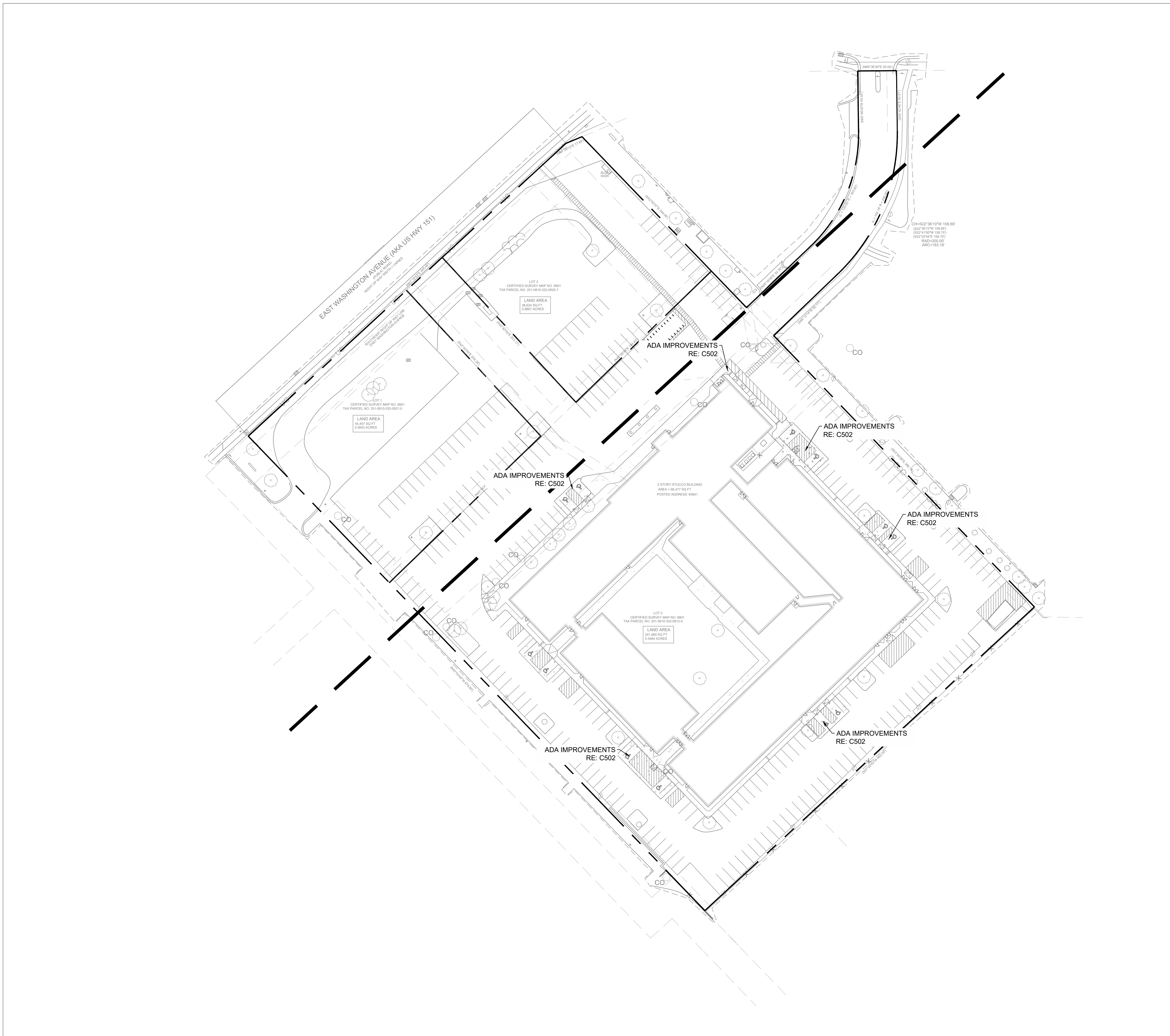
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 PROFESSIONAL EXHIBIT
 07/15/2022

RENOVATION
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 3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES	UDC AND LUA
	07/15/2022
SHEET TITLE	FIRE ACCESS EXHIBIT
PROJECT NUMBER	2280028
SHEET NUMBER	C403



GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
6. ALL SIDEWALKS AND RAMPS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1 TOP BRASS CAP MONUMENT ELEV: 868.55	BENCHMARK 2 TOP 1-1/4" REBAR MAG NAIL IN CONCRETE ELEV: 876.39	BENCHMARK 3 TOP 1-1/4" REBAR MAG NAIL IN CONCRETE ELEV: 870.35

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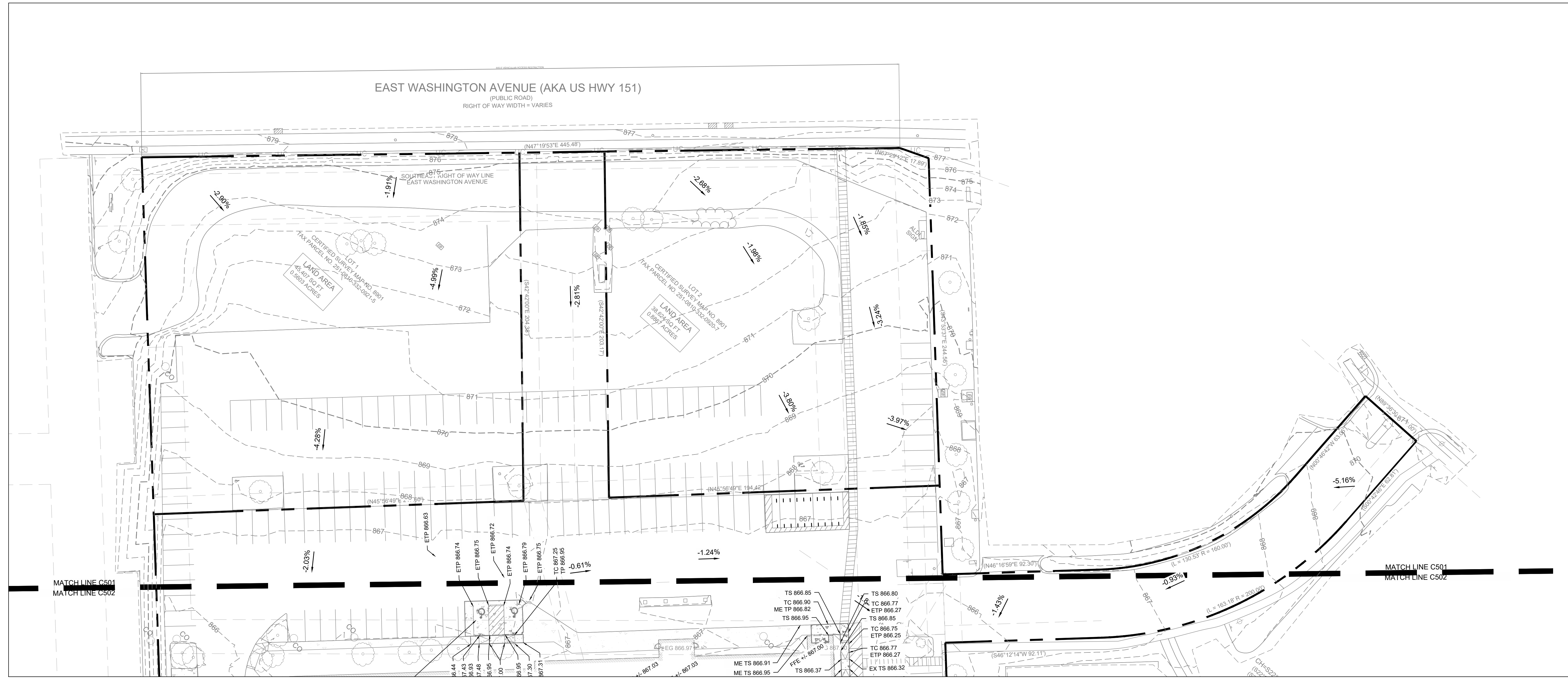
**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES UDC AND LUA 07/15/2022

SHEET TITLE OVERALL GRADING PLAN
--

PROJECT NUMBER 2280028

SHEET NUMBER C500



GENERAL NOTES

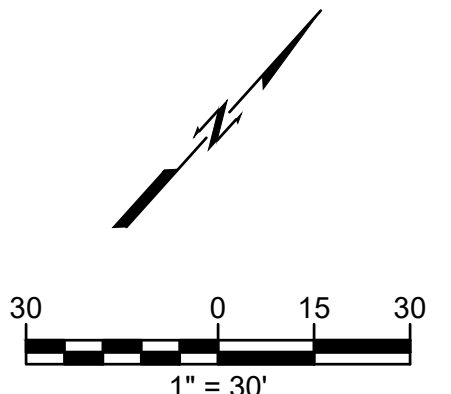
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2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
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BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1 TOP BRASS CAP MONUMENT ELEV: 868.55	BENCHMARK 2 TOP 1-1/4" REBAR MAG NAIL IN CONCRETE ELEV: 876.39	BENCHMARK 3 ELEV: 870.35

LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR



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SUBMISSION DATES
UDC AND LUA
07/15/2022

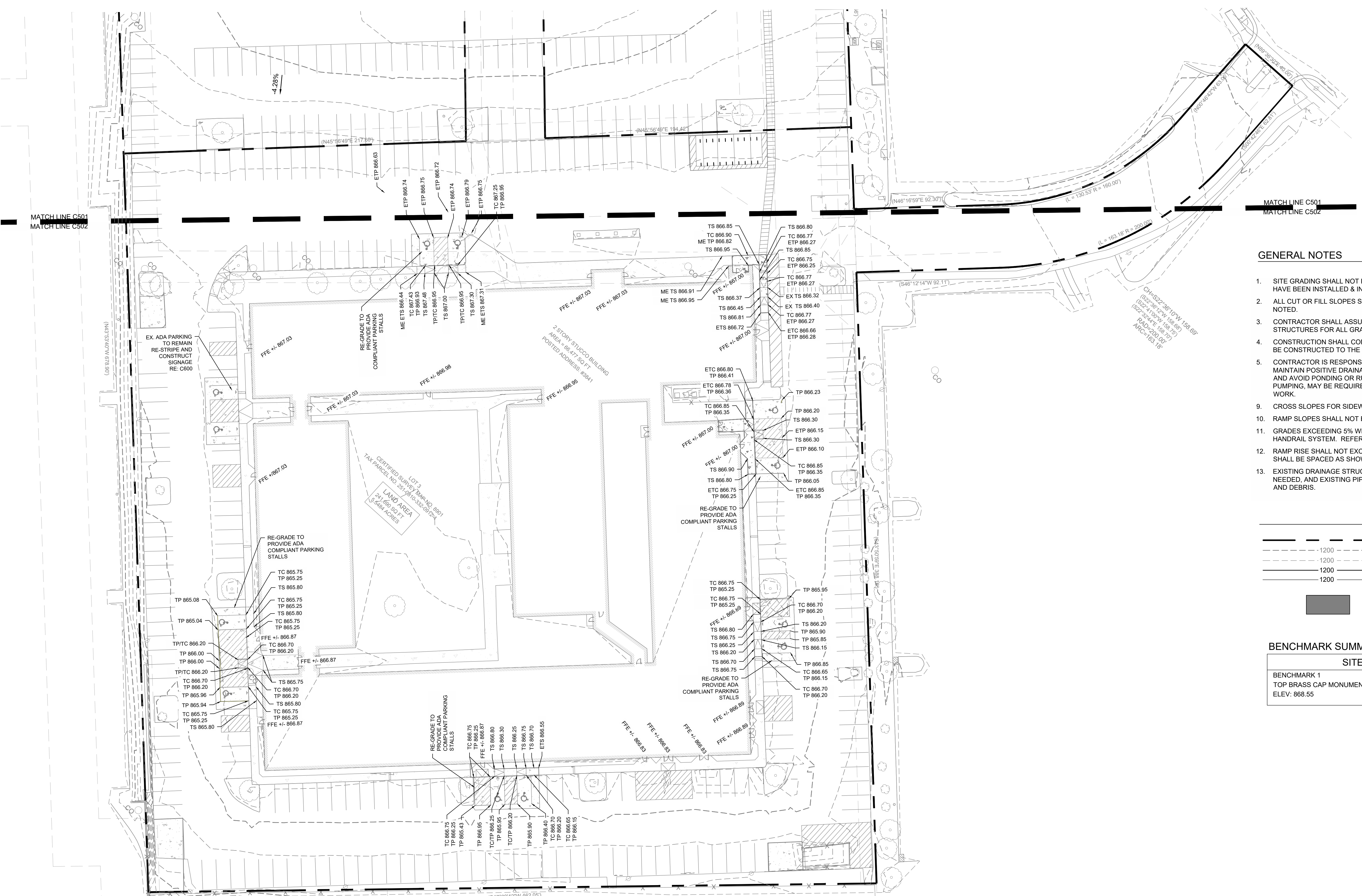
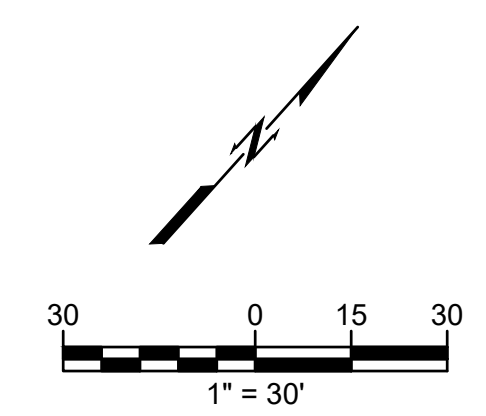
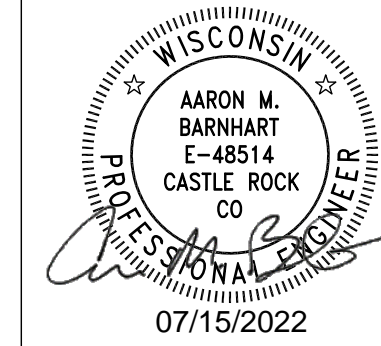
SHEET TITLE
**ENLARGED
GRADING PLAN 1**

PROJECT NUMBER
2280028

SHEET NUMBER
C501



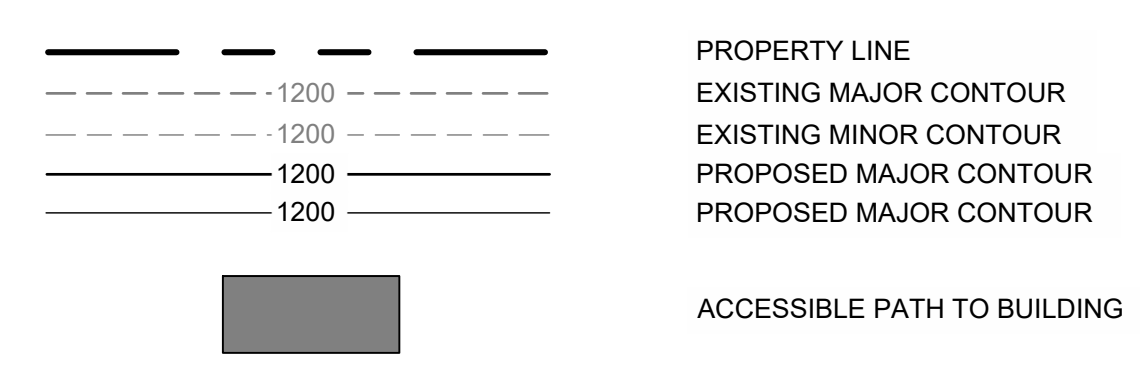
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 phone: 405.231.3105



GENERAL NOTES

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- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
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- CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
- RAMP SLOPES SHALL NOT EXCEED 1:12
- GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE WITH REQUIRED HANDRAIL SYSTEM. REFERENCE ARCHITECT FOR HANDRAIL DETAILS.
- RAMP RISE SHALL NOT EXCEED 30° WITHOUT REQUIRED LANDINGS. LANDINGS SHALL BE SPACED AS SHOWN ON PLANS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND



BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35



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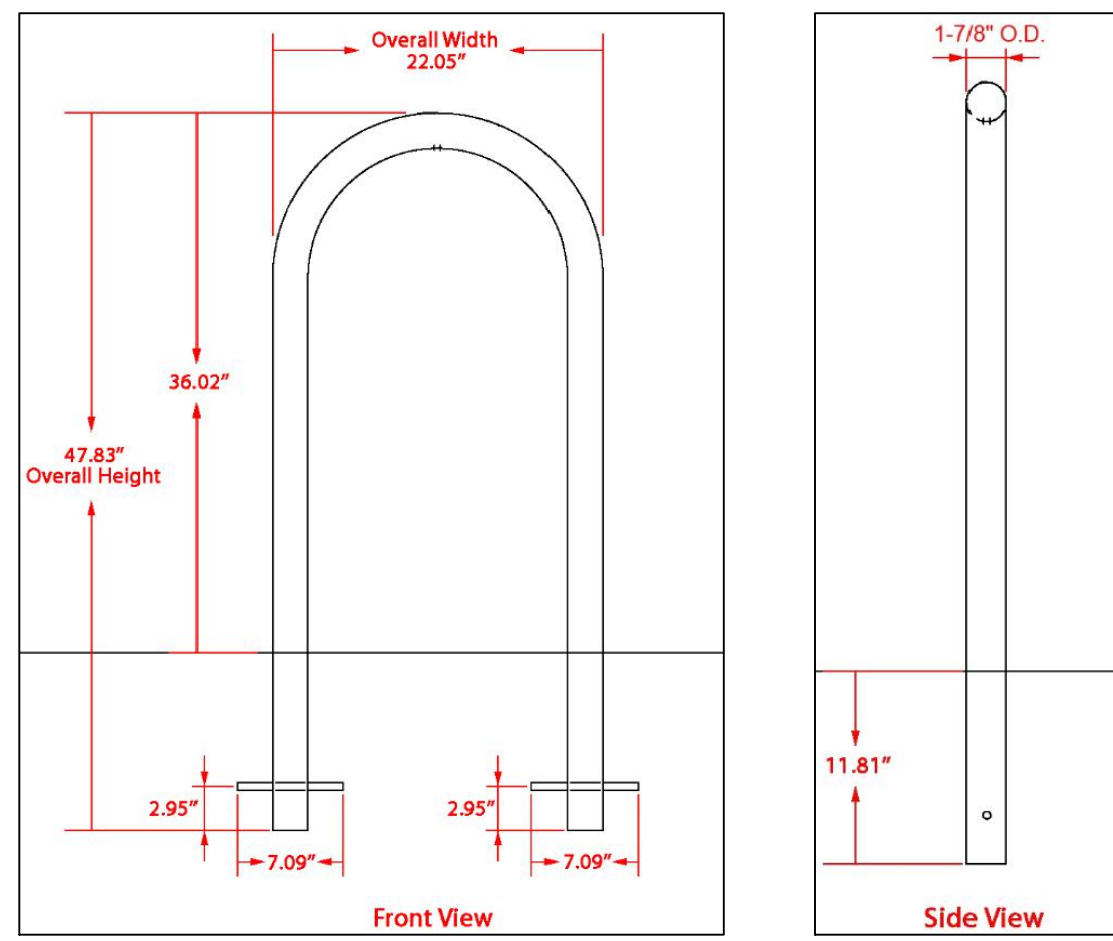
SUBMISSION DATES
 UDC AND LUA

07/15/2022

SHEET TITLE
 ENLARGED
 GRADING PLAN 2

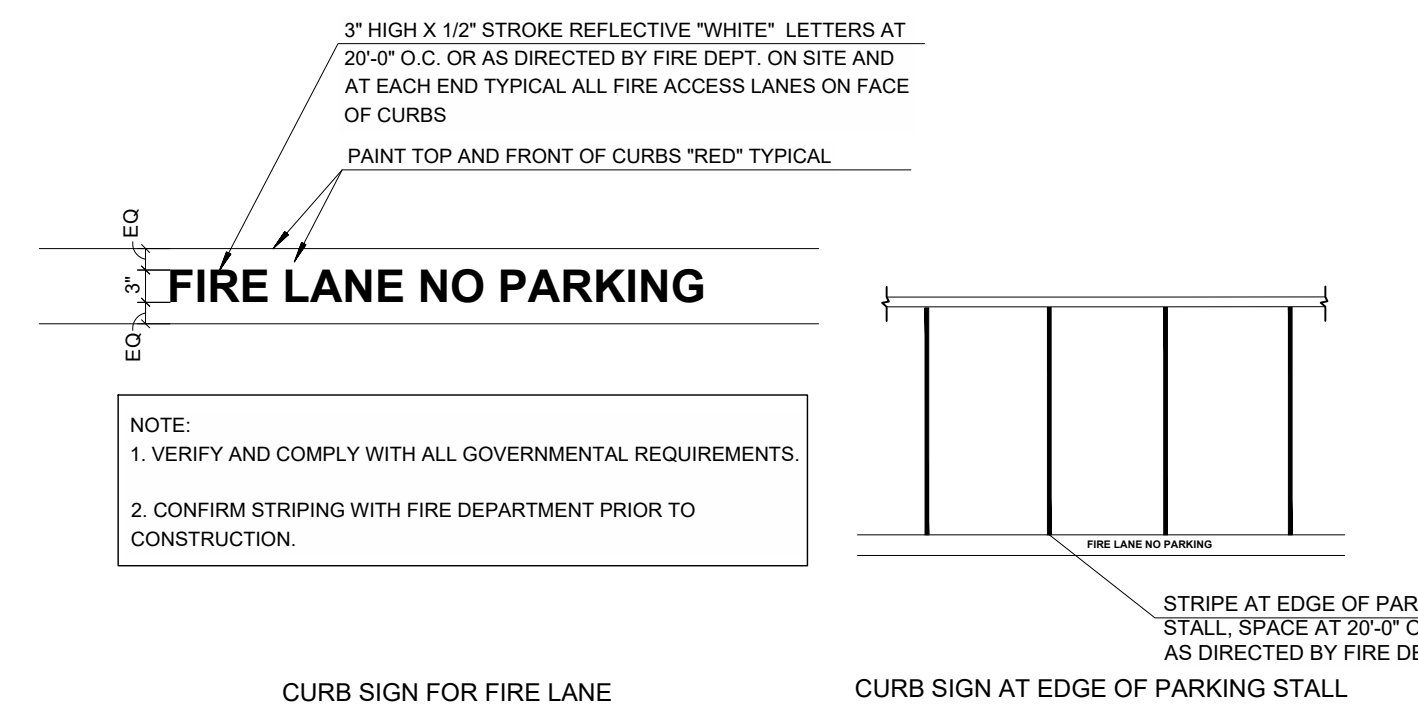
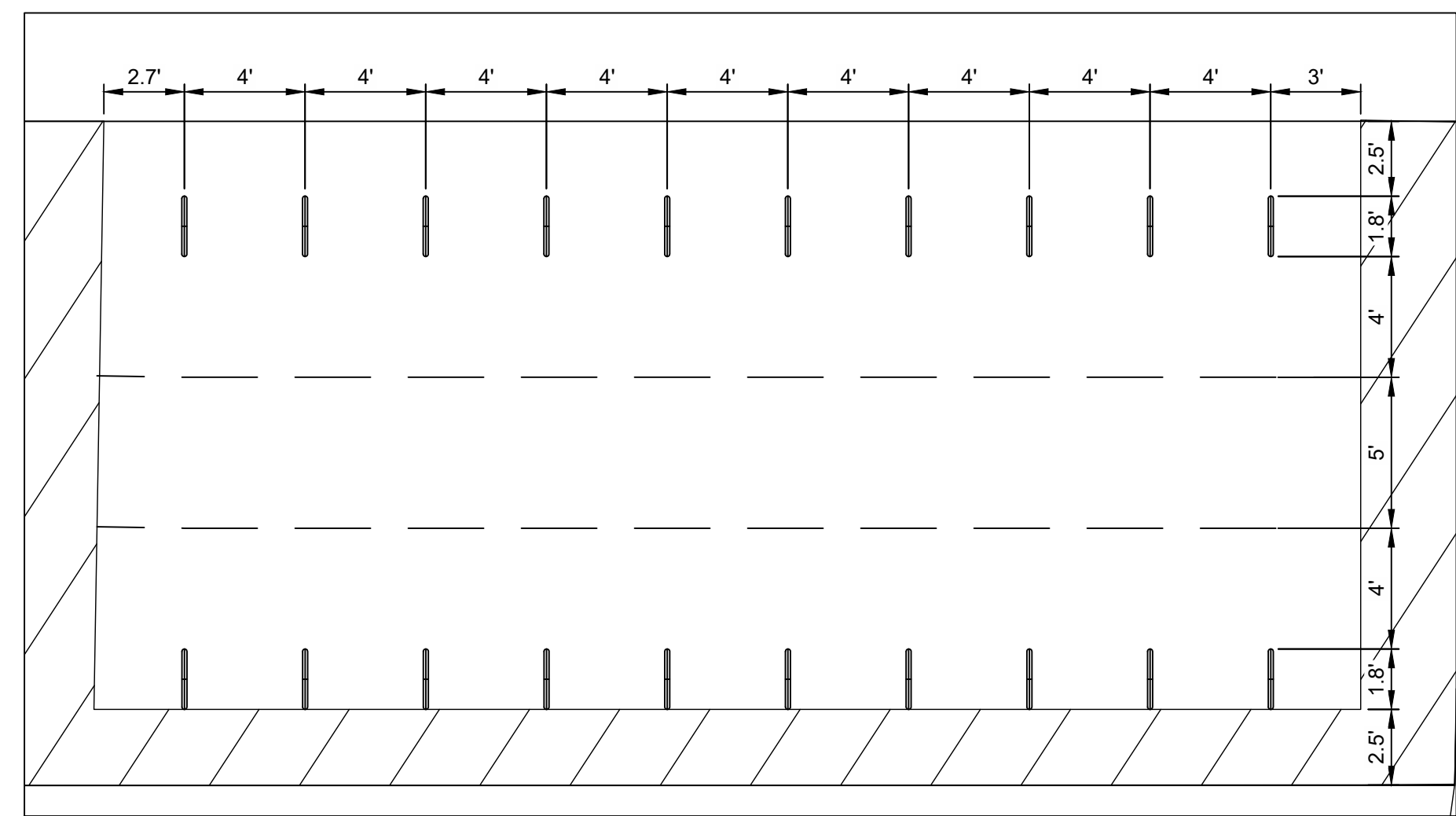
PROJECT NUMBER
 2280028

SHEET NUMBER
 C502



Material Steel tubing
Finish Powder-coated black
Dimensions 22.05' w x 47.83' h
 Above ground: 22.05' w x 36.02' h
Weight 24 lbs.

Type of Mount: Inground mount
Size of Tubing: 1-7/8" O.D. x 11-gauge



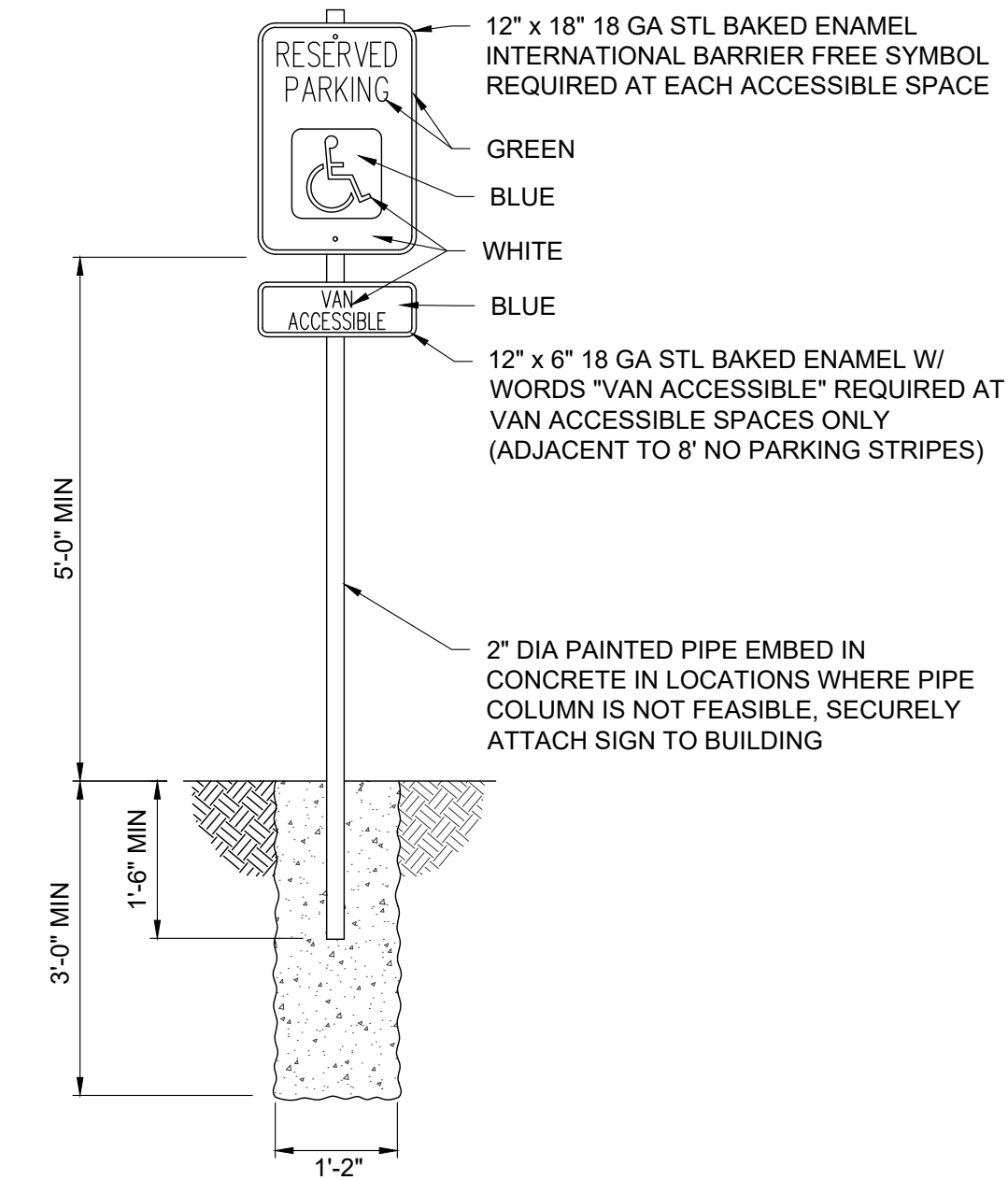
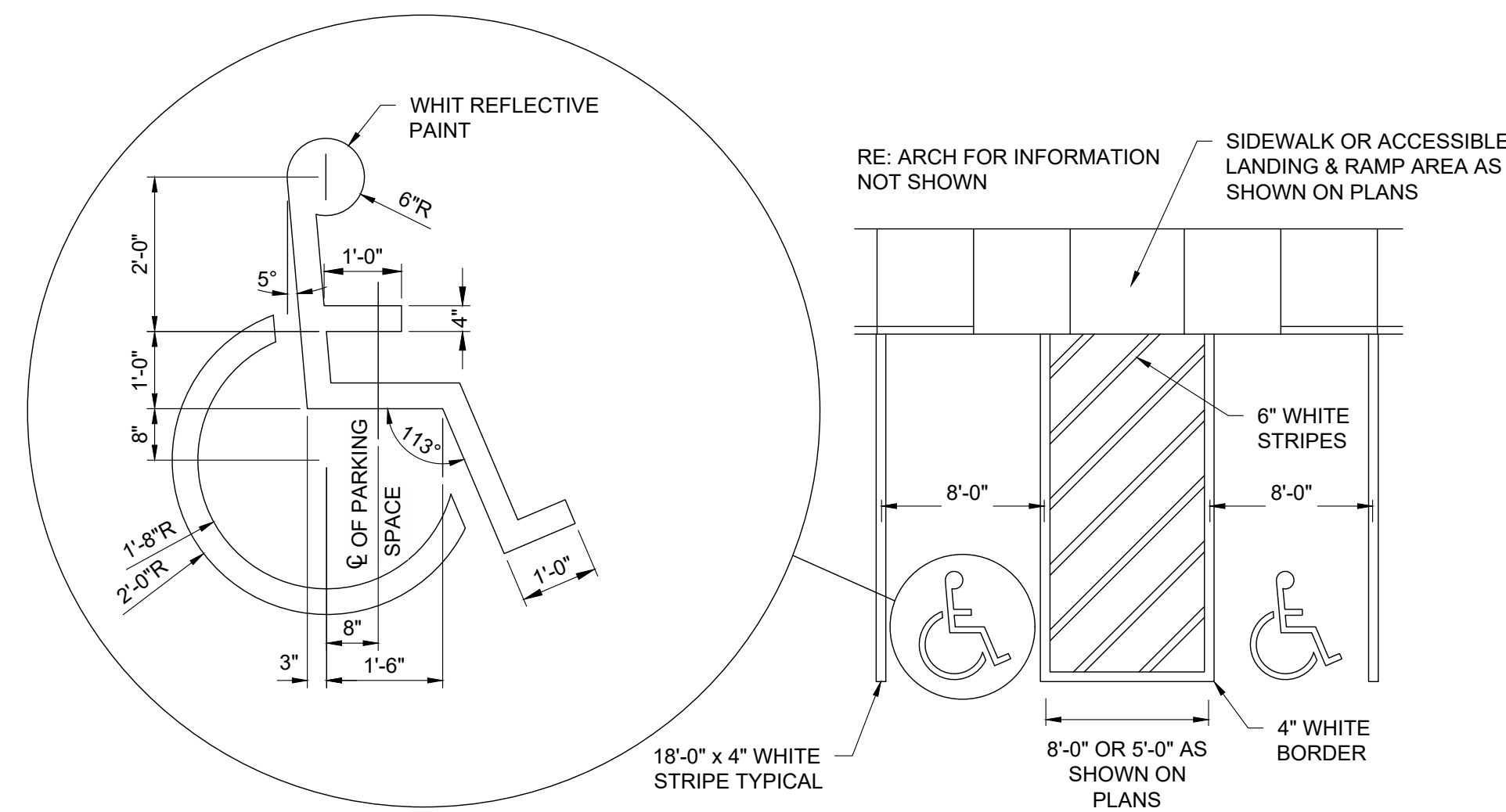
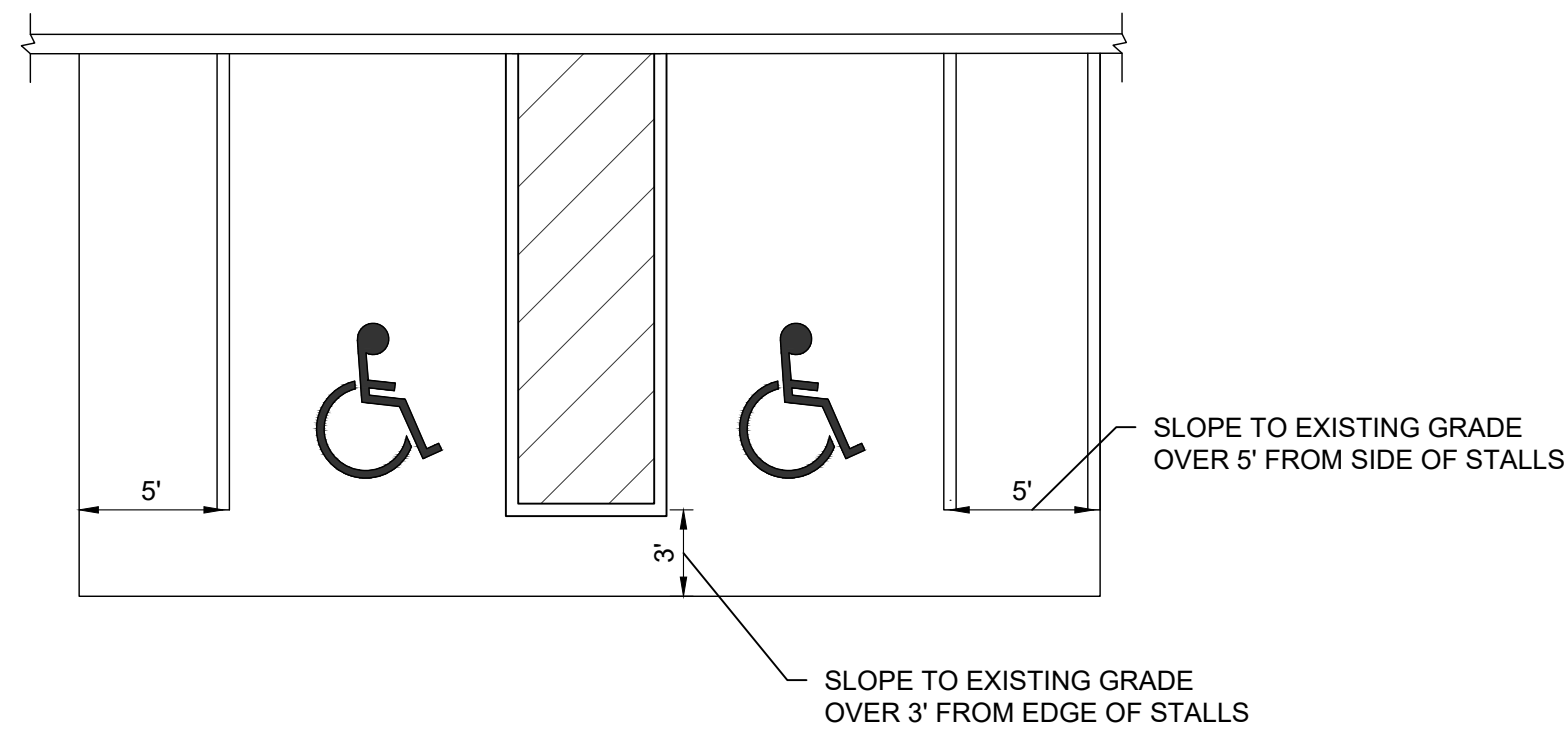
ALL MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH SECTION 503.3 AND D103.6 OF THE INTERNATIONAL FIRE CODE.

1 BIKE RACK

SCALE: NTS

2 FIRE LANE STRIPING

SCALE: NTS



3 ADA STALL RAISE

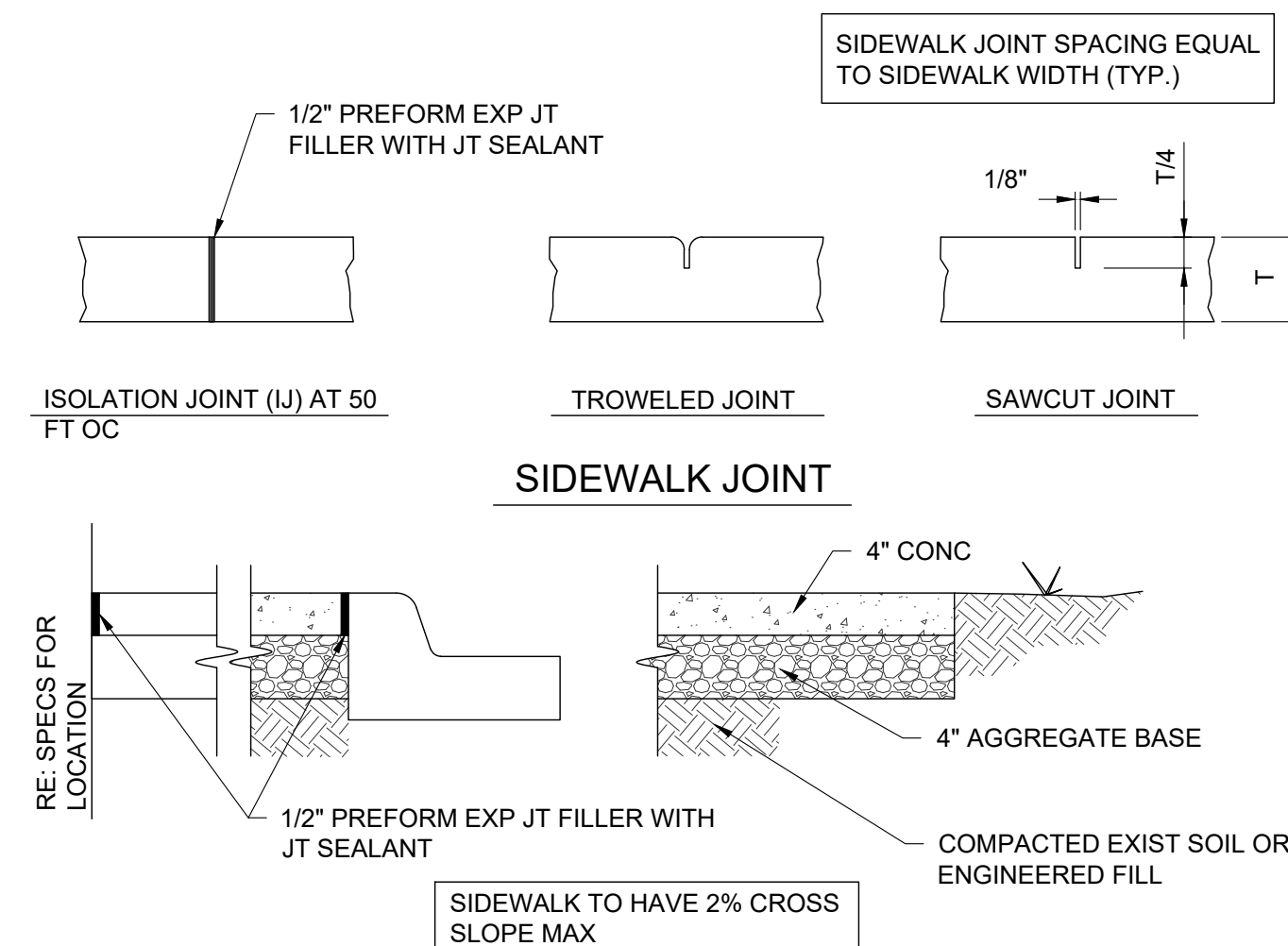
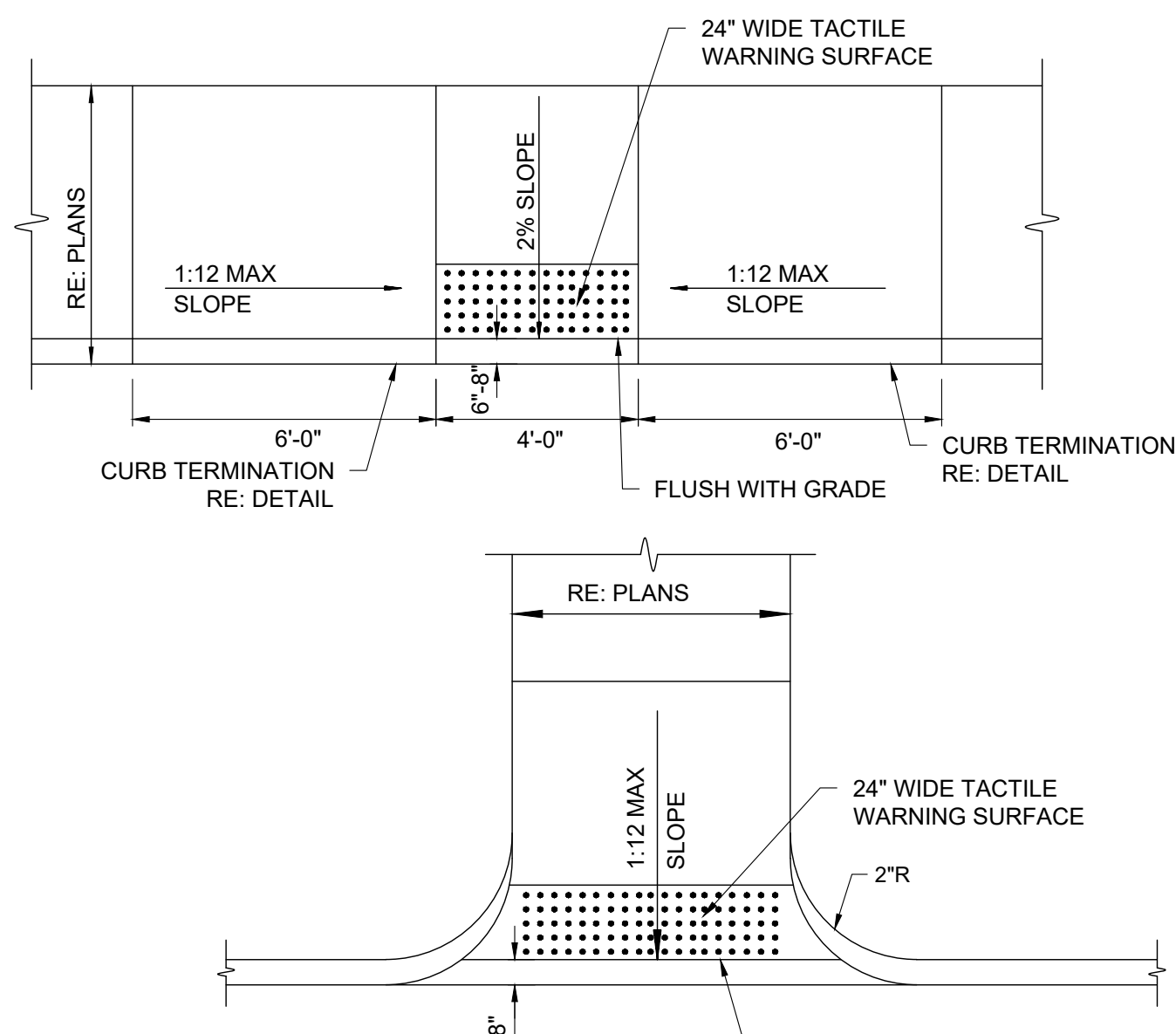
SCALE: NTS

4 ACCESSIBLE STRIPING

SCALE: NTS

5 ACCESSIBLE SIGNAGE

SCALE: NTS



6 CURB RAMPS

SCALE: NTS

7 SIDEWALK

SCALE: NTS

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RENOVATION PLATO'S MADISON
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SUBMISSION DATES
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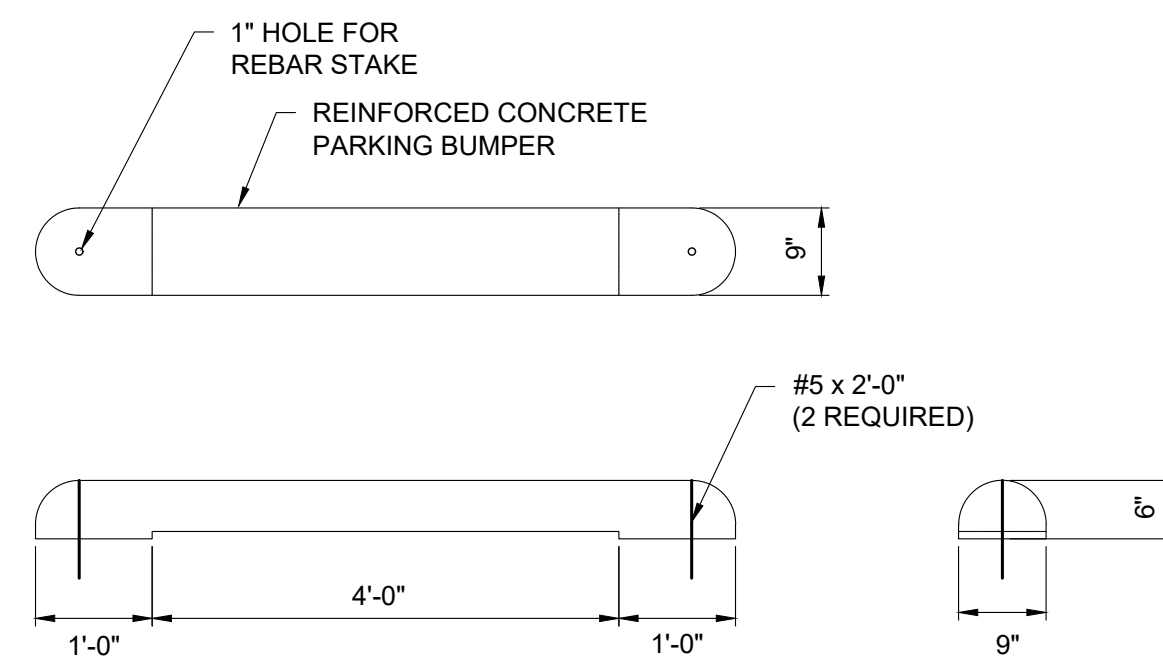
07/15/2022

SHEET TITLE
DETAILS

PROJECT NUMBER
2280028

SHEET NUMBER
C600

1 (NOT INCLUDED IN THIS MILESTONE)
SCALE: NTS



2 PARKING BUMPER
SCALE: NTS

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RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

07/15/2022

SHEET TITLE
DETAILS

PROJECT NUMBER
2280028

SHEET NUMBER
C601



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 3841 E Washington Ave, Madison, WI 53714

Contact Name & Phone #: Patrick Altendorf, 405-536-2026

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.

1

2

3

4

5

D

C

B

A

D

C

B

A

FILE PATH:
DRAWN BY:

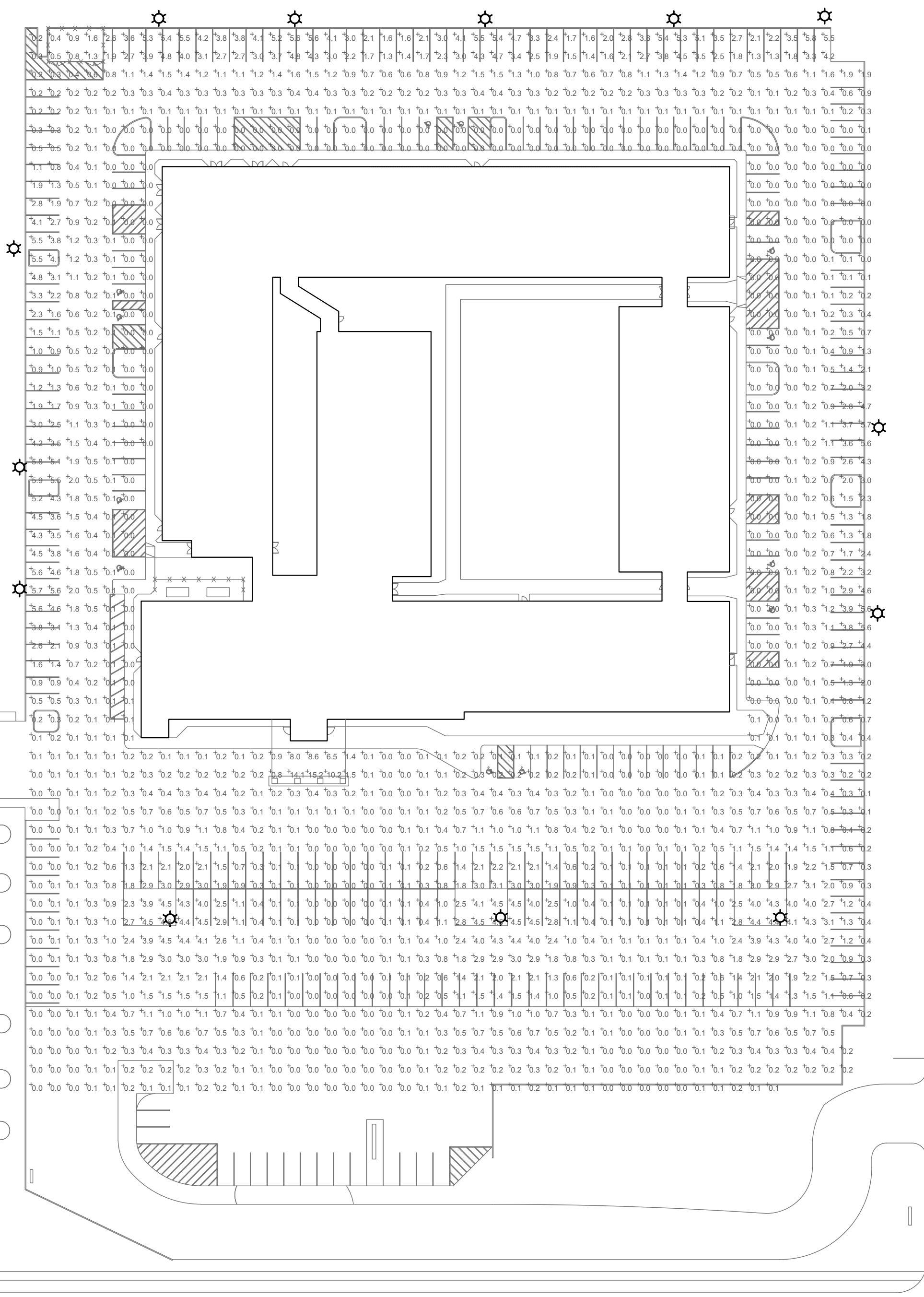
1

2

3

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5



PHOTOMETRICS NOTES
 LIGHTS EXISTING TO REMAIN. LOCATIONS DETERMINED FROM FIELD INVESTIGATION OF SITE. EXACT MODELS OF FIXTURES WERE UNABLE TO BE DETERMINED AND MODELED AS SIMILAR FIXTURES.

AVERAGE: 0.8 FC
MAXIMUM: 15.2 FC
MINIMUM: 0.0 FC

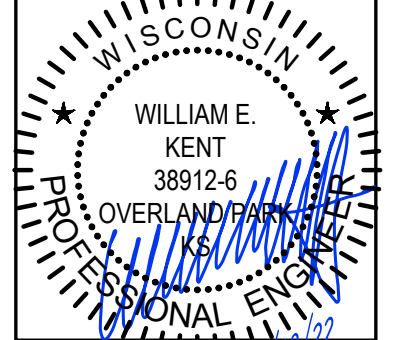
PHOTOMETRICS PLAN
 1" = 50'



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PLATO'S OF MADISON, WI
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SUBMISSION DATES

July 18, 2022

SHEET TITLE

PHOTOMETRICS

PROJECT NUMBER

2280028

SHEET NUMBER

E100



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