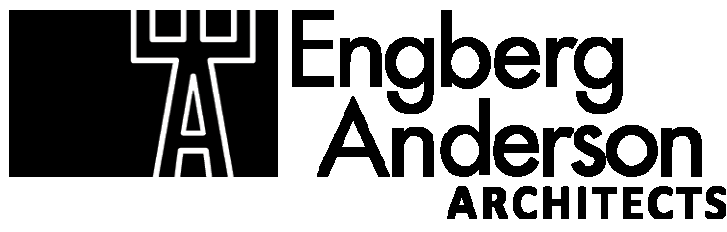


3100 EAST WASHINGTON

MULTIFAMILY HOUSING

3100 E WASHINGTON AVENUE
MADISON, WI 53704



MILWAUKEE | MADISON | TUCSON | CHICAGO

PROJECT

SEAL

CONSULTANTS

DRAWINGS

CIVIL-LANDSCAPE

JSD 161 HORIZON DRIVE, SUITE 101 VERONA, WI 53593 PH 608-848-5060	
C0	ALT/NSPS LAND TITLE SURVEY
C100	NOTES AND LEGEND
C200	DEMOLITION PLAN
C300	SITE PLAN - ANNOTATIVE
C301	SITE PLAN - DIMENSIONED
C302	SITE PLAN - COURTYARD
C400	GRADING AND EROSION CONTROL PLAN
C401	DETAILED GRADING
C500	UTILITY PLAN
C600	DETAILS-EROSION CONTROL
C601	DETAILS-UTILITIES
C602	DETAILS-SITE
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN - COURTYARD
L200	LANDSCAPE DETAILS
FAE	FIRE ACCESS EXHIBIT

PHOTOMETRICS

SPECTRUM N8 W22520 JOHNSON DRIVE UNIT E WAUKESHA, WI 53186 PH 262-970-6300	
001	SITE PLAN LIGHTING
002	SITE PLAN LIGHT LEVELS
003	LIGHTING CUTSHEETS
004	PARKING GARAGE LIGHTING PLAN
005	PARKING GARAGE LIGHT LEVELS
006	LIGHTING CUT SHEETS

ARCHITECTURAL

ENGBERG ANDERSON ARCHITECTS 320 E BUFFALO ST SUITE 500 MILWAUKEE, WI 53202 PH 414-944-9000	
G000	TITLE SHEET
G001	DEMO SITE PLAN
G002	ARCHITECTURAL SITE PLAN
A100	LOWER LEVEL PLAN
A101	FIRST FLOOR PLAN
A102	TYPICAL FLOOR PLAN
A104	ROOF PLAN
A300	ENLARGED UNIT PLANS
A301	ENLARGED UNIT PLANS
A302	ENLARGED UNIT PLANS
A303	ENLARGED UNIT PLANS
A304	ENLARGED UNIT PLANS
A305	ENLARGED UNIT PLANS
A306	ENLARGED UNIT PLANS
A307	ENLARGED UNIT PLANS
A401	BUILDING ELEVATIONS
A402	BUILDING ELEVATIONS
A403	BUILDING ELEVATIONS
A404	BUILDING ELEVATIONS
A501	BUILDING SECTIONS

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO.	DESCRIPTION	DATE
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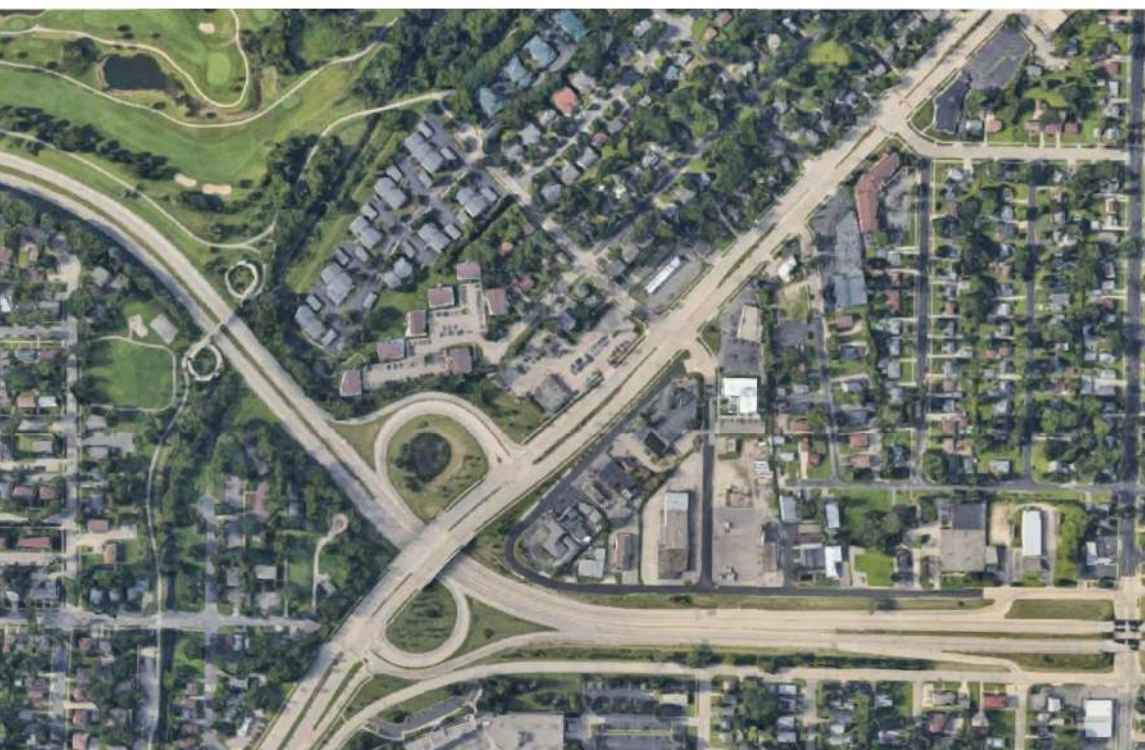
LAND USE SUBMITTAL

DRAWN BY Author

CHECKED BY Checker

TITLE SHEET

SITE LOCATION MAP

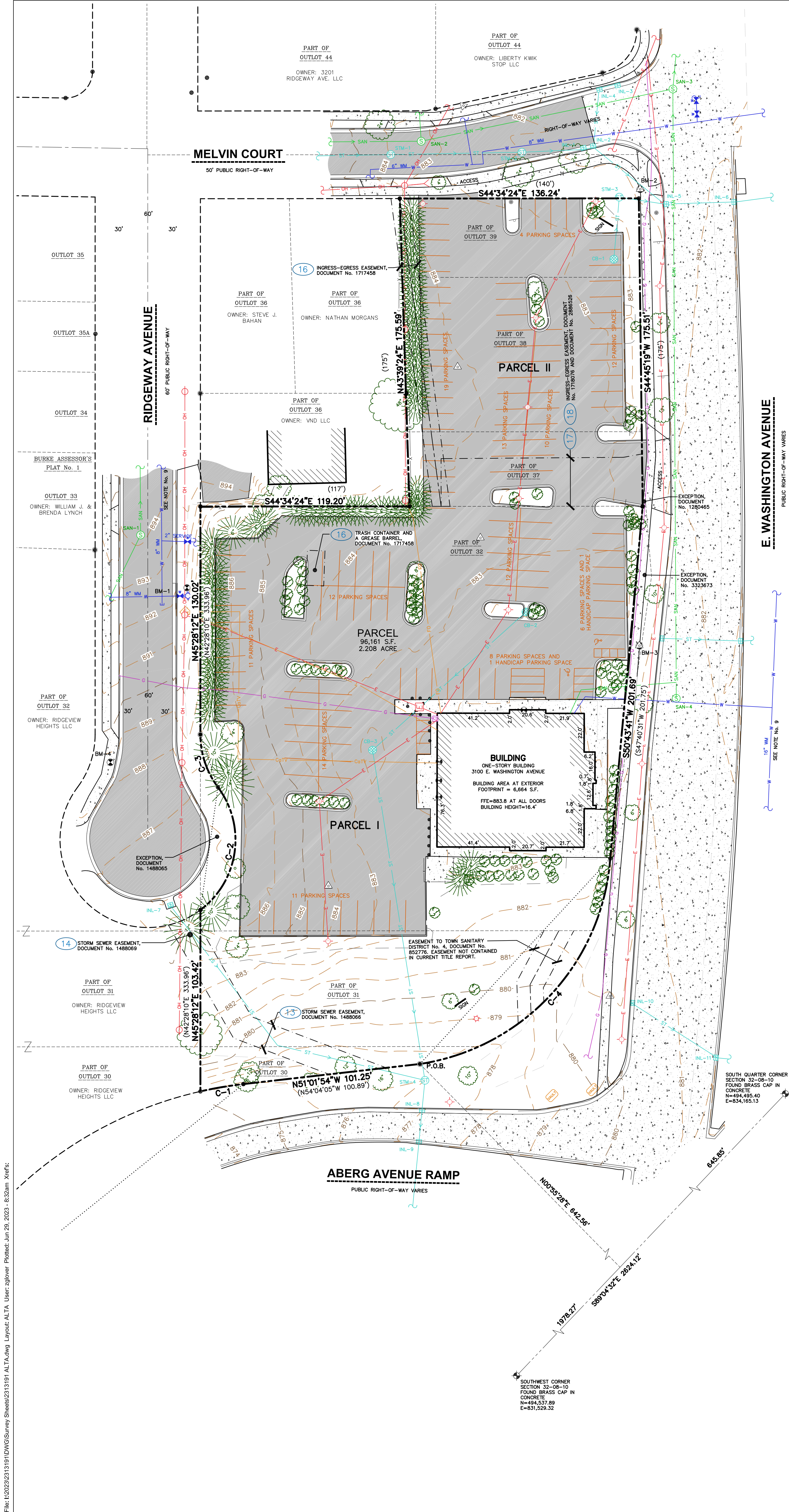


VICINITY MAP



G000

File: I202020213191.DWG Survey Sheet: I20213191 ALTA.dwg Layout: ALTA User: jglover Plot Date: Jun 29, 2023 5:23am 9x18in



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	24.86'	226.00'	61°8'10"	N54°10'45"W	24.85'
()	—	226.00'	—	N57°14'35"W	25.10'
C-2	78.54'	50.00'	90°00'00"	N53°36'01"E	70.71'
()	—	50.00'	—	N50°35'57.5"E	70.71'
C-3	32.17'	50.00'	36°51'33"	N27°01'49"E	31.61'
()	—	50.00'	—	N24°02'04"E	31.62'
C-4	172.41'	128.00'	77°10'31"	S88°16'23"W	159.67'
()	—	128.00'	—	S85°24'45"W	159.54'

SANITARY SEWER MANHOLES					
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	894.22	SW	885.52	8"	PVC
		NE	884.72	8"	PVC
SAN-2	883.22	NW	872.47	8"	PVC
		NE	874.47	8"	PVC
		SE	872.23	8"	PVC
SAN-3	881.26	NW	873.52	8"	PVC
		SW	871.54	8"	PVC
		NE	871.48	8"	PVC
SAN-4	881.51	NE	872.98	8"	PVC

STORM SEWER MANHOLES					
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	883.94	NW	878.88	24"	RCP
		SE	878.87	24"	RCP
STM-2	881.93	NW	878.37	24"	RCP
		NE	878.16	24"	RCP
STM-3	882.56	SW	879.42	12"	RCP
		SE	879.35	12"	RCP
STM-4	877.00	NW	873.88	12"	RCP
		NE	874.32	12"	RCP
		SW	873.83	18"	RCP
STM-5	881.47	NE	873.77	24"	RCP
		SW	873.92	18"	RCP
CB-1	882.53	NE	880.00	12"	HDPE
CB-2	881.83	NW	878.25	12"	VCP
CB-3	881.70	SW	877.02	12"	VCP
		SW	876.95	12"	RCP

STORM SEWER INLETS					
INLET ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	881.28	NW	877.14	24"	RCP
		SE	877.25	24"	RCP
INL-2	881.28	NW	876.89	24"	RCP
		NE	876.98	18"	RCP
		SE	876.84	24"	RCP
INL-3	881.10	NW	877.93	15"	RCP
INL-4	881.18	SW	877.44	15"	RCP
		SW	877.04	18"	RCP
INL-5	881.21	NW	876.46	24"	RCP
		NW	876.71	12"	RCP
		SE	875.93	24"	RCP
INL-6	881.79	NW	875.56	24"	RCP
		SE	875.55	24"	RCP
INL-7	886.46	SW	883.66	12"	RCP
INL-8	876.78	NE	873.08	18"	RCP
		NE	873.03	18"	RCP
INL-9	877.21	NE	872.96	18"	RCP
		SW	872.90	24"	RCP
INL-10	880.20	SE	876.57	12"	RCP
INL-11	880.91	NW	876.08	12"	RCP
		SE	876.05	15"	RCP

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	894.20	BURY BOLT ON HYDRANT SE SIDE OF RIDGEWAY AVE., NW CORNER OF SITE
BM-2	881.80	CUT CROSS IN SIDEWALK, NE CORNER OF SITE
BM-3	882.18	CUT CROSS IN SIDEWALK SW OF DRIVEWAY ENTRANCE ON E. WASHINGTON AVE.
BM-4	888.75	CUT CROSS IN SIDEWALK NW SIDE OF RIDGEWAY AVE. NEAR CUL-DE-SAC

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

ALTA/NSPS LAND TITLE SURVEY

PART OF OUTLOTS 30, 31, 32, 37, 38 AND 39, BURKE ASSESSOR'S PLAT No. 1, LOCATE IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

- GOVERNMENT CORNER

●

 1" IRON PIPE FOUND

●

 3/4" REBAR FOUND

●

 BENCHMARK

●

 FINISHED FLOOR SHOT LOCATION

●

 SIGN

●

 SANITARY MANHOLE

●

 HYDRANT

●

 WATER VALVE

●

 STORM MANHOLE

●

 ROUND CASTED INLET

●

 CURB INLET

●

 GAS REGULATOR/METER

●

 ELECTRIC TRANSFORMER

●

 LIGHT POLE

●

 POWER POLE W/GUY

●

 VAULT

●

 CABLE PEDESTAL

●

 DECIDUOUS TREE

●

 CONIFEROUS TREE

●

 BUSH

●

 HANDICAP PARKING

●

 PARCEL BOUNDARY

 SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- CHORD LINE
- EASEMENT LINE
- LANDSCAPE LIMITS
- FENCE LINE
- CONCRETE CURB & UTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE
- BUILDING
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- PAVEMENT STRIPING
- END OF FLAGGED UTILITIES
- DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED ON APRIL 17, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (COUNTY) ZONE THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 32-08-10, RECORDED AS S89°04'32"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE SOUTH QUARTER CORNER OF SECTION 32, T88N, R10E, ELEVATION = 867.38'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET No. 2023151181 WITH A CLEAR DATE OF APRIL 14, 2023.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON ENGINEERING
MADISON GAS AND ELECTRIC COMPANY, M&E (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
AT&T DISTRIBUTION
MCI
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- SHOWN PER THE CITY OF MADISON GIS (GTWEB) FOR SANITARY AND STORM SEWER, WATER MAINS AND CITY ELECTRICAL SERVICES. GTWEB DOES NOT SHOW A WATER SERVICE FROM EAST WASHINGTON AVENUE TO THE SITE. SERVICE IS SHOWN TO BE FROM RIDGEWAY AVENUE.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 55025C0427H, EFFECTIVE DATE SEPTEMBER 17, 2014.
- ITEM 9 THERE ARE 132 PARKING SPACES AND 2 HANDICAP SPACES FOR A TOTAL OF 134 PARKING SPACES.
- ITEM 11(b) PRIVATE LOCATE PERFORMED BY GLS UTILITY LLC-NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION S.E.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES; HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, B11 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 14 PARCEL LIES AT THE INTERSECTION OF E. WASHINGTON AVENUE AND MELVIN COURT.
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER CITY OF MADISON ENGINEERING DEPARTMENT. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- ITEM 19 THERE IS AN INSURANCE POLICY ON FILE.
- ITEM 20 DIGGERS HOTLINE WAS CONTACTED.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

- (FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)
- 9 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON JUNE 01, 1962 IN VOLUME 740 OF DEEDS, PAGE 553, AS DOCUMENT No. 1049343.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (NOW PART OF MELVIN COURT)
- 10 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE QUIT CLAIM DEED RECORDED ON FEBRUARY 05, 1964 IN VOLUME 772, PAGE 255, AS DOCUMENT No. 1093795.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (ALL UTILITIES ARE NOW IN THE PUBLIC RIGHT OF WAY OF EAST WASHINGTON AVENUE)
- 11 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE LAND CONTRACT RECORDED ON MARCH 31, 1971 IN VOLUME 237 OF RECORDS, PAGE 369, AS DOCUMENT No. 1286184.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 12 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON MARCH 15, 1976 IN VOLUME 660, PAGE 46, AS DOCUMENT No. 1461295.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 13 SEWER EASEMENT TO THE CITY OF MADISON, A MUNICIPAL CORPORATION, DATED AUGUST 30, 1976, RECORDED/FILED SEPTEMBER 21, 1976 IN VOLUME 727, PAGE 528 AS DOCUMENT No. 1488066.
THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 14 SEWER EASEMENT TO THE CITY OF MADISON, A MUNICIPAL CORPORATION, DATED AUGUST 22, 1976, RECORDED/FILED SEPTEMBER 21, 1976 IN VOLUME 727, PAGE 533 AS DOCUMENT No. 1488069.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 15 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE QUIT CLAIM DEED RECORDED ON FEBRUARY 07, 1977 IN VOLUME 772, PAGE 410, AS DOCUMENT No. 1504924.
THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 16 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON AUGUST 27, 1981 IN VOLUME 3050, PAGE 15, AS DOCUMENT No. 1717458.
THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 17 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON SEPTEMBER 01, 1981 IN VOLUME 3064, PAGE 92, AS DOCUMENT No. 1718076.
THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 18 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE SPECIAL WARRANTY DEED RECORDED ON SEPTEMBER 05, 1997 AS DOCUMENT No. 2886526.
THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 19 DEED RESTRICTION AGREEMENT UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN: DATED: FEBRUARY 24, 1999; PARTIES: LLS ENTERPRISES, LLC, A WISCONSIN LIMITED LIABILITY COMPANY; RECORDED: FEBRUARY 25, 1999; INSTRUMENT No.: 3085824.
THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 20 LIENS, HOOK-UP CHARGES OR FEES, DEFERRED CHARGES, RESERVE CAPACITY ASSESSMENTS, IMPACT FEES, OR OTHER CHARGES OF FEES DUE AND PAYABLE ON THE DEVELOPMENT OR IMPROVEMENT OF THE LAND.
THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 21 RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES.
THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)

PARCEL I:

PART OF OUTLOTS THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), BURKE ASSESSOR'S PLAT No. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, AS LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 8 NORTH, RANGE 10 EAST, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT No. 1; THENCE SOUTH 47°23'50" EAST, ALONG THE NORTHEAST LINE OF SAID OUTLOT 32, 253.98 FEET TO THE NORTHWEST RIGHT-OF-WAY LINE OF EAST WASHINGTON AVENUE (U.S.H. 151); THENCE SOUTH 37°51'50" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 40.18 FEET; THENCE SOUTH 50°47'25" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 162.60 FEET TO POINT OF CURVE; THENCE ALONG THE NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 82°44'45" WEST, 155.64 FEET; THENCE NORTH 54°04'05" WEST, ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY, 100.89 FEET TO A POINT OF CURVE; THENCE CONTINUE ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF A 226.00 FOOT RADIUS CURVE TO THE LEFT, WHOSE LONG CHORD BEARS NORTH 57°14'35" WEST, 35.10 FEET; THENCE NORTH 42°28'10" EAST, ALONG THE SOUTHWESTERLY PROLONGATION OF RIDGEWAY AVENUE, 533.96 FEET TO THE NORTHWEST CORNER OF SAID OUTLOT 36 AND THE POINT OF BEGINNING, EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT No. 1; THENCE SOUTH 42°28'10" WEST, 129.83 FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 24°02'04" WEST, 31.62 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 50°35'57.5" WEST, 70.71 FEET; THENCE NORTH 42°28'10" EAST, 100.00 FEET TO THE POINT OF BEGINNING OF THIS EXCEPTION.

ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN INSTRUMENT RECORDED MAY 22, 20011 AS AS DOCUMENT No. 3323673.

PARCEL II:

OUTLOTS 37, 38 AND 39, BURKE ASSESSOR'S PLAT No. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT THAT PART CONVEYED TO THE CITY OF MADISON RECORDED IN VOLUME 221 OF RECORDS, PAGE 214, DOCUMENT No. 1280465.

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 3100 E WASHINGTON AVE, MADISON, WI 53704
TAX KEY NUMBER: 251/0810-323-0401-6

SURVEYOR'S CERTIFICATE

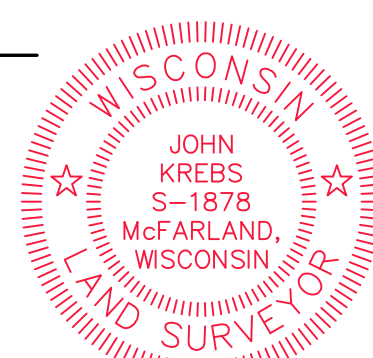
TO:

- BEAR CAPITAL, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,
- LLS ENTERPRISES LLC, c/o LLS ENTERPRISES, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,
- FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 10, 11(b), 13, 14, 16, 17, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 17, 2023.

JOHN KRESS, S-1878
PROFESSIONAL LAND SURVEYOR
Email: john.kress@jdsinc.com
Website: www.jdsinc.com

DATE
06/29/2023



CREATE THE VISION TELL THE STORY

jdsinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

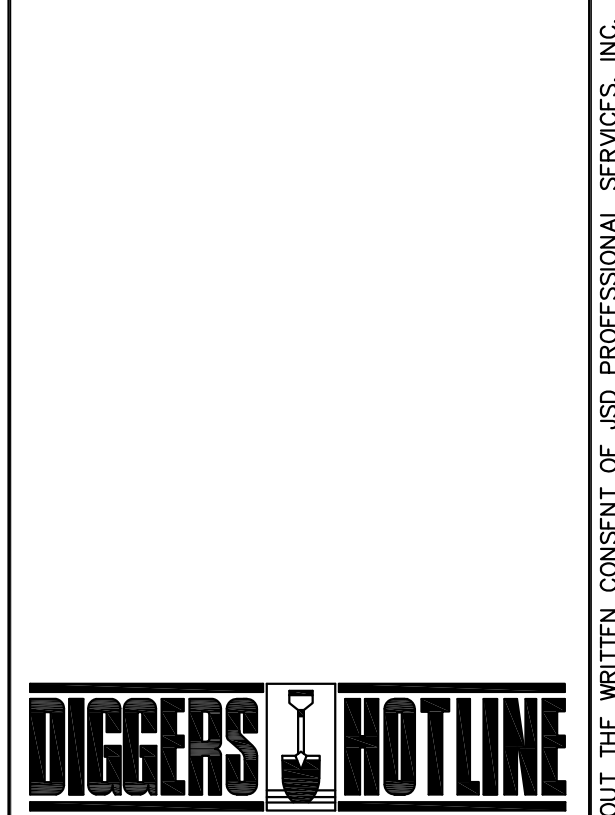
CLIENT:
BEAR DEVELOPMENT, LLC

CLIENT ADDRESS:
4011 80th STREET
KENOSHA, WI 53142-4955

NOTE: GTWEB DOES NOT
SHOW A WATER SERVICE FROM
EAST WASHINGTON AVENUE TO
THE SITE. IT SHOWS SERVICE
FROM RIDGEWAY AVENUE.
SEE NOTE No. 9.

PROJECT:
MULTI-FAMILY
DEVELOPMENT

PROJECT LOCATION:
3100 E. WASHINGTON AVE.
MADISON, WI
DANE COUNTY



MODIFICATIONS:

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Prepared By: JK 06/29/23
Reviewed By: TJB 04/26/23
Approved By: TJB 04/26/23

SHEET TITLE:

ALTA/NSPS LAND
TITLE SURVEY

SHEET NUMBER:

1 OF 1

PROJECT NO: 23-131815

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOD ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING ABOVE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/DIGGER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/DIGGER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SURFACE.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
16. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
17. ALL PERMITTER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
18. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
19. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
20. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
4. INSTALL UTILITY PIPING, STRUCTURES, AND UNDERGROUND DETENTION, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1, AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

1. **GENERAL**
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY **PRM** DATED **DATE**."
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. **ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - 2.1. CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. **CONCRETE PAVING SPECIFICATIONS**
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 6' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TX-26UV CONCRETE SEALANT.
4. **PAVEMENT MARKING SPECIFICATIONS**
 - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE USU PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PEROVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - 2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 2.2. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TACK FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - 2.3. VERIFYING ALL ELEVATIONS, LOCATIONS, DEPTHS, SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSLINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - 2.4. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - 2.5. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - 2.6. COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONPROSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE ENGINEER AS WORK PROGRESSES.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. **STORM SEWER SPECIFICATIONS –**

PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".

INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.

BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS –

PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-15, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELT AND SPOUT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(1)(9).

VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

14. SANITARY SEWER SPECIFICATIONS –

PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELT TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3012.

BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

16. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH "TRACER" WIRE AS REQUIRED BY SPS 382.30(1)(9), SPS 382.36(7)(10), AND SPS 382.40(8)(6). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER – GREEN, STORM SEWER – BROWN, WATER – BLUE, NON-POTABLE WATER – PURPLE.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD MAY APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WMNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND SODDING) PRIOR TO ANY SITE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ANY MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 1" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATIONS OF DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/WALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DESIGN OF THE TECHNICAL STANDARD BY NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED, POLYMER SOIL STABILIZATION TREATMENT OR A TREE SEEDING AND STABILIZATION TREATMENT. THE TREATMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN OF THE TECHNICAL STANDARD BY NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WMR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WMR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WMR REQUIREMENTS.
17. **STABILIZATION PRACTICES**
 - 17.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. IF MORE THAN SEVEN (7) DAYS ELAPSE AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - 17.2. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECIPITATED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 17.3. IF CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS, IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 17.4. THE STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED. IF ACTIVITY HAS BEEN LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - A. PERMANENT SEEDINGS, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - B. TEMPORARY SEEDING, MAY CONSIST OF SPRING DATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (100LB/ACRE)
 - C. HYDRO-MULCHING WITH A TACKIFIER
 - D. GEOTEXTILE EROSION MATTING
 - E. SODDING

STORMWATER FACILITIES CONSTRUCTION NOTES

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS SHALL HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE ENGINEER. A GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WMR TECH STANDARD 1004.

CITY FORESTRY NOTES

1. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS/CM](https://www.cityofmadison.com/BUSINESS/PW/SPECS/CM)
3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED AREA AWAY FROM TREES AND NEAR CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
4. SECTION 107.13(C) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISSONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 – PART 1 STANDARDS FOR PRUNING.
7. ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ([HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS/CM](https://www.cityofmadison.com/BUSINESS/PW/SPECS/CM)) – ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT OF WAY SHALL BE DETERMINED BY LANDSCAPE ARCHITECT AND STREET TREE PLANTING PLAN SHALL BE SUBMITTED IN PDF FORMAT TO CITY FORESTRY FOR APPROVAL. OF PLANTING LOCATIONS WITHIN THE RIGHT OF WAY AND TREE SPECIES. ALL AVAILABLE STREET TREE PLANTING LOCATIONS SHALL BE PLANTED WITHIN THE PROJECT BOUNDARIES.
8. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

CITY TRAFFIC ENGINEERING NOTES

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	SAWCUIT EXISTING PAVEMENT
	DEMOLITION – REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION – PAVEMENT MILL AND OVERLAY
	DEMOLITION – REMOVAL OF RETAINING WALL
	DEMOLITION – REMOVAL OF ASPHALT SURFACES
	DEMOLITION – REMOVAL OF CONCRETE SURFACES
	DEMOLITION – REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION – REMOVAL OF UTILITIES
	DEMOLITION – REMOVAL OF LANDSCAPE BEDDING
	PROTECT EXISTING TREE
	TREE REMOVAL
	SHRUB REMOVAL
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	RETAINING WALL
	RAILING
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BOLLARD
	BOLLARD WITH ADA PARKING SIGN
	BIKE RACK
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	8'x4'x4" INSULATION (PLAN VIEW)
	8'x4'x4" INSULATION (PROFILE VIEW)
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION
	EP = EDGE OF PAVEMENT
	FG = FINISH GRADE
	EC = EDGE OF CONCRETE
	BOG = BACK OF GUTTER
	MATCH = MATCH EXISTING GRADE
	HP = HIGH POINT
	SW = SIDEWALK
	DITCH CHECK
	INLET PROTECTION

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

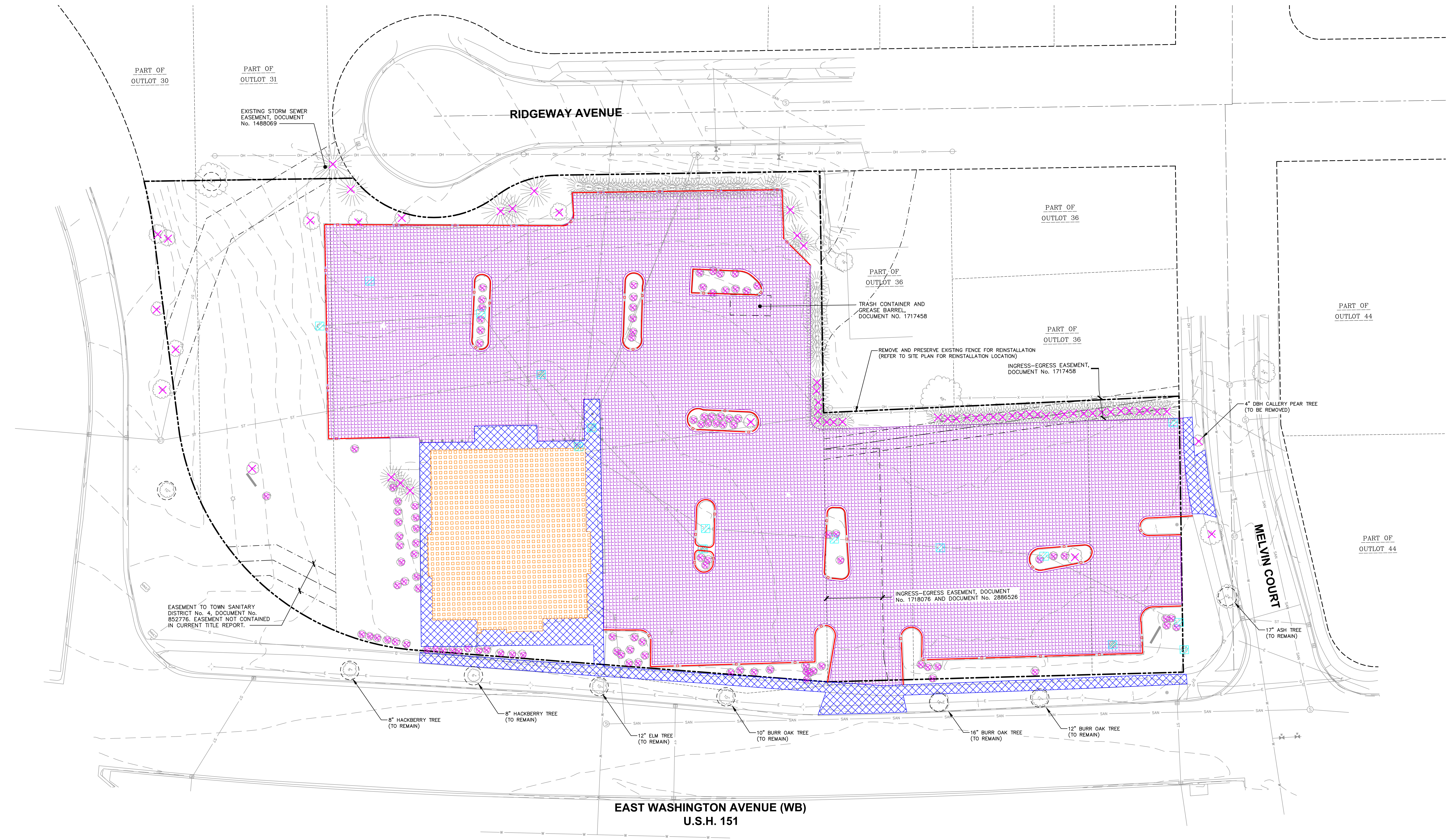
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DEMOLITION PLAN

C200

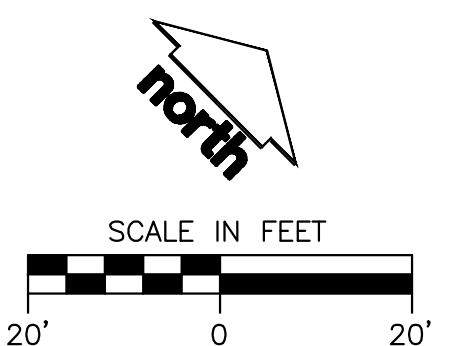


LEGEND

- | | |
|-----|--|
| --- | SAWCUT EXISTING PAVEMENT |
| --- | DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE |
| --- | DEMOLITION - PAVEMENT MILL AND OVERLAY |
| --- | DEMOLITION - REMOVAL OF RETAINING WALL |
| --- | DEMOLITION - REMOVAL OF ASPHALT SURFACES |
| --- | DEMOLITION - REMOVAL OF CONCRETE SURFACES |
| --- | DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES |
| --- | DEMOLITION - REMOVAL OF UTILITIES |
| --- | DEMOLITION - REMOVAL OF LANDSCAPE BEDDING |

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER	233606.00
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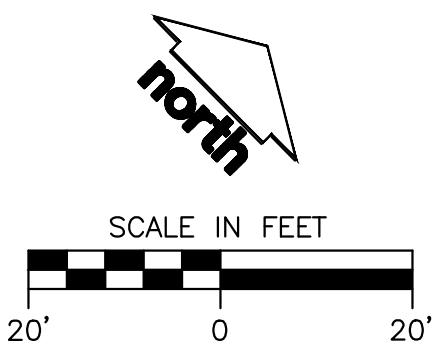
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NO.	DESCRIPTION	DATE
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SITE PLAN - ANNOTATED

C300



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

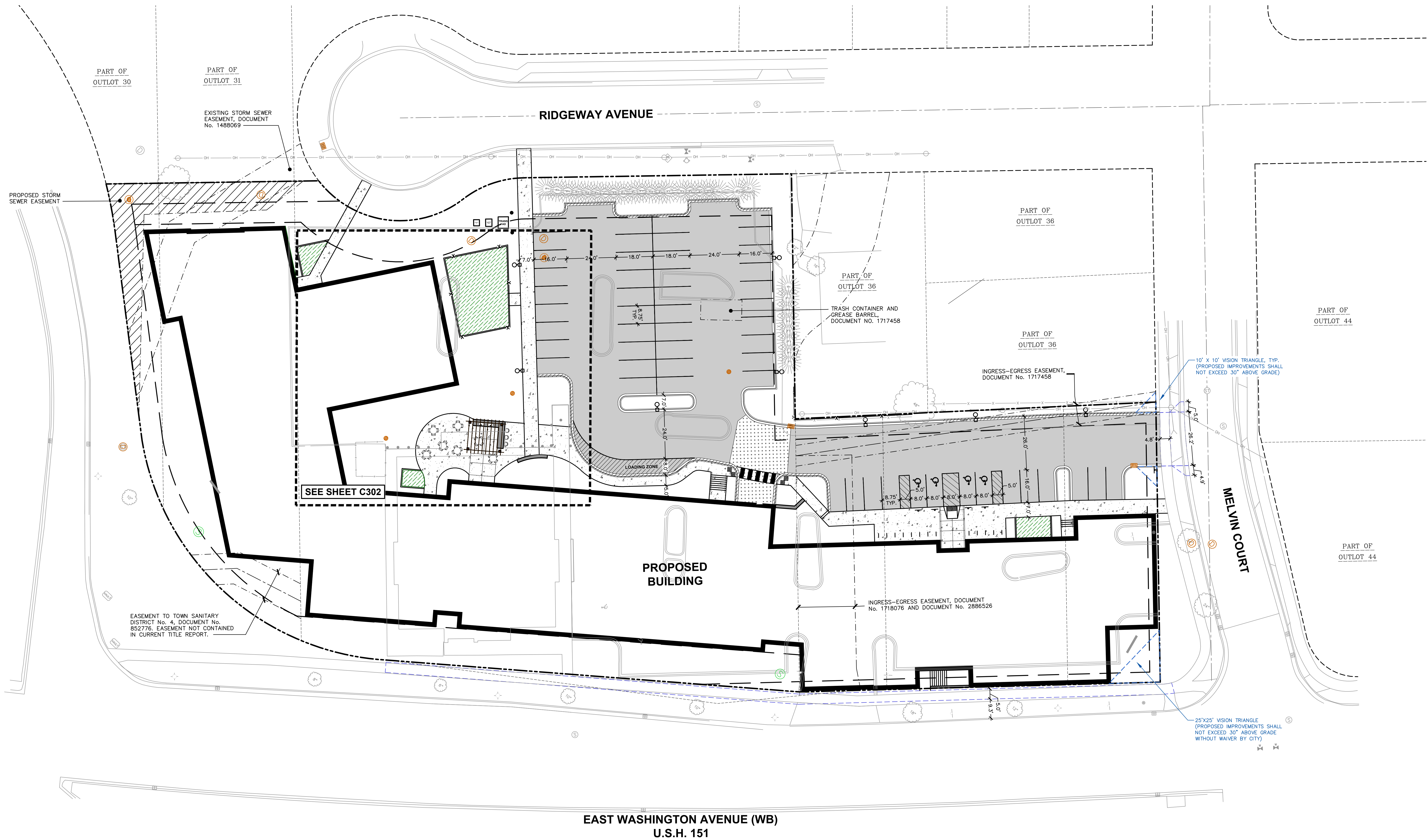
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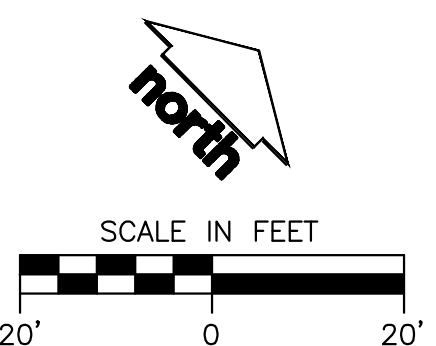
SITE PLAN - DIMENSIONED

C301

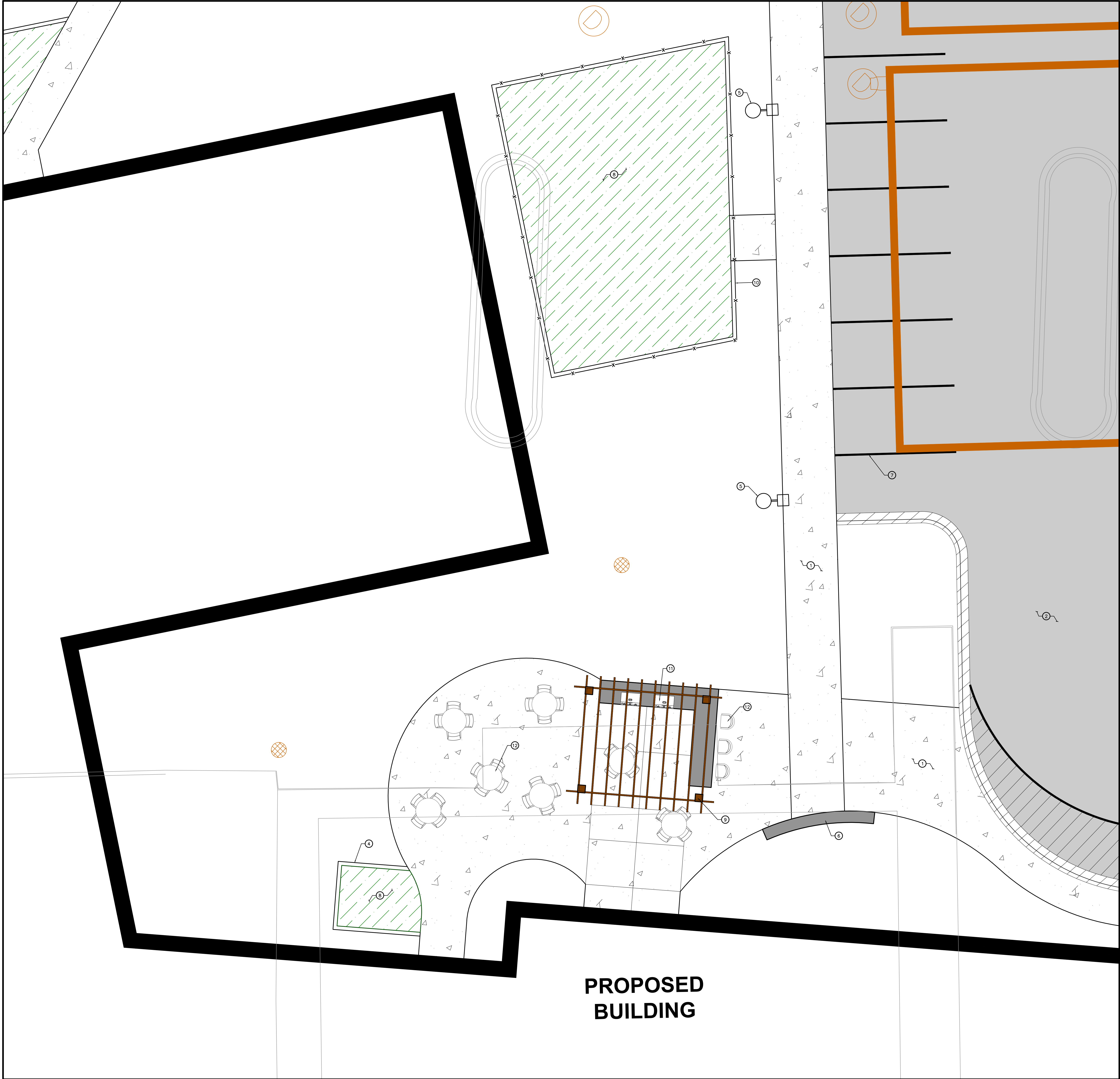


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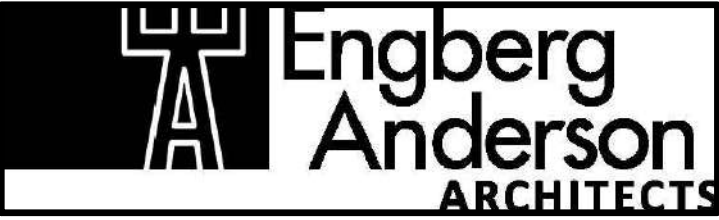
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TO CITY OWNED UTILITIES SHALL BE
COMPLETED PER THE CITY ISSUED
IMPROVEMENTS PLAN (CONTRACT NO.
XXXX, PROJECT NO. XXXXX)



File: C:\Users\mnm\Documents\C302 SITE COURTYARD User manual Plotter Aug 13, 2023 4:10pm 16x05



- KEY NOTES**
1. CONCRETE SIDEWALK SECTION
 2. ASPHALT PAVEMENT
 3. CONCRETE PAVEMENT WITH CUT CONTROL JOINTS
 4. 6" RIBBON CURB
 5. LIGHT POLE (REFER TO PHOTOMETRIC)
 6. POURED IN PLACE CONCRETE SEAT WALL W/ VENEER AND CAP
 7. PAVEMENT STRIPING (4" WIDE)
 8. ARTIFICIAL TURF
 9. PERGOLA SHADE STRUCTURE
 10. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE
 11. ELECTRIC GRILL STATION AND COUNTERTOP
 12. OUTDOOR FURNITURE (BY INTERIOR DESIGN TEAM)



MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

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4011 80TH STREET
KENOSHA, WI 53142

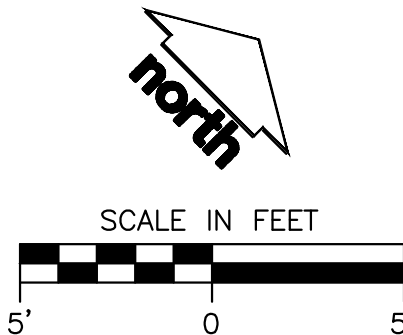
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SITE PLAN - COURTYARD



C302

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

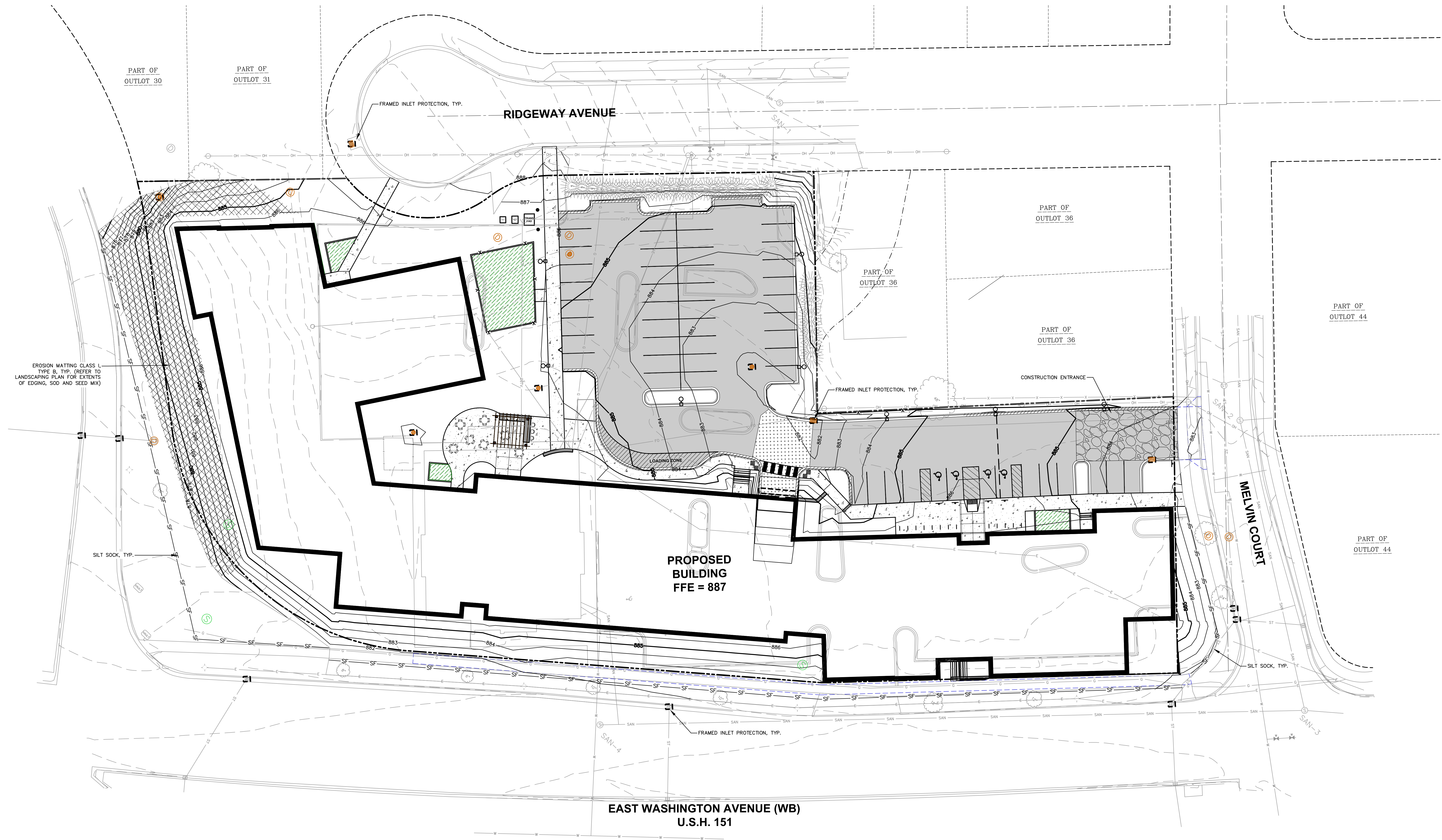
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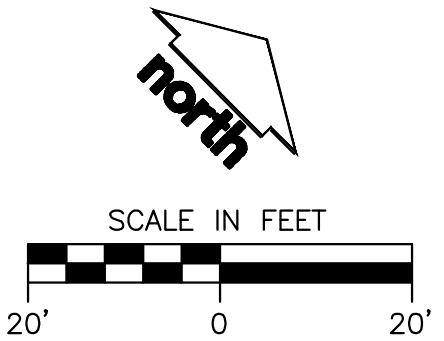
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GRADING AND
EROSION CONTROL

C400



THE RIGHT OF WAY IS THE SOLE JURISDICTION
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PLAN BY TRAFFIC ENGINEERING AND CITY
ENGINEERING DEPARTMENT
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PUBLIC RIGHT-OF-WAY OR CONNECTIONS
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COMPLETED PER THE CITY ISSUED
IMPROVEMENTS PLAN (CONTRACT NO.
XXXX, PROJECT NO. XXXXX)



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
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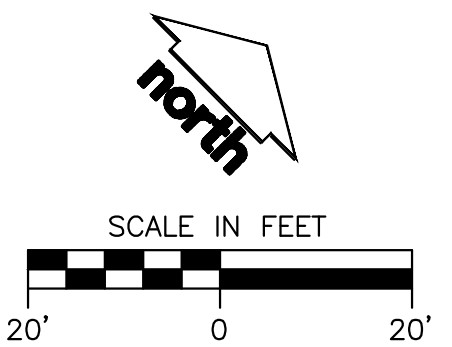
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DETAILED GRADING

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XXXX, PROJECT NO. XXXXX)



C401

PART OF
OUTLOT 30

PART OF
OUTLOT 31

RIDGEWAY AVENUE

PART OF
OUTLOT 36

PART OF
OUTLOT 36

PART OF
OUTLOT 44

PART OF
OUTLOT 36

PART OF
OUTLOT 44

PROPOSED
BUILDING
FFE = 887

EAST WASHINGTON AVENUE (WB)
U.S.H. 151

MELVIN COURT

SILT FENCE, TYP.

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

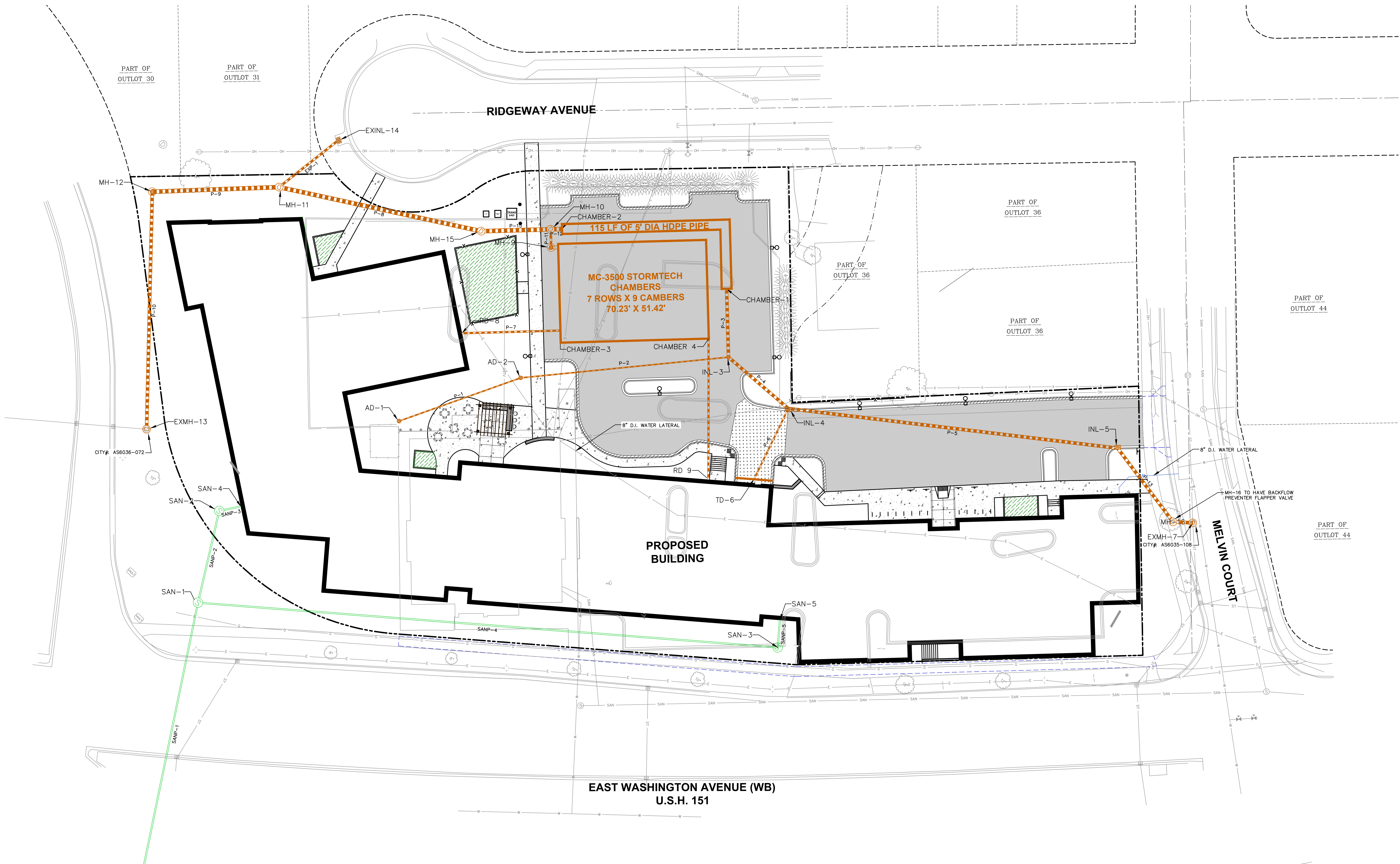
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PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN-1	876.08	NE INV: 871.48 (8") NW INV: 871.48 (8") SE INV: 871.48 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-2	876.58	NE INV: 871.98 (8") SE INV: 871.98 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-3	879.15	NW INV: 874.54 (8") SW INV: 874.54 (8")	4.6	48 IN MH	R-1550 SOLID LID

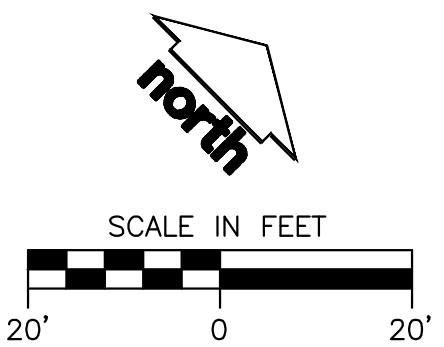
PROPOSED SANITARY SEWER PIPE TABLE						
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE SIZE & MATERIAL
SANP-1	SAN-1	135'	886.66	871.48	2.08%	8 IN PVC
SANP-2	SAN-1	SAN-2	48'	871.48	871.98	1.04% 8 IN PVC
SANP-3	SAN-2	11'	871.98	872.10	1.04%	8 IN PVC
SANP-4	SAN-1	SAN-3	294'	871.48	874.54	1.04% 8 IN PVC
SANP-5	SAN-3	SAN-5	14'	874.54	874.69	1.04% 8 IN PVC

PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
AD-1	885.85	NE INV: 879.45 (6")	6.4	12 IN DB	Standard Standard
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R-2050 TYPE D
EXMH-13	883.16	NW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID
INL-3	881.72	E INV: 877.64 (6") S INV: 877.64 (18") NW INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L
MH-9	885.52	NW INV: 877.50 (12")	8.0	36 IN MH (FLAT)	R-2050 TYPE D
MH-10	885.73	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (12")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID
MH-11	885.12	NE INV: 875.92 (24") N INV: 881.55 (12") SW INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID
MH-12	879.76	NE INV: 875.25 (24") NE INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
MH-16	884.03	W INV: 878.45 (18") NE INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D
TD-6	881.14	N INV: 877.92 (8")	1.2	10'X16' TRENCH	GRATE COVER

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
EXP-1	MH-11	EXINL-14	38'	881.55	883.66	5.55%	12 IN RCP
P-1	AD-2	AD-1	65'	878.82	879.45	0.96%	6 IN HDPE
P-2	INL-3	AD-2	106'	877.64	878.82	1.12%	6 IN HDPE
P-3	CHAMBER-1	INL-3	35'	877.50	877.64	0.40%	18 IN HDPE
P-4	INL-4	INL-3	40'	877.76	877.64	0.30%	18 IN HDPE (HP)
P-5	INL-4	INL-5	168'	877.76	878.26	0.30%	18 IN HDPE
P-6	INL-4	TD-6	40'	877.76	877.92	0.40%	8 IN HDPE
P-7	CHAMBER-3	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-8	MH-11	MH-15	105'	875.92	877.01	1.04%	24 IN RCP
P-9	MH-12	MH-11	64'	875.25	875.92	1.04%	24 IN RCP
P-10	EXMH-13	MH-12	120'	874.00	875.25	1.04%	18 IN RCP
P-11	MH-10	MH-9	9'	877.50	877.50	0.00%	12 IN HDPE
P-12	MH-10	CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE
P-13	MH-16	INL-5	47'	878.45	880.50	4.39%	18 IN HDPE
P-14	MH-16	EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE
P-15	MH-10	MH-15	35'	877.50	875.50	5.67%	24 IN RCP
P-16			71'	878.50	877.50	1.40%	10 IN HDPE

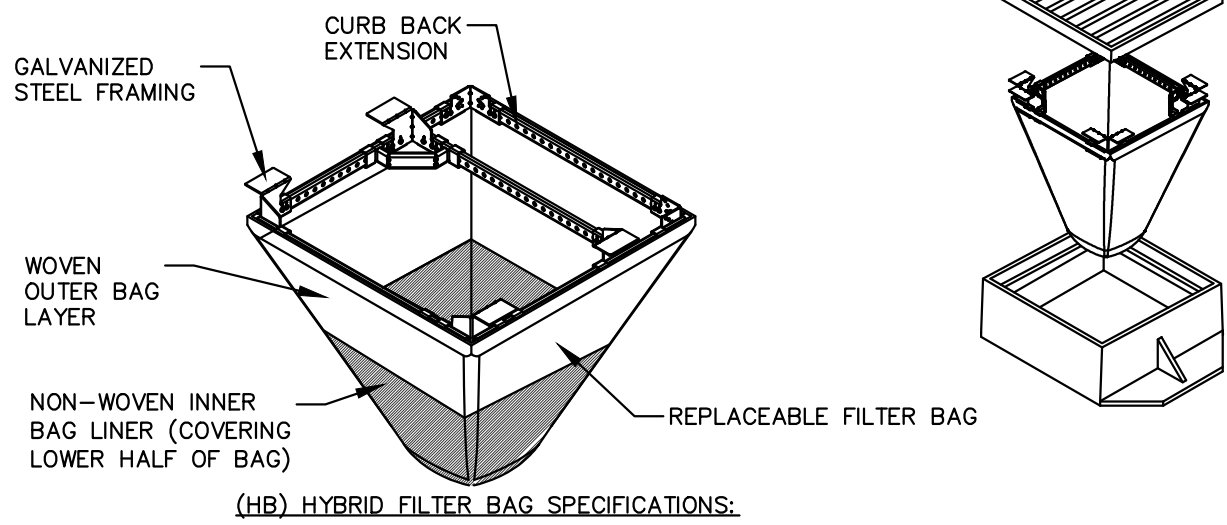
THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



C500

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



CATCH-IT INLET FILTER (Temporary Inlet Protection)						
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS) HB (Hybrid Bag) Bypass	ADS PIN
3097	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0 5.8	62LCSBEXTNHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1 3.3	62LCSB3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7 2.2	62MCR2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0 5.2	62LSQ3618HB
R-2501	Round (RD)	~26	~24	2.3	0.8 5.2	62MRD26HB
R-1772/2506	Round (RD)	22.25-23.5	20.5-21	1.5	0.6 4.6	62MRD22HB

- INSTALLATION INSTRUCTIONS:
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE
 2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
 3. DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
 4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

- MAINTENANCE GUIDELINES:
1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
 2. REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
 3. DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4632	150 x 225 lbf	100 lbf
ELONGATION	ASTM D4632	20% x 15%	50%
GEOTEXTURE	ASTM D4241	1000 lbf	65 lbf
TRAPEZOIDAL TEAR	ASTM D4533	110 x 75 lbf	45 lbf
UV RESISTANCE	ASTM D4535	90%	70%
OPENING SIZE (AUS)	ASTM D4575	20/US STD SIEVE	40/US STD SIEVE
PERMITTIVITY	ASTM D4481	1.5 sec ⁻¹	2.0 sec ⁻¹
WATER FLOW RATE	ASTM D4491	200 gal/m ² /hr ¹	145 gal/m ² /hr ¹
MINIMUM FILTER BAG VOLUME		2 CBIC FT	



TEMPORARY FRAMED INLET PROTECTION

N.T.S.

REV. 7-01-2019

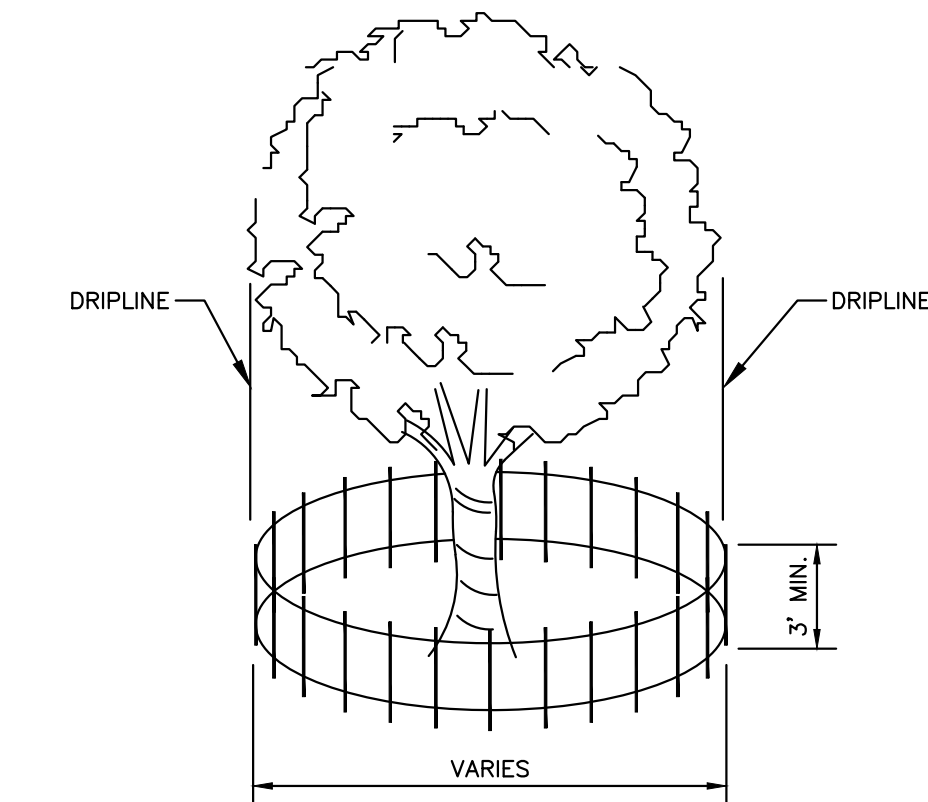
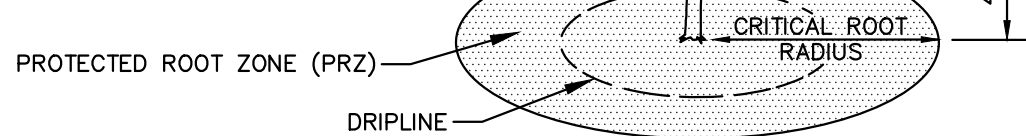
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches
8 x 1.5 = 12
CRR = 12 feet

DBH x 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

DBH x 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES

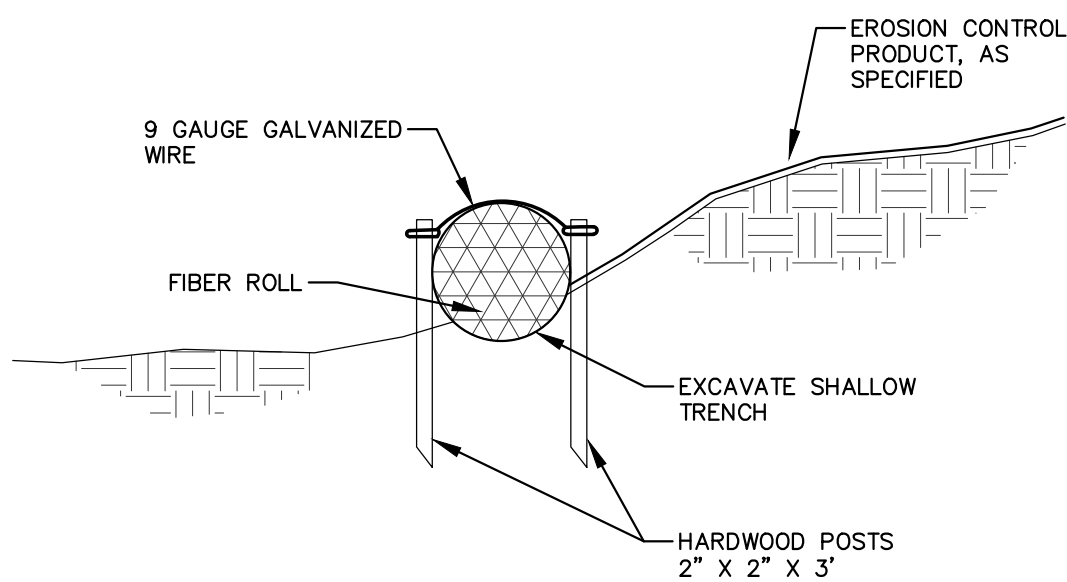


- NOTE:
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
 2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
 3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019



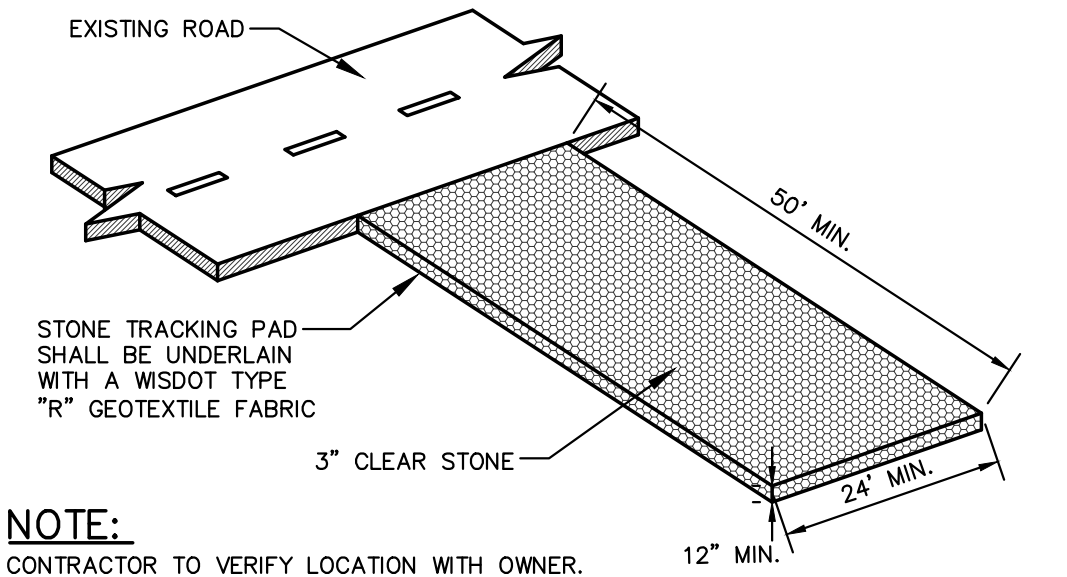
GENERAL NOTES:

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" x 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

FIBER SILT SOCK

N.T.S.

REV. 12-7-2018

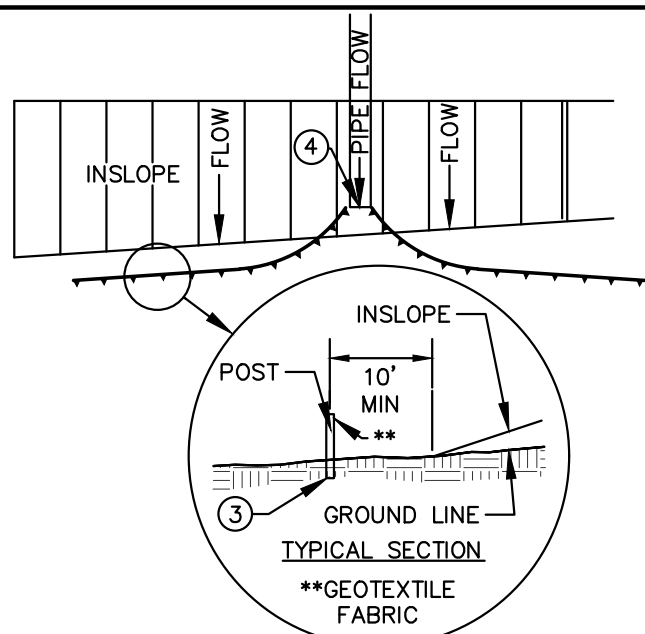


NOTE:
CONTRACTOR TO VERIFY LOCATION WITH OWNER.

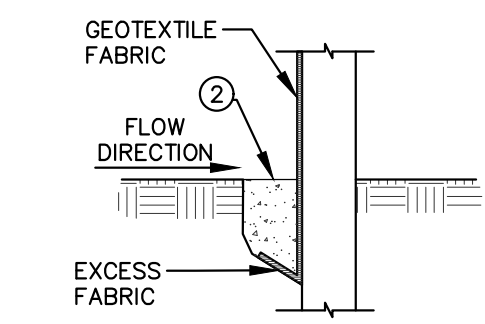
CONSTRUCTION ENTRANCE

N.T.S.

REV. 12-10-2018

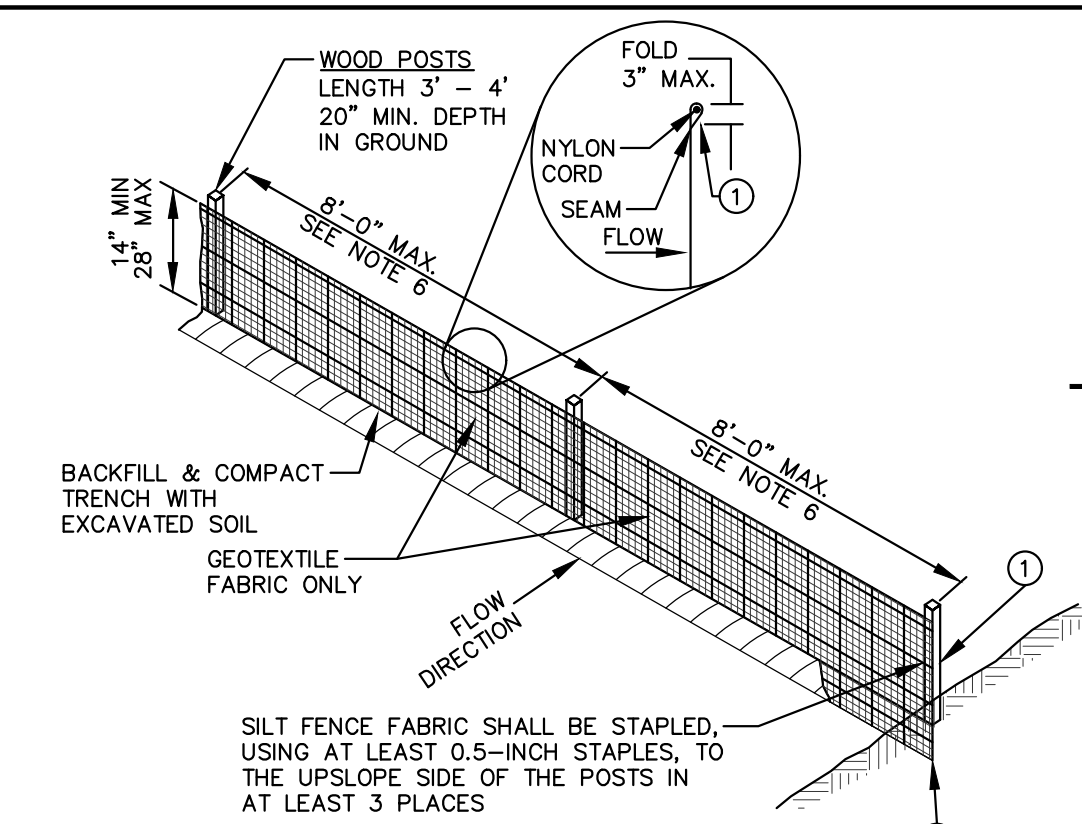


SILT FENCE ALONG SLOPES & OUTFALLS

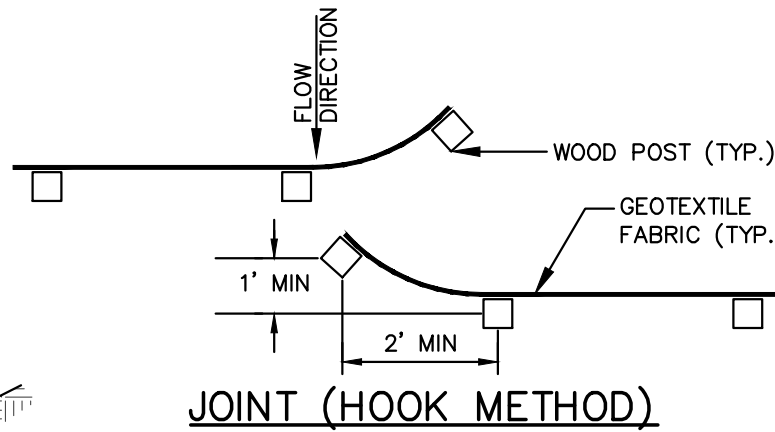


NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



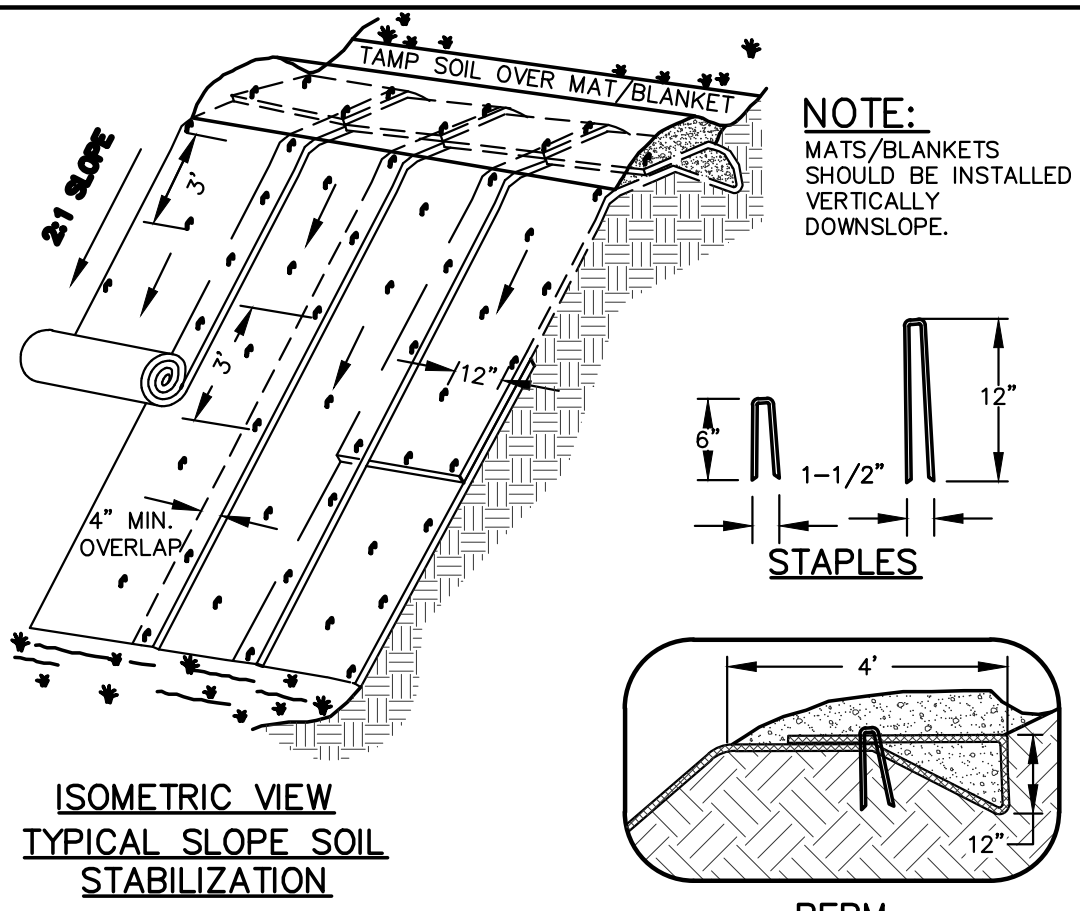
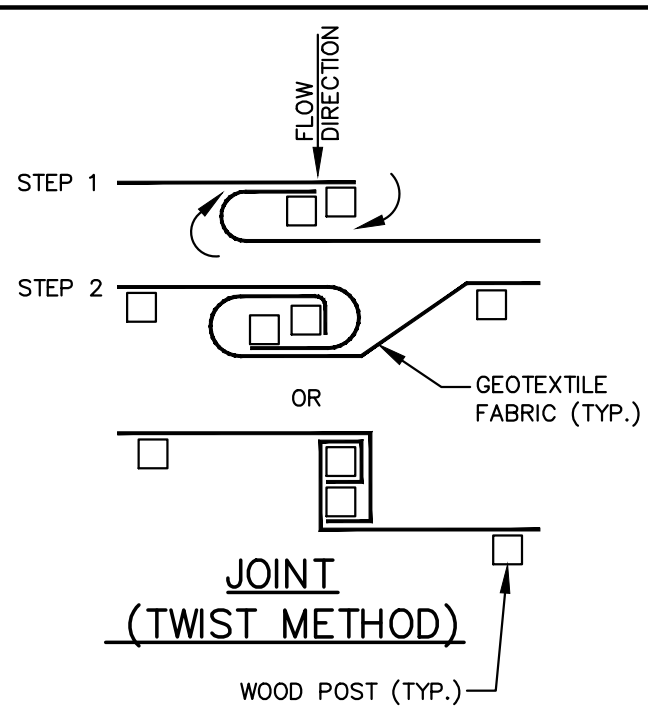
GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP 1/4-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

SILT FENCE

N.T.S.

REV. 7-01-2019



ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

NOTE:
MATS/BANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.

STAPLES

BERM

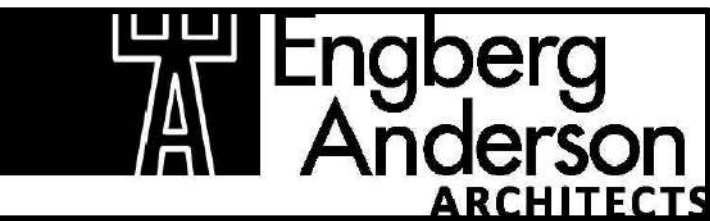
GENERAL NOTES:

1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

EROSION MATTING

N.T.S.

REV. 11-19-2018



MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION DATE

DRAWN BY

Author

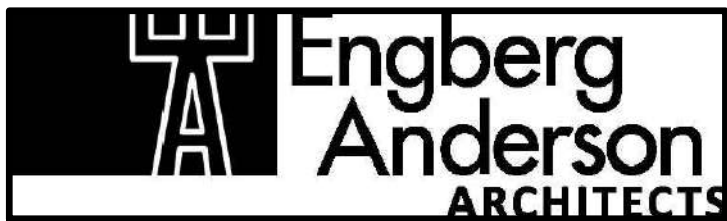
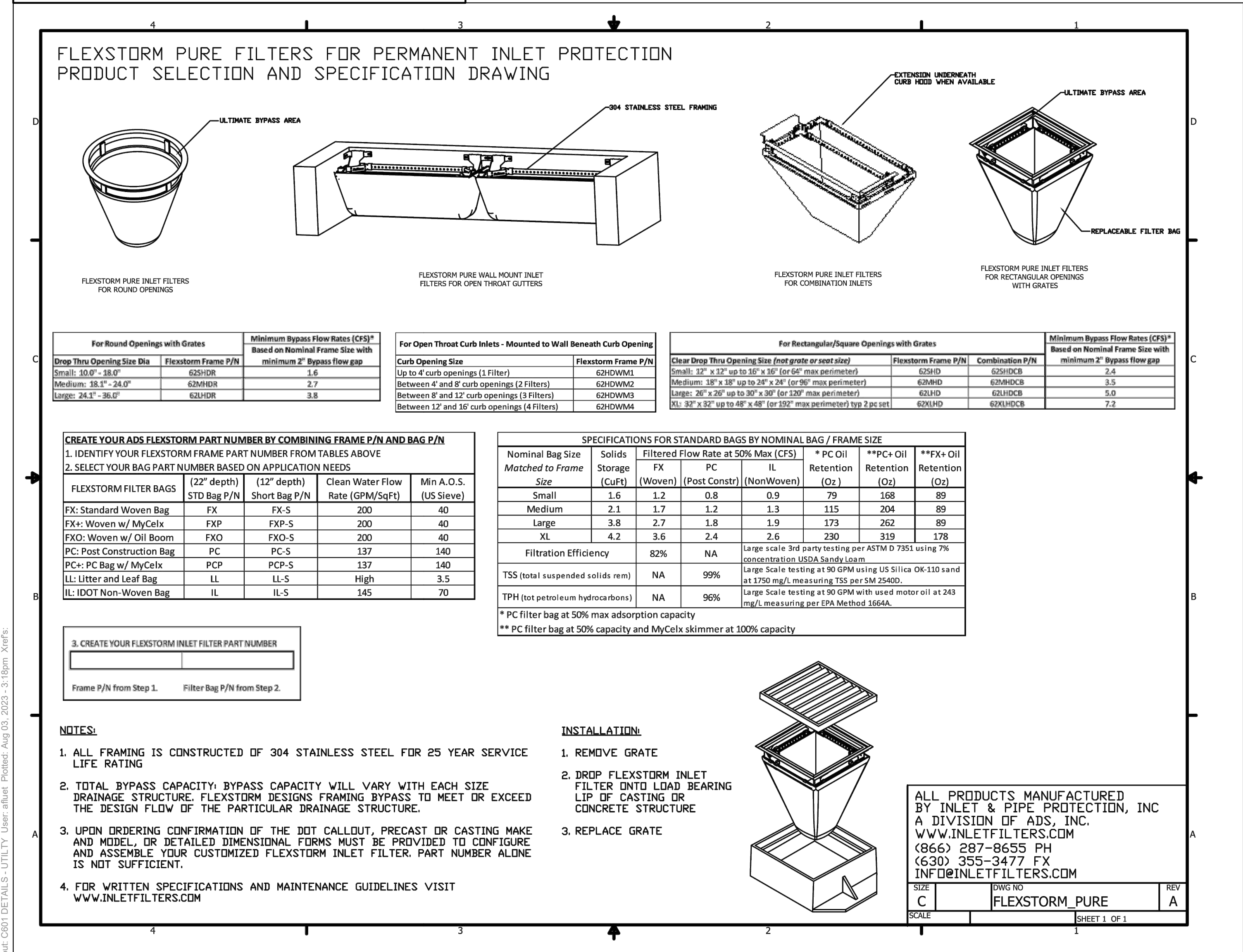
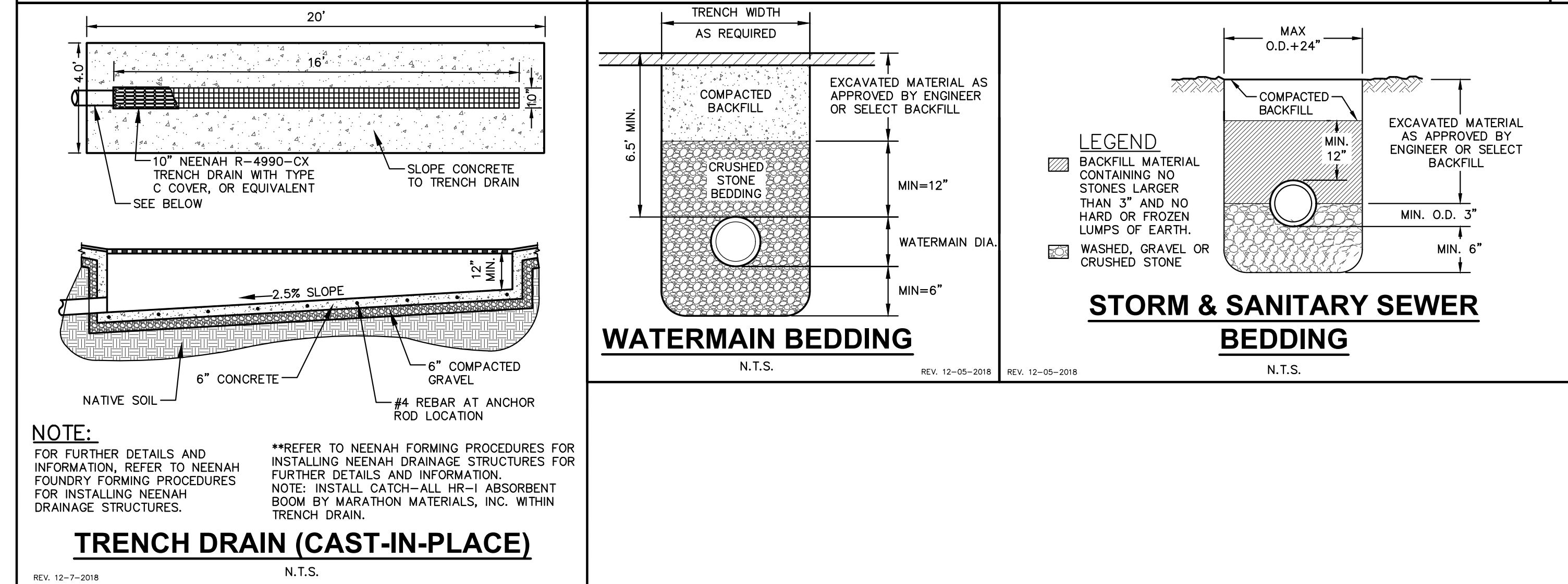
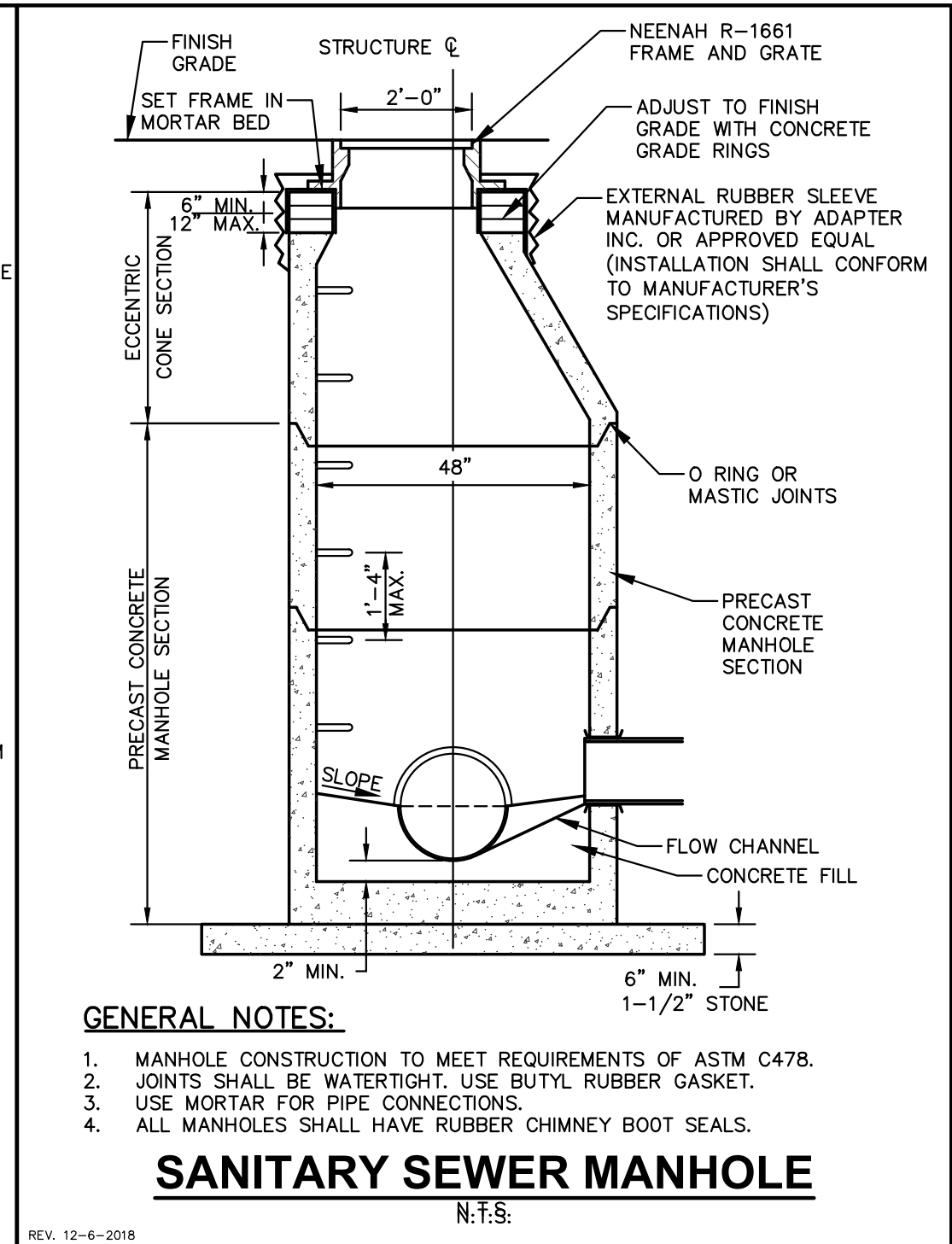
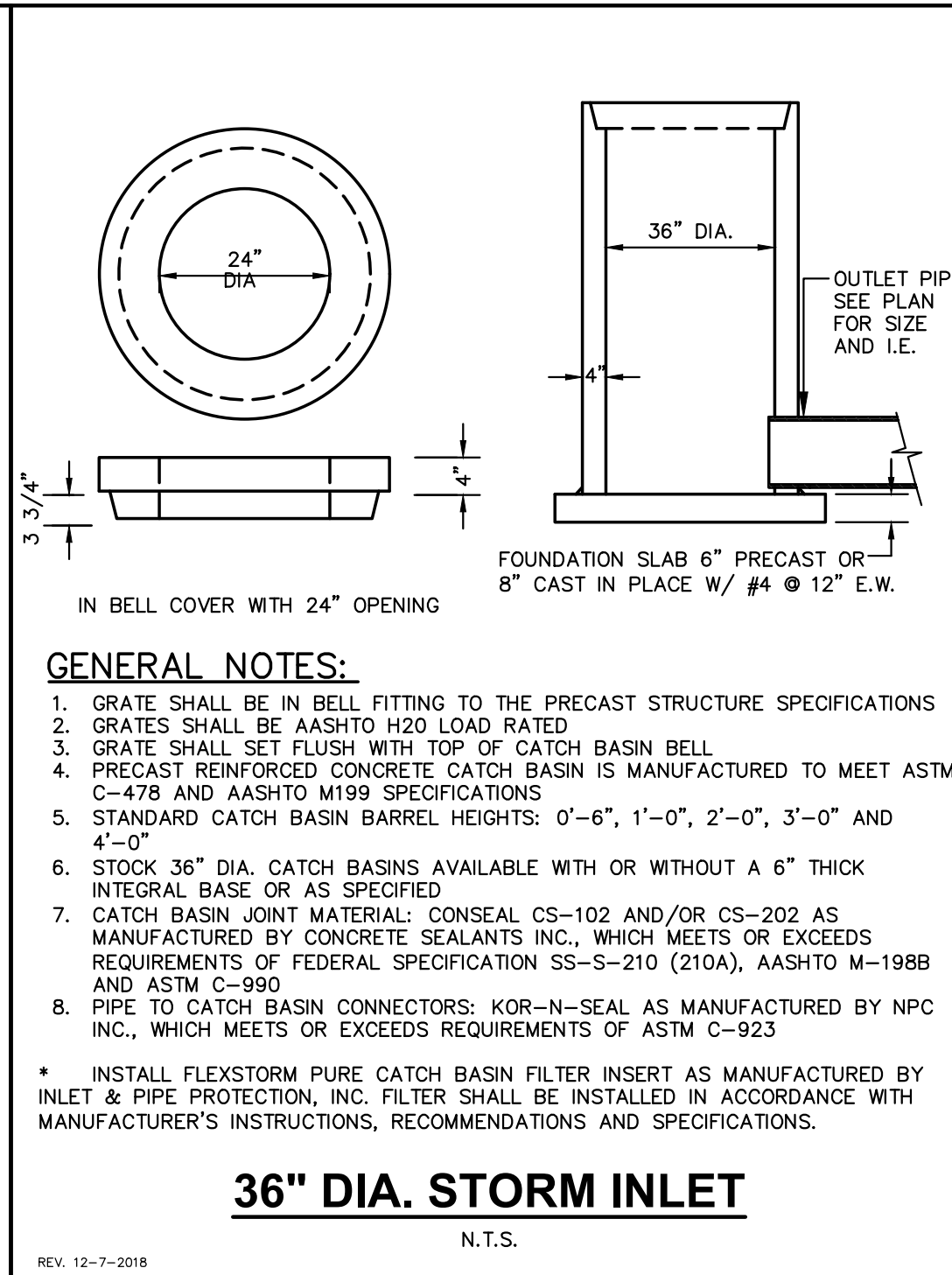
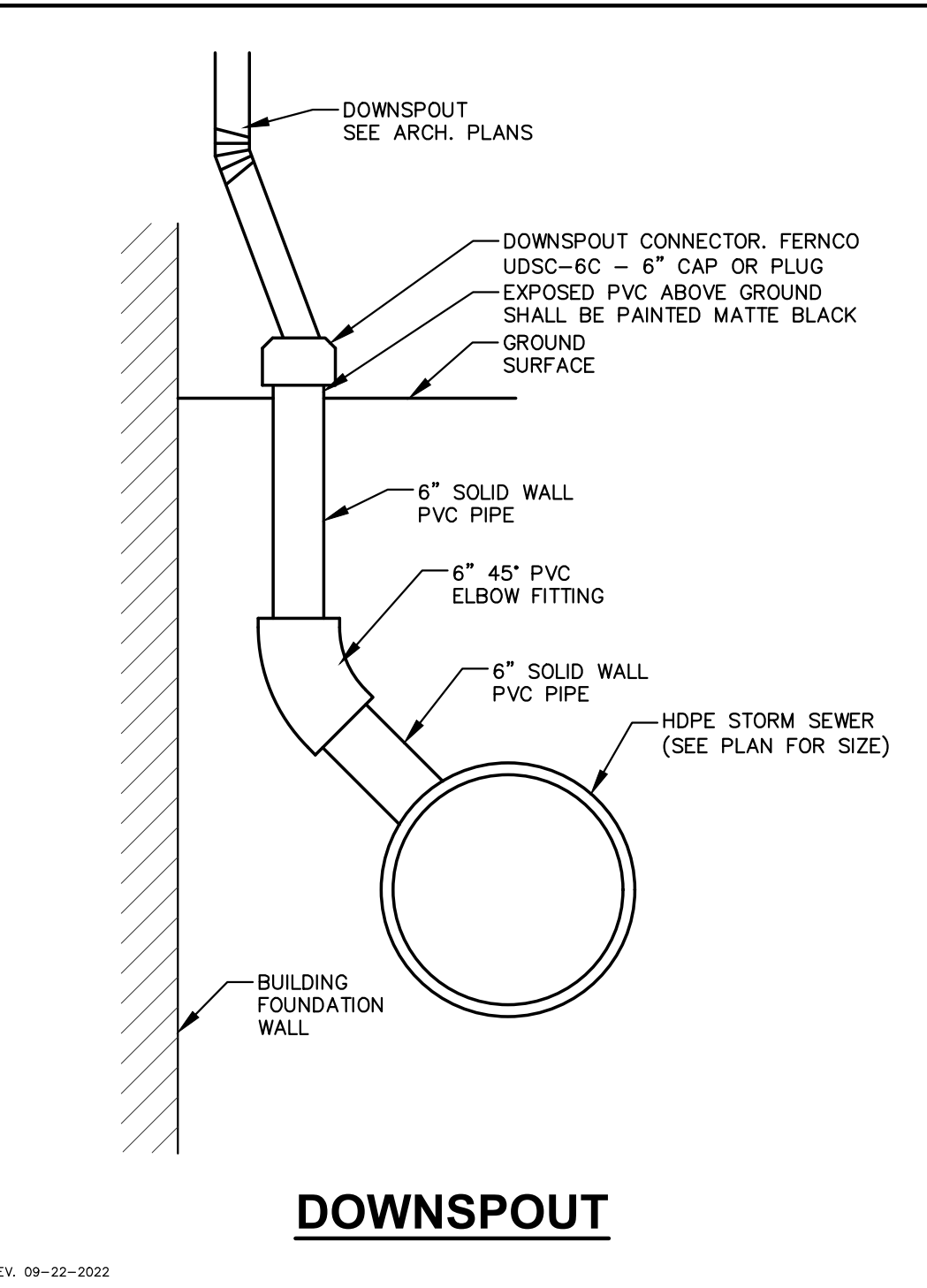
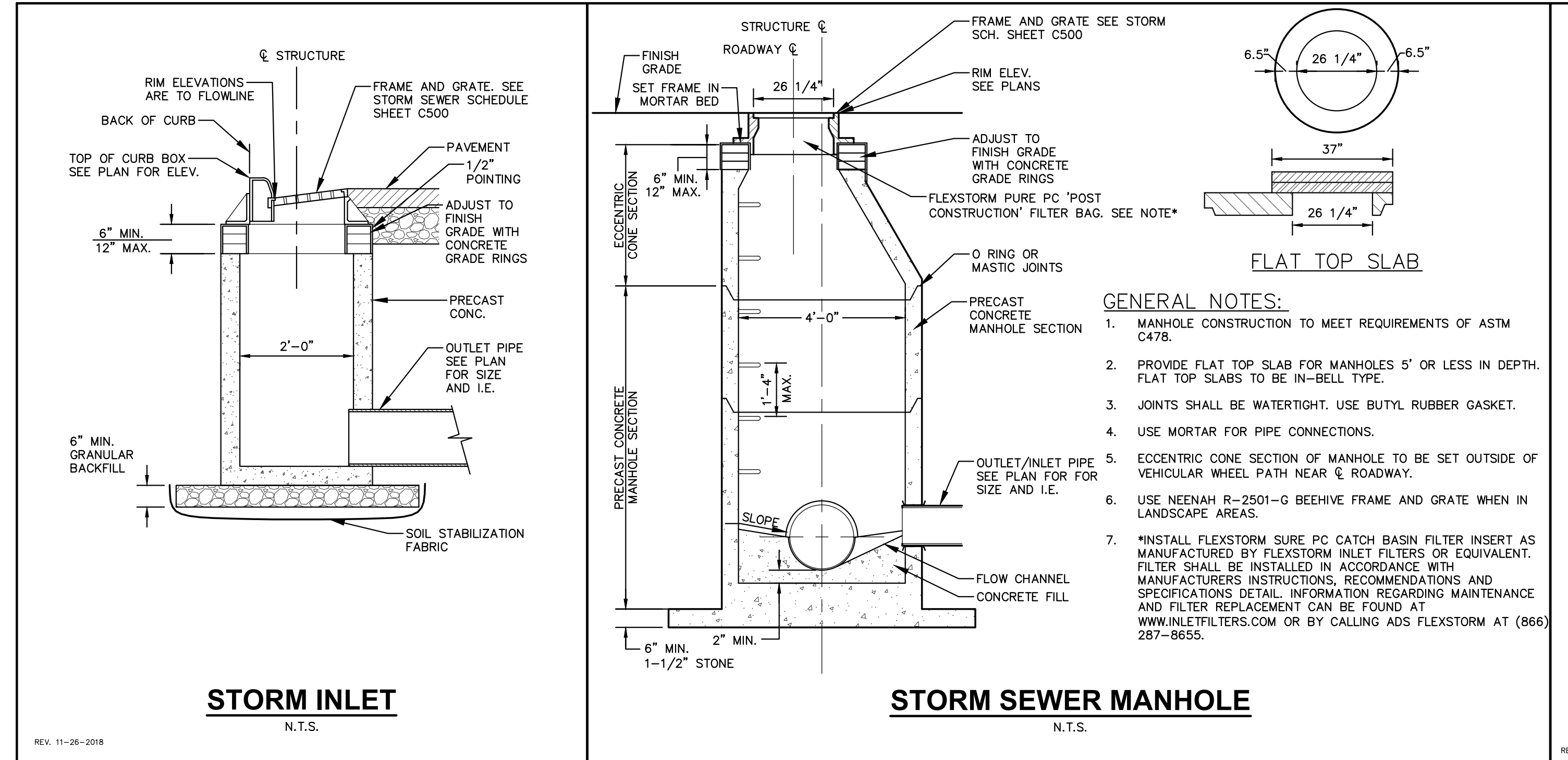
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DETAILS - EROSION CONTROL

C600

File: I:\2023\23191\DWG\Civil\Sheet\23-1317 Civil Dwg.dwg Layout: C601 DETAILS - UTILITIES - 11/11/23 User: jharrill Plotted: Aug 01, 2025 3:18pm Xref(s):



MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
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4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

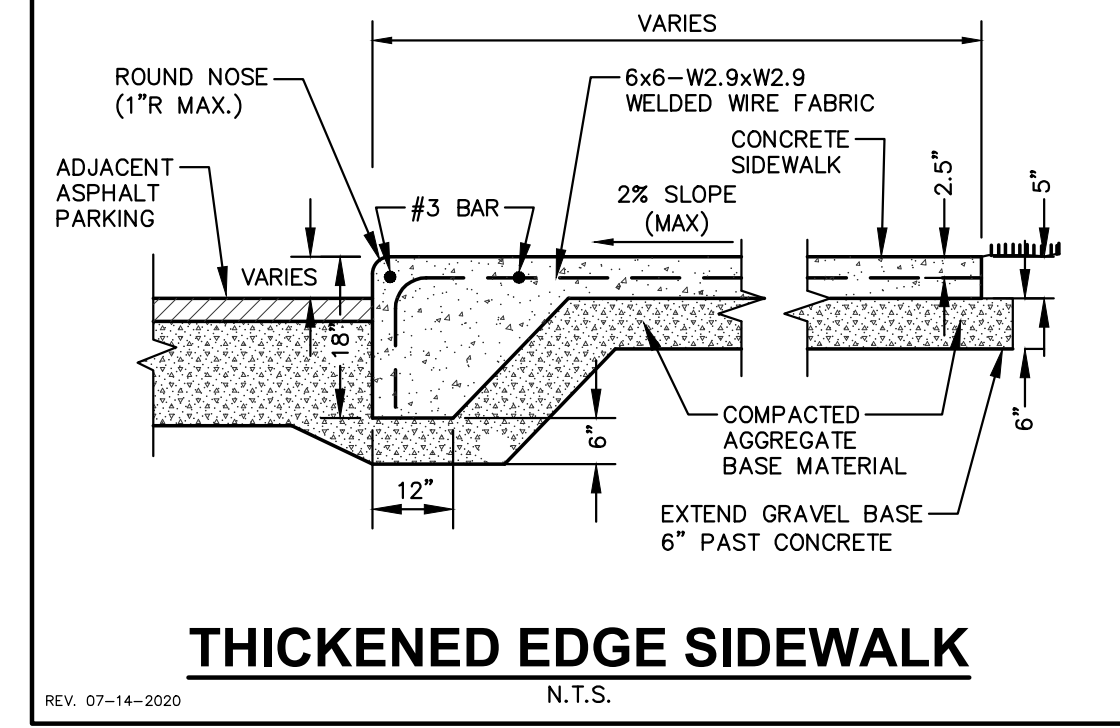
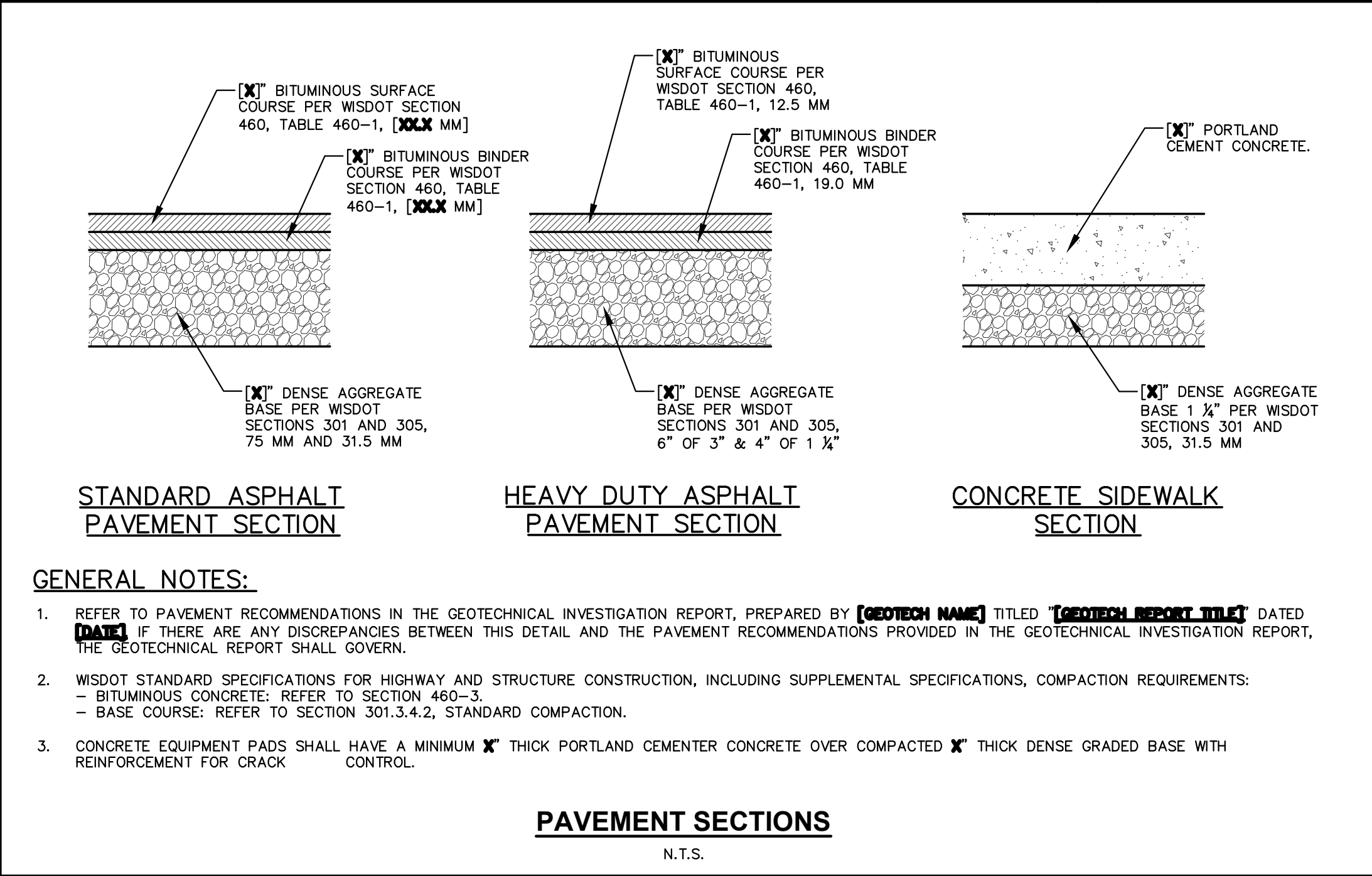
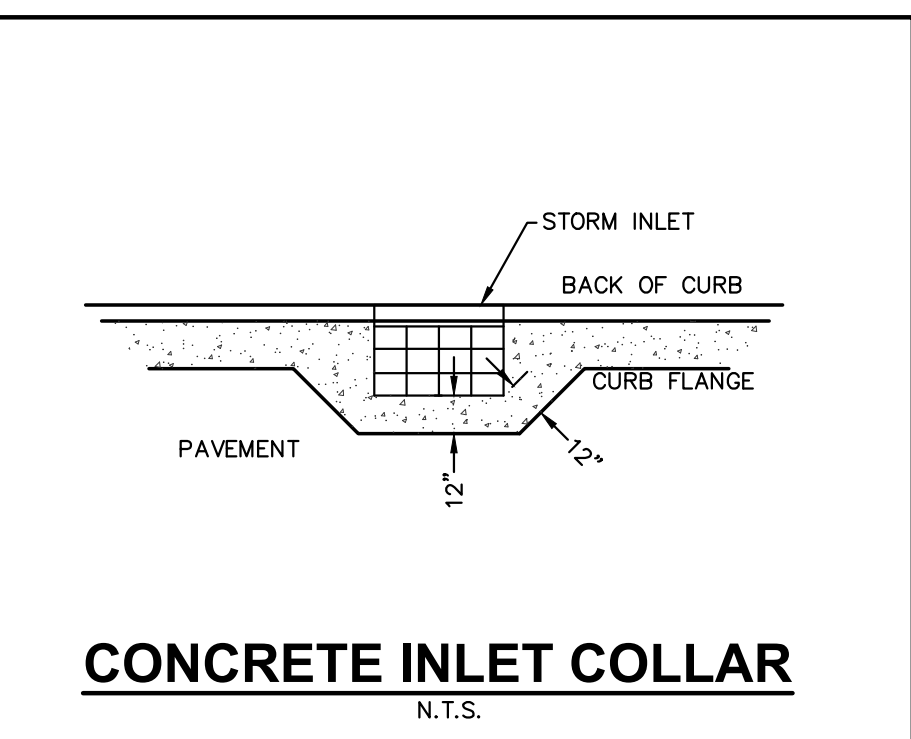
ISSUED FOR:		
LAND USE APPLICATION		08/07/23
REVISION FOR:		
NO.	DESCRIPTION	DATE

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DETAILS - UTILITIES

INTENDED FOR ALL OPEN GRATES
EXCEPTING PARKING LOT
STORMWATER AFTER CONSTRUCTION

C601



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

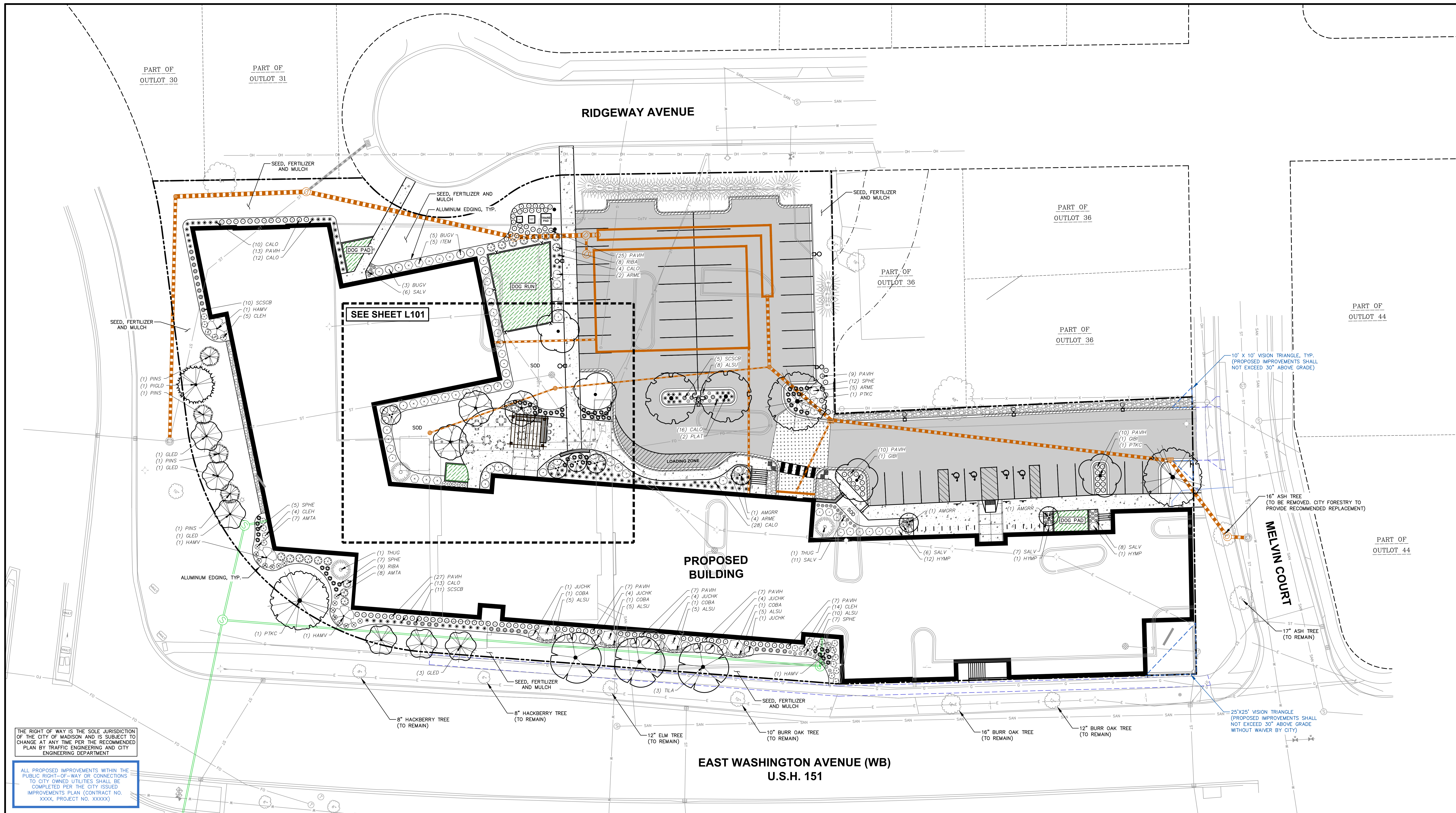
PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION DATE



PLANT SCHEDULE					
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce	B & B	5 ft tall min.	1
	PINS	<i>Pinus cembra</i> 'Short Stuff' Short Stuff Swiss Stone Pine	B & B	5' Tall	4
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMGR	<i>Amelanchier x grandiflora</i> 'Robin Hill' Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)	7
	CARC	<i>Carpinus caroliniana</i> 'J.N. Select A' Fire King™ American Hornbeam	B & B	2" Cal	3
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree	B & B	2.5" Cal	4
	GLED	<i>Gleditsia triacanthos</i> inermis 'Draves' Street Keeper® Honey Locust	B & B	2.5" Cal	6
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel' Prairie Titan Kentucky Coffeetree	B & B	2.5" Cal	3
	PLAT	<i>Platanus x acerifolia</i> 'Morton Circle' Exclamation London Plane Tree	B & B	2.5" Cal	2
	TILA	<i>Tilia americana</i> 'Kromm' Sweet Street™ American Linden	B & B	2.5" Cal	3

DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iroquois Beauty Black Chokeberry	#3	Min. 12"-24"	23
	CLEH	<i>Clethra alnifolia</i> 'Hummingbird' Hummingbird Summersweet	#3	Min. 12"-24"	23
	COBA	<i>Cornus baileyi</i> Bailey's Red-twig Dogwood	#5	36" Ht.	4
	HAMV	<i>Hamamelis vernalis</i> Ozark Witchazel	#5	Min. 36" tall	4
	HYMP	<i>Hydrangea macrophylla</i> 'PihHM-II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
	ITEM	<i>Itea virginica</i> 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15
	RIBA	<i>Ribes alpinum</i> 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood	#3	Min. 24"	21
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14
	THUG	<i>Thuja x 'Green Giant'</i> Green Giant Arborvitae	B & B	Min. 6' tall	3
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSU	<i>Allium x 'Summer Beauty'</i> Summer Beauty Allium	#1	Min. 8"-18"	38
	AMTA	<i>Ansonia tabernaemontana</i> 'Storm Cloud' Storm Cloud Eastern Bluestar	#1	Min 12" Ht.	15

	CALO	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	#1	Min 8"-18"	112
	LIGS	<i>Ligularia stenocephala</i> 'Little Rocket' Little Rocket Ligularia	#1	Min. 8"-18"	8
	PAVH	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Switch Grass	#1	Min. 12"-24"	122
	SALV	<i>Salvia nemorosa</i> 'Haeumanarc' Marcus® Meadow Sage	#1	Min 8"-18"	38
	SCSCB	<i>Schizachyrium scoparium</i> 'MinblueA' Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1	Min. 8"-18"	62

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR

	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BOLLARD
	BIKE RACK
	ALUMINUM EDGING
	KAFKA GRANITE AGGREGATE PATH
	ARTIFICIAL TURF (SPECIFICATION TBD)
	DECORATIVE STONE MULCH

CONTRACTOR NOTES

- ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED (SEE L200 MATERIAL NOTES).
- ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED. (SEE L200 SEEDING NOTES)

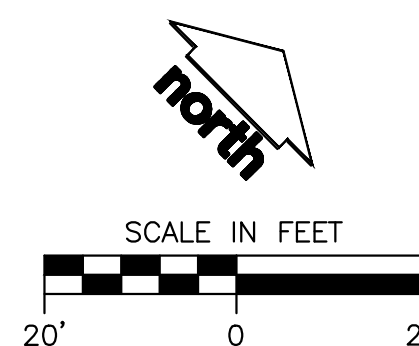
OVERALL LANDSCAPE PLAN

DRAWN BY

MRA

CHECKED BY

KJY



L100

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

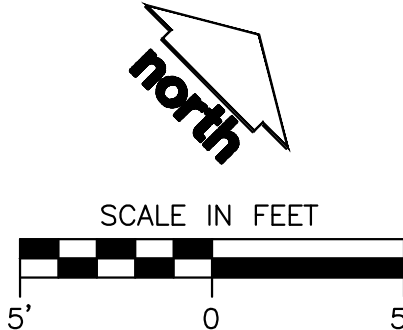
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





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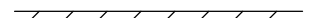







NO.	DESCRIPTION	DATE
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CHECKED BY **KJY**

L101



DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ARME	<i>Aronia melanocarpa</i> "Morton" TM Iroquois Beauty Black Chokeberry	#3	Min. 12"-24"	23
	CLEH	<i>Clethra alnifolia</i> "Hummingbird" Hummingbird Summersweet	#3	Min. 12"-24"	23
	COBA	<i>Cornus bailey</i> Bailey's Red-twig Dogwood	#5	36" Ht.	4
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	HYMP	<i>Hydrangea macrophylla</i> "PIHLM-II" Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
	ITEM	<i>Itea virginica</i> "Morton" Scarlet Beauty™ Sweetspire	#3	Min. 24"	15
	RIBA	<i>Ribes alpinum</i> 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood	#3	Min. 24"	21
	JUCHK	<i>Juniperus chinensis</i> "Pfritzerana" Kally Pfritzer Compact Juniper	#5	Min. 24" wide	14
	THUG	<i>Thuja</i> x 'Green Giant' Green Giant Arborvitae	B & B	Min. 6' tall	3
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSU	<i>Allium</i> x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	38
	AMTA	<i>Amsonia tabernaemontana</i> "Storm Cloud" Storm Cloud Eastern Bluestar	#1	Min 12" Ht.	15

LEGEND			
	PROPERTY LINE		SANITARY SEWER
	RIGHT-OF-WAY		WATERMAIN
	EASEMENT LINE		STORM SEWER
	BUILDING OUTLINE		EXISTING SANITARY SEWER
	BUILDING OVERHANG		EXISTING WATERMAIN
	EDGE OF PAVEMENT		EXISTING STORM SEWER
	STANDARD CURB AND GUTTER		FENCE
	REJECT CURB AND GUTTER		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ASPHALT PAVEMENT		ADA PARKING SIGN
	CONCRETE PAVEMENT		BOLLARD
	HEAVY DUTY CONCRETE PAVEMENT		BIKE RACK
	PROPOSED 1 FOOT CONTOUR		ALUMINUM EDGING
	PROPOSED 5 FOOT CONTOUR		KAFKA GRANITE AGGREGATE PATH
	EXISTING 1 FOOT CONTOUR		ARTIFICIAL TURF (SPECIFICATION TBD)
	EXISTING 5 FOOT CONTOUR		DECORATIVE STONE MULCH

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
3. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
5. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONFLICTS IMMEDIATELY TO THE ARCHITECT FOR RESOLVING OPTIONS TO LANDSCAPE ARCHITECT
6. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
7. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING UTILITIES OR TO THE R-O-W BY ANY OF THE PLANTING OPERATIONS TO BE CONDUCTED PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANTING LOCATIONS FOR ALL PLANTS. CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.

- [illegible]

LANDSCAPE MATERIAL NOTES

4. MATERIALS – PLANTING MIXTURE: ALL HOLDS EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ANNUALS SHALL BE BACKFILLED WITH A MIXTURE OF TWO PARTS TOPSOIL AND ONE PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
5. MATERIALS – TOPSOIL: TOPSOIL SHOULD BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS SUBSTANCES. TOPSOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TOPSOIL SHALL NOT BE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
6. MATERIALS – SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL BE COVERED WITH SHREDDED HARDWOOD BARK MULCH. MULCH SHALL BE APPLIED TO A UNIFORM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
7. MATERIALS – STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH. STONE MULCH SHALL BE APPLIED TO A UNIFORM AND CONSISTENT DEPTH OF 3-INCHES. STONE MULCH SIZE, SHAPE, AND COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC, NOR PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
8. MATERIALS – TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SPECIFIED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING. TREE RINGS SHALL BE INSTALLED TO A MINIMUM 5" DEPTH. TREE RINGS SHALL BE INSTALLED TO A 5" DEPTH SOIL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EXISTING GRANULAR HEDGING WEED-PREVENTER SHOULD BE INSTALLED TO A MINIMUM 4" DEPTH. TREE RING SHALL BE WELL APPLIED AND TO COMPLETE INSTALLATION OF TREE RING.
9. MATERIALS – ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING & SODDING NOTES

- MATERIALS - TURFGRASS SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TPOPSOL AND EARTH CARPETS' MADISON PARKS' GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER. UNDISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 1/2" OF TPOPSOL TO TURFGRASS SEED. ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND WATER SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SOD:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TPOPSOL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .05 INCHES. TURFGRASS SHOULD BE SUPPLIED IN FULLY ESTABLISHED ROLLS OF TURFGRASS AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN EDGES WILL NOT BE ACCEPTED. TURFGRASS MUST BE HANDLED CAREFULLY TO PREVENT DAMAGE TO THE ROOT SYSTEM THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE PLACED IN STORAGE FOR MORE THAN 7 DAYS. EXCESSIVE STORAGE MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL IT HAS BEEN FULLY ESTABLISHED. ONCE FULLY ESTABLISHED, TURFGRASS SOD SHALL BE INSTALLED, TRANSPORTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .05 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE RECEIVED AND STORED UNDER COVER PROTECTED FROM DIRECT SUNLIGHT. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEEDED SEED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF THE DATE WHEN EACH TYPE OF SOD WAS INSTALLED. SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLANTS THROUGHOUT THE GUARANTEE PERIOD. IN ADDITION, REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S CONTRACTOR. REPLACEMENT PLANTS SHALL BE PLANTED WITHIN 14 DAYS OF THE END OF THE GUARANTEE PERIOD. IN THE EVENT OF MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDS AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS AND PLANTINGS FOR A PERIOD OF 60 DAYS FOLLOWING THE END OF THE GUARANTEE PERIOD. THE REPRESENTATIVE OF THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY WOODRUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF LAWN AREAS THROUGHOUT THE GUARANTEE PERIOD. SUPPLEMENT OF DEFICIENT SHREDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS WHEN THE GUARANTEE PERIOD ENDS.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

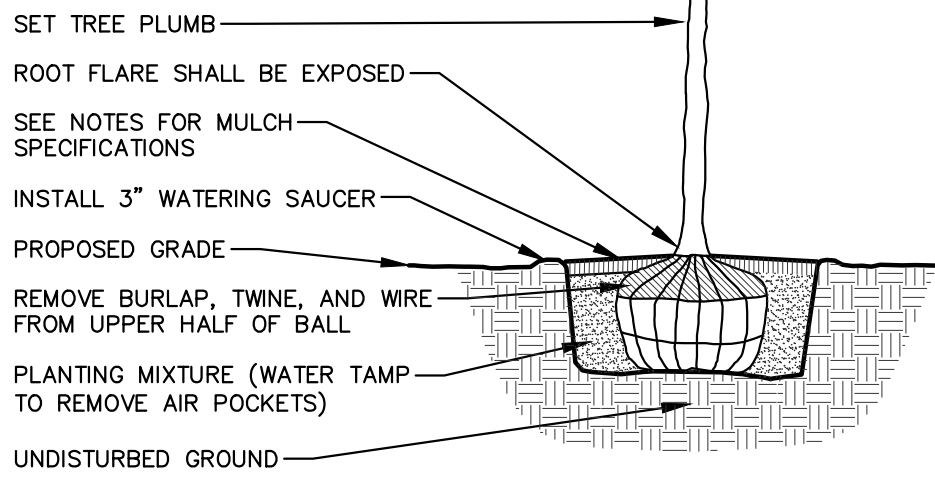
- (A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
- Total square footage of developed area: 36,284 SF
- Total landscape points required: **458 POINTS**
- (B) For lots larger than five (5) acres, points shall be provided as follows (5 points per three hundred (300) square feet for the first (5) acres developed area, and 11 points per one hundred (100) square feet for additional area):
- Total square footage of developed area: _____
- Five (5) acres = _____
- First five (5) developed acres = _____
- Remainder of developed area = _____
- Total landscape points required: _____
- (C) For the Industrial – Limited (I) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area:
- Total square footage of developed area: _____
- Total landscape points required: _____

TABULATION OF LANDSCAPE CREDITS AND POINTS

			CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	18	630
TALL EVERGREEN TREE	5-6" TALL MIN.	35	0	0	5	175
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	10	150
UPRIGHT EVERGREEN SHRUB	3-4" TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	115	345
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	32	128
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 6"-18"	2	0	0	490	980
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE ≥ 14" CALIPER	≥ 14" CALIPER (TREES GREATER THAN MAXIMUM POINTS ALLOWED)	200	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE ≤ 13" CALIPER	≤ 13" CALIPER (14 POINTS PER CALIPER INCH DBH - CANNOT COMBINE MORE THAN 50% OF TOTAL REQUIRED POINTS)	1414	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WHETHER PUBLICLY ACCESSIBLE DEVELOPED AREA, CANNOT COMBINE MORE THAN 50% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				0		2,408
TOTAL NUMBER OF POINTS PROVIDED					2,408	

NOTE:

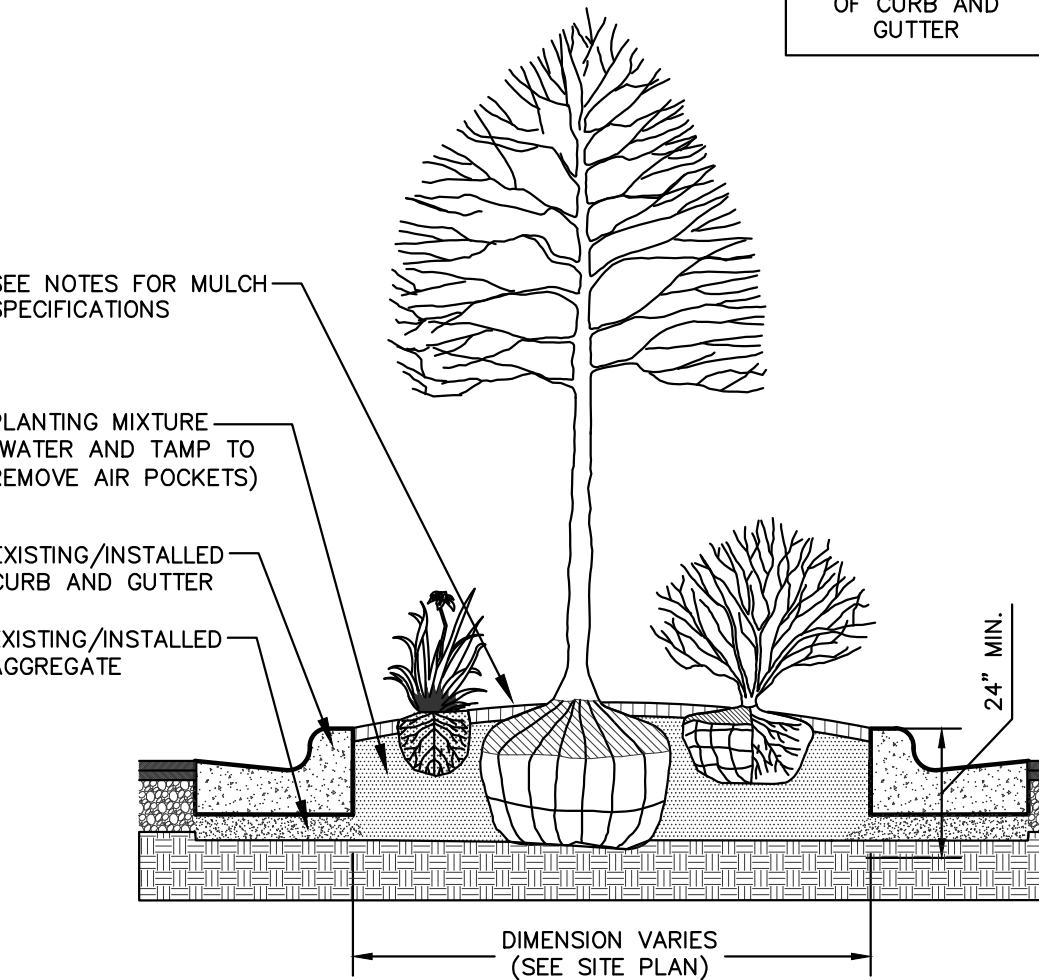
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
2. TREE PIT DIAMETER SHALL BE AT LEAST TWO-TIMES ROOT BALL DIAMETER IN ALL DIRECTIONS. SLOPE SIDES OF TREE PIT FROM PROPOSED GRADE TO BOTTOM OF ROOT BALL IN ALL DIRECTIONS.



DECIDUOUS TREE PLANTING DETAIL

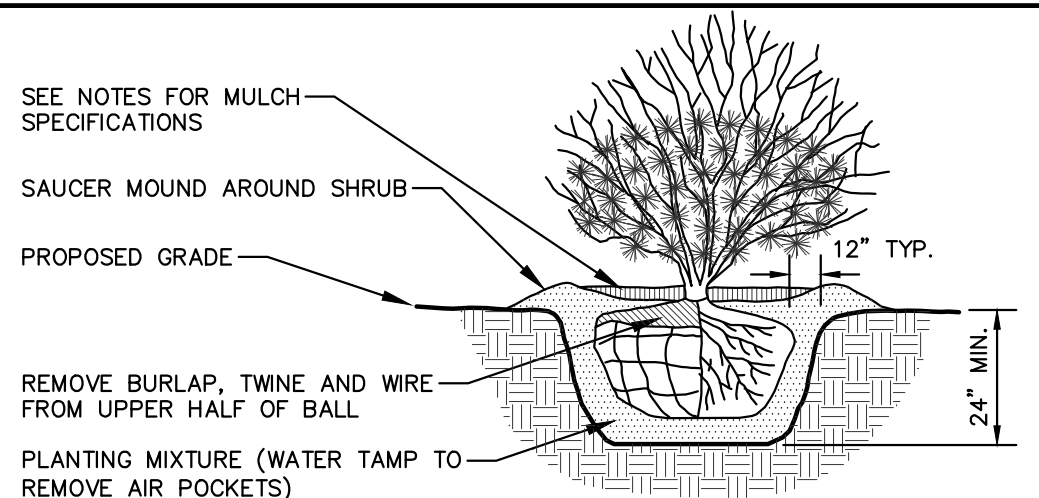
N.T.S.

MOUND TOPSOIL 12"
ABOVE CURB WITH
TOPSOIL PLANT MIX
OR AMENDED NATIVE
SOILS

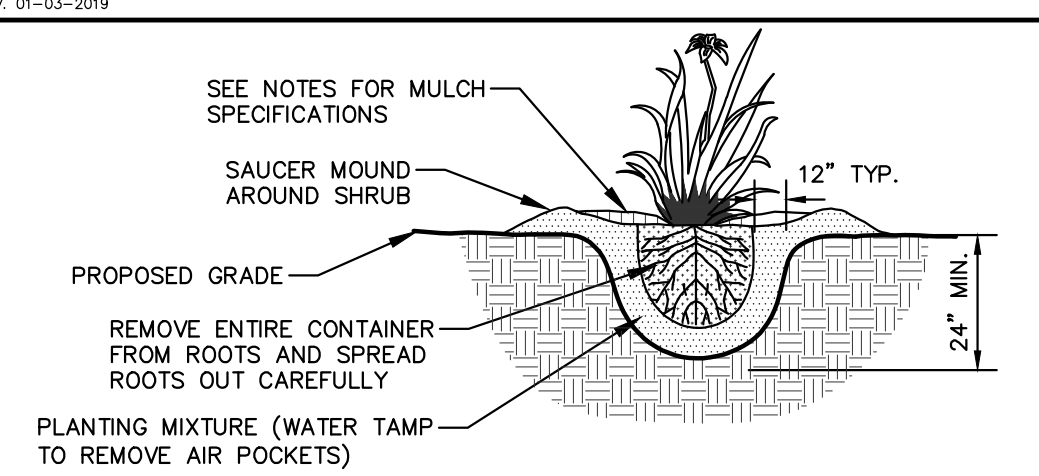


PARKING ISLAND LANDSCAPE DETAIL

REV. 01-03-2009



SHRUB PLANTING DETAIL

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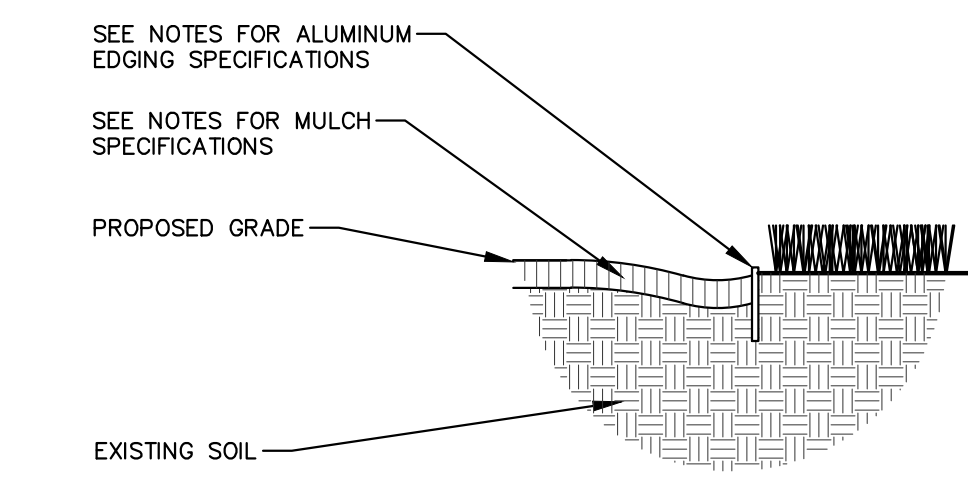
PERENNIAL/ORNAMENTAL GRASS

PLANTING DETAIL

REV. 01-03-2019

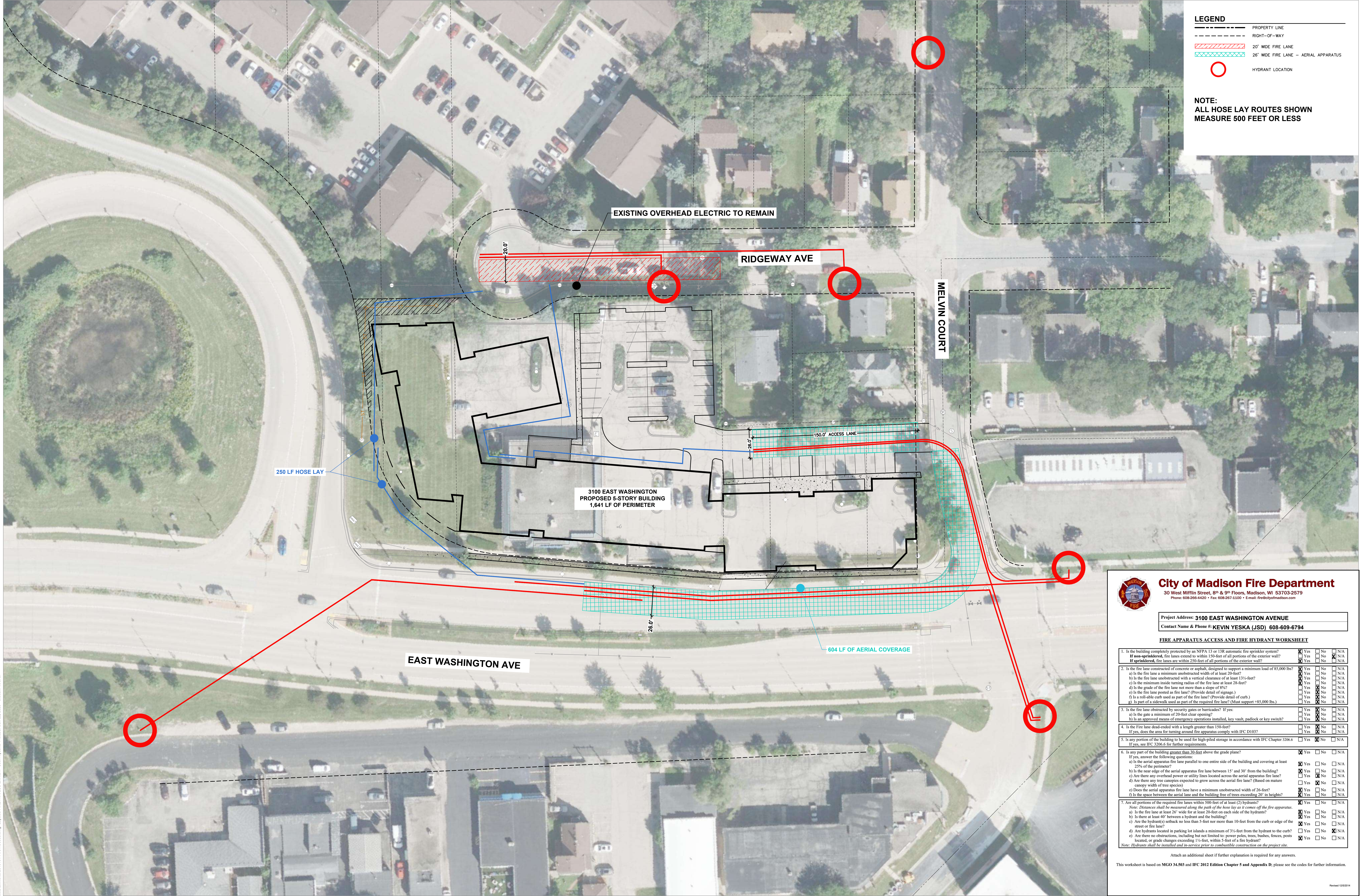
EVERGREEN TREE PLANTING DETAIL

REV. 01-03-2019



ALUMINUM LANDSCAPE EDGING DETAIL

REV. 01-03-2019



City of Madison Fire Department
30 West Mifflin Street, 3rd & 9th Floors, Madison, WI 53703-2579
Phone 608-266-4420 • Fax 608-267-1100 • Email: fire@cityofmadison.com

Project Address: **3100 EAST WASHINGTON AVENUE**
Contact Name & Phone #: **KEVIN YESKA (JSD) 608-609-6794**

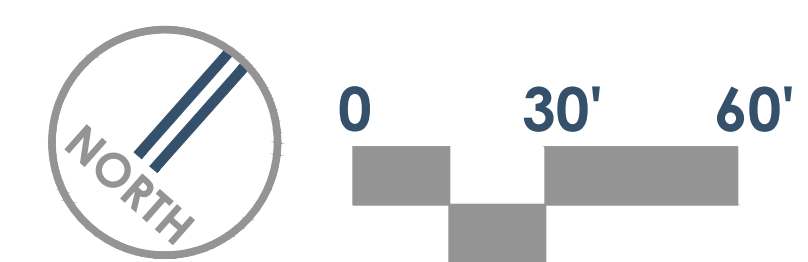
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support >85,000 lbs.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed: key vault, padlock or key switch?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the Fire Lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane at least 26' wide for at least 20-feet on each side of the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.
Attach an additional sheet if further explanation is required for any answers.
This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.

3100 EAST WASHINGTON
MADISON, WISCONSIN

FIRE ACCESS EXHIBIT



Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		2	SIGNIFY CANADA LTD	OPF-M-A08-740-BLC	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T4M OPTIC, 70CRI	1	13811	1	74.41	 Max: 6688cd
	B		5	SIGNIFY CANADA LTD	OPF-M-A09-740-BLC	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	11911	1	92.84	 Max: 7809cd
	C		1	SIGNIFY CANADA LTD	OPF-M-A08-740-T3M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T3M OPTIC, 70CRI	1	13628	1	74.41	 Max: 8217cd
	D		4	Performance IN Lighting	077371	ALU WALL/S M 2.1W 860 S/EW Anodized black	1	68	1	2.1	 Max: 27cd
	E		1	LIGMAN	LEW-30011-T4-W40	Leeds Wedge 2 Surface facade luminaires	2	733	1	13.8	 Max: 781cd
	F		8	LIGMAN	LEW-30011-T3-W40	Leeds Wedge 2 Surface facade luminaires	2	728	1	13.8	 Max: 668cd
	G		6	LIGMAN	LEW-30021-T4-W40	Leeds Wedge 3 Surface facade luminaires	1	2166	1	19.6	 Max: 1198cd
	H		2	LIGMAN	LEW-30021-T3-W40	Leeds Wedge 3 Surface facade luminaires	1	2176	1	19.6	 Max: 969cd
	I		28	LIGMAN	ULEW-30001-T1-W40	Leeds Wedge 1 Surface wall luminaires	1	603	1	8	 Max: 499cd


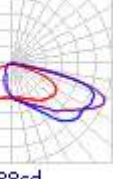


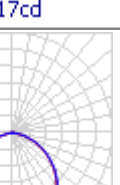






*No alternates allowed unless prior approval from lighting designer and engineer of record.

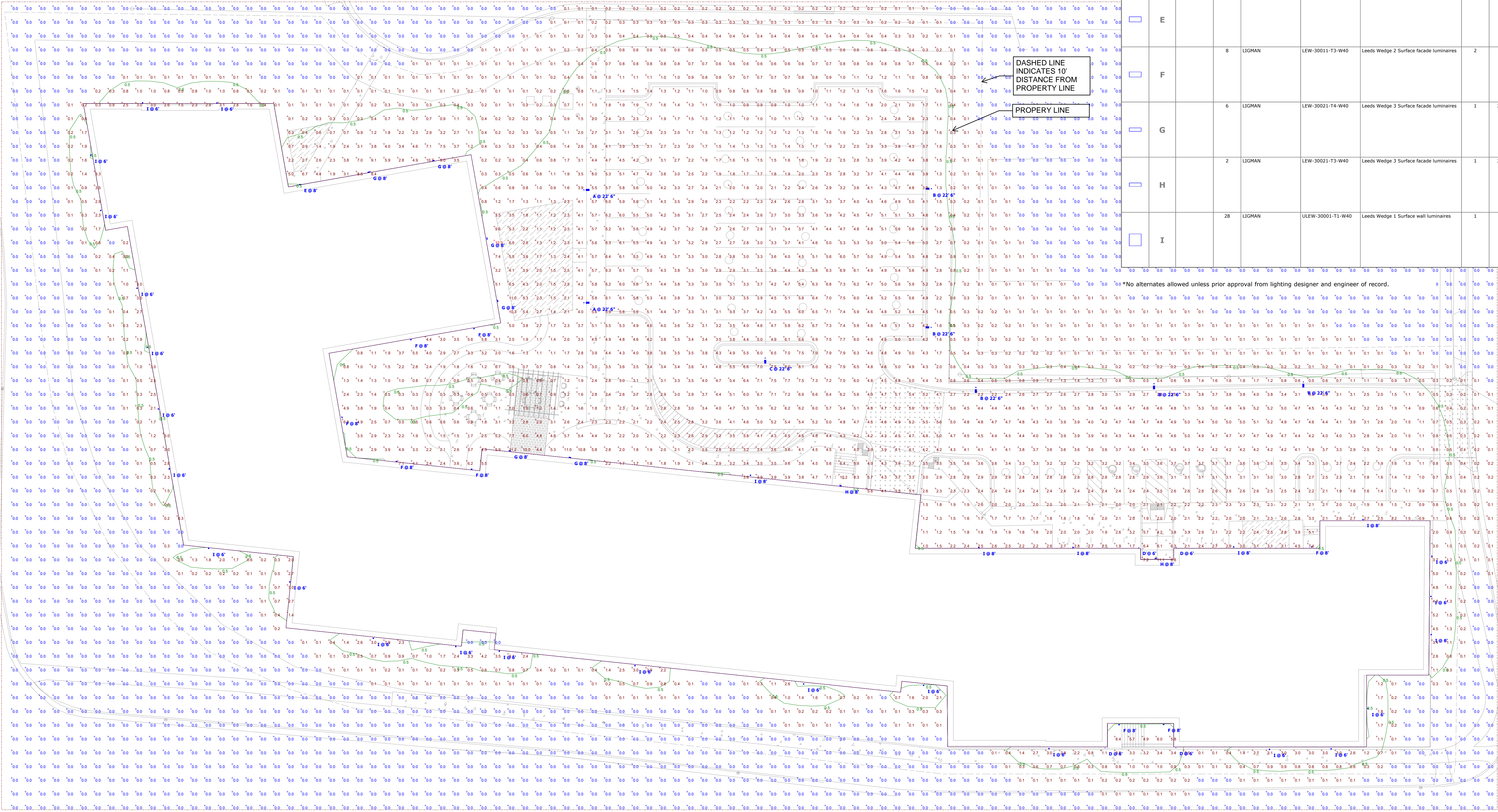
All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
This design remains the property of Spectrum Lighting and may not be altered without written permission.



Plan View

Statistics						
Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Combined Parking		3.3 fc	0.8 fc	9.6:1	4.2:1	7.7 fc
10ft Property Line @ 4ft	+	0.0 fc	0.0 fc	N/A	N/A	0.3 fc

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		2	SIGNIFY CANADA LTD	OPF-M-A08-740-T4M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T4M OPTIC, 70CRI	1	13811	1	74.41	 Max: 6680cd
	B		5	SIGNIFY CANADA LTD	OPF-M-A09-740-BLC	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	11911	1	92.84	 Max: 7809cd
	C		1	SIGNIFY CANADA LTD	OPF-M-A08-740-T3M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T3M OPTIC, 70CRI	1	13628	1	74.41	 Max: 8217cd
	D		4	Performance IN Lighting	077371	ALU WALL/S M 2.1W 860 S/EW Anodized black	1	68	1	2.1	 Max: 27cd
	E		1	LIGMAN	LEW-30011-T4-W40	Leeds Wedge 2 Surface facade luminaires	2	733	1	13.8	 Max: 781cd
	F		8	LIGMAN	LEW-30011-T3-W40	Leeds Wedge 2 Surface facade luminaires	2	728	1	13.8	 Max: 668cd
	G		6	LIGMAN	LEW-30021-T4-W40	Leeds Wedge 3 Surface facade luminaires	1	2166	1	19.6	 Max: 1198cd
	H		2	LIGMAN	LEW-30021-T3-W40	Leeds Wedge 3 Surface facade luminaires	1	2176	1	19.6	 Max: 969cd
	I		28	LIGMAN	ULEW-30001-T1-W40	Leeds Wedge 1 Surface wall luminaires	1	603	1	8	 Max: 499cd



All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
Calculations are based on a 4' x 4' spacing
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OFF-M_OpSForm_Medium 04/23 page 1 of 8

OFF-M_OptForm_Medium 04/23 page 1 of 8

OFF-M_CylForm_Medium 04/23 page 1 of 8

PERFORMANCE
IN LIGHTING

powered by
GEWISS

PRODUCT CODE: IT7371
TYPE: D
FIN: D

AU WALL/S M

Part number

077371

Lampholder:	LED
Wattage:	2.1 W
Finishing:	Mat. 40 / Anodized black / Matt
Degree of protection:	IP65
CR:	80
Material:	PMMA
Optic:	Surface Extra Wide
Luminous beam output [mcd]	64 lm
Life time:	60000 h
GLAN:	40
Min. ambient temperature °C	50
Max. ambient temperature °C	50

Description

- Wall-hat system. Fixtures consist of:
 - Multi spot projector cast pointing system, optional against UV rays and corrosion.
 - Lens for 10° projection mechanical anodized aluminum housing and optical components.
 - Lens for 10° diffused fixture.
 - Corrosion resistant, and aging resistant.
 - Stainless steel external hardware.
 - Lens for 10° projection mechanical anodized aluminum housing and optical components.
 - Surface effect light emission.
 - Single spot for 10° diffused fixture.
- To be used with a low voltage, constant current (700 mA) only (please refer separately, contact factory for more information).
- Matching bracket (see photo) optional at extra cost (please refer separately).
- The bracket may be configured with mirror surface and multiple standard finishes. Not all options are available in all configurations. Contact factory for more information about specifications about details to build your light.
- Product meets RoHS American AUL3 (RoHS), (equivalent under AEM).
- >3 year warranty.

Photometric data

Technical drawings

Performance in Lighting - 2021 Kaps Kopen - Germany, Georgia 3017 - USA - v01a - 17/03/21/21 - info@au.lighting

www.performanceinlighting.com

[illegible][illegible][illegible]

ULEW-3002

Leads 3 Large Surface Wedge Mounting

10w LED 240 Lumens / 20w LED 400 Lumens
IP65 - Suitable for Wet Locations
100% Impact Resistant
Weight 18 lbs

Construction

Aluminum
The ULEW-3002 is constructed from 6063-T5 aluminum. The aluminum is anodized for corrosion resistance.

Drainage

The ULEW-3002 has a drainage system that allows water to drain out of the fixture. This prevents water from accumulating inside the fixture.

Weather Resistance

The ULEW-3002 is rated for use in wet locations. It is suitable for use in outdoor applications where it will be exposed to weather.

Thermal Management

The ULEW-3002 has a thermal management system that allows heat to be dissipated from the fixture. This prevents the fixture from overheating.

Warranty

The ULEW-3002 is covered by a 5-year warranty. This warranty covers the fixture against manufacturing defects.

Clean, beautiful, surface wall fixtures with excellent lighting performance. Minimalist form, yet the most powerful and flexible lighting tool of its type, offering packages up to 2,400 lumens and microVos technology.

A range of small, square and rectangular ADA compliant wall mounted luminaires with options of upward or downward light distributions. Ideally suited to illuminate the wall and surface in front of wall and for light accents on vertical surfaces using high efficiency LEDs. The LEDs are suitable for indoor and outdoor applications and provides a clean, visually appealing solution to smart, unobtrusive wall mounted luminaires.

This luminaire is available in 3 different sizes and configurations of down, up or up/down light distributions.

This fixture utilizes microVos technology, meaning the ability to do Type I, II, III, & IV distributions as well as hybrid distributions to suit the designer's requirements.

Using the microVos option allows for very wide spacing to mounting height ratios, while still providing a perfect uniformity and color distribution to meet International Dark Sky code compliant or warmer LEDs may be selected and illuminate the mount (<1° 15' adjustable to permit leveling).

Additional Options [Contact Factory For Pricing]

LogiMan microVos optical system provides the ability to interchange, mix and match optics to provide specific light distributions for optimum spacing and uniformity.

The variable optics system allows for the designer to create hybrid distributions for precise lighting requirements.

Design
The ULEW-3002 is designed to be a simple, clean, and modern fixture. It is suitable for use in a variety of applications.

Options

The ULEW-3002 is available in a variety of options. These options allow the fixture to be customized to meet the needs of the user.

MicroVos Surface Wedge

The MicroVos Surface Wedge is a small, square, and rectangular fixture. It is suitable for use in a variety of applications. It is available in a variety of sizes and configurations.

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The MicroVos Surface Wedge is a small, square, and rectangular fixture. It is suitable for use in a variety of applications. It is available in a variety of sizes and configurations.

Features

The ULEW-3002 has a variety of features. These features make the fixture a versatile and useful lighting solution.

LED Surface Wedge

The LED Surface Wedge is a small, square, and rectangular fixture. It is suitable for use in a variety of applications. It is available in a variety of sizes and configurations.

Options

The ULEW-3002 is available in a variety of options. These options allow the fixture to be customized to meet the needs of the user.

Ordering

The ULEW-3002 is ordered by specifying the size, configuration, and options. This ensures that the user gets exactly what they need.

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[illegible][illegible][illegible]

ULEE-3000i

Leeds 2 Small Surface Downlight

5 Low LED 370 Lumens
IP65 - Surface For Wet Locations
8077 - Impact Resistant
Weight 1.9 lbs

Mounting Detail

4 #6-19mm Threaded Rods
2 Washers
2 Nuts

Construction

Material

Aluminum extrusion and aluminum powder coat finish. Impact resistant polycarbonate lens.

Finish

Aluminum extrusion and aluminum powder coat finish. Impact resistant polycarbonate lens.

Weight

1.9 lbs (0.86 kg)

Dimensions

10 1/2" x 10 1/2" x 1 1/2"

Mounting Details

4 #6-19mm Threaded Rods, 2 Washers, 2 Nuts

Notes

1. The mounting bracket is provided with 4 holes.

Features

5 Low LED 370 Lumens, IP65 - Surface For Wet Locations

Applications

Indoor and outdoor applications and provide a high efficiency LED lighting solution for small, unobtrusive wall mounted luminaires.

Warranty

5 Year Limited Warranty

Accessories

1. The mounting bracket is provided with 4 holes.

Options

1. The mounting bracket is provided with 4 holes.

clean, beautiful, surface wall fixtures with clear lens performance. Minimalist form, yet the most powerful and flexible lighting tool of its type, offering packages up to 4000 lumens and microVos technology.

A range of small, square and rectangular, ADA compliant wall mounted luminaires with options for recessed or downward light distributions. Ideally suited to illuminate the wall and surfaces in front of wall and for light accents in vertical surfaces with high efficiency LEDs. The Leeds is suitable for indoor and outdoor applications and provide a clean, highly appealing solution for small, unobtrusive wall mounted luminaires.

This luminaire is available in a different sizes and combinations of down, up or downward light distributions.

This fixture utilizes microVos technology, meaning the ability to do Type I, II, III, IV & distributions as well as hybrid distributions to suit the designer's requirements.

Using the microVos optics allows for very wide spacing to mounting height ratios, while still providing perfect uniformity and color consistent light levels.

To meet International Dark Sky criteria, 3000K or warmer LEDs must be selected and luminaire fix mounted (v-r, v-l) allowable to permit twinkleing

Additional Options (Consult Factory For Pricing)

Luminaires micro Vosable Optical System provides the ability to reconfigure, mix & match optics to provide specific light distributions for optimized spacing and uniformity.

Features

5 Low LED 370 Lumens, IP65 - Surface For Wet Locations

Applications

Indoor and outdoor applications and provide a high efficiency LED lighting solution for small, unobtrusive wall mounted luminaires.

Warranty

5 Year Limited Warranty

Accessories

1. The mounting bracket is provided with 4 holes.

Options

1. The mounting bracket is provided with 4 holes.

[illegible]

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
This design remains the property of Spectrum Lighting and may not be altered without written permission.

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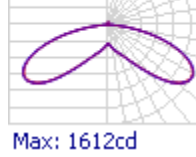

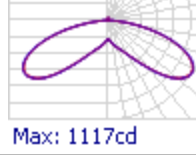




Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Outputs	LLF	Input Power	Polar Plot
	J		31	GARCO	SVPG-A03-840-G2-SRD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	5995	1	52	
	K		11	GARCO	SVPG-A02-840-G2-SRD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	4153	1	36	
	L		4	DAY-BRITE / CFI	FSSE2440L840-UNV-DIM	4' FLUXSTREAM STRIP 2-SLMC 2.26L8 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
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Schedule							
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	J		31	GARDCO	SVPG-A03-840-G2-SRD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	
	K		11	GARDCO	SVPG-A02-840-G2-SRD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	
	L		4	DAY-BRITE / CFI	FSSE2440L840-UW-DIM	4' FLUXSTREAM STRIP 2-SLIMC 2.26L8 4000K BOARDS 37W CERTA DRIVE	

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Parking and Pedestrian	+	5.0 fc	9.0 fc	1.3 fc	6.9:1	3.8:1

Description	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	42	2006.0 W	40778.4 ft²	0.0 W/ft²

Plan View
Scale - 1/16" = 1'

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
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The image shows the Gardco by Signify Garage & Canopy SoftView SVPG with comfort optics LED light fixture. It is a circular, recessed ceiling light with a white trim and a clear lens. The fixture is shown in a top-down view, highlighting its circular design and the central lens area.

Garco SoftView LED parking garage luminaires feature edge lit technology, providing visual comfort with minimal glare to enhance the user experience. An added uplight feature reduces the cave effect for an increased sense of security. SoftView features multiple optical distributions, lumen packages and mounting options providing you with the ideal solution for your garage lighting and low bay needs. Optional emergency battery backup available for path of egress lighting and is integral to the luminaire.

Ordering guide

example: SYPD-AC6-640-GRD-SUR-UNV-ELRT-L3-SP2-MG

General					General				
Year	Country/Region	Year	Country/Region	Year	Country/Region	Year	Country/Region	Year	Country/Region
MO3	S40	MO3	PEN	MO3	MO3	MO3	MO3	MO3	MO3
2016	USA	179	179	179	179	179	179	179	179
2015	USA	178	178	178	178	178	178	178	178
2014	USA	177	177	177	177	177	177	177	177
2013	USA	176	176	176	176	176	176	176	176
2012	USA	175	175	175	175	175	175	175	175
2011	USA	174	174	174	174	174	174	174	174
2010	USA	173	173	173	173	173	173	173	173
2009	USA	172	172	172	172	172	172	172	172
2008	USA	171	171	171	171	171	171	171	171
2007	USA	170	170	170	170	170	170	170	170
2006	USA	169	169	169	169	169	169	169	169
2005	USA	168	168	168	168	168	168	168	168
2004	USA	167	167	167	167	167	167	167	167
2003	USA	166	166	166	166	166	166	166	166
2002	USA	165	165	165	165	165	165	165	165
2001	USA	164	164	164	164	164	164	164	164
2000	USA	163	163	163	163	163	163	163	163
1999	USA	162	162	162	162	162	162	162	162
1998	USA	161	161	161	161	161	161	161	161
1997	USA	160	160	160	160	160	160	160	160
1996	USA	159	159	159	159	159	159	159	159
1995	USA	158	158	158	158	158	158	158	158
1994	USA	157	157	157	157	157	157	157	157
1993	USA	156	156	156	156	156	156	156	156
1992	USA	155	155	155	155	155	155	155	155
1991	USA	154	154	154	154	154	154	154	154
1990	USA	153	153	153	153	153	153	153	153
1989	USA	152	152	152	152	152	152	152	152
1988	USA	151	151	151	151	151	151	151	151
1987	USA	150	150	150	150	150	150	150	150
1986	USA	149	149	149	149	149	149	149	149
1985	USA	148	148	148	148	148	148	148	148
1984	USA	147	147	147	147	147	147	147	147
1983	USA	146	146	146	146	146	146	146	146
1982	USA	145	145	145	145	145	145	145	145
1981	USA	144	144	144	144	144	144	144	144
1980	USA	143	143	143	143	143	143	143	143
1979	USA	142	142	142	142	142	142	142	142
1978	USA	141	141	141	141	141	141	141	141
1977	USA	140	140	140	140	140	140	140	140
1976	USA	139	139	139	139	139	139	139	139
1975	USA	138	138	138	138	138	138	138	138
1974	USA	137	137	137	137	137	137	137	137
1973	USA	136	136	136	136	136	136	136	136
1972	USA	135	135	135	135	135	135	135	135
1971	USA	134	134	134	134	134	134	134	134
1970	USA	133	133	133	133	133	133	133	133
1969	USA	132	132	132	132	132	132	132	132
1968	USA	131	131	131	131	131	131	131	131
1967	USA	130	130	130	130	130	130	130	130
1966	USA	129	129	129	129	129	129	129	129
1965	USA	128	128	128	128	128	128	128	128
1964	USA	127	127	127	127	127	127	127	127
1963	USA	126	126	126	126	126	126	126	126
1962	USA	125	125	125	125	125	125	125	125
1961	USA	124	124	124	124	124	124	124	124
1960	USA	123	123	123	123	123	123	123	123
1959	USA	122	122	122	122	122	122	122	122
1958	USA	121	121	121	121	121	121	121	121
1957	USA	120	120	120	120	120	120	120	120
1956	USA	119	119	119	119	119	119	119	119
1955	USA	118	118	118	118	118	118	118	118
1954	USA	117	117	117	117	117	117	117	117
1953	USA	116	116	116	116	116	116	116	116
1952	USA	115	115	115	115	115	115	115	115
1951	USA	114	114	114	114	114	114	114	114
1950	USA	113	113	113	113	113	113	113	113
1949	USA	112	112	112	112	112	112	112	112
1948	USA	111	111	111	111	111	111	111	111
1947	USA	110	110	110	110	110	110	110	110
1946	USA	109	109	109	109	109	109	109	109
1945	USA	108	108	108	108	108	108	108	108
1944	USA	107	107	107	107	107	107	107	107
1943	USA	106	106	106	106	106	106	106	106
1942	USA	105	105	105	105	105	105	105	105
1941	USA	104	104	104	104	104	104	104	104
1940	USA	103	103	103	103	103	103	103	103
1939	USA	102	102	102	102	102	102	102	102
1938	USA	101	101	101	101	101	101	101	101
1937	USA	100	100	100	100	100	100	100	100
1936	USA	99	99	99	99	99	99	99	99
1935	USA	98	98	98	98	98	98	98	98
1934	USA	97	97	97	97	97	97	97	97
1933	USA	96	96	96	96	96	96	96	96
1932	USA	95	95	95	95	95	95	95	95
1931	USA	94	94	94	94	94	94	94	94
1930	USA	93	93	93	93	93	93	93	93
1929	USA	92	92	92	92	92	92	92	92
1928	USA	91	91	91	91	91	91	91	91
1927	USA	90	90	90	90	90	90	90	90
1926	USA	89	89	89	89	89	89	89	89
1925	USA	88	88	88	88	88	88	88	88
1924	USA	87	87	87	87	87	87	87	87
1923	USA	86	86	86	86	86	86	86	86
1922	USA	85	85	85	85	85	85	85	85
1921	USA	84	84	84	84	84	84	84	84
1920	USA	83	83	83	83	83	83	83	83
1919	USA	82	82	82	82	82	82	82	82
1918	USA	81	81	81	81	81	81	81	81
1917	USA	80	80	80	80	80	80	80	80
1916	USA	79	79	79	79	79	79	79	79
1915	USA	78	78	78	78	78	78	78	78
1914	USA	77	77	77	77	77	77	77	77
1913	USA	76	76	76	76	76	76	76	76
1912	USA	75	75	75	75	75	75	75	75
1911	USA	74	74	74	74	74	74	74	74
1910	USA	73	73	73	73	73	73	73	73
1909	USA	72	72	72	72	72	72	72	72
1908	USA	71	71	71	71	71	71	71	71
1907	USA	70	70	70	70	70	70	70	70
1906	USA	69	69	69	69	69	69	69	69
1905	USA	68	68	68	68	68	68	68	68
1904	USA	67	67	67	67	67	67	67	67
1903	USA	66	66	66	66	66	66	66	66
1902	USA	65	65	65	65	65	65	65	65
1901	USA	64	64	64	64	64	64	64	64
1900	USA	63	63	63	63	63	63	63	63
1899	USA	62	62	62	62	62	62	62	62
1898	USA	61	61	61	61	61	61	61	61
1897	USA	60	60	60	60	60	60	60	60
1896	USA	59	59	59	59	59	59	59	59
1895	USA	58	58	58	58	58	58	58	58
1894	USA	57	57	57	57	57	57	57	57
1893	USA	56	56	56	56	56	56	56	56
1892	USA	55	55	55	55	55	55	55	55
1891	USA	54	54	54	54	54	54	54	54
1890	USA	53	53	53	53	53	53	53	53
1889	USA	52	52	52	52	52	52	52	52
1888	USA	51	51	51	51	51	51	51	51
1887	USA	50	50	50	50	50	50	50	50
1886	USA	49	49	49	49	49	49	49	49
1885	USA	48	48	48	48	48	48	48	48
1884	USA	47	47	47	47	47	47	47	47
1883	USA	46	46	46	46	46	46	46	46
1882	USA	45	45	45	45	45	45	45	45
1881	USA	44	44	44	44	44	44	44	44
1880	USA	43	43	43	43	43	43	43	43
1879	USA	42	42	42	42	42	42	42	42
1878	USA	41	41	41	41	41	41	41	41
1877	USA	40	40	40	40	40	40	40	40
1876	USA	39	39	39	39	39	39	39	39
1875	USA	38	38	38	38	38	38	38	38
1874	USA	37	37	37	37	37	37	37	37
1873	USA	36	36	36	36	36	36	36	36
1872	USA	35	35	35	35	35	35	35	35
1871	USA	34	34	34	34	34	34	34	34
1870	USA	33	33	33	33	33	33	33	33
1869	USA	32	32	32	32	32	32	32	32
1868	USA	31	31	31	31	31	31	31	31
1867	USA	30	30	30	30	30	30	30	30
1866	USA	29	29	29	29	29	29	29	29
1865	USA	28	28	28	28	28	28	28	28
1864	USA	27	27	27	27	27	27	27	27
1863	USA	26	26	26	26	26	26	26	26
1862	USA	25							

[illegible]

Software Gen3 version: release 16/09 page 1 of 3

GARDCO
by **iSignify**

Garage & Canopy
SoftView
SVPG with comfort optics

LED

Gardco SoftView LED parking garage luminaires feature edge lit technology providing visual comfort with minimal glare to enhance the user experience. An added uplight feature reduces the cave effect for an increased sense of security. **SoftView** features multiple optical distributions, lumen packages and mounting options providing you with the ideal solution for your garage lighting and low bay needs. Optional emergency battery backup available for path of egress lighting and is integral to the luminaire.

Ordering guide **example:** SVPG-A06-B40-5RD-SUR-UNV-3LBT-L3-SF2-MG

				Cables									
SPEAKER		SUBWOOFER		RECEIVER		AMPLIFIER		TUNER		DECODE		SPEAKER	
MODEL	PRICE	MODEL	PRICE	MODEL	PRICE	MODEL	PRICE	MODEL	PRICE	MODEL	PRICE	MODEL	PRICE
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Tuner	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Decoder	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Tuner	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Decoder	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Tuner	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Decoder	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Tuner	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Decoder	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Tuner	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Decoder	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Speaker	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Receiver	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
Amplifier	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
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Subwoofer	\$499	SRD	\$199	REX	\$199	NRW	\$199	NRW	\$199	NRW	\$199	NRW	\$199
													

[illegible]

SelfView_Den3_parking_garage_Jun19are 05/23 page 1 of 2

Day-Brite / CFI FluxStream EZ LED Strip is a high performing luminaire delivering smooth diffuse light ideal for light industrial, commercial and residential applications with unparalleled energy efficiency.

[illegible]

Footnotes

1 Nominal delivered lumens at 25°C ambient.

2 E is tandem (2) 4" lenses with single piece E' body.

3 EMLD on E' model illuminates 4" section in emergency mode.

4 Future to propose adding the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies.

5 Consult Sigphy to confirm whether specific accessories are BAA-compliant.

Accessories⁸ (order separately)

- **FSD4L** - 4" Diffuse replacement lens (order 2 for 8" models)
- **LSXR0** - Low bay PIR motion sensor, 120-277V
- **FSDWG4** - 4" Wire guard (order two for 8" model)
- **FSTH** - Sliding hanger bracket (set of 2)

(See last page for details and more options)

General notes

Many luminaire components, such as reflectors, refractors, lenses, sockets, lampholders, and LEDs are made from various types of plastics which can be adversely affected by airborne contaminants. If sulfur based chemicals, petroleum based products, cleaning solutions, or other contaminants are expected in the intended area of use, consult factory for compatibility.

PAF (Paint after fabrication) option is required for all products that will be used in a damp or humid location, such as under a canopy or covered parking area.



3100 East Washington
Madison, WI 53703

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

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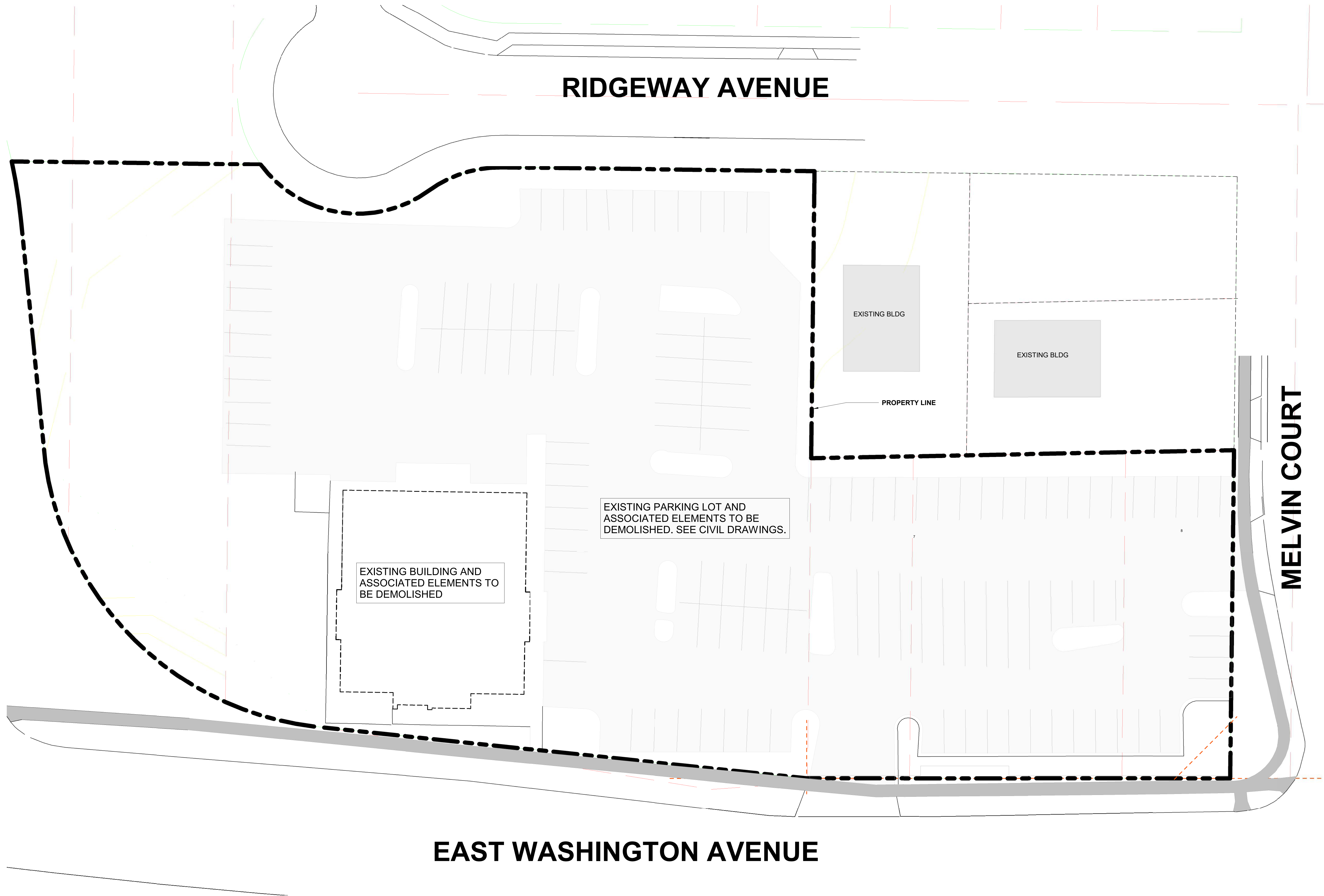
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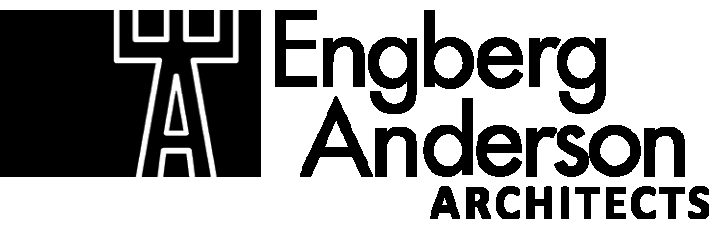
DEMO SITE PLAN



MADISON - 3100 EAST WASHINGTON DEVELOPMENT DATA								
UNIT TOTALS (UNIT MIX 44.8% 1-BD & 55.2% 2-BD)							PROJECT GROSS SQUARE FOOTAGES	
	STUDIO	1BR	2BR	3BR	TOTAL			
1ST FL	0	14	17	0	31		BLDG 01	GSF / FLOOR
2ND FL	0	18	22	0	40		LL	43,374
3RD FL	0	18	22	0	40		1ST FL	42,365
4TH FL	0	18	22	0	40		2ND FL	42,291
5TH FL	0	18	23	0	41		3RD FL	42,291
SUBTOTAL	0	86	106	0			4TH FL	42,291
TOTAL					192		5TH FL	42,291
PARKING TOTALS (UNIT TO STALL RATIO 1:0.74)					BIKE PARKING			
							TOTAL	254,903 GSF
LOWER LEVEL		89		192				
SURFACE		53		26 GUEST SPACES				
TOTAL		142						

GENERAL NOTES - ZONING			
CITY OF MADISON			
1. COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT 2. TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT			
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER ZONING	89 (LOWER LEVEL)	
		53 (SURFACE)	
BIKE PARKING	1 PER BEDROOM (UP TO 280) + 1 GUEST SPACE PER 10 UNITS	142	TOTAL PARKING SPACES: 17
		192 LONG TERM	
		26 GUEST	
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 10% EV INSTALLED SPACES: 2%	218	1 EV INSTALLED SPACE TO BE ACCESSIBLE
		14 EV READY	
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 281 28.129	ALL GLAZING PANELS ARE UNDER 50 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

GENERAL NOTES - ZONING			
CITY OF MADISON			
1. COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT 2. TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT			
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	500 SQ. FT./ UNIT	501 SQ. FT./ UNIT	PER CCT DISTRICT
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	190.87 LENGTH
FRONT YARD SETBACK	0' (CCT DISTRICT) 30% OF FACADE @ 20 FT.(TOD)	18' (E. WASHINGTON) 0' (30% OF E. WASH & MELVIN)	MAJORITY OF E. WASHINGTON IS 18' FROM PROPERTY LINE. PROPERTY LINE IS >15' FROM STREET
SIDE YARD SETBACK	10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LOTS
REAR YARD SETBACK	20 FT	20'-0"	RIDGEWAY AVENUE
MAXIMUM LOT COVERAGE	85% (MAX.)	44%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	5 STORIES	5 STORIES	PER CCT
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED PER CCT: 40 SF/UNIT (40'192= 7,680 SF)	GRADE LEVEL >8500 SQ FT	192 UNITS



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KENOSHA, WI 53142

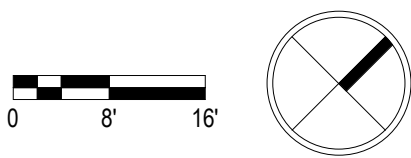
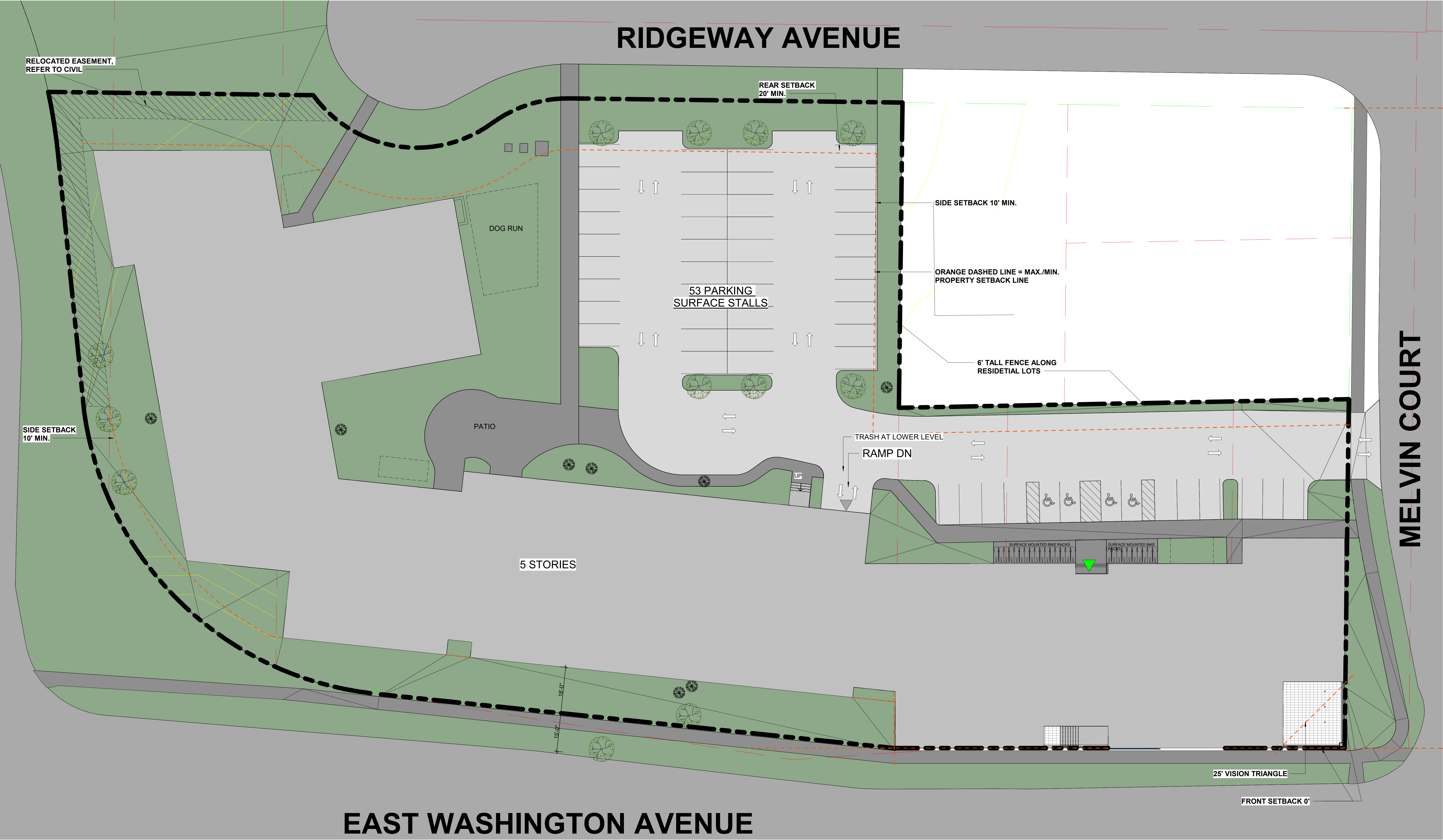
PROJECT NUMBER 233606.00

ISSUED FOR:
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ARCHITECTURAL SITE PLAN



G002

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
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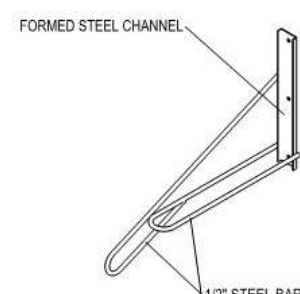
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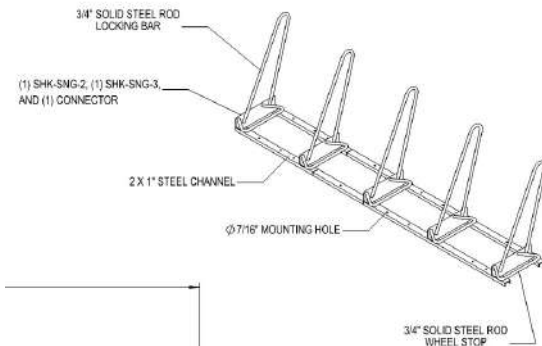
LOWER LEVEL PLAN

UNDERGROUND BIKE RACK INFO

1. WALL MOUNT VERTICAL BIKE RACK. POWDER COATED STEEL.
BASIS OF DESIGN: MADRAX BSV-1-WM

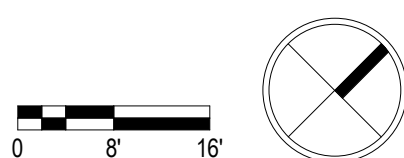
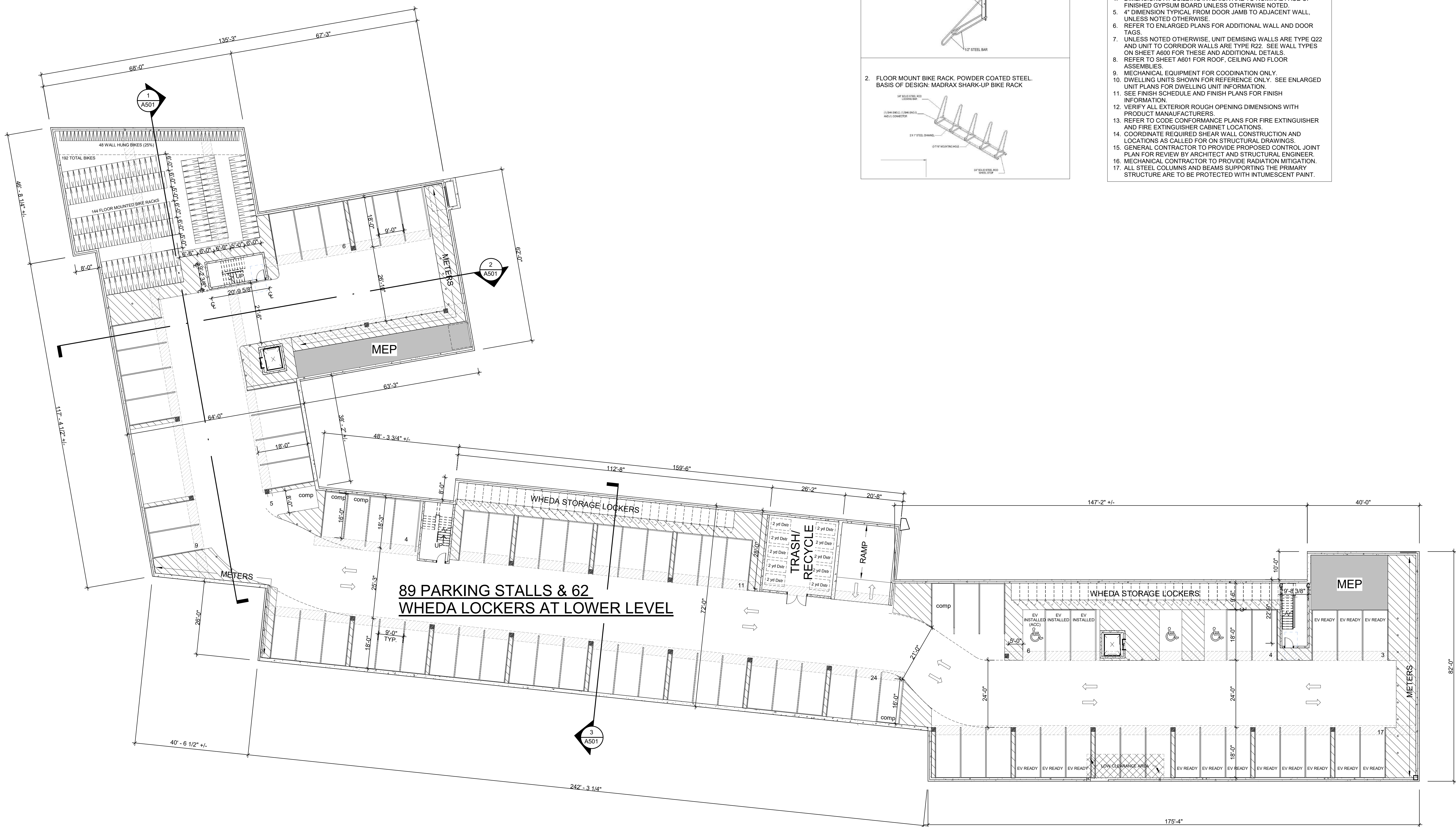


2. FLOOR MOUNT BIKE RACK. POWDER COATED STEEL.
BASIS OF DESIGN: MADRAX SHARK-UP BIKE RACK



GENERAL NOTES - FLOOR PLANS

1. 591'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COODINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



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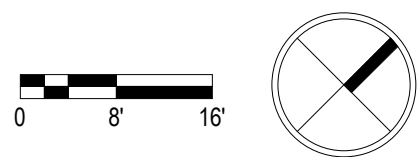
FIRST FLOOR PLAN

GENERAL NOTES - FLOOR PLANS

- 867'-0" CIVIL = 100'-0" ARCHITECTURAL
- DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
- DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
- DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
- 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
- UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
- REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
- MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
- DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
- VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
- REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
- COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
- GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
- MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
- ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



1 LEVEL ONE
SCALE: 1/16" = 1'-0"



A101

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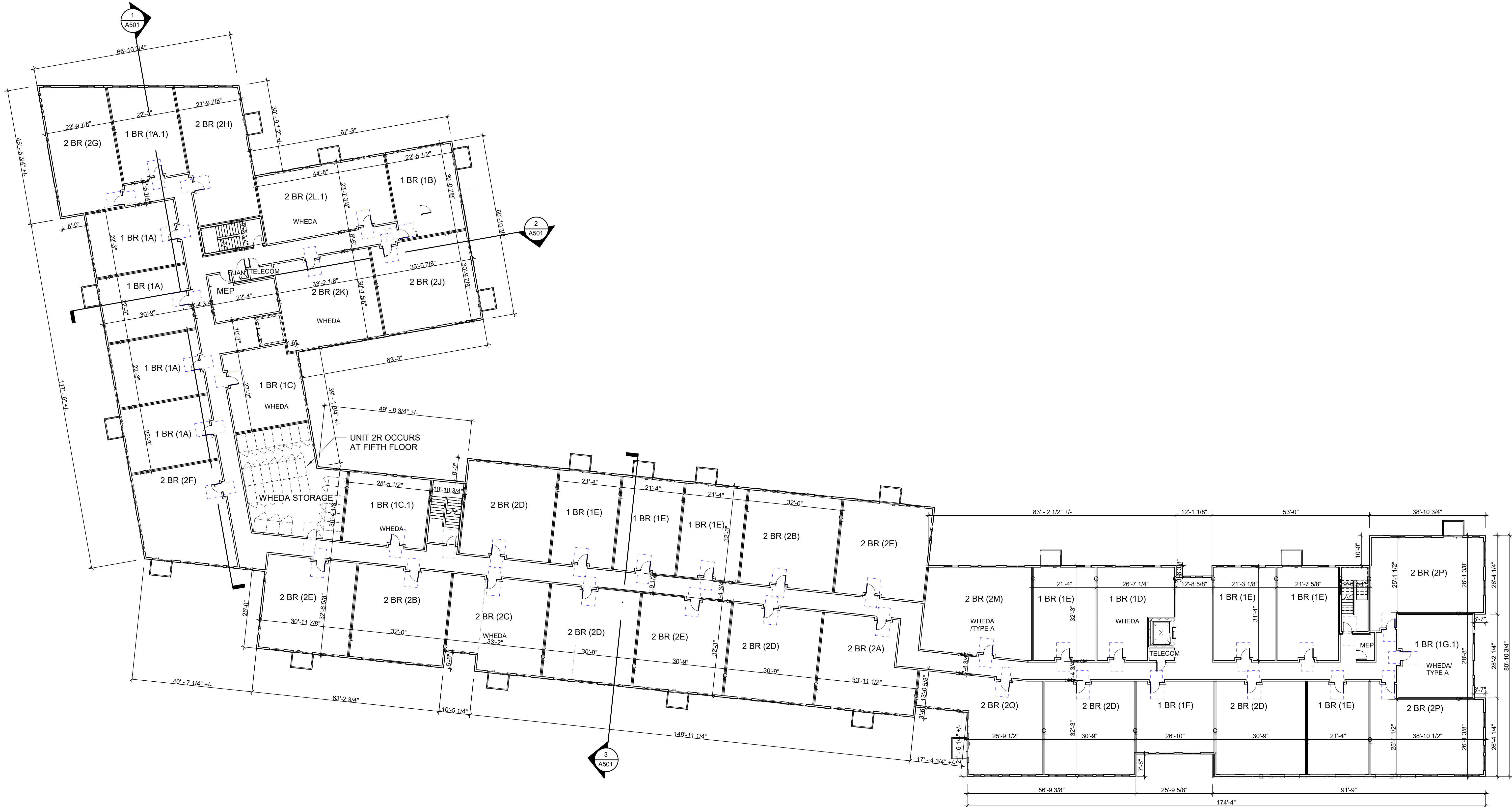
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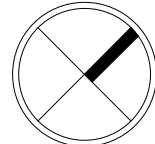
TYPICAL FLOOR PLAN

GENERAL NOTES - FLOOR PLANS

1. 887'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES
9. MECHANICAL EQUIPMENT FOR COODINATION ONLY
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION
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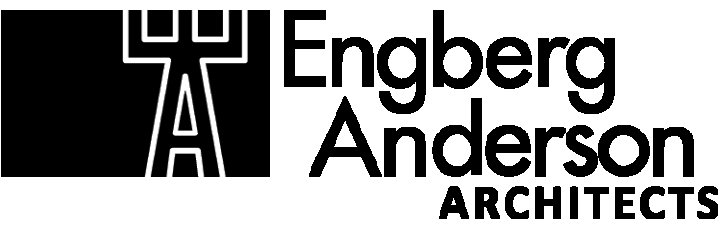


1 LEVEL TWO
SCALE: 1/16" = 1'-0"

A102

GENERAL NOTES - ROOF PLAN

- 1. ALL ROOF EQUIPMENT TO BE CENTRALIZED AT THE MIDDLE OF ROOF. NOTHING TO BE LOCATED WITHIN 10 FEET OF THE ROOF EDGE. GUARDRAILS ARE REQUIRED AT ROOF EDGES WHEN MECHANICAL EQUIPMENT, HATCHES, ETC. ARE CLOSER THAN 10 FEET FROM ROOF EDGE.
- 2. SLOPE ROOF TO DRAINS, TYPICAL.
- 3. ROOF DRAINS SHOWN FOR INTENT ONLY. FINAL DESIGN AND QUANTITIES TO BE PROVIDED BY DESIGN-BUILD CONTRACTOR & COORDINATED WITH ROOFER.
- 4. SOLAR PANELS BY OWNER.



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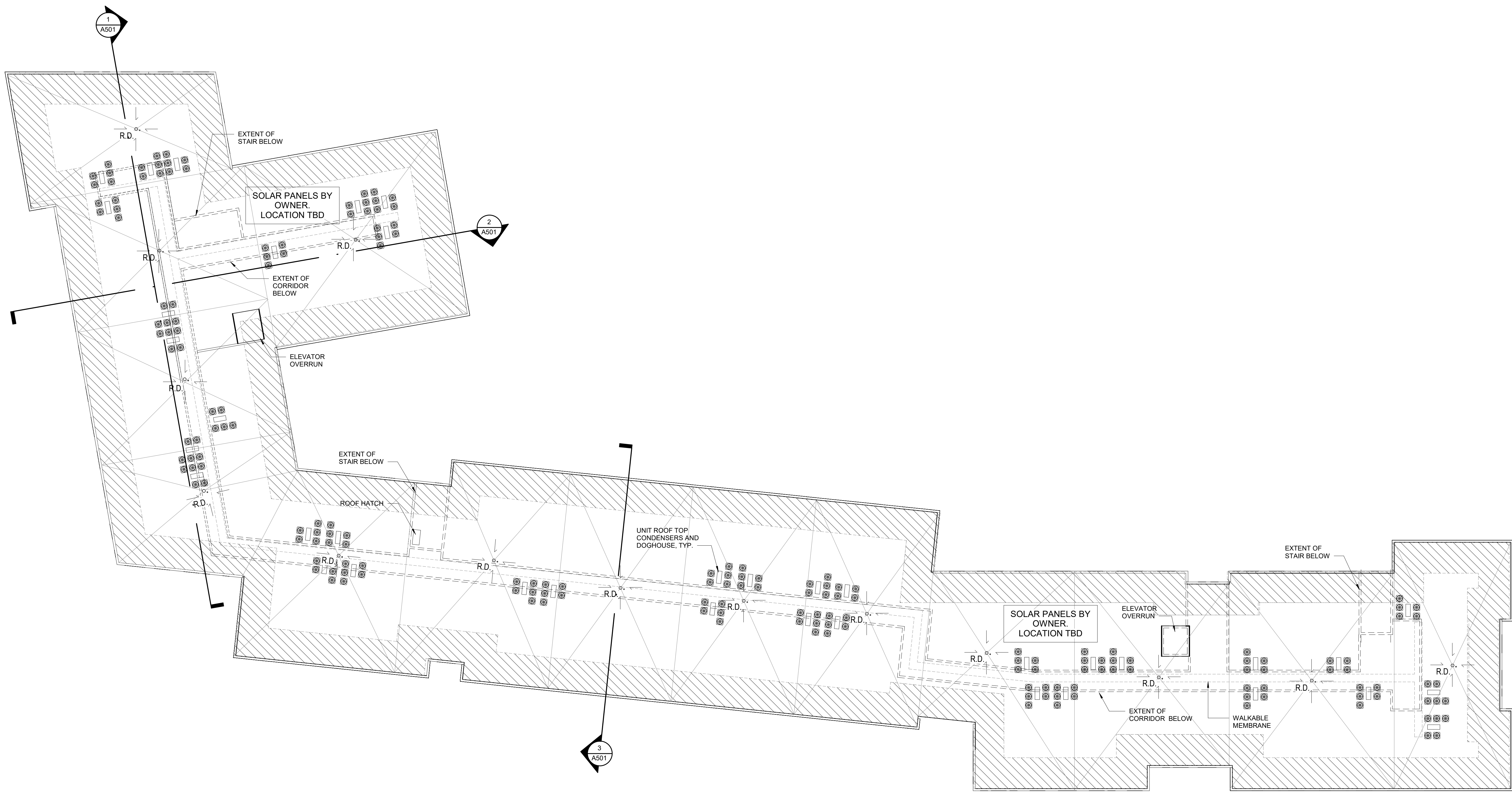
PROJECT NUMBER 233606.00

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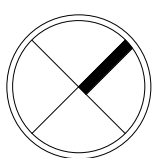
LAND USE APPLICATION 08/07/23

REVISION FOR:

NO.	DESCRIPTION	DATE
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1 ROOF
SCALE: 1/16" = 1'-0"



DRAWN BY Author

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ROOF PLAN

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

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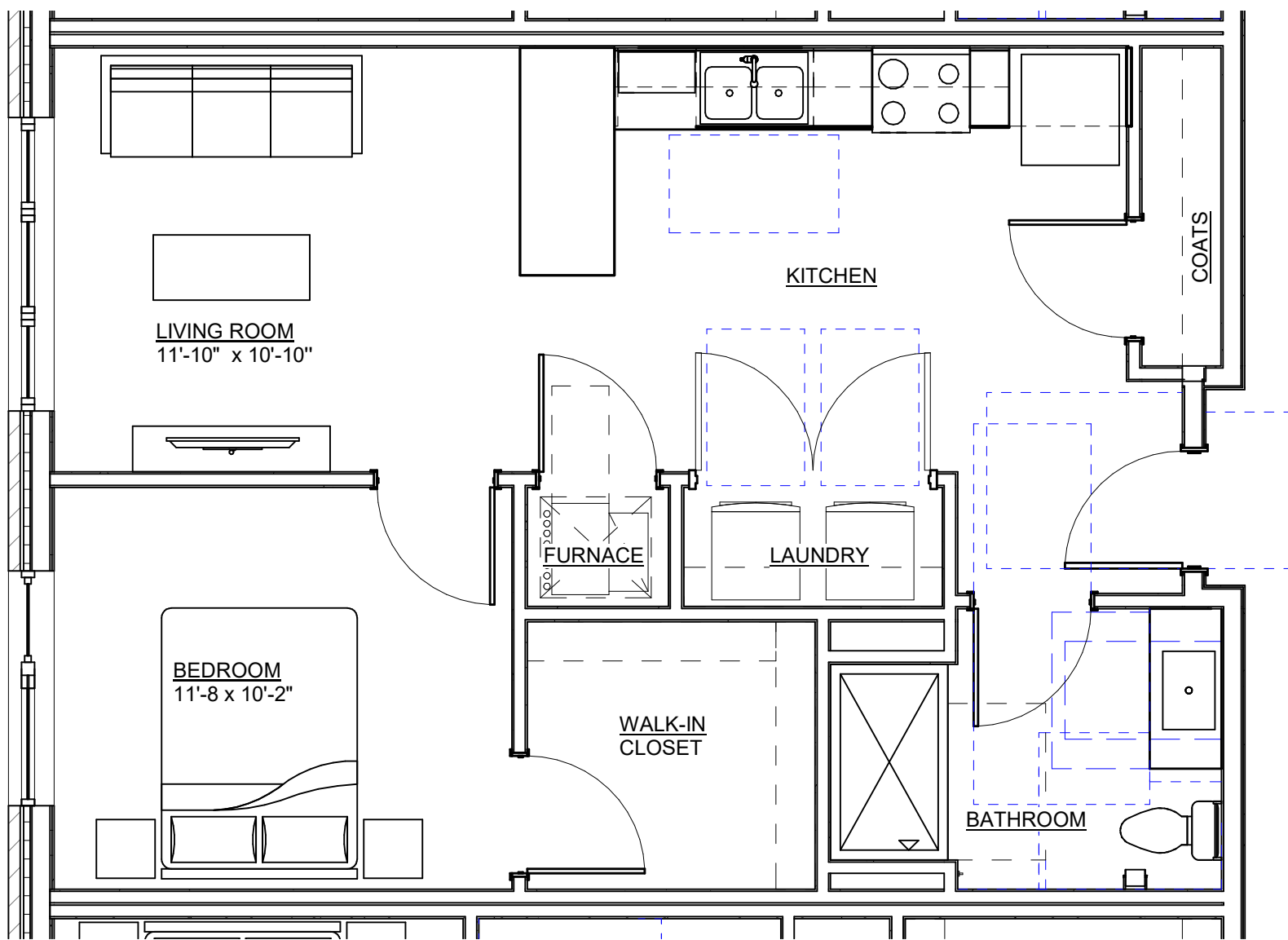
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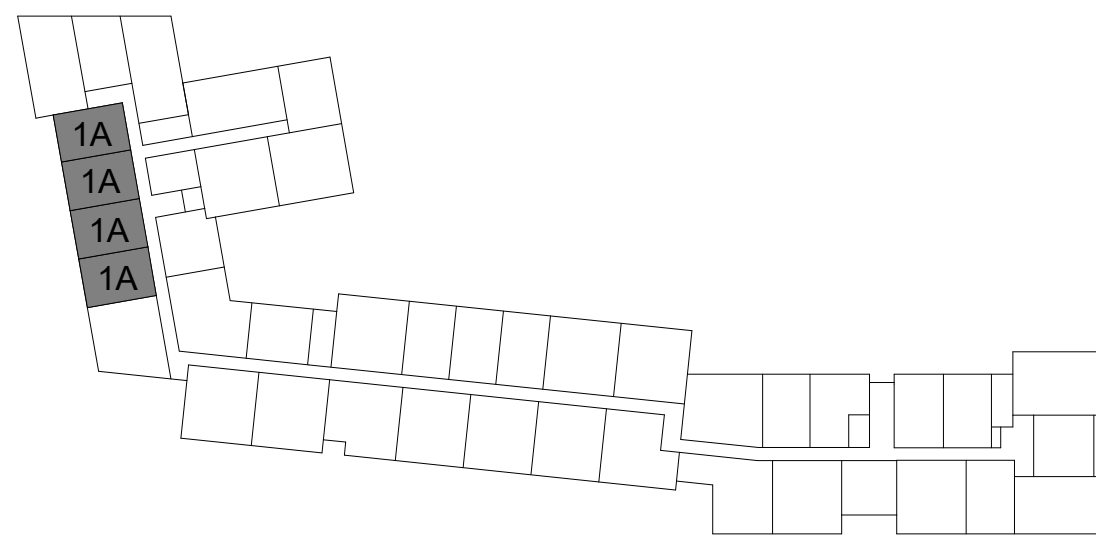
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ENLARGED UNIT PLANS

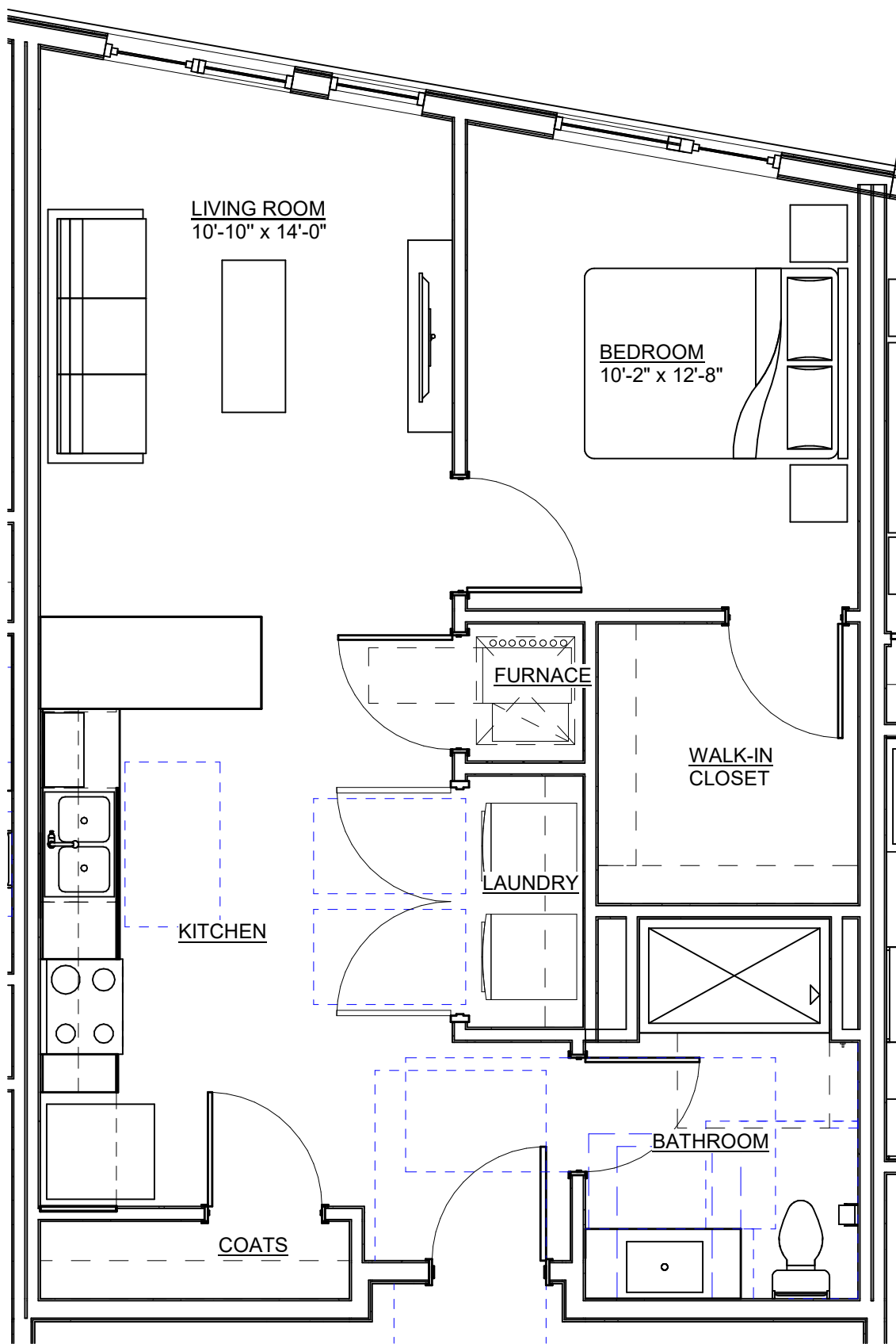
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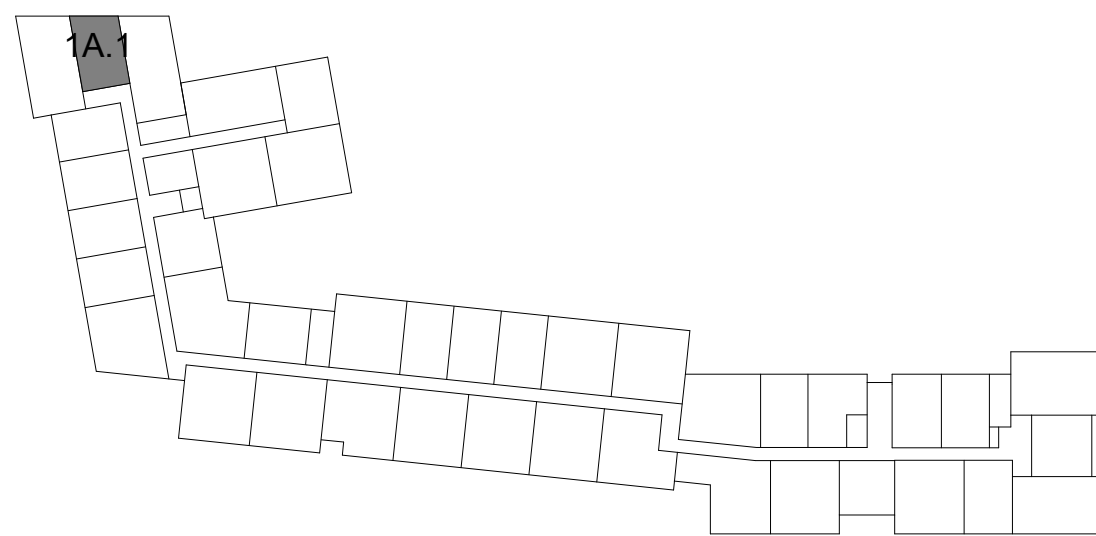
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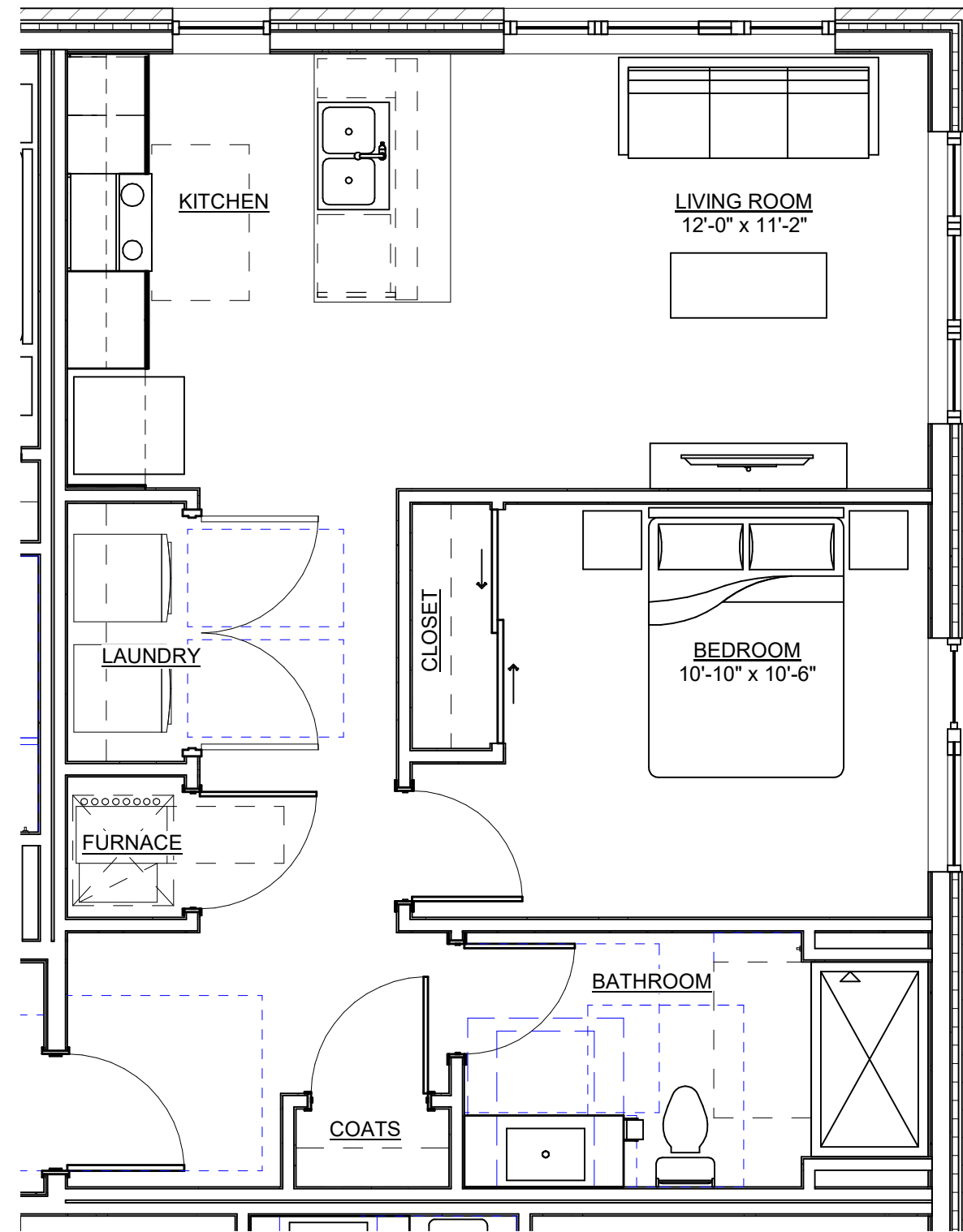
LEVEL 1-5
Plan North



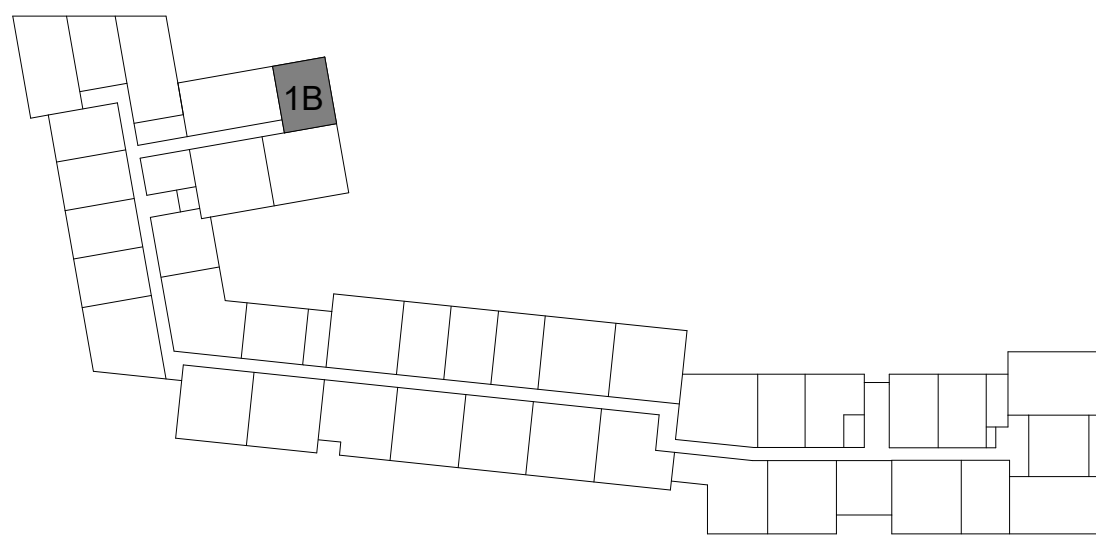
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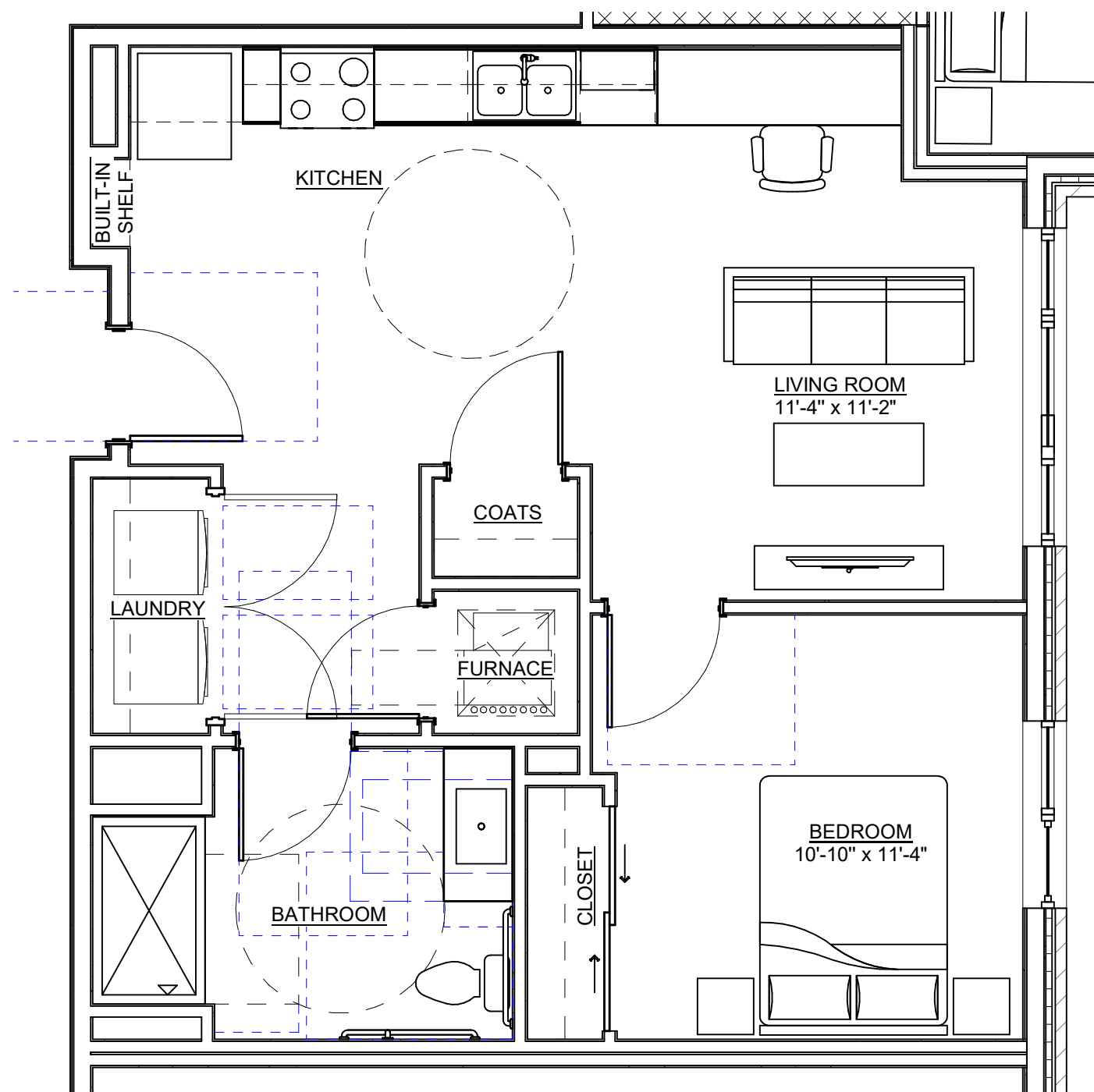
LEVEL 1-5
Plan North



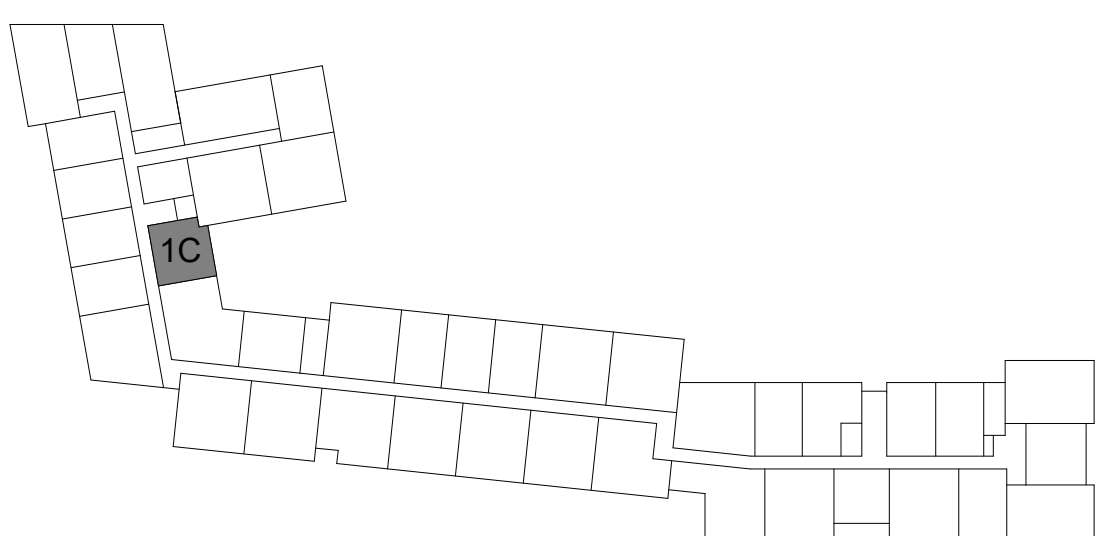
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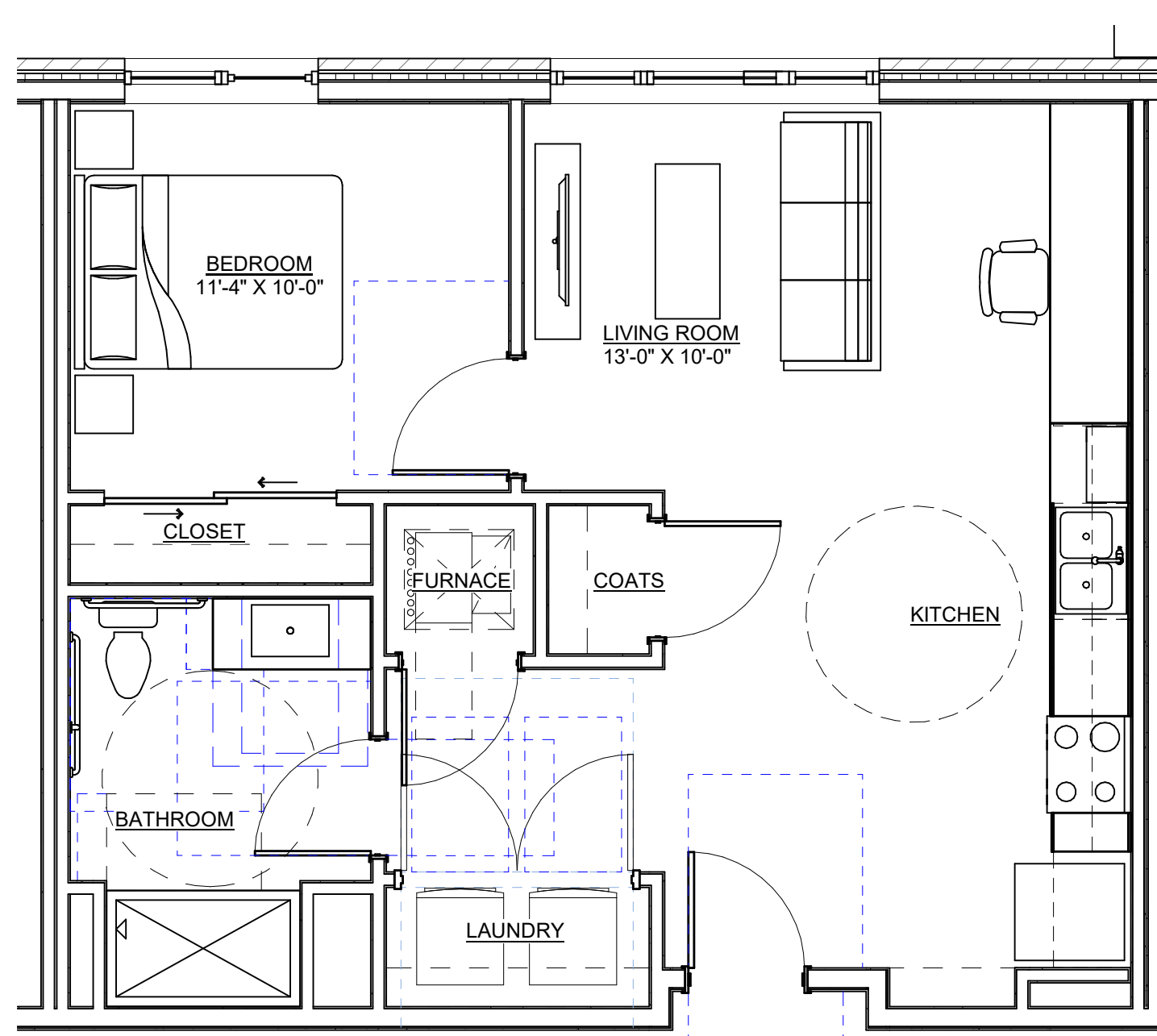
LEVEL 1-5
Plan North



4 UNIT 1C - WHEDA
SCALE: 1/4" = 1'-0"



LEVEL 1-5
Plan North



5 UNIT 1C.1 - WHEDA
SCALE: 1/4" = 1'-0"



LEVEL 1-5
Plan North

GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
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6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
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12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
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21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

- SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
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KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

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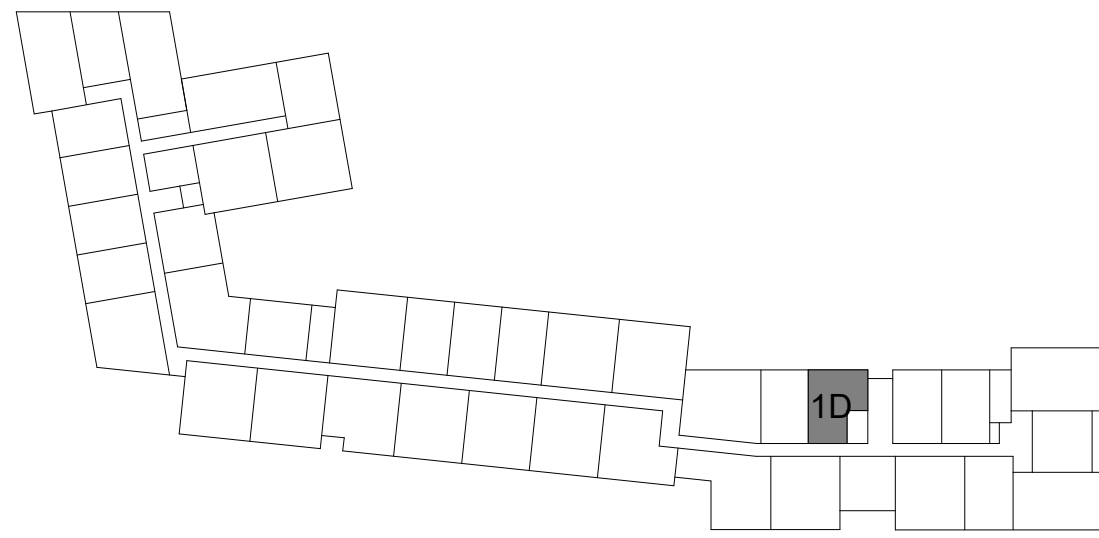
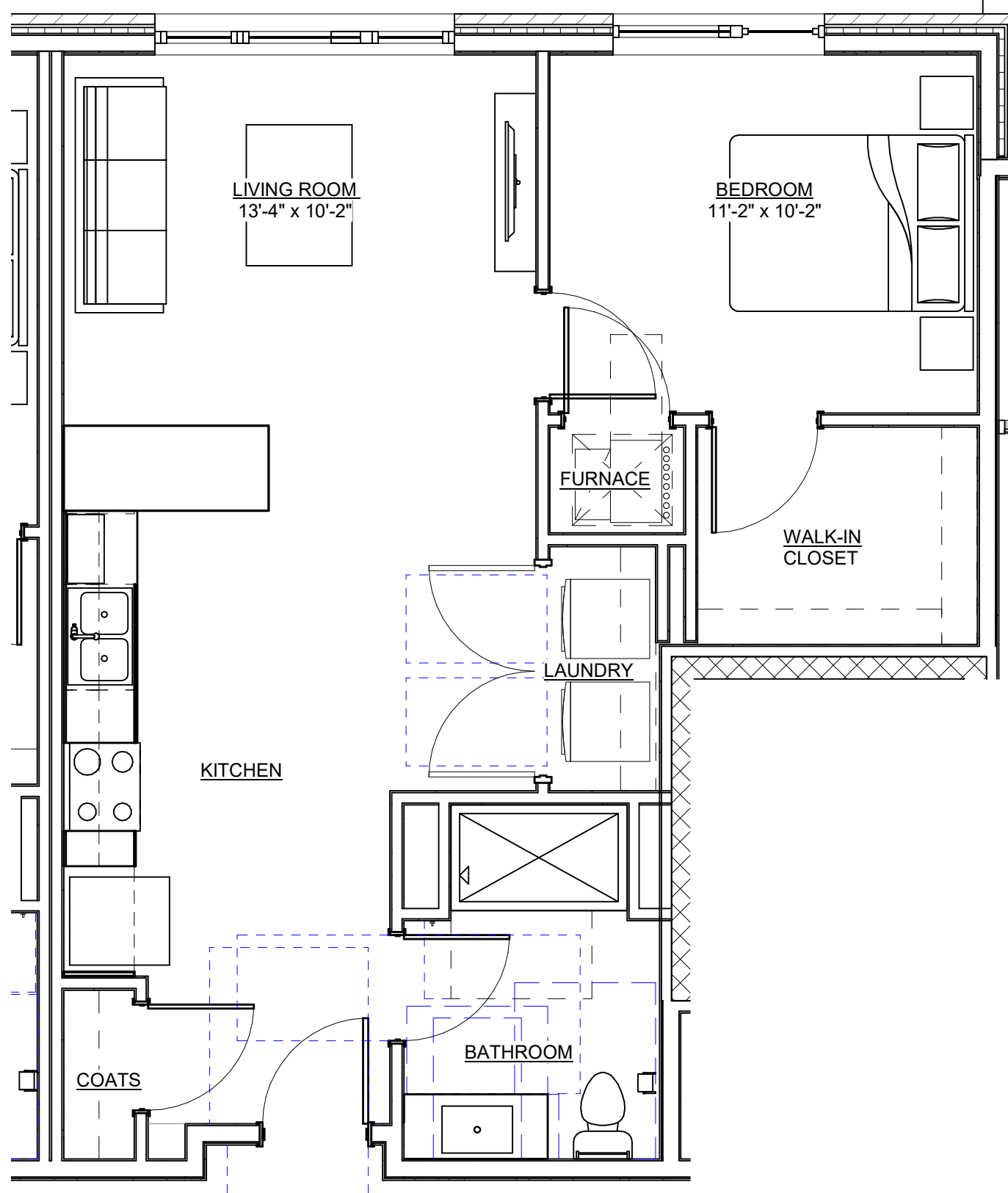
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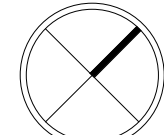
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ENLARGED UNIT PLANS

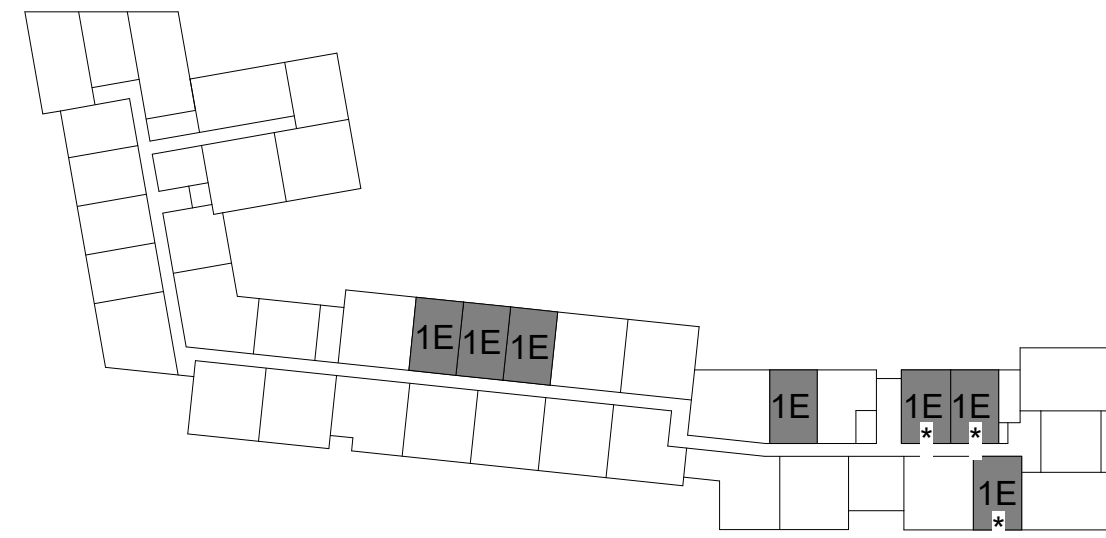
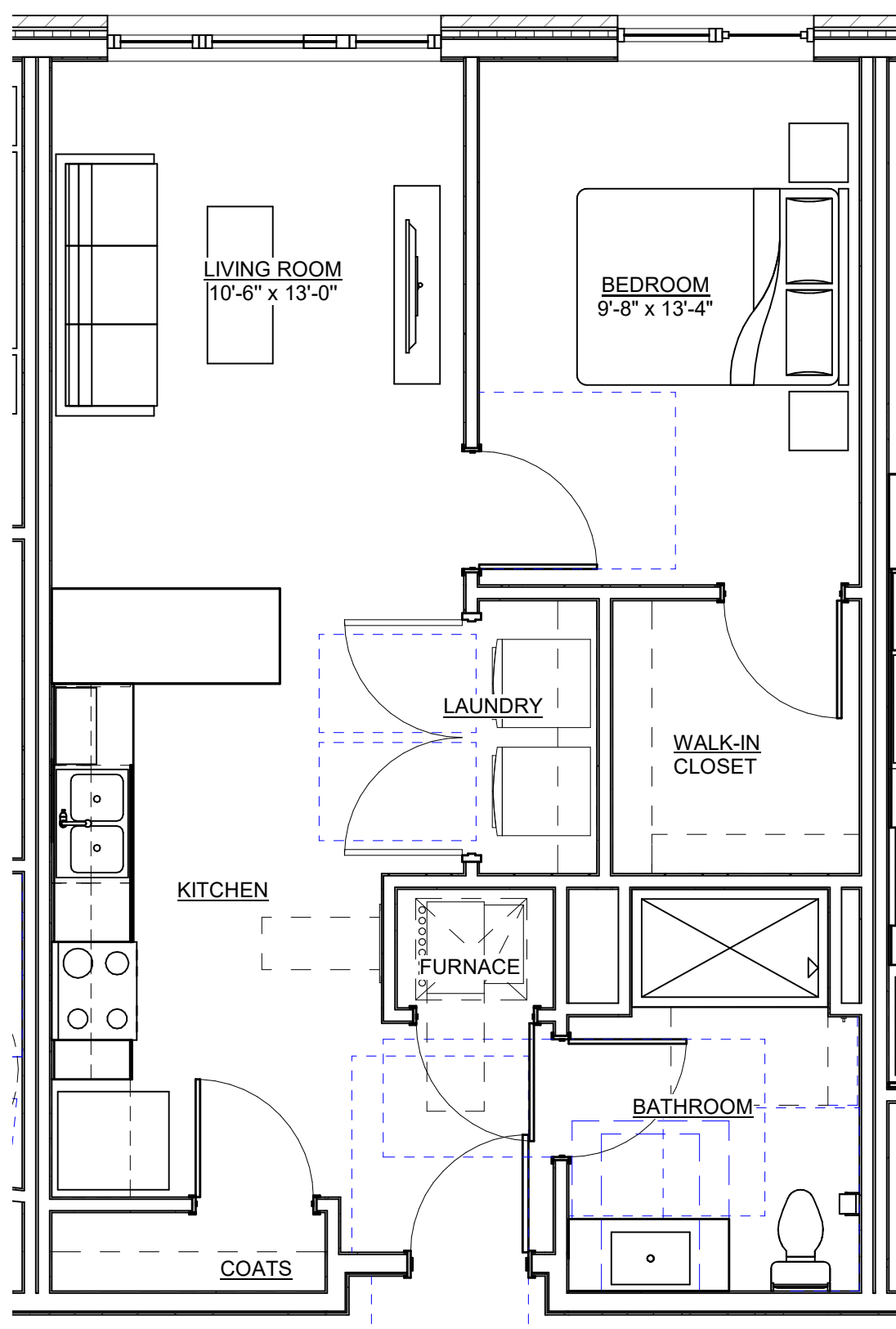
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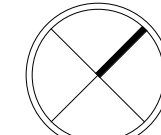
LEVEL 1-5



Plan North



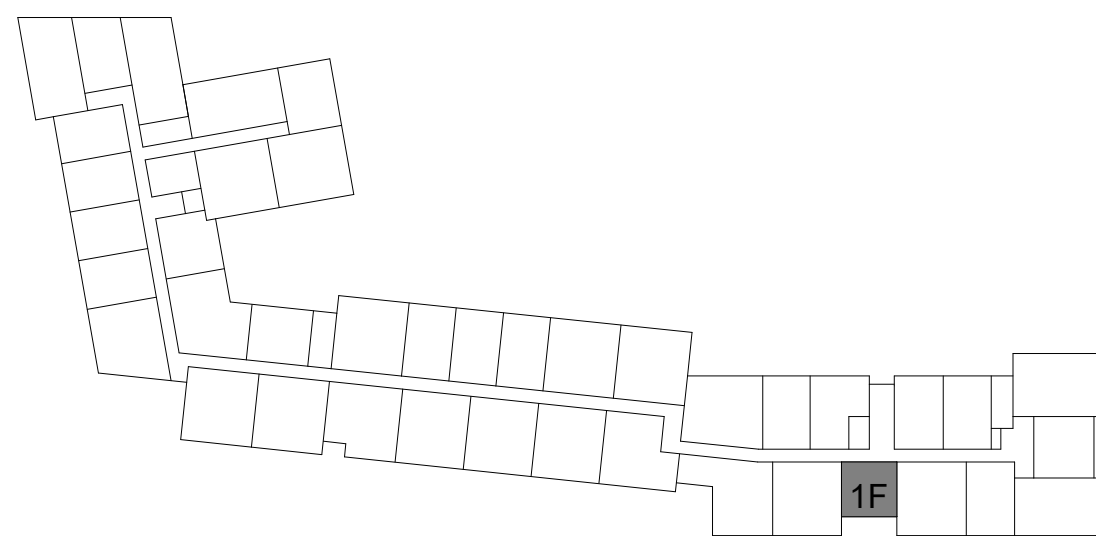
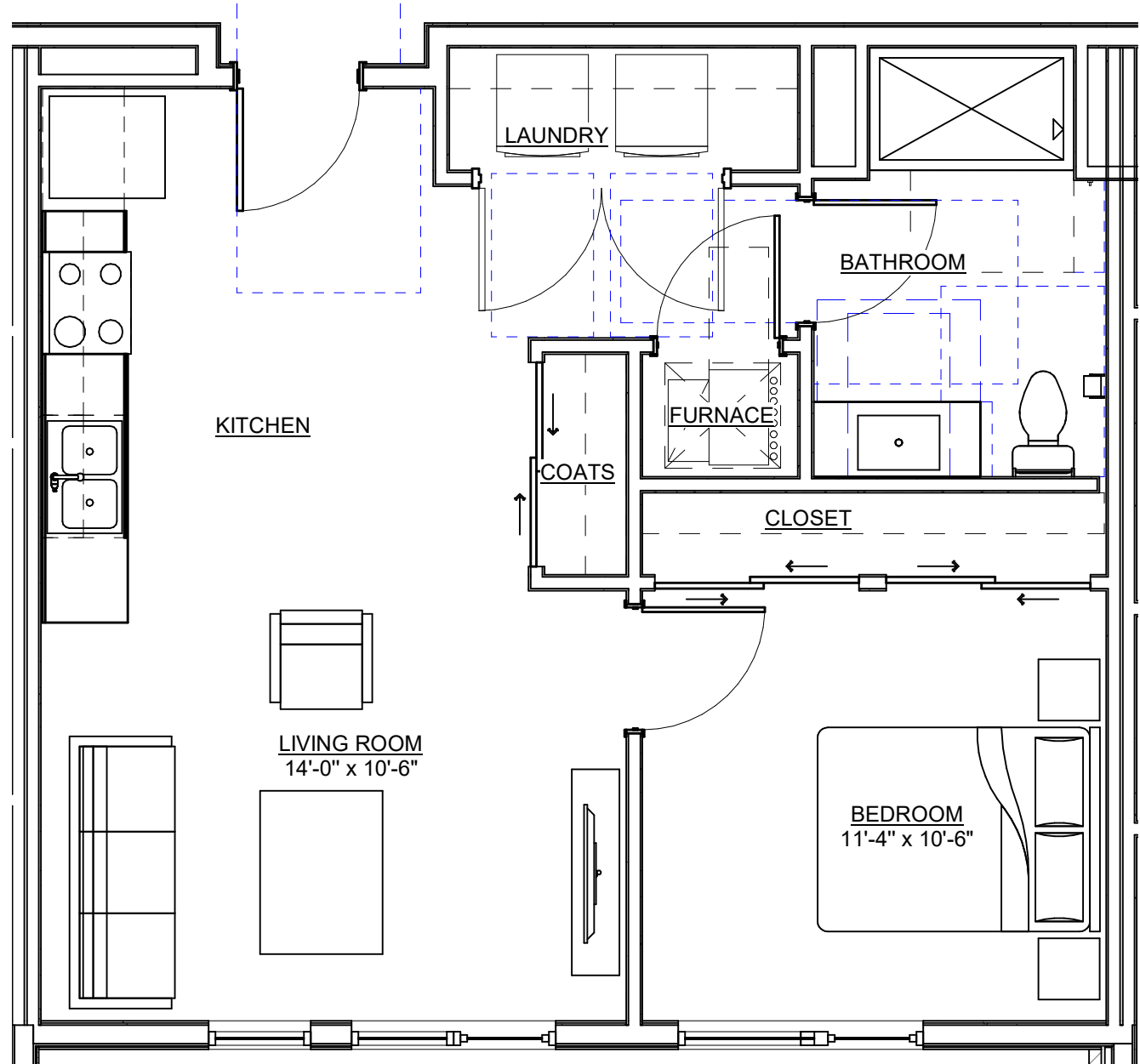
LEVEL 1-5



Plan North

1 UNIT 1D - WHEDA
SCALE: 1/4" = 1'-0"

3 UNIT 1E
SCALE: 1/4" = 1'-0"



LEVEL 2-5



Plan North

2 UNIT 1F
SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
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3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q22 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
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12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED. SEE SHEET A600.
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KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

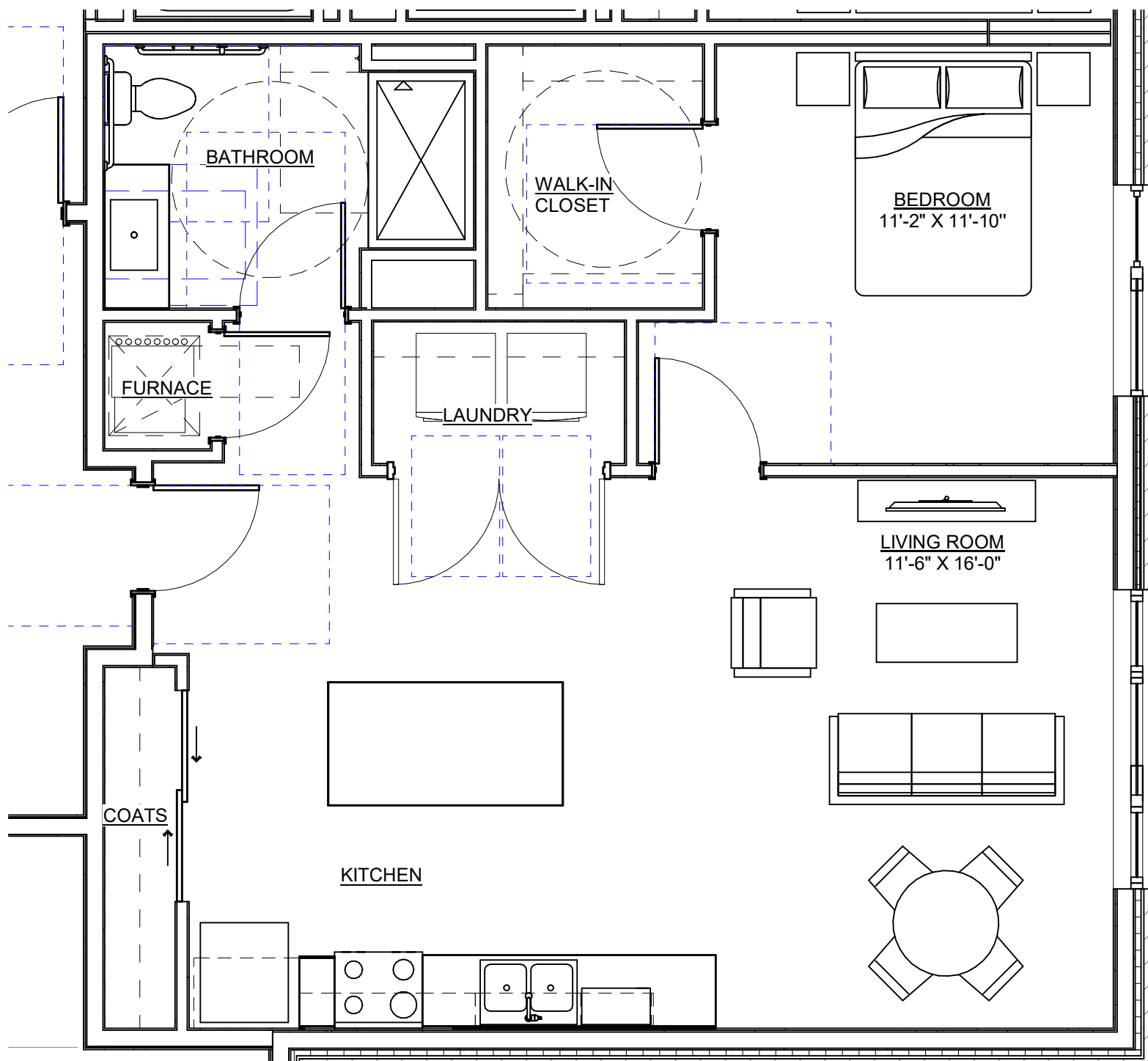
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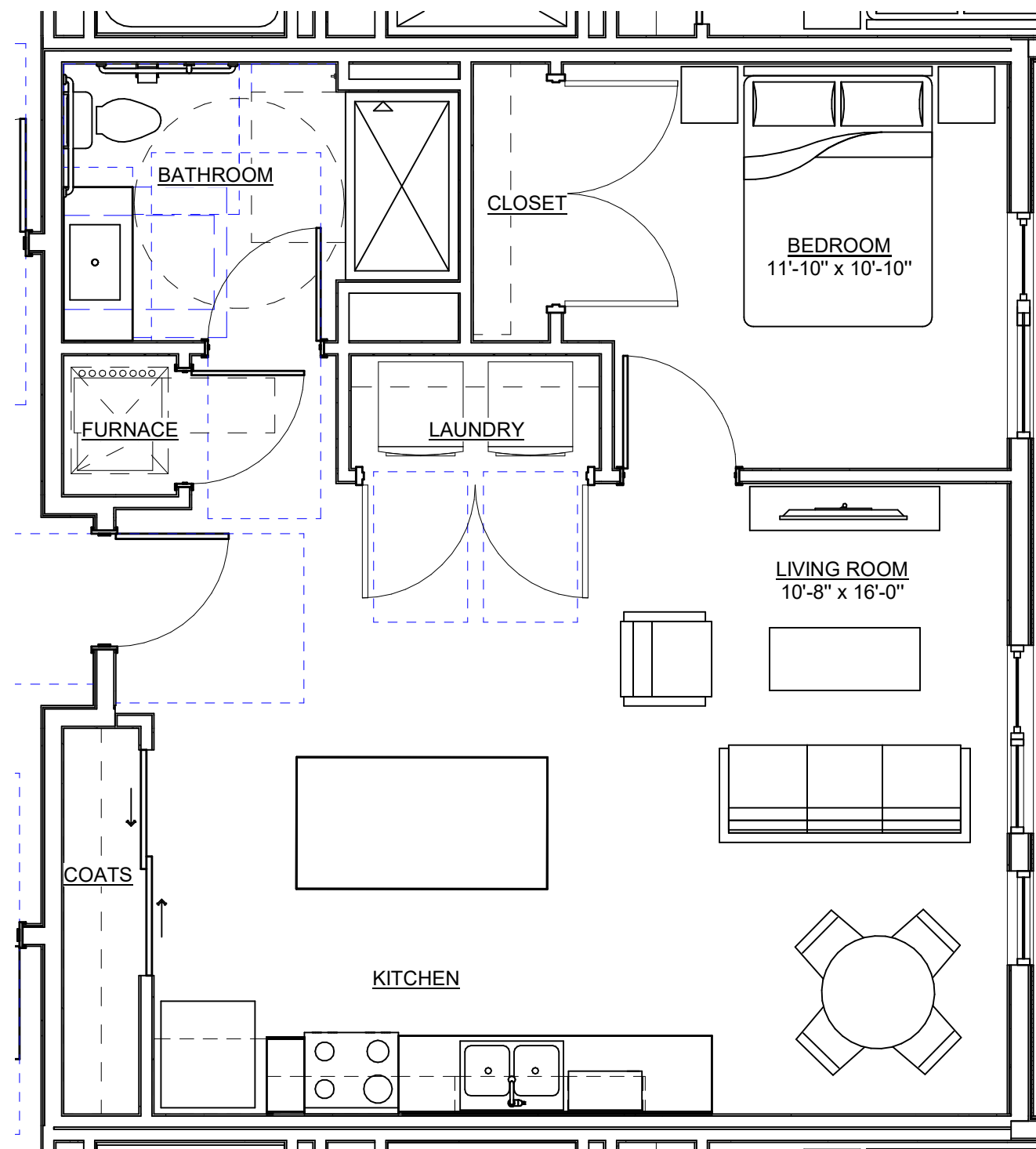
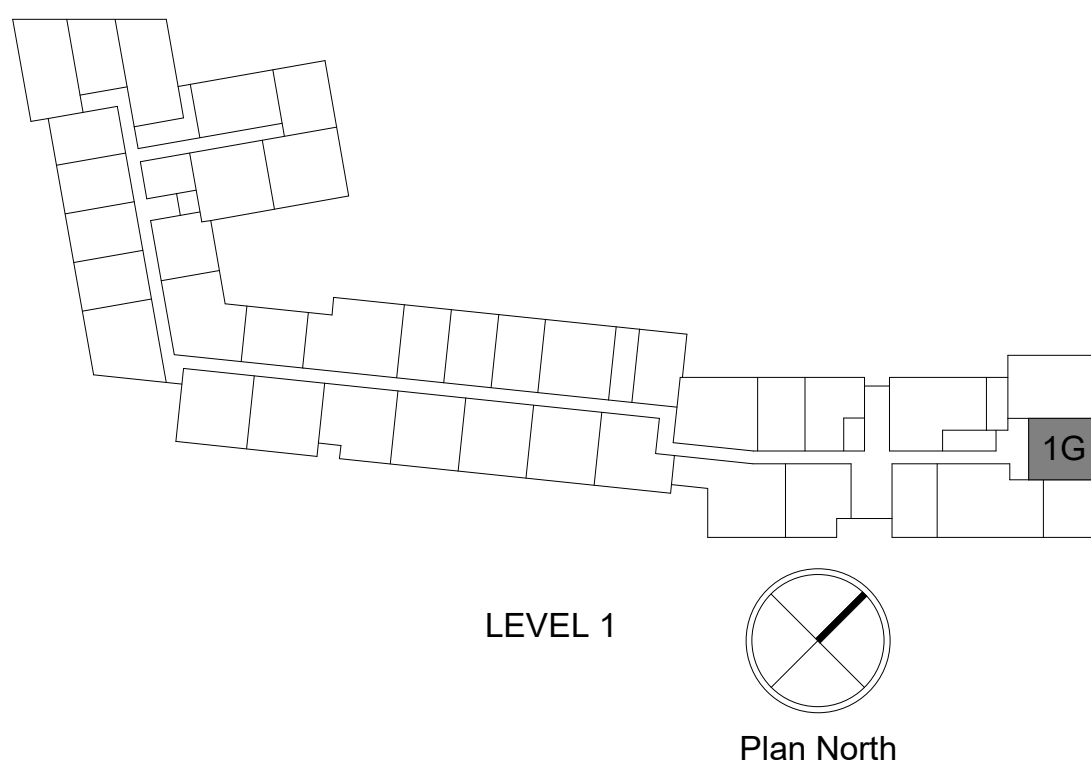
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ENLARGED UNIT PLANS

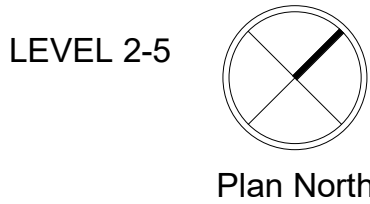
A302



1 UNIT 1G - WHEDA
SCALE: 1/4" = 1'-0"



2 UNIT 1G.1 - WHEDA/ TYPE A
SCALE: 1/4" = 1'-0"



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4. ALL WALLS TO BE 002 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
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3100 E WASHINGTON AVENUE
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OWNER
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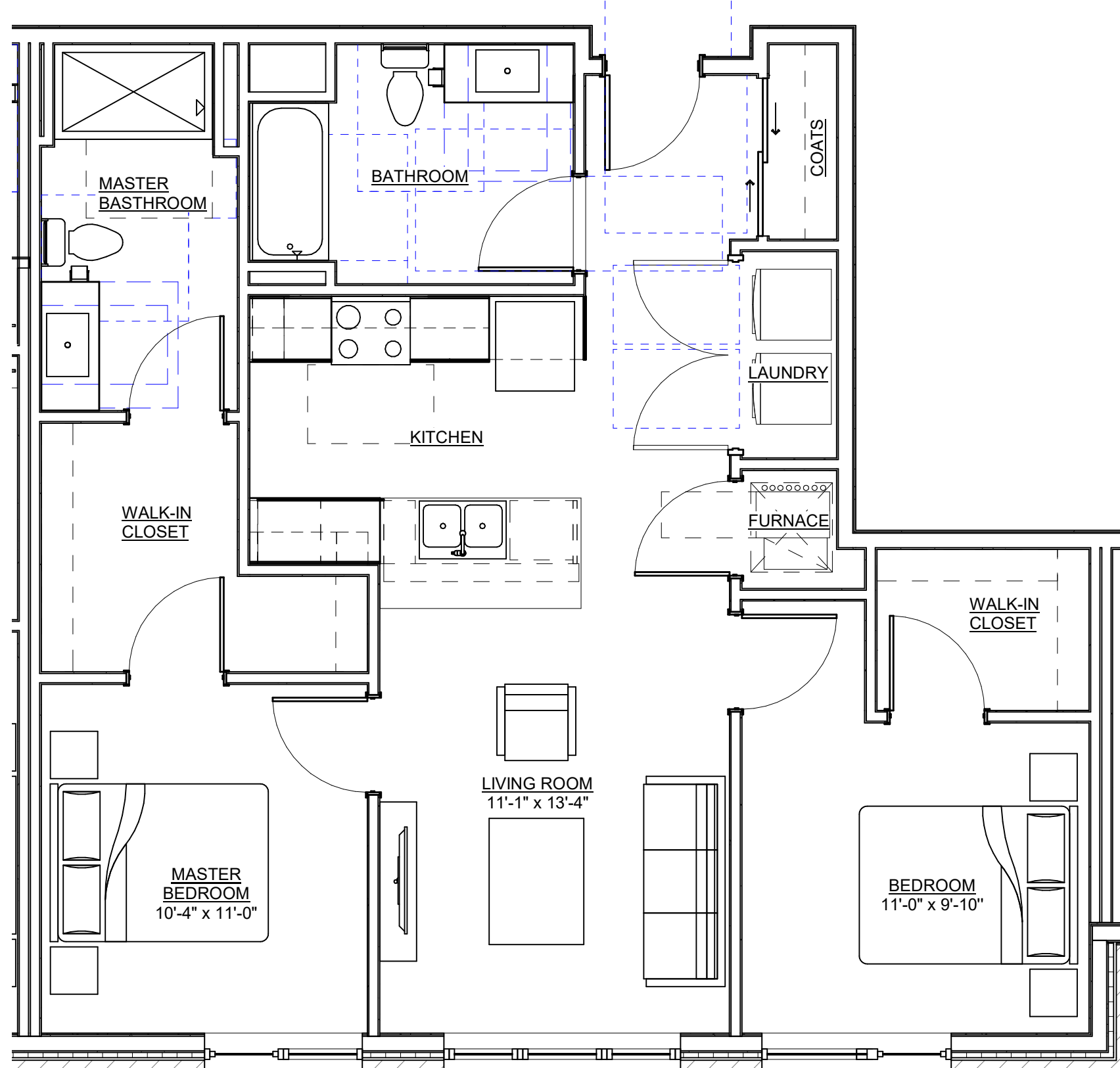
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ENLARGED UNIT PLANS

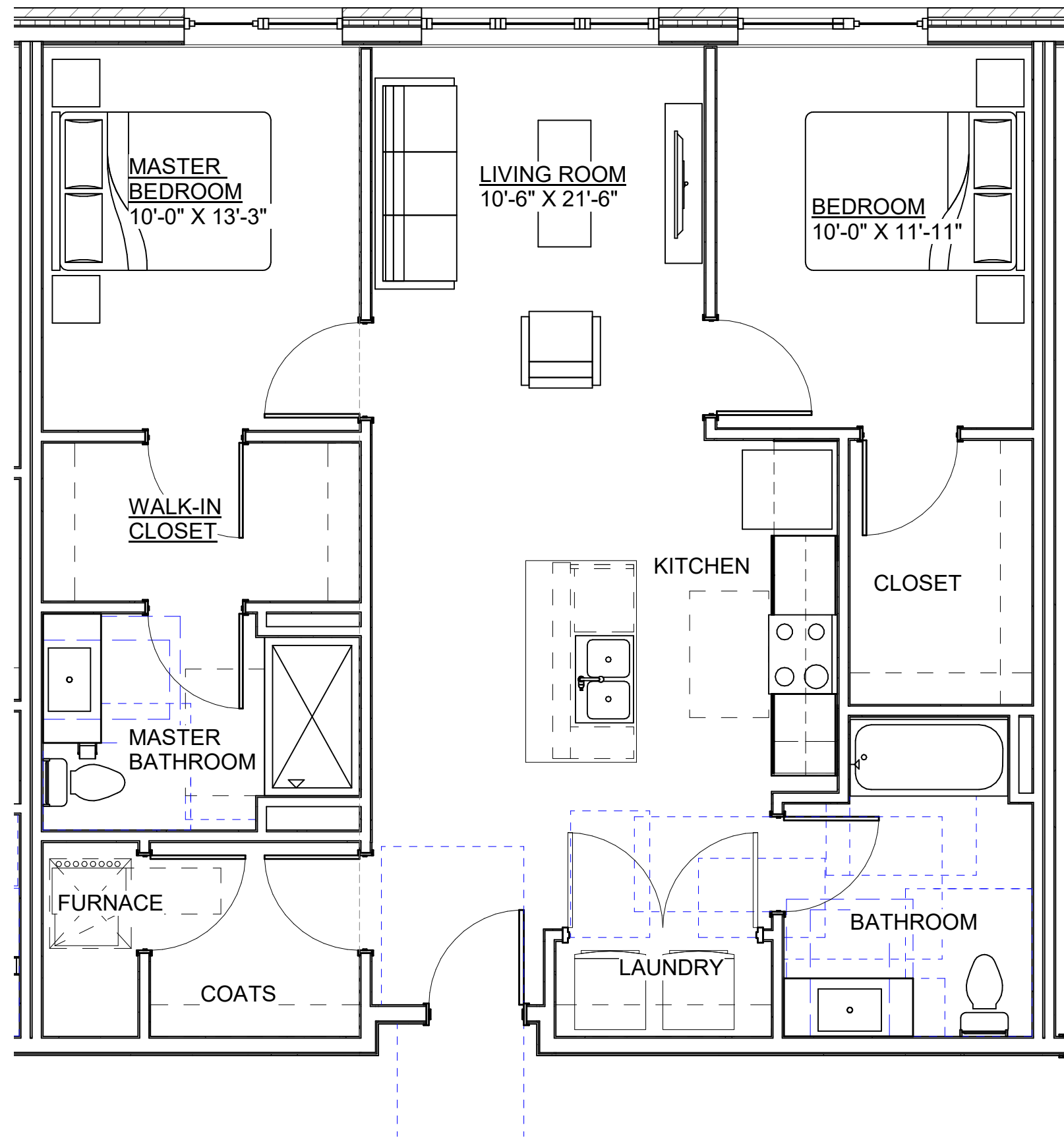
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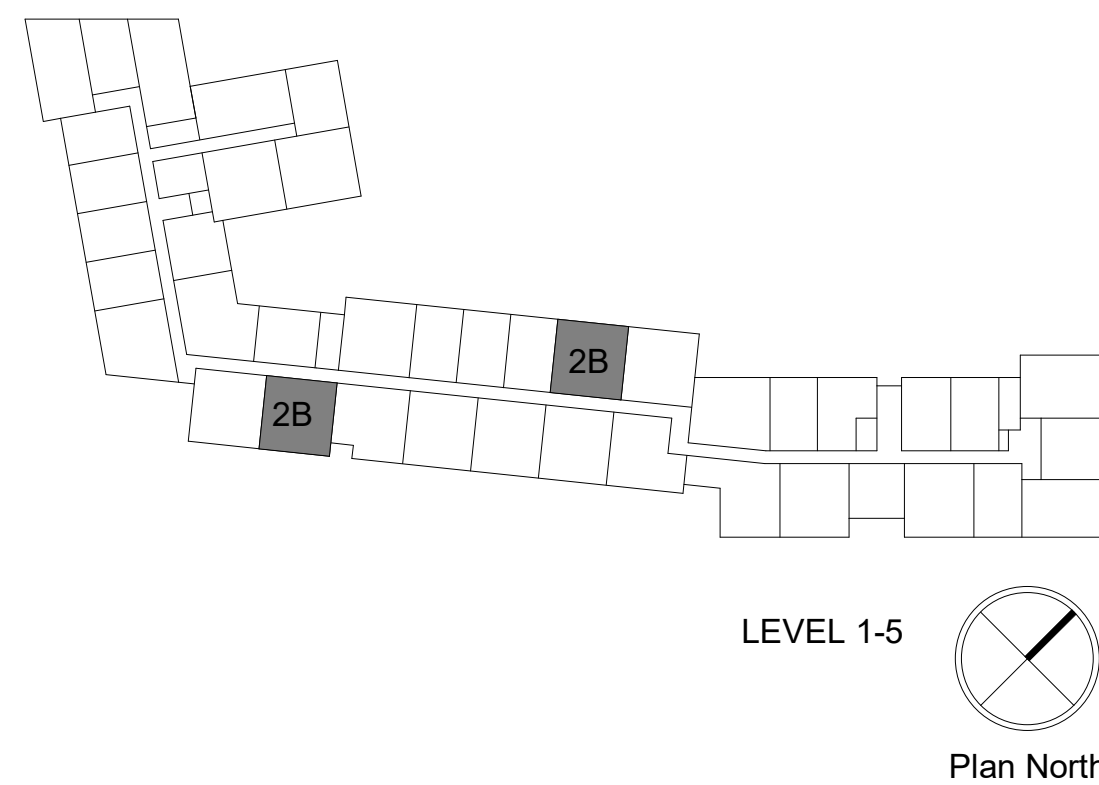
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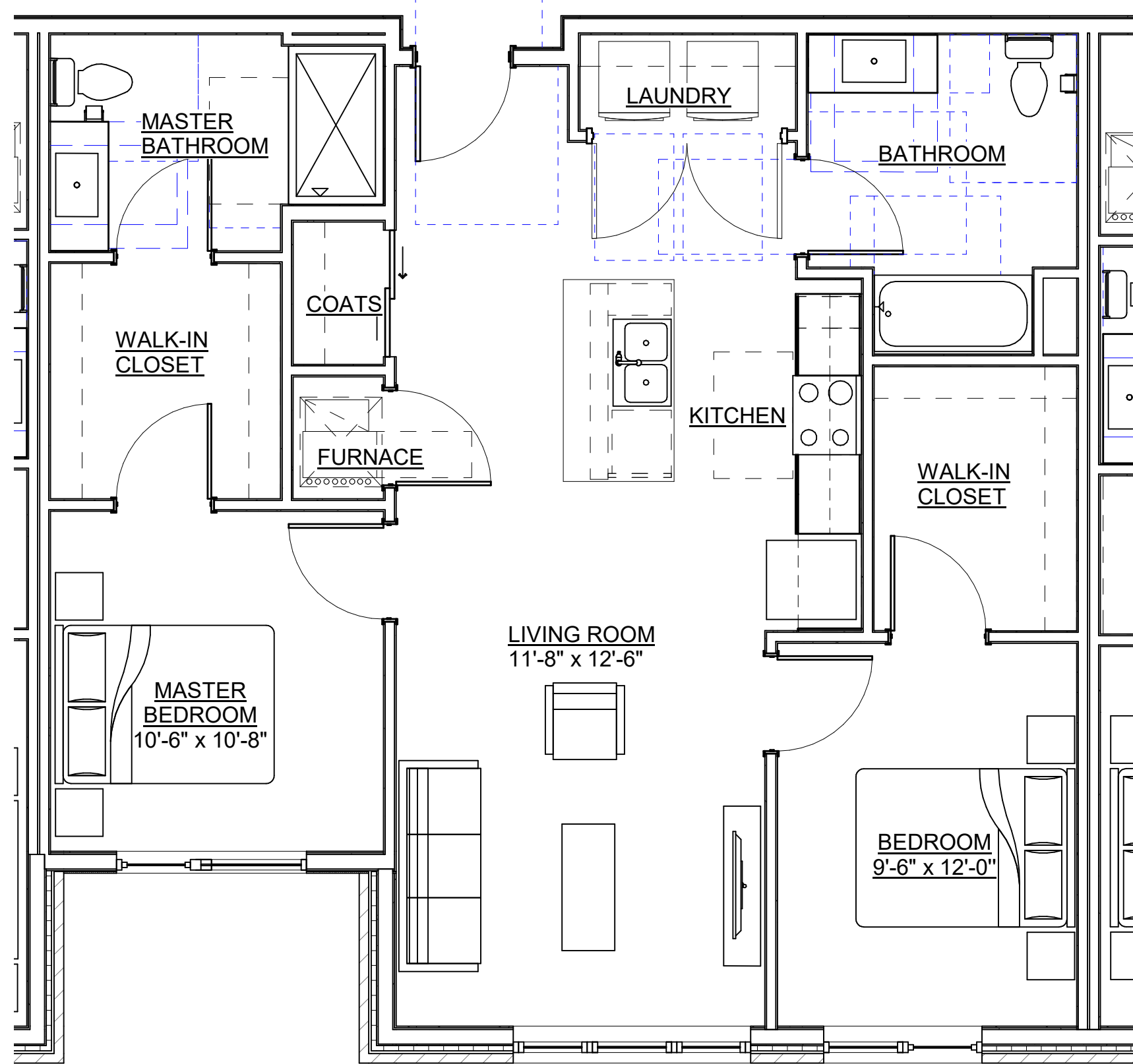
LEVEL 1-5
Plan North



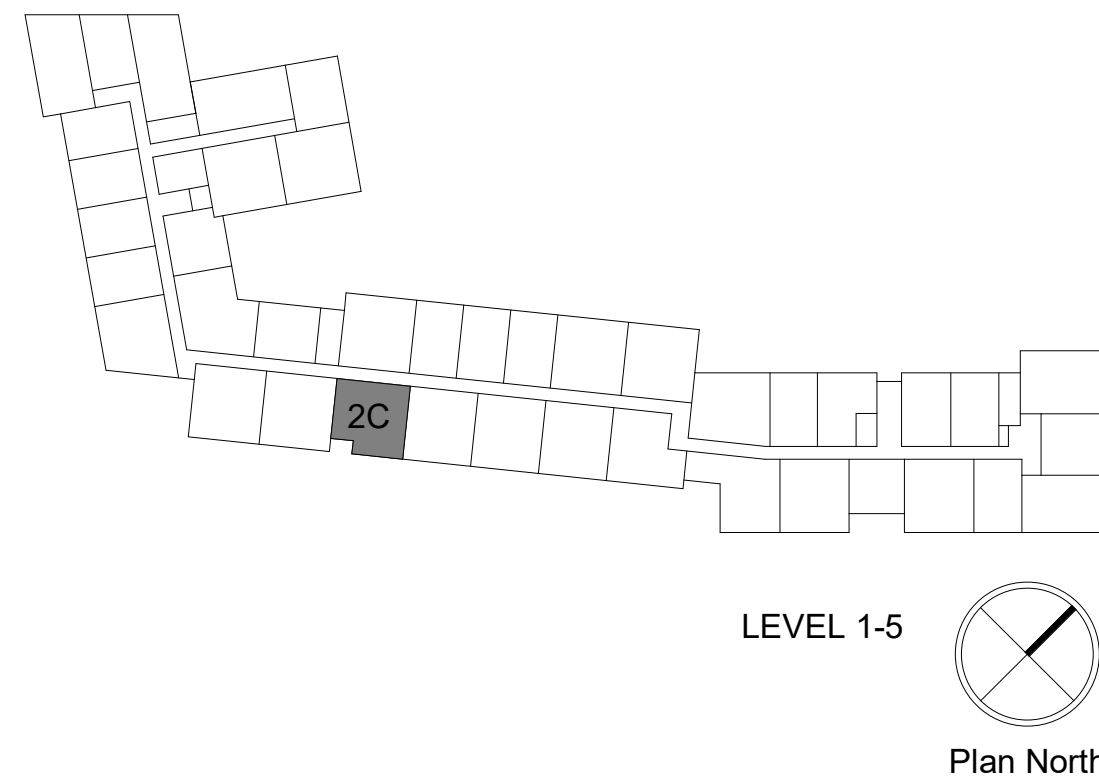
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SCALE: 1/4" = 1'-0"



LEVEL 1-5
Plan North



4 UNIT 2C - WHEDA
SCALE: 1/4" = 1'-0"



LEVEL 1-5
Plan North

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4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
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14. PROVIDE ROSE HOOK ON WALL AT SAME END AS SHOWER HEAD.
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KEY NOTES - UNIT PLANS

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3100 EAST WASHINGTON

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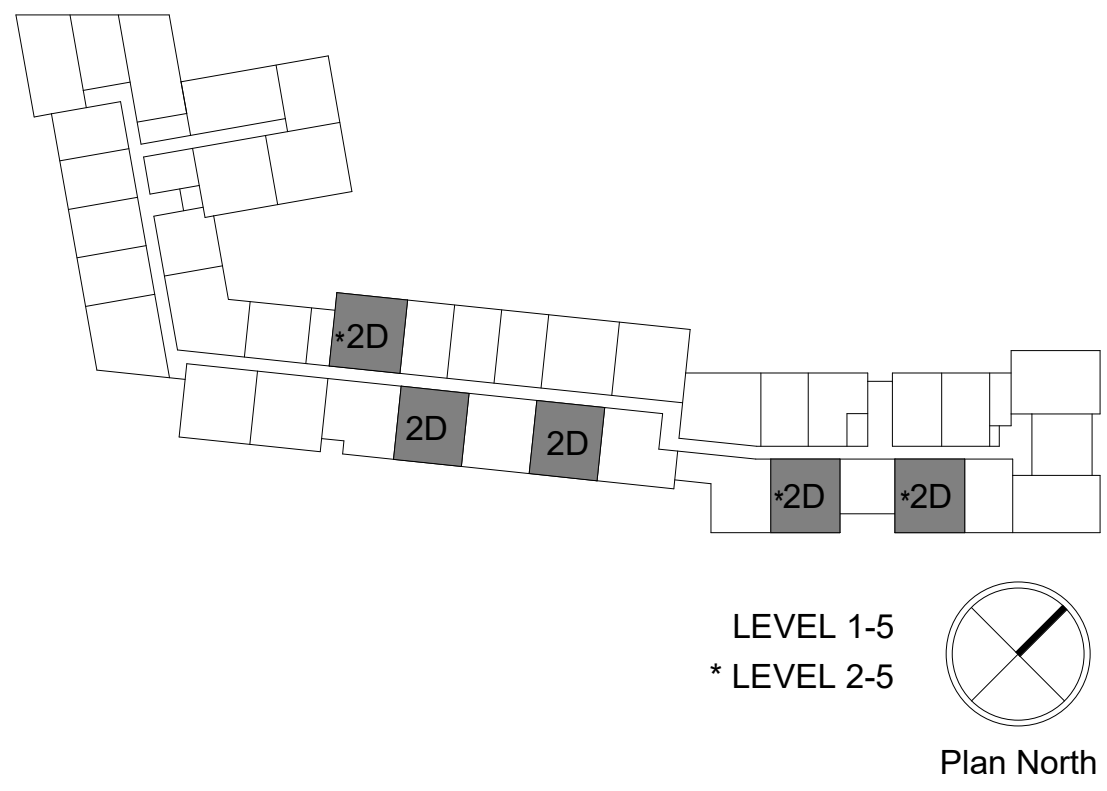
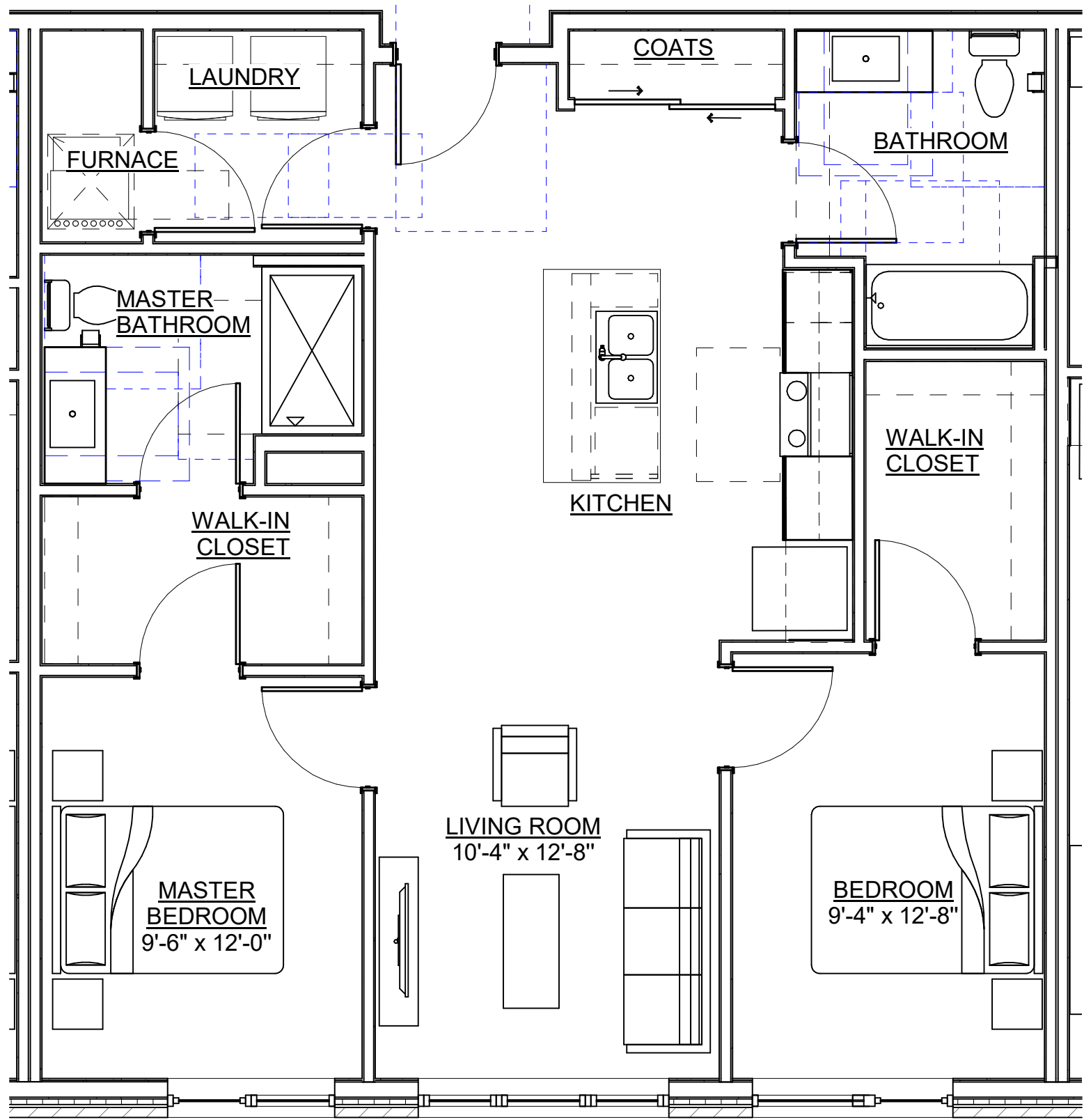
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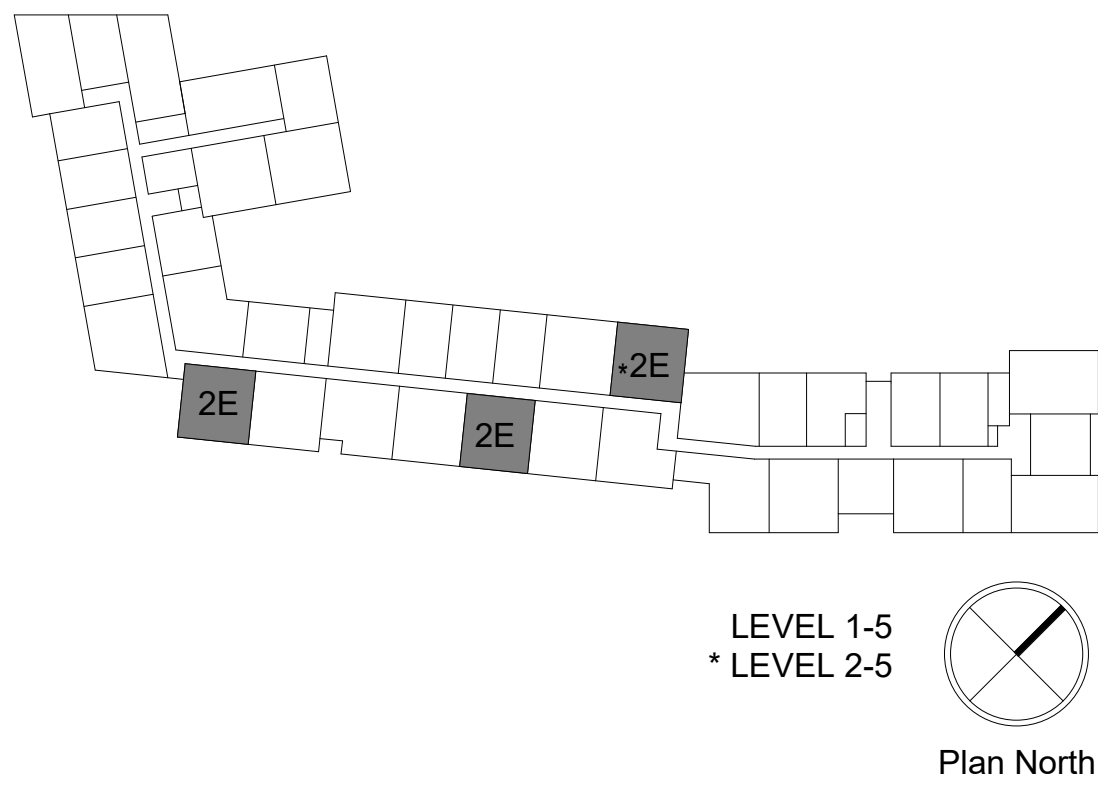
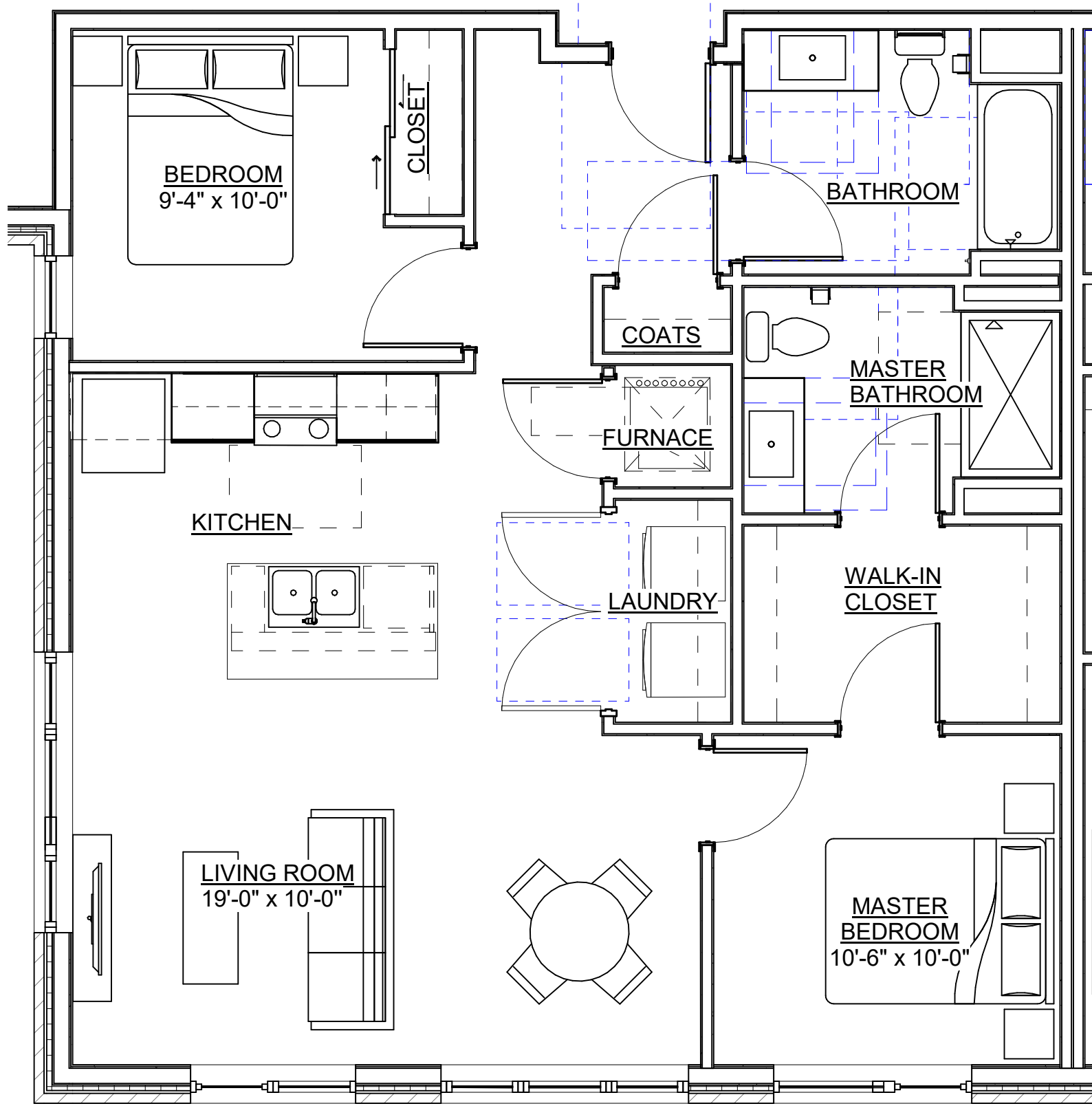
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ENLARGED UNIT PLANS

A304



1 UNIT 2D
SCALE: 1/4" = 1'-0"



2 UNIT 2E
SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

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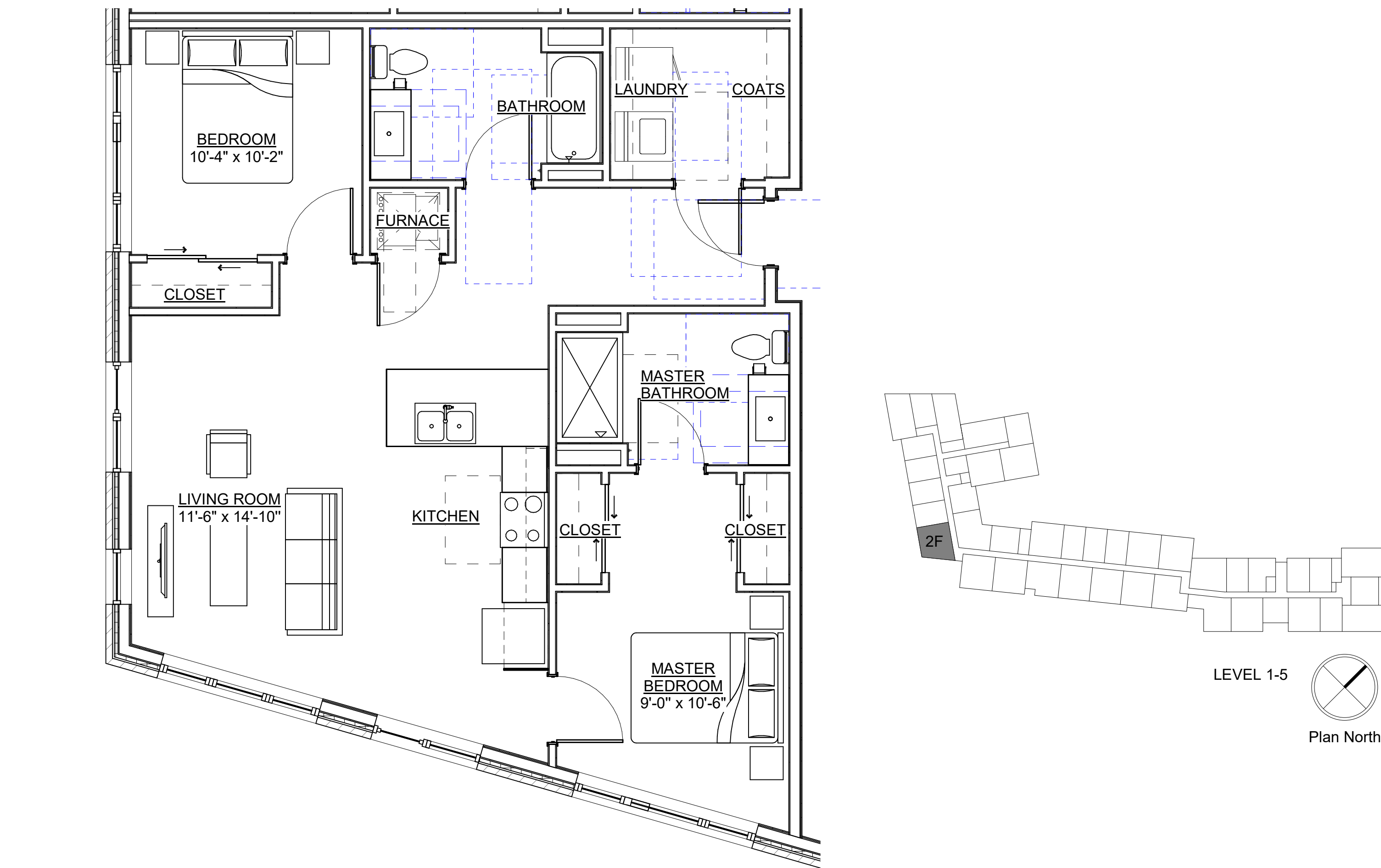
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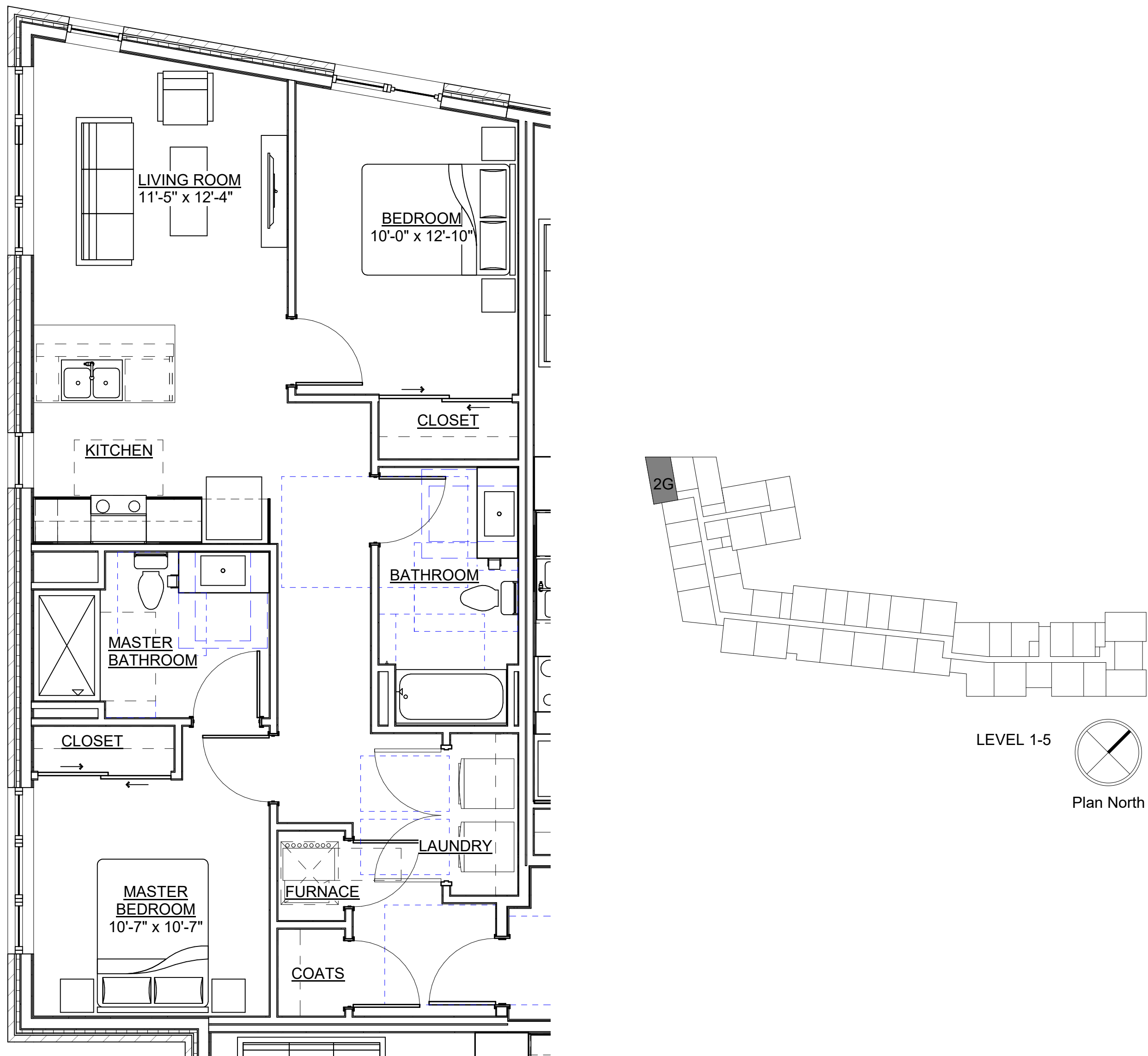
LAND USE APPLICATION 08/07/23

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4 UNIT 2F
SCALE: 1/4" = 1'-0"



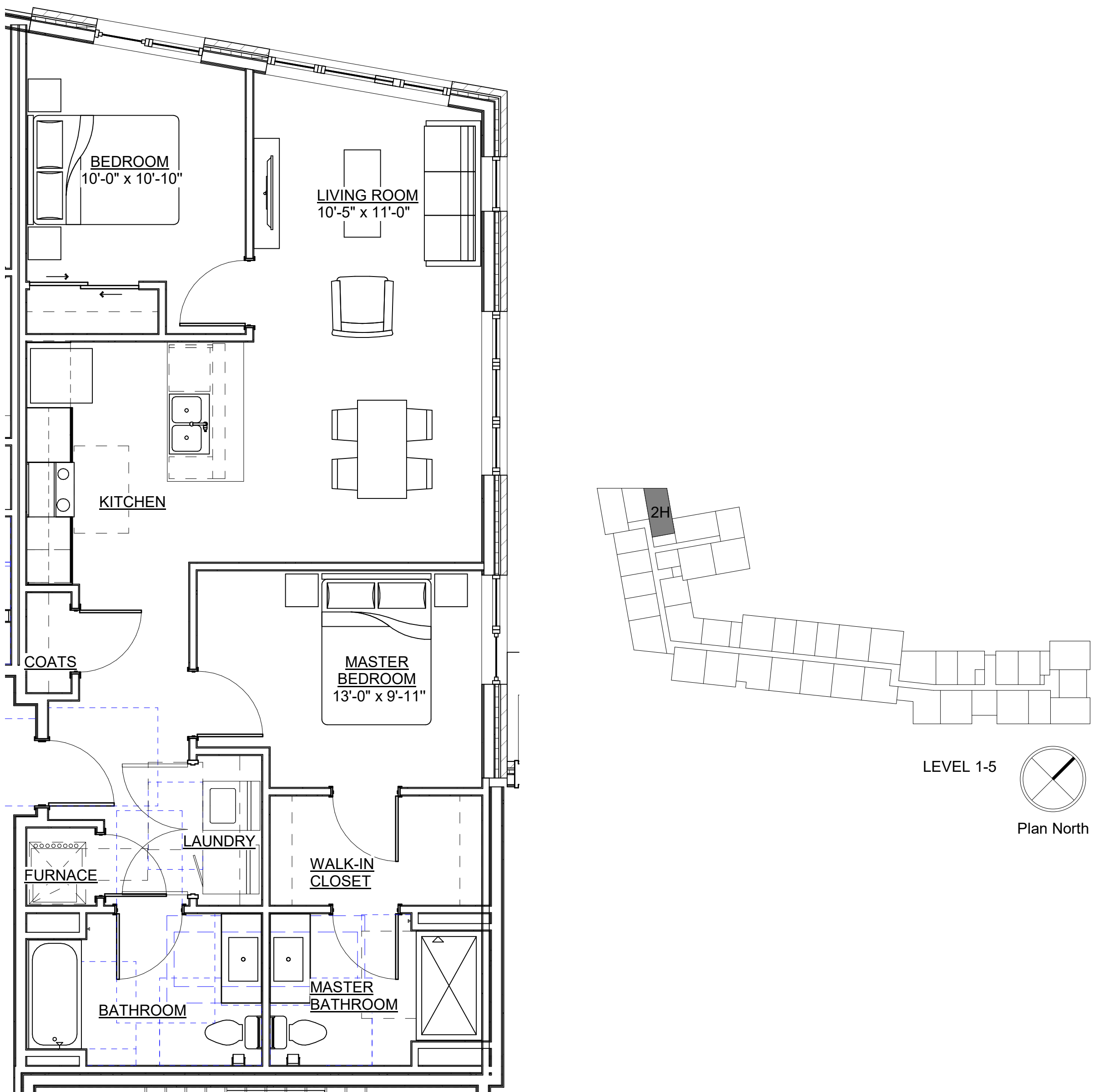
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GENERAL NOTES - UNIT PLANS

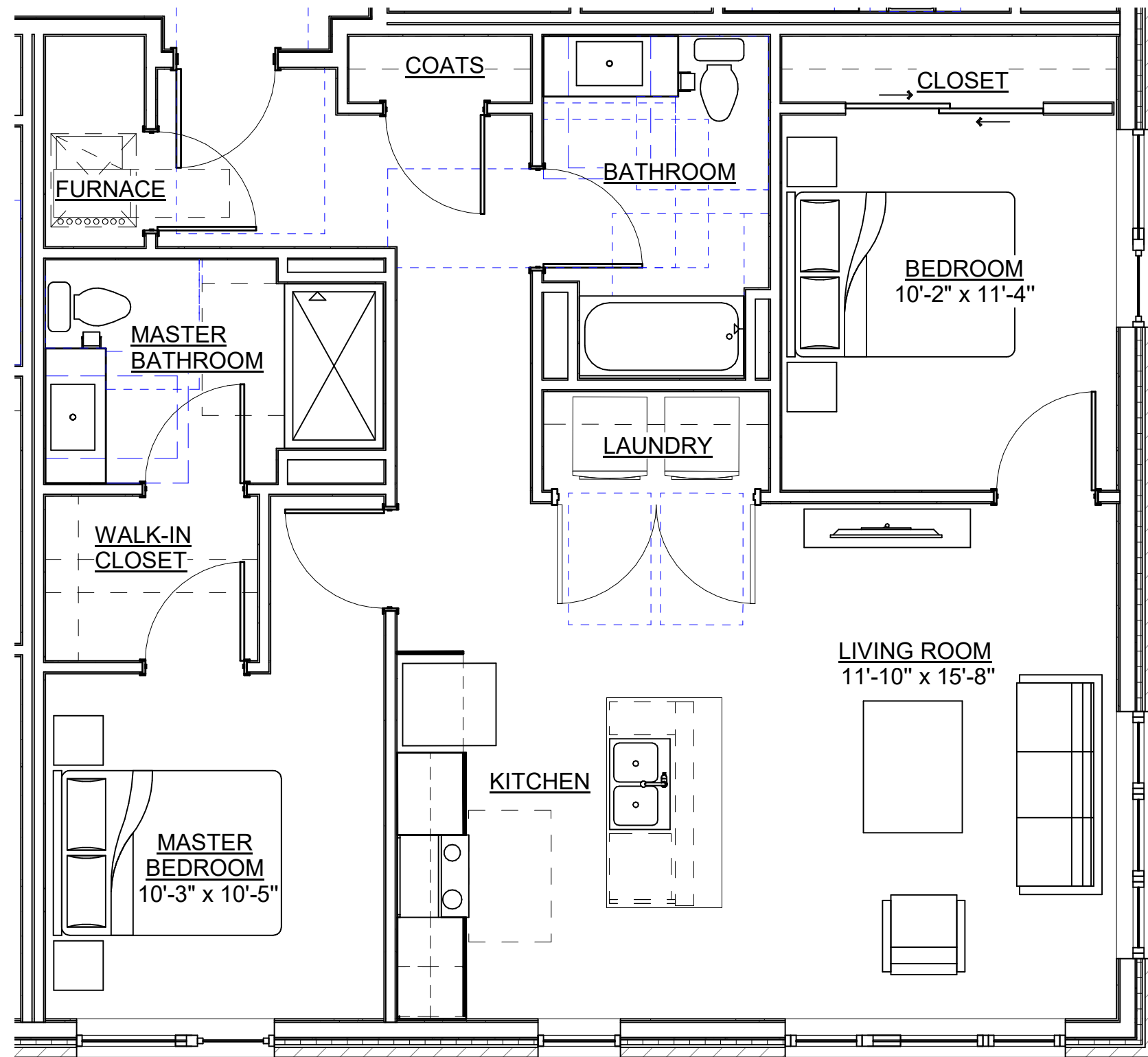
1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
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14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
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16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER



2 UNIT 2H
SCALE: 1/4" = 1'-0"



1 UNIT 2J
SCALE: 1/4" = 1'-0"

ENLARGED UNIT PLANS

DRAWN BY Author

CHECKED BY Checker

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

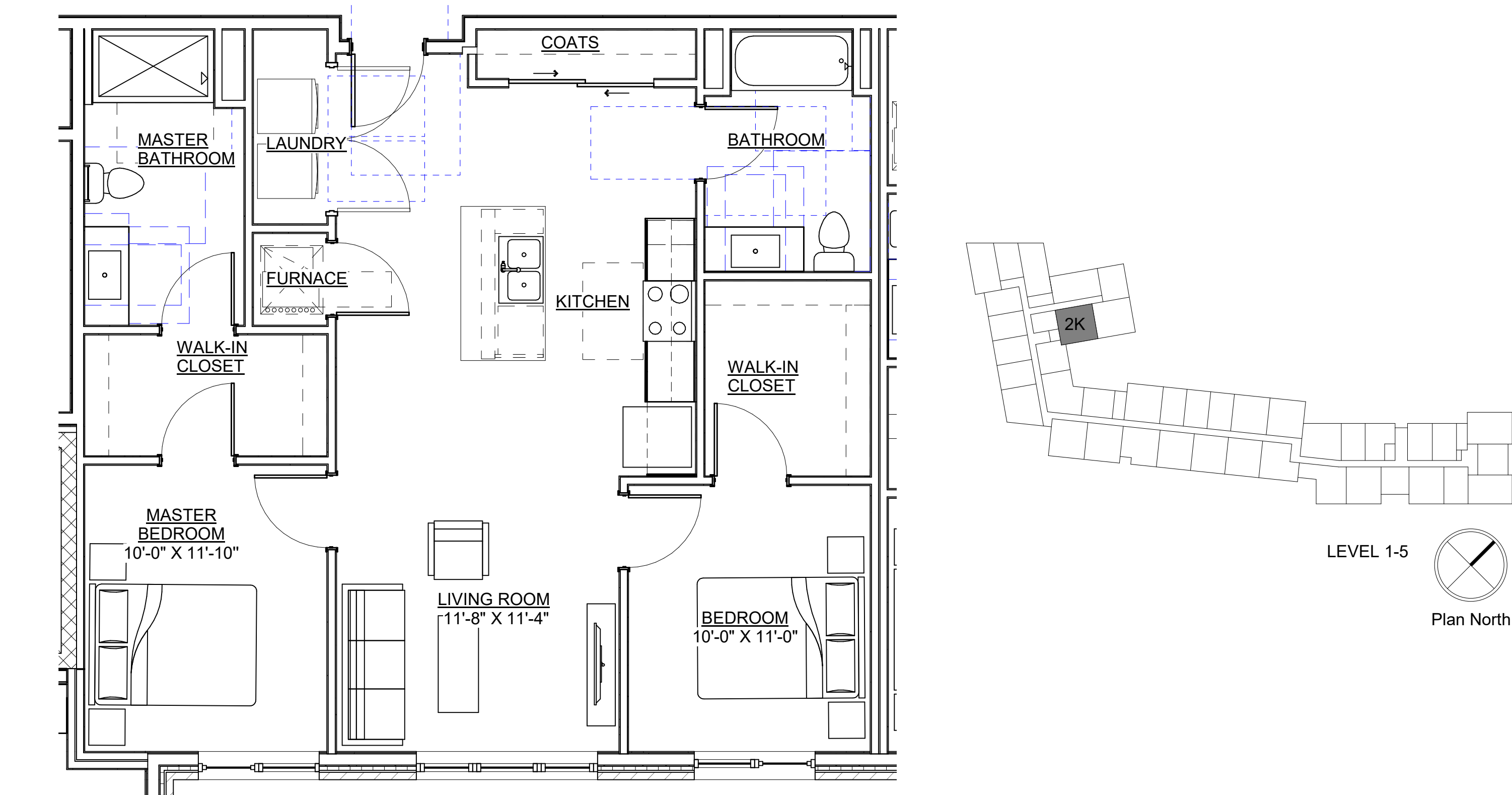
NO.	DESCRIPTION	DATE
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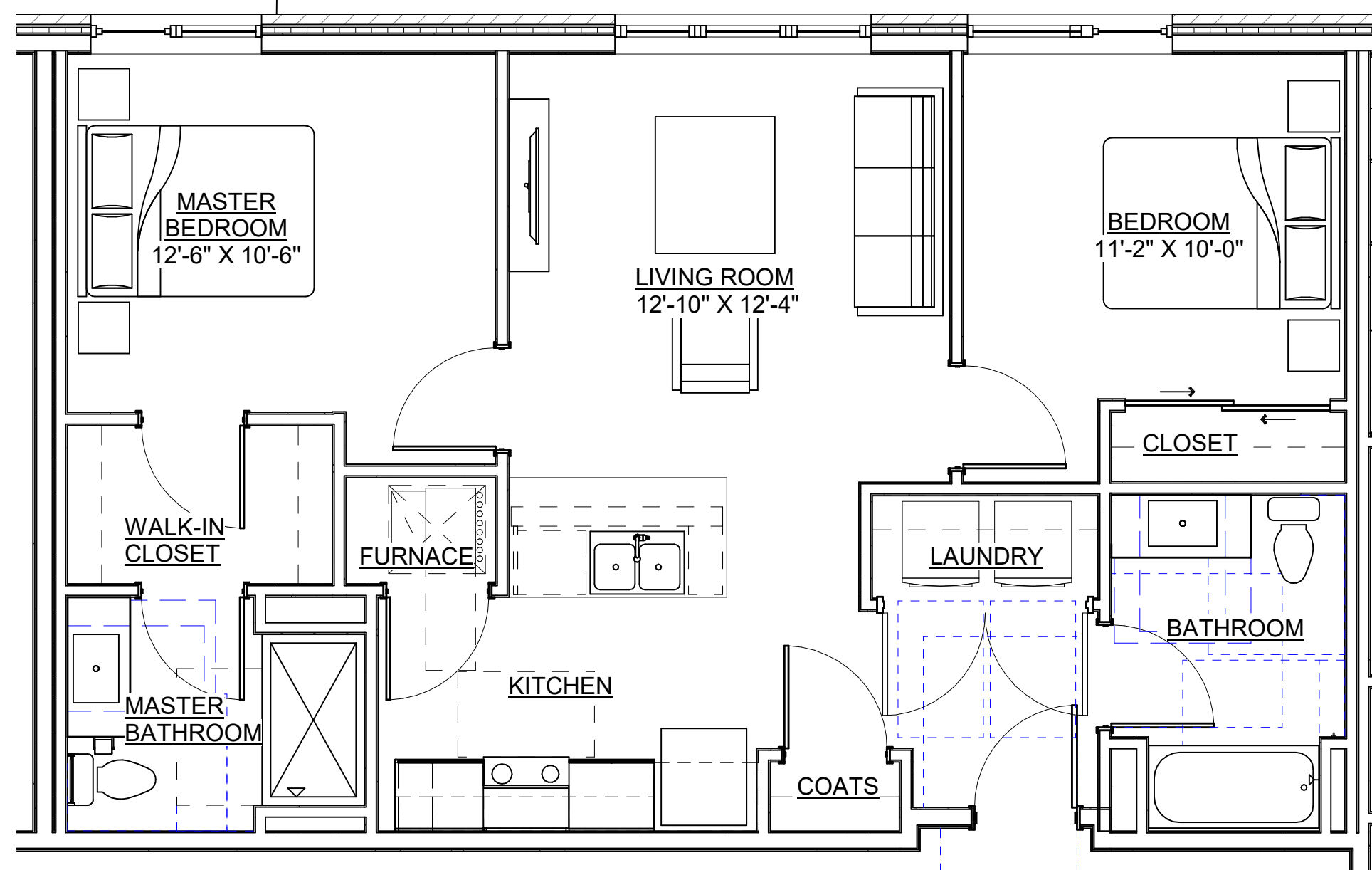
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ENLARGED UNIT PLANS

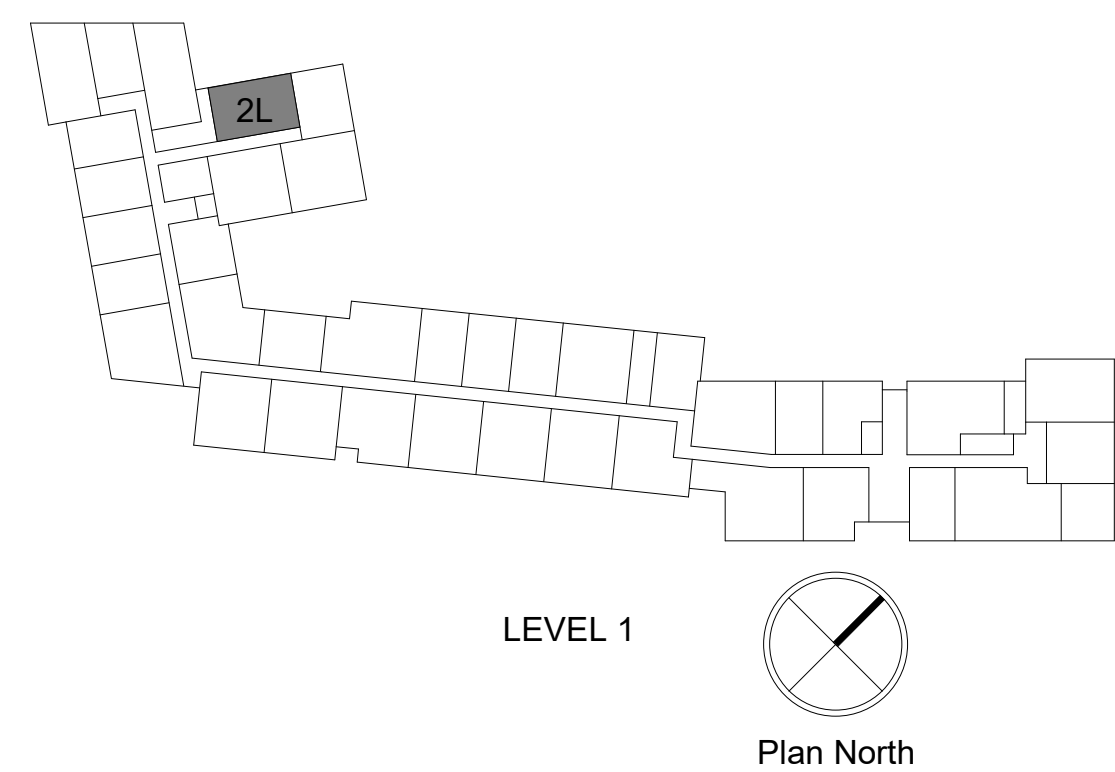
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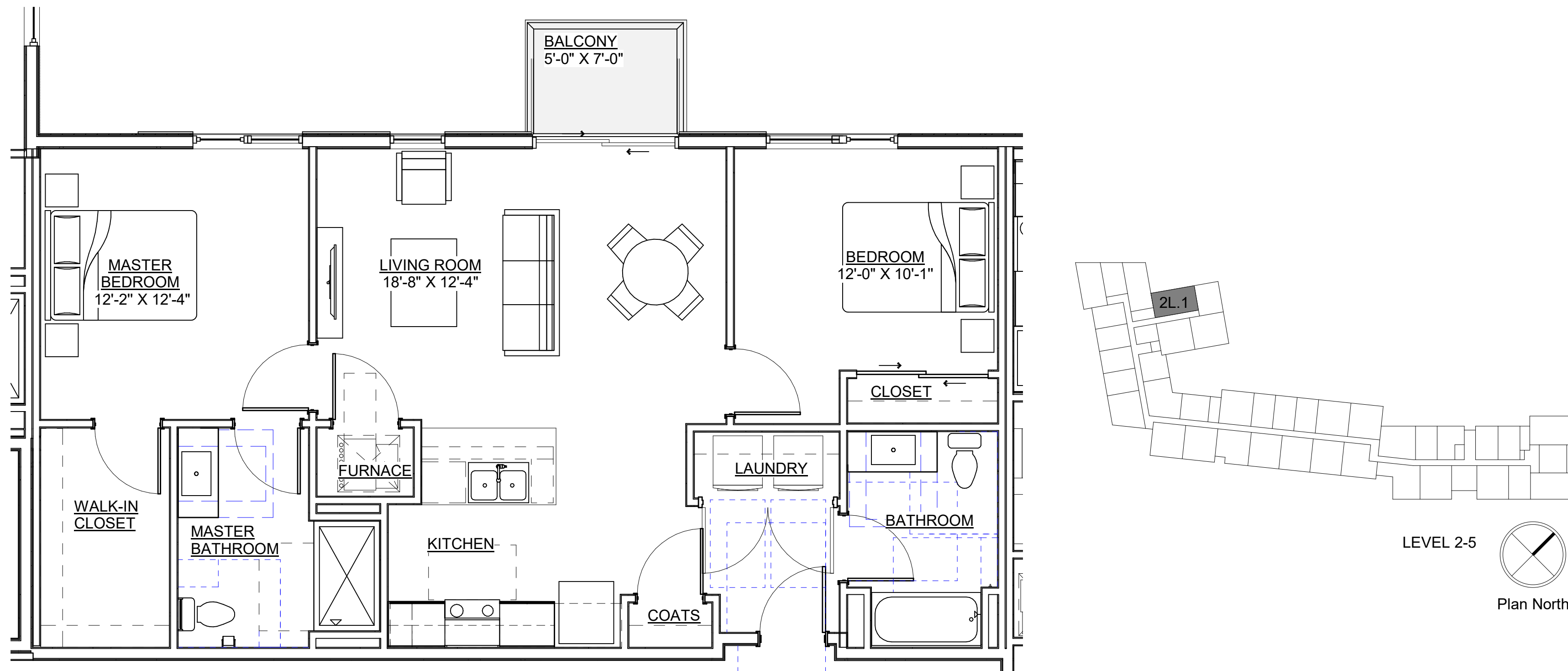
1 UNIT 2K - WHEDA
SCALE: 1/4" = 1'-0"



2 UNIT 2L
SCALE: 1/4" = 1'-0"



LEVEL 1
Plan North



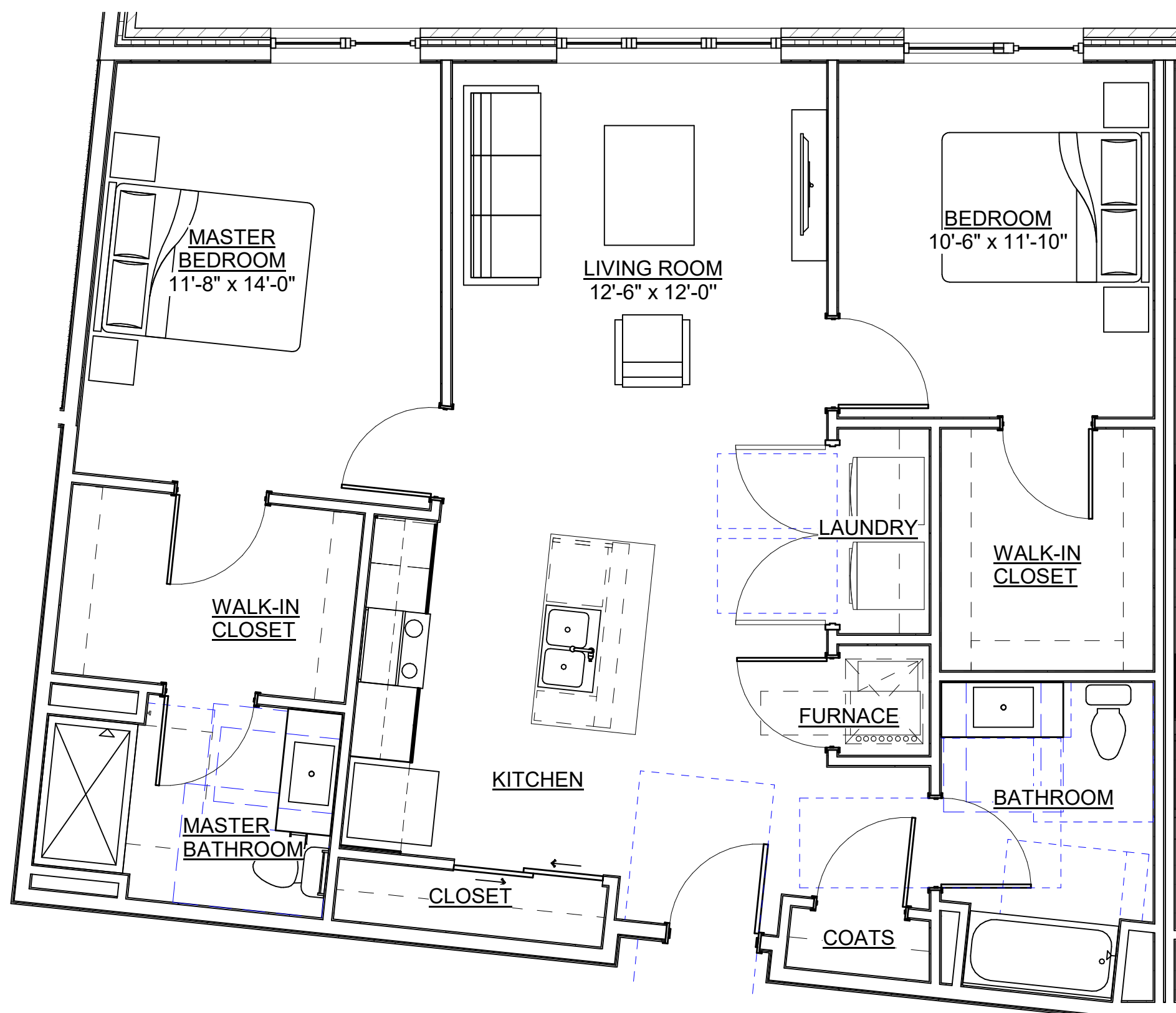
3 UNIT 2L.1 - WHEDA
SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

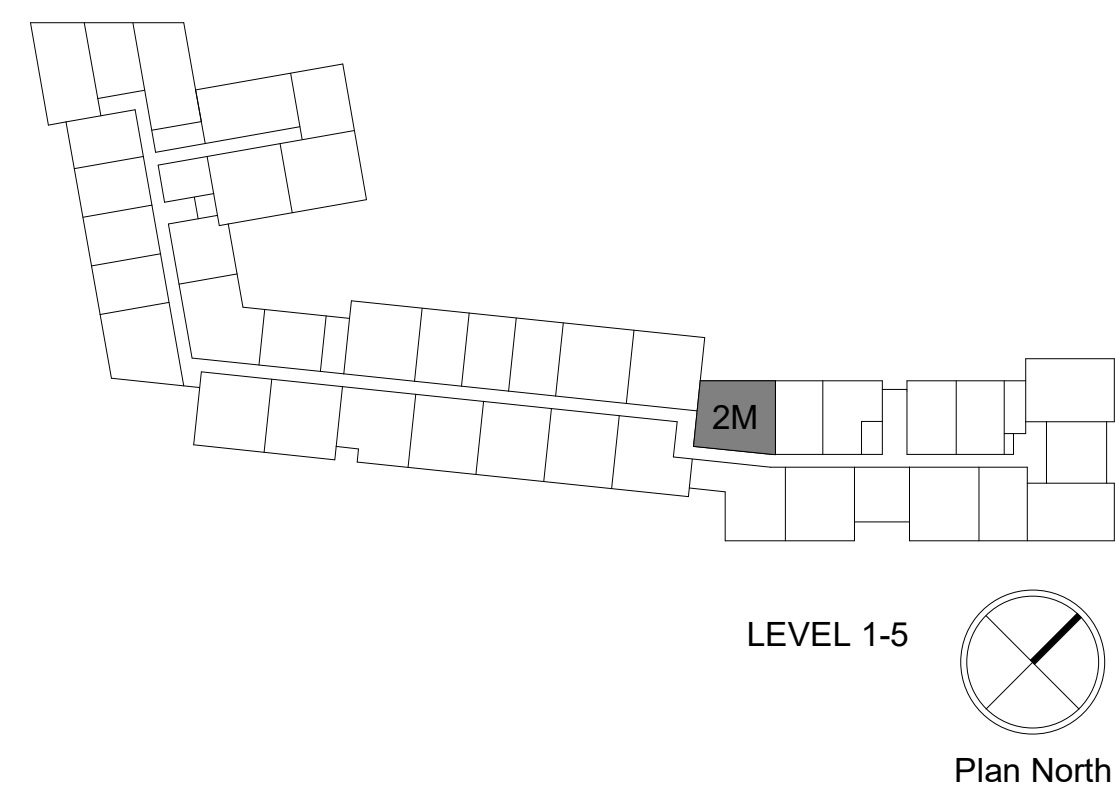
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KEY NOTES - UNIT PLANS

- SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER



4 UNIT 2M - WHEDA / TYPE A
SCALE: 1/4" = 1'-0"



LEVEL 1-5
Plan North

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

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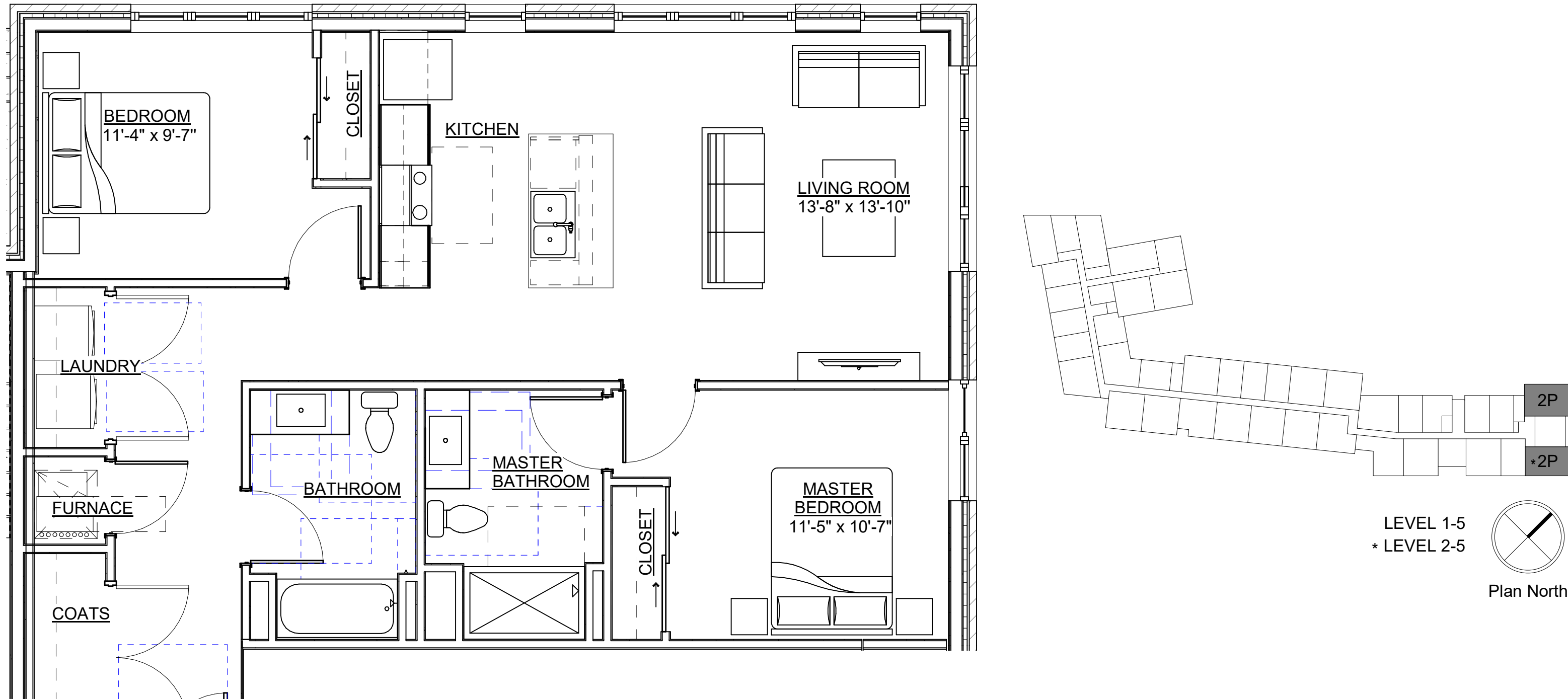
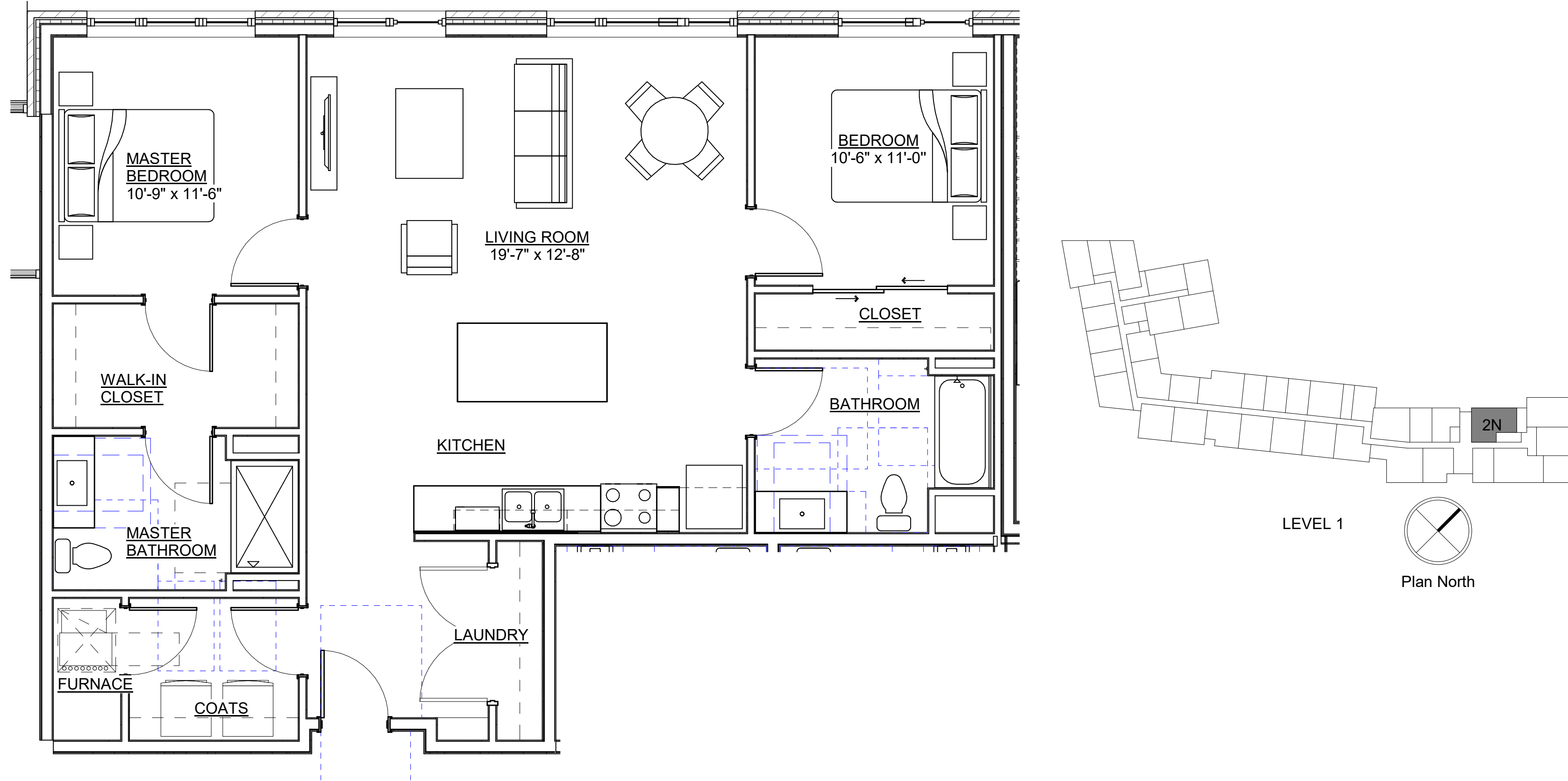
NO.	DESCRIPTION	DATE
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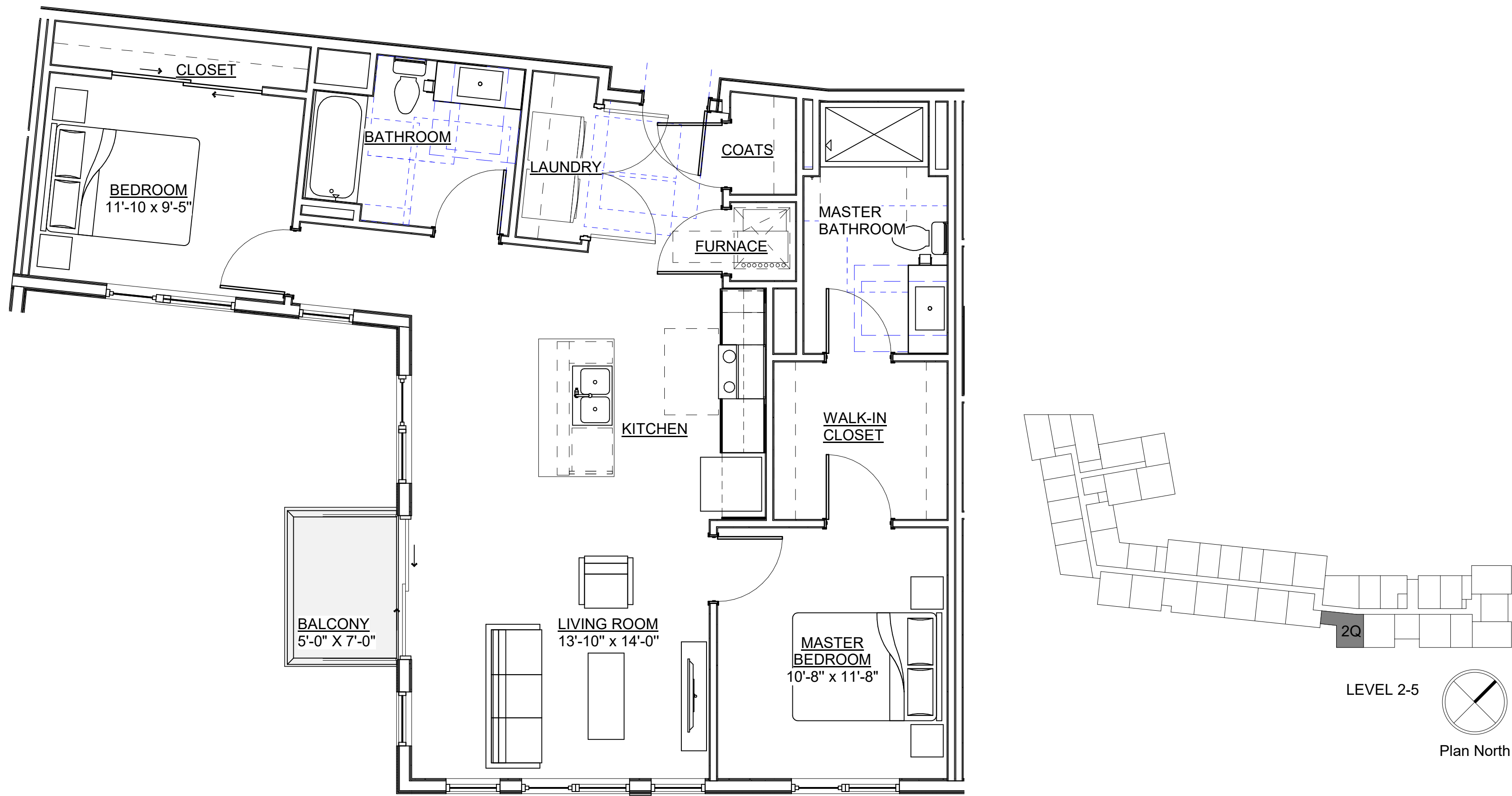
ENLARGED UNIT PLANS

A307

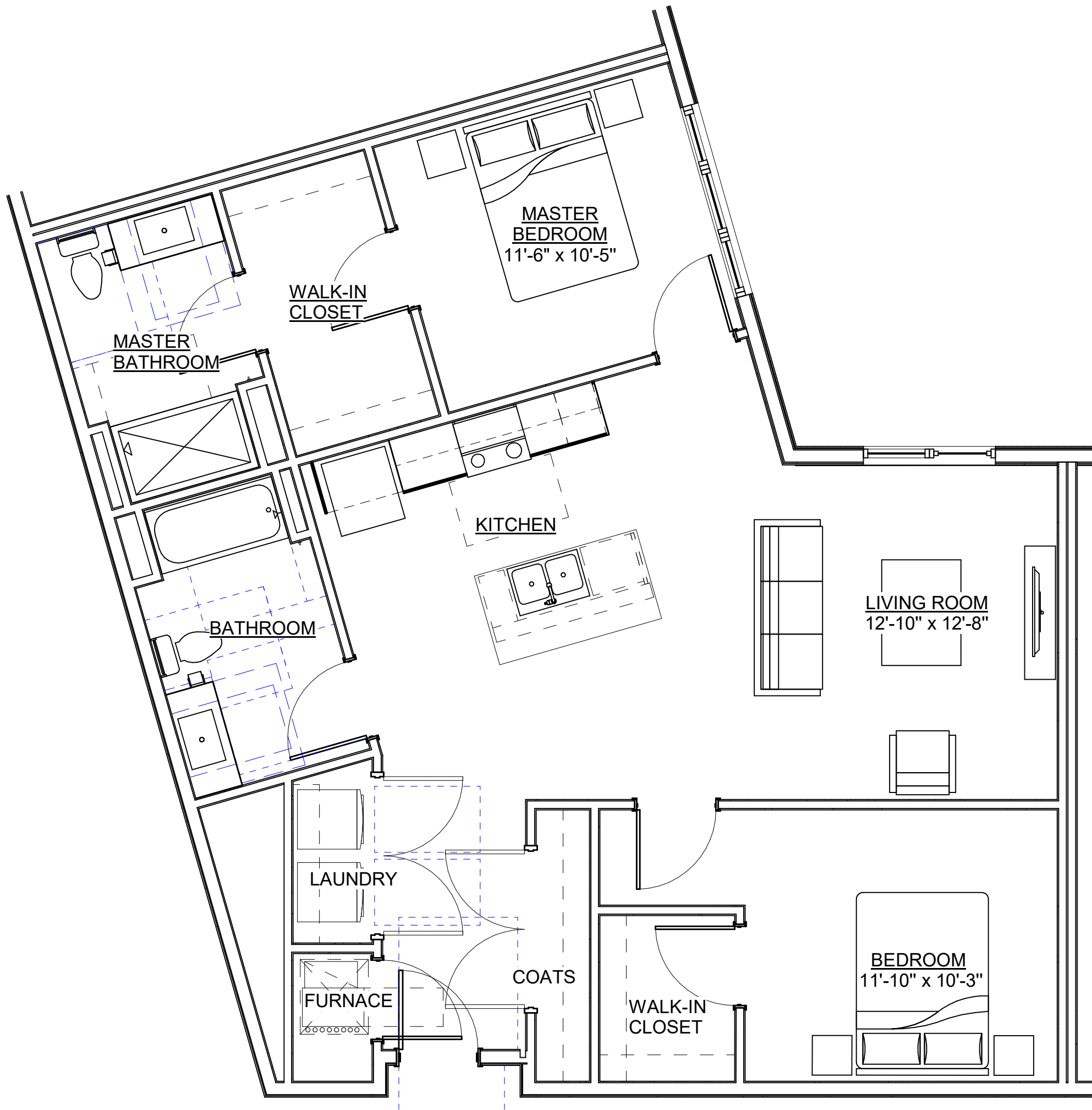


2 UNIT 2N
SCALE: 1/4" = 1'-0"

3 UNIT 2P
SCALE: 1/4" = 1'-0"



1 UNIT 2Q
SCALE: 1/4" = 1'-0"



4 UNIT 2R
SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

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KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)

MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

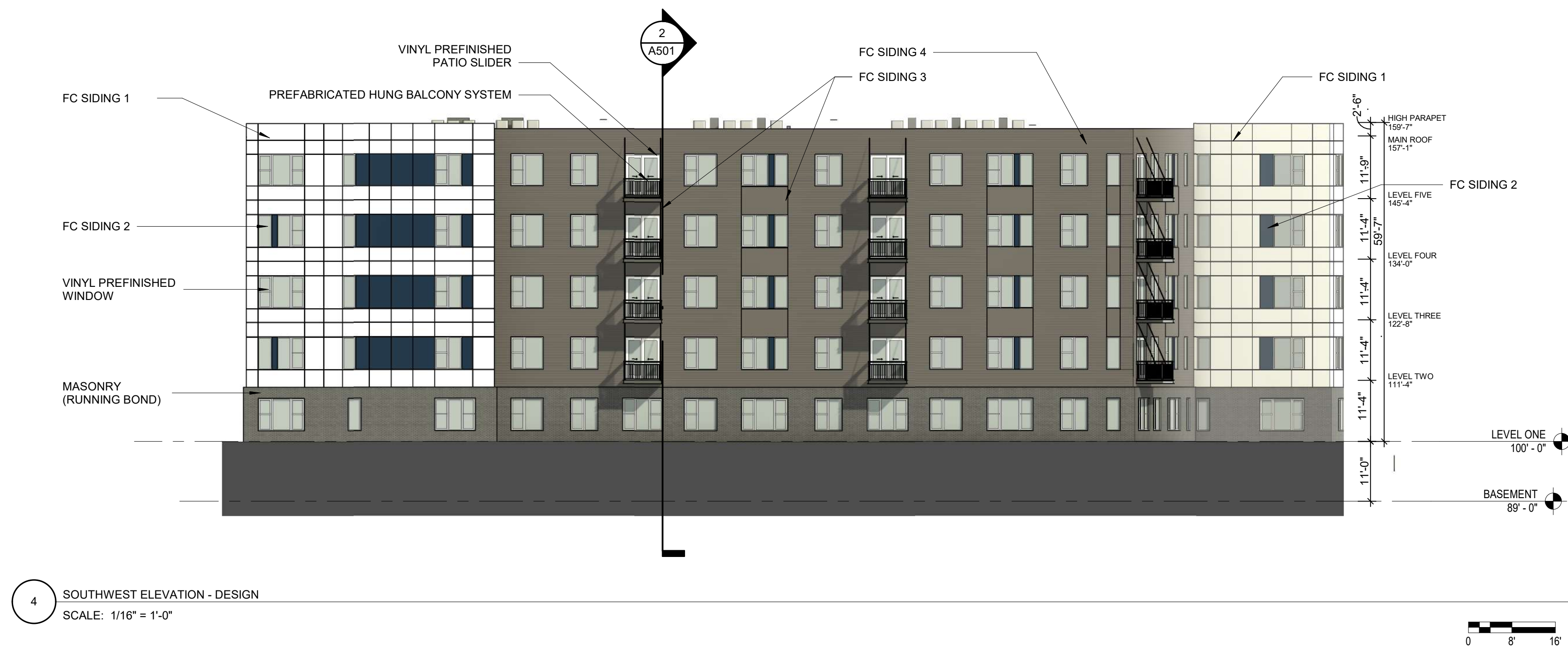
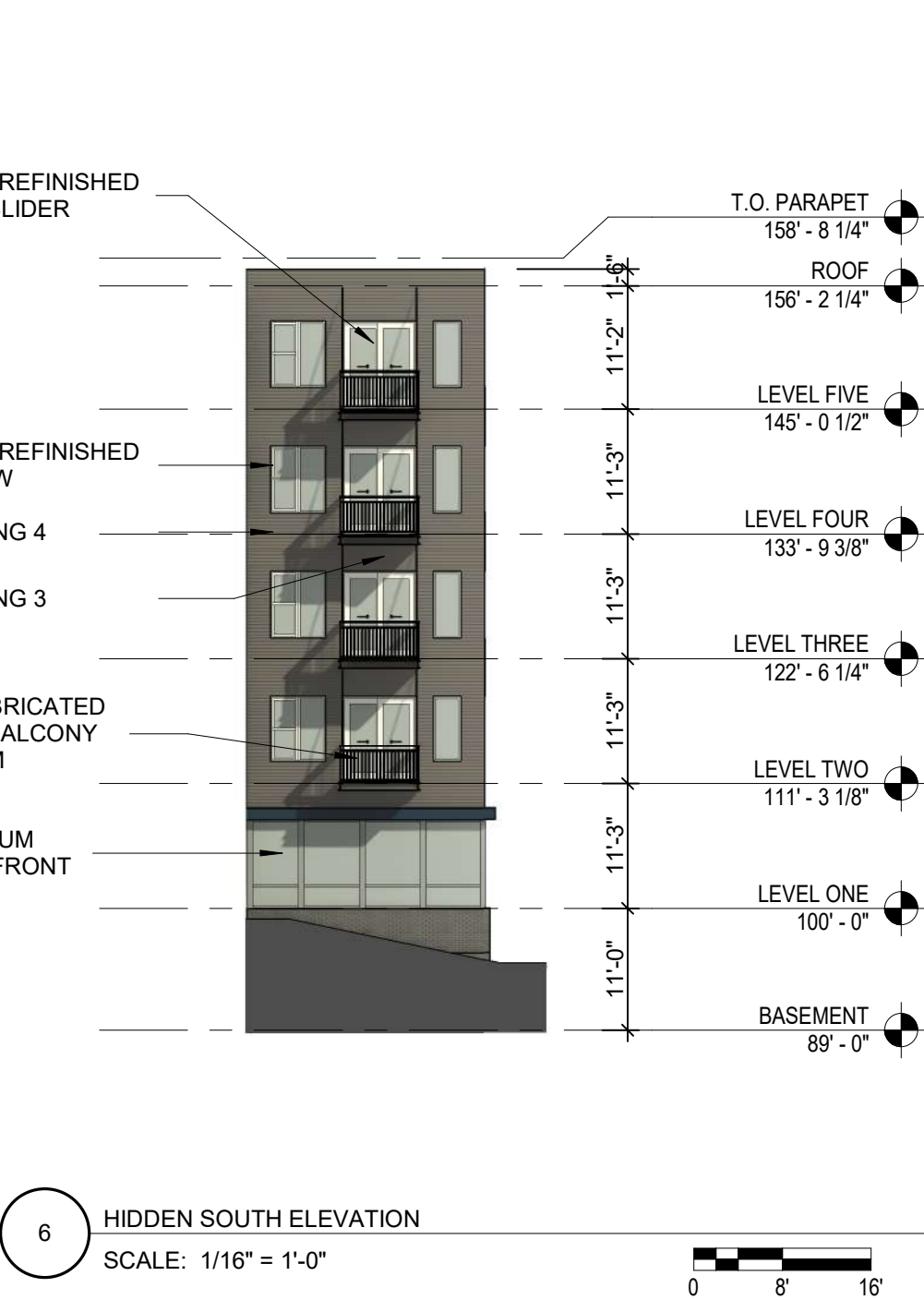
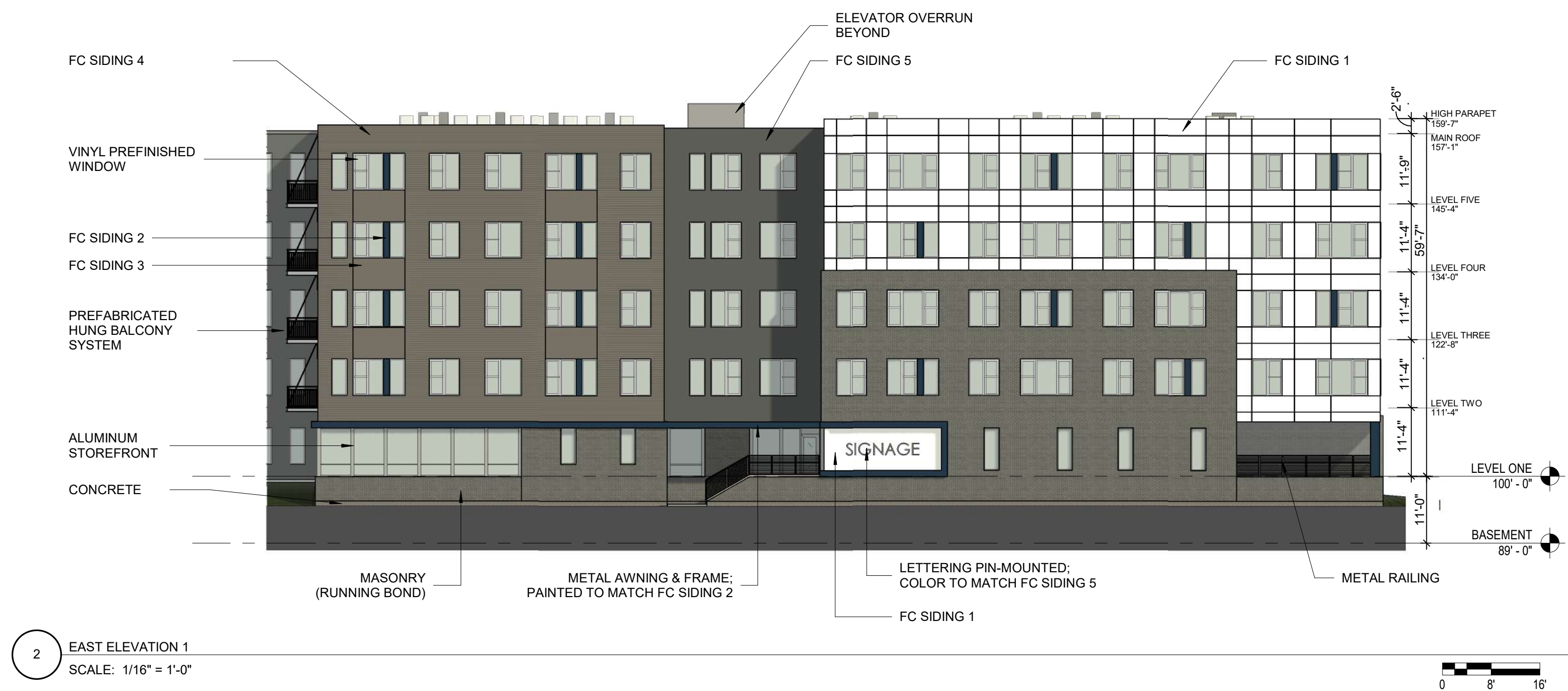
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
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PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

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DRAWN BY Author

CHECKED BY Checker

BUILDING ELEVATIONS

A401

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

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BUILDING ELEVATIONS

MATERIAL LEGEND

WINDOWS: 80D: PREFINISHED VINYL (WHITE)

MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

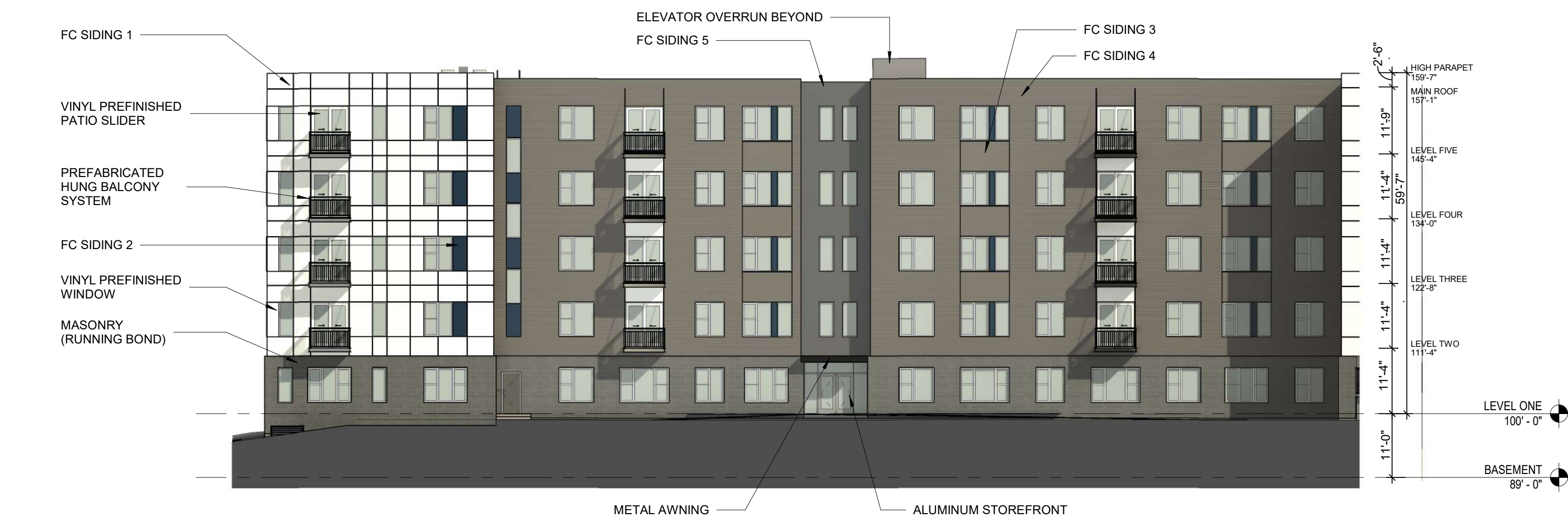
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

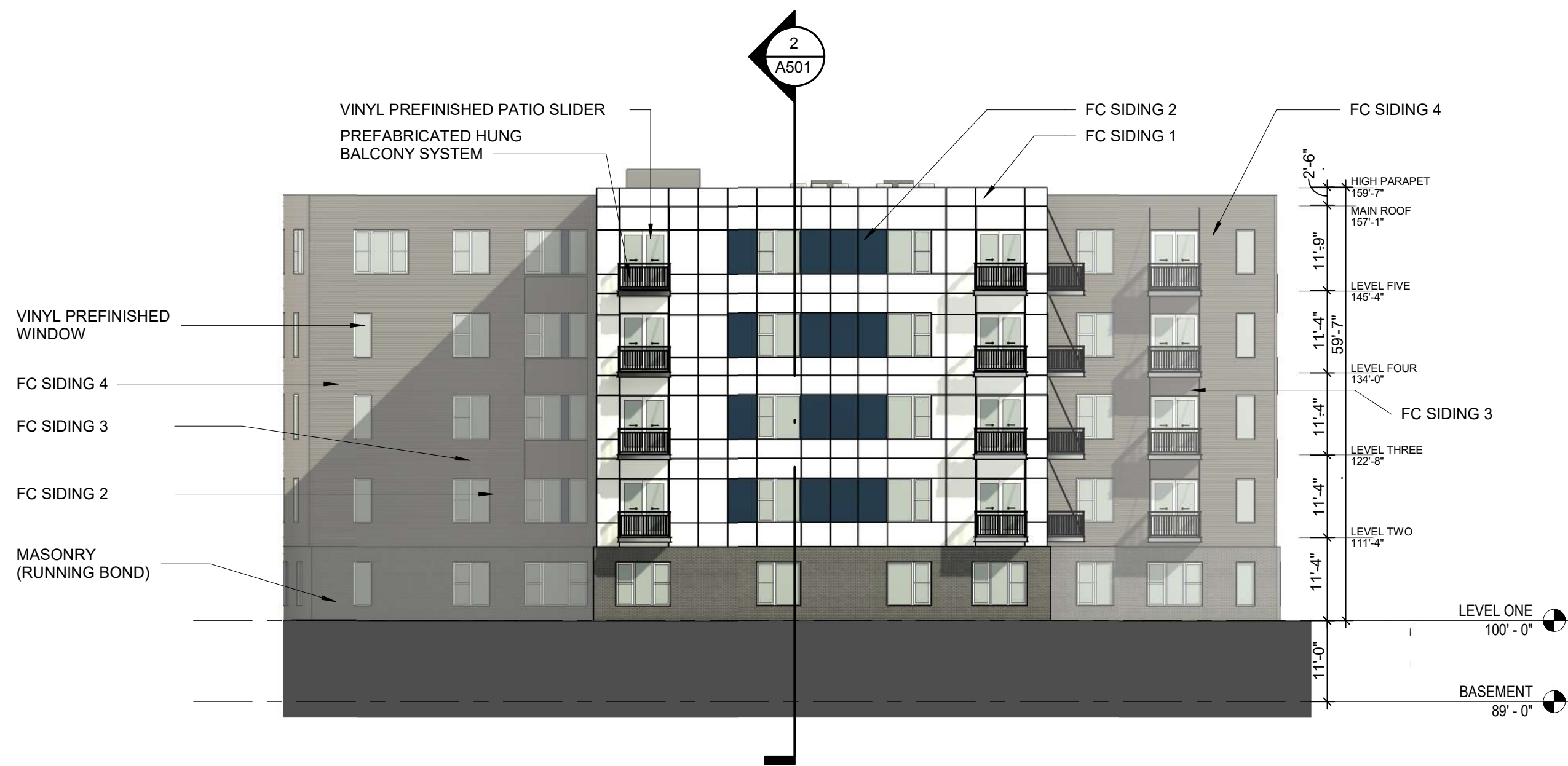
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



1 WEST ELEVATION INSET 1 - DESIGN
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION INSET 2 - DESIGN
SCALE: 1/16" = 1'-0"



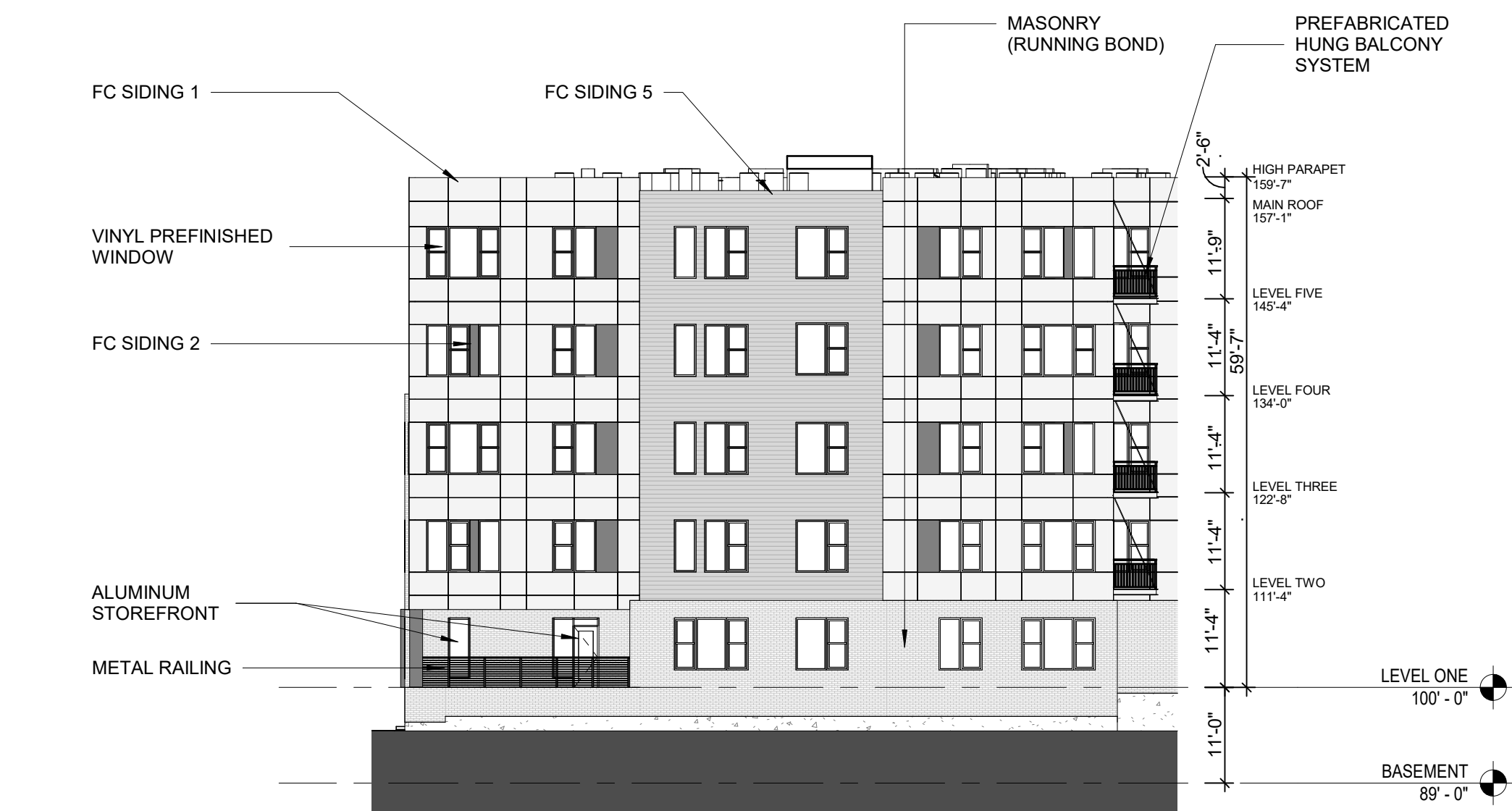
3 NORTH ELEVATION 2 - DESIGN
SCALE: 1/16" = 1'-0"



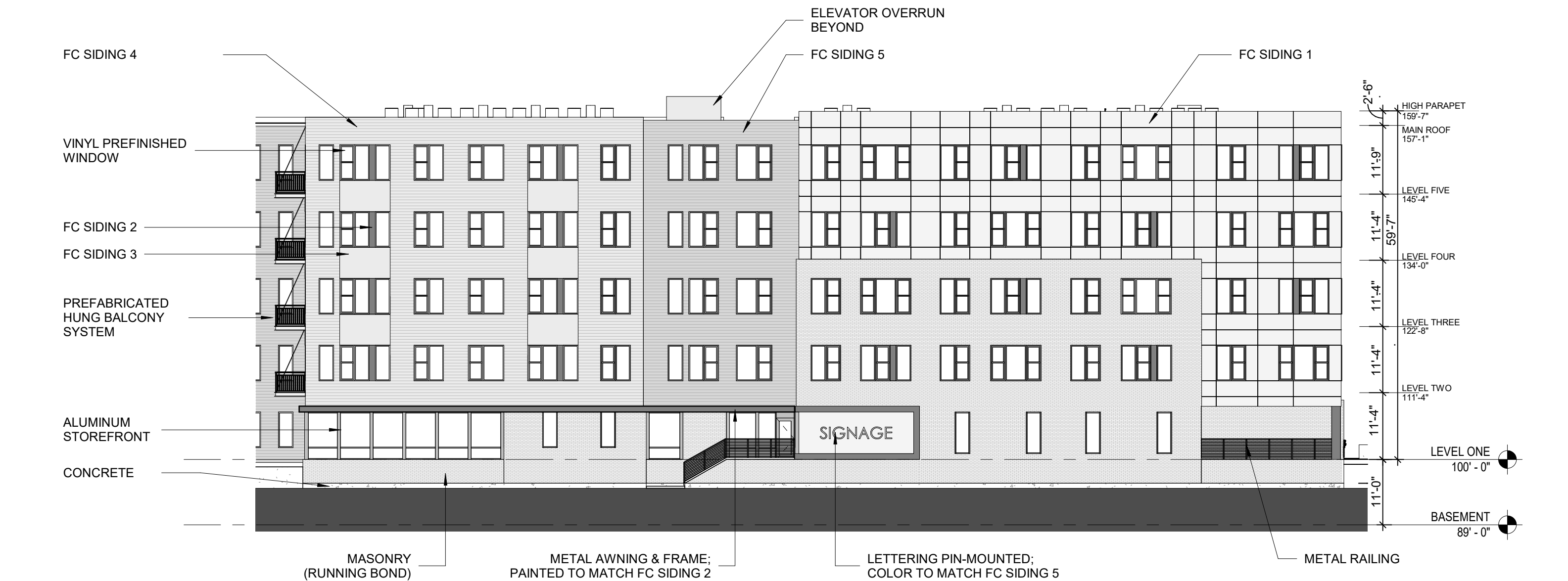
4 EAST ELEVATION 3 - DESIGN
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

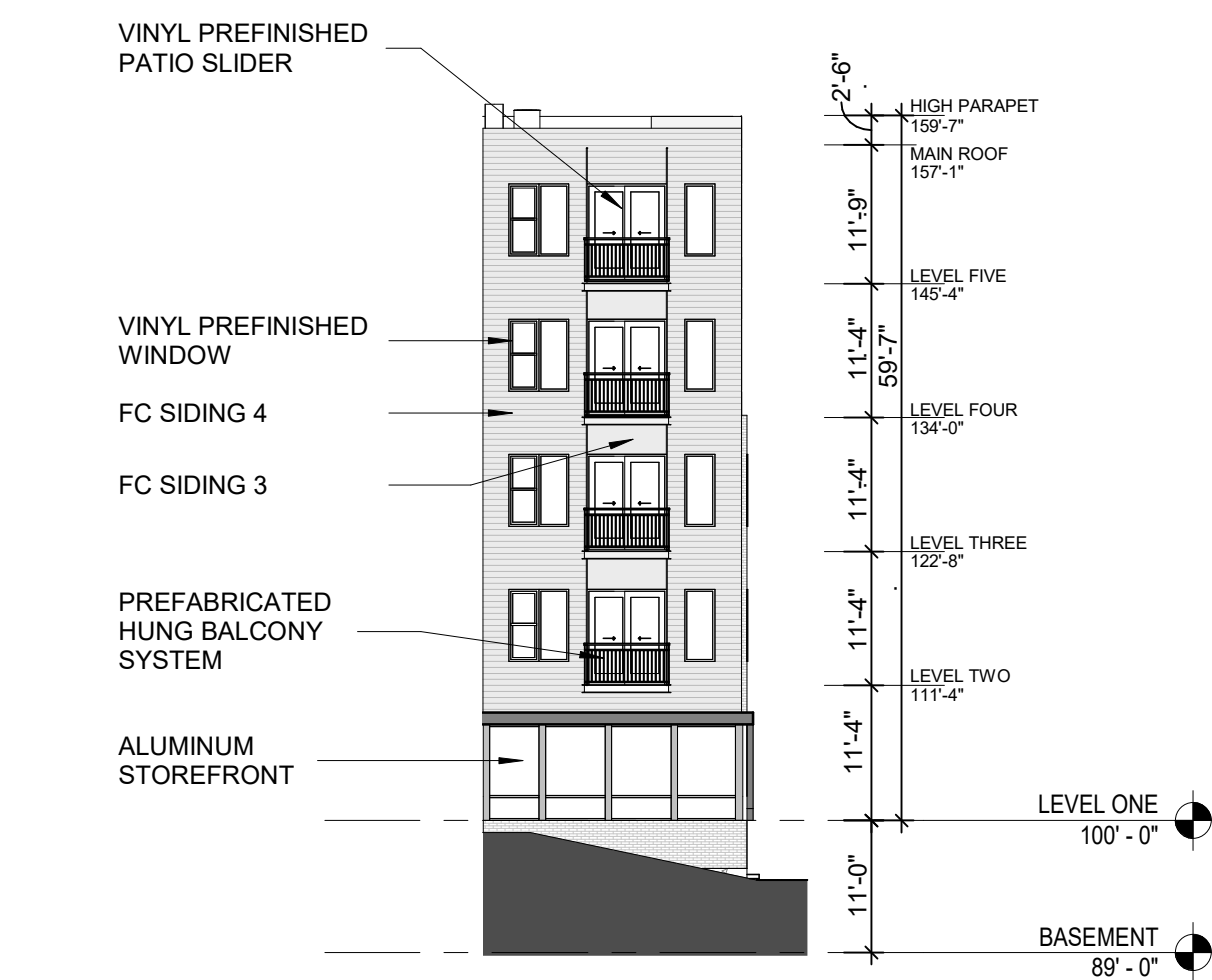
WINDOWS, BOD: PREFINISHED VINYL (WHITE)
MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



1 NORTH ELEVATION 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 1
SCALE: 1/16" = 1'-0"



3 HIDDEN SOUTH ELEVATION B&W
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



5 WEST ELEVATION - DESIGN B&W
SCALE: 1/16" = 1'-0"



6 SOUTHWEST ELEVATION - DESIGN B&W
SCALE: 1/16" = 1'-0"

3100 EAST WASHINGTON

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BUILDING ELEVATIONS

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BUILDING ELEVATIONS

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)

MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

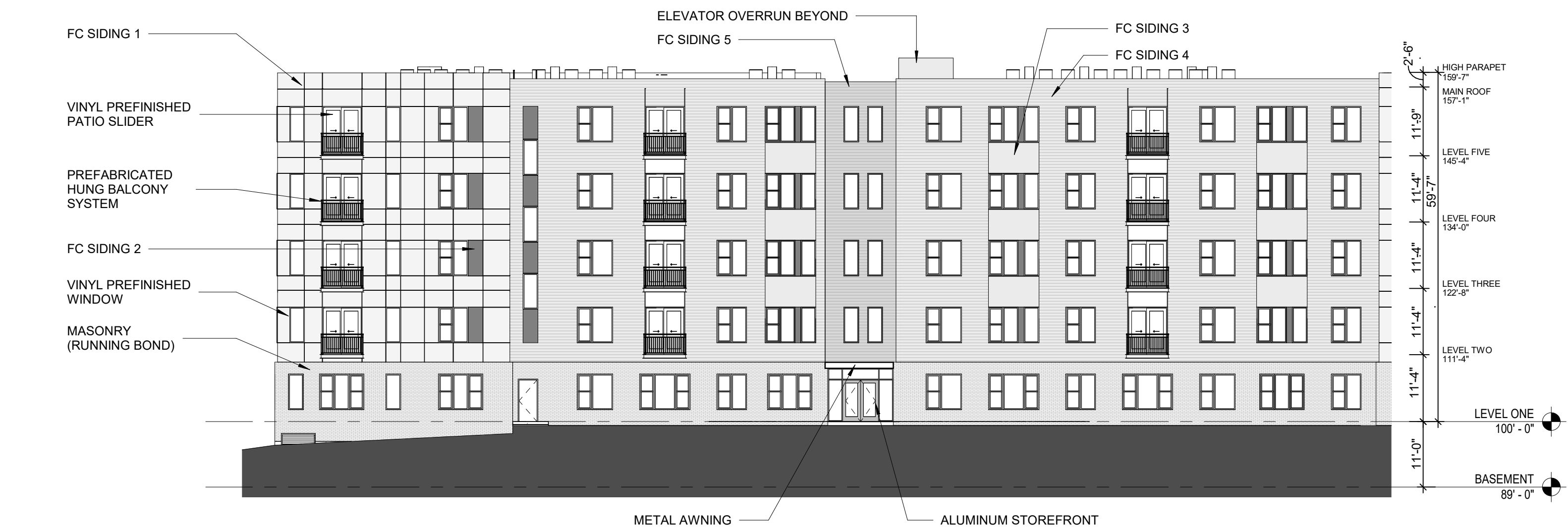
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

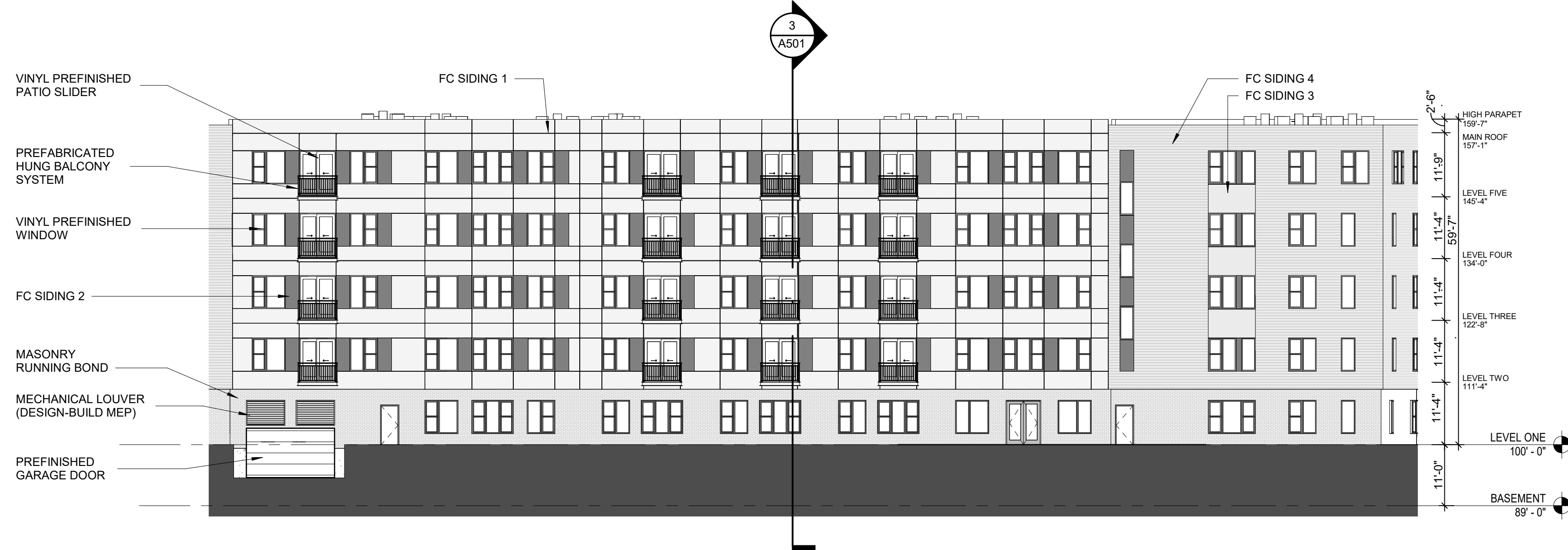
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



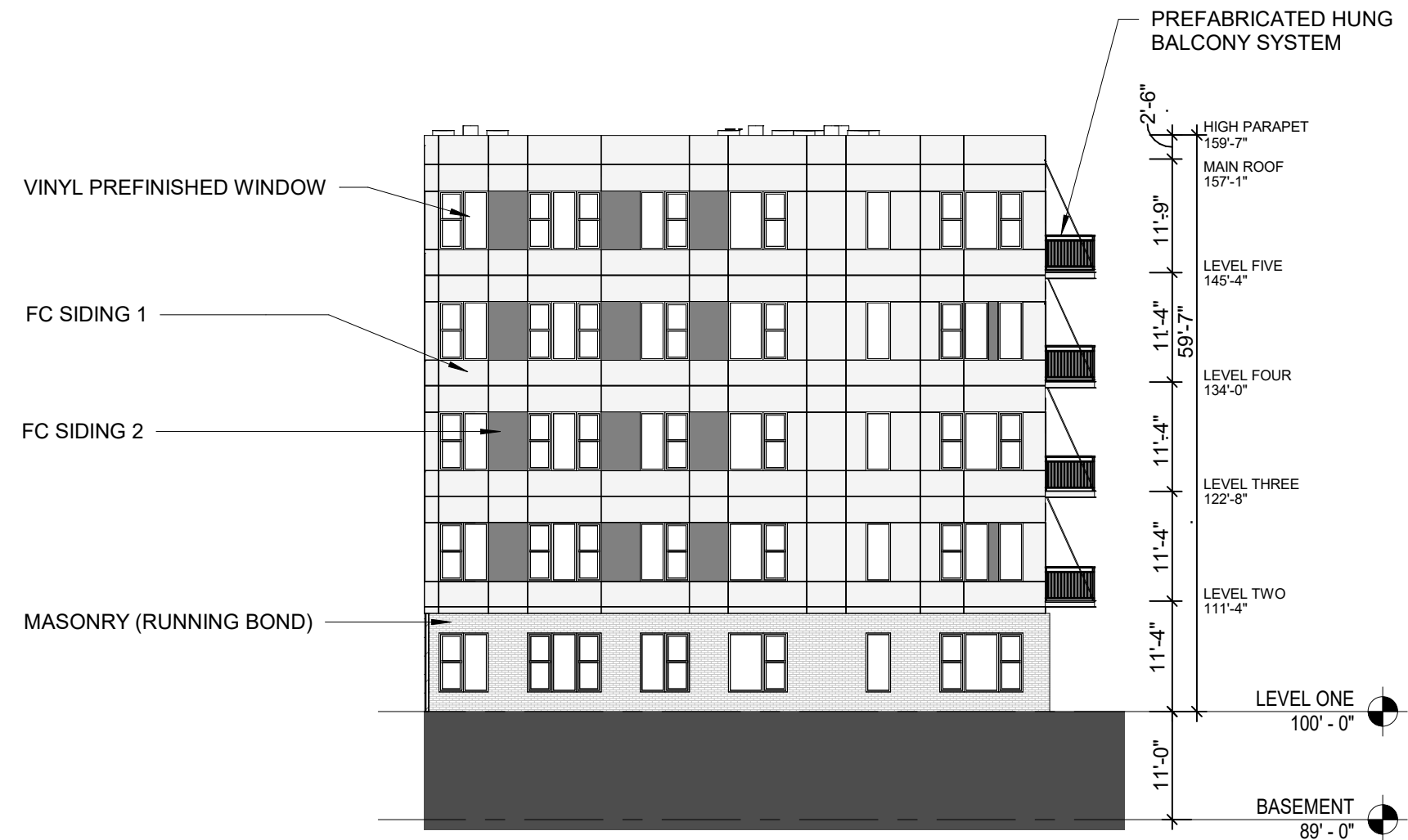
1 WEST ELEVATION INSET 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION INSET 2 - DESIGN B&W
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION 2 - DESIGN B&W
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 3 - DESIGN B&W
SCALE: 1/16" = 1'-0"

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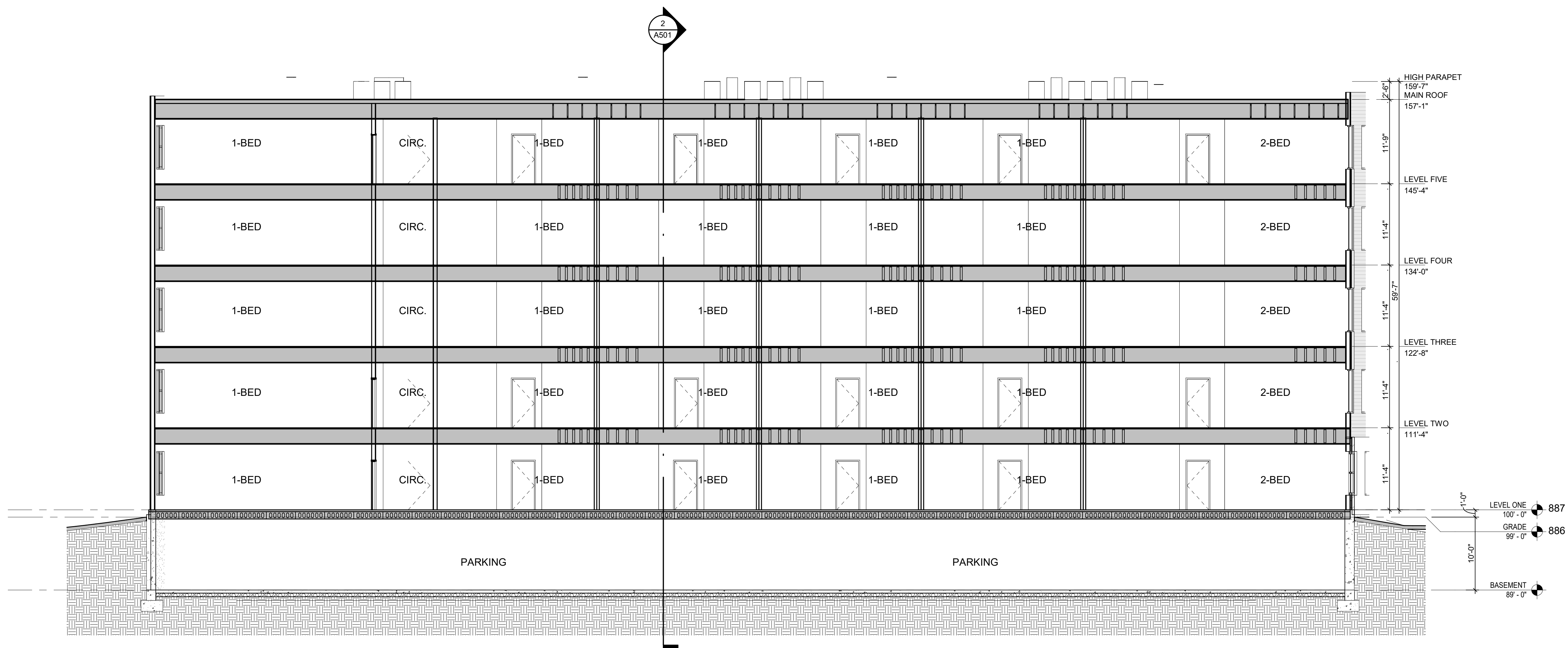
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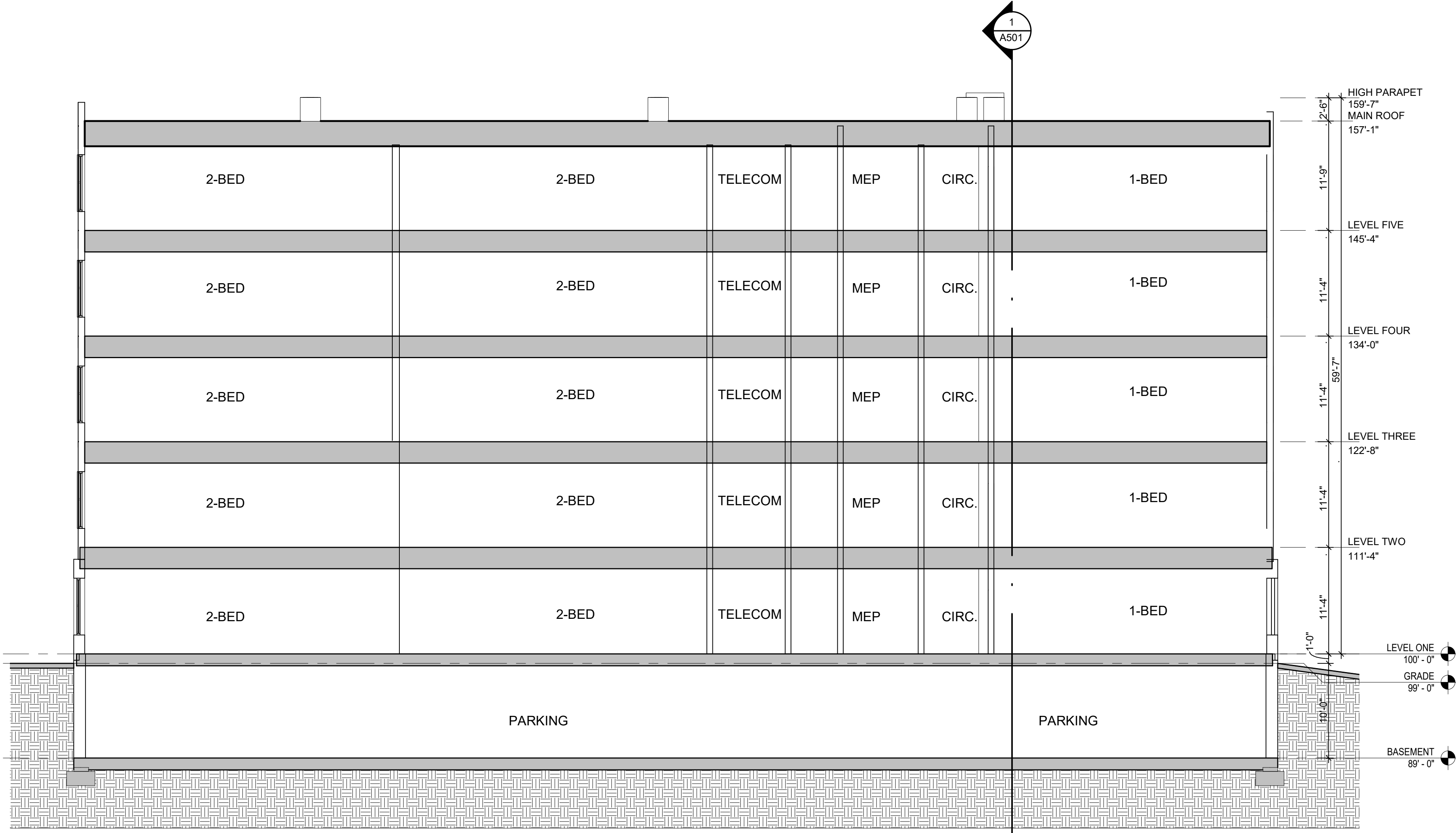
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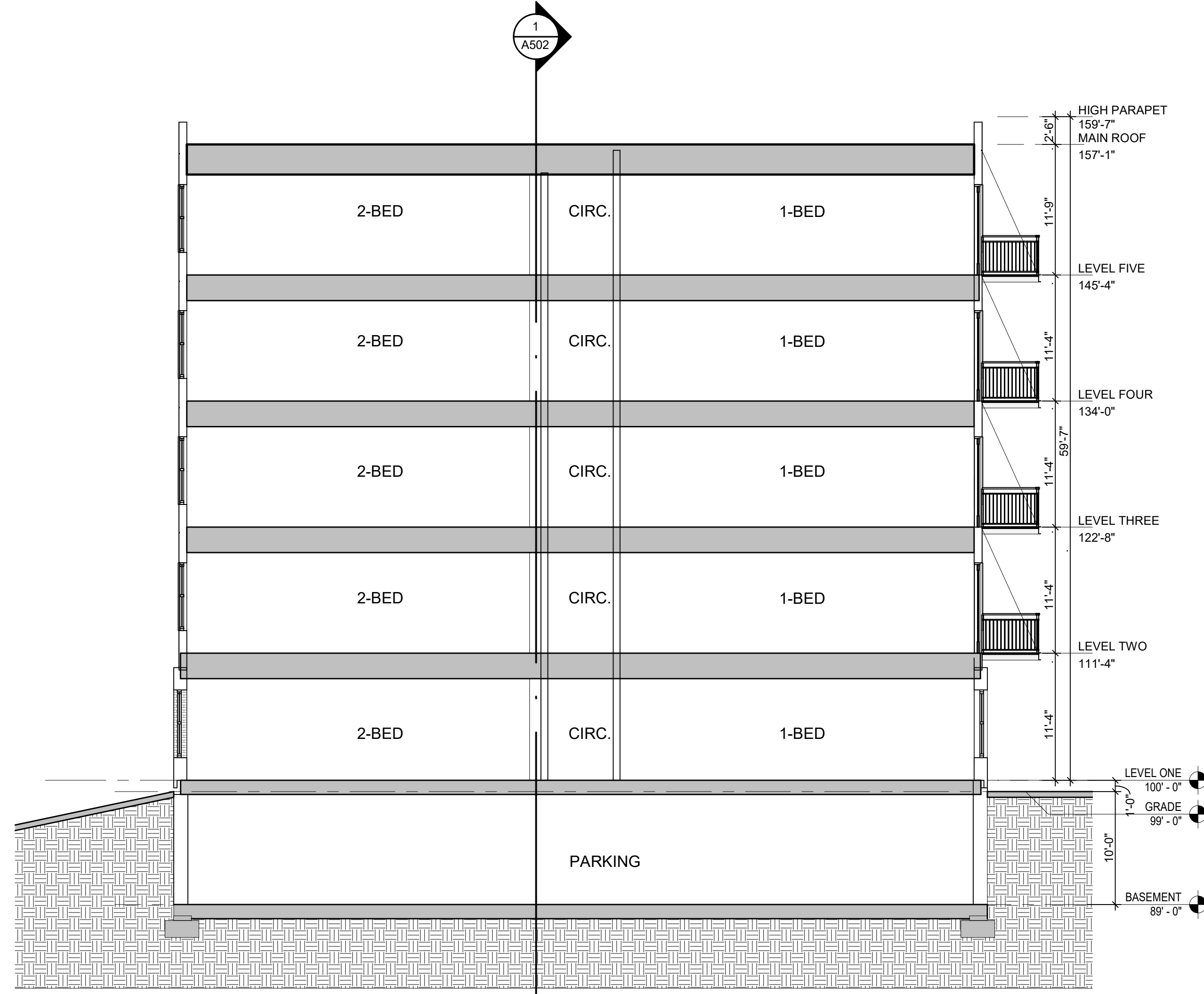
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1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION 3
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION 4
SCALE: 1/8" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

BUILDING SECTIONS

- FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
- FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)
- FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
- FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
- MASONRY: DESIGNER CONCRETE BRICK (RUNNING BOND)



3100 EAST WASHINGTON

MATERIALS



3100 EAST WASHINGTON

EXTERIOR RENDERINGS

SCALE:

Engberg Anderson Project No. 233606.00



3100 EAST WASHINGTON

EXTERIOR RENDERINGS

SCALE:

Engberg Anderson Project No. 233606.00