

# 3100 EAST WASHINGTON

## MULTIFAMILY HOUSING

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

PROJECT

SEAL

CONSULTANTS

DRAWINGS

### CIVIL-LANDSCAPE

**JSD**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
PH 608-848-5060

C0 ALTANSPS LAND TITLE SURVEY  
C100 NOTES AND LEGEND  
C200 DEMOLITION PLAN  
C300 SITE PLAN - ANNOTATIVE  
C301 SITE PLAN - DIMENSIONED  
C302 SITE PLAN - COURTYARD  
C400 GRADING AND EROSION CONTROL PLAN  
C401 DETAILED GRADING  
C500 UTILITY PLAN  
C600 DETAILS-EROSION CONTROL  
C601 DETAILS-UTILITIES  
C602 DETAILS-SITE

L100 OVERALL LANDSCAPE PLAN  
L101 LANDSCAPE PLAN - COURTYARD  
L200 LANDSCAPE DETAILS

FAE FIRE ACCESS EXHIBIT

### PHOTOMETRICS

**SPECTRUM**  
N8 W22520 JOHNSON DRIVE UNIT E  
WAUKESHA, WI 53186  
PH 262-970-0300

001 SITE PLAN LIGHTING  
002 SITE PLAN LIGHT LEVELS  
003 LIGHTING CUTSHEETS  
004 PARKING GARAGE LIGHTING PLAN  
005 PARKING GARAGE LIGHT LEVELS  
006 LIGHTING CUT SHEETS

### ARCHITECTURAL

**ENGBERG ANDERSON ARCHITECTS**  
320 E BUFFALO ST  
SUITE 500  
MILWAUKEE, WI 53202  
PH 414-944-9000

G000 TITLE SHEET  
G001 DEMO SITE PLAN  
G002 ARCHITECTURAL SITE PLAN

A100 LOWER LEVEL PLAN  
A101 FIRST FLOOR PLAN  
A102 TYPICAL FLOOR PLAN  
A104 ROOF PLAN  
A300 ENLARGED UNIT PLANS  
A301 ENLARGED UNIT PLANS  
A302 ENLARGED UNIT PLANS  
A303 ENLARGED UNIT PLANS  
A304 ENLARGED UNIT PLANS  
A305 ENLARGED UNIT PLANS  
A306 ENLARGED UNIT PLANS  
A307 ENLARGED UNIT PLANS  
A401 BUILDING ELEVATIONS  
A402 BUILDING ELEVATIONS  
A403 BUILDING ELEVATIONS  
A404 BUILDING ELEVATIONS  
A501 BUILDING SECTIONS

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION DATE

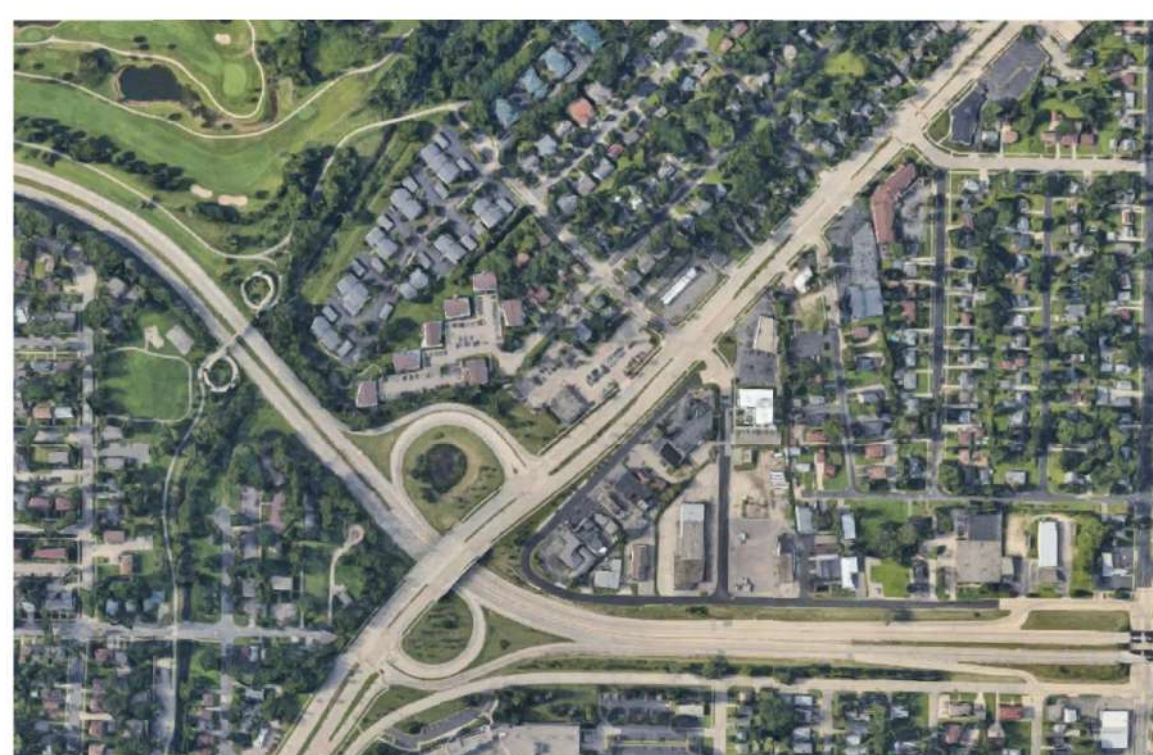
LAND USE SUBMITTAL

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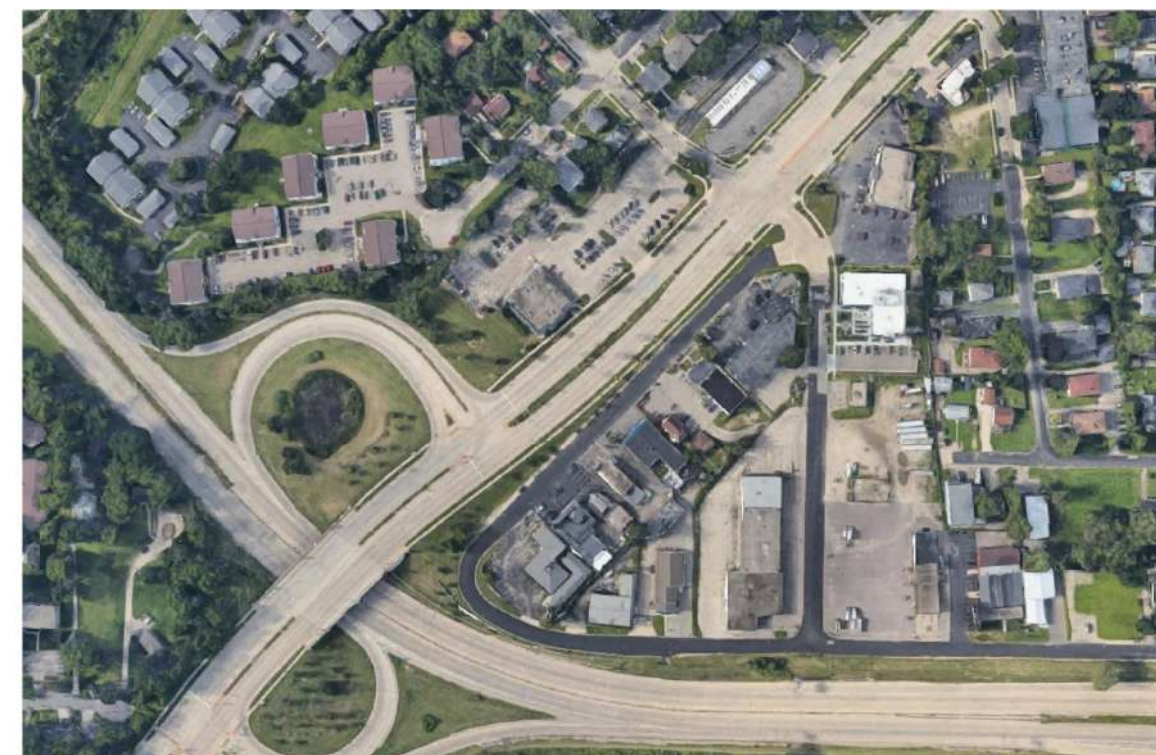
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TITLE SHEET

SITE LOCATION MAP



VICINITY MAP



**G000**

**ALTA/NSPS LAND TITLE SURVEY**

PART OF OUTLOTS 30, 31, 32, 37, 38 AND 39, BURKE ASSESSOR'S PLAT No. 1, LOCATE IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**BEAR DEVELOPMENT, LLC**

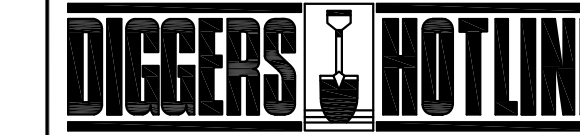
CLIENT ADDRESS:  
4011 80th STREET  
KENOSHA, WI 53142-4955

NOTE: GTWB DOES NOT SHOW A WATER SERVICE FROM EAST WASHINGTON AVENUE TO THE SITE. IT SHOWS SERVICE FROM RIDGEWAY AVENUE, FROM RIDGEWAY AVENUE, SEE NOTE No. 9.

PROJECT:  
**MULTI-FAMILY DEVELOPMENT**

PROJECT LOCATION:  
3100 E. WASHINGTON AVE.  
MADISON, WI  
DANE COUNTY

PROJECT LOCATION:  
3100 E. WASHINGTON AVE.  
MADISON, WI  
DANE COUNTY



MODIFICATIONS:

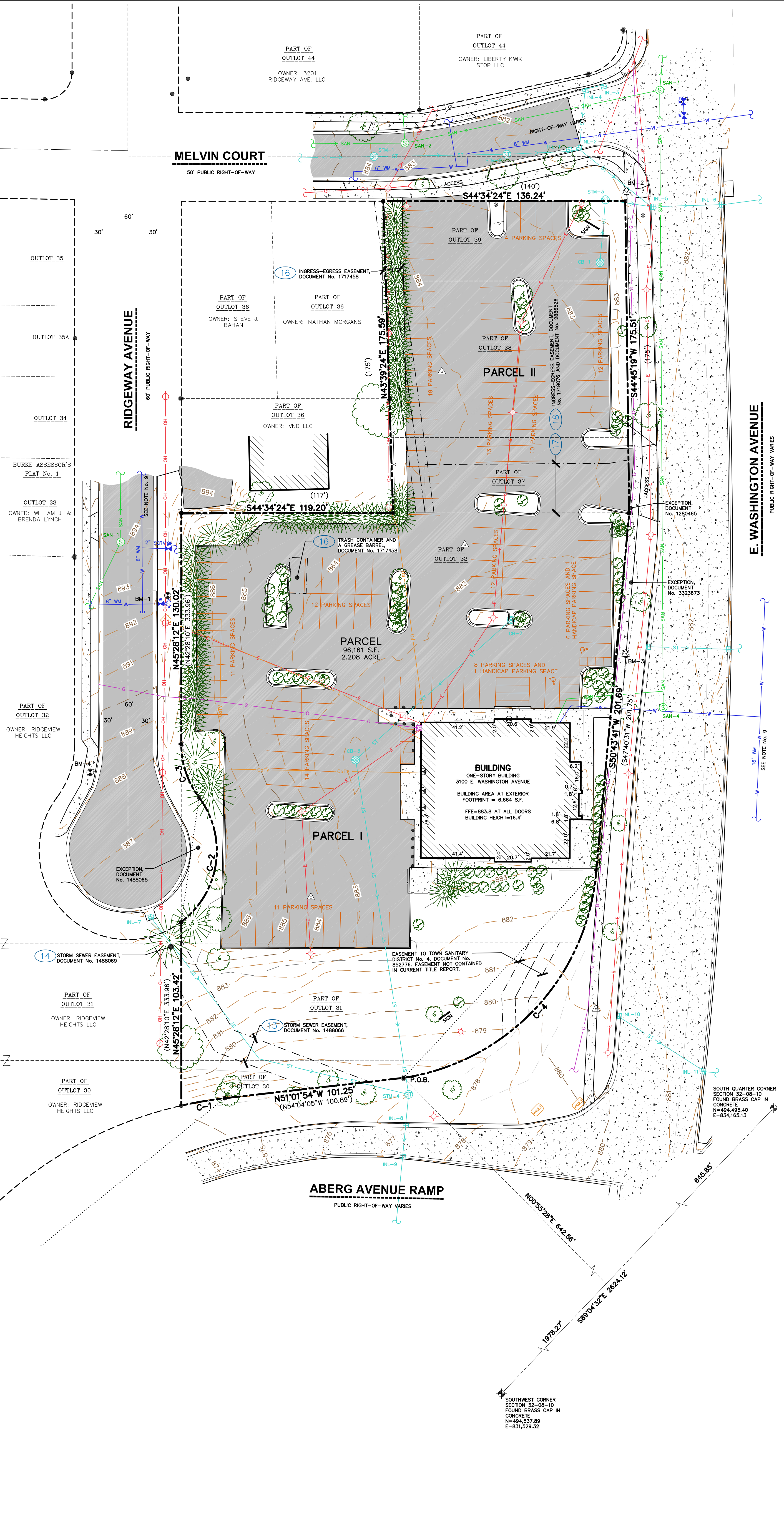
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15		

Prepared By: JK 04/20/23  
Reviewed By: TJB 04/20/23  
Approved By: TJB 04/20/23  
SHEET TITLE:

**ALTA/NSPS LAND TITLE SURVEY**

SHEET NUMBER:  
**1 OF 1**

PROJECT NO: 23-131915



**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	24.86'	226.00'	61°8'10"	N54°10'45"W	24.85'
( )	-	226.00'	-	N57°14'35"W	25.10'
C-2	78.54'	50.00'	90°00'00"	N53°36'01"E	70.71'
( )	-	50.00'	-	N50°35'57.5"E	70.71'
C-3	32.17'	50.00'	36°51'37"	N27°01'49"E	31.61'
( )	-	50.00'	-	N24°02'04"E	31.62'
C-4	172.41'	128.00'	77°10'31"	S88°16'23"W	159.67'
( )	-	128.00'	-	S85°24'45"W	159.54'

**SANITARY SEWER MANHOLES**

STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	894.22	885.52	8" PVC	PVC
SAN-2	883.22	NE 884.72	8" PVC	PVC
		NW 872.47	8" PVC	PVC
SAN-3	881.26	SE 872.23	8" PVC	PVC
		NW 873.52	8" PVC	PVC
SAN-4	881.51	NE 871.48	8" PVC	PVC
		SW 873.06	8" PVC	PVC
		NE 872.98	8" PVC	PVC

**STORM SEWER MANHOLES**

STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	883.94	NW 878.88	24" RCP	RCP
STM-2	881.93	NW 878.37	24" RCP	RCP
STM-3	882.56	SE 878.16	24" RCP	RCP
		SW 879.42	12" RCP	RCP
STM-4	877.00	NE 873.88	12" RCP	RCP
		SE 874.32	12" RCP	RCP
STM-5	881.47	NE 873.77	24" RCP	RCP
		SW 873.92	18" RCP	RCP
CB-1	882.53	NE 880.00	12" HDPE	HDPE
CB-2	881.83	NW 878.25	12" VCP	VCP
CB-3	881.70	SW 877.02	12" VCP	VCP
		SW 876.95	12" RCP	RCP

**STORM SEWER INLETS**

INLET ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	881.28	NW 877.14	24" RCP	RCP
INL-2	881.28	SE 877.25	24" RCP	RCP
		NW 876.89	24" RCP	RCP
INL-3	881.10	NE 876.98	18" RCP	RCP
		SE 876.94	24" RCP	RCP
INL-4	881.18	NW 877.93	15" RCP	RCP
		SW 877.44	15" RCP	RCP
INL-5	881.21	SE 877.04	18" RCP	RCP
		NW 876.46	24" RCP	RCP
INL-6	881.79	NW 876.71	12" RCP	RCP
		SE 875.93	24" RCP	RCP
INL-7	886.46	SE 875.55	24" RCP	RCP
		SW 883.66	12" RCP	RCP
INL-8	876.78	NE 873.08	18" RCP	RCP
		SW 873.03	18" RCP	RCP
INL-9	877.21	NE 872.96	18" RCP	RCP
		SW 872.90	24" RCP	RCP
INL-10	880.20	SE 876.57	12" RCP	RCP
		NW 876.08	12" RCP	RCP
INL-11	880.91	SE 876.05	15" RCP	RCP

**BENCHMARKS**

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	894.20	BURY BOLT ON HYDRANT SE SIDE OF RIDGEWAY AVE., NW CORNER OF SITE
BM-2	881.80	CUT CROSS IN SIDEWALK, NE CORNER OF SITE
BM-3	882.18	CUT CROSS IN SIDEWALK SW OF DRIVEWAY ENTRANCE ON E. WASHINGTON AVE.
BM-4	888.75	CUT CROSS IN SIDEWALK NW SIDE OF RIDGEWAY AVE. NEAR CURB-DE-SAC

\*SD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

**LEGEND**

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- 3/4" REBAR FOUND
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER VALVE
- STORM MANHOLE
- ROUND CASTED INLET
- CURB INLET
- GAS REGULATOR/METER
- ELECTRIC TRANSFORMER
- LIGHT POLE
- POWER POLE W/GUY
- VAULT
- CABLE PEDESTAL
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- HANDICAP PARKING
- PARCEL BOUNDARY
- SECTION LINE

**NOTES**

- FIELD WORK PERFORMED ON APRIL 17, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (COUNTY) ZONE THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 32--08--10, RECORDED AS S89°04'32"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE SOUTH QUARTER CORNER OF SECTION 32, TOWN, R10E, ELEVATION = 867.38'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MARKS. DIGGERS HOTLINE TICKET NO. 202311181 WITH A CLEAR DATE OF APRIL 14, 2023.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:  
CITY OF MADISON ENGINEERING  
MADISON GAS AND ELECTRIC COMPANY, M&E (ELECTRIC AND GAS)  
CHARTER COMMUNICATIONS  
AT&T DISTRIBUTION  
MCI
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- SHOWN PER THE CITY OF MADISON GIS (GTEWB) FOR SANITARY AND STORM SEWER, WATER MAINS AND CITY ELECTRICAL SERVICES. GTWEB DOES NOT SHOW A WATER SERVICE FROM EAST WASHINGTON AVENUE TO THE SITE. SERVICE IS SHOWN TO BE FROM RIDGEWAY AVE.

**NOTES CORRESPONDING TO TABLE A REQUIREMENTS:**

- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 55025C0427H, EFFECTIVE DATE SEPTEMBER 17, 2014.
- ITEM 9 THERE ARE 132 PARKING SPACES AND 2 HANDICAP SPACES FOR A TOTAL OF 134 PARKING SPACES.
- ITEM 11(b) PRIVATE LOCATE PERFORMED BY GLS UTILITY LLC--NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION S.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES; HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, BIT OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 14 PARCEL LIES AT THE INTERSECTION OF E. WASHINGTON AVENUE AND MELVIN COURT.
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER CITY OF MADISON ENGINEERING DEPARTMENT. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- ITEM 19 THERE IS AN INSURANCE POLICY ON FILE.
- ITEM 20 DIGGERS HOTLINE WAS CONTACTED.

**LEGAL DESCRIPTION (AS FURNISHED)**

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)

**PARCEL I:**  
PART OF OUTLOTS THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), BURKE ASSESSOR'S PLAT NO. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, AS LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 8 NORTH, RANGE 10 EAST, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT NO. 1; THENCE SOUTH 47°23'50" EAST, ALONG THE NORTHEAST LINE OF SAID OUTLOT 32, 253.98 FEET TO THE NORTHWEST RIGHT-OF-WAY LINE OF EAST WASHINGTON AVENUE (U.S.H. 151); THENCE SOUTH 37°51'50" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 40.16 FEET; THENCE SOUTH 50°47'25" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 162.60 FEET TO POINT OF CURVE; THENCE ALONG THE NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 89°44'51" WEST, 159.64 FEET; THENCE NORTH 54°04'05" WEST, ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY, 100.89 FEET TO A POINT OF CURVE; THENCE CONTINUE ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF A 226.00 FOOT RADIUS CURVE TO THE LEFT, WHOSE LONG CHORD BEARS NORTH 57°44'35" WEST, 35.10 FEET; THENCE NORTH 42°28'10" EAST, ALONG THE SOUTHWEST LINE OF RIDGEWAY AVENUE, 333.96 FEET TO THE NORTHWEST CORNER OF SAID OUTLOT 36 AND THE POINT OF BEGINNING, EXCEPT THAT PART DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT NO. 1; THENCE SOUTH 42°28'10" WEST, 129.93 FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 24°02'04" WEST, 31.62 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 50°35'57.5" WEST, 70.71 FEET; THENCE NORTH 42°28'10" EAST, 100.00 FEET TO THE POINT OF BEGINNING OF THIS EXCEPTION.

ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN INSTRUMENT RECORDED MAY 22, 20011 AS AS DOCUMENT NO. 3323673.

**PARCEL II:**  
OUTLOTS 37, 38 AND 39, BURKE ASSESSOR'S PLAT NO. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT THAT PART CONVEYED TO THE CITY OF MADISON RECORDED IN VOLUME 221 OF RECORDS, PAGE 214, DOCUMENT NO. 1280465.

FOR INFORMATIONAL PURPOSES ONLY:  
PROPERTY ADDRESS: 3100 E. WASHINGTON AVE, MADISON, WI 53704  
TAX KEY NUMBER: 251/0810-325-0401-6

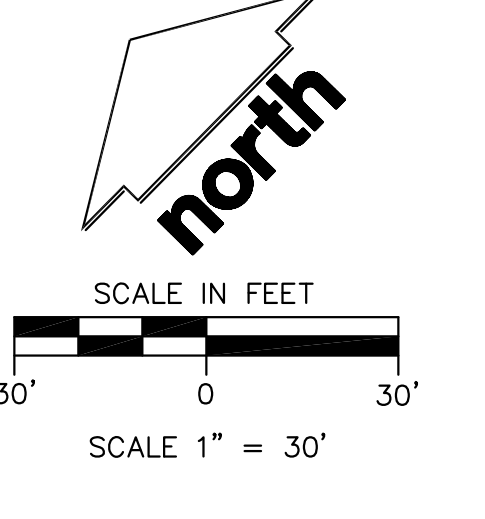
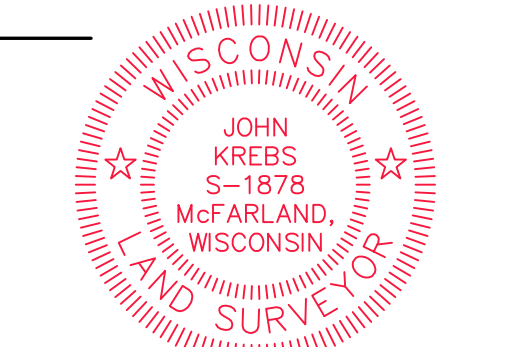
**SURVEYOR'S CERTIFICATE**

TO:  
i) BEAR CAPITAL, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,  
ii) LLS ENTERPRISES LLC, c/a/o LLS ENTERPRISES, L.L.C., A WISCONSIN LIMITED LIABILITY COMPANY,  
iii) FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 10, 11(b), 13, 14, 16, 17, 19 AND 20 OF TABLE A THEREOF; THE FIELD WORK WAS COMPLETED ON APRIL 17, 2023.

JOHN KREBS, S-1878 DATE 06/29/2023

PROFESSIONAL LAND SURVEYOR  
Email: john.krebs@jsdinc.com  
Website: www.jsdinc.com



File: I202302131510\DWG\Survey\202302131510 ALTA.dwg, User: johner, PlotDate: Jun 28, 2023 - 8:23am, WPlot:



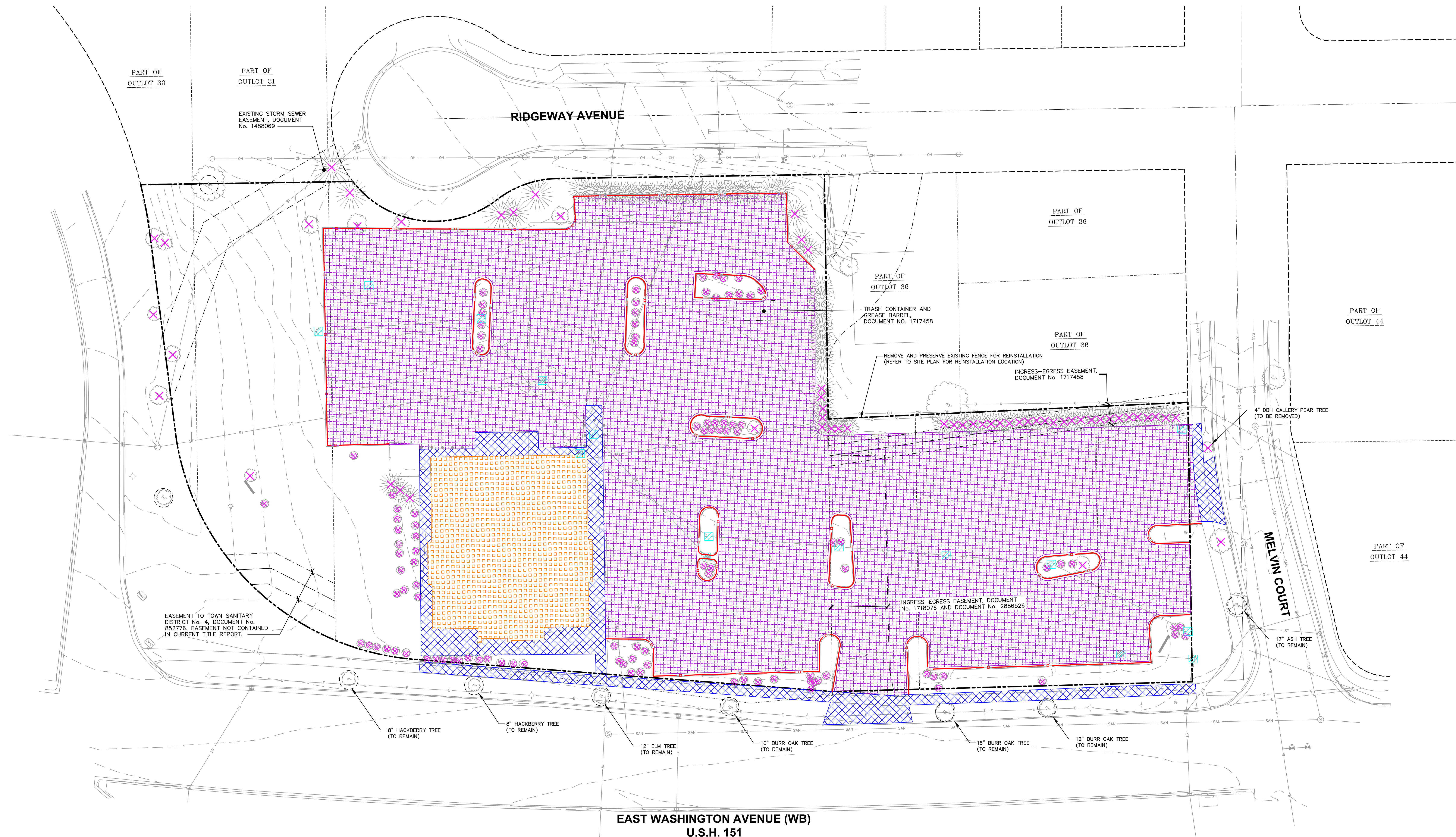
**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704  
OWNER  
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4011 80TH STREET  
KENOSHA, WI 53142

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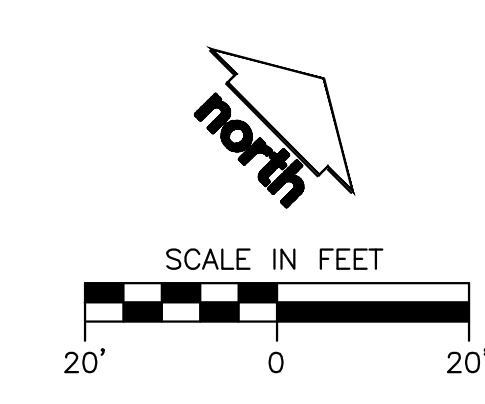


**LEGEND**

	SAWCUT EXISTING PAVEMENT
	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)

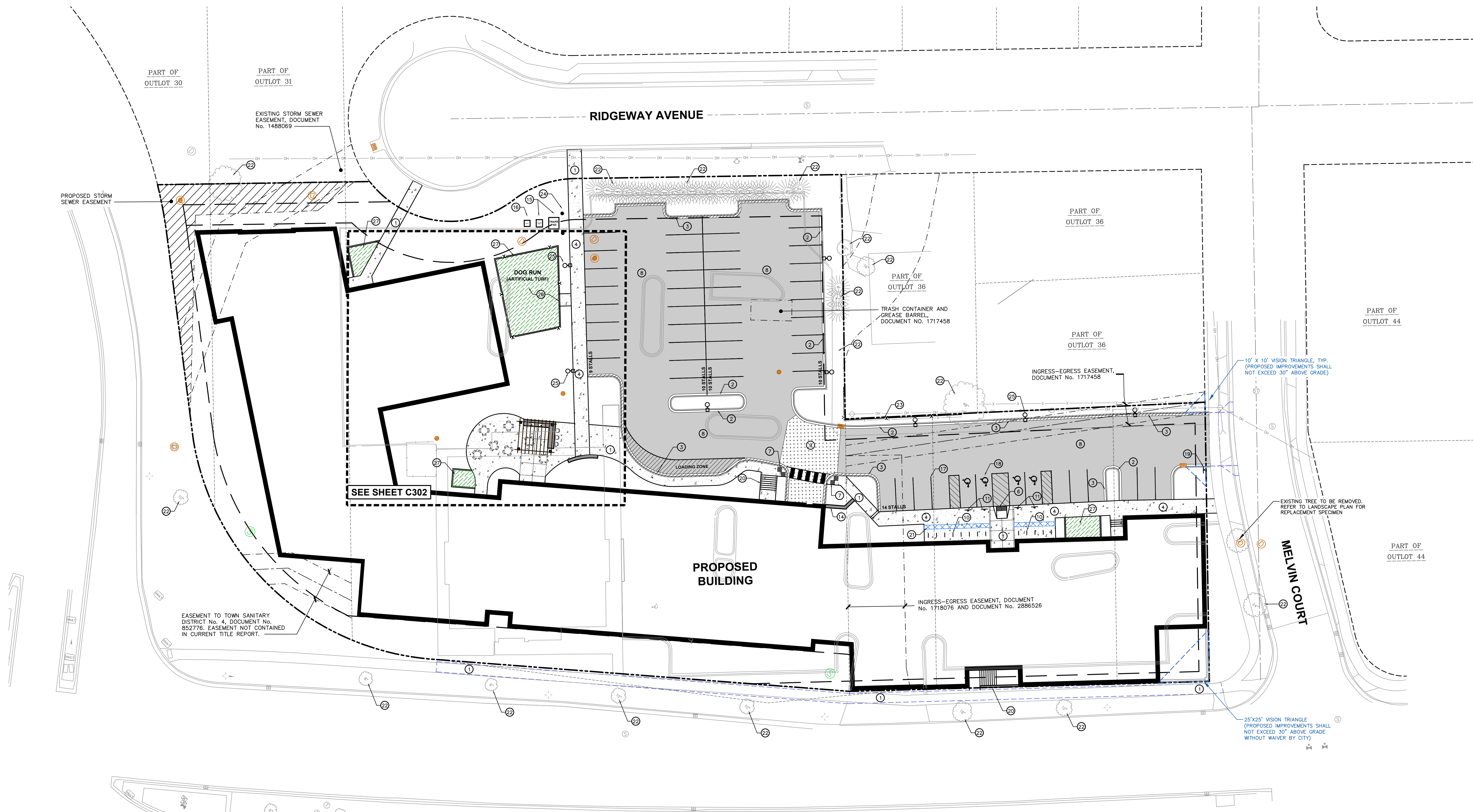


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CHECKED BY \_\_\_\_\_ Checker

**DEMOLITION PLAN**

**C200**

File: I:\2023\3100 E WASHINGTON\3100\_C200\_DEMO.dwg Layout: C200\_DEMO User: jfisher Plot Date: Aug 03, 2023 - 3:54pm Scale: 1/8"=1'-0"



SEE SHEET C302

PROPOSED BUILDING

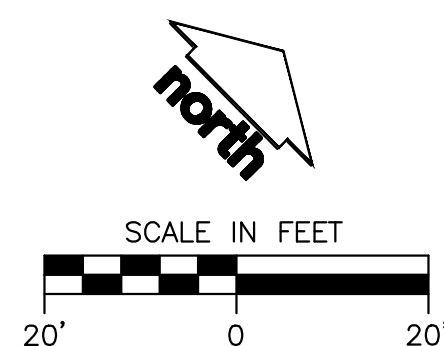
EAST WASHINGTON AVENUE (WB)  
U.S.H. 151

- NOTES**
1. CONCRETE SIDEWALK.
  2. 18" CURB AND GUTTER (STANDARD)
  3. 18" CURB AND GUTTER (REJECT)
  4. THICKENED EDGE SIDEWALK
  5. INTENTIONALLY OMITTED
  6. ADA ACCESSIBLE RAMP (FLUSH)
  7. WARNING DETECTOR
  8. ASPHALT PAVEMENT
  9. REINFORCED CONCRETE PAVEMENT
  10. BIKE RACK
  11. ADA PARKING SIGN
  12. AREA WELL (REFER TO ARCHITECTURAL)
  13. LIGHT POLE (REFER TO PHOTOMETRIC)
  14. CONCRETE RETAINING WALL (REFER TO ARCHITECTURAL/STRUCTURAL)
  15. MG&E TRANSFORMER PAD AND TERMINATION CABINET (CONTRACTOR SHALL COORDINATE AND CONFIRM FINAL PLACEMENT WITH MG&E PRIOR TO BIDDING AND INSTALLATION).
  16. GENERATOR PAD (PAD SPECIFICATIONS TO BE DESIGNED BY OTHERS).
  17. PAVEMENT STRIPING (4" WIDE), TYP
  18. ADA STALL PAVEMENT STRIPING, TYP
  19. TYPE R1-1 STOP SIGN
  20. CONCRETE STOOP, STAIRCASE, AND RAILING (REFER TO ARCHITECTURAL)
  21. 2'-0" BICYCLE OVERHANG
  22. EXISTING TREE TO REMAIN
  23. REFURBISHED/REINSTALLED PRIVACY FENCE
  24. CONCRETE BOLLARD, TYP
  25. LIGHT POLE, TYP (REFER TO PHOTOMETRIC)
  26. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE
  27. ARTIFICIAL TURF AND EDGING (REFER TO LANDSCAPE)

SITE INFORMATION BLOCK	
PROPERTY ACREAGE	2.208 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	254,903 SF
GROSS BUILDING SQUARE FOOTAGE	254,903 SF
<b>NUMBER OF PARKING STALLS</b>	
SURFACE	
LARGE	49
ACCESSIBLE	4
TOTAL SURFACE	53
UNDERGROUND	
LARGE	87
ACCESSIBLE	2
TOTAL UNDERGROUND	89
<b>NUMBER OF BICYCLE STALLS:</b>	
SURFACE	
UNDERGROUND	
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	66,263 SF
EXISTING PERVIOUS SURFACE AREA	29,898 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.689
PROPOSED IMPERVIOUS SURFACE AREA	69,424 SF
PROPOSED PERVIOUS SURFACE AREA	26,737 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.72

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



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CHECKED BY Checker

SITE PLAN - ANNOTATED

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**3100 EAST WASHINGTON**

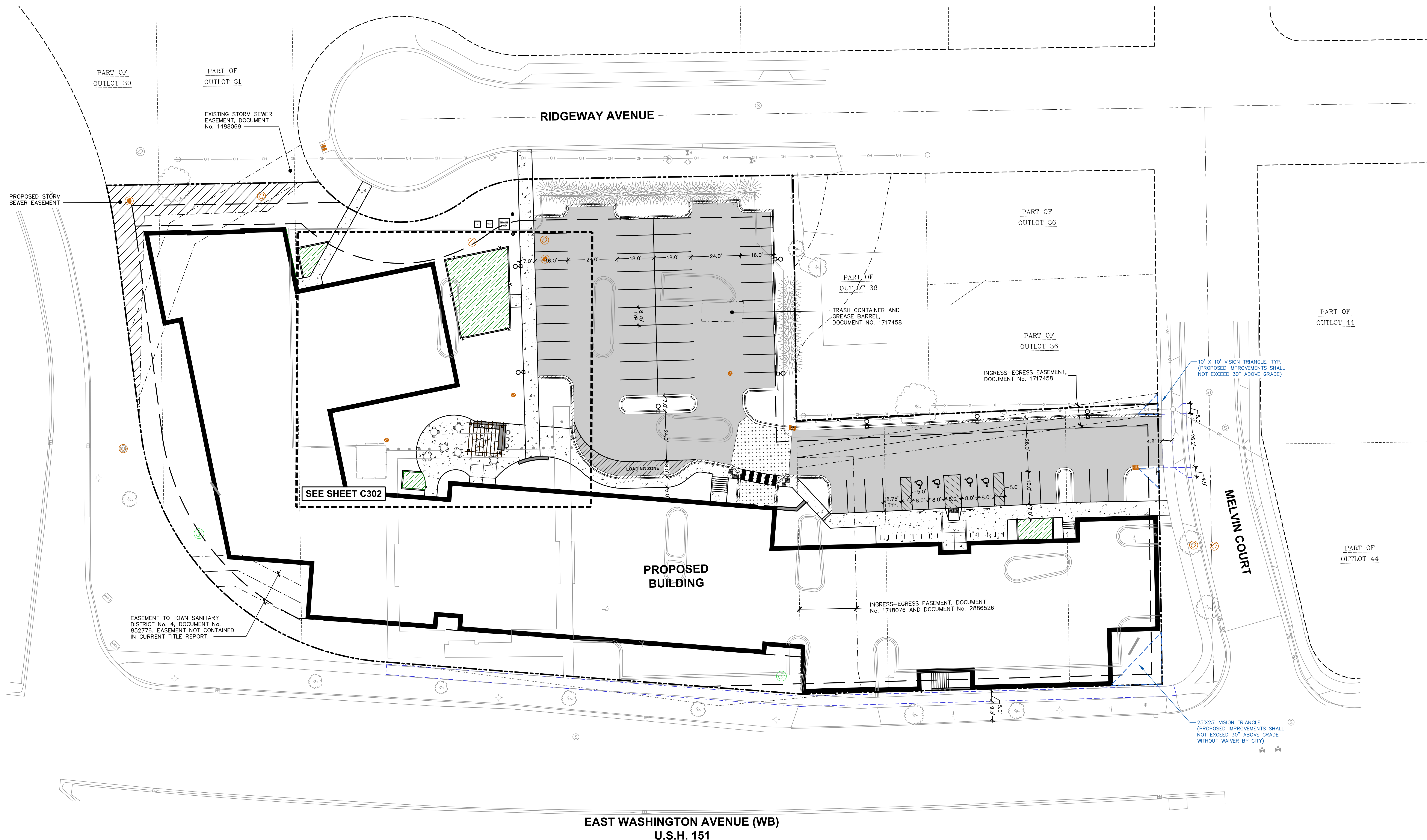
3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:  
LAND USE APPLICATION 08/07/23

REVISION FOR:  
NO. DESCRIPTION DATE

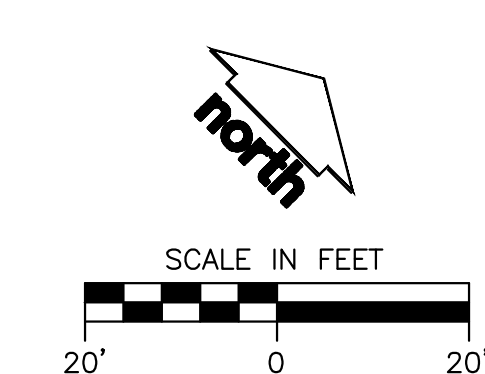


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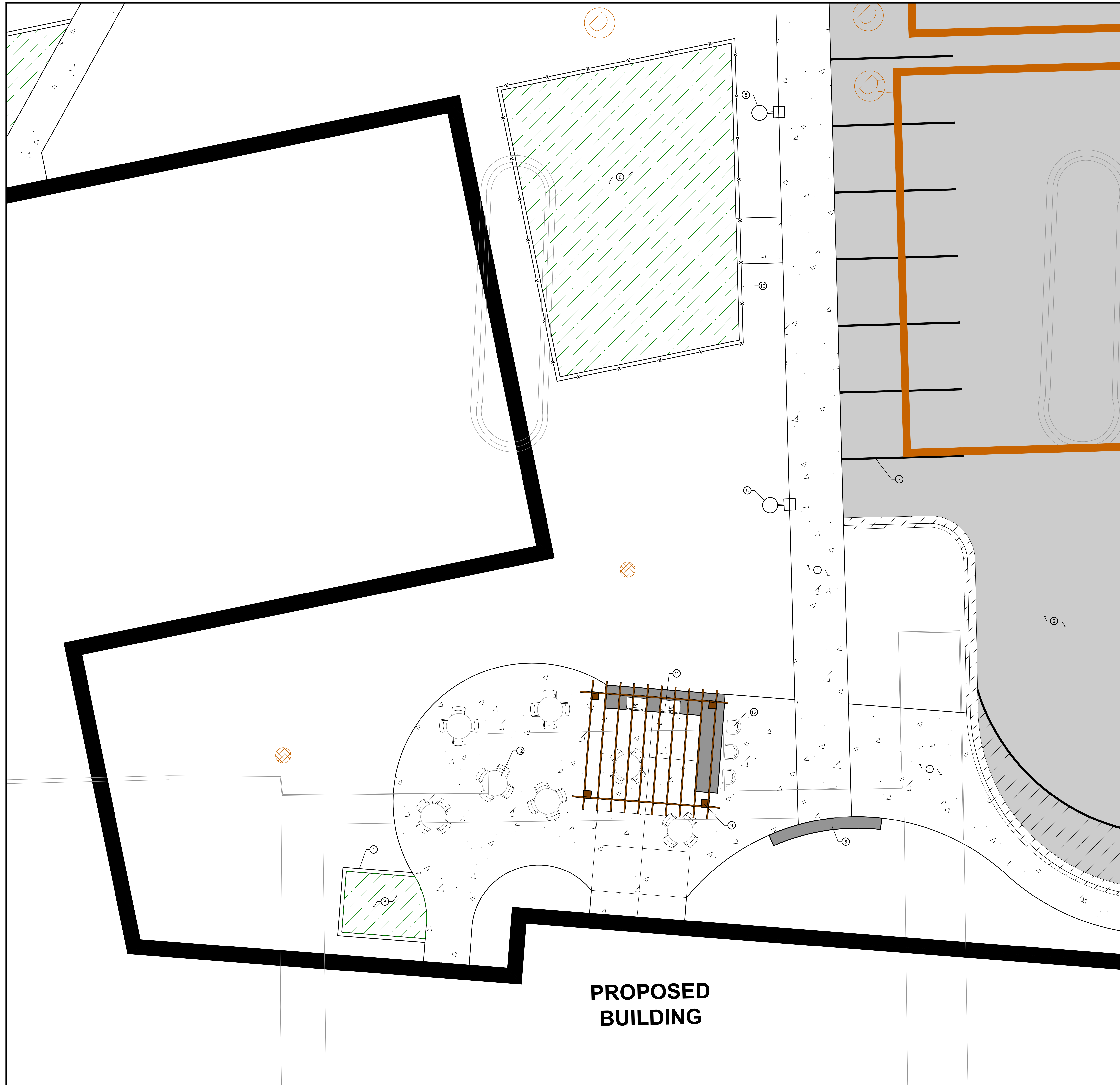
**SITE PLAN - DIMENSIONED**

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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**C301**



**KEY NOTES**

1. CONCRETE SIDEWALK SECTION
2. ASPHALT PAVEMENT
3. CONCRETE PAVEMENT WITH CUT CONTROL JOINTS
4. 6" RIBBON CURB
5. LIGHT POLE (REFER TO PHOTOMETRIC)
6. POURED IN PLACE CONCRETE SEAT WALL W/ VENEER AND CAP
7. PAVEMENT STRIPING (4" WIDE)
8. ARTIFICIAL TURF
9. PERGOLA SHADE STRUCTURE
10. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE
11. ELECTRIC GRILL STATION AND COUNTERTOP
12. OUTDOOR FURNITURE (BY INTERIOR DESIGN TEAM)



MILWAUKEE | MADISON | TUCSON | CHICAGO



**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
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PROJECT NUMBER 233606.00

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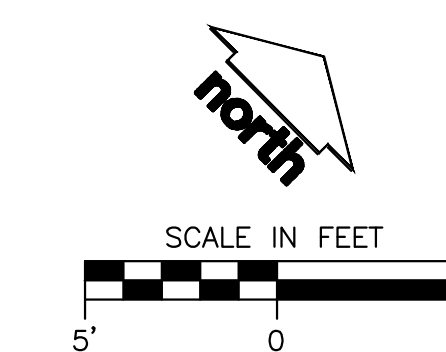
**REVISION FOR:**

NO.	DESCRIPTION	DATE

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**SITE PLAN - COURTYARD**



**C302**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

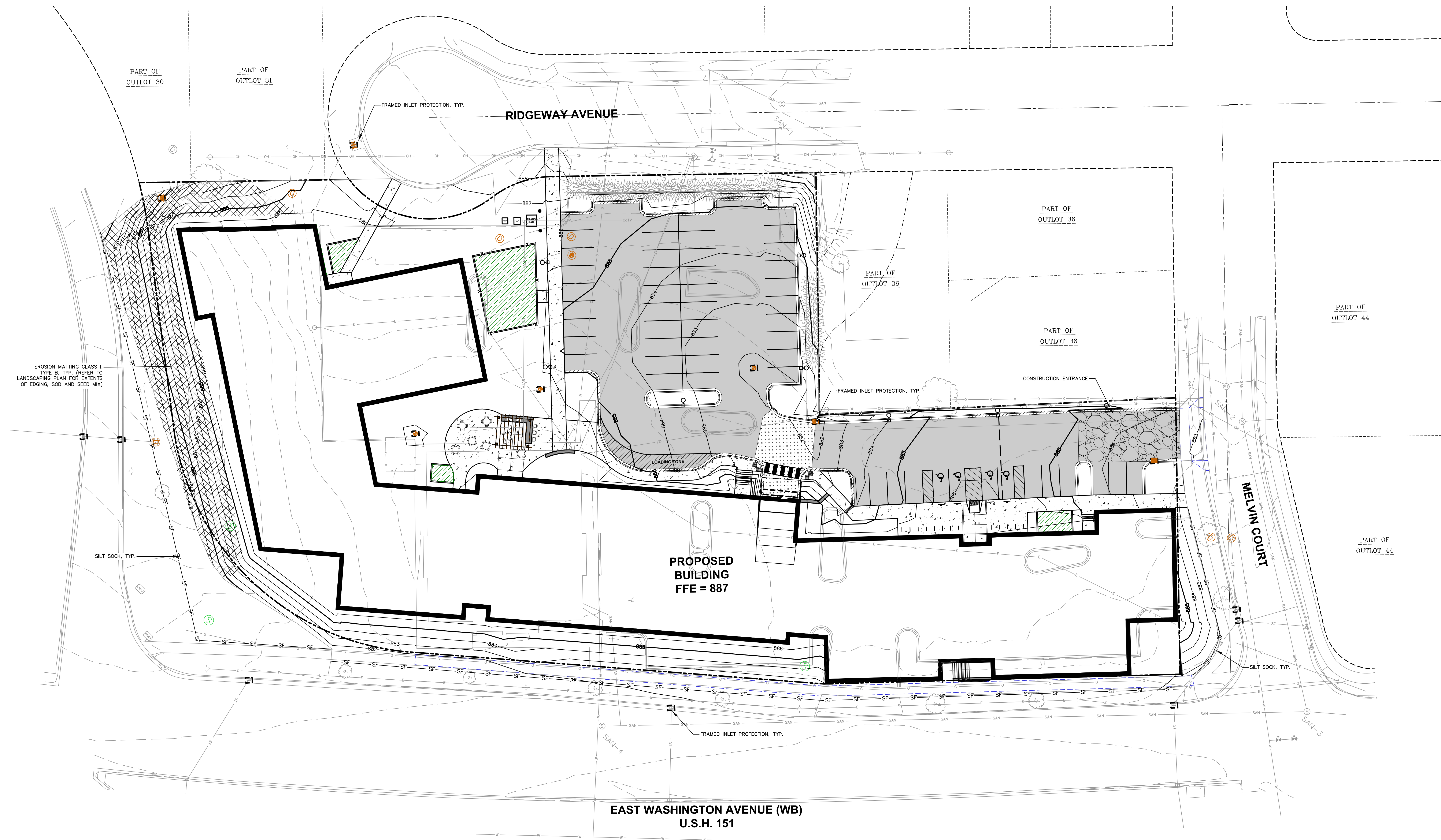
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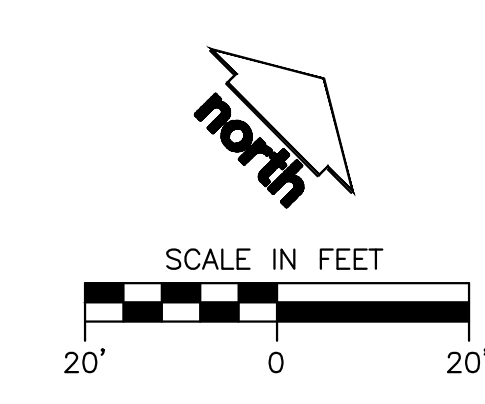
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**GRADING AND  
EROSION CONTROL**



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**C400**



**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

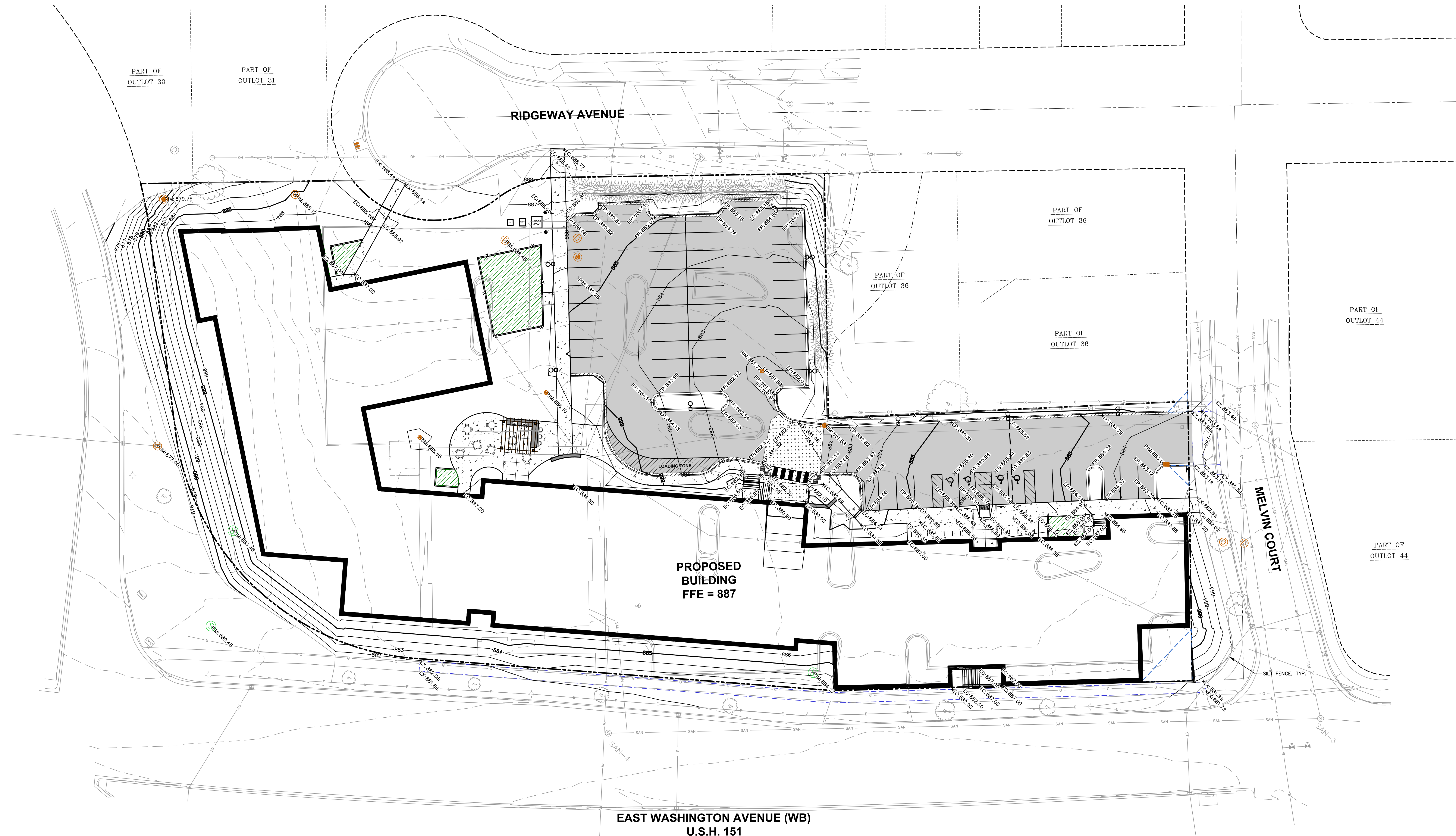
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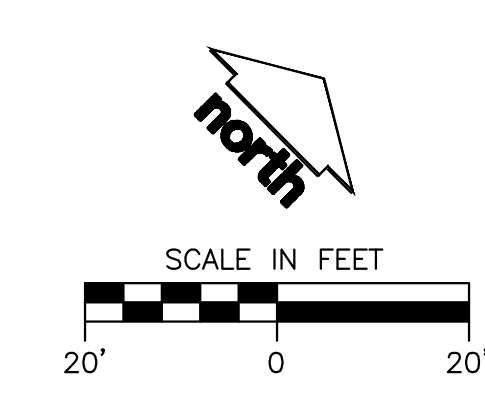
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**DETAILED GRADING**

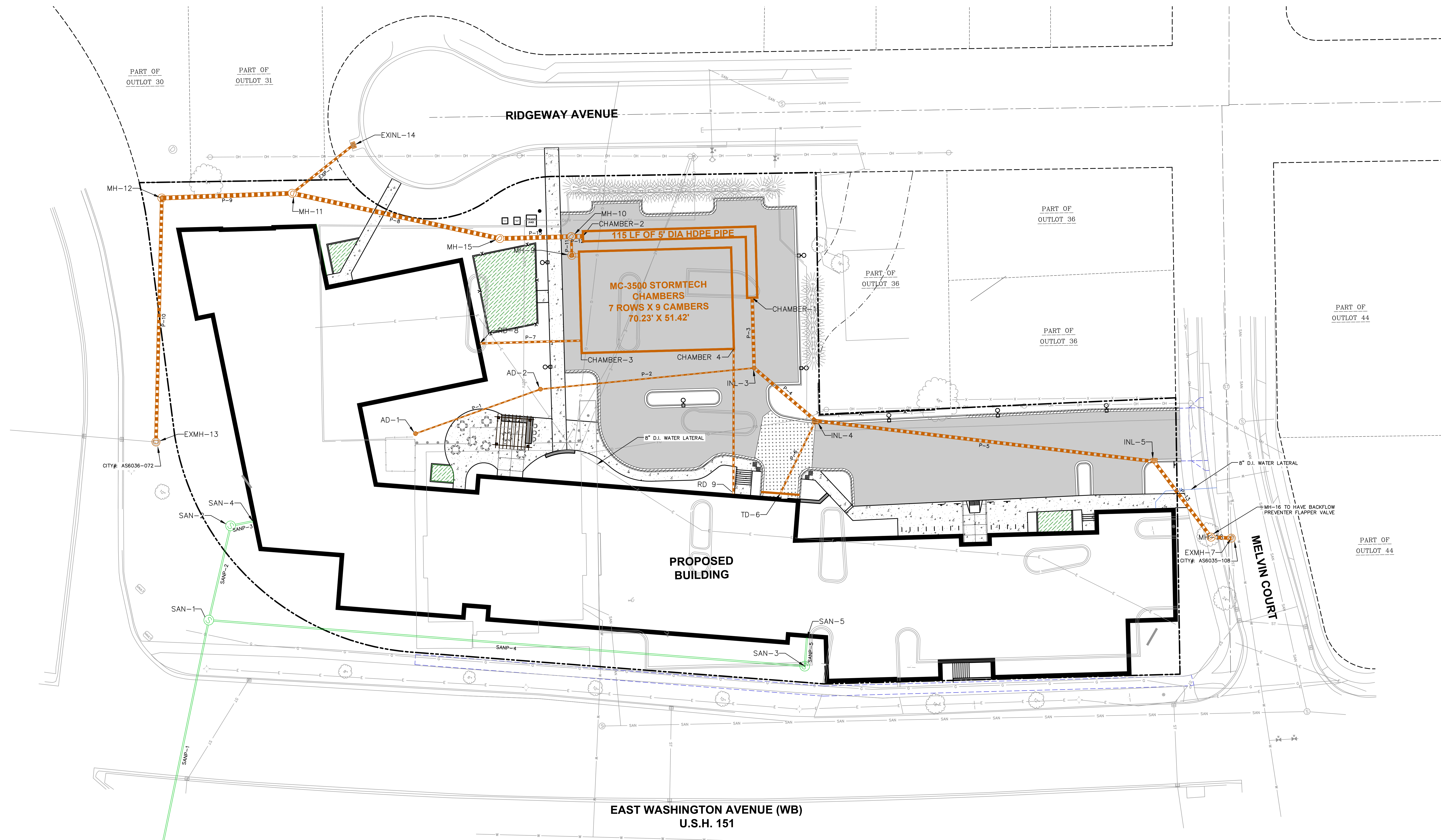


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**C401**



PROPOSED SANITARY SEWER STRUCTURE TABLE

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN-1	876.08	NE INV: 871.48 (8") NW INV: 871.48 (8") SE INV: 871.48 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-2	876.58	NE INV: 871.98 (8") SE INV: 871.98 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-3	879.15	NW INV: 874.54 (8") SW INV: 874.54 (8")	4.6	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
SANP-1	SAN-1	SAN-1	135'	866.66	871.48	2.08%	8 IN PVC
SANP-2	SAN-1	SAN-2	48'	871.48	871.98	1.04%	8 IN PVC
SANP-3	SAN-2	SAN-4	11'	871.98	872.10	1.04%	8 IN PVC
SANP-4	SAN-1	SAN-3	294'	871.48	874.54	1.04%	8 IN PVC
SANP-5	SAN-3	SAN-5	14'	874.54	874.69	1.04%	8 IN PVC

PROPOSED STORM SEWER STRUCTURE TABLE

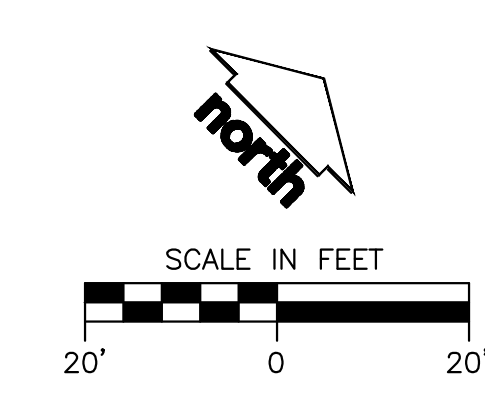
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
AD-1	885.85	NE INV: 879.45 (6")	6.4	12 IN DB	Standard Standard
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R-2050 TYPE D
EXMH-13	883.16	NW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID
INL-3	881.72	SW INV: 877.64 (6") E INV: 877.64 (18") NW INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L
MH-9	885.52	NW INV: 877.50 (12")	8.0	36 IN MH (FLAT)	R-2050 TYPE D
MH-10	885.73	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (12")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID
MH-11	885.12	NE INV: 875.92 (24") N INV: 881.55 (12") SW INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID
MH-12	879.76	NE INV: 875.25 (24") SE INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
MH-16	884.03	W INV: 878.45 (18") NE INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D
TD-6	881.14	N INV: 877.92 (6")	1.2	10'X16' TRENCH	GRATE COVER

PROPOSED STORM SEWER PIPE TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
EXP-1	MH-11	EXINL-14	38'	881.55	883.66	5.55%	12 IN RCP
P-1	AD-2	AD-1	65'	878.82	879.45	0.96%	6 IN HDPE
P-2	INL-3	AD-2	106'	877.64	878.82	1.12%	6 IN HDPE
P-3	CHAMBER-1	INL-3	35'	877.50	877.64	0.40%	18 IN HDPE
P-4	INL-4	INL-3	40'	877.76	877.64	0.30%	18 IN HDPE (HP)
P-5	INL-4	INL-5	168'	877.76	878.26	0.30%	18 IN HDPE
P-6	INL-4	TD-6	40'	877.76	877.92	0.40%	8 IN HDPE
P-7	CHAMBER-3	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-8	MH-11	MH-15	105'	875.92	877.01	1.04%	24 IN RCP
P-9	MH-12	MH-11	64'	875.25	875.92	1.04%	24 IN RCP
P-10	EXMH-13	MH-12	120'	874.00	875.25	1.04%	18 IN RCP
P-11	MH-10	MH-9	9'	877.50	877.50	0.00%	12 IN HDPE
P-12	MH-10	CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE
P-13	MH-16	INL-5	47'	878.45	880.50	4.39%	18 IN HDPE
P-14	MH-16	EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE
P-15	MH-10	MH-15	35'	877.50	875.50	5.67%	24 IN RCP
P-16	MH-10	MH-15	71'	878.50	877.50	1.40%	10 IN HDPE

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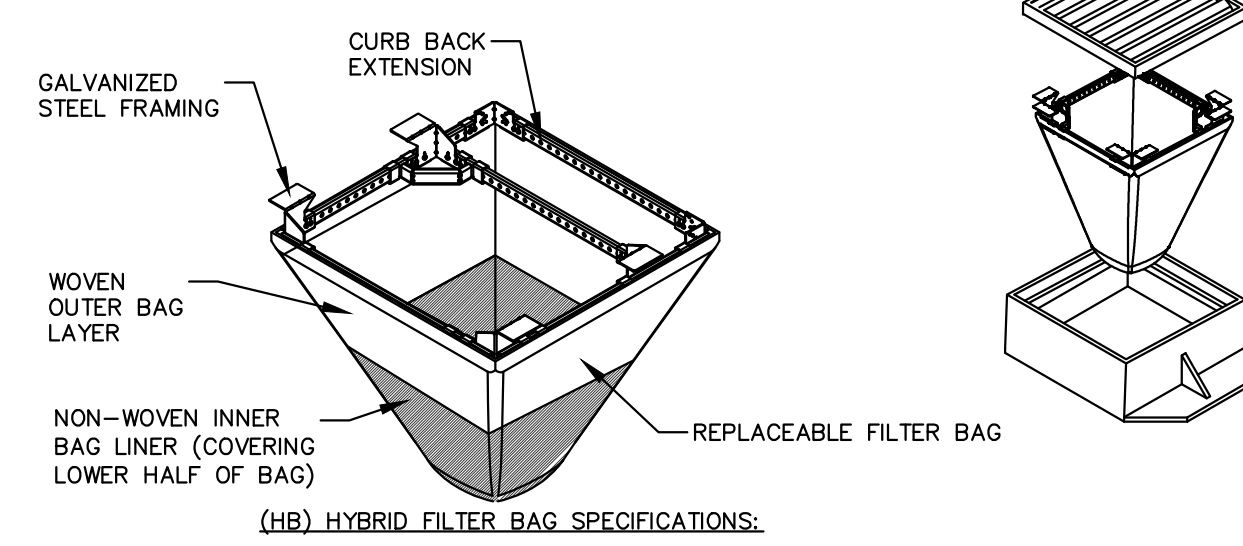
UTILITY PLAN

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C500

**FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS**



- INSTALLATION INSTRUCTIONS:**
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE
  2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
  3. DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
  4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

- MAINTENANCE GUIDELINES:**
1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
  2. REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE
  3. DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

CATCH-IT INLET FILTER (Temporary Inlet Protection)						
Series	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)	ADS PIN
3007	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0 5.0	62LCE8XTHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1 3.3	62LCE3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7 2.2	62MCR2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0 5.2	62LSC3616HB
R-2501	Round (RD)	-26	-24	2.3	0.8 5.2	62MRD26HB
R-1772/2590	Round (RD)	22.25 x 23.5	20.5 x 21	1.5	0.8 4.0	62MRD22HB

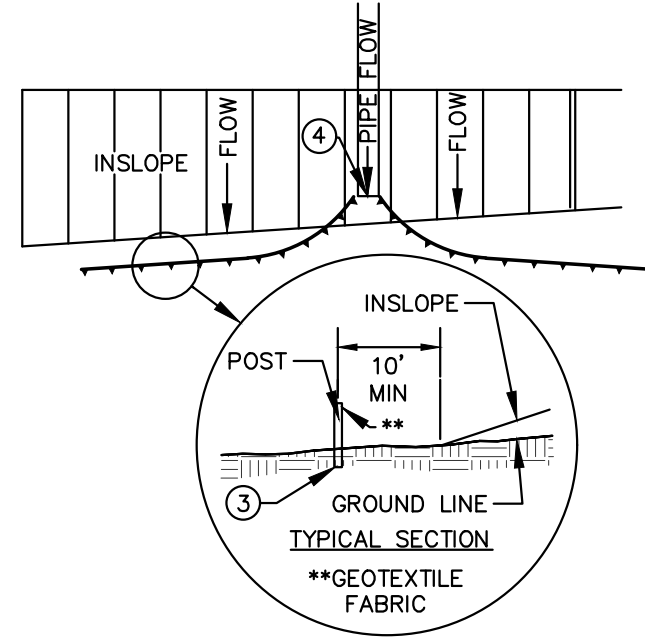
Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4632	150 x 225 (lb)	100 (lb)
ELONGATION	ASTM D4632	20% x 15%	5%
PERMEABILITY	ASTM D5474	1000 (in)	65 (in)
IMPACT/TEAR	ASTM D5474	100 x 75 (in)	45 (in)
HYDRATING	ASTM D5474	3%	3%
OPENING SIZE (AOS)	ASTM D5474	20 x 15 (in)	40 x 15 (in)
PERMEABILITY	ASTM D5474	1550 (l)	2150 (l)
WATER FLOW RATE	ASTM D4685	200 (gal/min/ft)	140 (gal/min/ft)
MINIMUM FILTER BAG VOLUME		2.0 (BCF)	

**TEMPORARY FRAMED INLET PROTECTION**

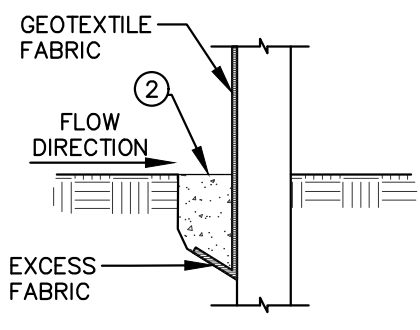
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REV. 7-01-2019

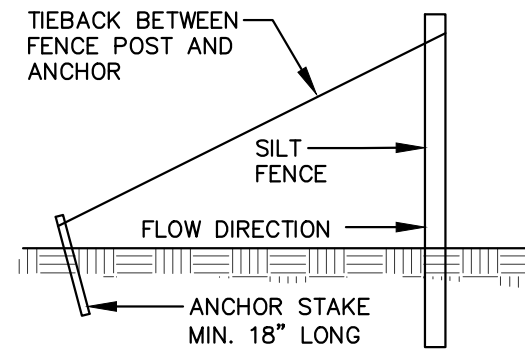
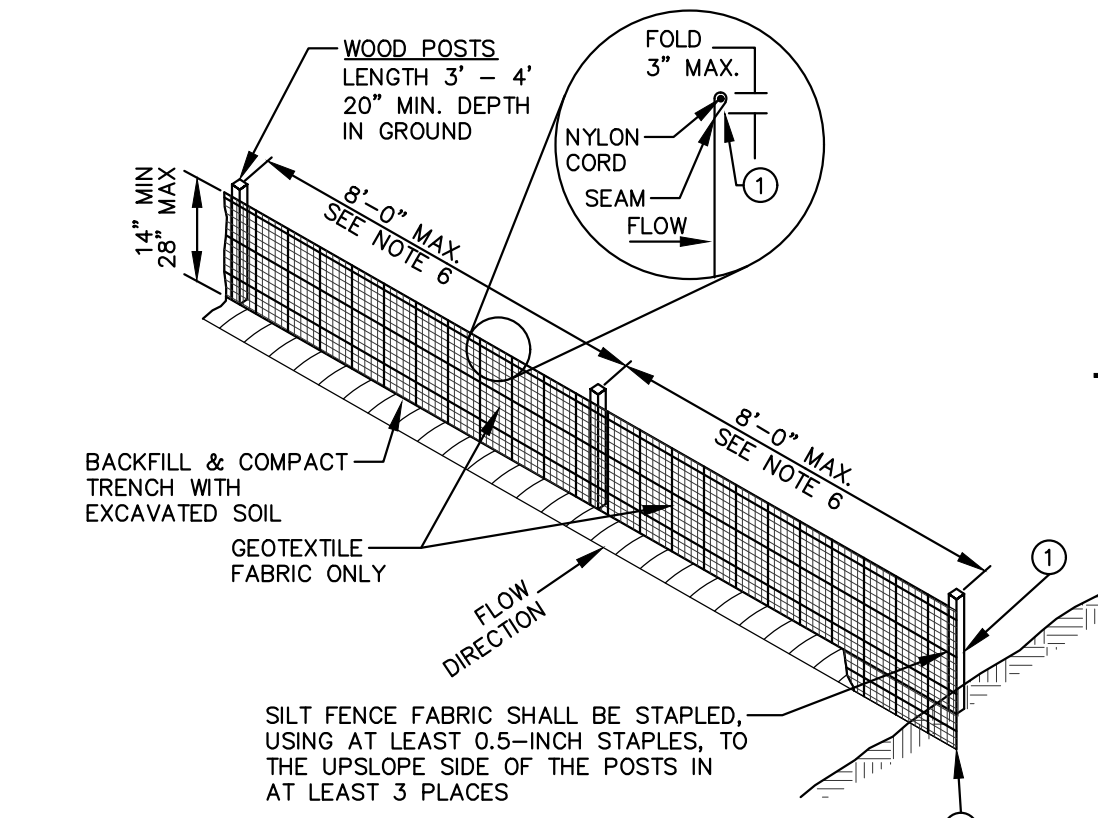


**SILT FENCE ALONG SLOPES & OUTFALLS**

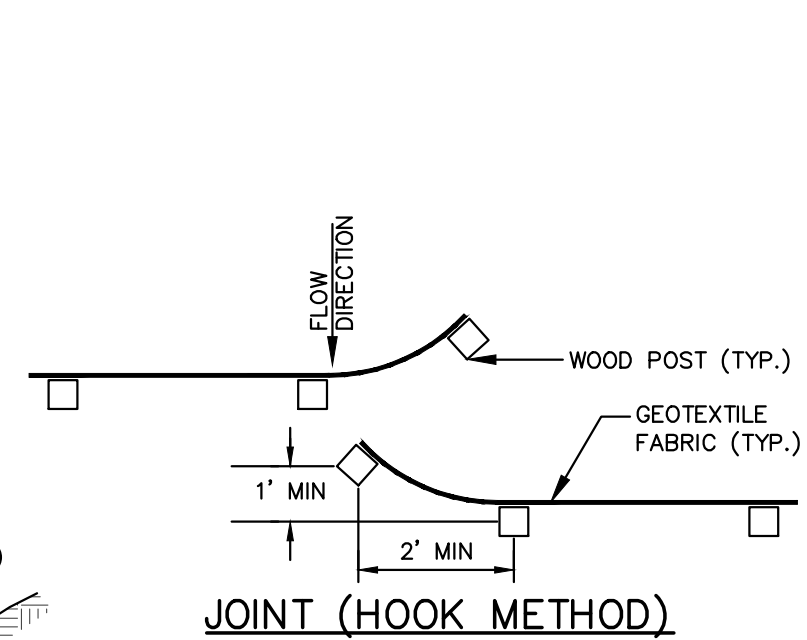


**NOTE:** ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

**TRENCH DETAIL**



**SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)**



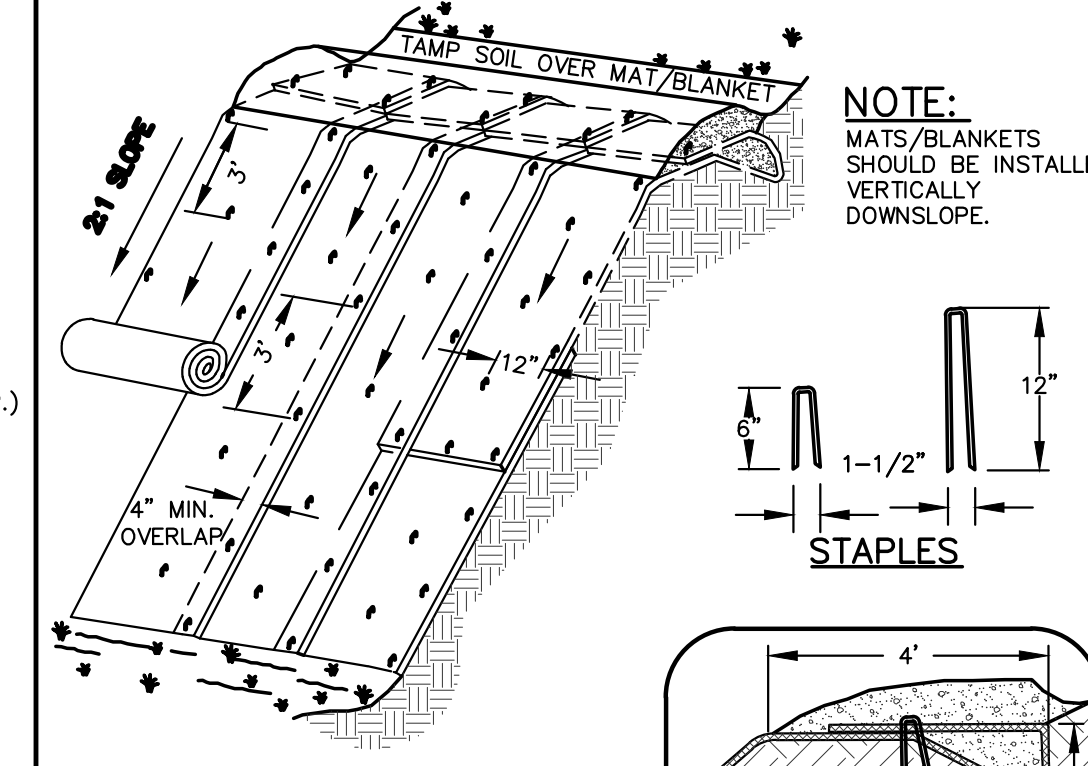
**GENERAL NOTES:**

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP 1/4-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WQWR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

**SILT FENCE**

N.T.S.

REV. 7-01-2019



**ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION**

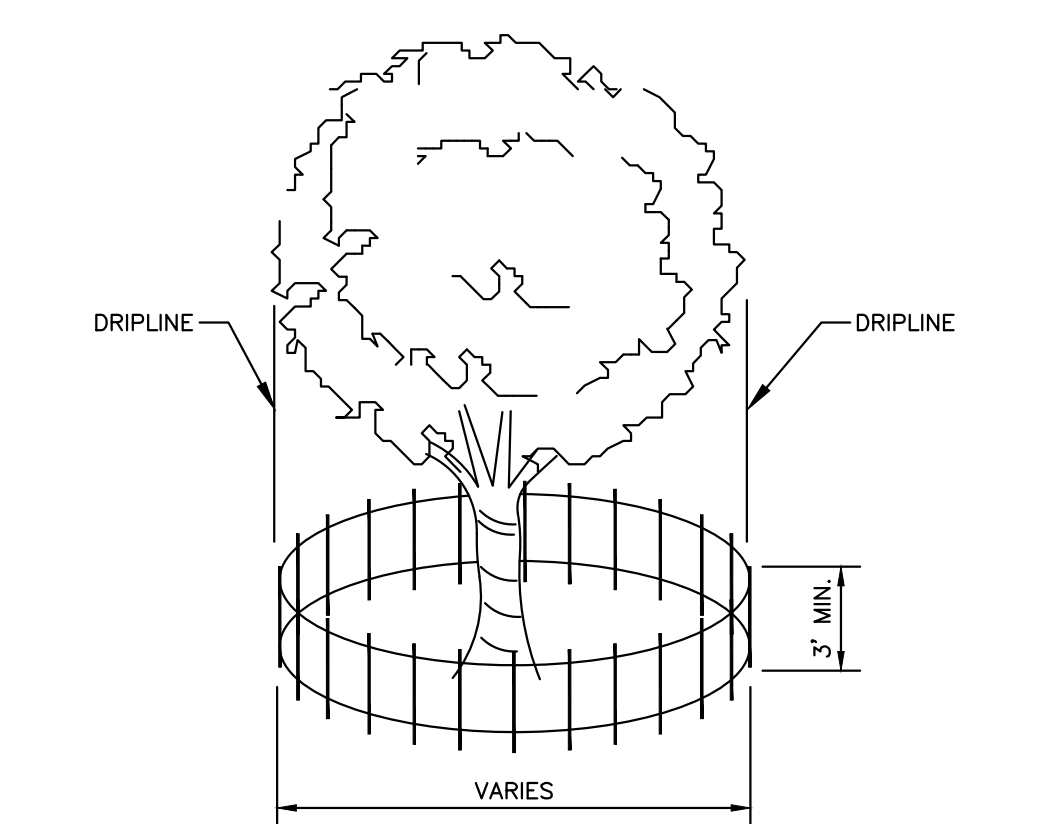
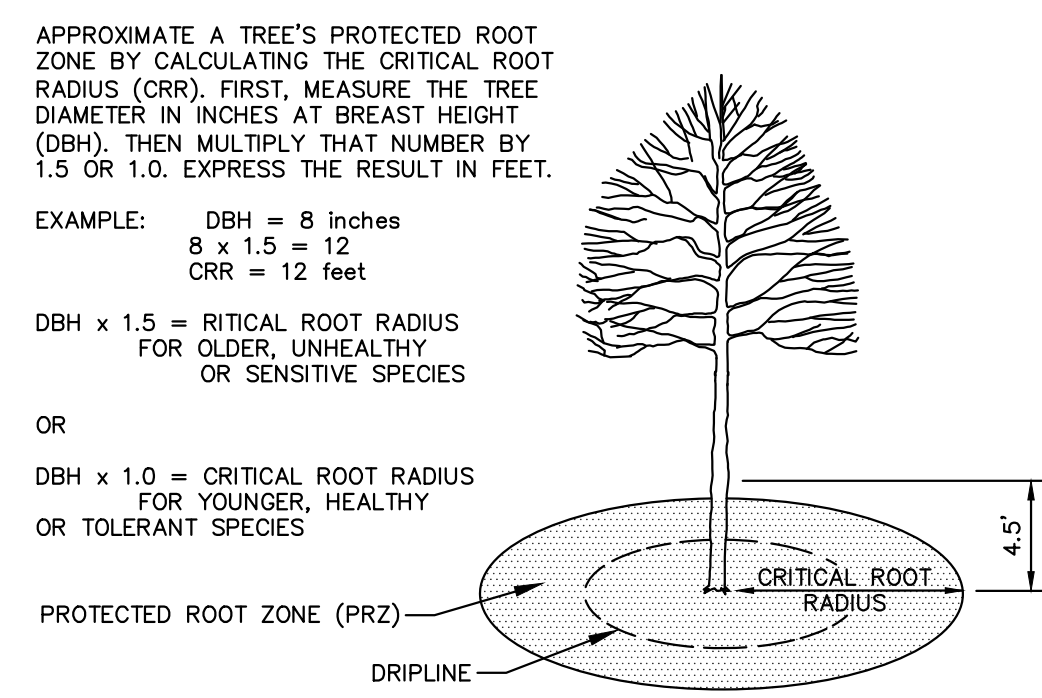
**GENERAL NOTES:**

1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WQWR EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. ONLY WQWR EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

**EROSION MATTING**

N.T.S.

REV. 11-19-2018

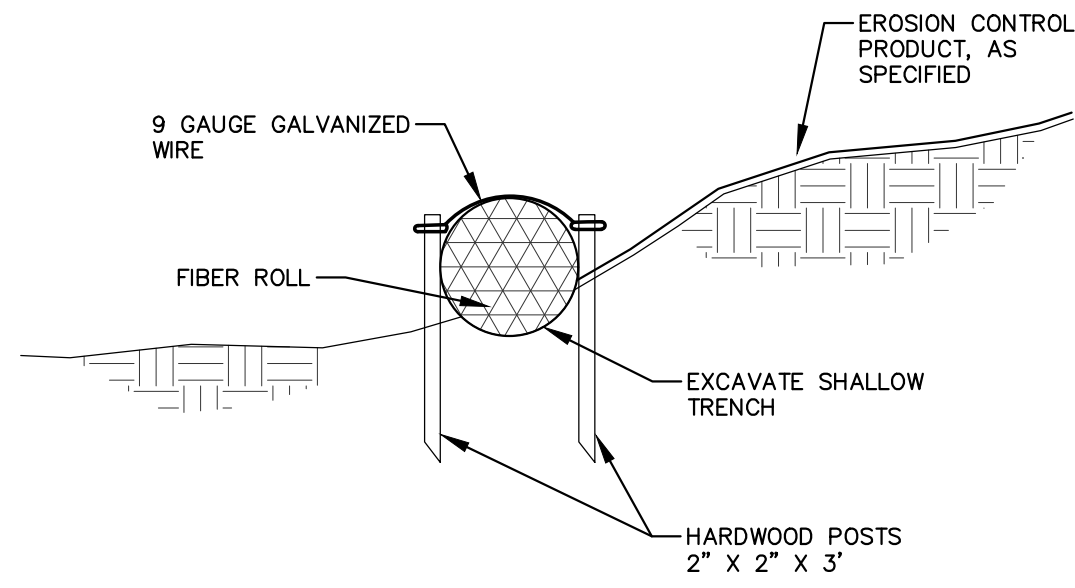


- NOTE:**
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
  2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
  3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

**TREE PROTECTION DETAIL**

N.T.S.

REV. 01-04-2019



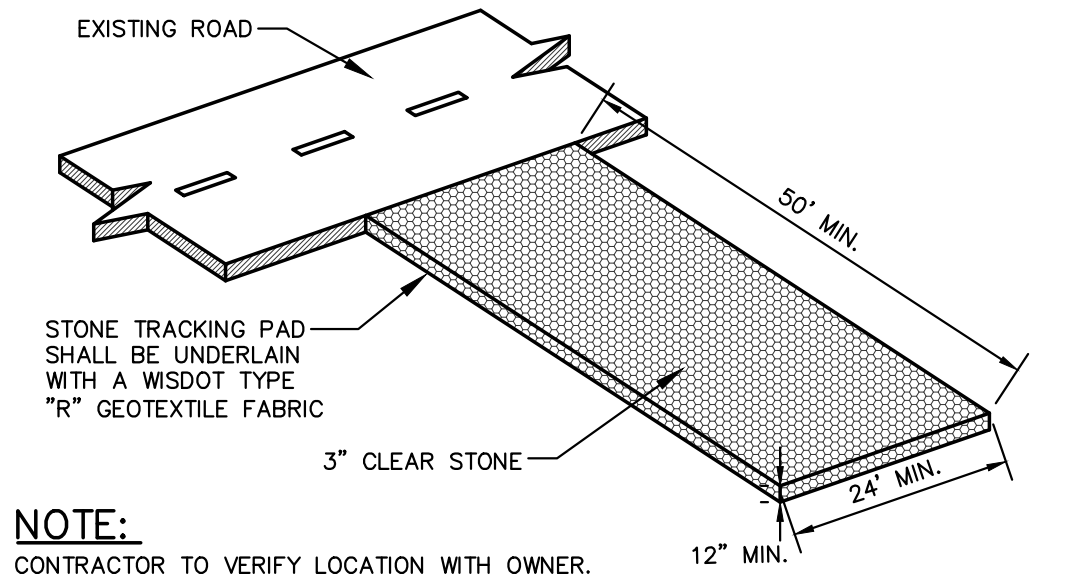
**GENERAL NOTES:**

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" X 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

**FIBER SILT SOCK**

N.T.S.

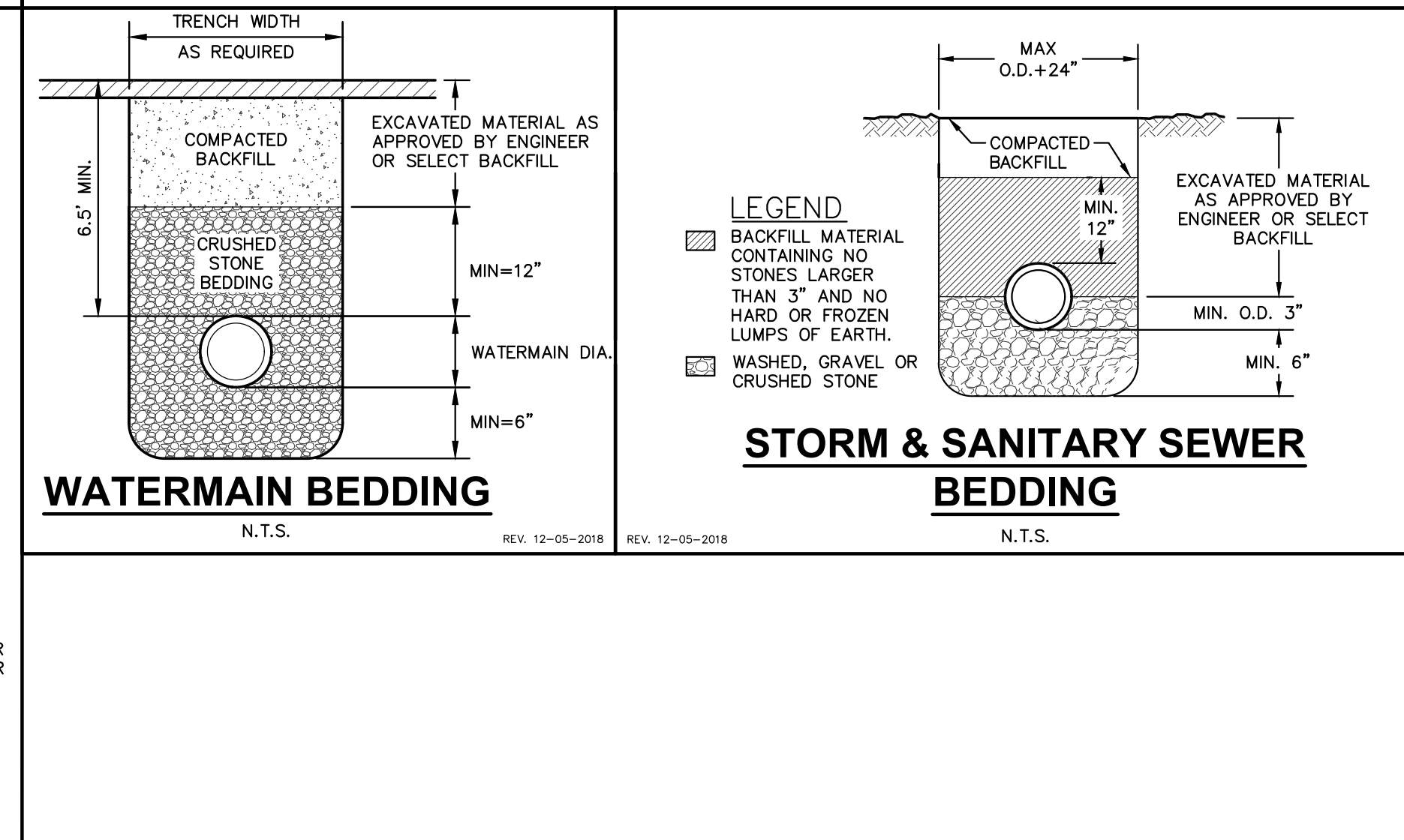
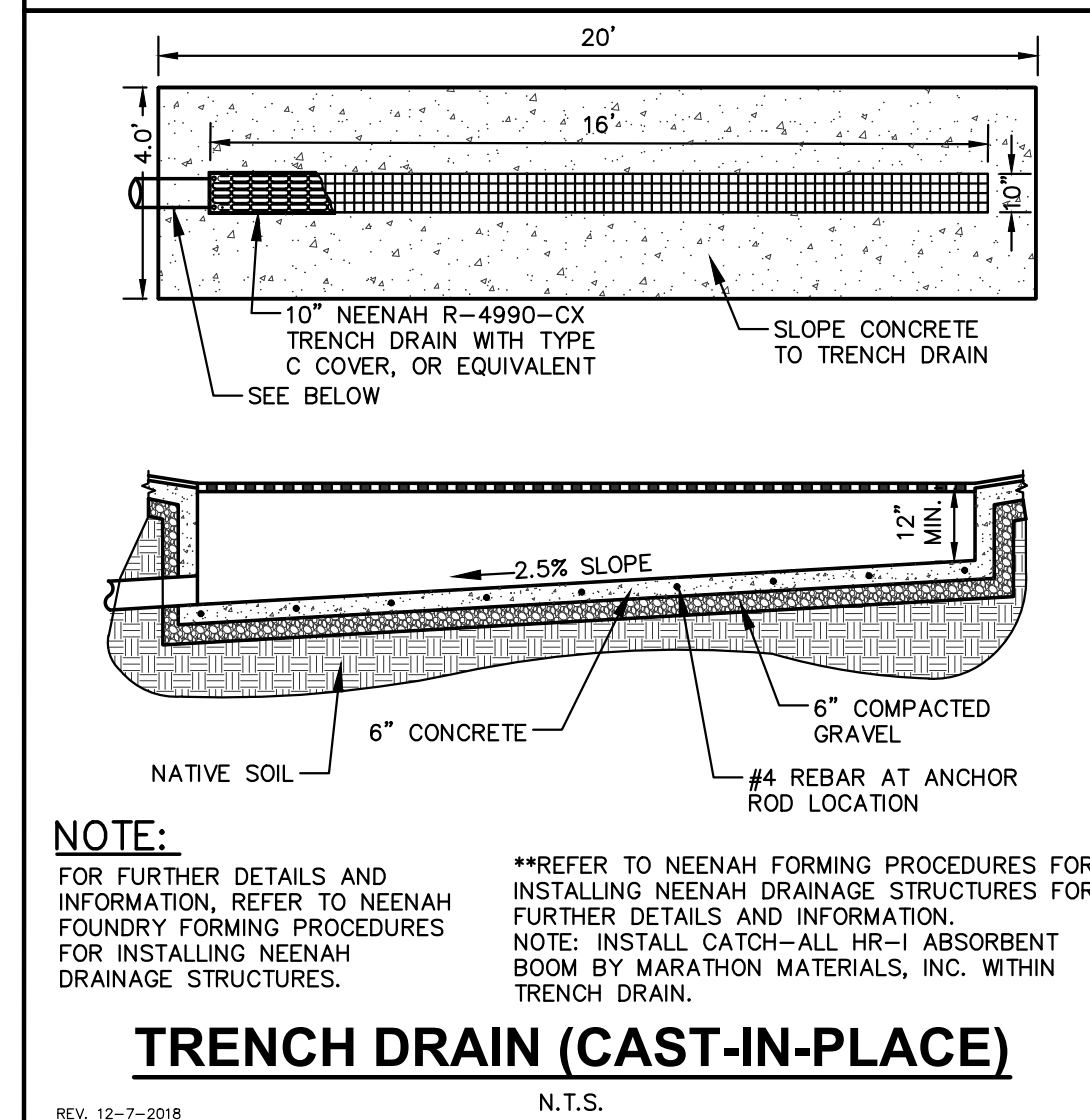
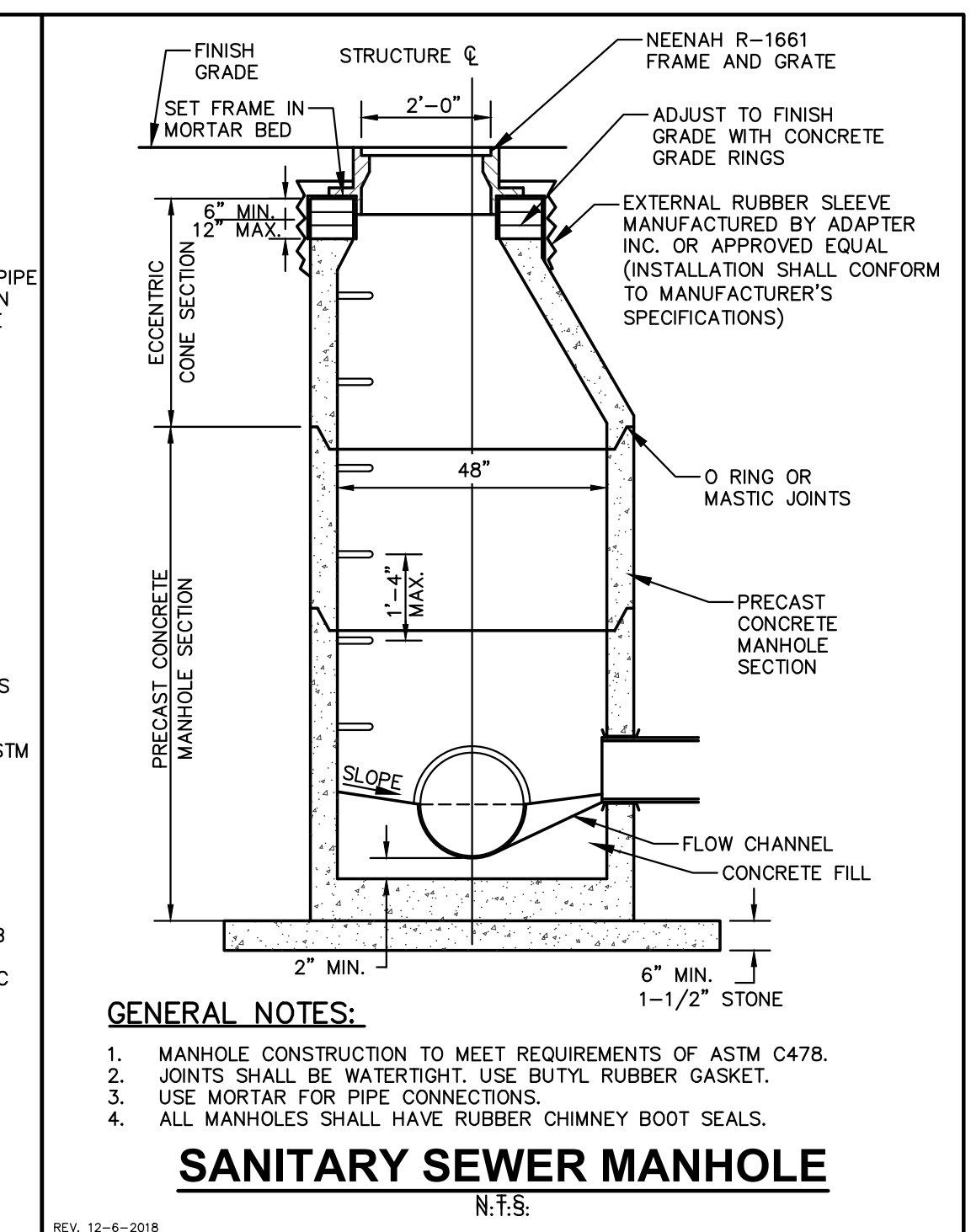
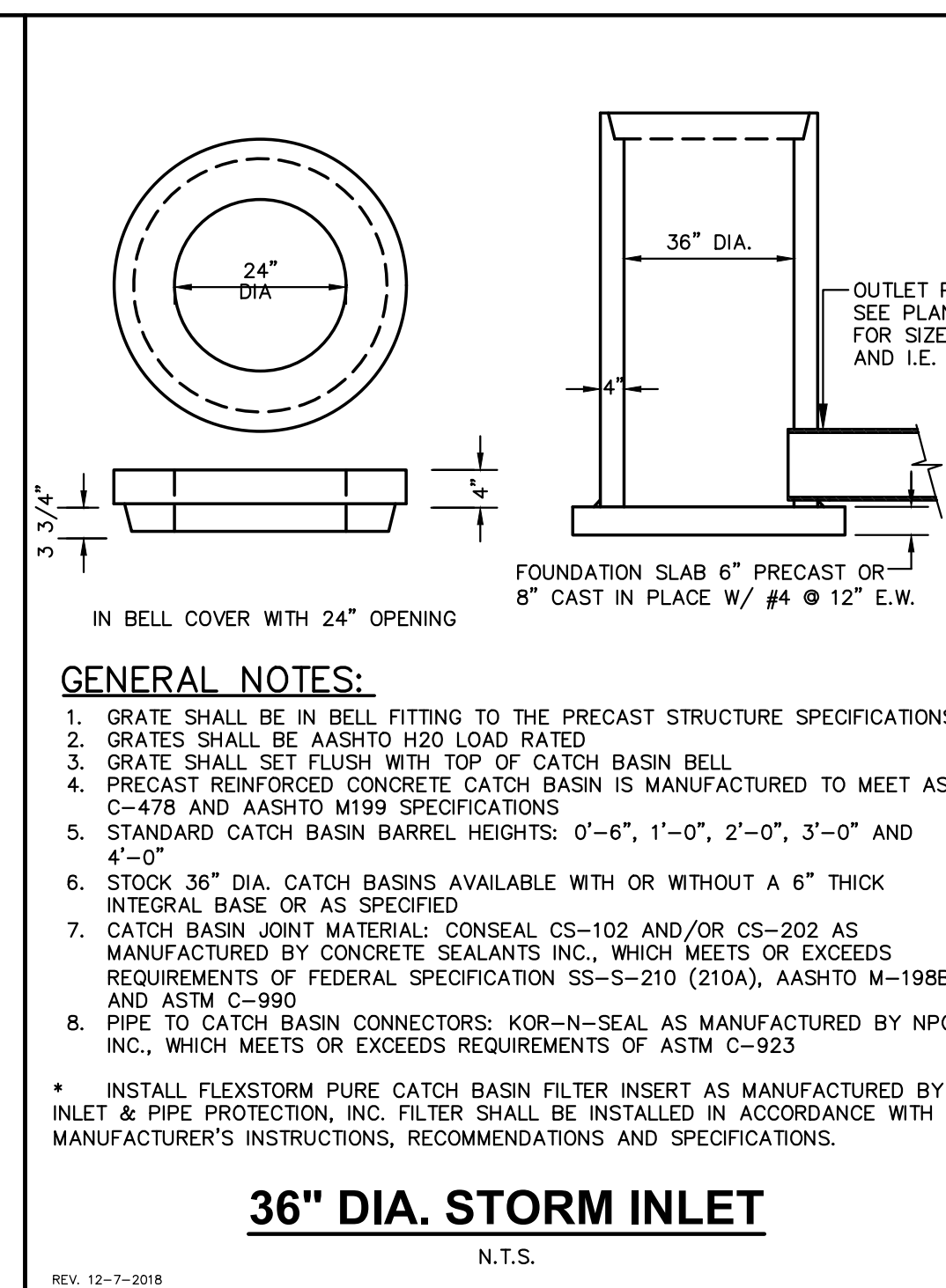
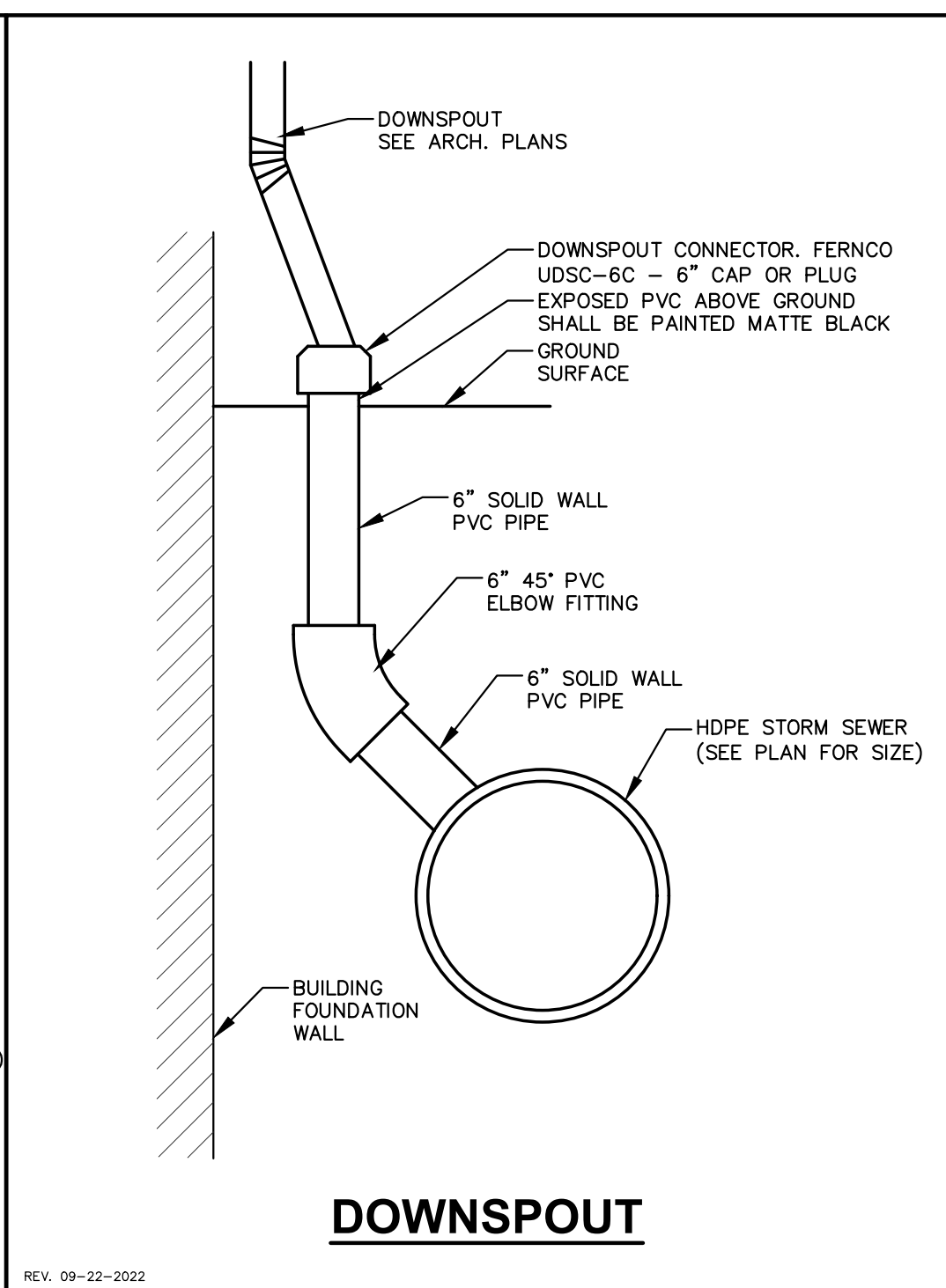
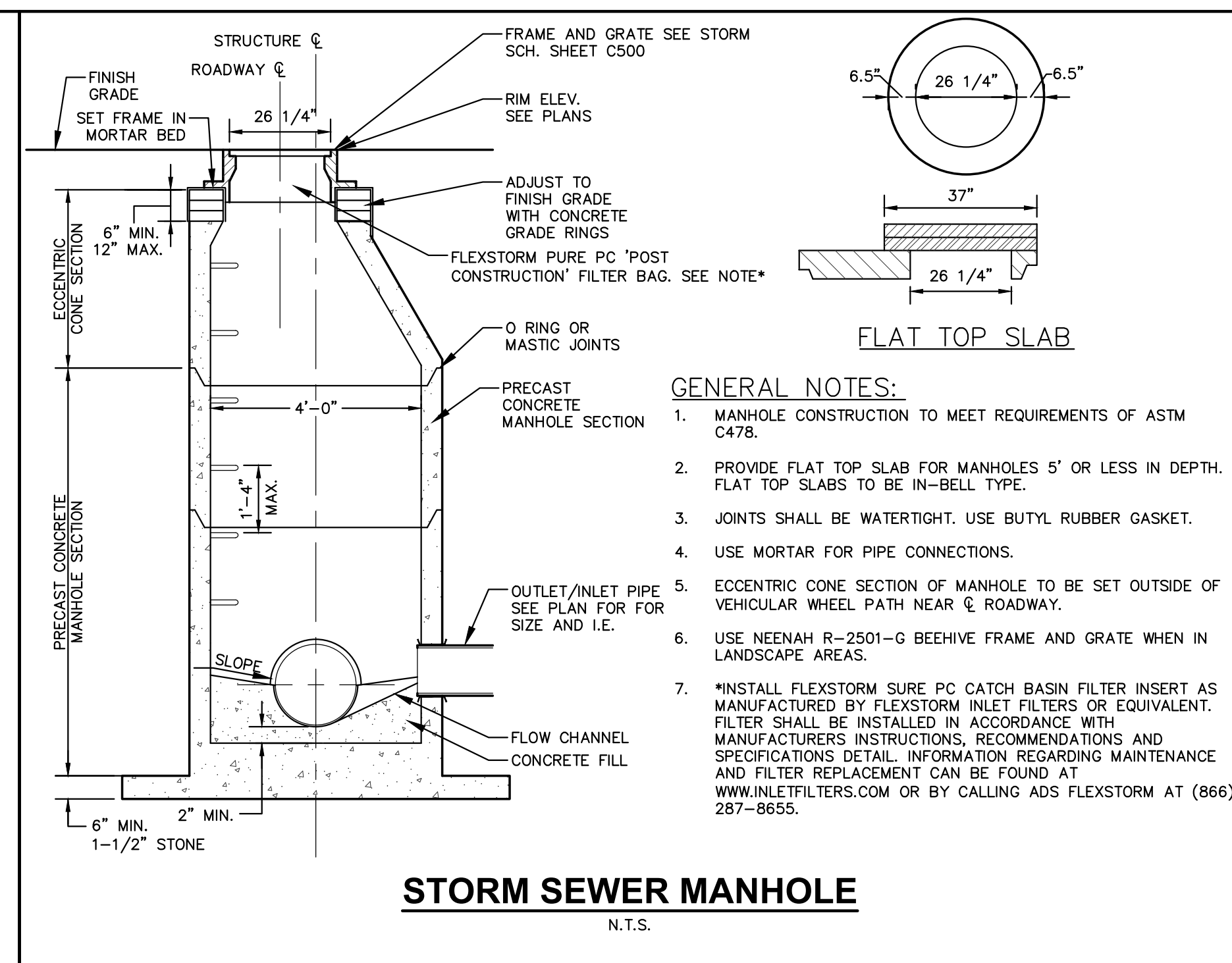
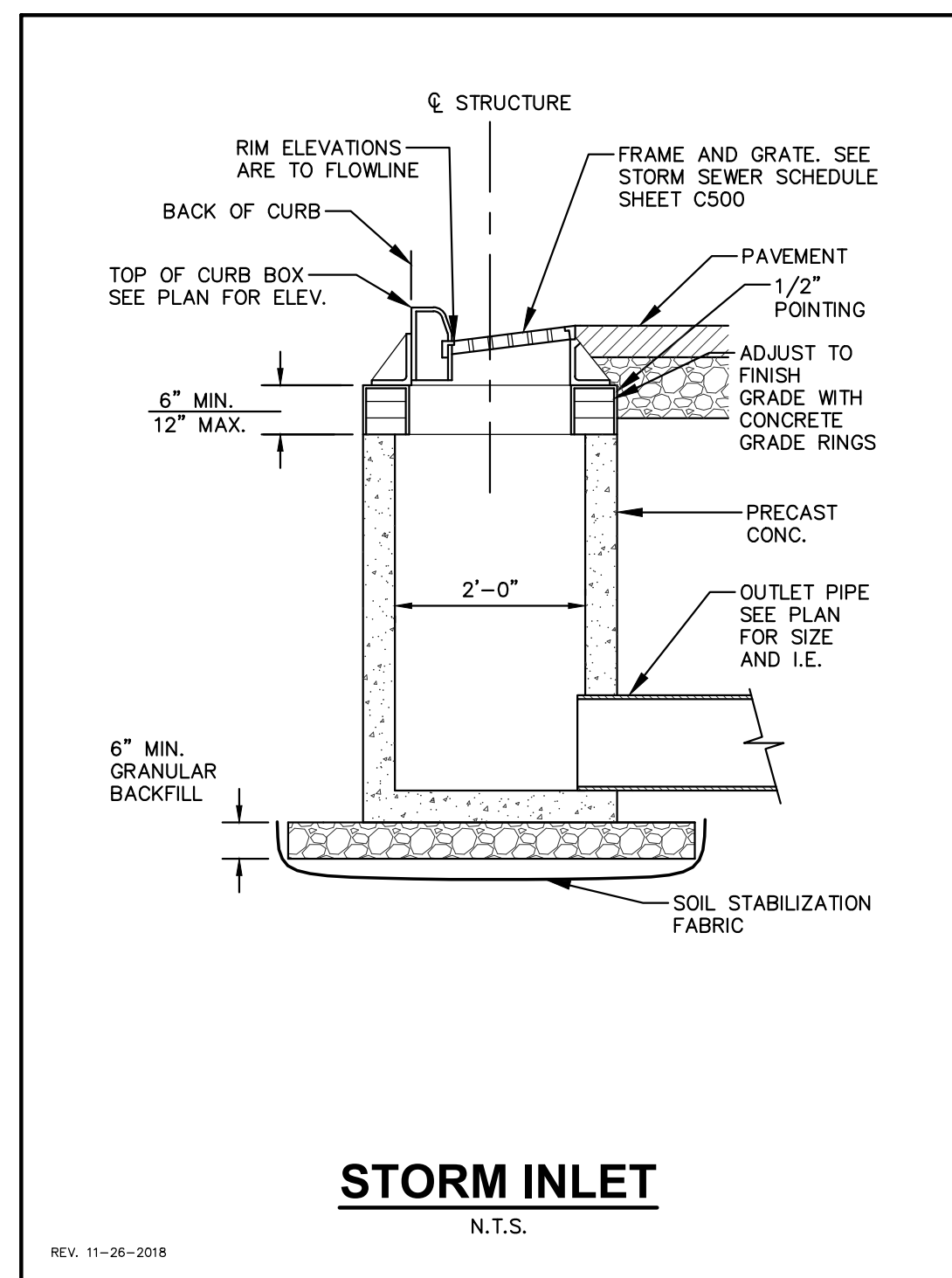
REV. 12-7-2018



**CONSTRUCTION ENTRANCE**

N.T.S.

REV. 12-10-2018



**FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION INLET**

For Round Openings with Grates		For Open Throat Curb Inlets - Mounted to Wall Beneath Curb Opening		For Rectangular/Square Openings with Grates				Minimum Bypass Flow Rates (CFM)	
Drop Thru Opening Size Dia	Flexstorm Frame P/N	Minimum 2" Bypass flow gap	Curb Opening Size	Flexstorm Frame P/N	Clear Drop Thru Opening Size (not grate or vent slot)	Flexstorm Frame P/N	Combination P/N	Based on Nominal Frame Size with minimum 2" Bypass flow gap	Based on Nominal Frame Size with minimum 2" Bypass flow gap
Small: 18" - 24"	62NDR	1.6	18" x 18" (1 Filter)	62NDR	Small: 12" x 24" up to 36" x 36" (see notes)	62NDR	62NDR	2.4	2.4
Medium: 24" - 30"	62NDR	2.7	Between 24" and 36" curb openings (2 Filters)	62NDR	Medium: 18" x 36" up to 36" x 36" (see notes)	62NDR	62NDR	3.5	3.5
Large: 36" - 48"	62NDR	3.8	Between 36" and 48" curb openings (3 Filters)	62NDR	Large: 36" x 36" up to 36" x 36" (see notes)	62NDR	62NDR	5.6	5.6
			Between 48" and 60" curb openings (4 Filters)	62NDR	XL: 36" x 36" up to 48" x 48" (see notes)	62NDR	62NDR	7.2	7.2

**CREATE YOUR ADS FLEXSTORM PART NUMBER BY COMBINING FRAME P/N AND BAG P/N**

Flexstorm Filter Bags	STD Bag P/N	Short Bag P/N	Rate (GPM/SqFt)	Min A.O.S. (US Sieve)
FX Standard Woven Bag	FX-S	FX-S	200	40
FX+ Woven w/ MyCelx	FXP-S	FXP-S	200	40
FXD Woven w/ Oil Boom	FXD-S	FXD-S	200	40
PC Post Construction Bag	PC-S	PC-S	137	140
PC+ PC Bag w/ MyCelx	PCP	PCP-S	137	140
LL Litter and Leaf Bag	LL-S	LL-S	High	3.5
LL IDOT Non-Woven Bag	LL	LL-S	145	70

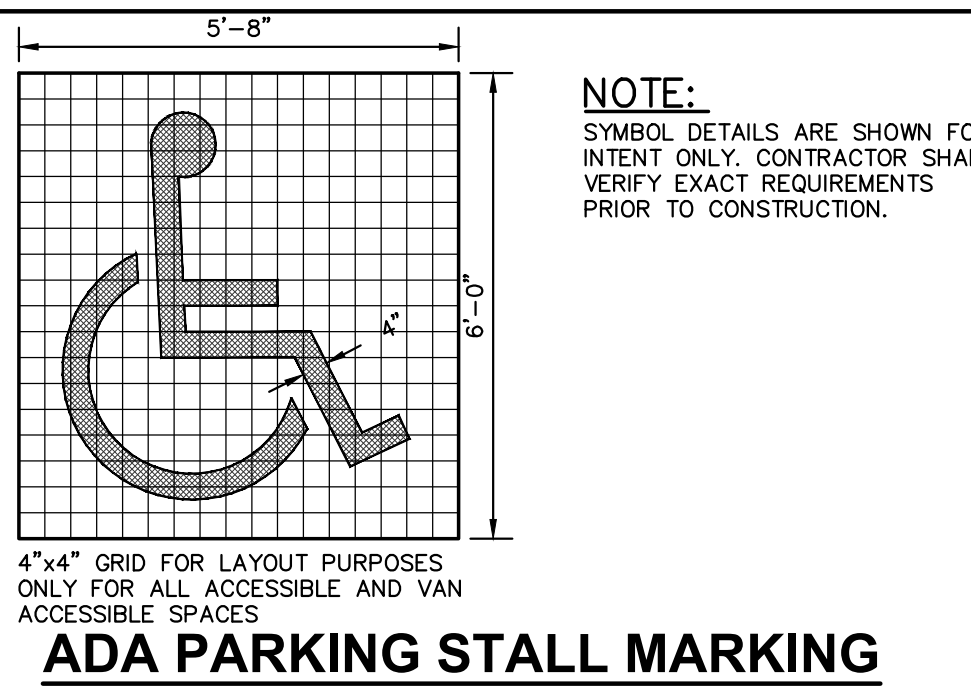
**INSTALLATION:**

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

**ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 PH (630) 355-3477 FX INFO@INLETFILTERS.COM**

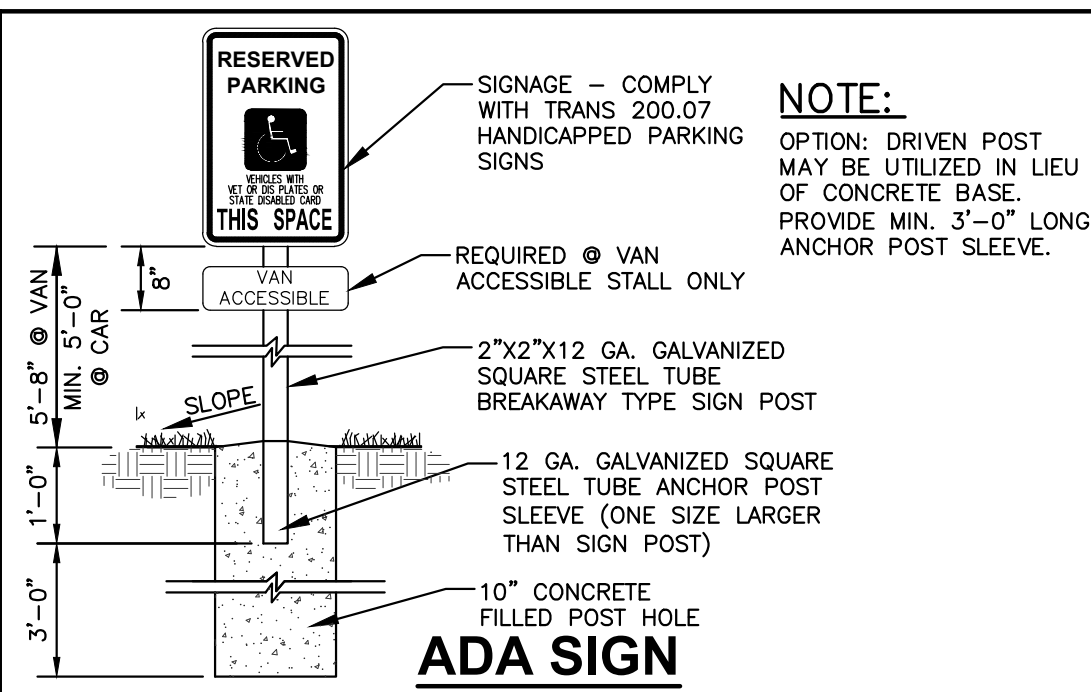
SIZE: C DRAWING: FLEXSTORM\_PURE REV: A  
SCALE: SHEET: 1 OF 1

INTENDED FOR ALL OPEN GRATES EXCEPTING PARKING LOT STORMWATER AFTER CONSTRUCTION



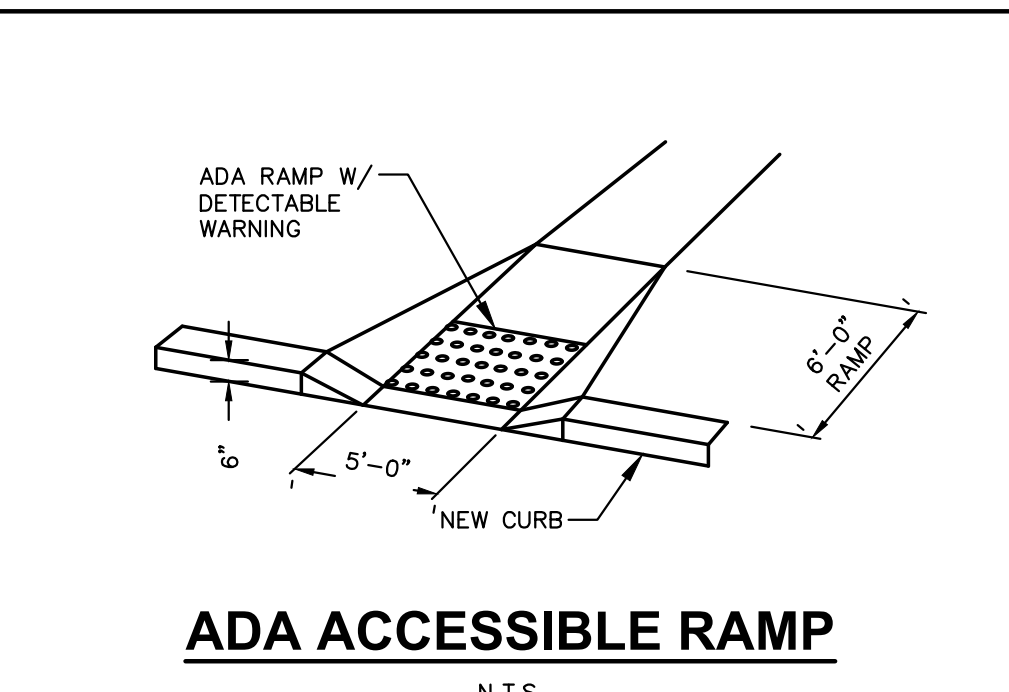
**NOTE:**  
SYMBOL DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

**ADA PARKING STALL MARKING**  
N.T.S.

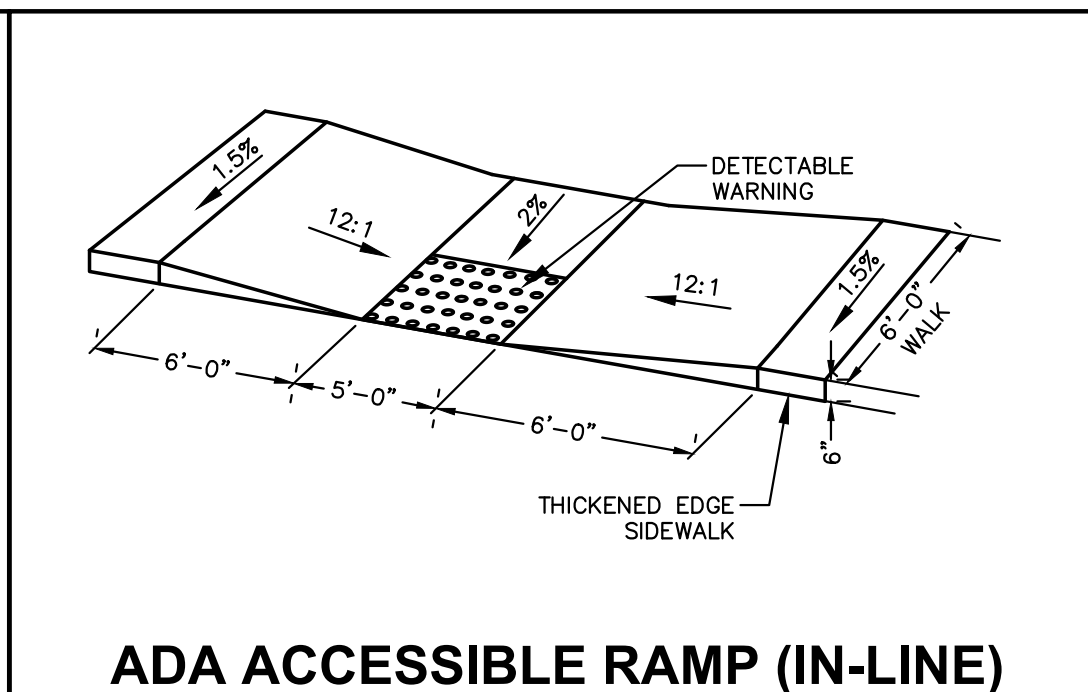


**NOTE:**  
OPTION: DRIVEN POST MAY BE UTILIZED IN LIEU OF CONCRETE BASE. PROVIDE MIN. 3'-0" LONG ANCHOR POST SLEEVE.

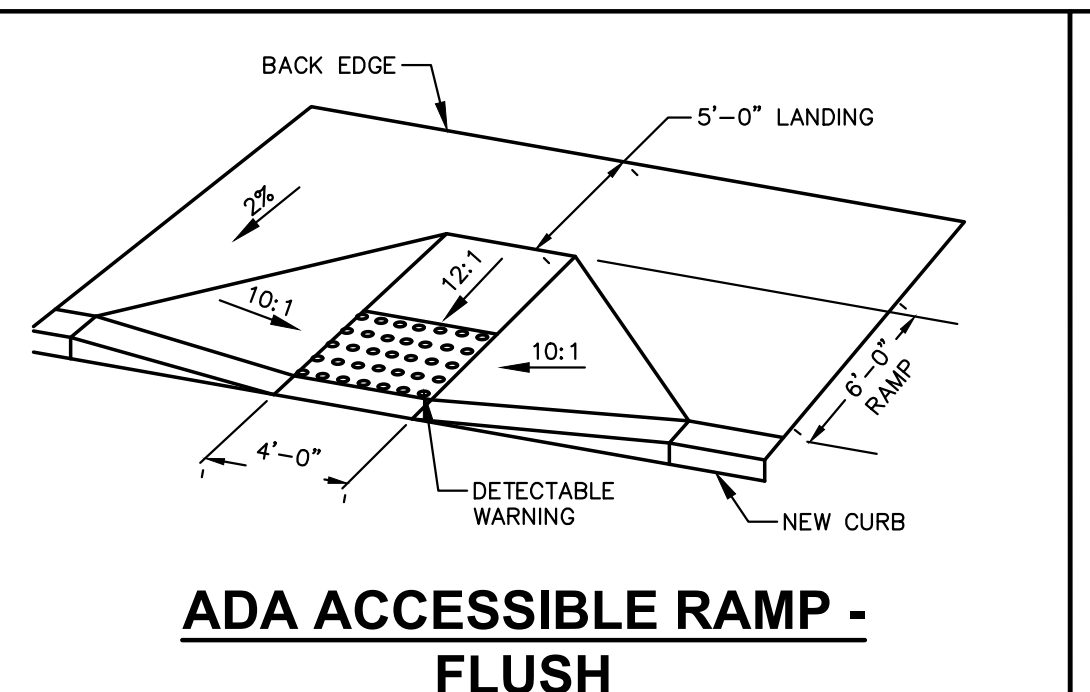
**ADA SIGN**  
N.T.S.



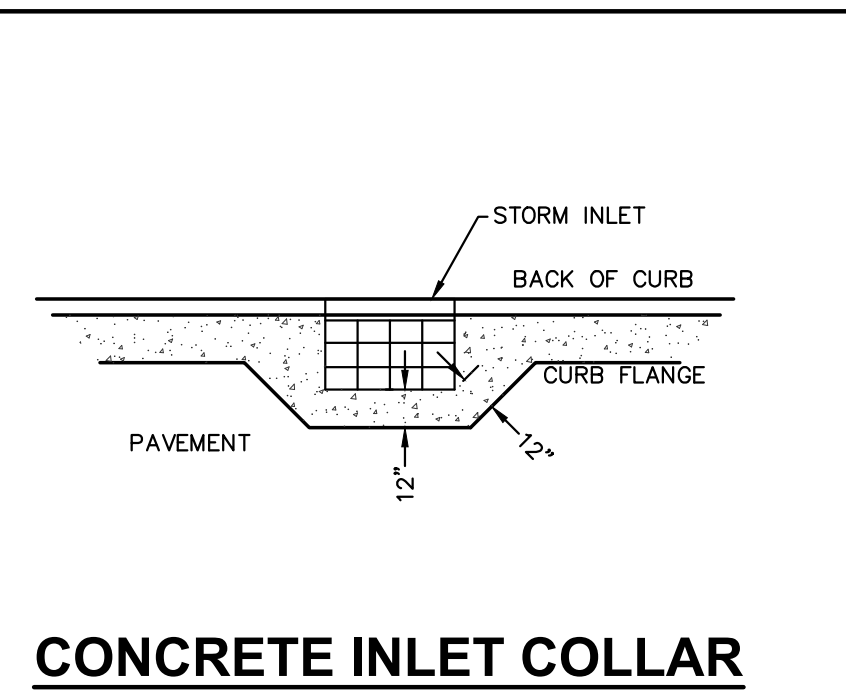
**ADA ACCESSIBLE RAMP**  
N.T.S.



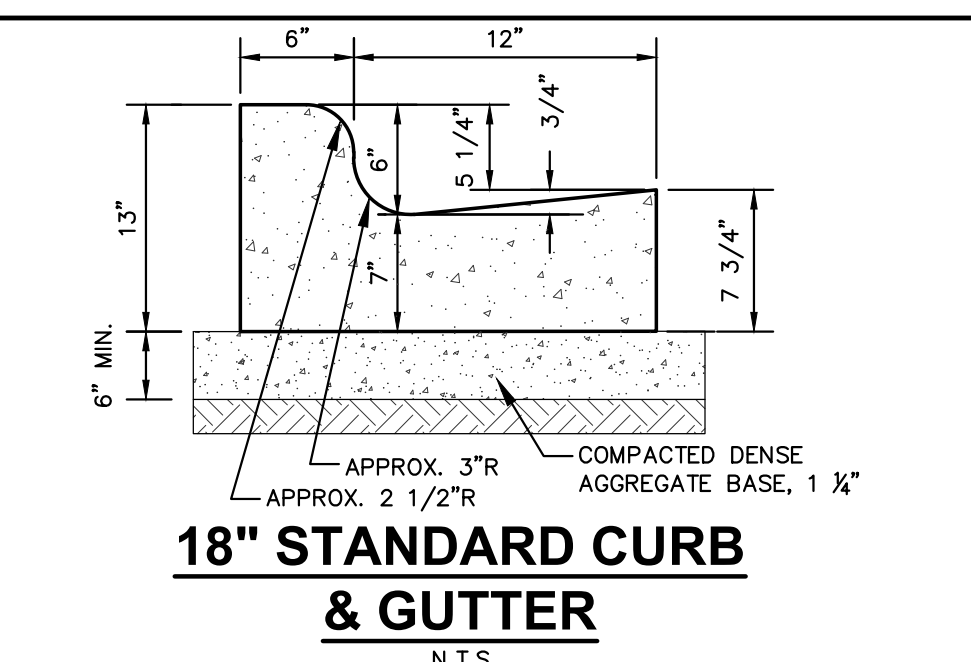
**ADA ACCESSIBLE RAMP (IN-LINE)**  
N.T.S.



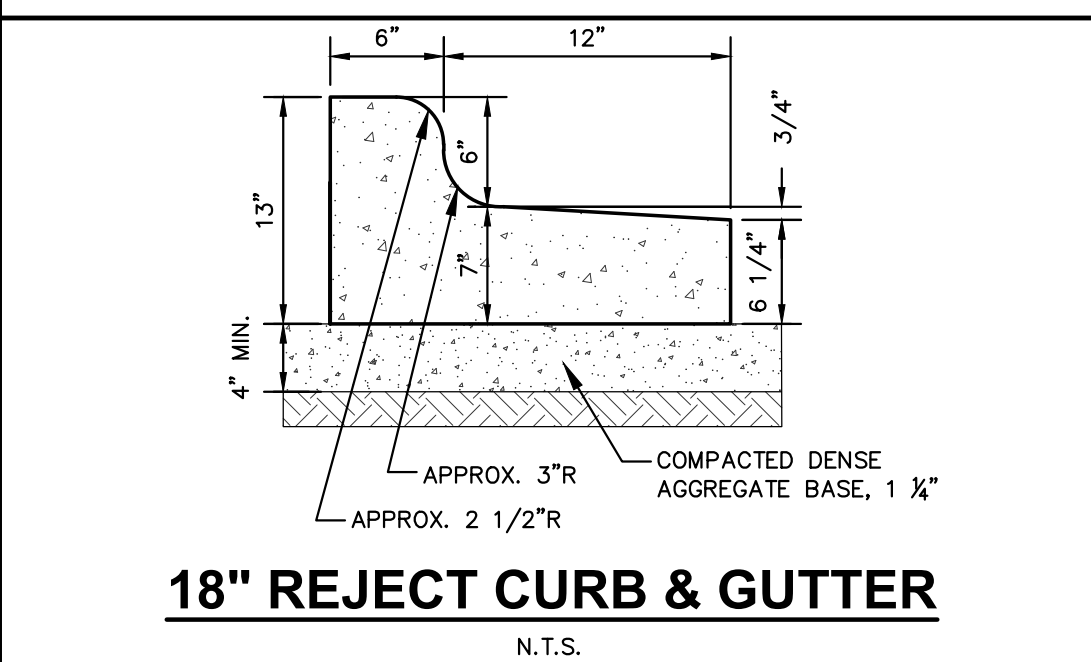
**ADA ACCESSIBLE RAMP - FLUSH**  
N.T.S.



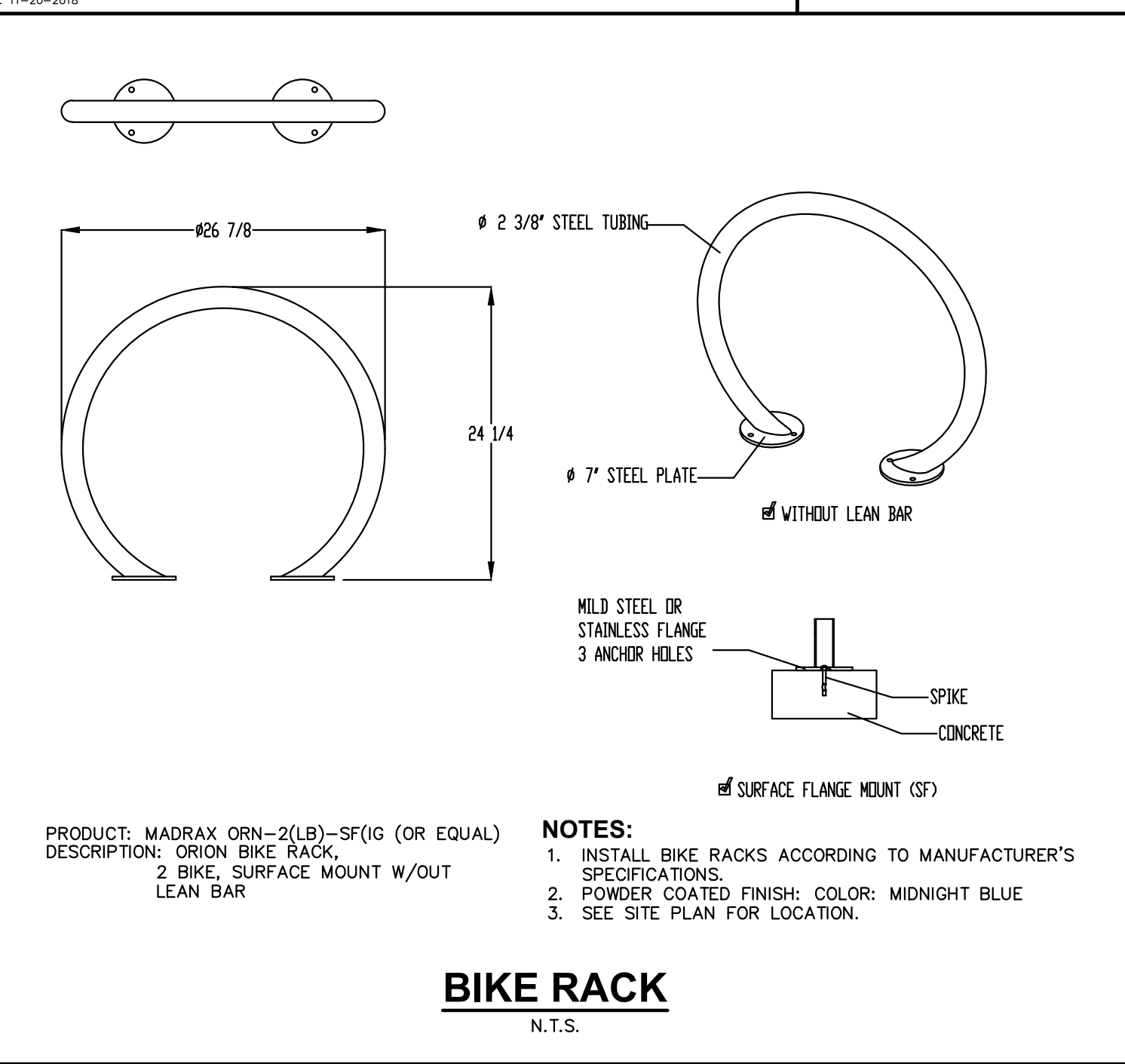
**CONCRETE INLET COLLAR**  
N.T.S.



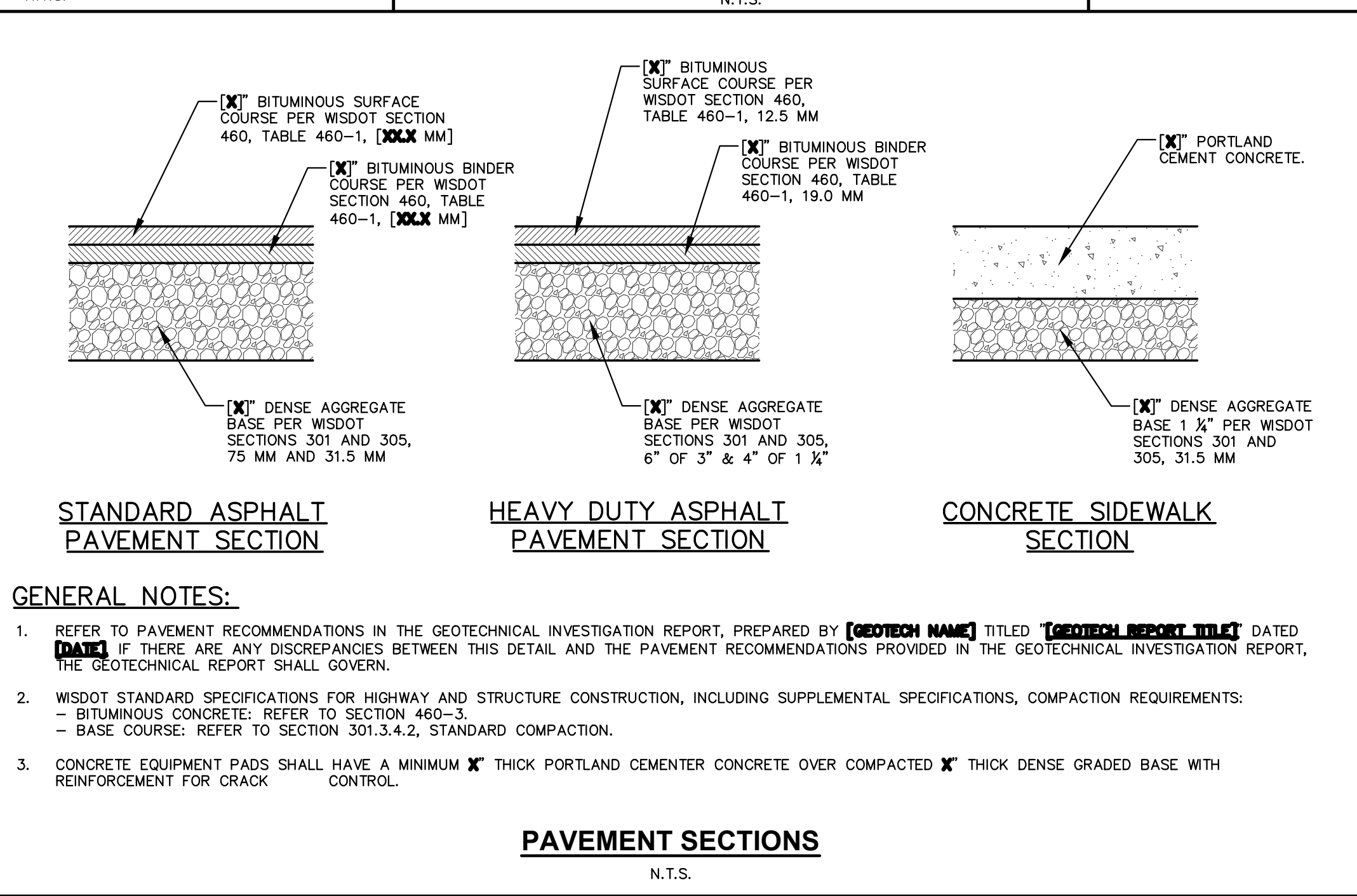
**18" STANDARD CURB & GUTTER**  
N.T.S.



**18" REJECT CURB & GUTTER**  
N.T.S.



**BIKE RACK**  
N.T.S.



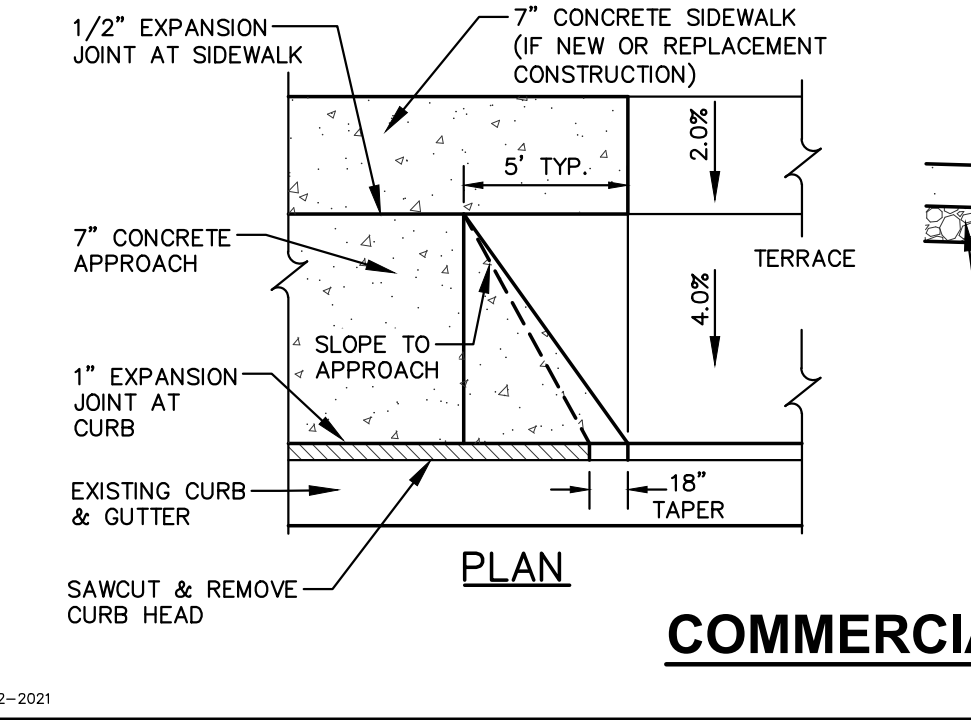
**STANDARD ASPHALT PAVEMENT SECTION**

**HEAVY DUTY ASPHALT PAVEMENT SECTION**

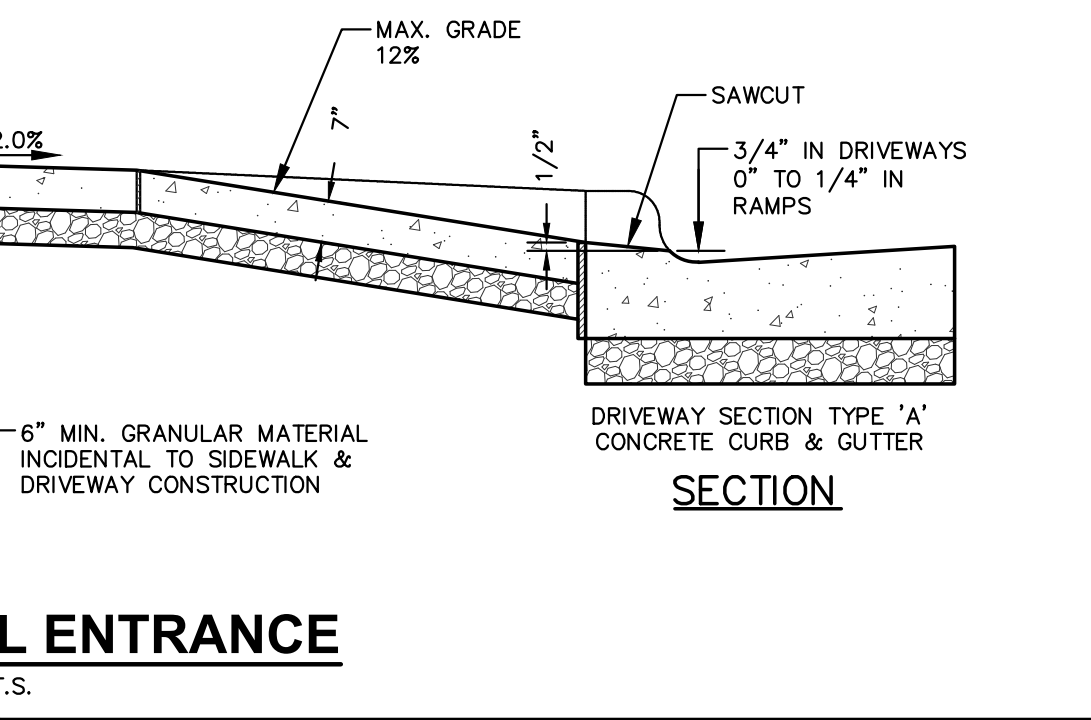
**CONCRETE SIDEWALK SECTION**

**GENERAL NOTES:**

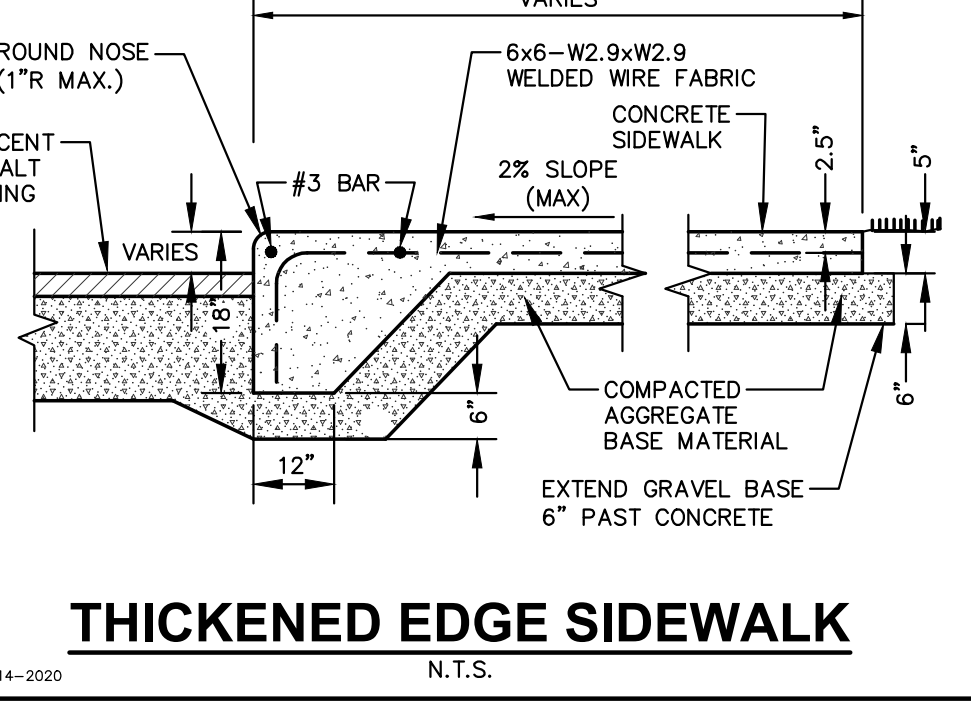
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY [GEOTECH NAME] TITLED "[GEOTECH REPORT TITLE]" DATED [DATE]. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS: - BITUMINOUS CONCRETE: REFER TO SECTION 460-3 - BASE COURSE: REFER TO SECTION 301.4.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 4" THICK PORTLAND CEMENTER CONCRETE OVER COMPACTED 4" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.



**COMMERCIAL ENTRANCE**  
N.T.S.



**SECTION**



**THICKENED EDGE SIDEWALK**  
N.T.S.





**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
3. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
5. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
6. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
7. GENERAL: ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. ALL PLANTING OPERATIONS SHALL BE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND REPLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
8. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIAL. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED FROM THE BOTTOM OF THE CONTAINER. CONTRACTOR TO PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST PRACTICES.
9. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FREELY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEAVERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRIM THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
11. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS FROTE, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BARK AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

1. MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRAGILE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
3. MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
5. MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
6. MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

**SEEDING & SODDING NOTES**

1. MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPETS' MADISON PARKS' GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
2. MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 50 INCH PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET. AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

**LANDSCAPE CALCULATIONS AND DISTRIBUTIONS**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and dock/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and zoning district.

(A) For lots larger than five (5) acres, points shall be provided as five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 26,284 SF  
Total landscape points required: 438 POINTS

(B) For lots larger than five (5) acres, points shall be provided as five (5) points per three hundred (300) square feet for the first five (5) developed acres and one (1) point per one hundred (100) square feet for all additional acres.

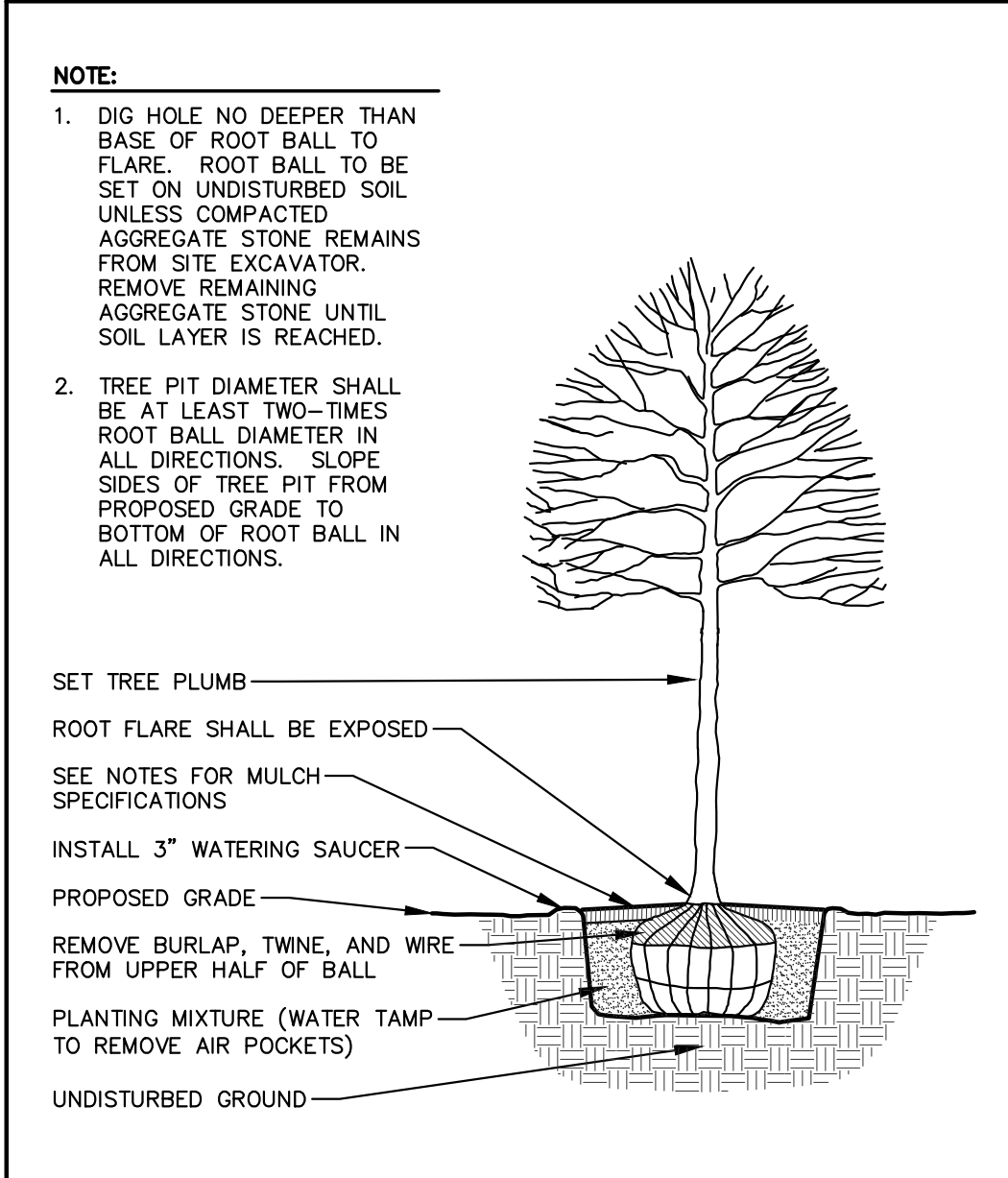
Total square footage of developed area: \_\_\_\_\_  
First five (5) acres: \_\_\_\_\_  
Number of developed acres: \_\_\_\_\_  
Total landscape points required: \_\_\_\_\_

(C) For the Industrial - Limited (I1) and Industrial - General (I2) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: \_\_\_\_\_  
Total landscape points required: \_\_\_\_\_

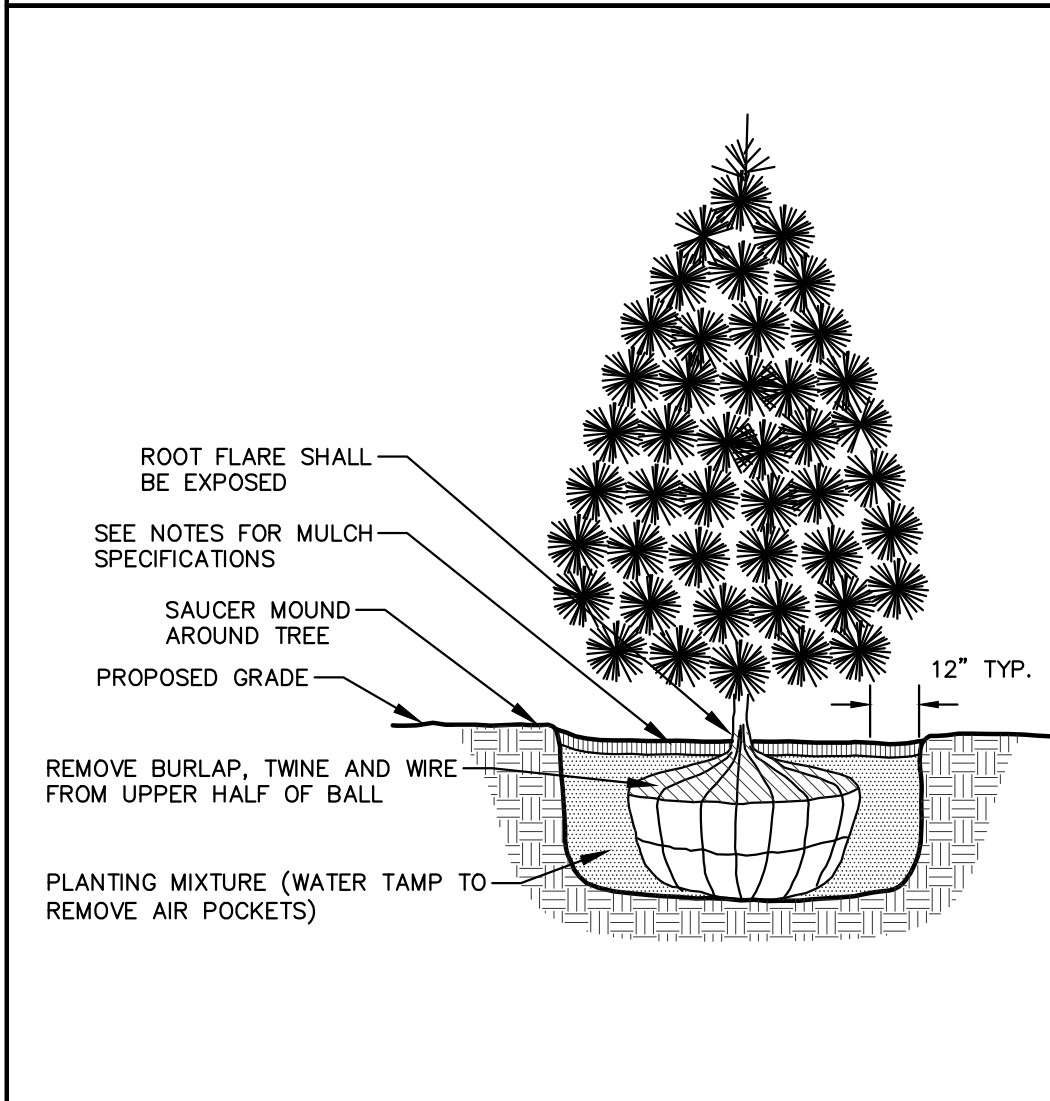
**TABULATION OF LANDSCAPE CREDITS AND POINTS**

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	18	630
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	5	175
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	10	150
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#1 CONT., MIN. 12" x 24"	3	0	0	115	345
SHRUB, EVERGREEN	#3 CONT., MIN. 12" x 24"	4	0	0	32	128
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8" x 18"	2	0	0	490	980
ORNAMENTAL / DECORATIVE KENING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE > 14" CALIPER	> 14" CALIPER (POINTS GREATER THAN MAXIMUM POINTS ALLOWED)	200	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE < 13" CALIPER	< 13" CALIPER (15 POINTS PER CALIPER MINIMUM CANNOT EXCEED MORE THAN 50% OF TOTAL REQUIRED POINTS)	14*4	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITH PUBLICALLY ACCESSIBLE DEVELOPED AREA CANNOT EXCEED MORE THAN 50% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
<b>SUBTOTAL</b>			<b>0</b>	<b>0</b>	<b>2,408</b>	
<b>TOTAL NUMBER OF POINTS PROVIDED</b>			<b>2,408</b>			



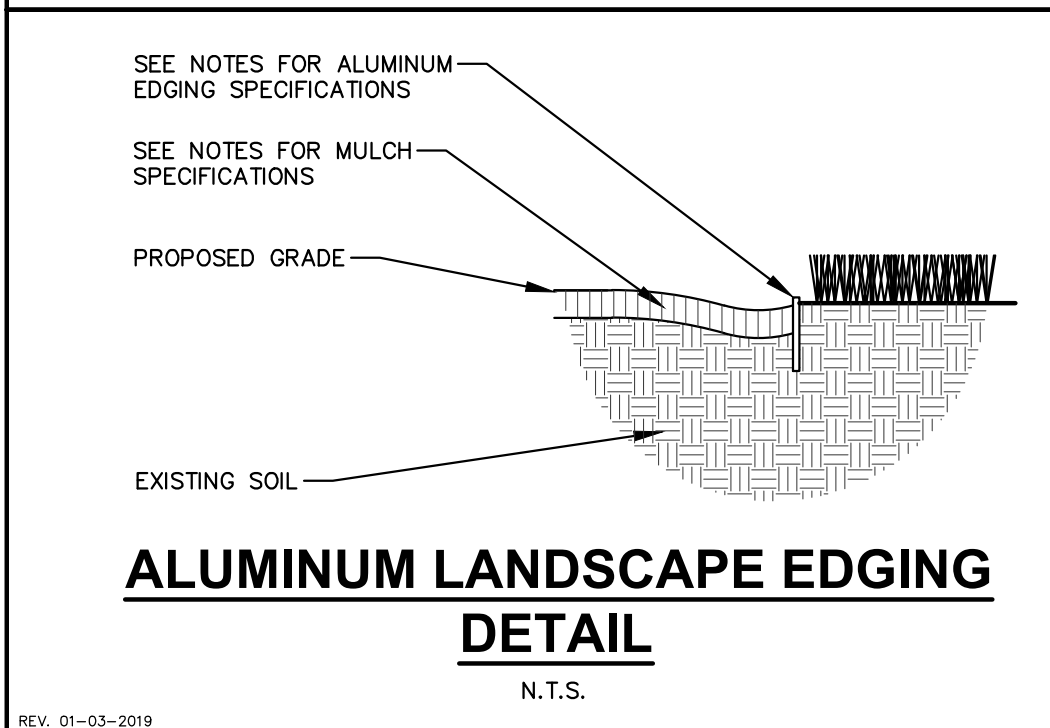
**DECIDUOUS TREE PLANTING DETAIL**

REV. 01-09-2021



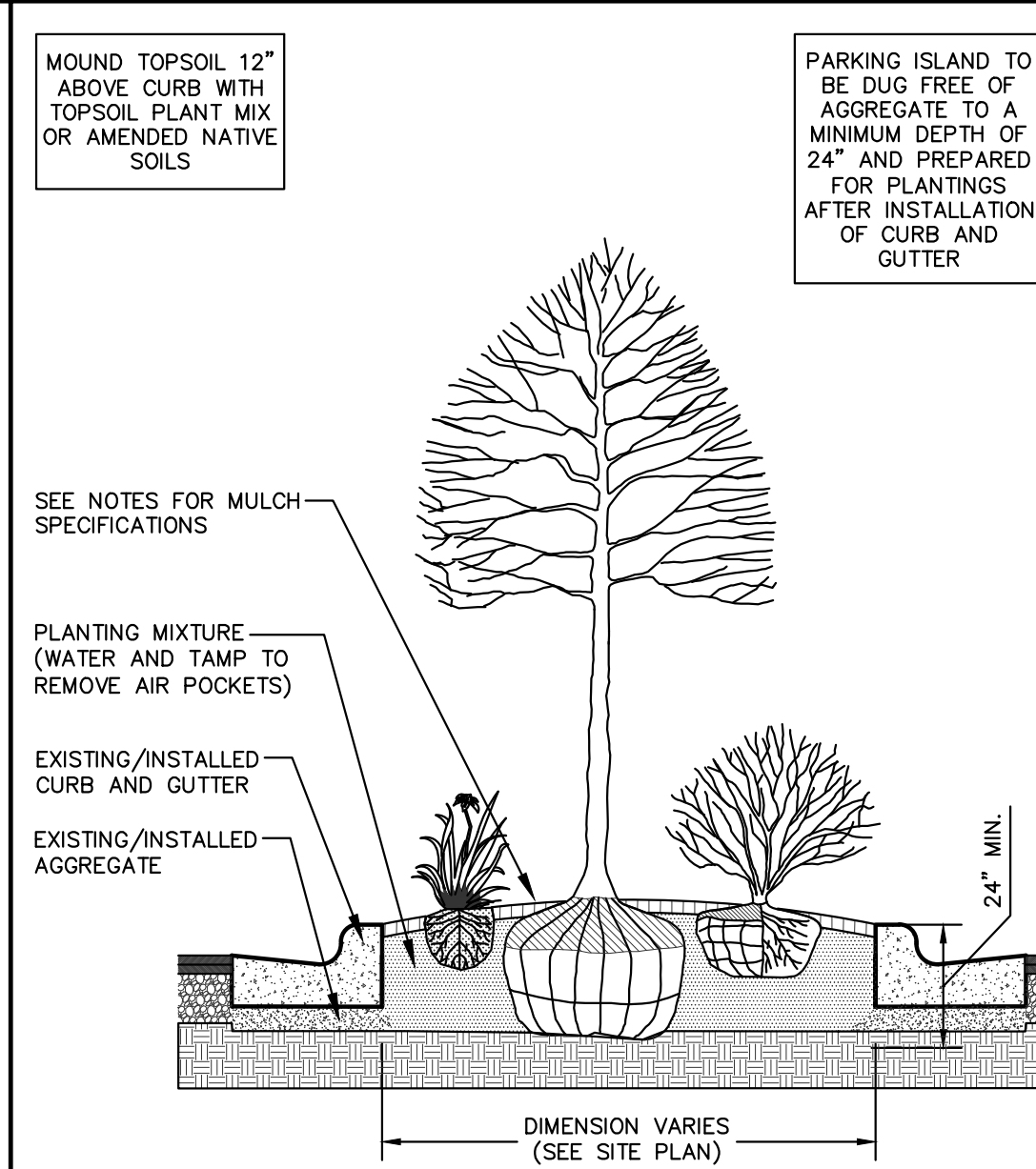
**EVERGREEN TREE PLANTING DETAIL**

REV. 01-03-2019



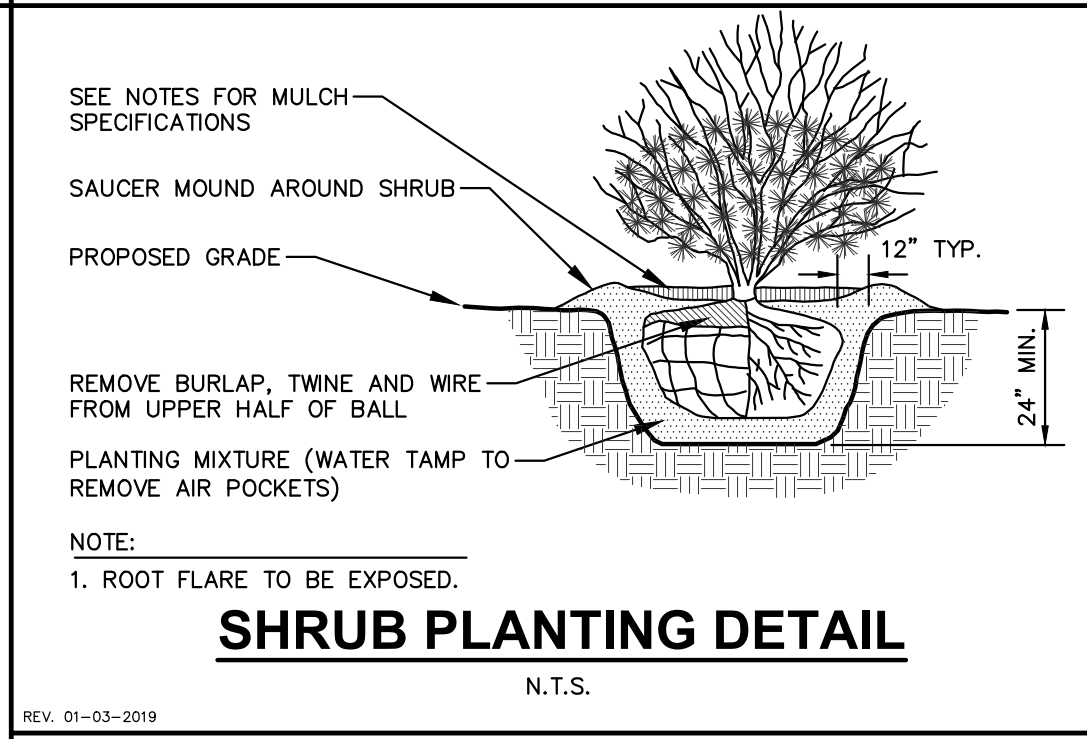
**ALUMINUM LANDSCAPE EDGING DETAIL**

REV. 01-03-2019



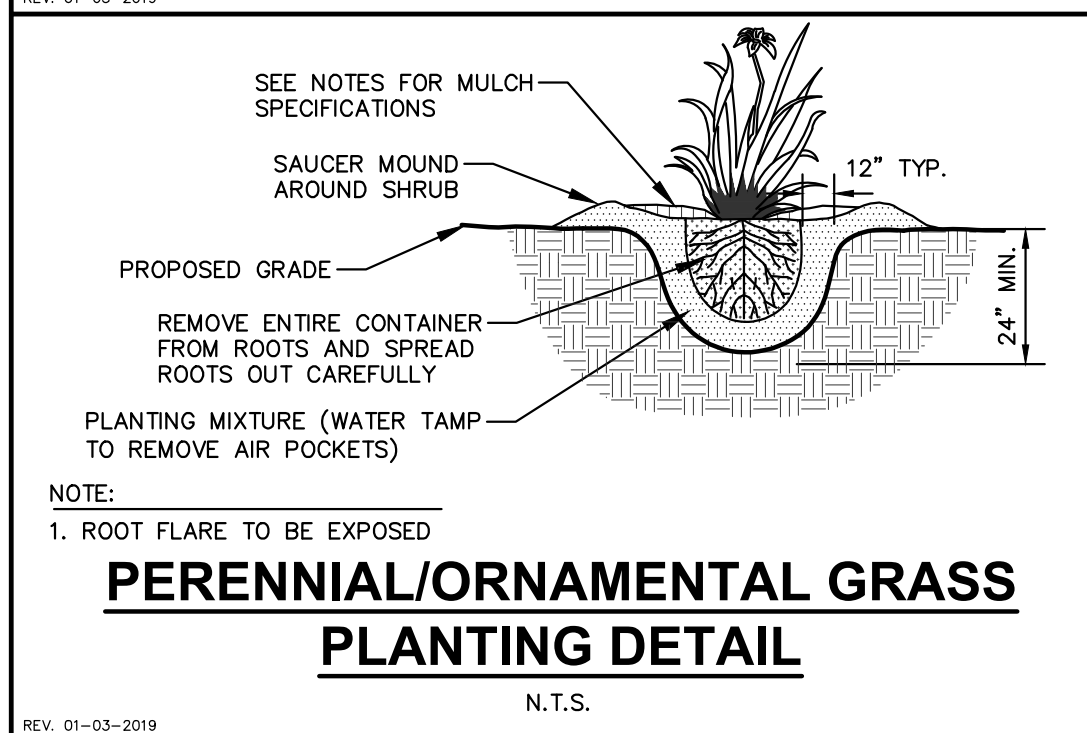
**PARKING ISLAND LANDSCAPE DETAIL**

REV. 01-03-2019



**SHRUB PLANTING DETAIL**

REV. 01-03-2019



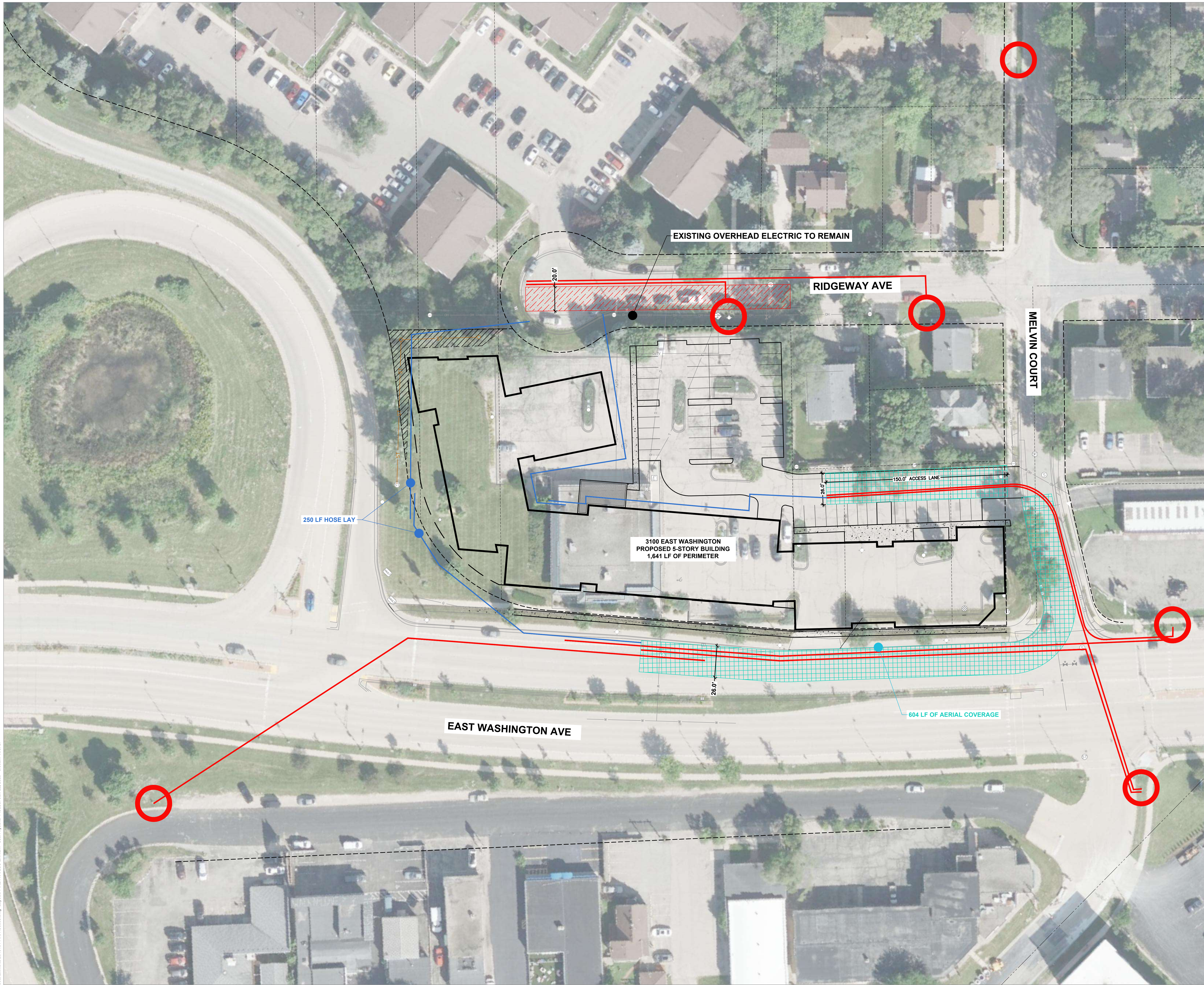
**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**

REV. 01-03-2019

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

1. **GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. **CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
3. **MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 90 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 90 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS ALSO RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE, AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. **MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.





**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	20' WIDE FIRE LANE
	26' WIDE FIRE LANE - AERIAL APPARATUS
	HYDRANT LOCATION

**NOTE:**  
ALL HOSE LAY ROUTES SHOWN  
MEASURE 500 FEET OR LESS

**City of Madison Fire Department**  
30 West Mifflin Street, 3rd & 4th Floors, Madison, WI 53703-2579  
Phone: 608-266-4420 • Fax: 608-267-1100 • Email: fire@cityofmadison.com

Project Address: **3100 EAST WASHINGTON AVENUE**  
Contact Name & Phone #: **KEVIN YESKA (JSD) 608-609-6794**

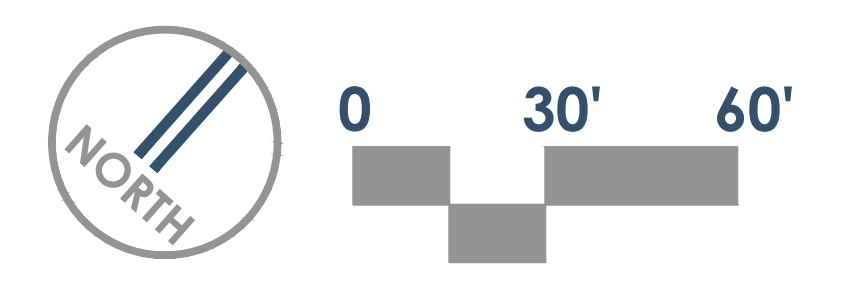
**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

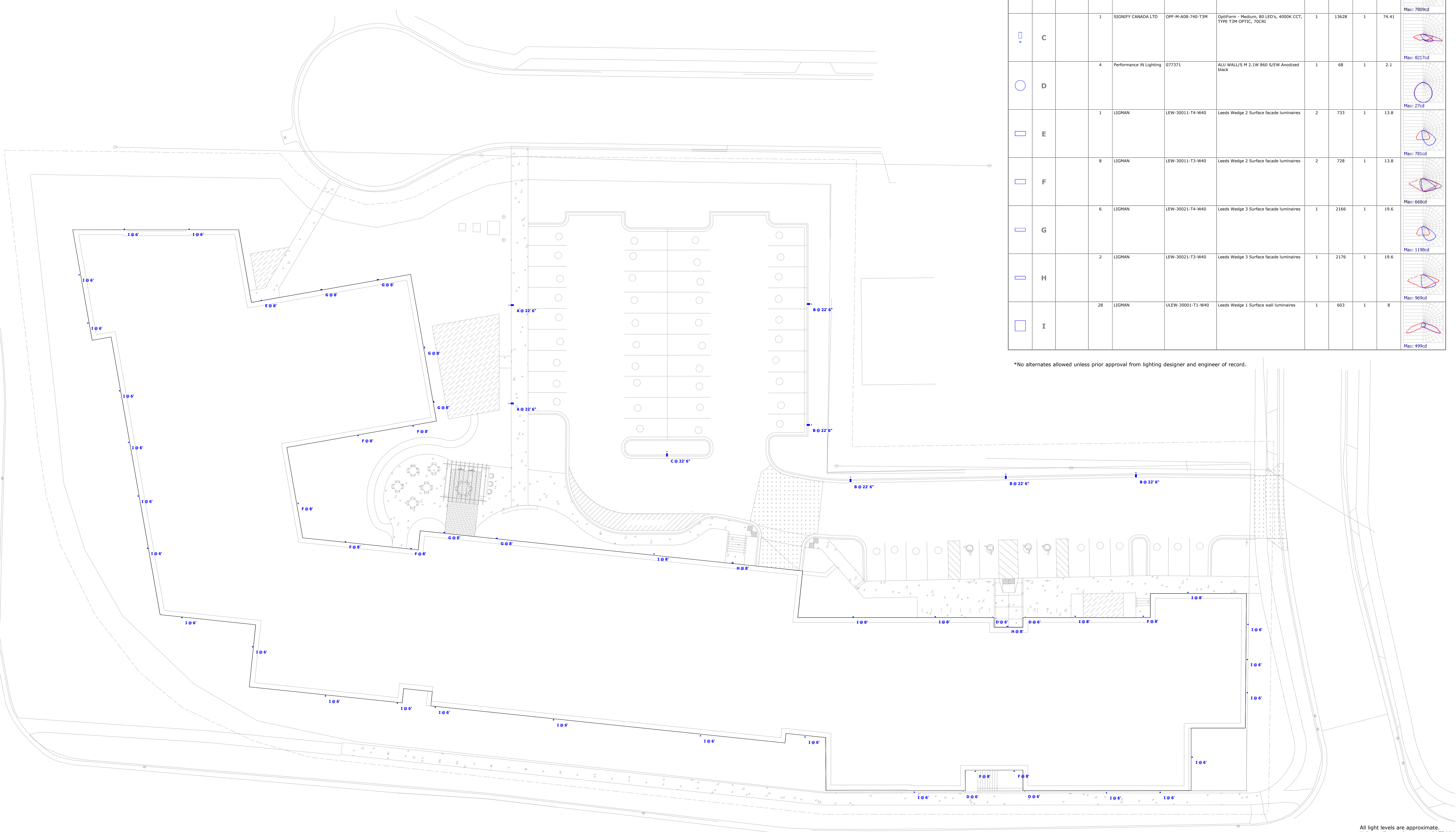
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in height?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrant? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and inspected prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.  
This worksheet is based on MGO 34583 and IFC 2012 Edition Chapter 5 and Appendix D, please see the codes for further information.

**3100 EAST WASHINGTON**  
**MADISON, WISCONSIN**

**FIRE ACCESS EXHIBIT**





Plan View

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		2	SIGNIFY CANADA LTD	OPF-M-A08-740-T4M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T4M OPTIC, 70CRI	1	13811	1	74.41	 Max: 6688cd
	B		5	SIGNIFY CANADA LTD	OPF-M-A09-740-BLC	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	11911	1	92.84	 Max: 7809cd
	C		1	SIGNIFY CANADA LTD	OPF-M-A08-740-T3M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T3M OPTIC, 70CRI	1	13628	1	74.41	 Max: 8217cd
	D		4	Performance IN Lighting	077371	ALU WALL/S M 2.1W 860 S/EW Anodized Black	1	68	1	2.1	 Max: 27cd
	E		1	LIGMAN	LEW-30011-T4-W40	Leeds Wedge 2 Surface facade luminaires	2	733	1	13.8	 Max: 781cd
	F		8	LIGMAN	LEW-30011-T3-W40	Leeds Wedge 2 Surface facade luminaires	2	728	1	13.8	 Max: 668cd
	G		6	LIGMAN	LEW-30021-T4-W40	Leeds Wedge 3 Surface facade luminaires	1	2166	1	19.6	 Max: 1198cd
	H		2	LIGMAN	LEW-30021-T3-W40	Leeds Wedge 3 Surface facade luminaires	1	2176	1	19.6	 Max: 969cd
	I		28	LIGMAN	ULEW-30001-T1-W40	Leeds Wedge 1 Surface wall luminaires	1	603	1	8	 Max: 499cd

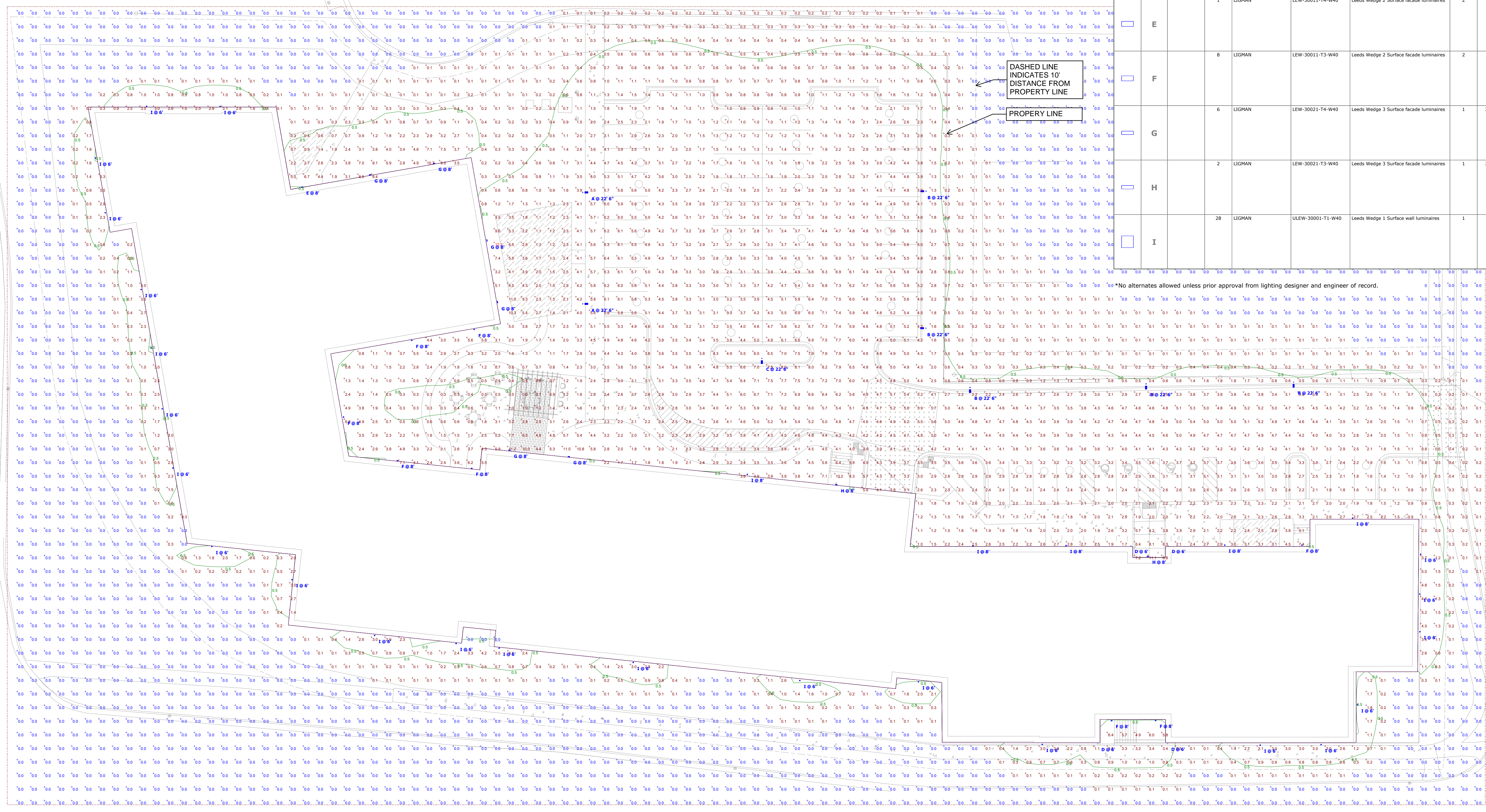
\*No alternates allowed unless prior approval from lighting designer and engineer of record.

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written permission.



Statistics	Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Combined Parking			3.3 fc	0.8 fc	9.6 ft	4.2:1	7.7 fc
10ft Property Line @ 4R			0.0 fc	0.0 fc	N/A	N/A	0.3 fc

Schedule	Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	□	A		2	SIGNIFY CANADA LTD	OPF-M-A08-740-T4M	OptiForm - Medium, 80 LEDs, 4000K CCT, TYPE T4M OPTIC, 70CRI	1	13811	1	74.41	
	□	B		5	SIGNIFY CANADA LTD	OPF-M-A09-740-BLC	OptiForm - Medium, 80 LEDs, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	11911	1	92.84	
	□	C		1	SIGNIFY CANADA LTD	OPF-M-A08-740-T3M	OptiForm - Medium, 80 LEDs, 4000K CCT, TYPE T3M OPTIC, 70CRI	1	13628	1	74.41	
	○	D		4	Performance IN Lighting	077371	ALLI WALL/S M 2.1W 860 S/EW Anodized black	1	68	1	2.1	
	□	E		1	LIGMAN	LEW-30011-T4-W40	Leeds Wedge 2 Surface facade luminaires	2	733	1	13.8	
	□	F		8	LIGMAN	LEW-30011-T3-W40	Leeds Wedge 2 Surface facade luminaires	2	728	1	13.8	
	□	G		6	LIGMAN	LEW-30021-T4-W40	Leeds Wedge 3 Surface facade luminaires	1	2166	1	19.6	
	□	H		2	LIGMAN	LEW-30021-T3-W40	Leeds Wedge 3 Surface facade luminaires	1	2176	1	19.6	
	□	I		28	LIGMAN	ULEW-30001-T1-W40	Leeds Wedge 1 Surface wall luminaires	1	603	1	8	



DASHED LINE INDICATES 10' DISTANCE FROM PROPERTY LINE

PROPERTY LINE

\*No alternates allowed unless prior approval from lighting designer and engineer of record.

Plan View

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. Calculations are based on a 4' x 4' spacing. This design remains the property of Spectrum Lighting and may not be altered without written permission.







Plan View  
Scale - 1/16" = 1ft

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	J		31	GARDCO	SVPG-A03-840-G2-5RD	SortView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	5995	1	52	
○	K		11	GARDCO	SVPG-A02-840-G2-5RD	SortView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	4153	1	36	
	L		4	DAY-BRITE / CFI	FSSE2440L840-UNV-DIM	4' FLUXSTREAM STRIP 2-SLMC 2,26L8 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	

\*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written permission.





Plan View  
Scale - 1/16" = 1'

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
J			31	GARDCO	SVPG-A03-840-G2-5RD	SortView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	5995	1	52	
K			11	GARDCO	SVPG-A02-840-G2-5RD	SortView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	4153	1	36	
L			4	DAY-BRITE / CFI	FSSE2440L840-UW-DIM	4 FLUXSTREAM STRIP 2-SLMC 2.26L8 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	

\*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
General Parking and Pedestrian	+	5.0 fc	9.0 fc	1.3 fc	6.9:1 3.8:1

Description	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	42	2008.0 W	40778.4 ft <sup>2</sup>	0.0 W/ft <sup>2</sup>

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written permission.





**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704  
OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

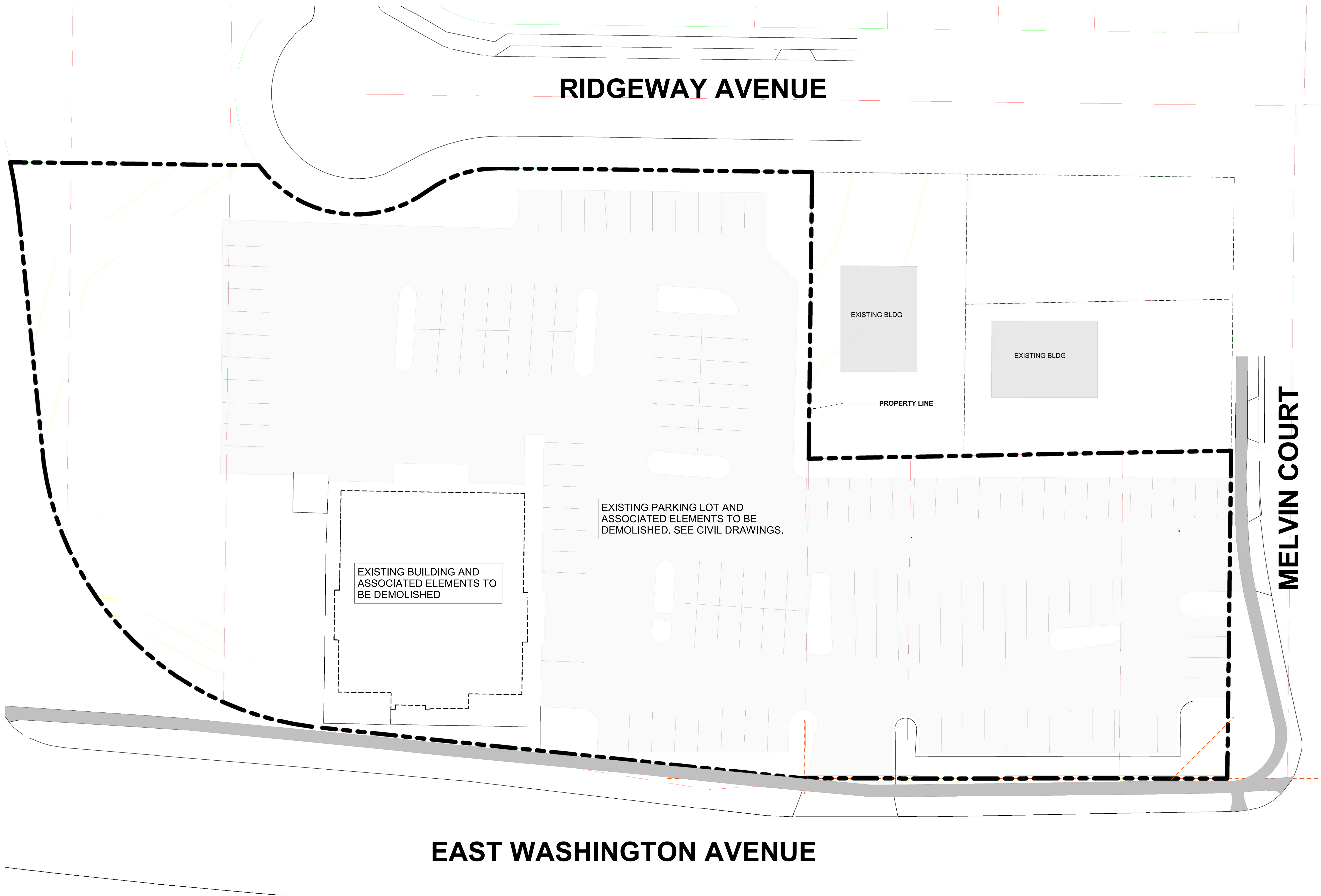
PROJECT NUMBER 233606.00

ISSUED FOR:  
LAND USE APPLICATION 08/07/23

REVISION FOR:  
NO. DESCRIPTION DATE

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CHECKED BY Checker

**DEMO SITE PLAN**





**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

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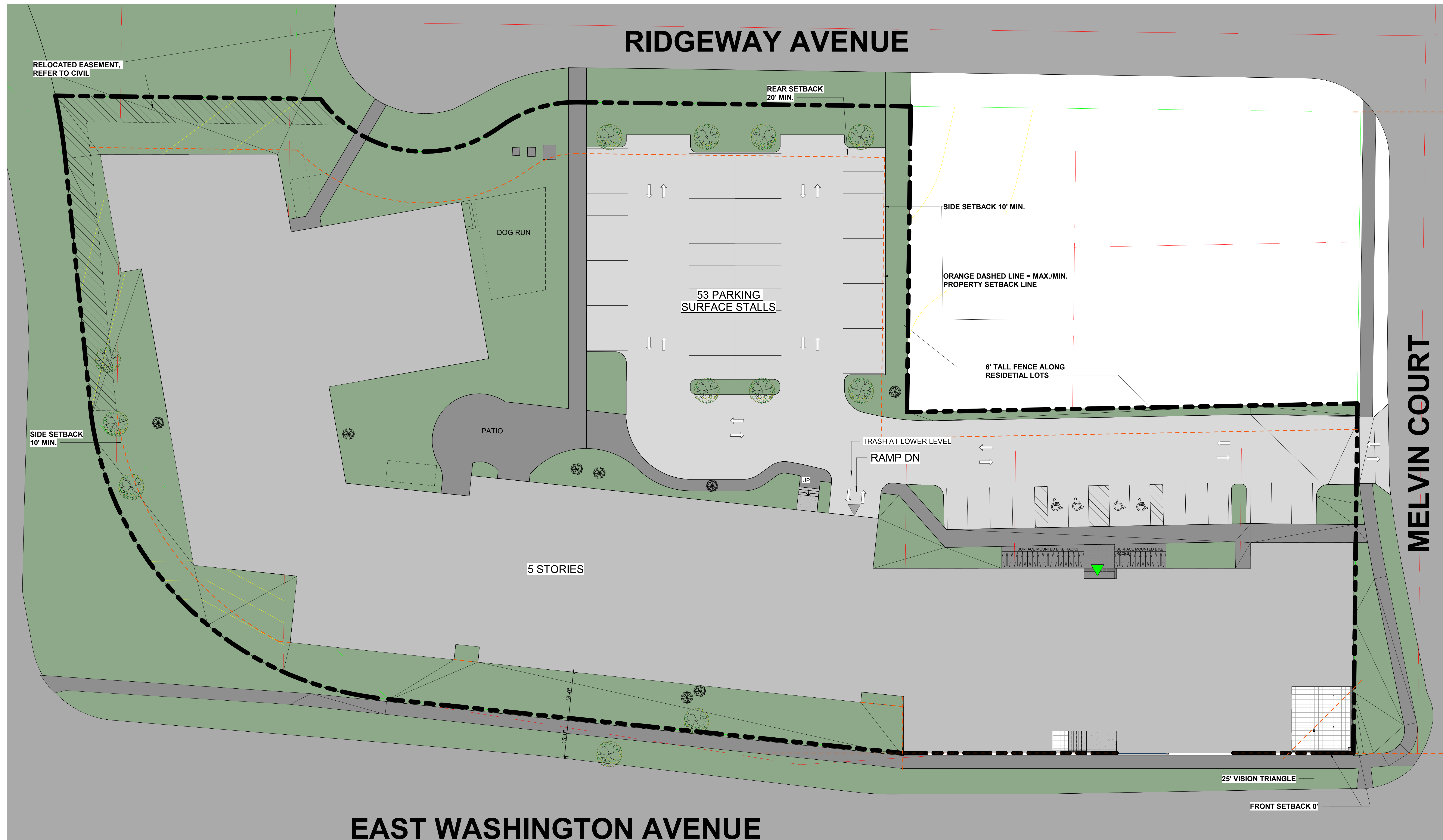
**ARCHITECTURAL SITE PLAN**

**G002**

MADISON - 3100 EAST WASHINGTON DEVELOPMENT DATA						PROJECT GROSS SQUARE FOOTAGES	
UNIT TOTALS (UNIT MIX 44.8% 1-BD & 55.2% 2-BD)							
	STUDIO	1BR	2BR	3BR	TOTAL	BLDG 01	GSF / FLOOR
1ST FL	0	14	17	0	31	LL	43,374
2ND FL	0	18	22	0	40	1ST FL	42,365
3RD FL	0	18	22	0	40	2ND FL	42,291
4TH FL	0	18	22	0	40	3RD FL	42,291
5TH FL	0	18	23	0	41	4TH FL	42,291
SUBTOTAL	0	86	106	0		5TH FL	42,291
<b>TOTAL</b>					<b>192</b>	<b>TOTAL</b>	<b>254,903 GSF</b>
PARKING TOTALS (UNIT TO STALL RATIO 1:0.74)				BIKE PARKING			
LOWER LEVEL			89		192		
SURFACE			53		26 GUEST SPACES		
<b>TOTAL</b>			<b>142</b>				

GENERAL NOTES - ZONING			
CITY OF MADISON			
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER ZONING	89 (LOWER LEVEL) 53 (SURFACE)	
BIKE PARKING	1 PER BEDROOM (UP TO 280) + 1 GUEST SPACE PER 10 UNITS	192 LONG TERM 26 GUEST	
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 10% EV INSTALLED SPACES: 2%	14 EV READY 3 EV INSTALLED	TOTAL PARKING SPACES: 17 1 EV INSTALLED SPACE TO BE ACCESSIBLE
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 28.129	ALL GLAZING PANELS ARE UNDER 50 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

GENERAL NOTES - ZONING			
CITY OF MADISON			
1. COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT 2. TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT			
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	500 SQ. FT. / UNIT	501 SQ. FT. / UNIT	PER CCT DISTRICT
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	190.87 LENGTH
FRONT YARD SETBACK	0' (CCT DISTRICT) 30% OF FACADE @ 20 FT. (TOD)	18' (E. WASHINGTON) 0' (30% OF E. WASH & MELVIN)	MAJORITY OF E. WASHINGTON IS 18' FROM PROPERTY LINE. PROPERTY LINE IS >15' FROM STREET
SIDE YARD SETBACK	10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LOTS
REAR YARD SETBACK	20 FT	20'-0"	RIDGEWAY AVENUE
MAXIMUM LOT COVERAGE	85% (MAX.)	44%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	5 STORIES	5 STORIES	PER CCT
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED PER CCT: 40 SF/UNIT (40'x192=7,680 SF)	GRADE LEVEL >9500 SQ FT	192 UNITS



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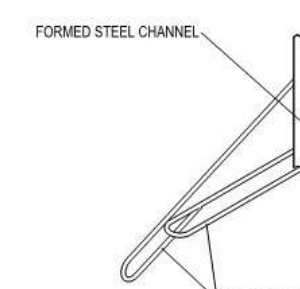
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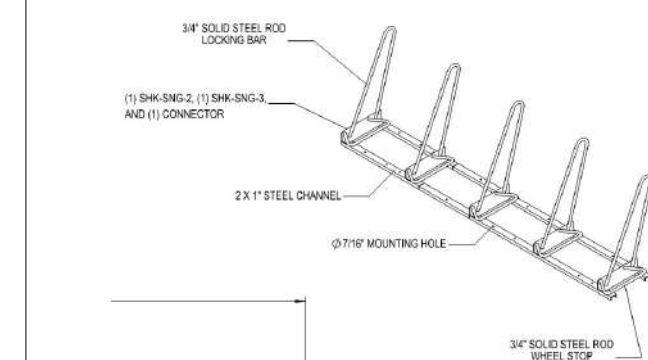
NO.	DESCRIPTION	DATE

**UNDERGROUND BIKE RACK INFO**

1. WALL MOUNT VERTICAL BIKE RACK. POWDER COATED STEEL. BASIS OF DESIGN: MADRAX BSV-1-WM
2. FLOOR MOUNT BIKE RACK. POWDER COATED STEEL. BASIS OF DESIGN: MADRAX SHARK-UP BIKE RACK

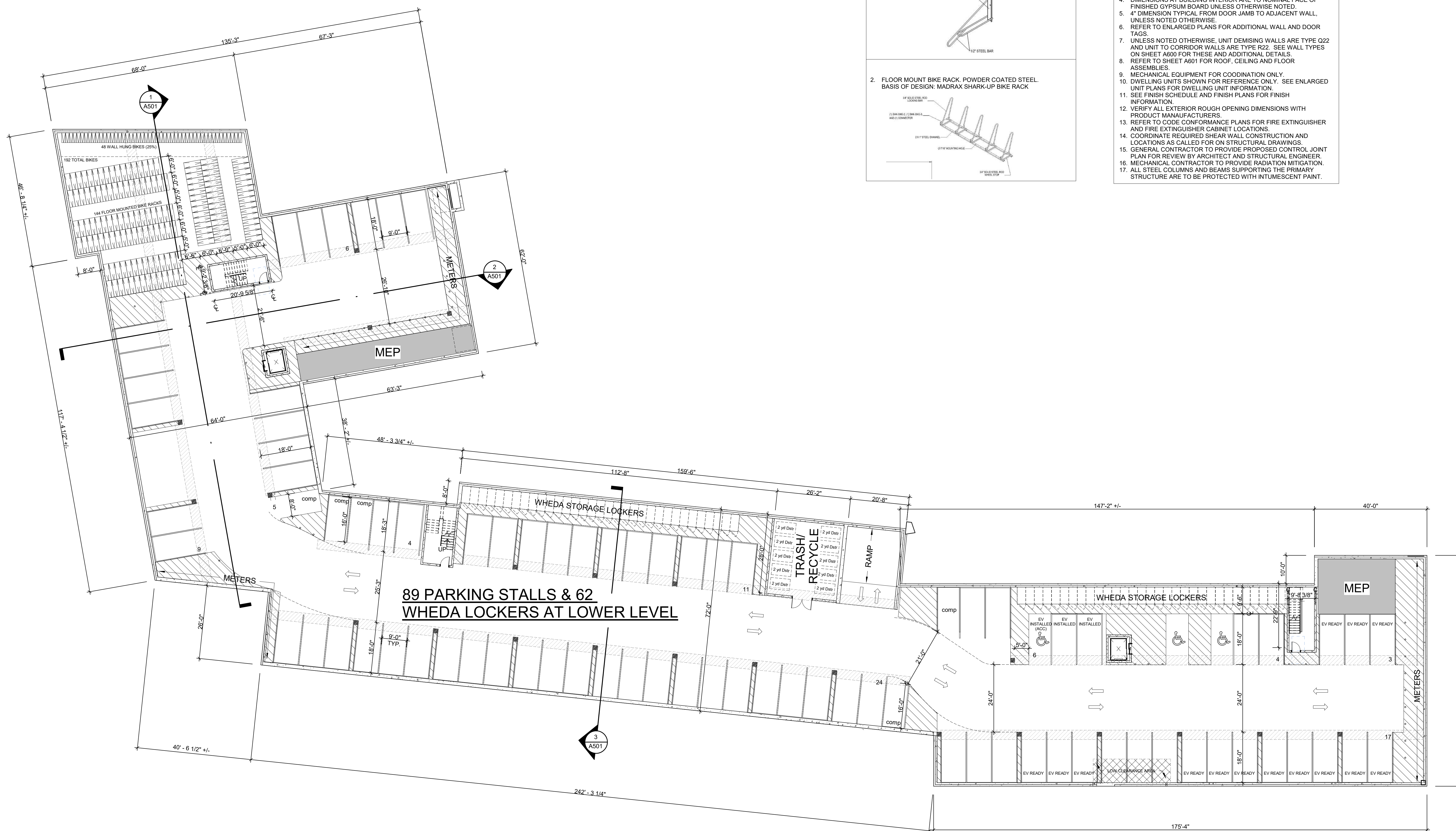


2. FLOOR MOUNT BIKE RACK. POWDER COATED STEEL. BASIS OF DESIGN: MADRAX SHARK-UP BIKE RACK

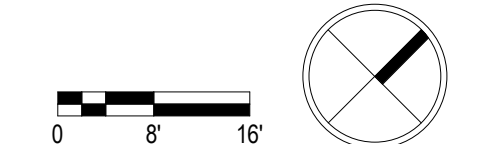


**GENERAL NOTES - FLOOR PLANS**

1. 59'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



1 LOWER LEVEL PLAN  
SCALE: 1/16" = 1'-0"



DRAWN BY \_\_\_\_\_ Author

CHECKED BY \_\_\_\_\_ Checker

**LOWER LEVEL PLAN**

**GENERAL NOTES - FLOOR PLANS**

1. 887'-0" CIVIL = 100'-0" ARCHITECTURAL.
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
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16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
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**3100 EAST WASHINGTON**

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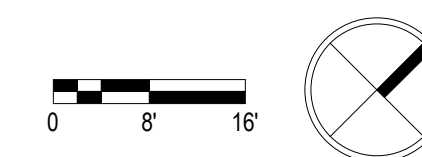
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**FIRST FLOOR PLAN**



1 LEVEL ONE  
SCALE: 1/16" = 1'-0"



**A101**

**GENERAL NOTES - FLOOR PLANS**

1. 887'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

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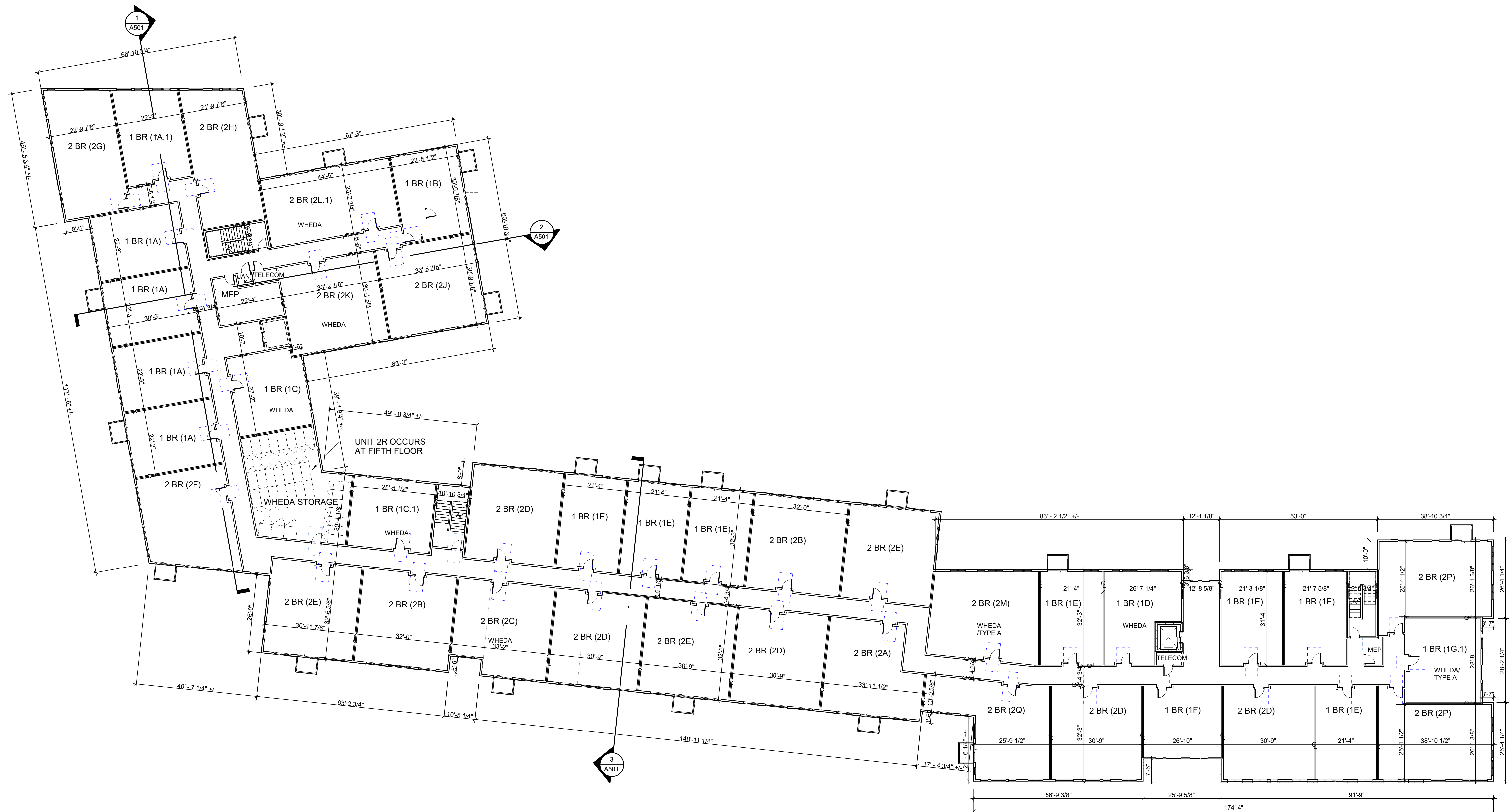
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**TYPICAL FLOOR PLAN**

0 8 16



1 LEVEL TWO  
SCALE: 1/16" = 1'-0"



**GENERAL NOTES - ROOF PLAN**

1. ALL ROOF EQUIPMENT TO BE CENTRALIZED AT THE MIDDLE OF ROOF. NOTHING TO BE LOCATED WITHIN 10 FEET OF THE ROOF EDGE. GUARDRAILS ARE REQUIRED AT ROOF EDGES WHEN MECHANICAL EQUIPMENT, HATCHES, ETC. ARE CLOSER THAN 10 FEET FROM ROOF EDGE.
2. SLOPE ROOF TO DRAINS, TYPICAL.
3. ROOF DRAINS SHOWN FOR INTENT ONLY. FINAL DESIGN AND QUANTITIES TO BE PROVIDED BY DESIGN-BUILD CONTRACTOR & COORDINATED WITH ROOFER.
4. SOLAR PANELS BY OWNER.

**3100 EAST WASHINGTON**

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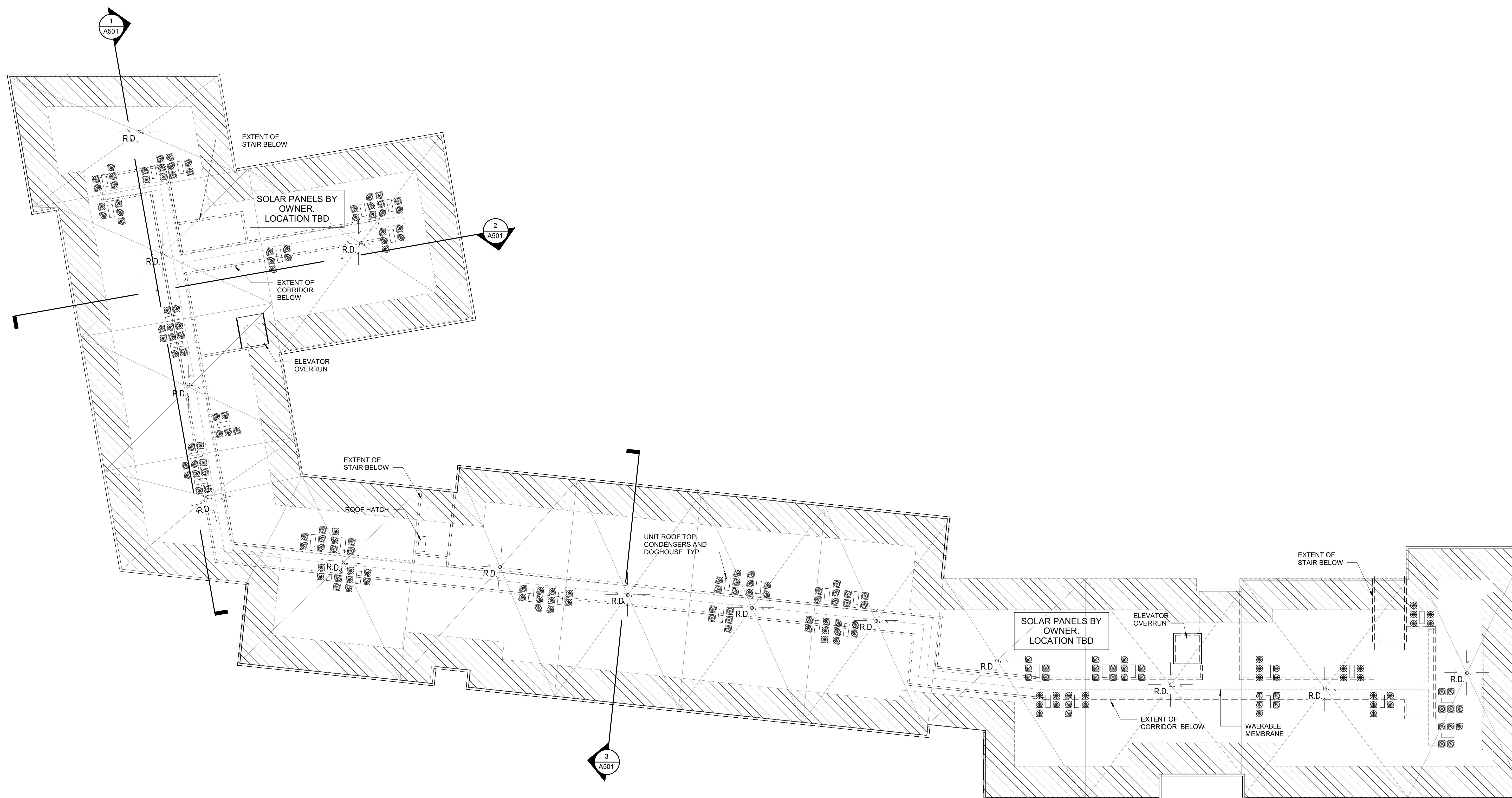
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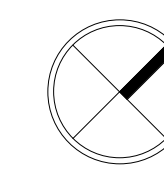
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1 ROOF  
SCALE: 1/16" = 1'-0"



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**ROOF PLAN**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
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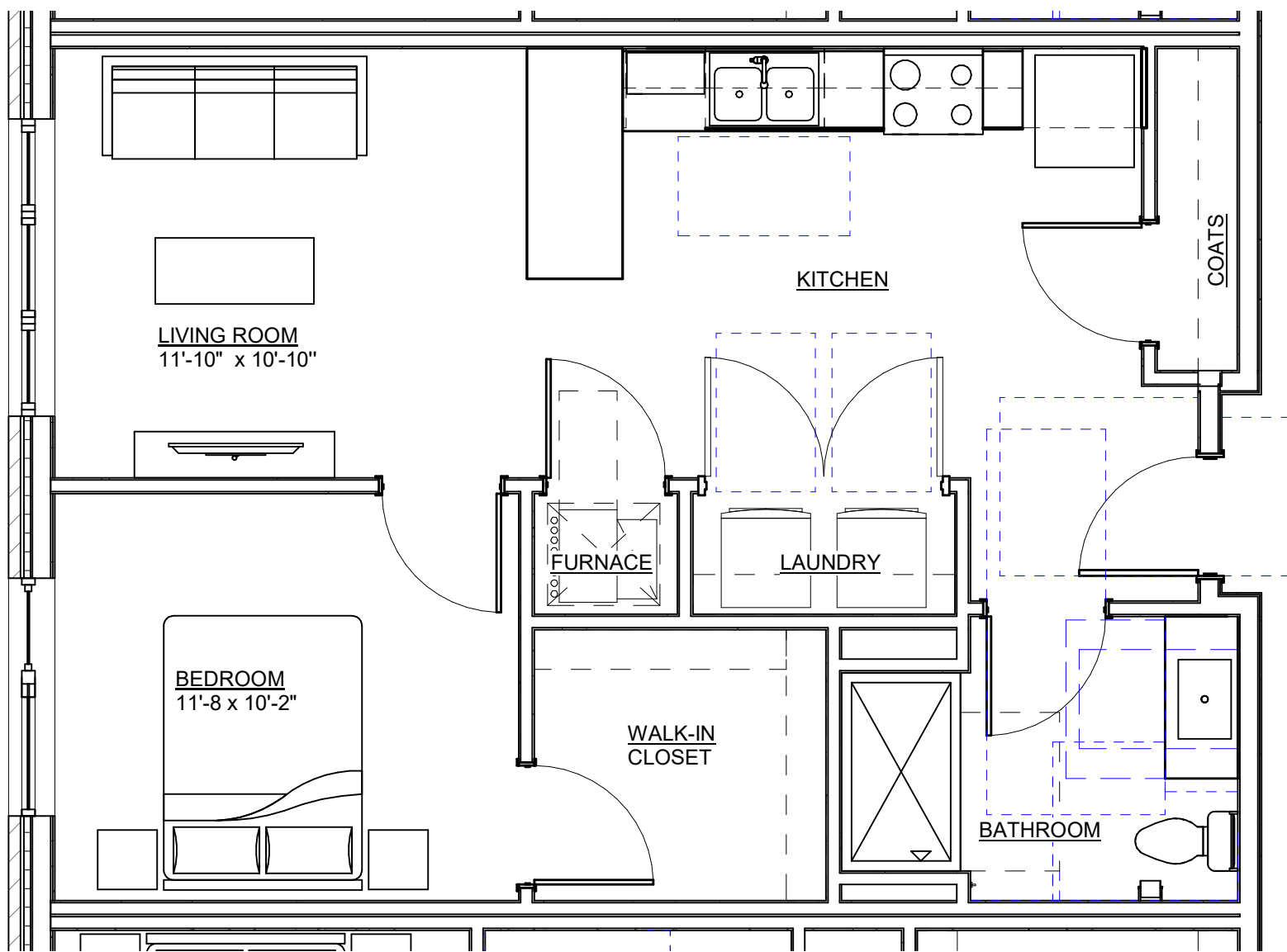
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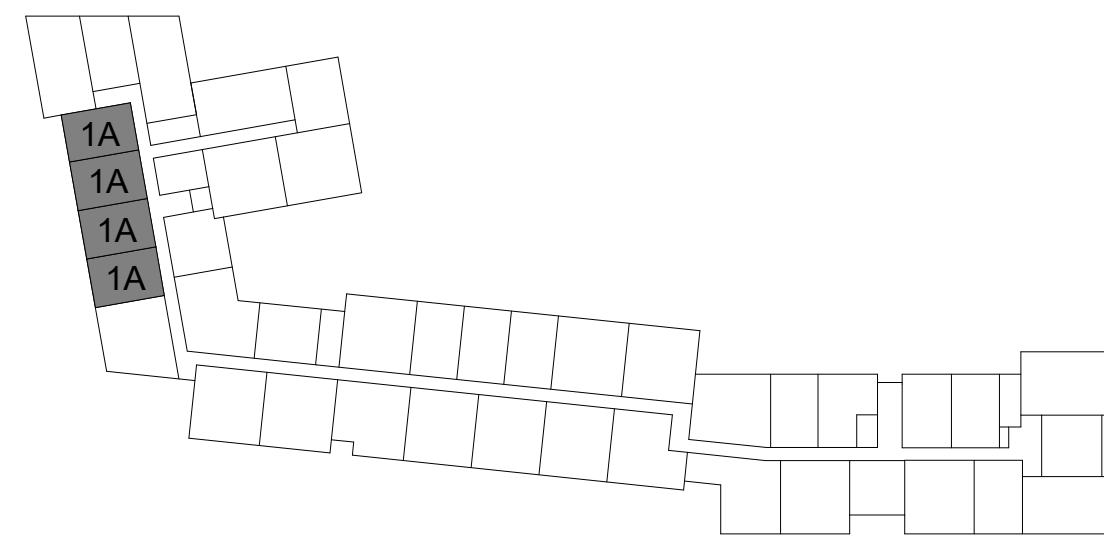
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**ENLARGED UNIT PLANS**

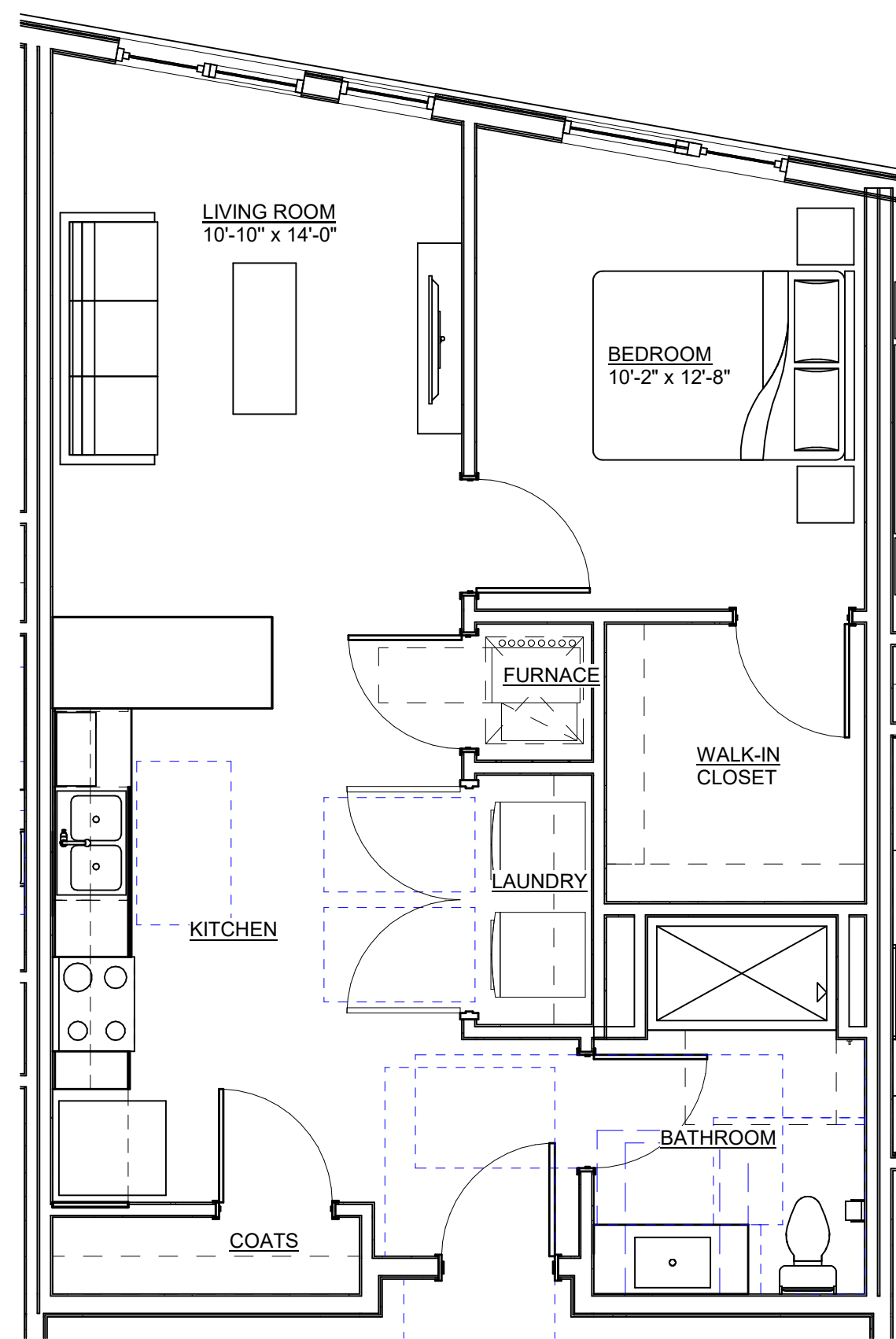
**A300**



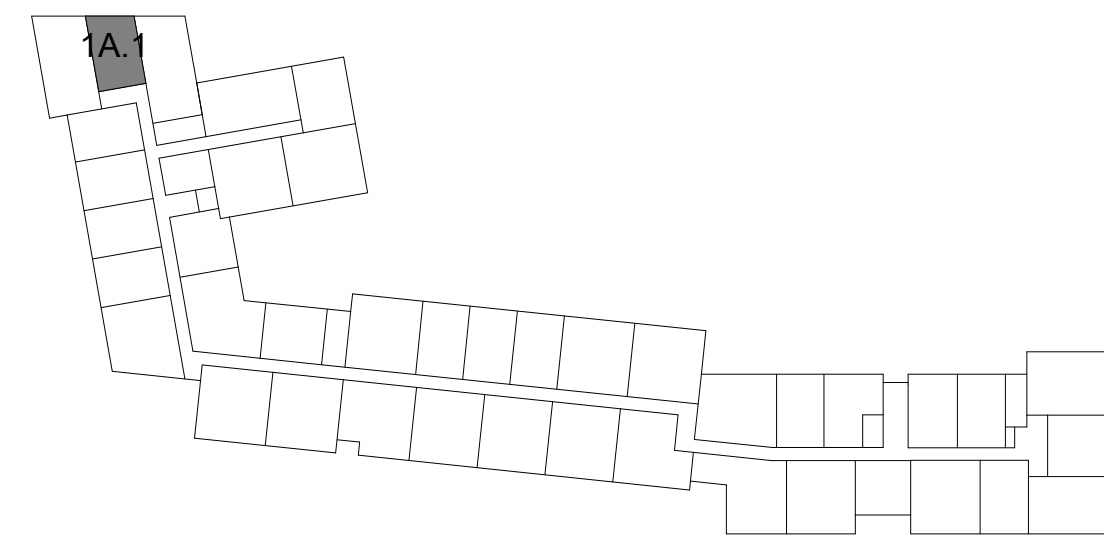
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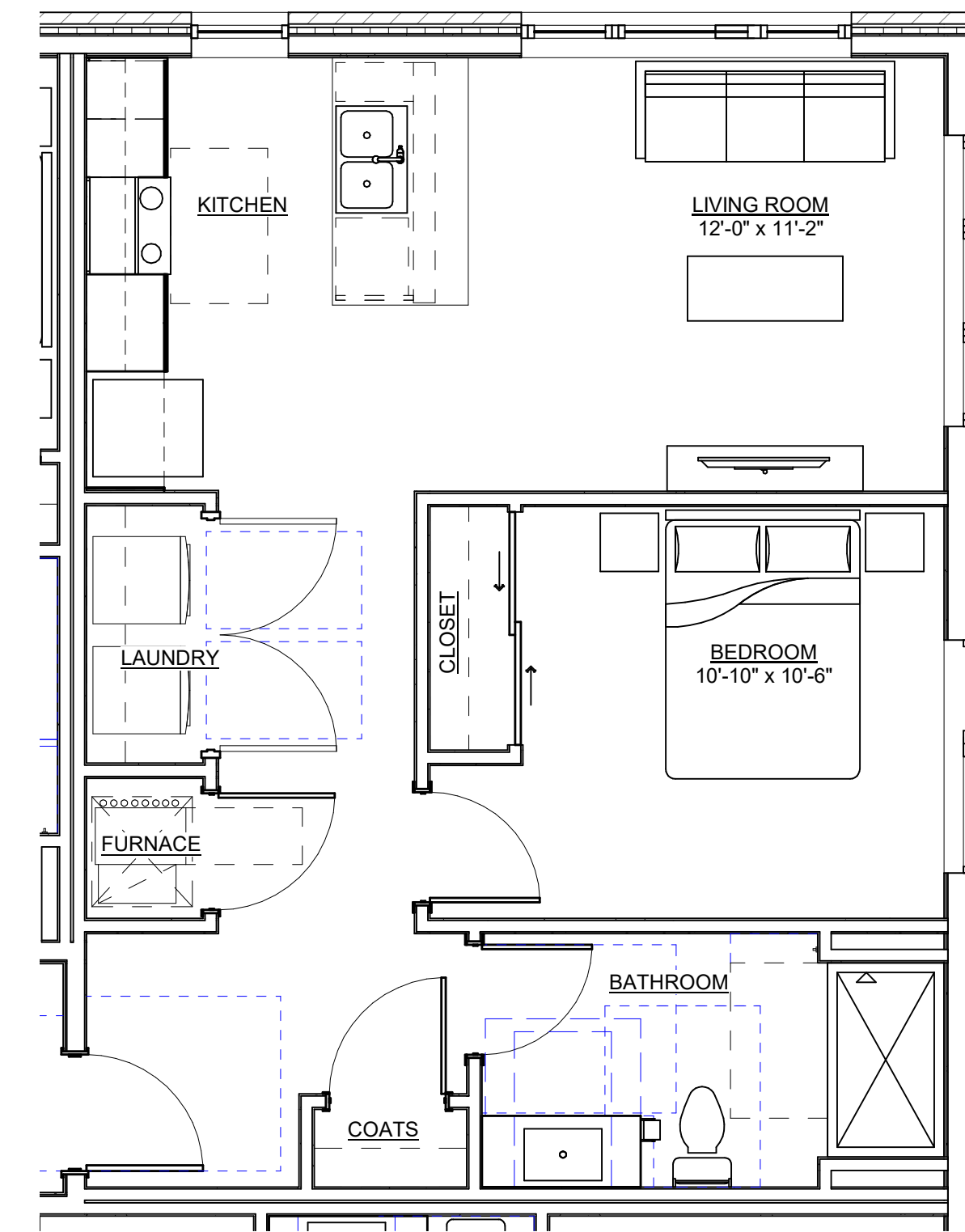
LEVEL 1-5  
Plan North



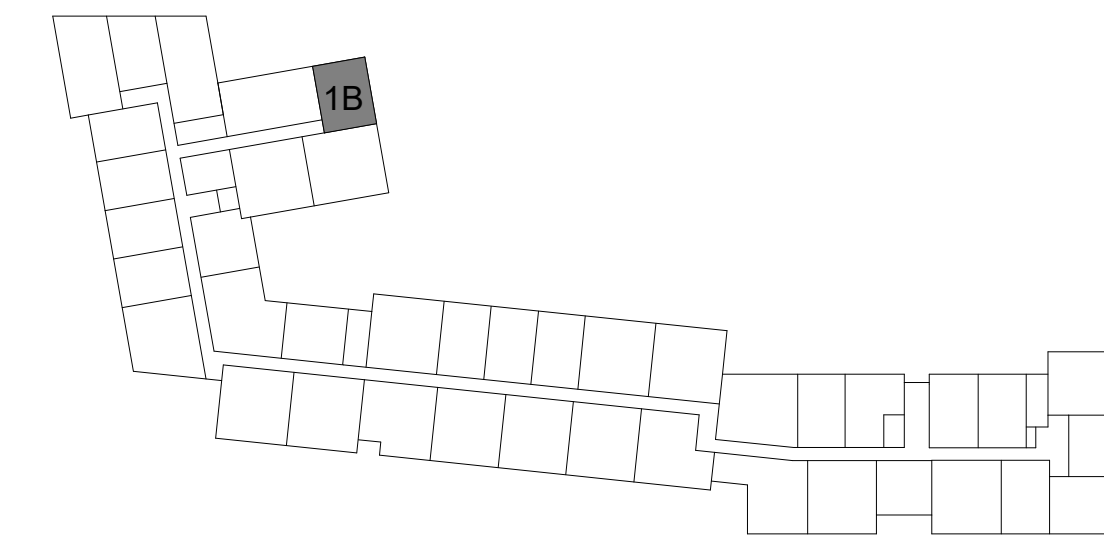
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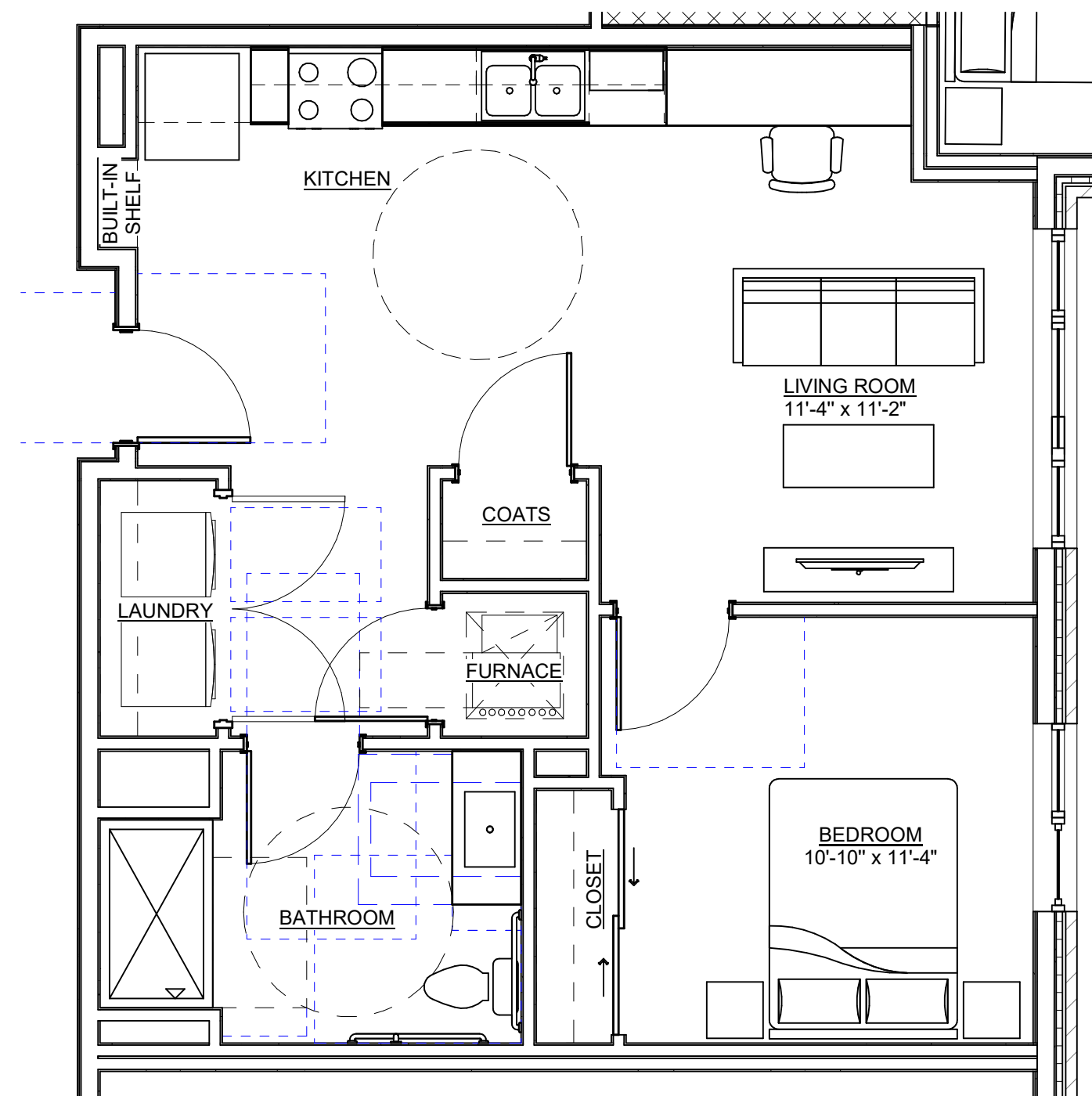
LEVEL 1-5  
Plan North



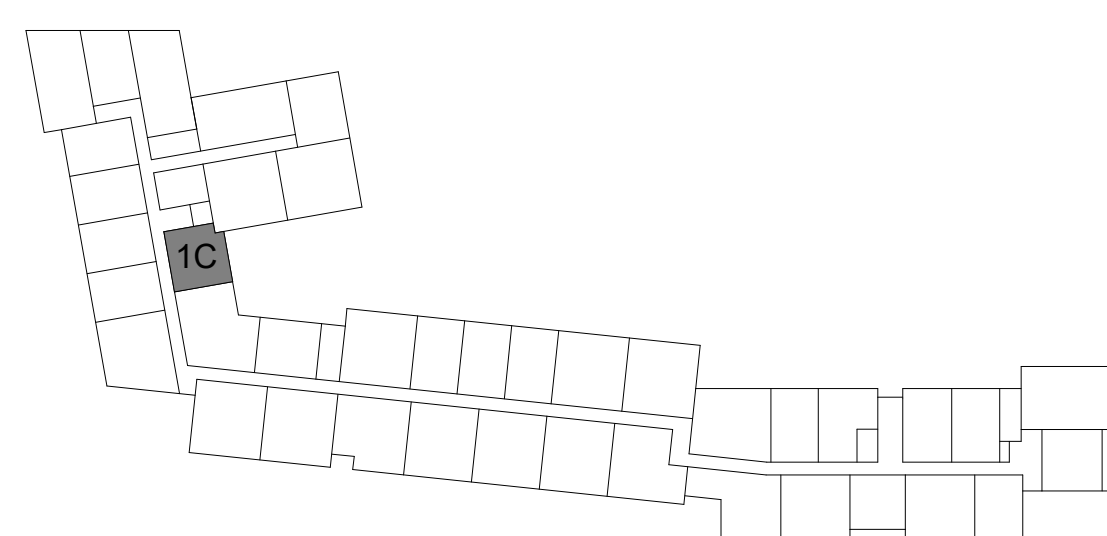
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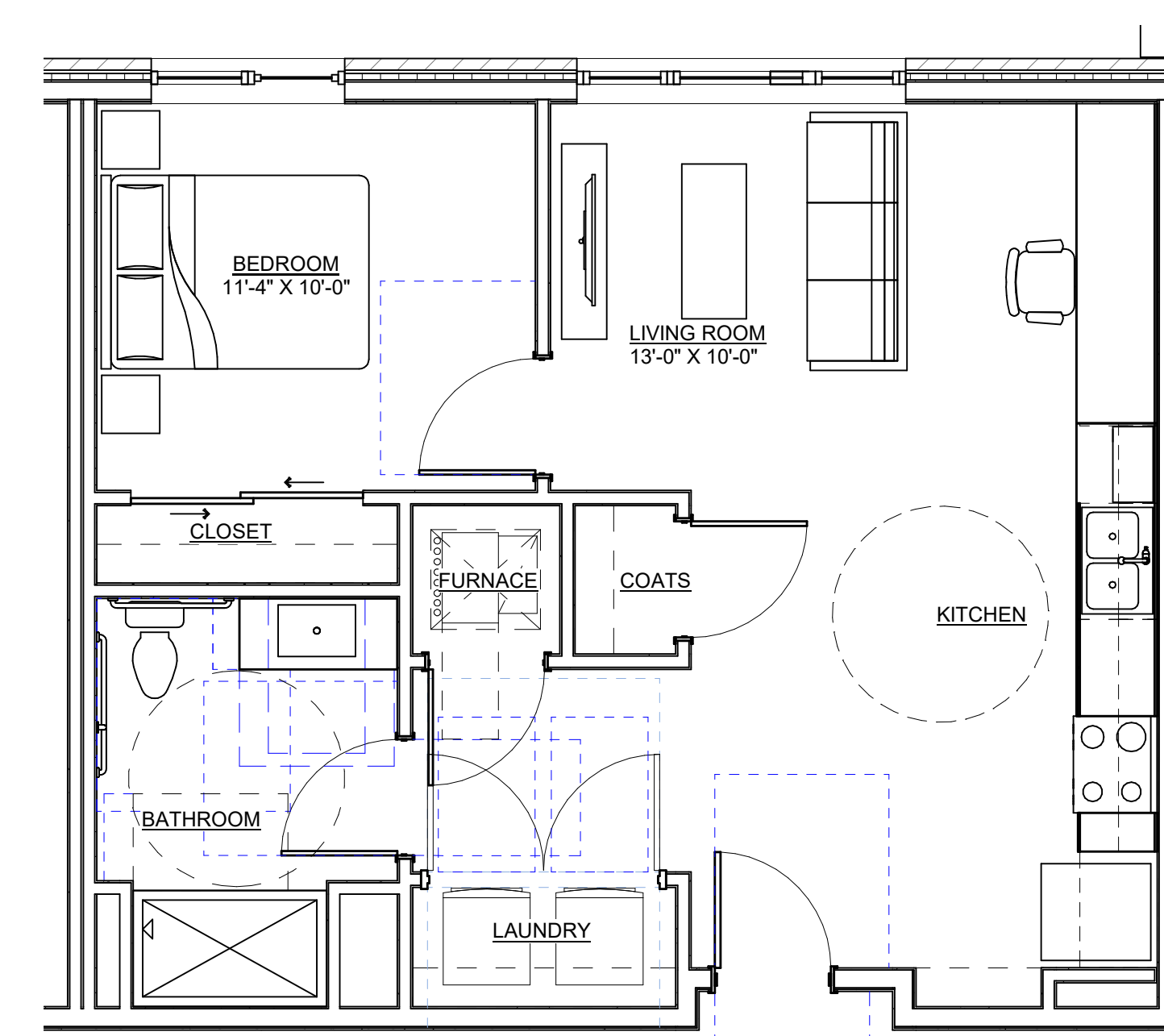
LEVEL 1-5  
Plan North



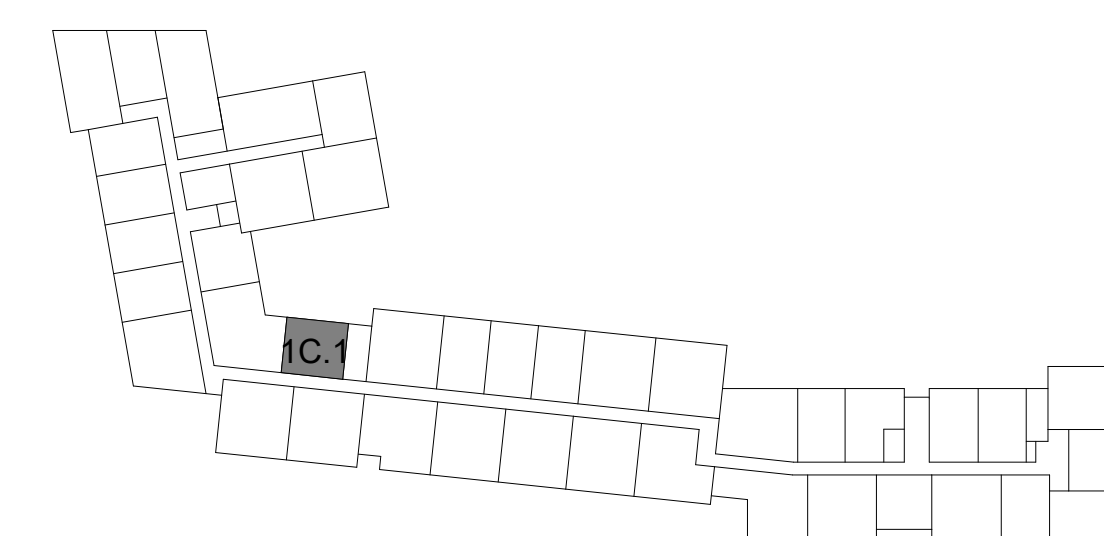
4 UNIT 1C - WHEDA  
SCALE: 1/4" = 1'-0"



LEVEL 1-5  
Plan North



5 UNIT 1C.1 - WHEDA  
SCALE: 1/4" = 1'-0"



LEVEL 1-5  
Plan North

**GENERAL NOTES - UNIT PLANS**

- VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
- BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
- ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
- 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
- WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
- VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
- INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
- PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
- GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
- PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
- PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
- PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
- PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
- WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
- REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
- SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
- ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
- PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
- REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

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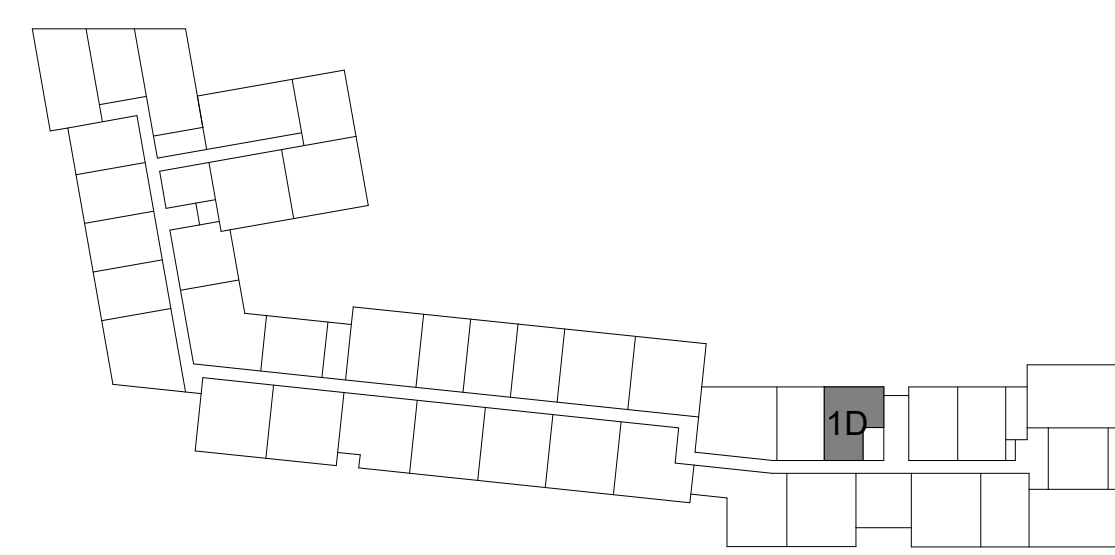
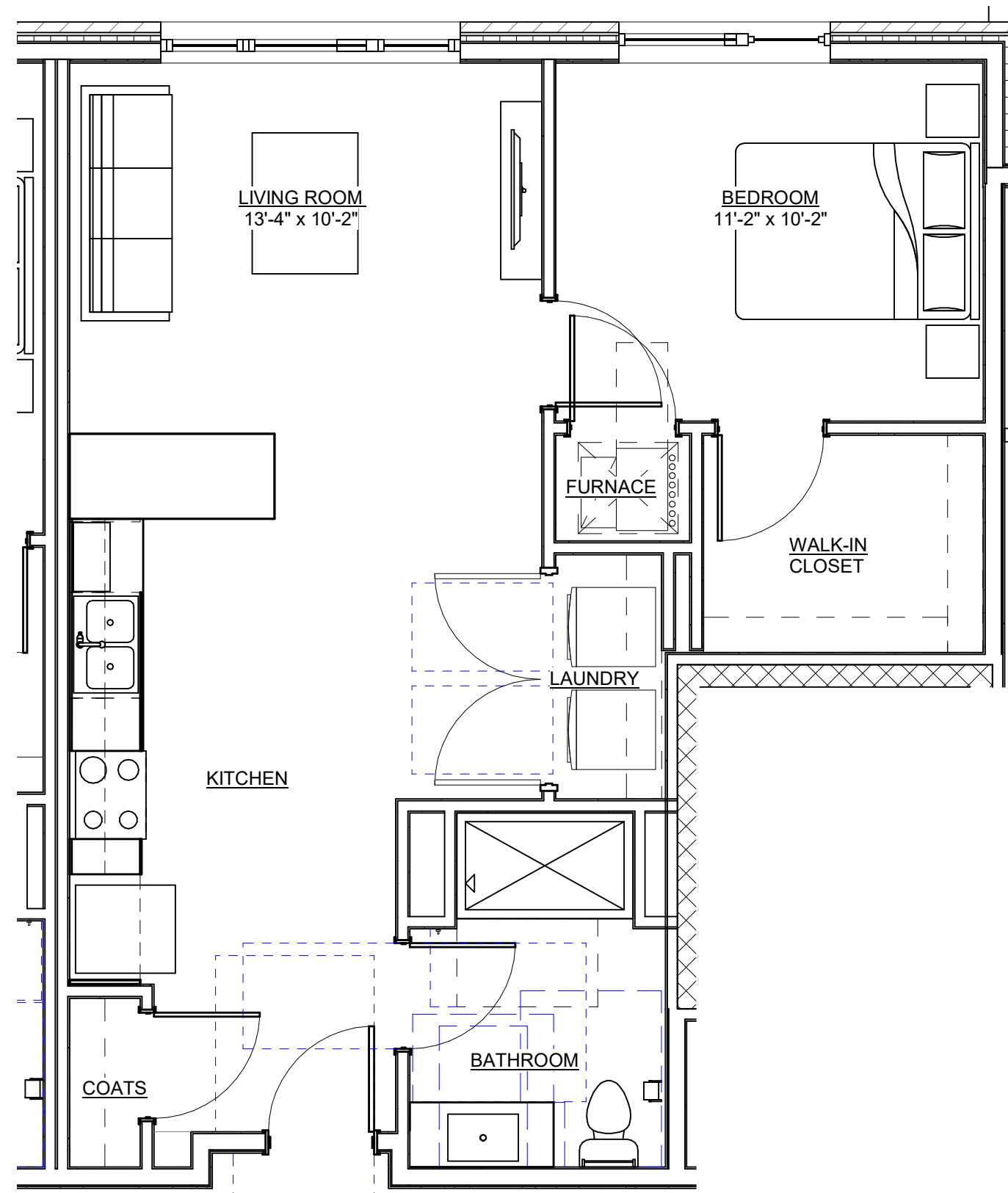
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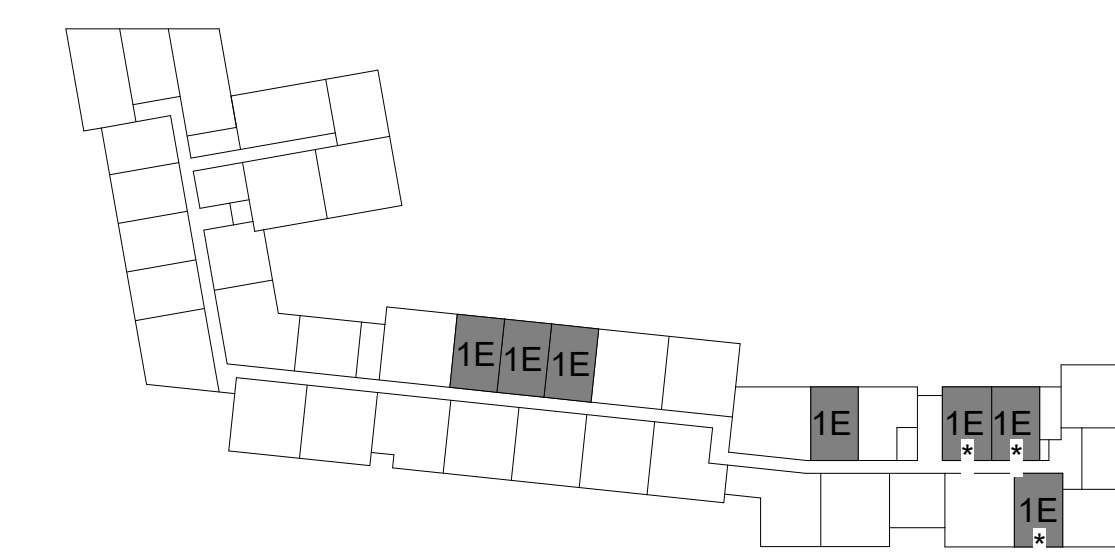
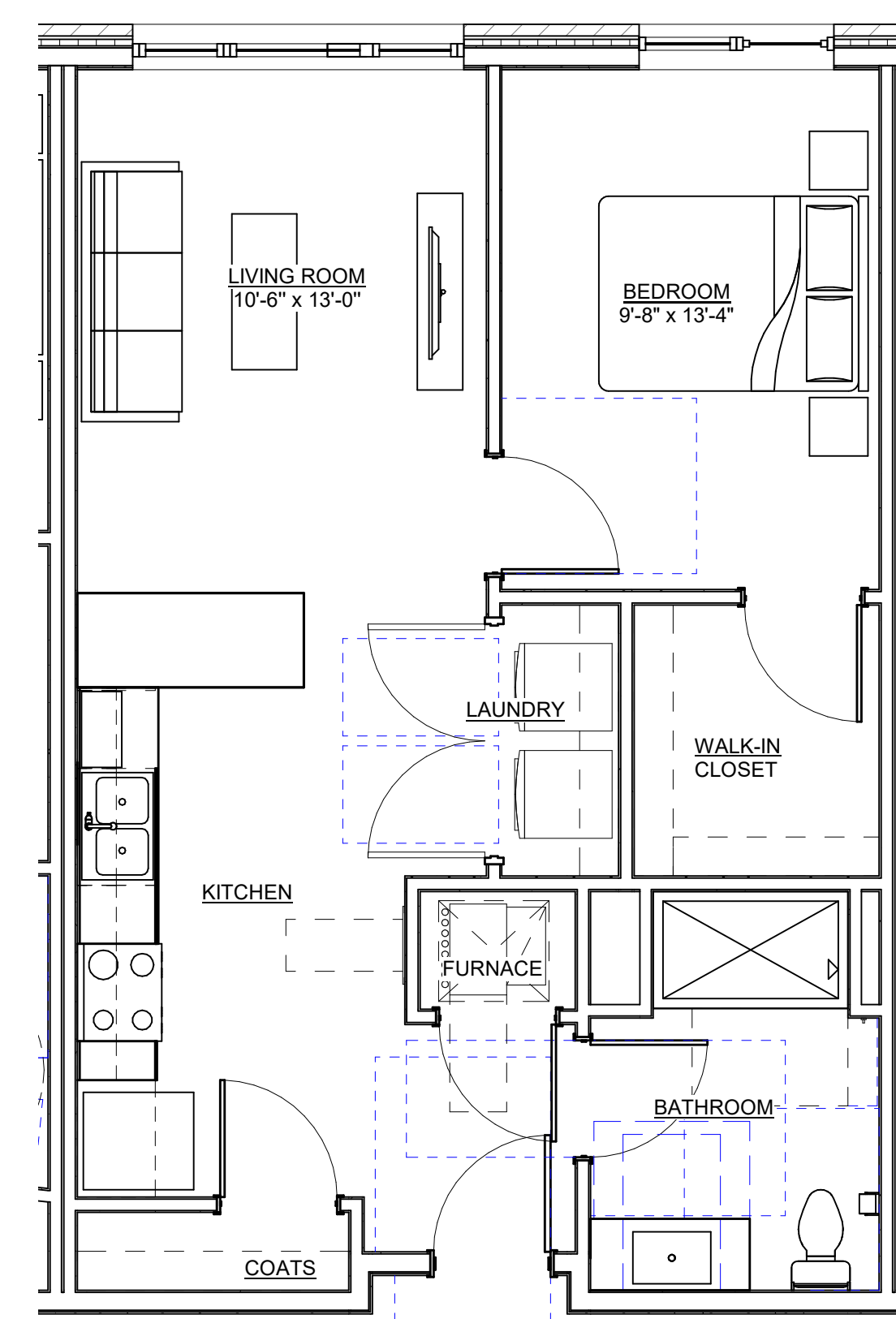
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**ENLARGED UNIT PLANS**

**A301**



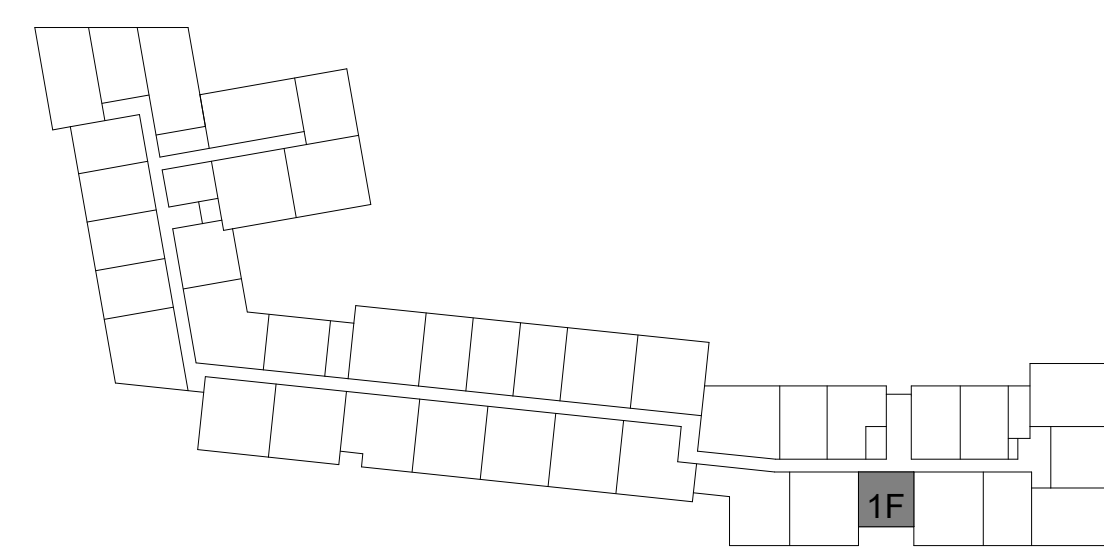
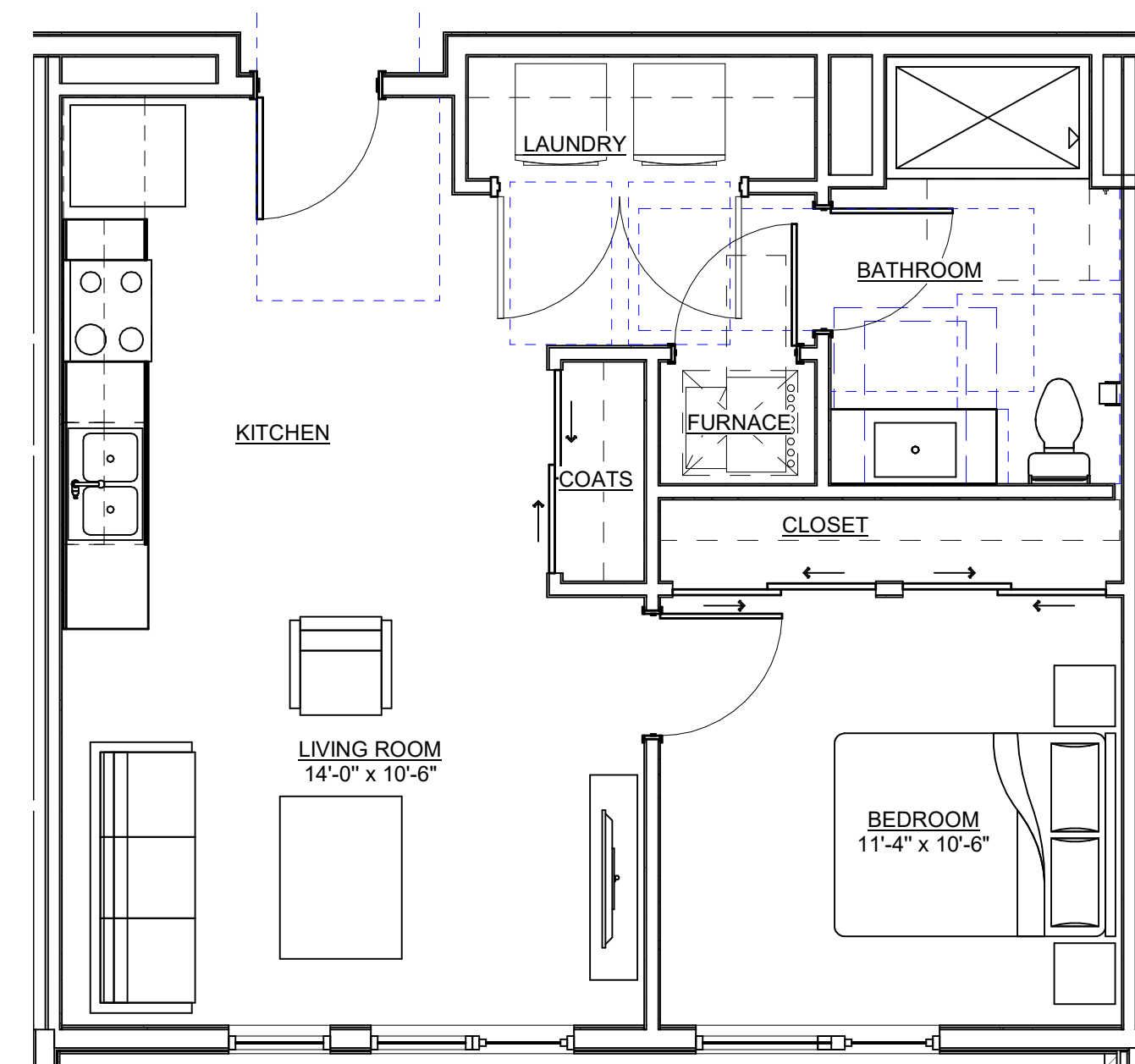
LEVEL 1-5  
Plan North



LEVEL 1-5  
LEVEL 2-5  
Plan North

1 UNIT 1D - WHEDA  
SCALE: 1/4" = 1'-0"

3 UNIT 1E  
SCALE: 1/4" = 1'-0"



LEVEL 2-5  
Plan North

2 UNIT 1F  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - UNIT PLANS**

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q22 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

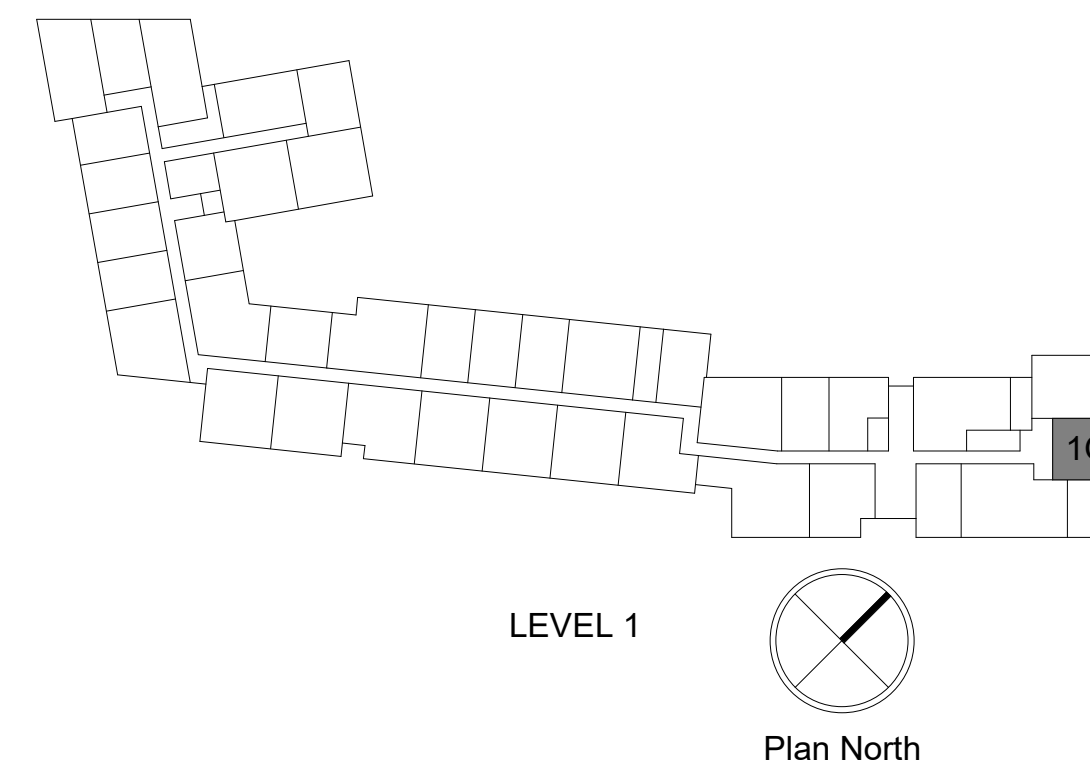
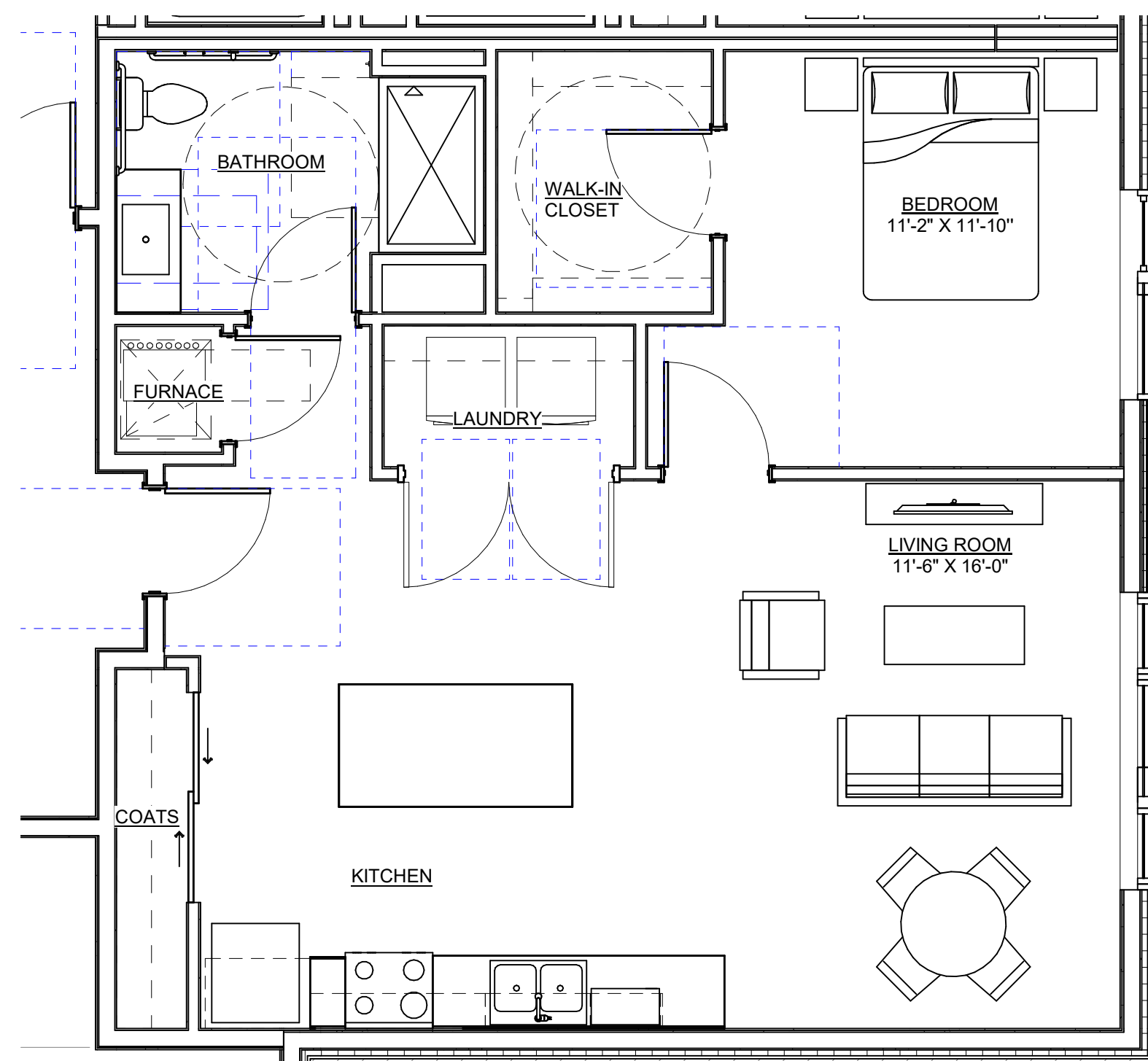
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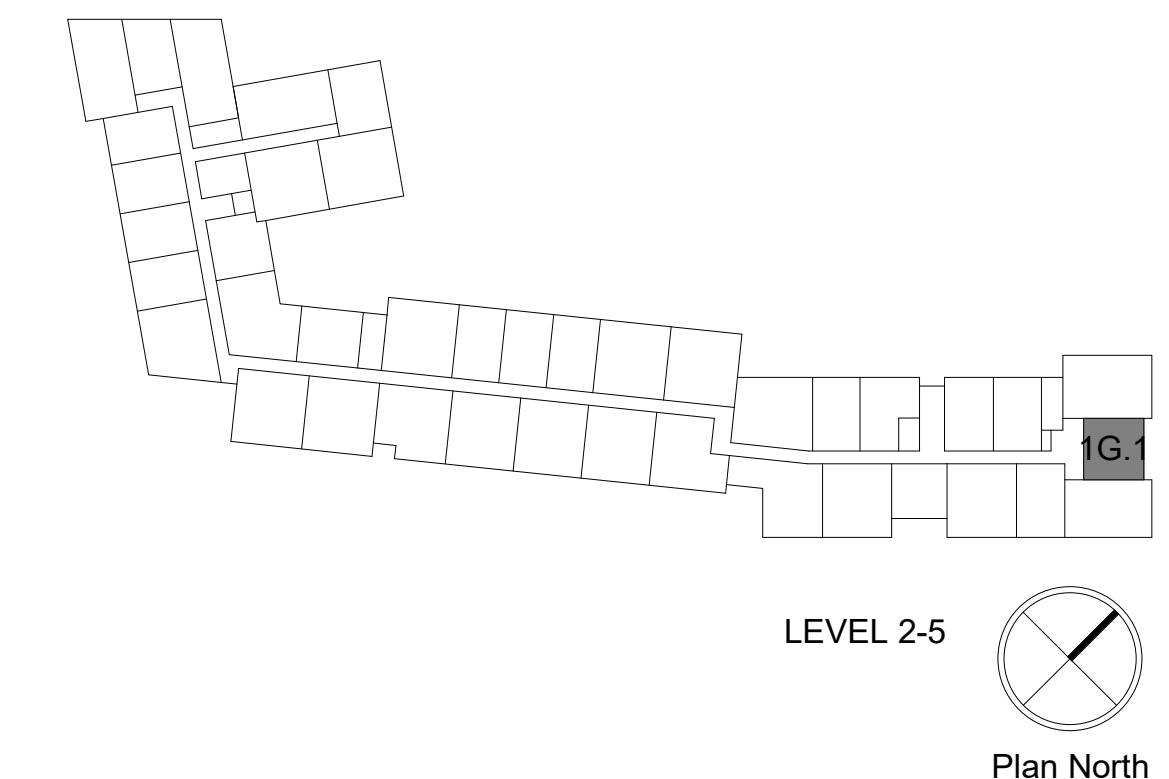
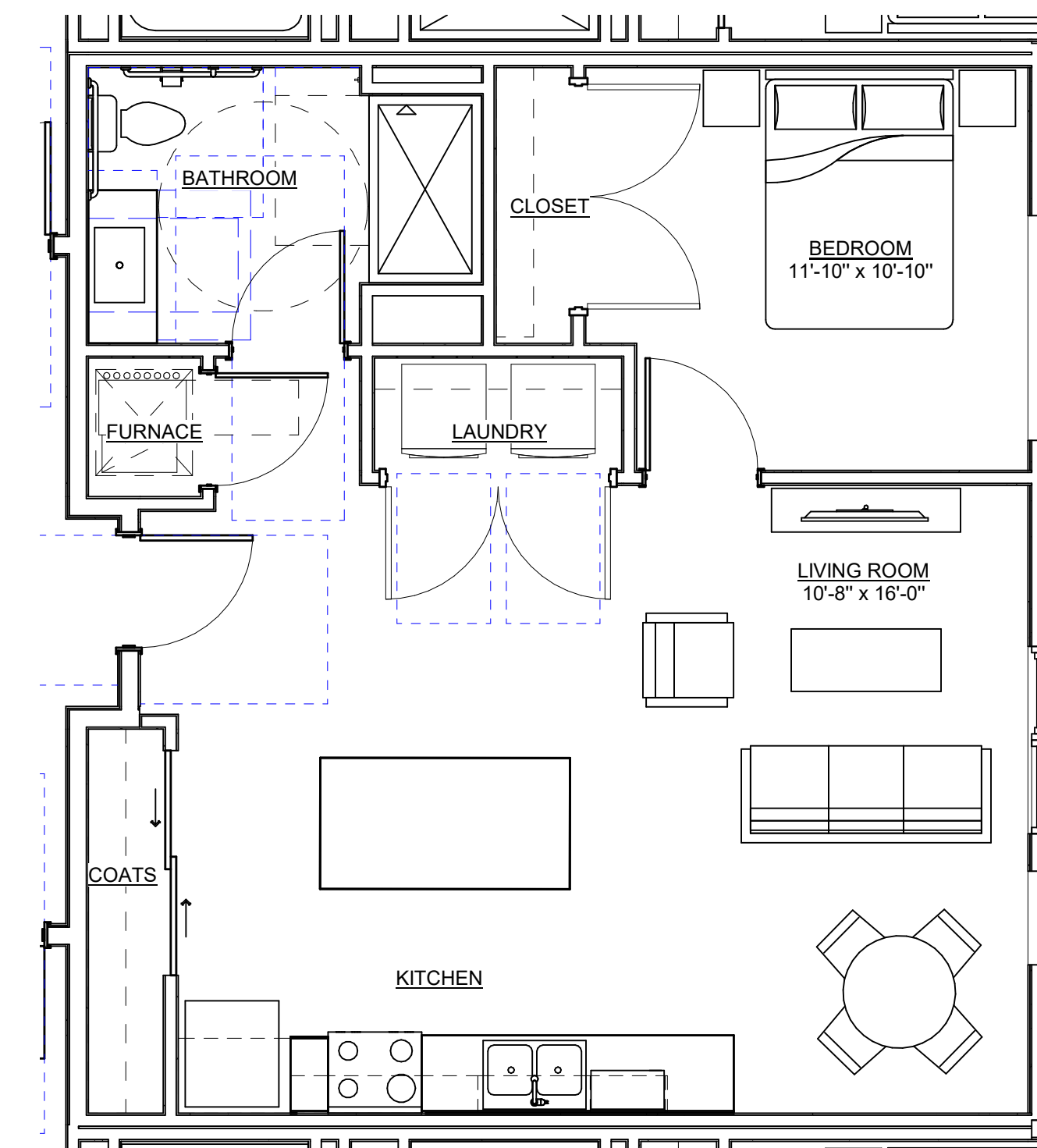
LAND USE APPLICATION 08/07/23

REVISION FOR:

NO.	DESCRIPTION	DATE



1 UNIT 1G - WHEDA  
SCALE: 1/4" = 1'-0"



2 UNIT 1G.1 - WHEDA/TYPE A  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - UNIT PLANS**

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATH/TUB
- SH-3: TYPE A ROLL-IN SHOWER

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**ENLARGED UNIT PLANS**

**A302**



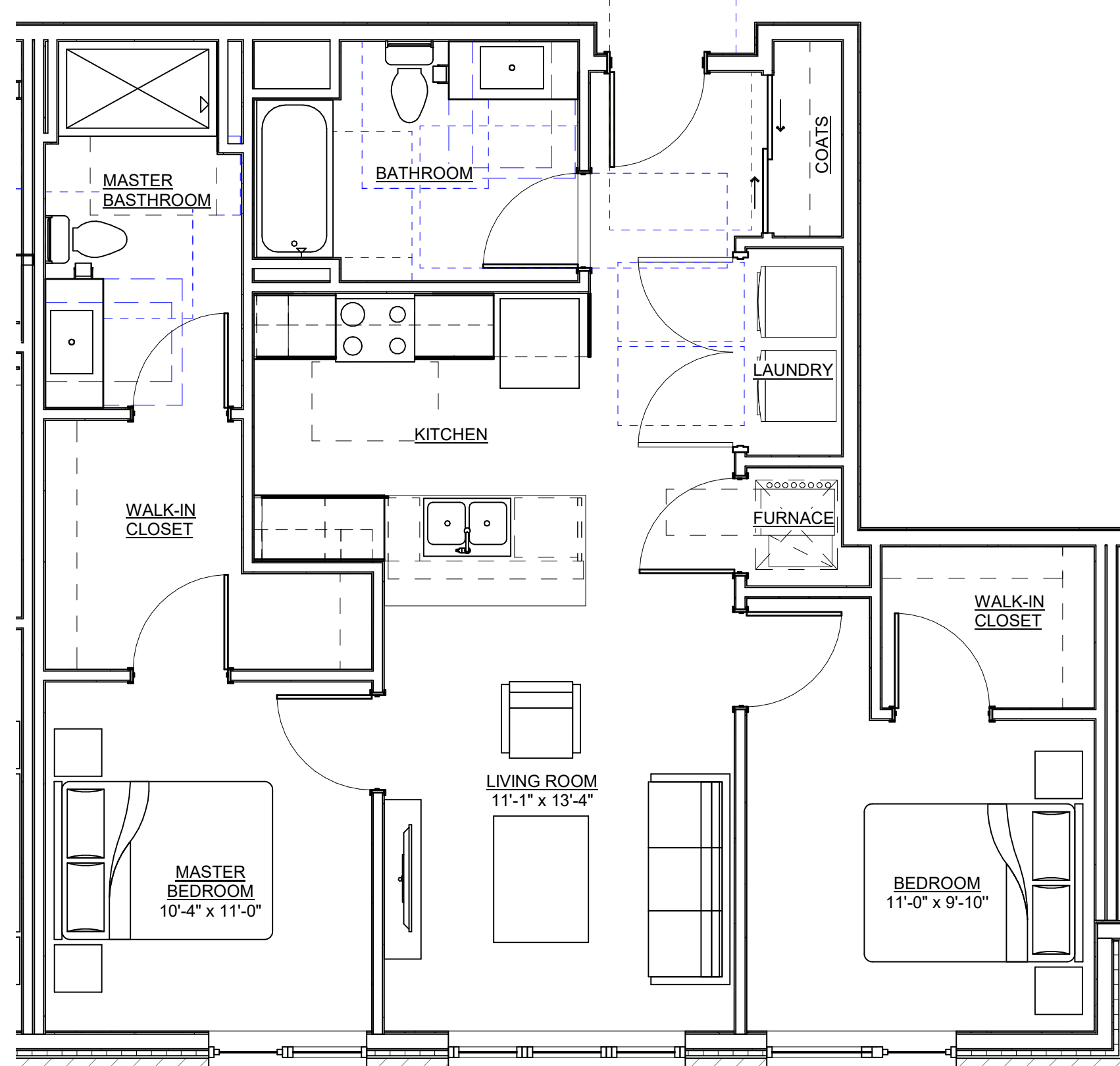
**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

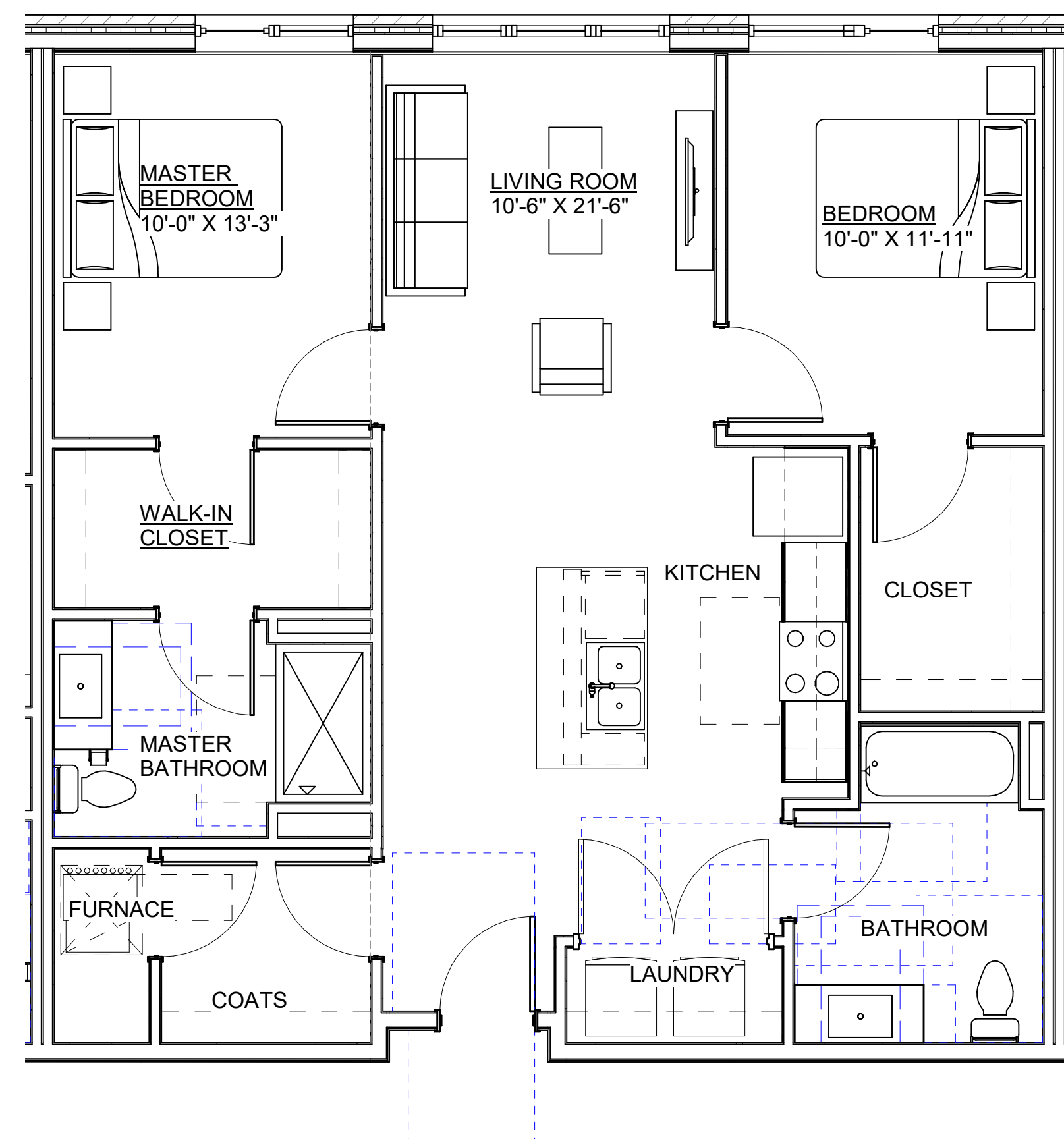
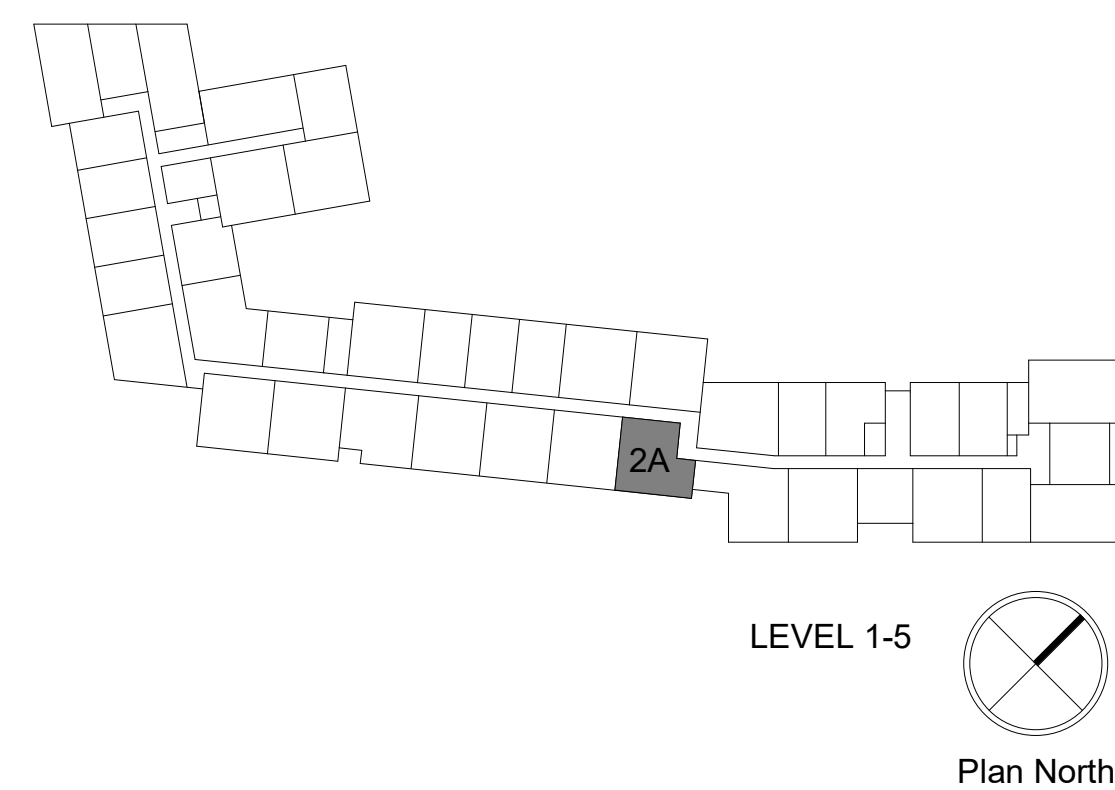
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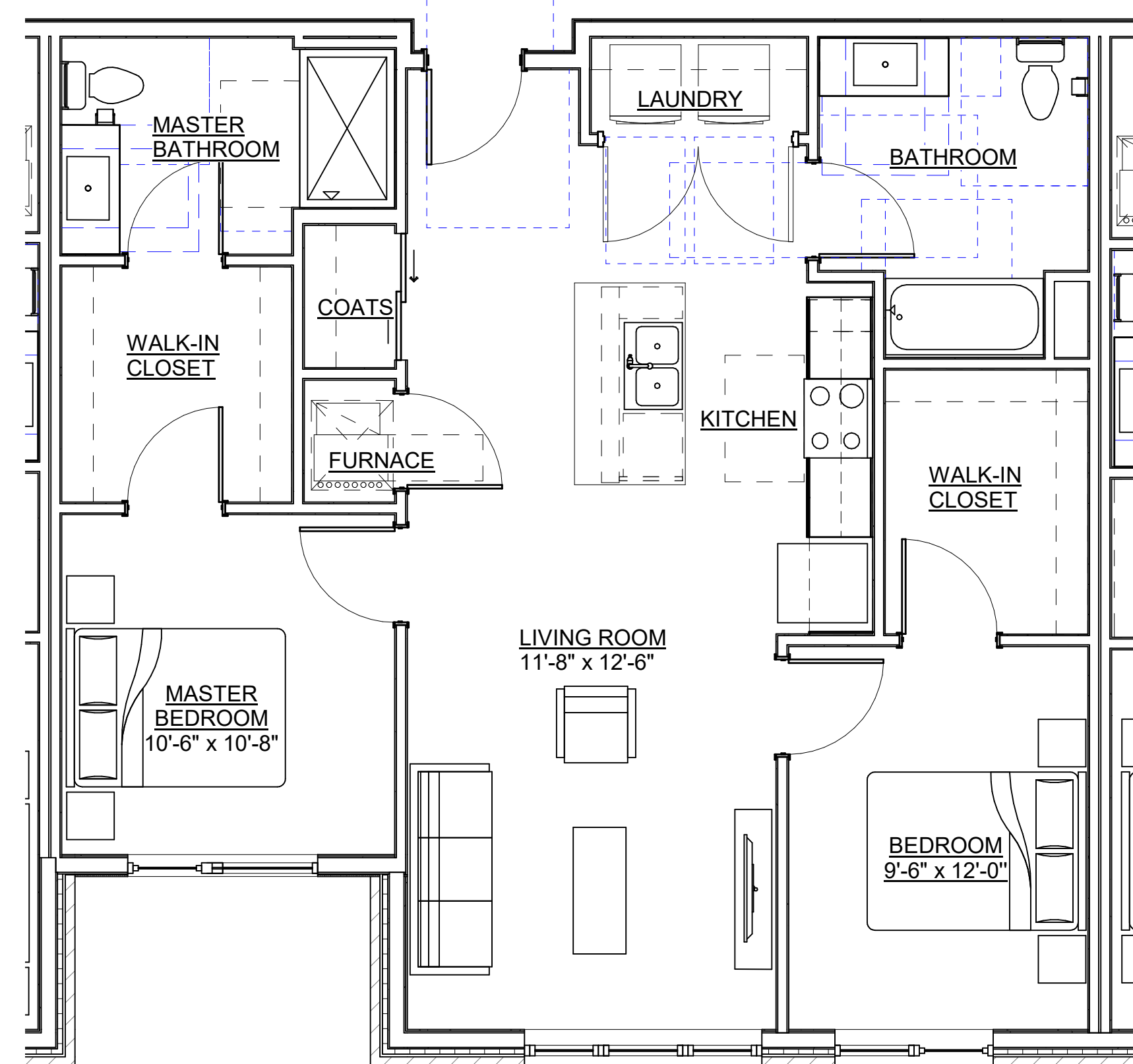
ISSUED FOR:		
LAND USE APPLICATION		08/07/23
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NO.	DESCRIPTION	DATE



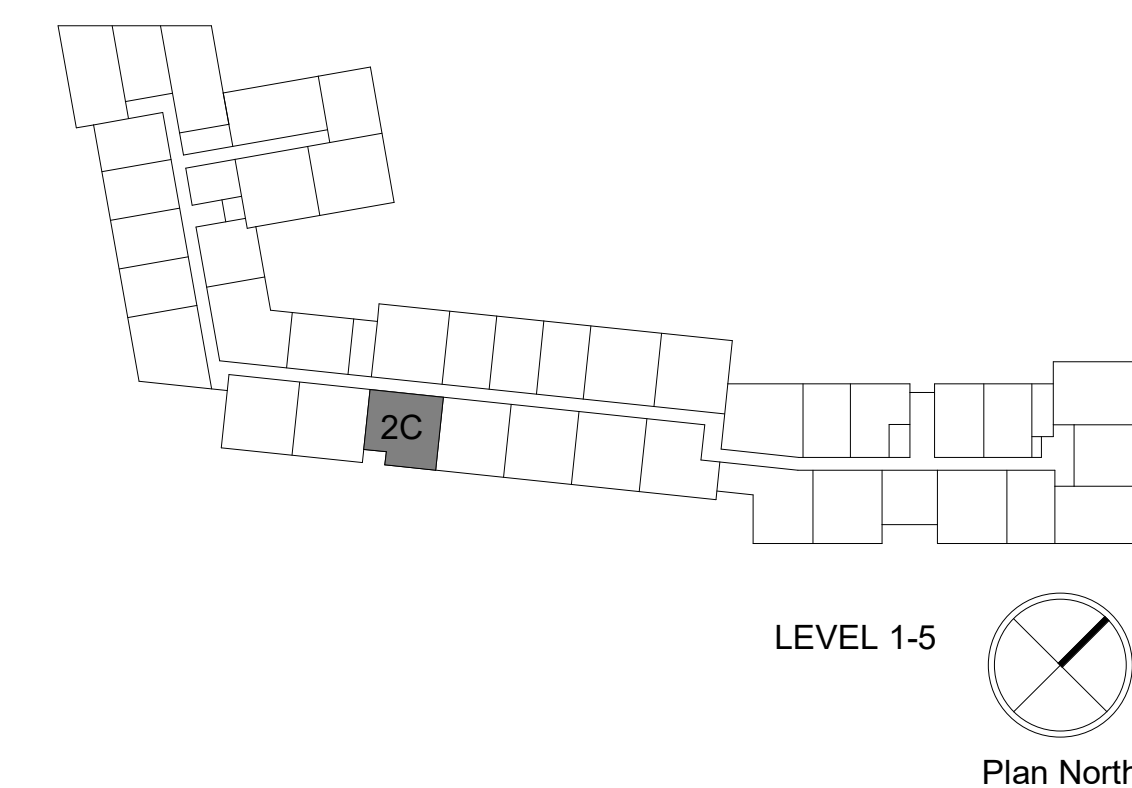
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2 UNIT 2B  
SCALE: 1/4" = 1'-0"



4 UNIT 2C - WHEDA  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES - UNIT PLANS**

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
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4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
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14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED. UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED. SEE SHEET A500.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY	Author
CHECKED BY	Checker

**ENLARGED UNIT PLANS**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

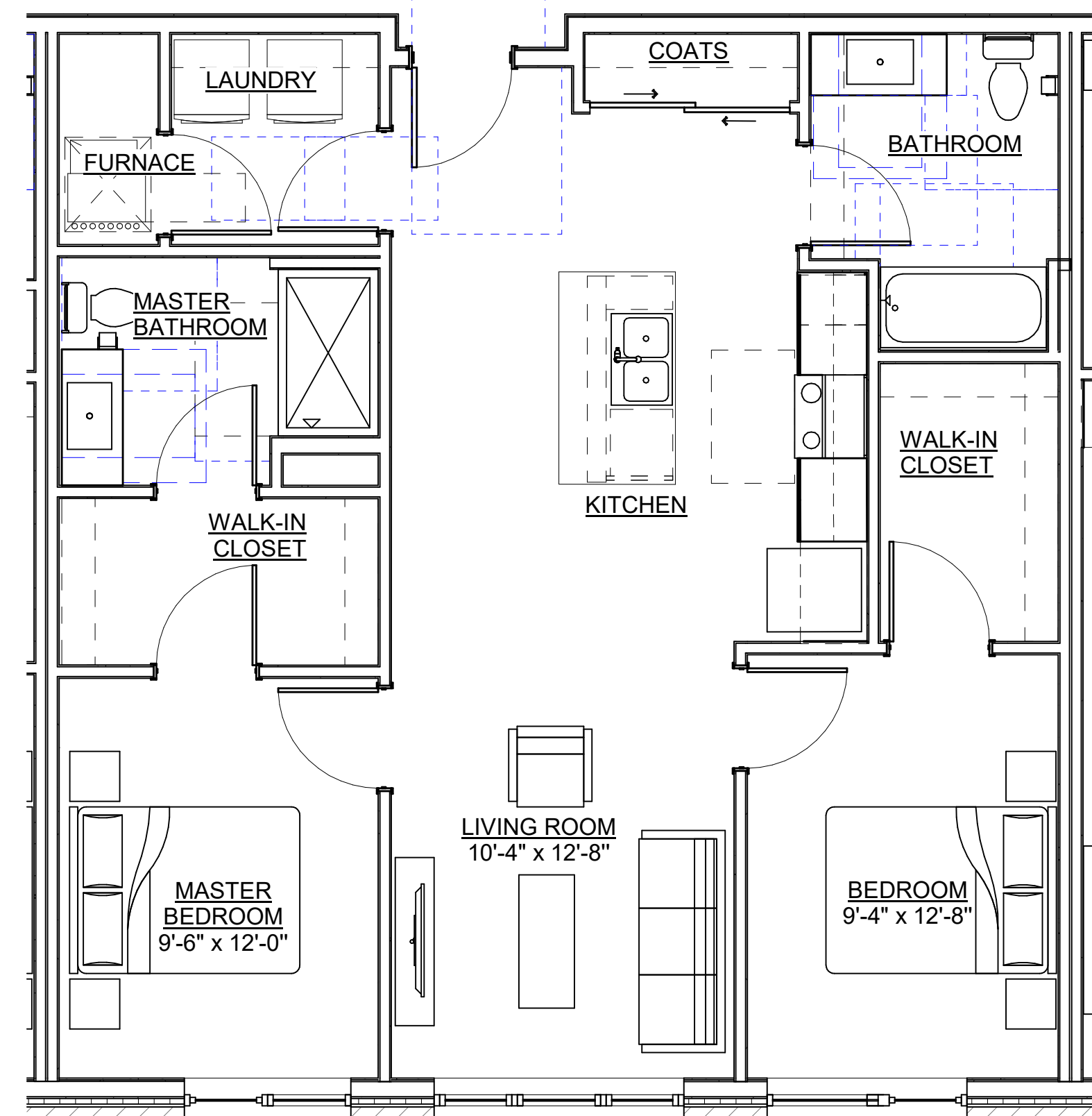
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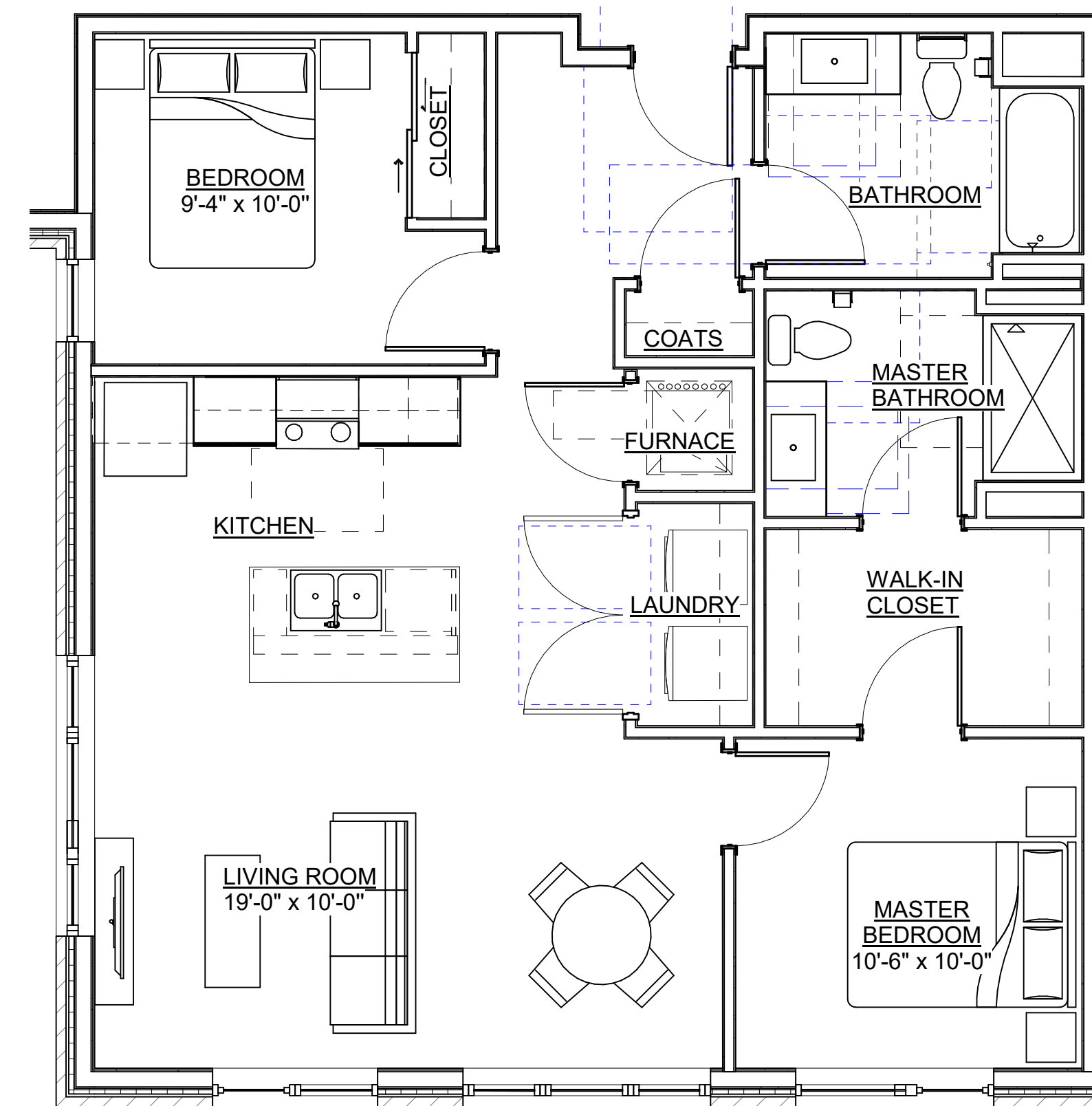
REVISION FOR:

NO.	DESCRIPTION	DATE



LEVEL 1-5  
\* LEVEL 2-5  
Plan North

1 UNIT 2D  
SCALE: 1/4" = 1'-0"



LEVEL 1-5  
\* LEVEL 2-5  
Plan North

2 UNIT 2E  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - UNIT PLANS**

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11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATH TUB
- SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY Author

CHECKED BY Checker

**ENLARGED UNIT PLANS**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

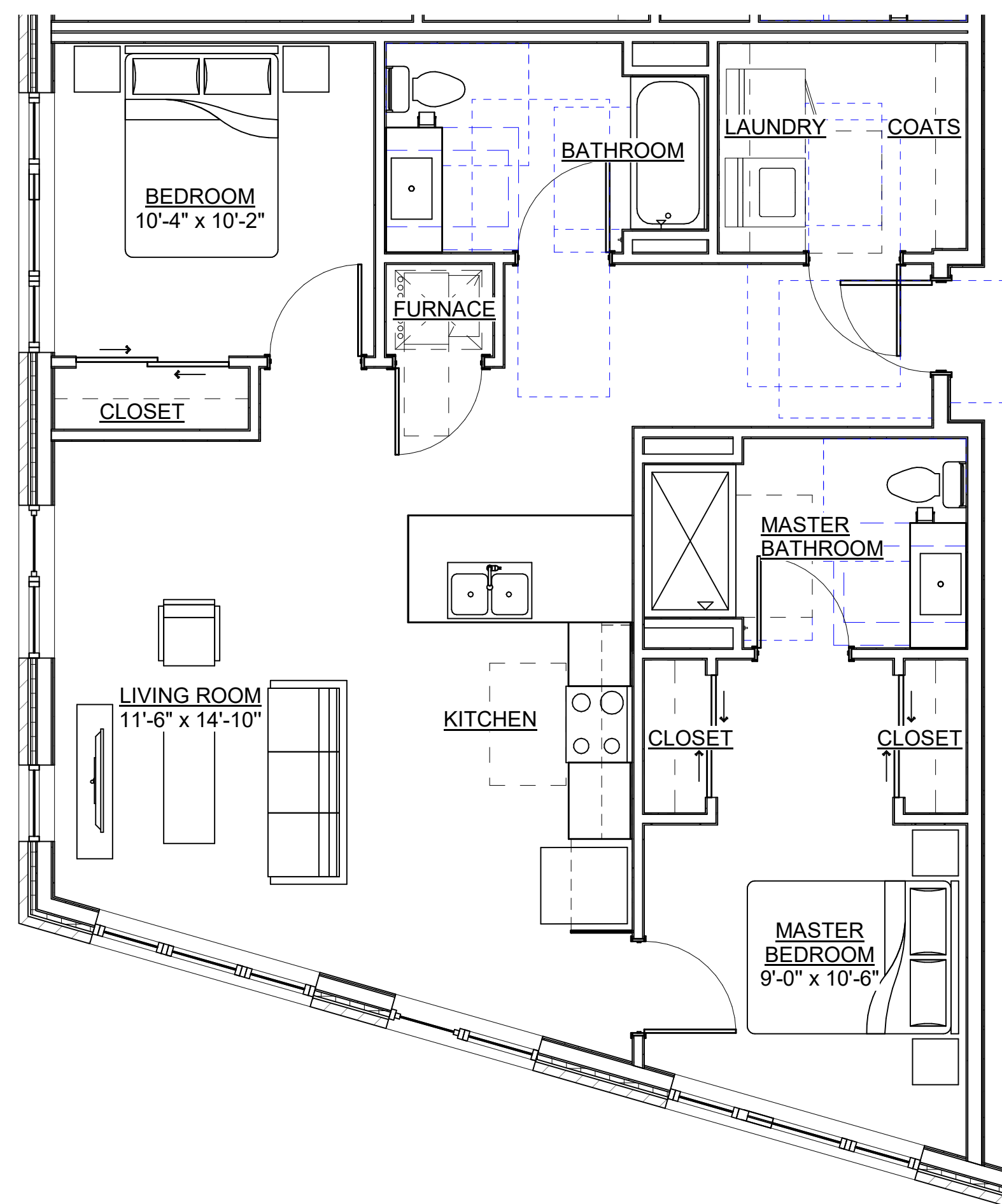
PROJECT NUMBER 233606.00

ISSUED FOR:

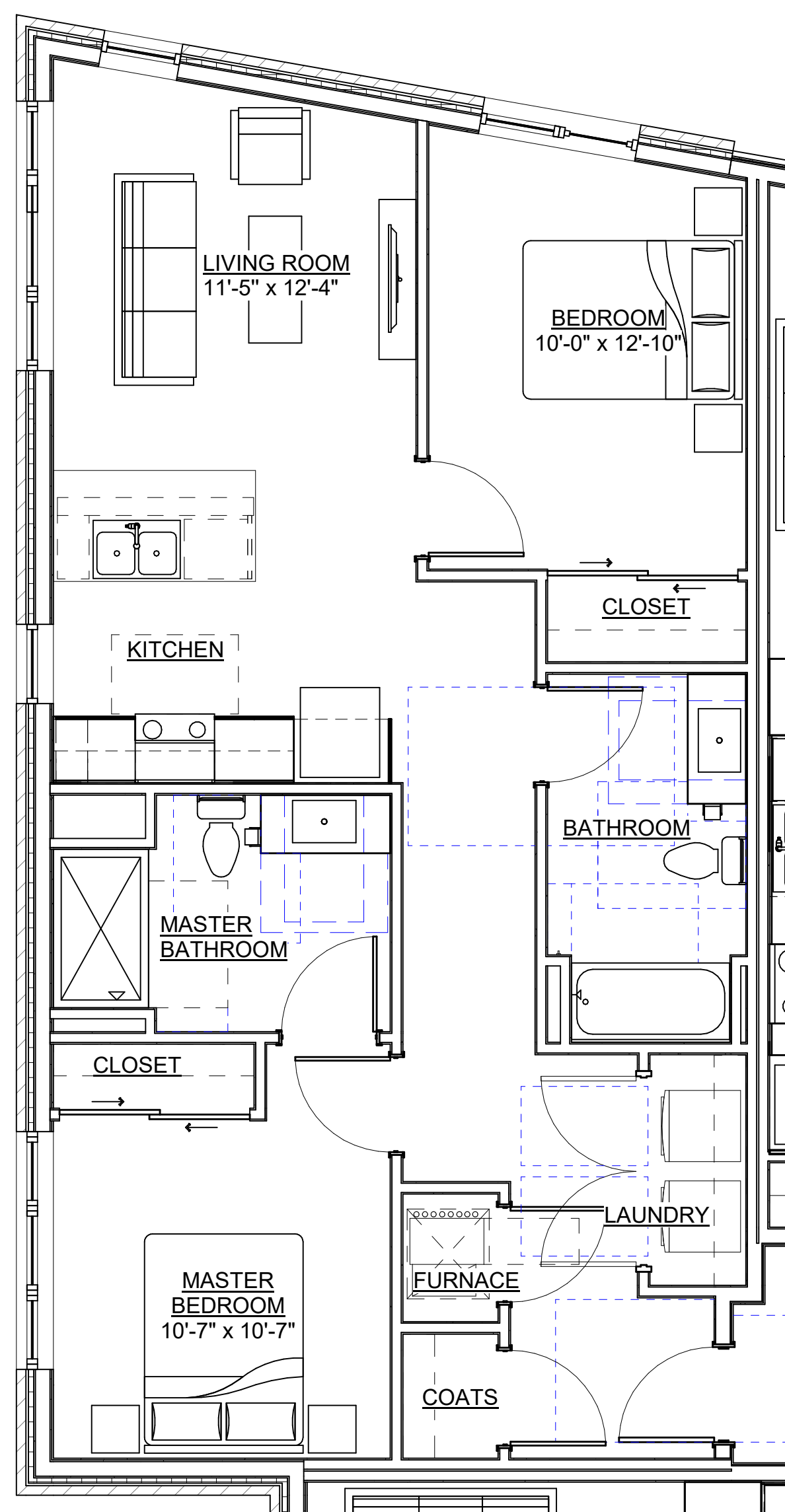
LAND USE APPLICATION 08/07/23

REVISION FOR:

NO.	DESCRIPTION	DATE



4 UNIT 2F  
SCALE: 1/4" = 1'-0"



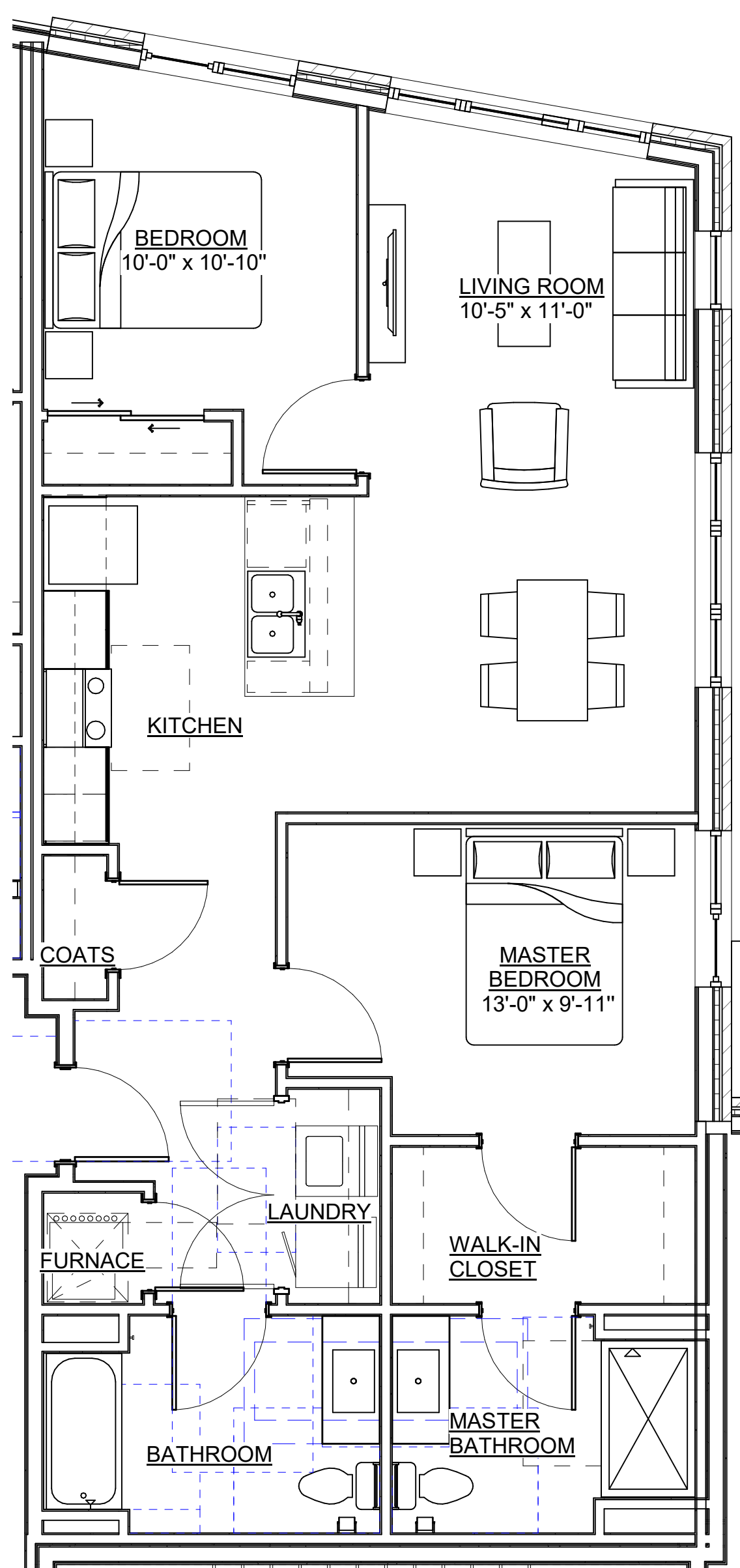
3 UNIT 2G  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - UNIT PLANS**

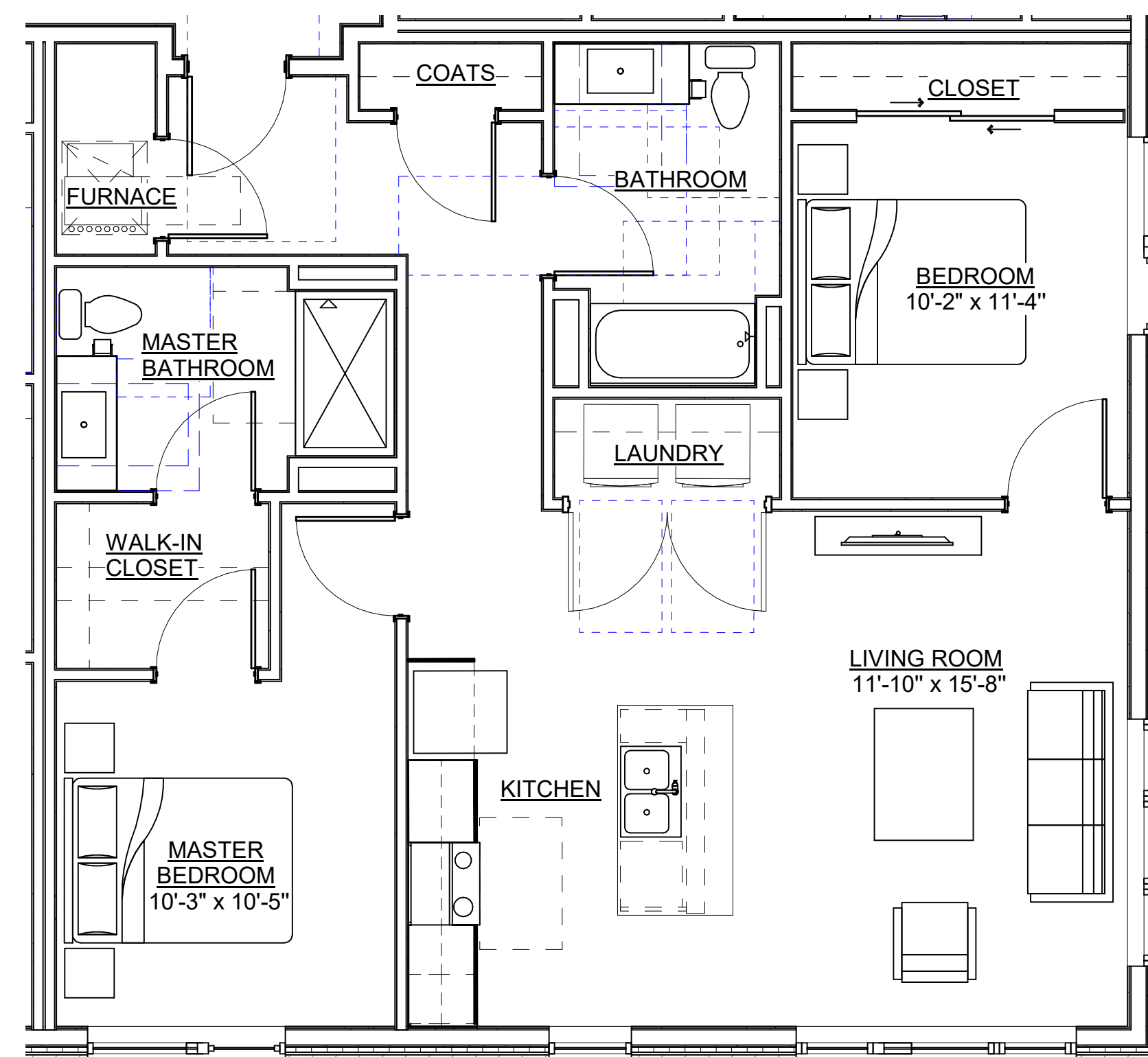
1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER



2 UNIT 2H  
SCALE: 1/4" = 1'-0"



1 UNIT 2J  
SCALE: 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

**ENLARGED UNIT PLANS**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

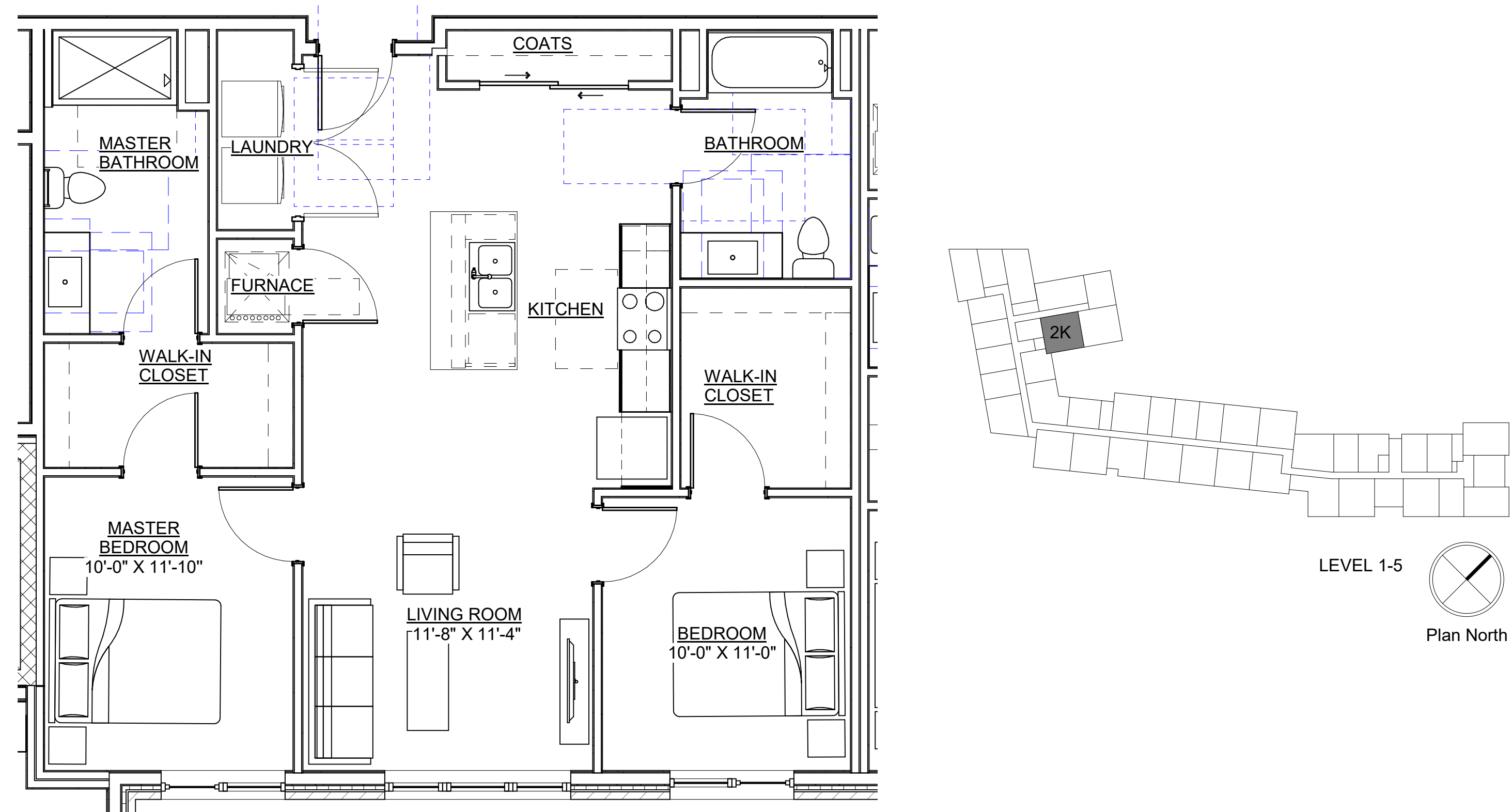
PROJECT NUMBER 233606.00

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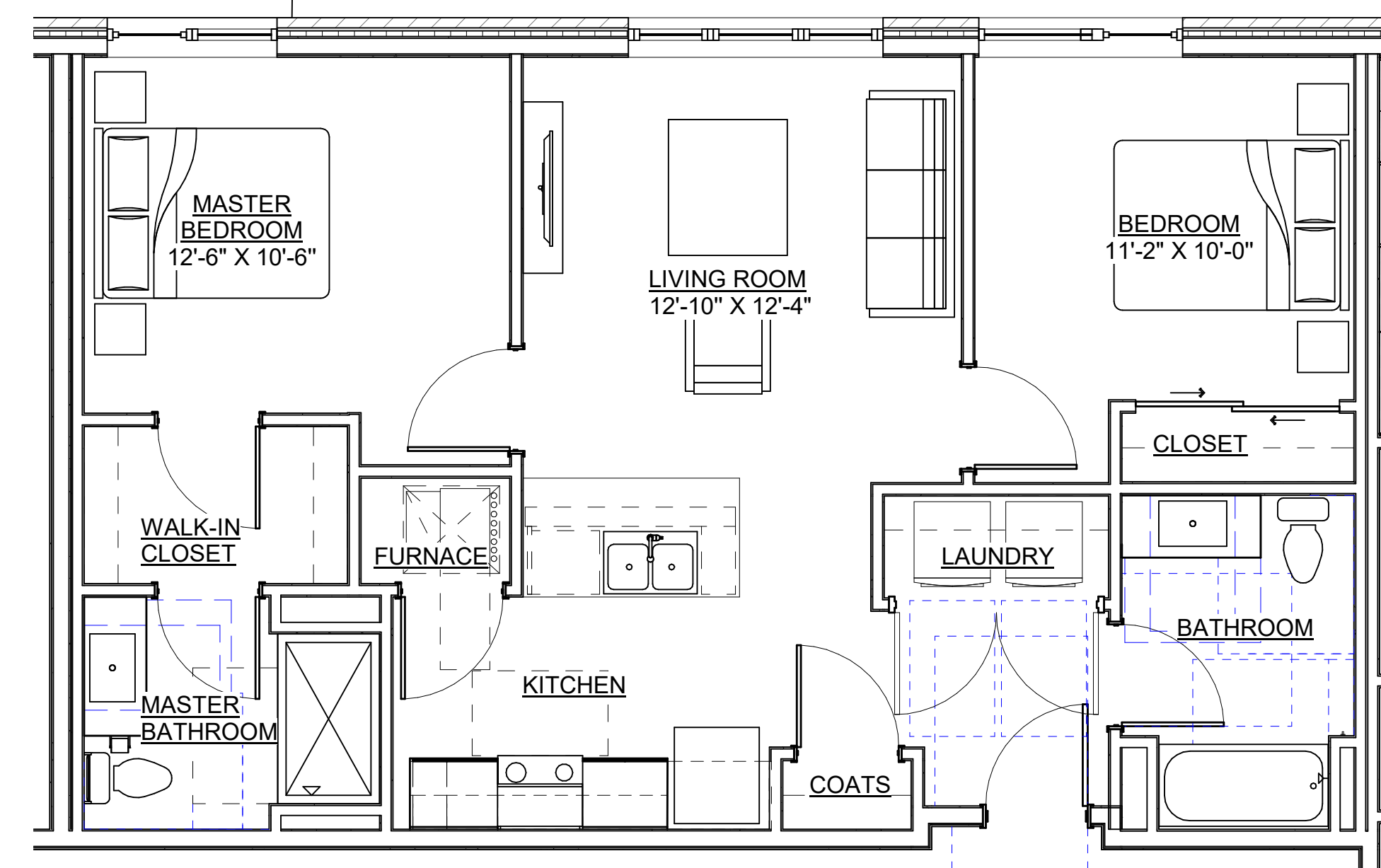
LAND USE APPLICATION 08/07/23

REVISION FOR:

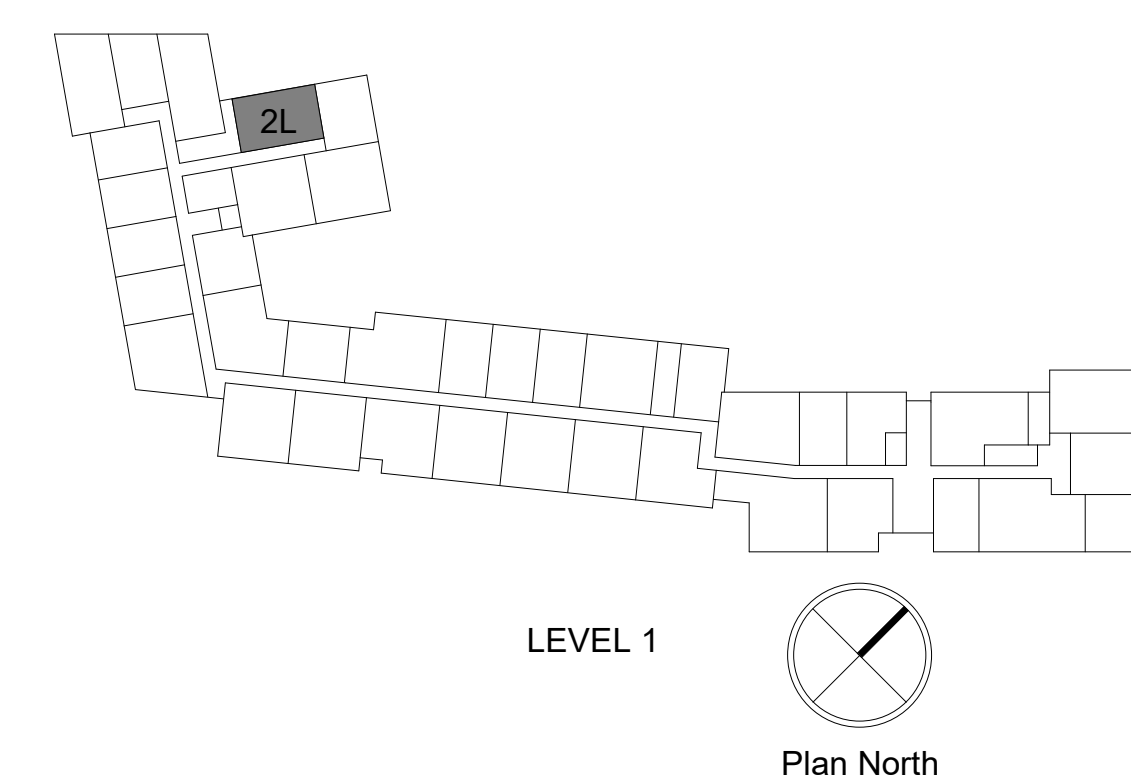
NO.	DESCRIPTION	DATE



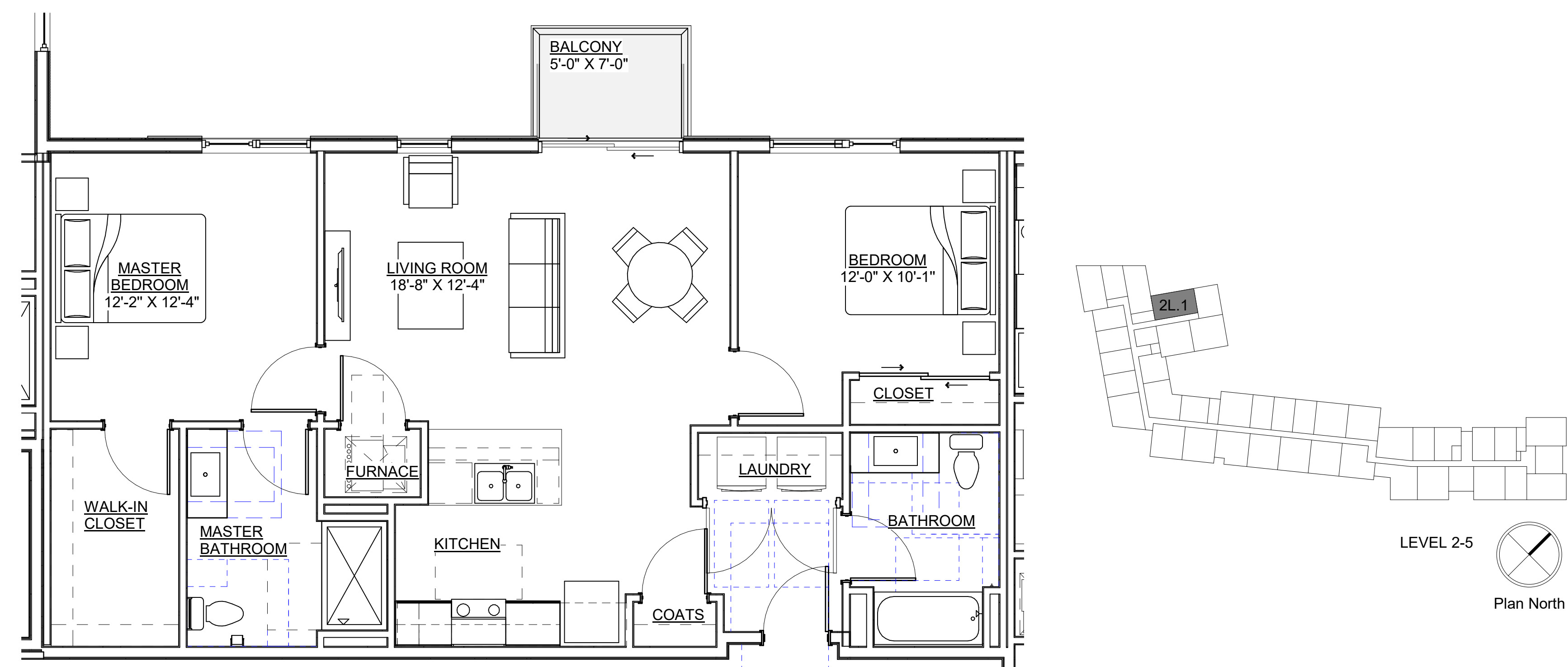
1 UNIT 2K - WHEDA  
SCALE: 1/4" = 1'-0"



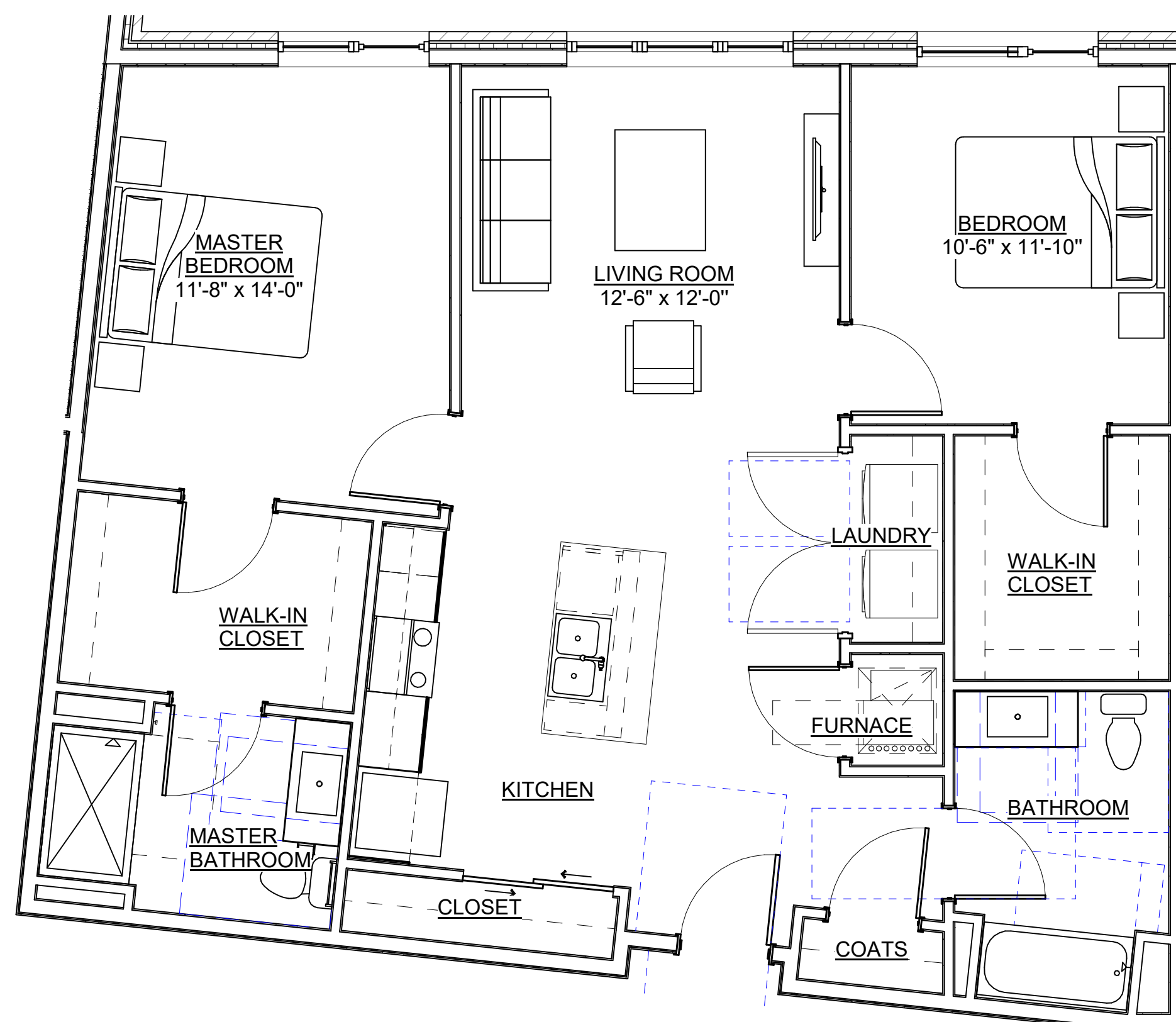
2 UNIT 2L  
SCALE: 1/4" = 1'-0"



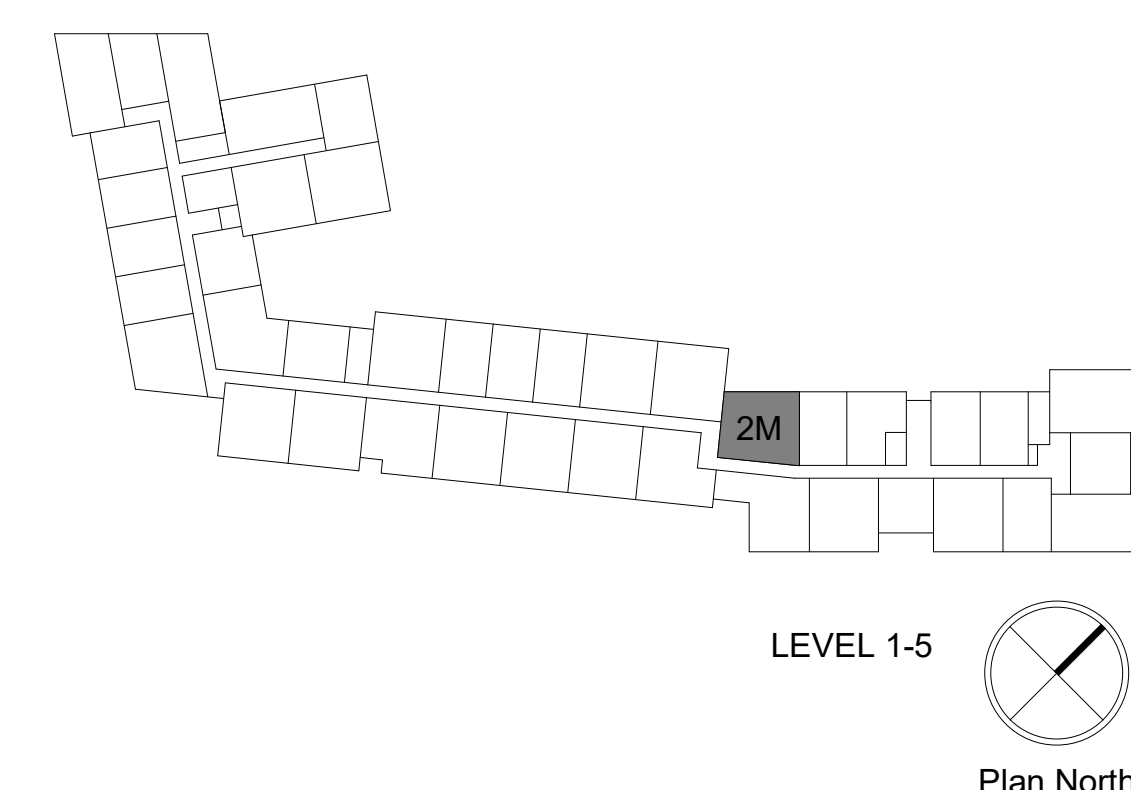
LEVEL 1  
Plan North



3 UNIT 2L.1 - WHEDA  
SCALE: 1/4" = 1'-0"



4 UNIT 2M - WHEDA/TYPE A  
SCALE: 1/4" = 1'-0"



LEVEL 1-5  
Plan North

**GENERAL NOTES - UNIT PLANS**

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
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4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
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13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
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21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

**KEY NOTES - UNIT PLANS**

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY Author

CHECKED BY Checker

**ENLARGED UNIT PLANS**

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

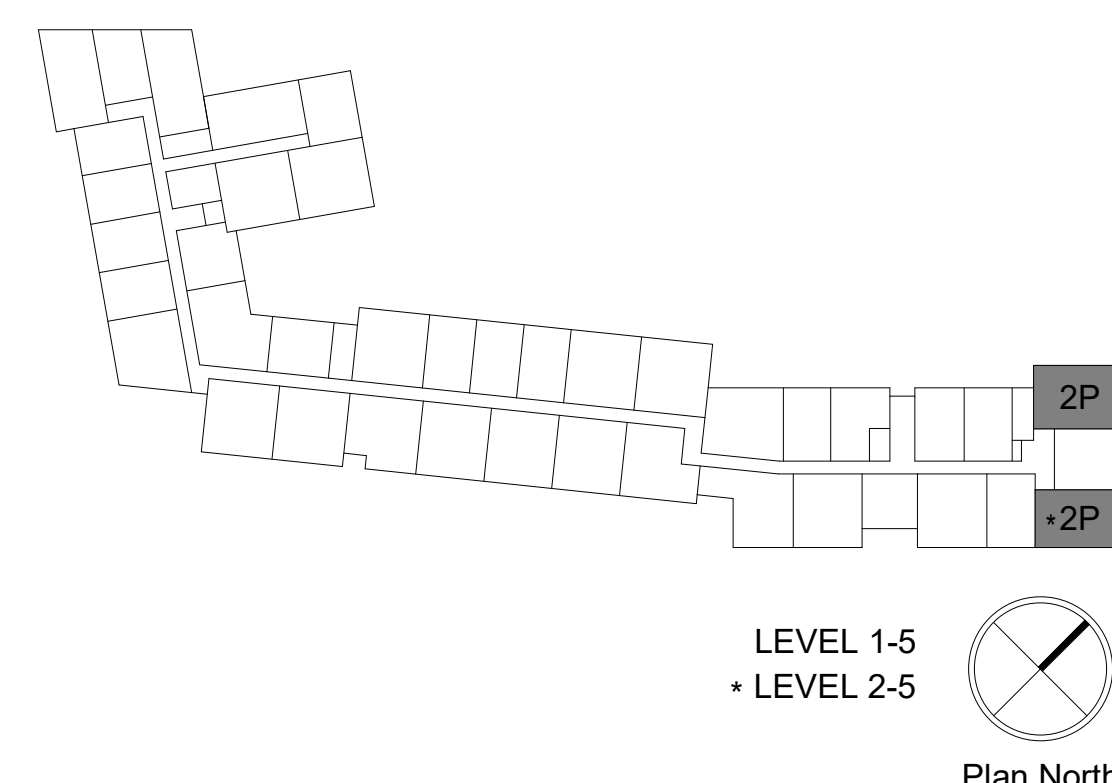
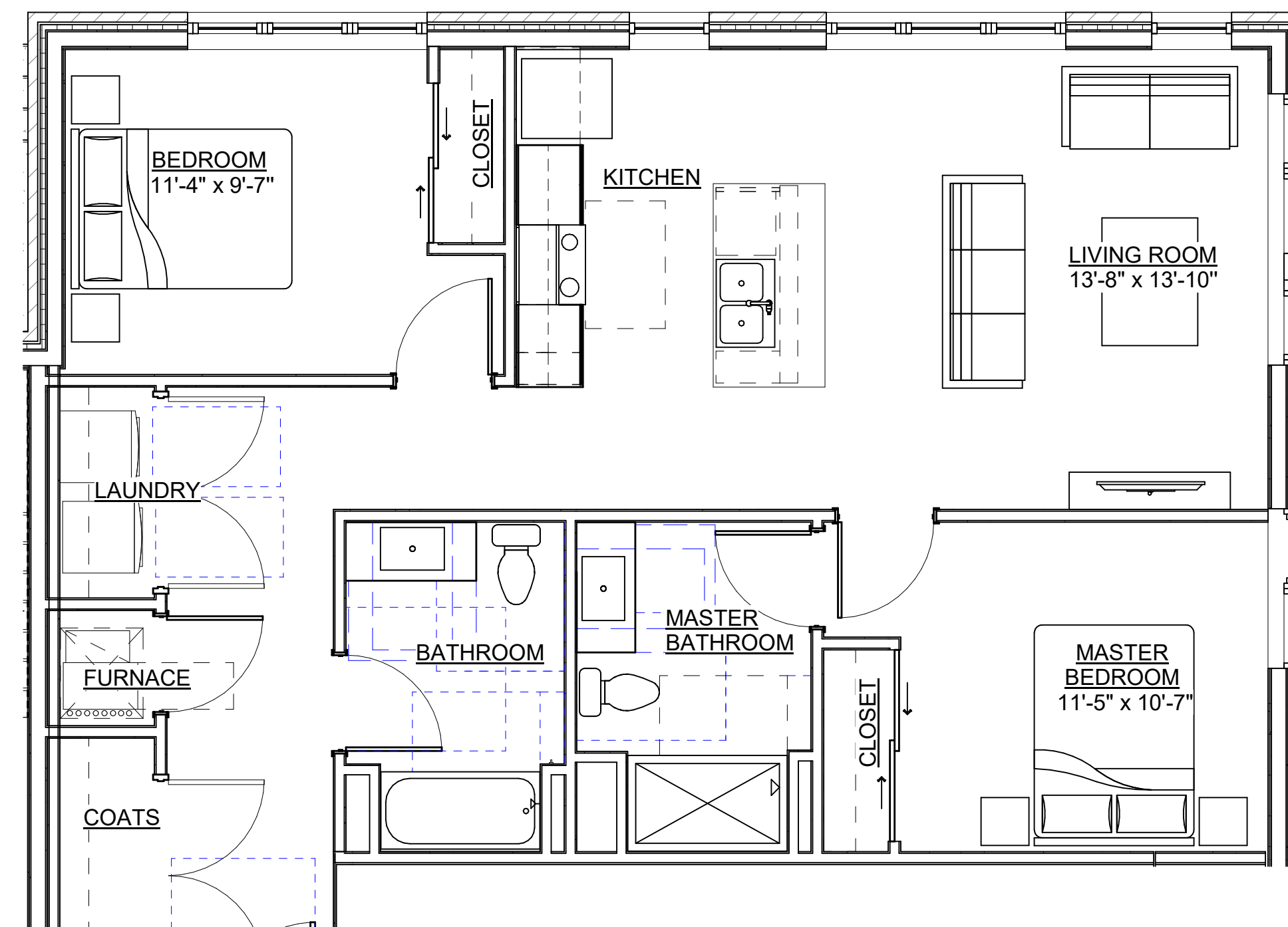
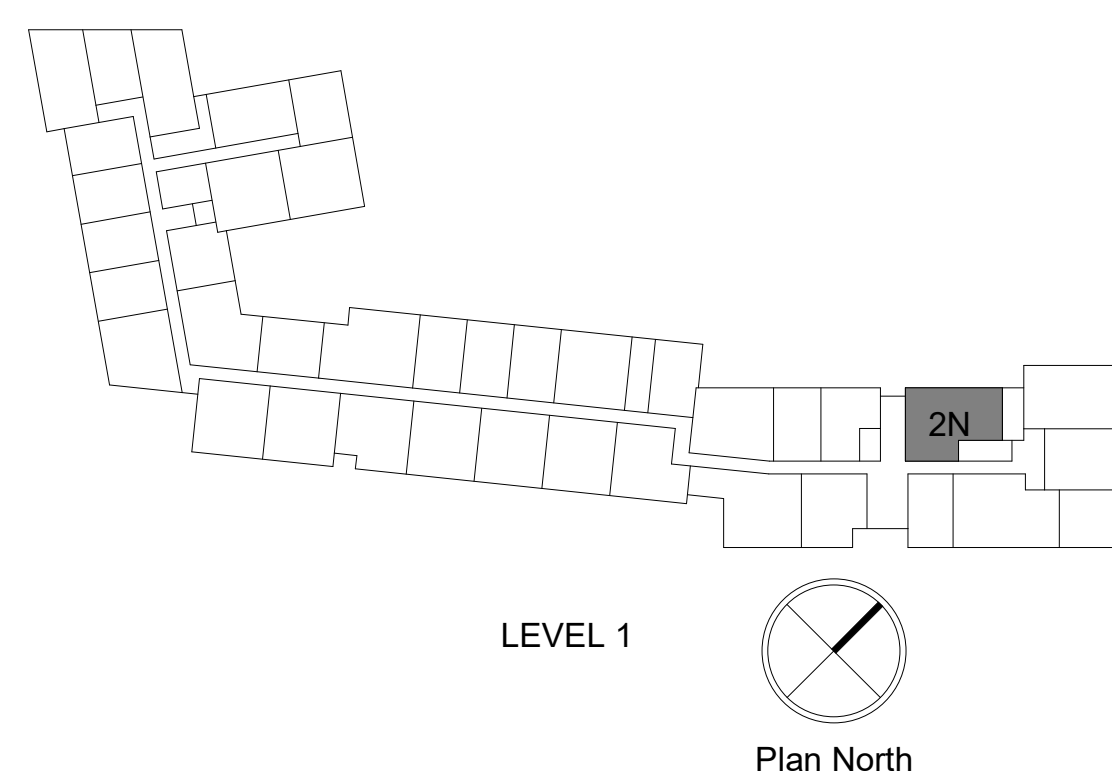
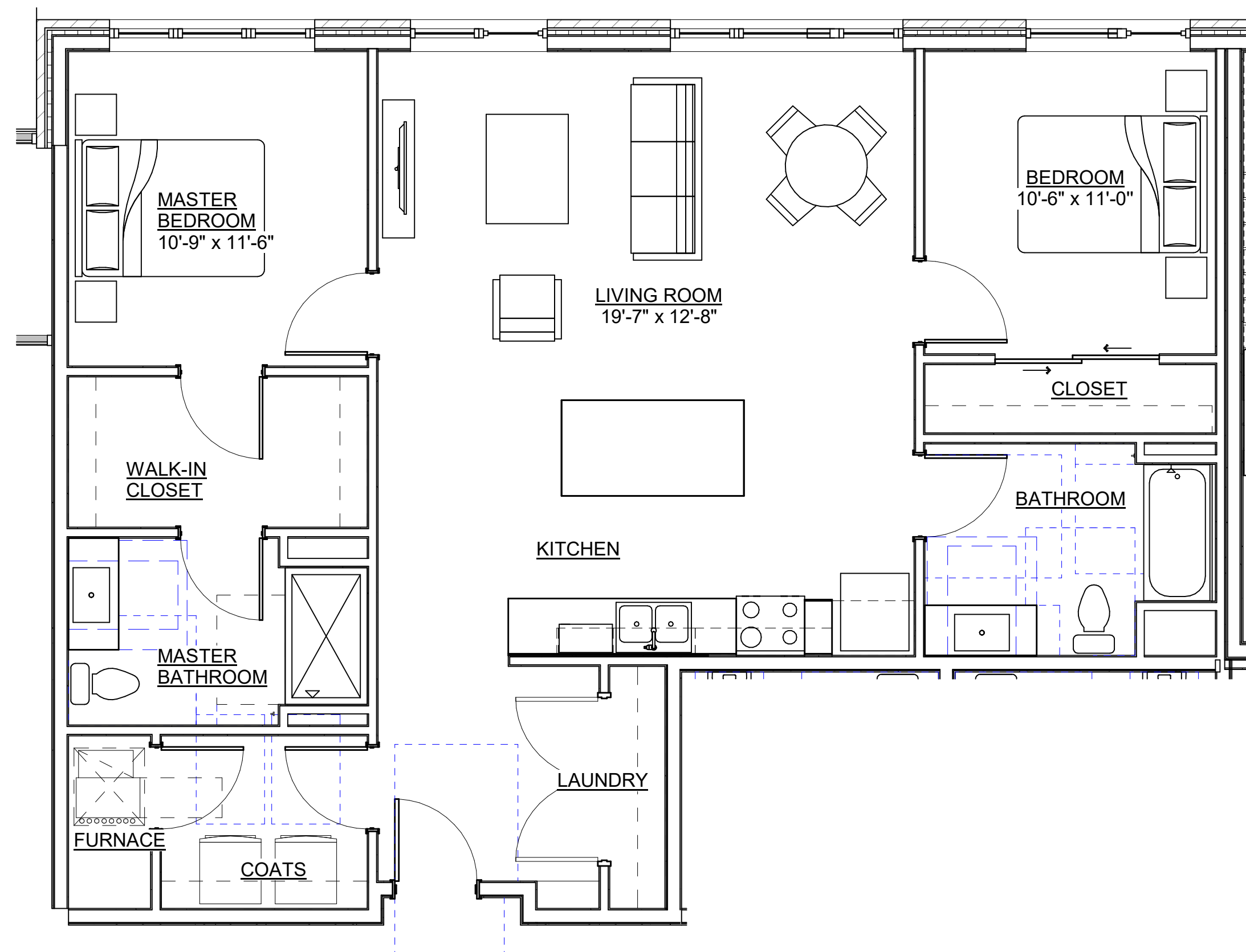
NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ Author

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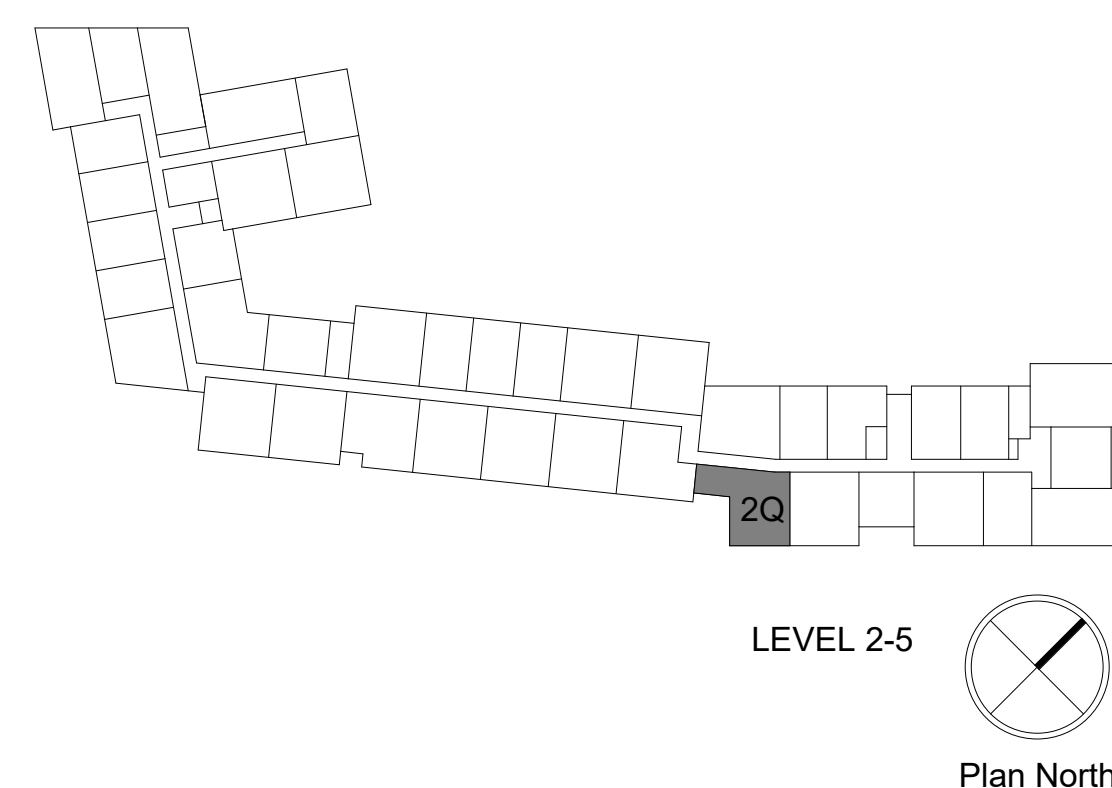
**ENLARGED UNIT PLANS**

**A307**



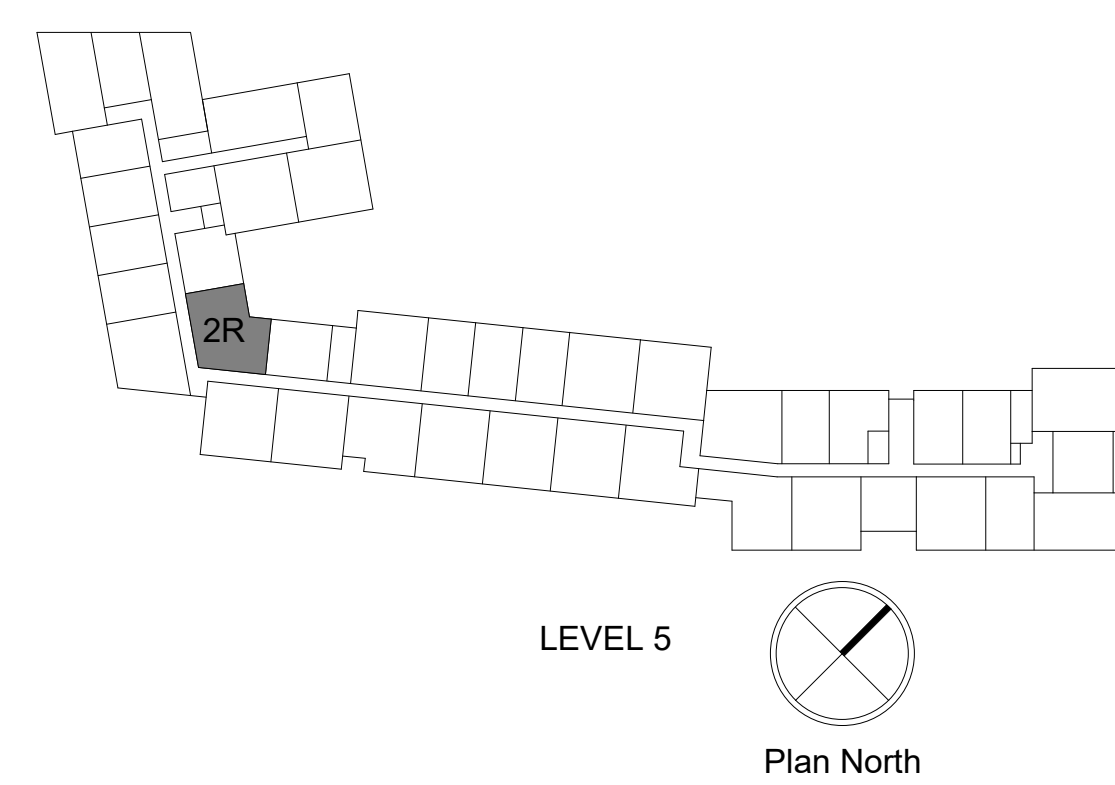
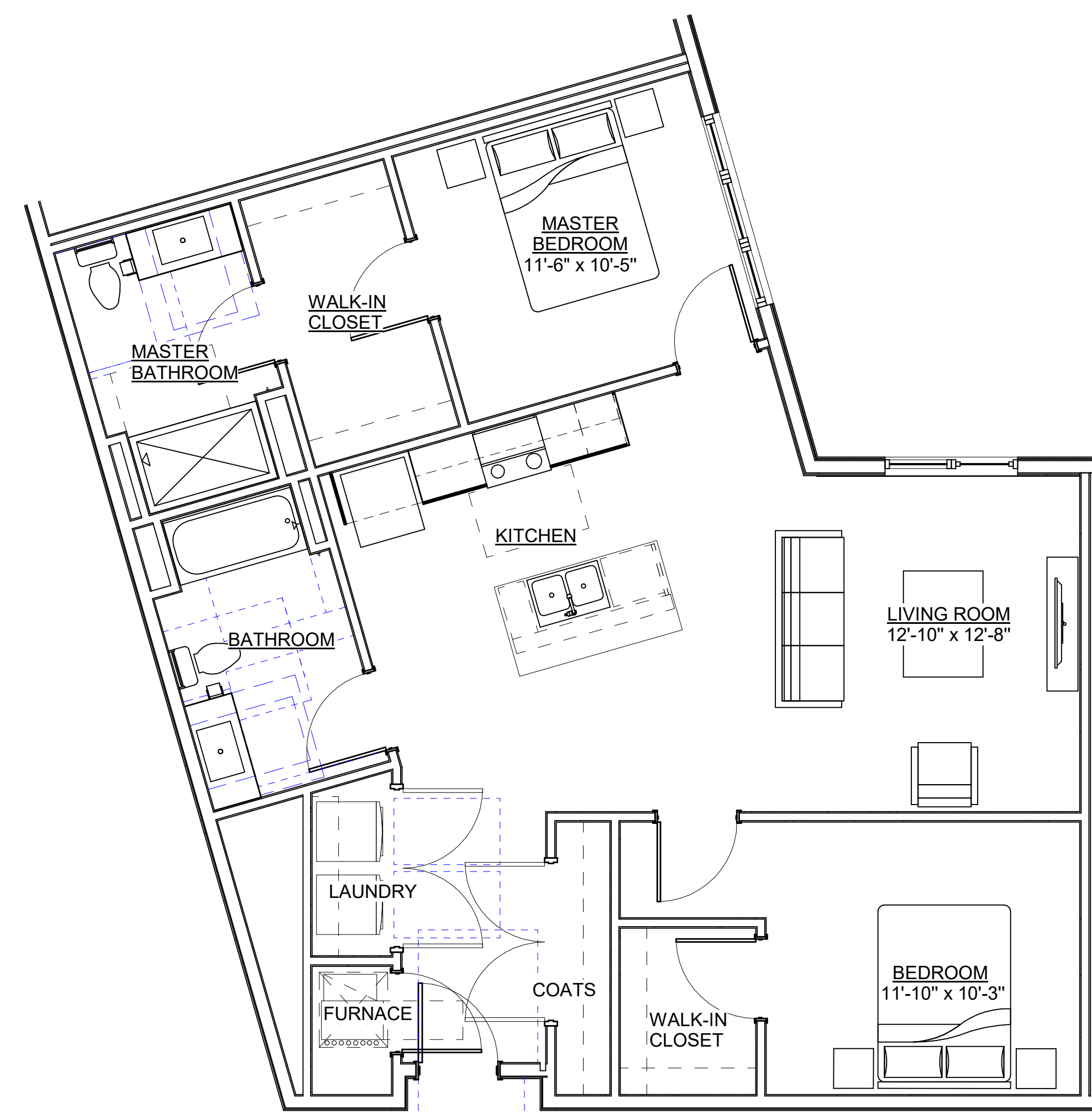
2 UNIT 2N  
SCALE: 1/4" = 1'-0"

3 UNIT 2P  
SCALE: 1/4" = 1'-0"



1 UNIT 2Q  
SCALE: 1/4" = 1'-0"

4 UNIT 2R  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES - UNIT PLANS**

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
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7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
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12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETS.
16. REFER TO SHEETS G304 & G305 FOR ADDITIONAL WHEELCHAIR REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
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20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
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**KEY NOTES - UNIT PLANS**

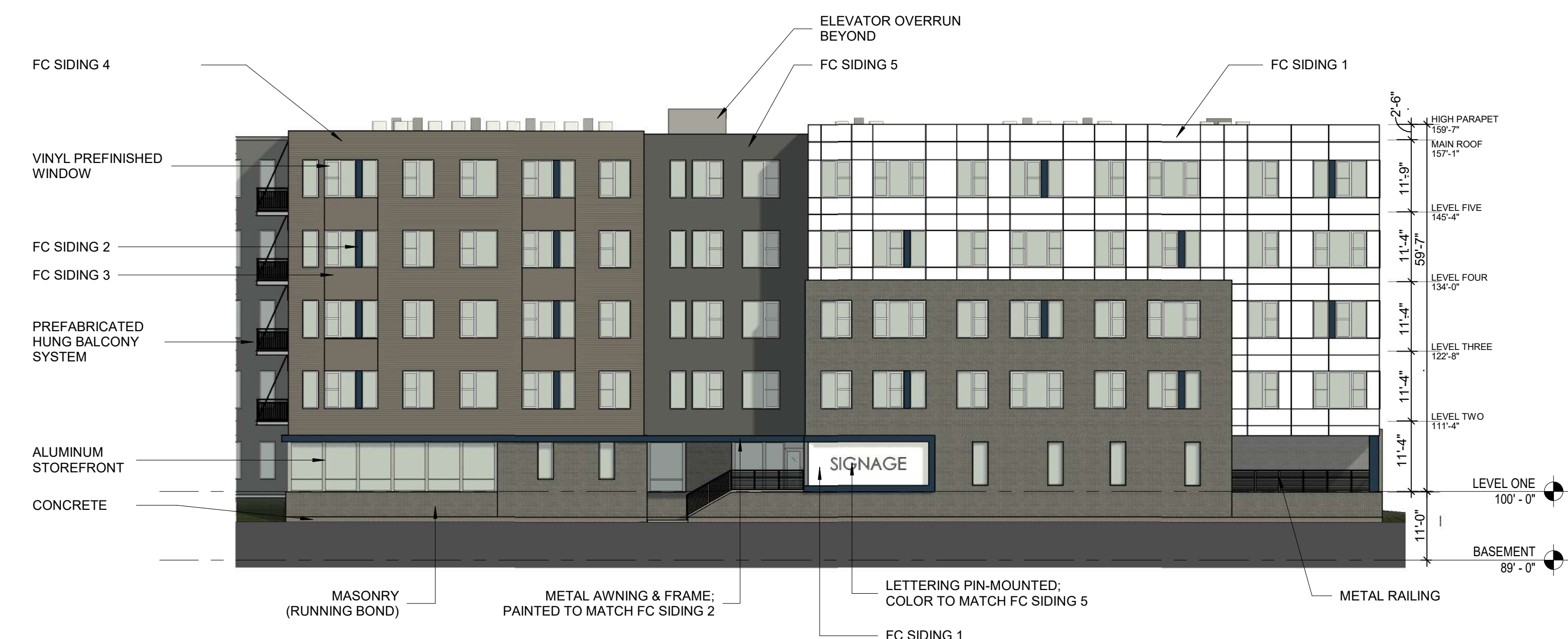
- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

**MATERIAL LEGEND**

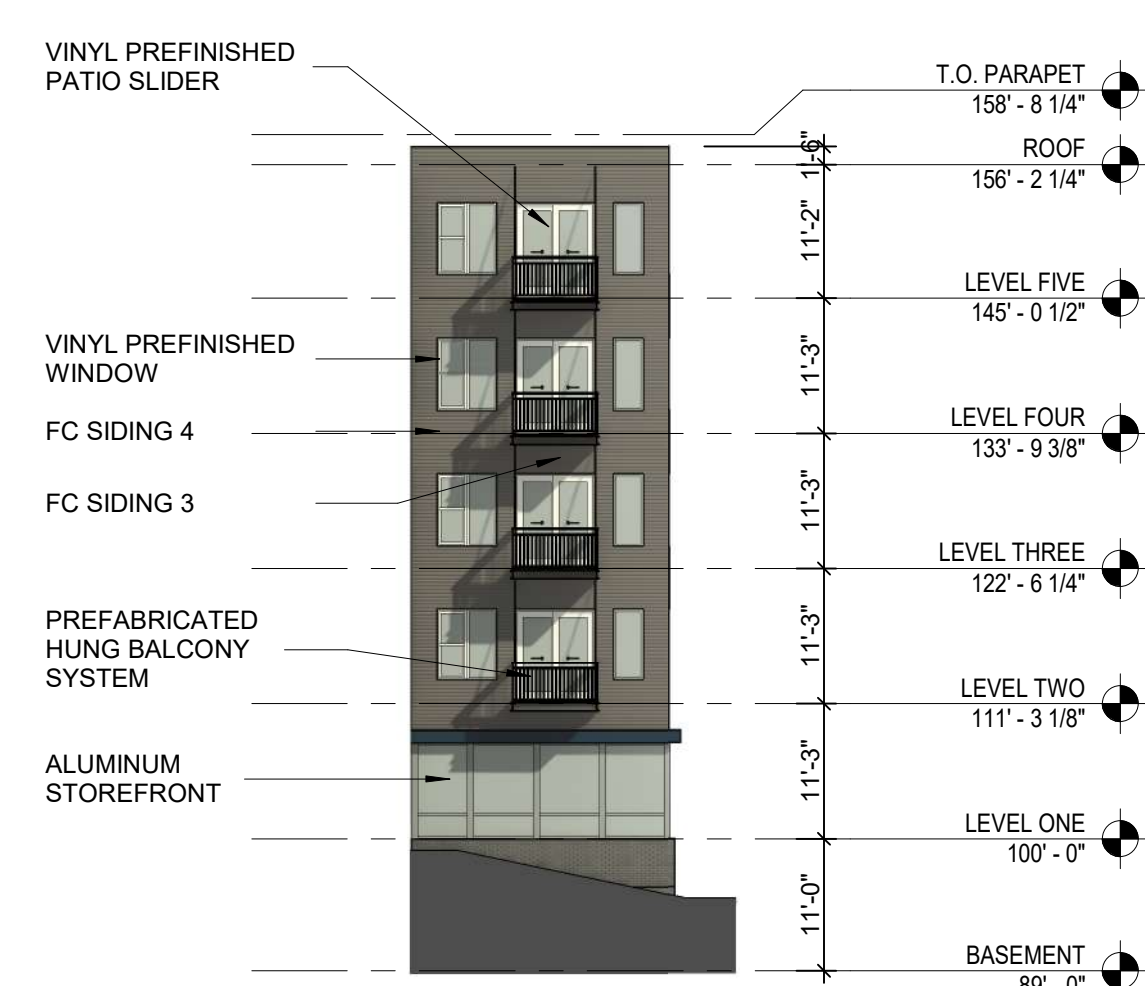
- WINDOWS:** BOD: PREFINISHED VINYL (WHITE)
- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
- FC SIDING 1:** FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
- FC SIDING 2:** FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
- FC SIDING 3:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 4:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 5:** FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



3 NORTH ELEVATION 1 - DESIGN  
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION 1  
SCALE: 1/16" = 1'-0"



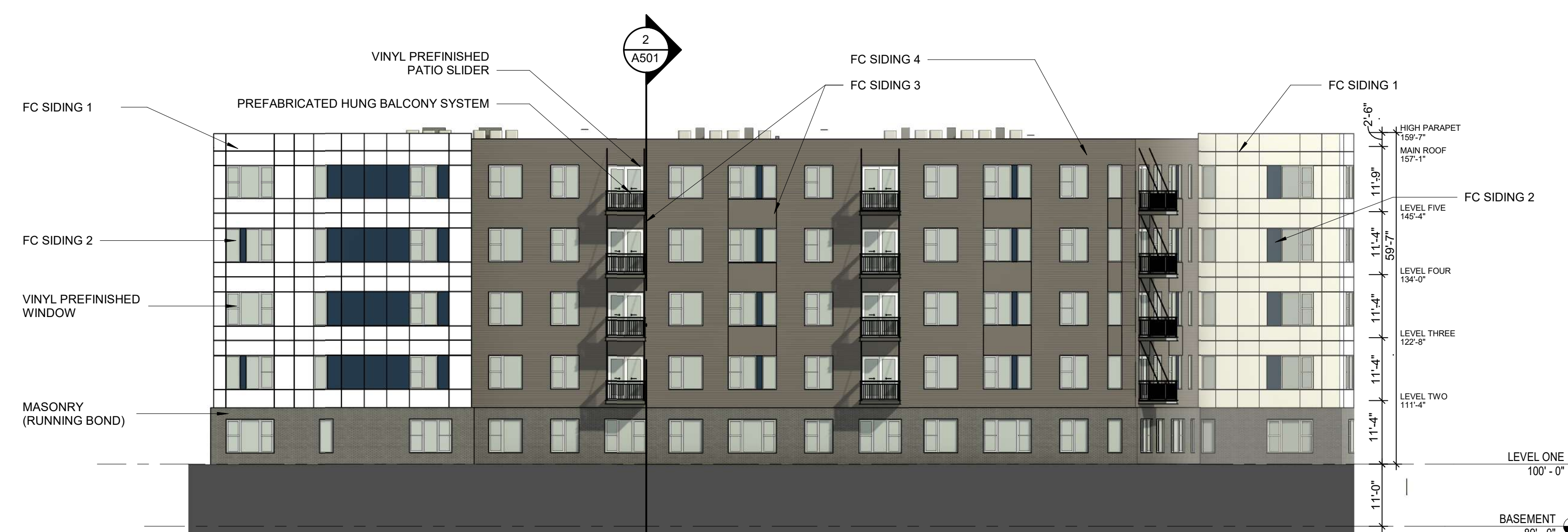
6 HIDDEN SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



1 EAST ELEVATION 1 - DESIGN  
SCALE: 1/16" = 1'-0"



5 WEST ELEVATION - DESIGN  
SCALE: 1/16" = 1'-0"



4 SOUTHWEST ELEVATION - DESIGN  
SCALE: 1/16" = 1'-0"

**3100 EAST WASHINGTON**

3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:  
LAND USE APPLICATION 08/07/23

REVISION FOR:  
NO. DESCRIPTION DATE

DRAWN BY Author

CHECKED BY Checker

**BUILDING ELEVATIONS**

**MATERIAL LEGEND**

- WINDOWS:** 80D; PREFINISHED VINYL (WHITE)
- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
- FC SIDING 1:** FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
- FC SIDING 2:** FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
- FC SIDING 3:** FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
- FC SIDING 4:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 5:** FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

**3100 EAST WASHINGTON**

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MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

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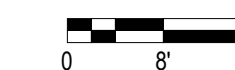
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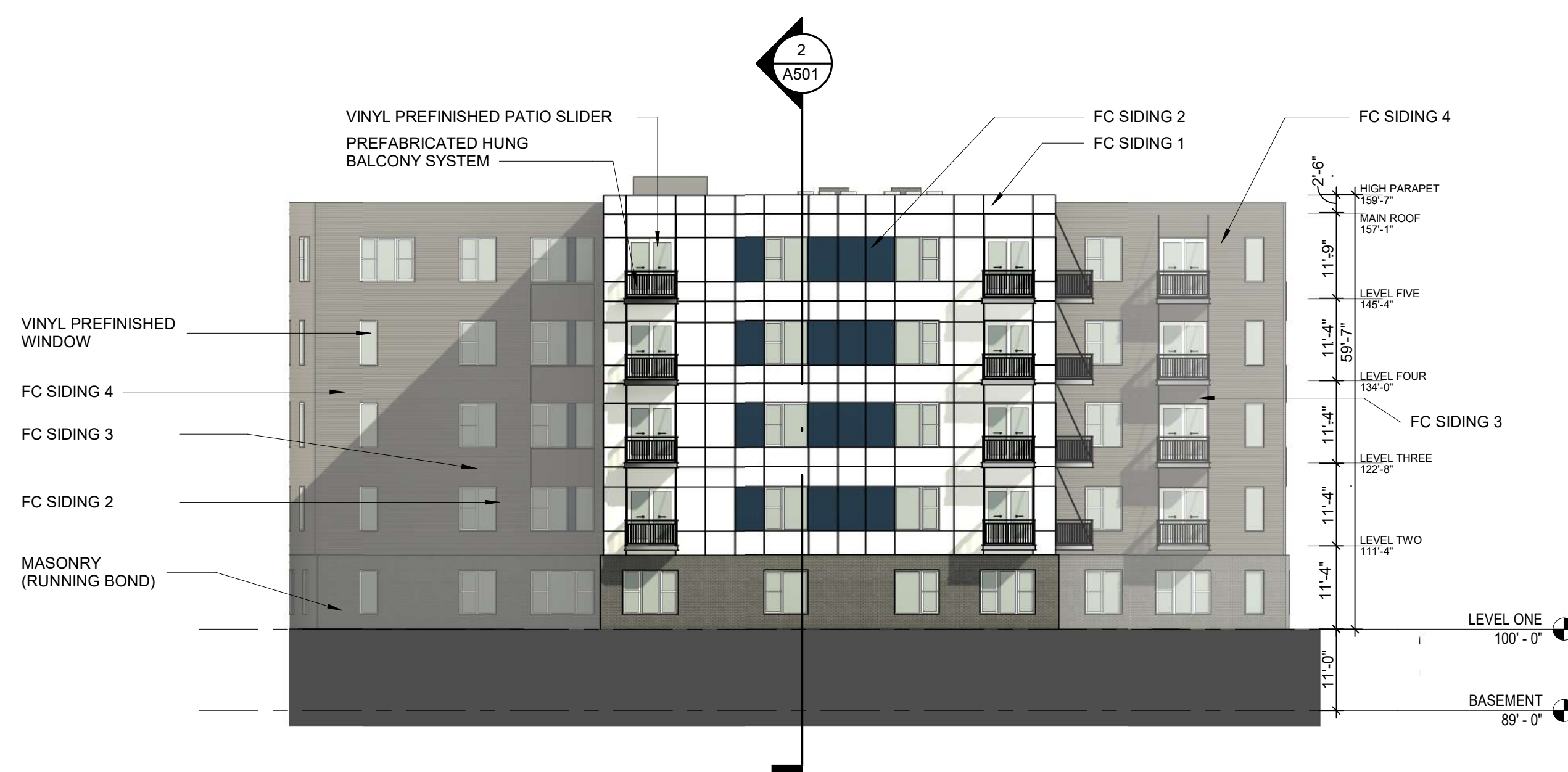
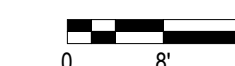
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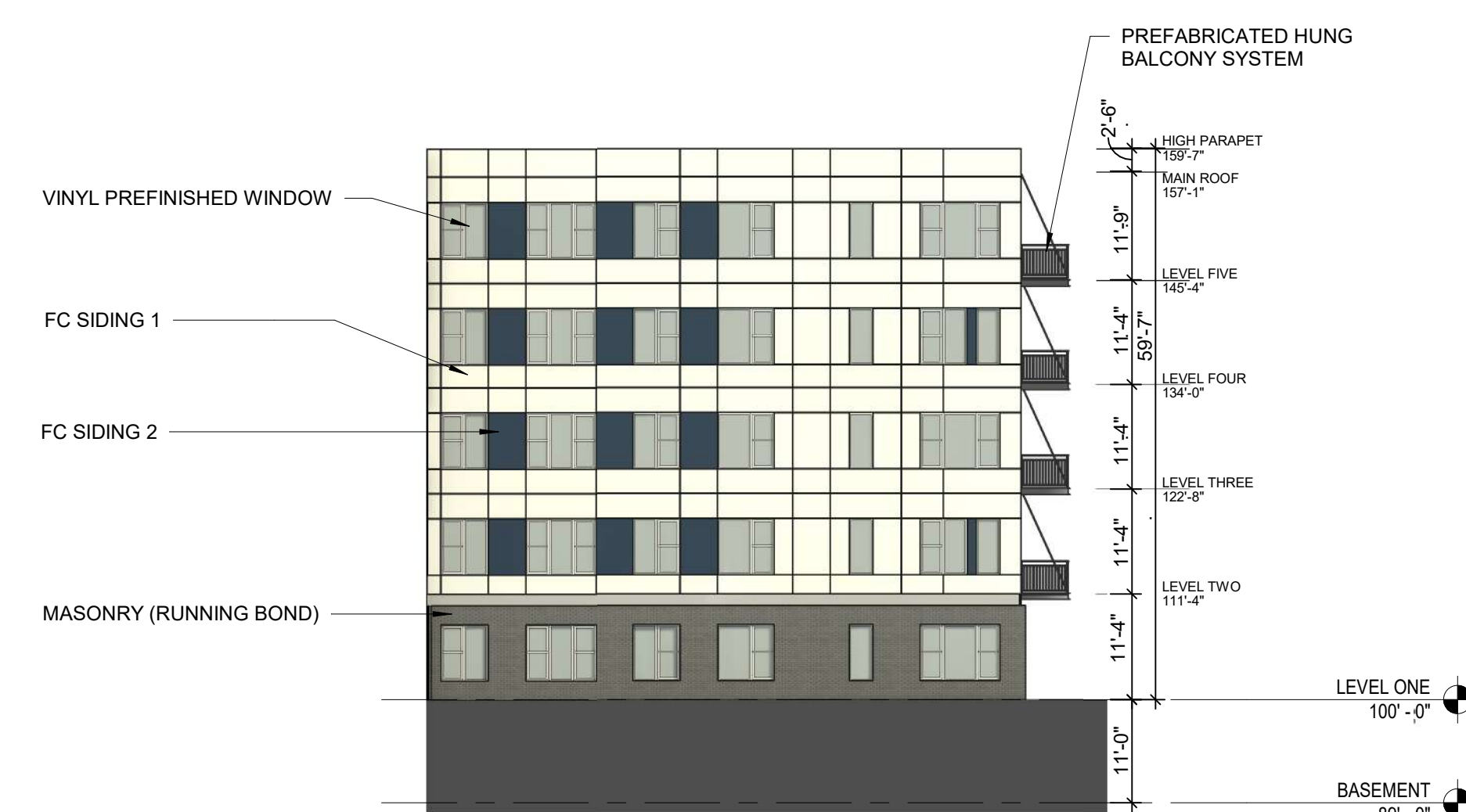
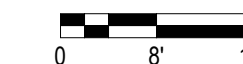
1 WEST ELEVATION INSET 1 - DESIGN  
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION INSET 2 - DESIGN  
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION 2 - DESIGN  
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 3 - DESIGN  
SCALE: 1/16" = 1'-0"



DRAWN BY Author

CHECKED BY Checker

**BUILDING ELEVATIONS**

**MATERIAL LEGEND**

**WINDOWS, BOD:** PREFINISHED VINYL (WHITE)

**MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

**FC SIDING 1:** FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

**FC SIDING 2:** FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

**FC SIDING 3:** FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

**FC SIDING 4:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

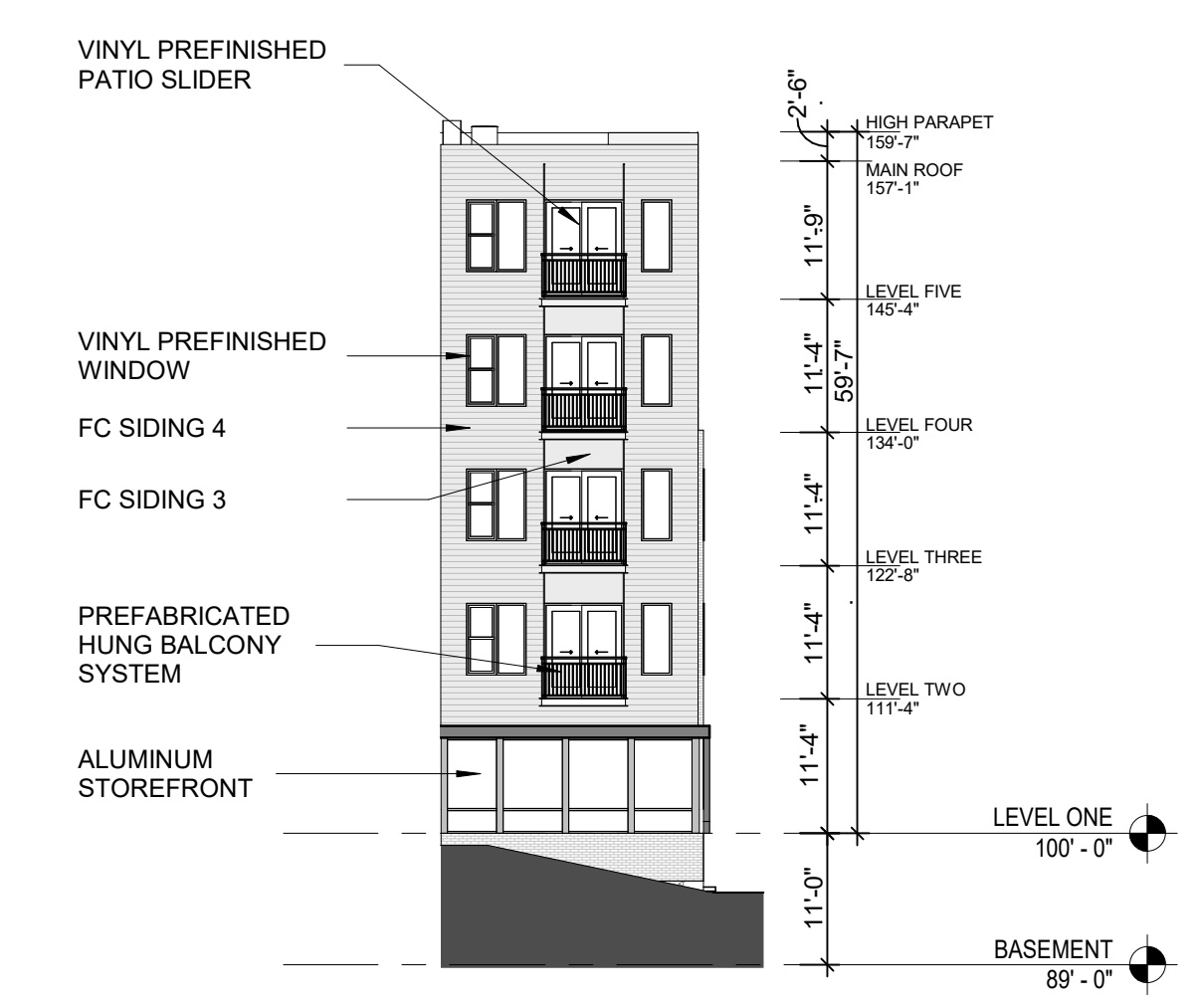
**FC SIDING 5:** FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



1 NORTH ELEVATION 1 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 1  
SCALE: 1/16" = 1'-0"



3 HIDDEN SOUTH ELEVATION B&W  
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION 1 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



5 WEST ELEVATION - DESIGN B&W  
SCALE: 1/16" = 1'-0"



6 SOUTHWEST ELEVATION - DESIGN B&W  
SCALE: 1/16" = 1'-0"

**3100 EAST WASHINGTON**

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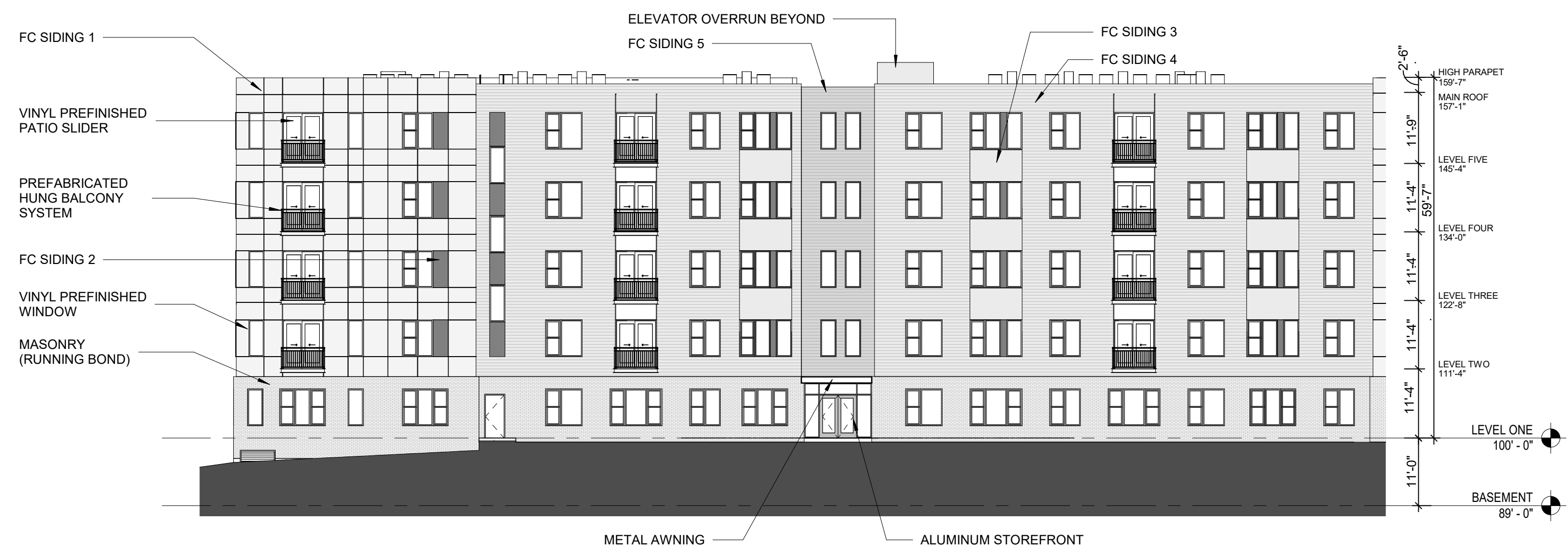
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**BUILDING ELEVATIONS**

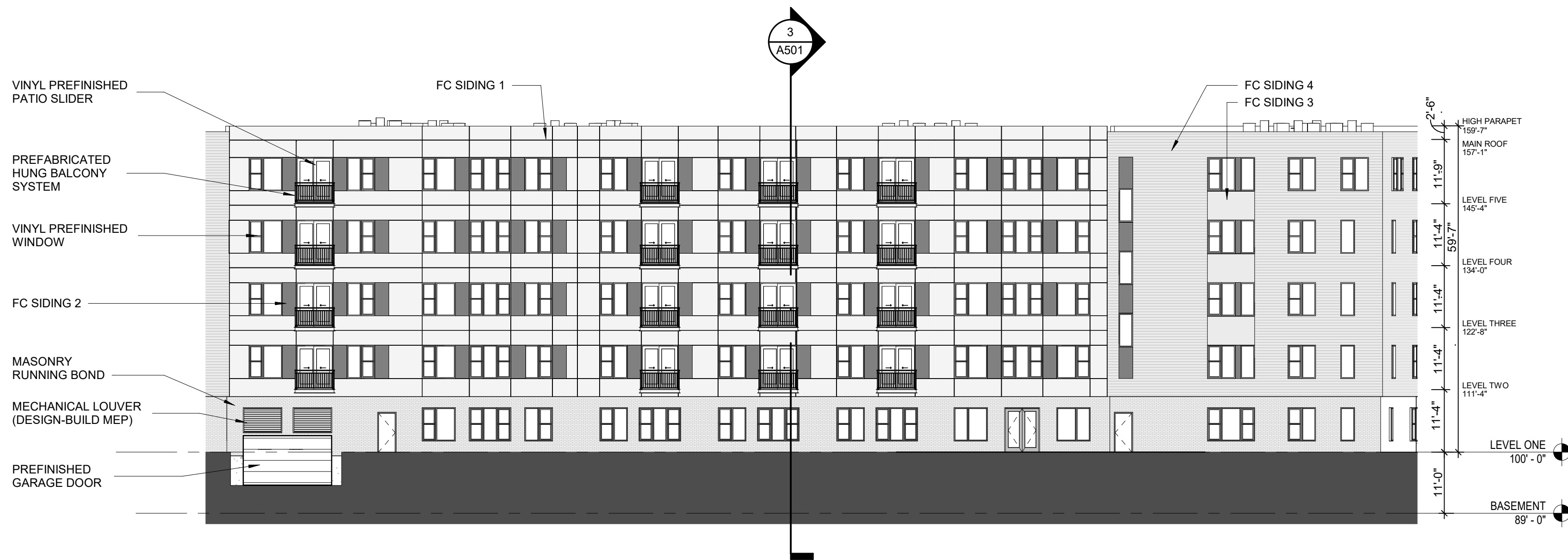
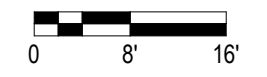


**MATERIAL LEGEND**

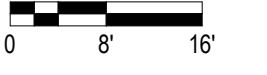
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- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
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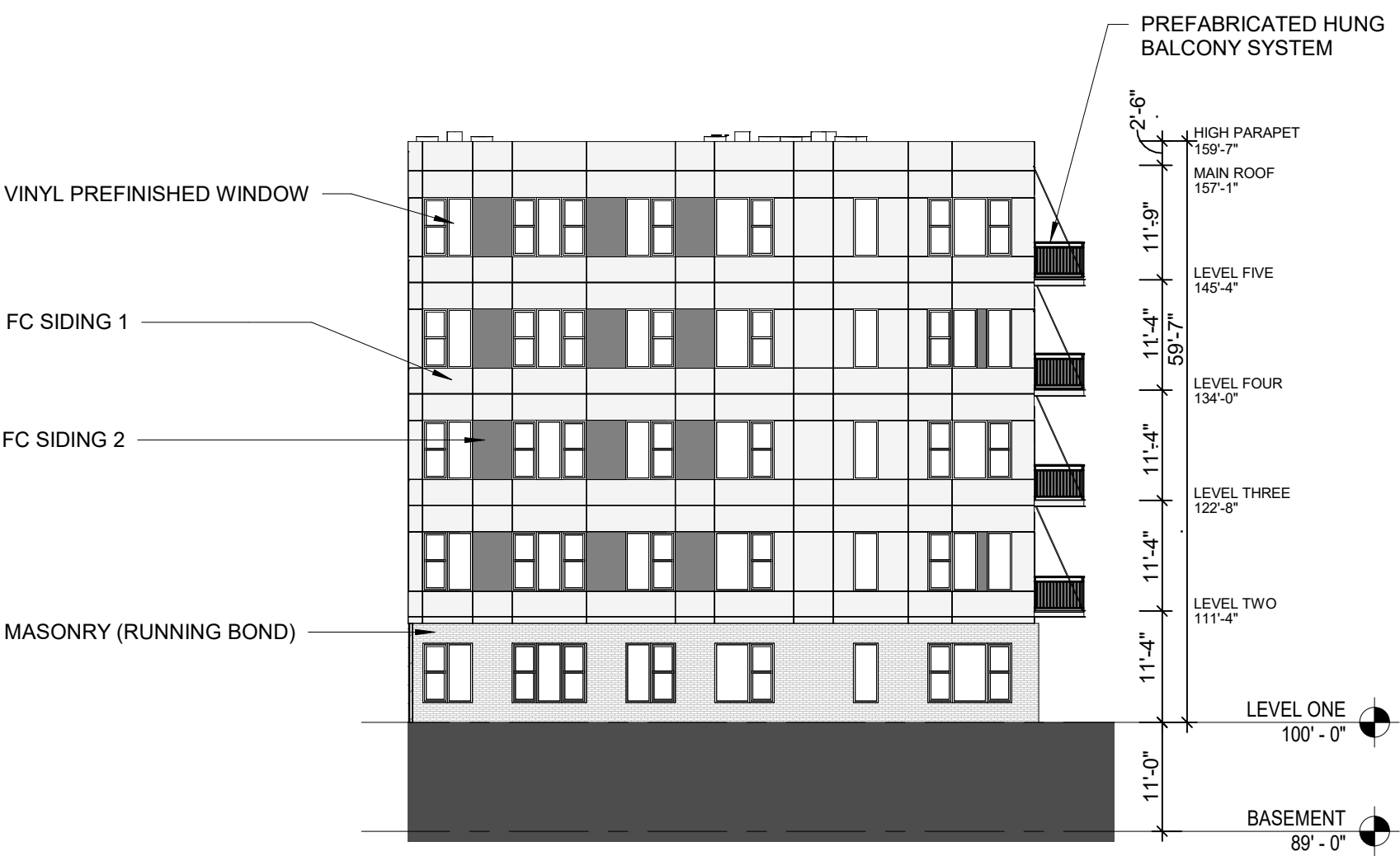
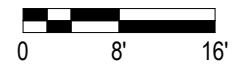
1 WEST ELEVATION INSET 1 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



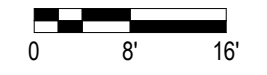
2 WEST ELEVATION INSET 2 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION 2 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 3 - DESIGN B&W  
SCALE: 1/16" = 1'-0"



**3100 EAST WASHINGTON**

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**BUILDING ELEVATIONS**

**3100 EAST WASHINGTON**

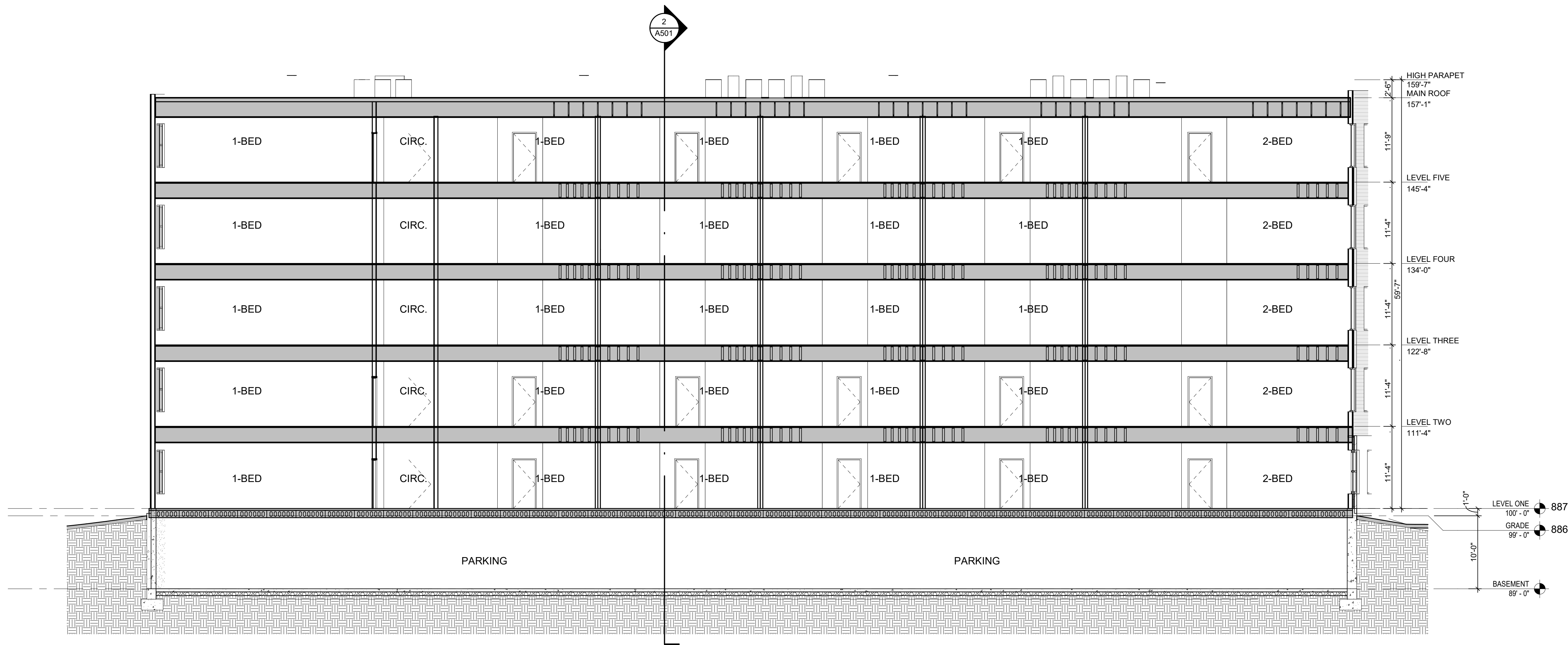
3100 E WASHINGTON AVENUE  
MADISON, WI 53704

OWNER  
BEAR DEVELOPMENT  
4011 80TH STREET  
KENOSHA, WI 53142

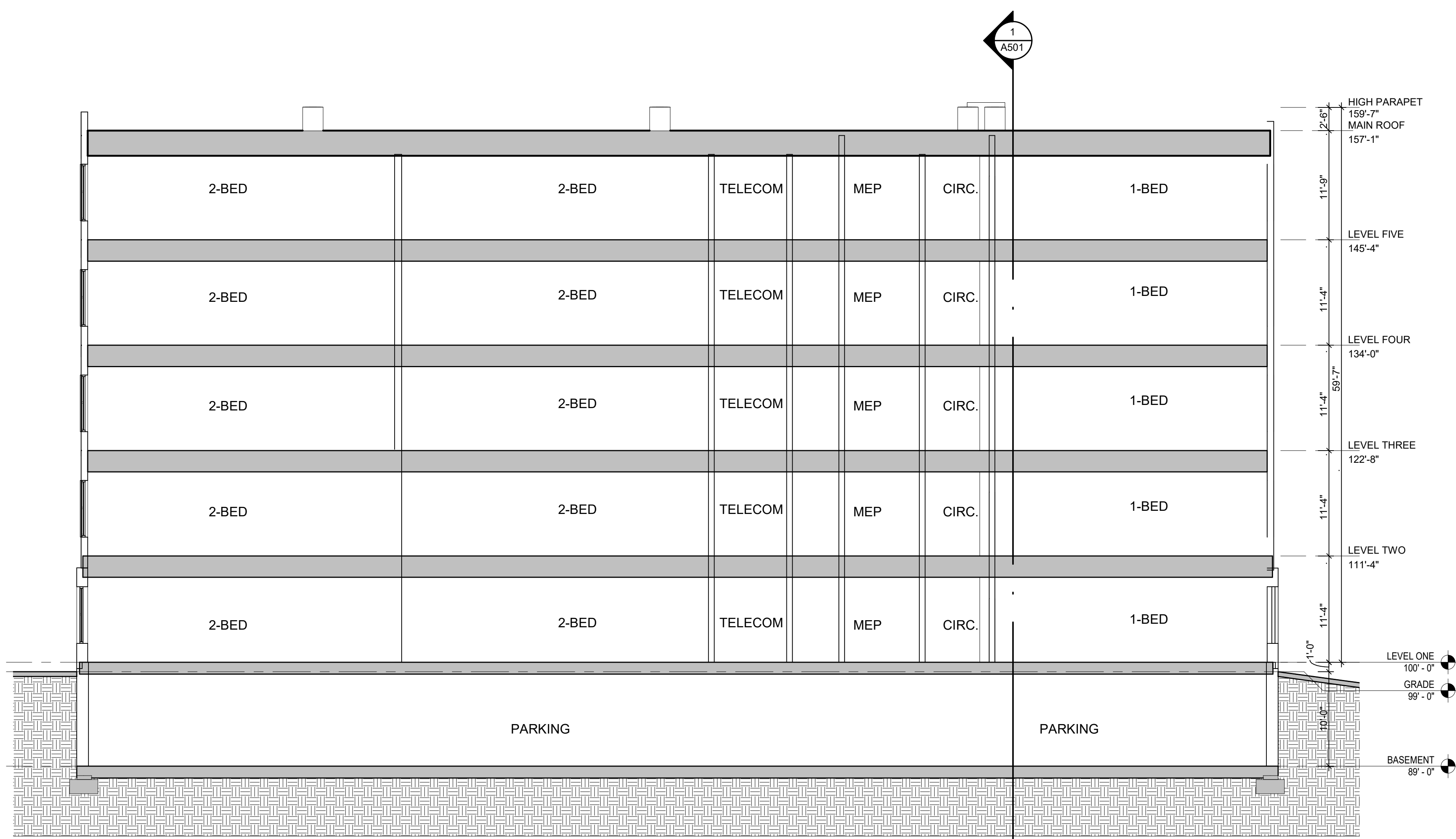
PROJECT NUMBER 233606.00

ISSUED FOR:  
LAND USE APPLICATION 08/07/23

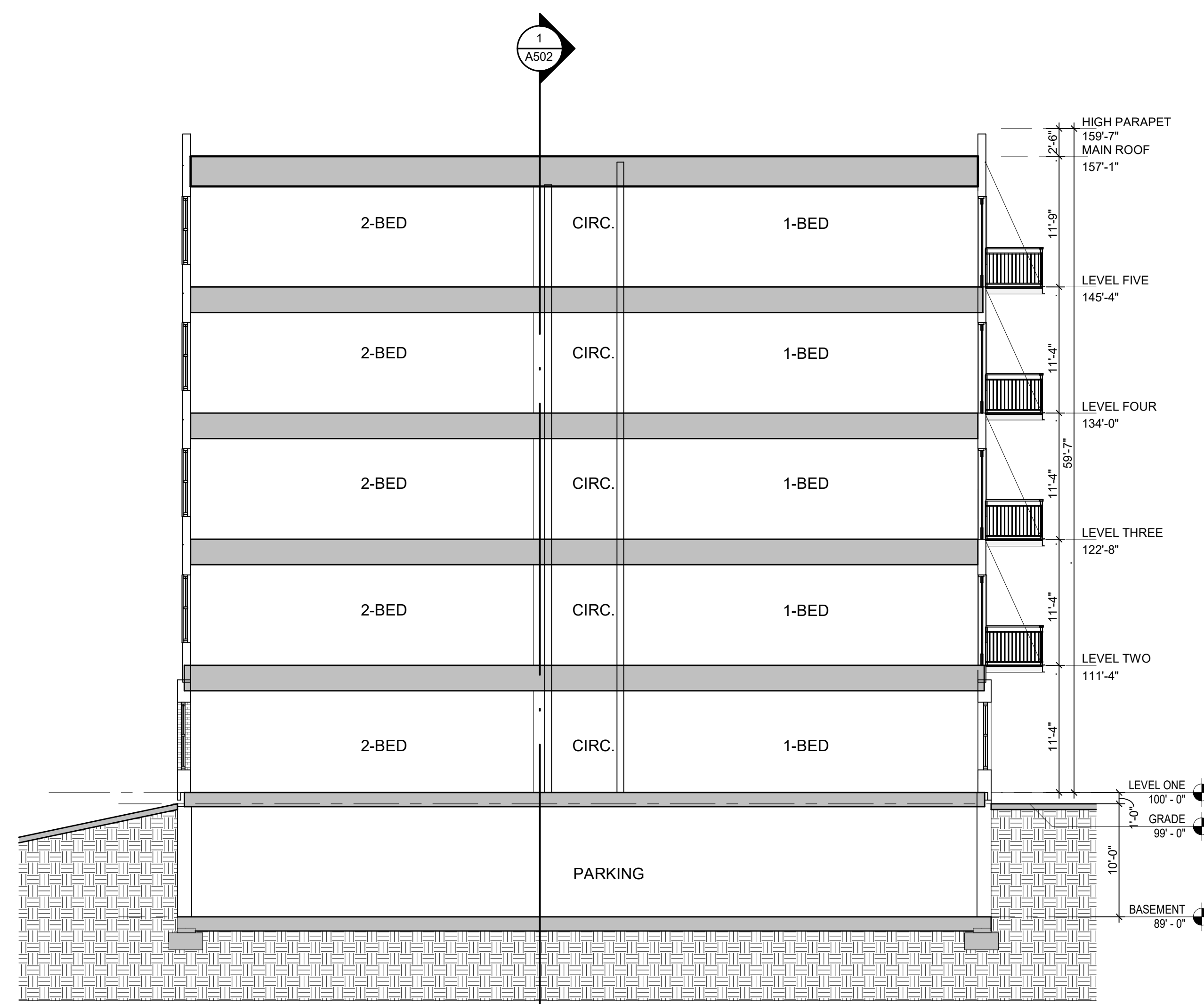
REVISION FOR:  
NO. DESCRIPTION DATE



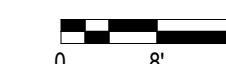
1 BUILDING SECTION 1  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION 2  
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION 3  
SCALE: 1/8" = 1'-0"



DRAWN BY Author  
CHECKED BY Checker

**BUILDING SECTIONS**

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

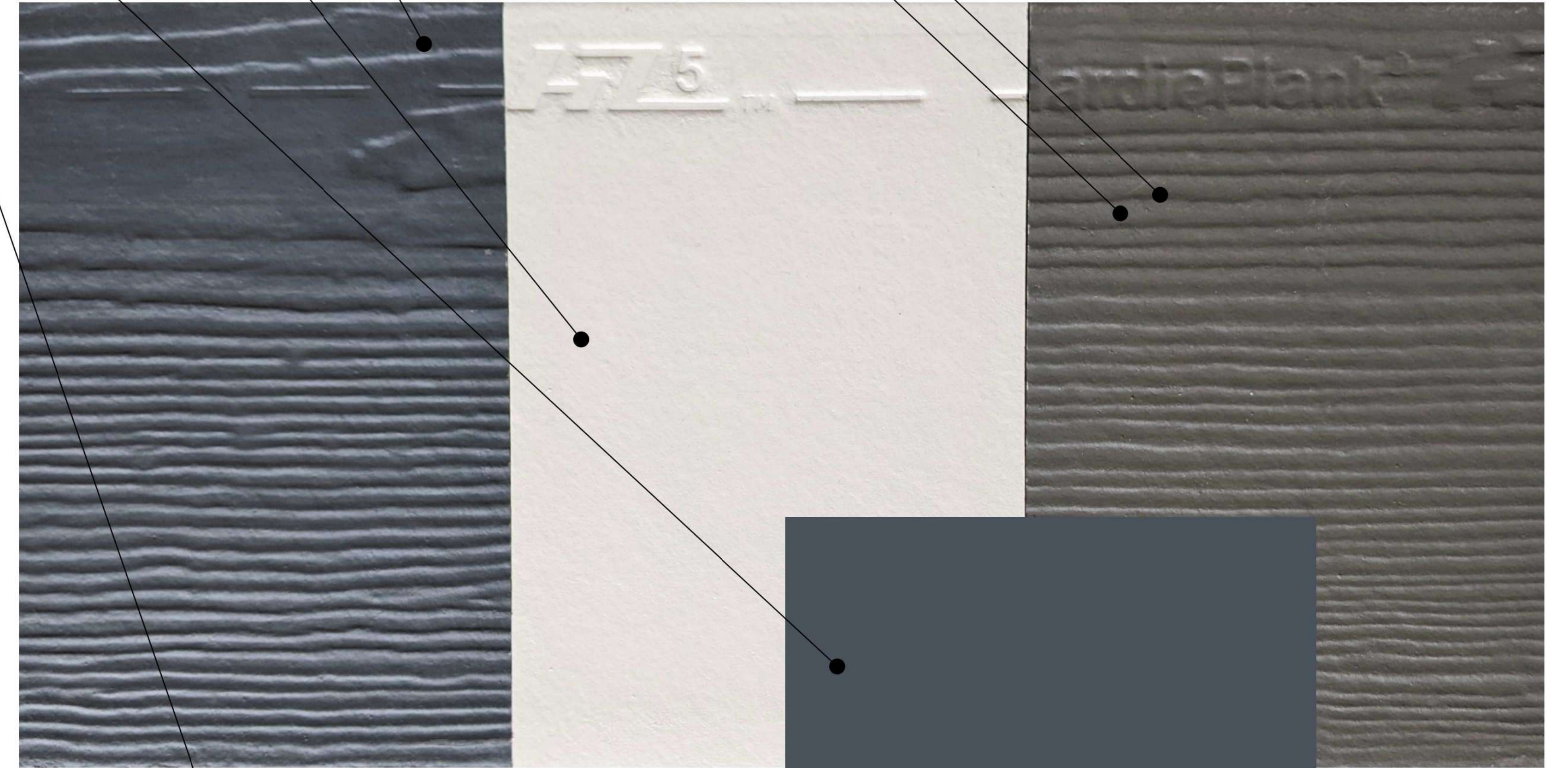
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

MASONRY: DESIGNER CONCRETE BRICK (RUNNING BOND)



# 3100 EAST WASHINGTON

MATERIALS



MILWAUKEE | MADISON | TUCSON | CHICAGO

Engberg Anderson Project No. 233606.00



## 3100 EAST WASHINGTON

EXTERIOR RENDERINGS  
SCALE:

Engberg Anderson Project No. 233606.00



## 3100 EAST WASHINGTON