

3100 EAST WASHINGTON

MULTIFAMILY HOUSING

3100 E WASHINGTON AVENUE
MADISON, WI 53704

PROJECT

SEAL

CONSULTANTS

DRAWINGS

CIVIL-LANDSCAPE

JSD
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
PH 608-848-5060

C0 ALTA/NSPS LAND TITLE SURVEY
C100 NOTES AND LEGEND
C200 DEMOLITION PLANS
C300 SITE PLAN - QUANTITATIVE
C301 SITE PLAN - DIMENSIONED
C302 SITE PLAN - COURTYARD
C400 GRADING AND EROSION CONTROL PLAN
C401 DETAILED GRADING
C500 UTILITY PLAN
C600 DETAILS-EROSION CONTROL
C601 DETAILS-UTILITIES
C602 DETAILS-SITE
L100 OVERALL LANDSCAPE PLAN
L101 LANDSCAPE PLAN - COURTYARD
L200 LANDSCAPE DETAILS
FAE FIRE ACCESS EXHIBIT

PHOTOMETRICS

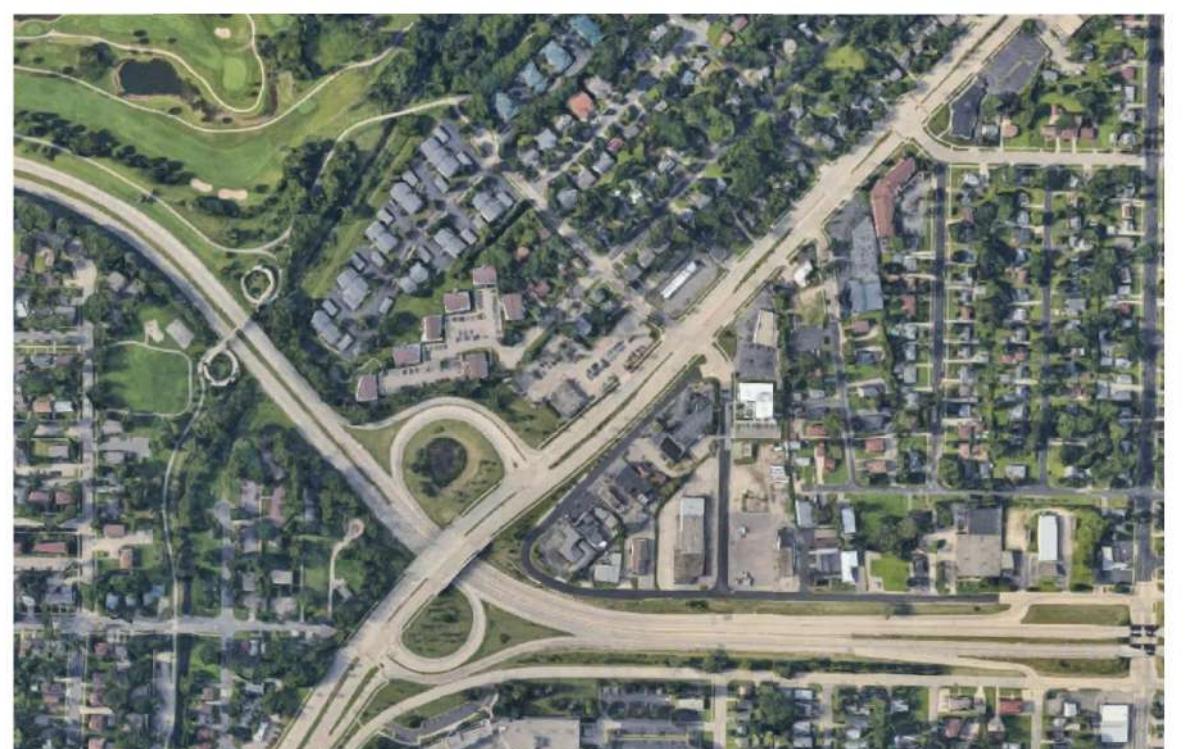
SPECTRUM
N8 W2250 JOHNSON DRIVE UNIT E
WAUKESHA, WI 53186
PH 262-970-0300

001 SITE PLAN LIGHTING
002 SITE PLAN LIGHT LEVELS
003 LIGHTING CUT SHEETS
004 PARKING GARAGE LIGHTING PLAN
005 PARKING GARAGE LIGHT LEVELS
006 LIGHTING CUT SHEETS
G000 TITLE SHEET
G001 DEMO SITE PLAN
G002 ARCHITECTURAL SITE PLAN
A100 LOWER LEVEL PLAN
A101 FIRST FLOOR PLAN
A102 TYPICAL FLOOR PLAN
A104 ROOF PLAN
A300 ENLARGED UNIT PLANS
A301 ENLARGED UNIT PLANS
A302 ENLARGED UNIT PLANS
A303 ENLARGED UNIT PLANS
A304 ENLARGED UNIT PLANS
A306 ENLARGED UNIT PLANS
A307 ENLARGED UNIT PLANS
A401 BUILDING ELEVATIONS
A402 BUILDING ELEVATIONS
A403 BUILDING ELEVATIONS
A404 BUILDING ELEVATIONS
A501 BUILDING SECTIONS

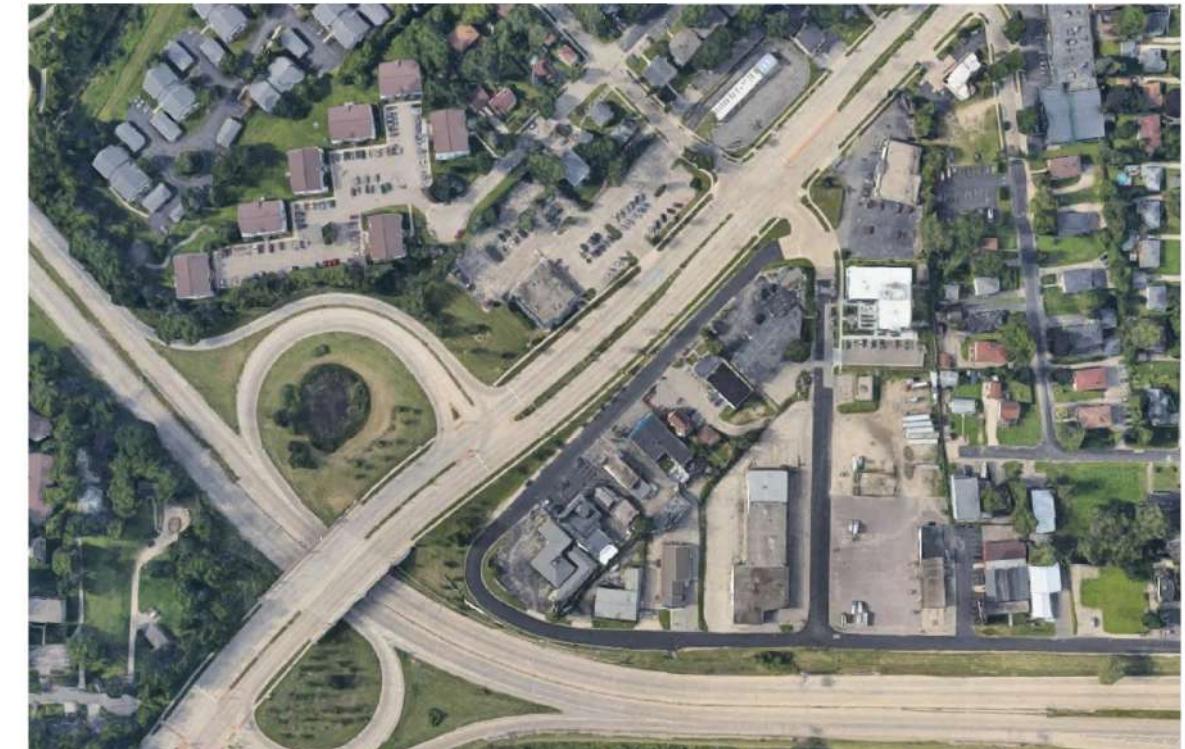
ARCHITECTURAL

ENGBERG ANDERSON ARCHITECTS
320 E BUFFALO ST
SUITE 500
MILWAUKEE, WI 53202
PH 414-944-9000

SITE LOCATION MAP



VICINITY MAP



G000

LAND USE SUBMITTAL

DRAWN BY _____
CHECKED BY _____

TITLE SHEET

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

MILWAUKEE | MADISON | TUCSON | CHICAGO

**Engberg
Anderson
ARCHITECTS**

Author

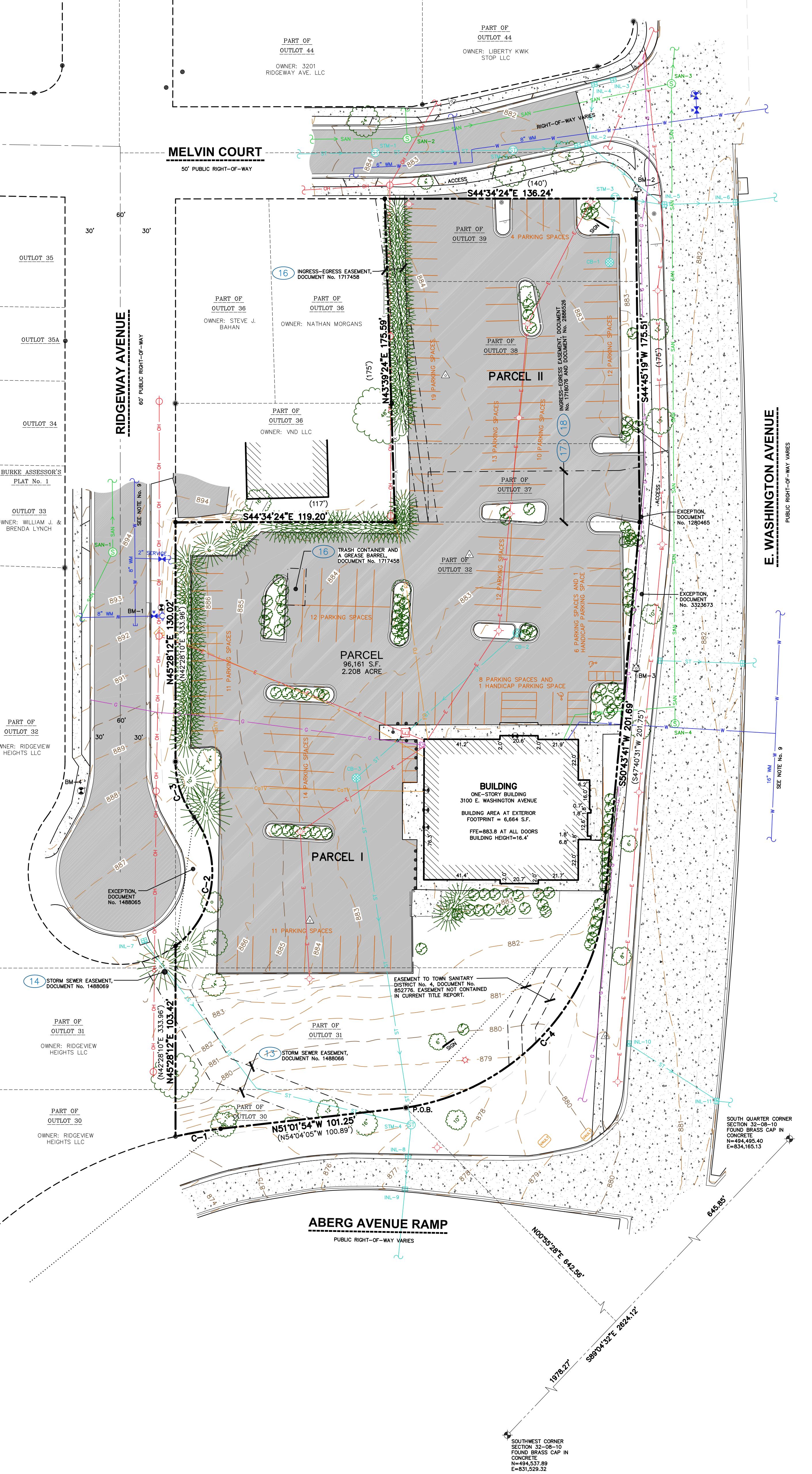
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ALTA/NSPS LAND TITLE SURVEY

PART OF OUTLOTS 30, 31, 32, 37, 38 AND 39, BURKE ASSESSOR'S PLAT NO. 1, LOCATE IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

RIGHT-OF-WAY LINE	—
1" IRON PIPE FOUND	—
3/4" REBAR FOUND	—
BENCHMARK	—
FINISHED FLOOR SHOT LOCATION	—
SIGN	—
SANITARY MANHOLE	—
HYDRANT	—
WATER VALVE	—
STORM MANHOLE	—
ROUND PLATED INLET	—
CURB INLET	—
GAS REGULATOR/METER	—
ELECTRIC TRANSFORMER	—
LIGHT POLE	—
POWER POLE W/GUY	—
875 CONTOUR	—
874 INTERMEDIATE CONTOUR	—
BITUMINOUS PAVEMENT	—
CONCRETE PAVEMENT	—
PAVEMENT STRIPING	—
END OF FLAGGED UTILITIES	—
DENOTES RECORD DATA PERTAINING TO THE SURFACE FEATURES ON GROUND AS RETRACED BY THIS SURVEY	—
PARCEL BOUNDARY	—
SECTION LINE	—



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	24.66'	226.00'	6°18'10"	N54°10'45"W	24.65'
()	—	226.00'	—	N57°14'35"W	25.10'
C-2	78.54'	50.00'	90°00'00"	N53°36'01"E	70.71'
()	—	50.00'	—	N50°35'57.5"E	70.71'
C-3	32.17'	50.00'	36°51'37"	N27°01'49"E	31.61'
()	—	50.00'	—	N24°02'04"E	31.62'
C-4	172.41'	128.00'	77°10'31"	S88°16'23"W	159.67'
()	—	128.00'	—	S85°24'45"W	159.54'

SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	894.22	NW	884.75	8"	PVC
		SE	884.75	8"	PVC
SAN-2	883.22	NW	872.47	8"	PVC
		SE	872.23	8"	PVC
SAN-3	881.26	NW	871.52	8"	PVC
		SE	871.48	8"	PVC
SAN-4	881.51	NW	873.06	8"	PVC
		SE	872.98	8"	PVC

STORM SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	883.94	NW	878.88	24"	RCP
		SE	878.87	24"	RCP
STM-2	881.93	NW	878.37	24"	RCP
		SE	878.35	24"	RCP
STM-3	882.56	NW	873.42	12"	RCP
		SE	873.35	12"	RCP
STM-4	877.00	NW	873.86	12"	RCP
		SE	873.35	12"	RCP
STM-5	881.47	NW	873.77	24"	RCP
		SE	873.72	24"	RCP
CB-1	882.53	NW	873.26	12"	HDPE
CB-2	881.83	NW	873.26	12"	VCP
CB-3	881.70	SE	877.02	12"	VCP
		SW	876.95	12"	RCP

STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	881.28	NW	877.14	24"	RCP
		SE	877.25	24"	RCP
INL-2	881.28	NW	876.89	24"	RCP
		SE	876.86	24"	RCP
INL-3	881.10	NW	877.93	15"	RCP
		SE	877.44	15"	RCP
INL-4	881.18	NW	877.90	18"	RCP
		SE	877.90	18"	RCP
INL-5	881.21	NW	876.71	24"	RCP
		SE	876.71	12"	RCP
INL-6	881.79	NW	875.56	24"	RCP
		SE	875.55	24"	RCP
INL-7	886.46	NW	873.08	12"	RCP
		SE	873.08	18"	RCP
INL-8	876.78	NW	873.03	18"	RCP
		SE	872.96	18"	RCP
INL-9	877.21	NW	872.90	24"	RCP
		SE	872.90	12"	RCP
INL-10	880.20	NW	876.08	12"	RCP
		SE	876.05	15"	RCP
INL-11	880.91	NW	876.08	12"	RCP
		SE	876.05	15"	RCP

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	894.20	BURY BOLT ON HYDRANT SE SIDE OF RIDGEWAY AVE., NW CORNER OF SITE
BM-2	881.80	CUT CROSS IN SIDEWALK NE CORNER OF SITE
BM-3	882.18	CUT CROSS IN SIDEWALK SW OF DRIVEWAY ENTRANCE ON E. WASHINGTON AVE.
BM-4	888.75	CUT CROSS IN SIDEWALK NW SIDE OF RIDGEWAY AVE. NEAR CUL-DE-SAC

*JSO DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

north

SCALE IN FEET
30' 0" 30'

SCALE 1" = 30'

30' 0" 30'

SOUTHWEST CORNER
SECTION 32-08-10
FOURTH BRASS CAP IN
CONCRETE
N=64.537.89
E=31.522.32

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)

PARCEL I:

PART OF OUTLOTS THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), BURKE ASSESSOR'S PLAT NO. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, AS LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 8 NORTH, RANGE 10 EAST, DANE COUNTY, WISCONSIN. MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT NO. 1; THENCE SOUTH 47°23'50" EAST, ALONG THE NORTHEAST LINE OF SAID OUTLOT 32, 253.98 FEET TO THE NORTHEAST RIGHT-OF-WAY LINE OF EAST WASHINGTON AVENUE (U.S. 151); THENCE SOUTH 50°47'25" WEST, ALONG SAID NORTHEAST RIGHT OF WAY LINE, 40.16 FEET; THENCE SOUTH 50°47'25" WEST, ALONG SAID NORTHEAST RIGHT OF WAY LINE, 162.60 FEET TO POINT OF CURVE; THENCE ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE, TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE, TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE, TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE, TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE, TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG THE NORTHEAST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS DESIGN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SURVEY. ITEMS THAT HAVE BEEN IDENTIFIED AS EXISTING CONDITIONS ARE THE EXISTING CONDITIONS SURVEY, RECONNAISSANCE, "DIGGER" HOTLINE LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE. THE CONTRACTOR/BIDDER SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE OF ANY ADDITIONAL ITEMS AND FOR THE COST OF REMOVAL. THE CONTRACTOR/BIDDER IS RESPONSIBLE TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY EXIST. THE CONTRACTOR/BIDDER SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE OF ANY ADDITIONAL ITEMS AND FOR THE COST OF REMOVAL. THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK, CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS AND REPORTING ANY DISCREPANCIES INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY LOCATIONS AND NOTIFYING ENGINEERS OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.

- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE LOCATED AND FLAGGED BY CONTRACTOR.

- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY THE CITY OF MADISON OF THE EXCAVATION LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS, AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ALL CONCRETE BLOCKS SHALL BE MOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITY WITH THE BURGLAR FOOTPLATE USING A DENSITY OF CONCRETE/FLOWABLE FILL.
- RESTORATION OF THE EXISTING SIDEWALK, RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING, STRUCTURES, AND UNDERGROUND DETENTION, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTORS MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- GENERAL
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND TECHNICAL REPORT PREPARED BY **JSD** DATED **DATE**.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPAL REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (5° C) AND WHEN BASE COURSE IS DRY. PAVING MAY NOT RAIN. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVING SPECIFICATIONS
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26U CONCRETE SEALANT.
 - PAVEMENT MARKING SPECIFICATIONS
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATENT PAVE SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE GRADES ARE DRAWN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES WHILE **JSD** PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEDEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOIL/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INfiltration.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVERSUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEDEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

- PIPE - SANITARY SEWER, PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDP-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-321.
- BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTION OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8-3.2.2 OF THE STANDARD SPECIFICATION AND THE REQUIREMENT OF SECTION 8-3.2.2 OR AS REQUIRED TO INSURE ADEQUATE COMPACTION OF THESE MATERIALS. WITH ONE LIFT OF BEDDING MATERIAL ENDING OR NEAR THE SPRINGLINE OF THE PIPE, THE CONTRACTOR SHALL TAKE CARE TO COMPACT THE NEW BEDDING MATERIAL UNDER THE HAUNCH THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8-4.3.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
- WATER AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.1.7.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(b), SPS 382.36(7)(c)10, AND SPS 382.40(b)(k). COLOR OF TRACER WIRE SHALL BE SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. CONDITIONS ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAE FEES, METERS, DEPOSITS, BONDS, AND VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCIES AND TO SHARE INFORMATION ON THE DISCREPANCY WITH OTHER CONTRACTORS.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR TO APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12' THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A PERMANENT STABILIZATION PLAN IS APPROVED AND THE CONTRACTOR MUST REMOVE THE ENTRANCE ONTO ADJACENT PUBLIC STREETS AFTER EACH WORK DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY EROSION AND STABILIZATION IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICE IS REQUIRED IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH. THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIER".
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BAG, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE ALL EXCAVATED MATERIAL INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR EQUIVALENT. APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZER IS REQUIRED AS A STABILIZANT AS REQUIRED BY THE CONTRACTOR. STABILIZATION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL ACTIVITIES SHALL BE CONDUCTED UNTIL ALL DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE. THE CONTRACTOR SHALL NOT STABILIZE THE WHOLE SITE AT ONCE. STABILIZATION OF 20% OF THE SITE SHALL BE INITIATED NO MORE THAN SEVEN (7) DAYS PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS BEEN UNDERTAKEN.
 - FOR THE STABILIZATION STATIONARIES, BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS BEEN CEASED, THE CONTRACTOR SHALL INITIATE STABILIZATION OF THE REMAINING STATIONARIES.
 - CONSTRUCTION ACTIVITY WILL CONTINUE ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS OF THE TIME CONSTRUCTION ACTIVITY CEASED. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE CONTRACTOR. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE. THE CONTRACTOR SHALL NOT STABILIZE THE WHOLE SITE AT ONCE. STABILIZATION OF 20% OF THE SITE SHALL BE INITIATED NO MORE THAN SEVEN (7) DAYS PASS AFTER THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE CONTRACTOR.
 - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS BEEN CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS. THE CONTRACTOR SHALL DETERMINE WHICH MEASURE MUST BE EFFECTIVE. THE CONTRACTOR SHALL NOT STABILIZE THE WHOLE SITE AT ONCE. STABILIZATION MEASURES MUST BE ACCEPTABLE STABILIZATION MEASURES.
 - PERMANENT SEEDING IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - GRASS SEEDING (100 LBS/ACRE)
 - HYDRO-MULCHING WITH A TACKIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROVED CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITTING TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE MEASURES UNTIL THE APPROVED PLANS ARE MET.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVERS, AS SHOWN ON PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLANS ARE NOT ALLOWED.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS, AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED

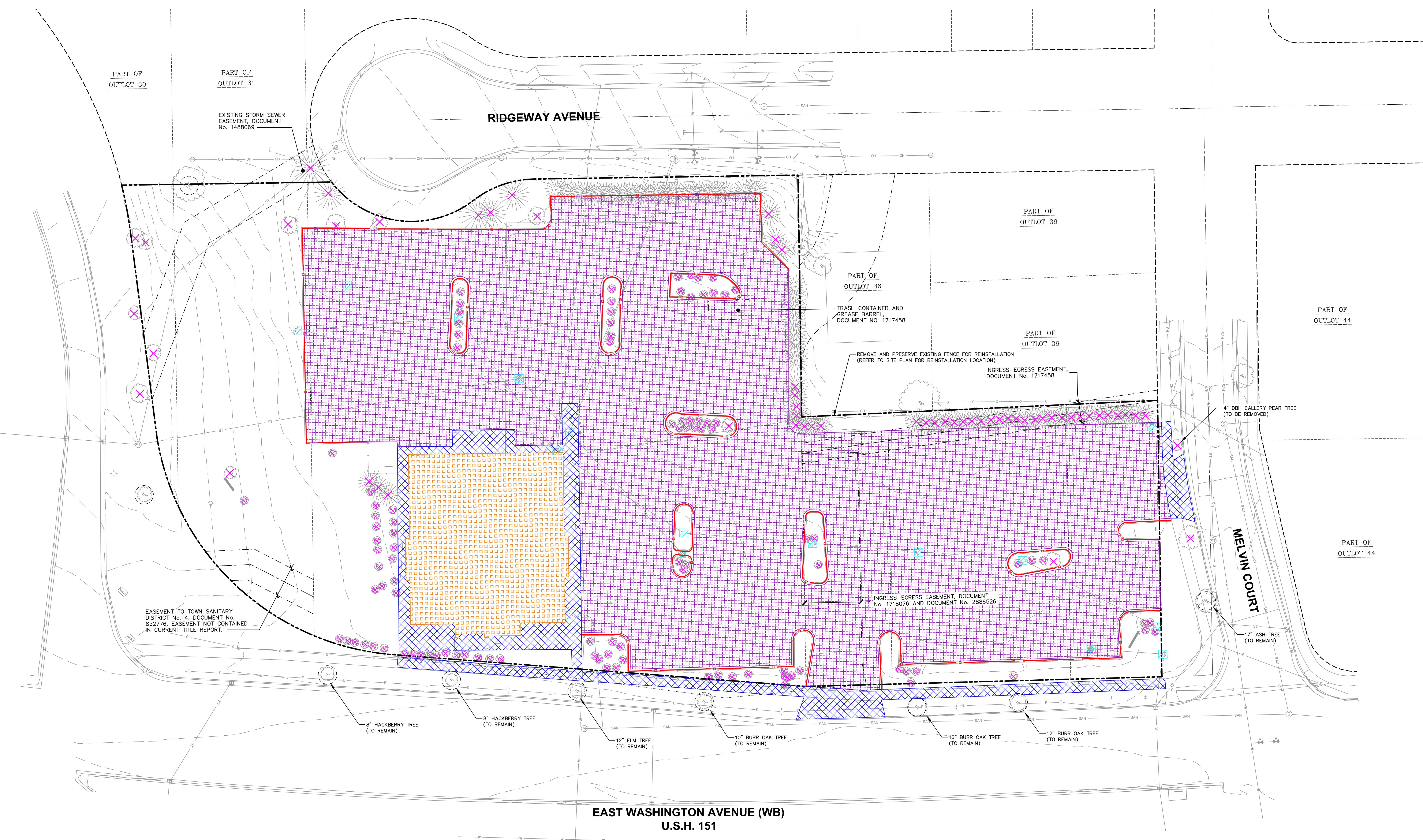
3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MAIDISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

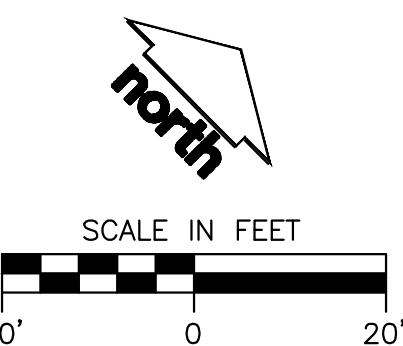
ISSUED FOR:
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LEGEND	
	SAWCUT EXISTING PAVEMENT
	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

THE PUBLIC WAY IS THE SOLE PROPERTY OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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3100 EAST WASHINGTON

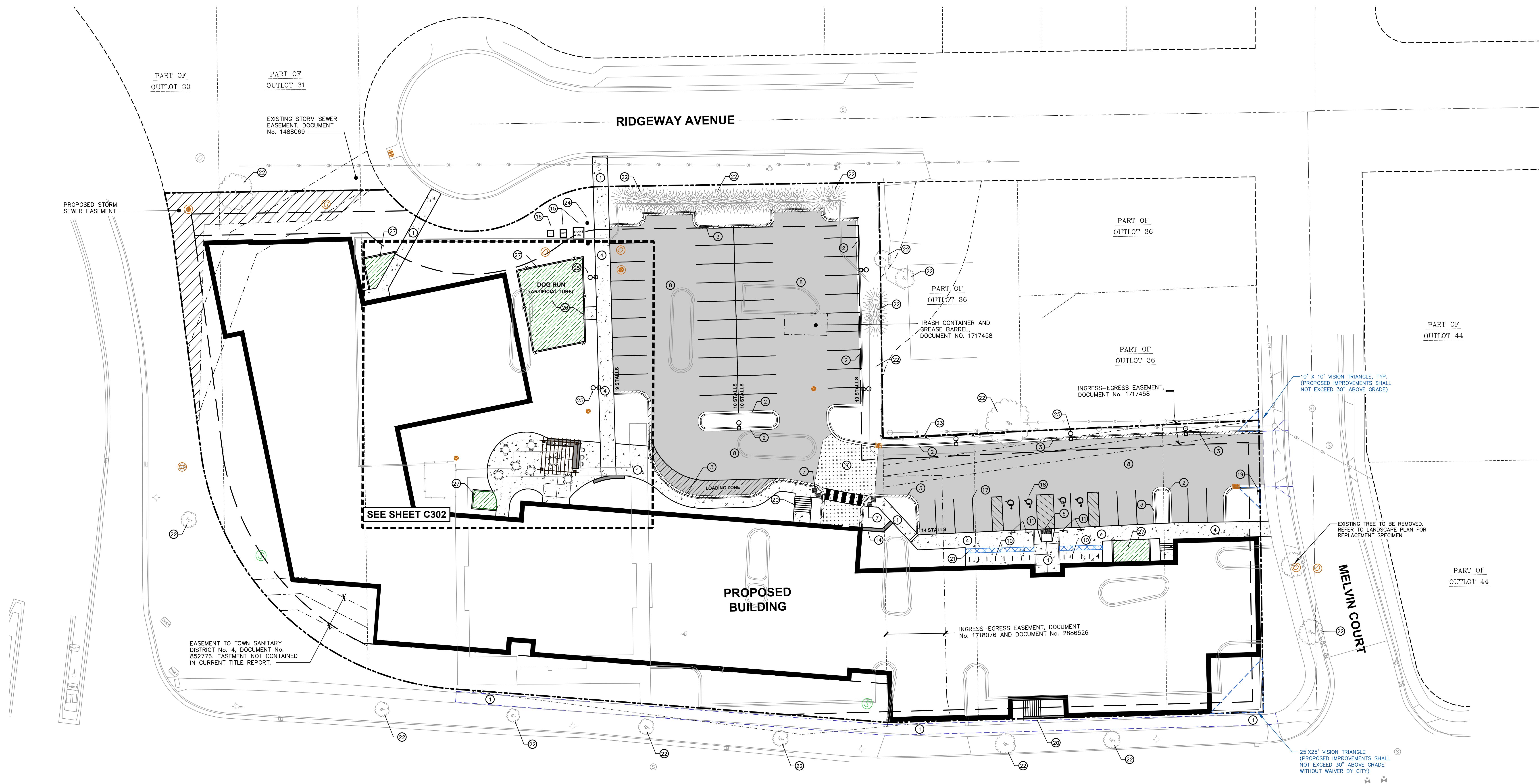
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EAST WASHINGTON AVENUE (WB)
U.S.H. 151

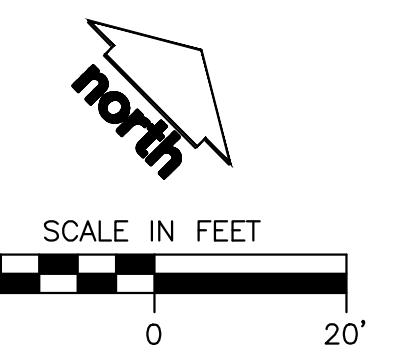
NOTES

1. CONCRETE SIDEWALK.
2. 18" CURB AND GUTTER (STANDARD)
3. 18" CURB AND GUTTER (REJECT)
4. THICKENED EDGE SIDEWALK
5. INTENTIONALLY OMITTED
6. ADA ACCESSIBLE RAMP (FLUSH)
7. WARNING DETECTOR
8. ASPHALT PAVEMENT
9. REINFORCED CONCRETE PAVEMENT
10. BIKE RACK
11. ADA PARKING SIGN
12. AREA WELL (REFER TO ARCHITECTURAL)
13. LIGHT POLE (REFER TO PHOTOMETRIC)
14. CONCRETE RETAINING WALL (REFER TO ARCHITECTURAL/STRUCTURAL)
15. MG&E TRANSFORMER PAD AND TERMINATION CABINET (CONTRACTOR SHALL COORDINATE AND CONFIRM FINAL PLACEMENT WITH MG&E PRIOR TO BIDDING AND INSTALLATION).
16. GENERATOR PAD (PAD SPECIFICATIONS TO BE DESIGNED BY OTHERS).
17. PAVEMENT STRIPING (4" WIDE), TYP
18. ADA STALL PAVEMENT STRIPING, TYP
19. TYPE RI-1 - STOP SIGN
20. CONCRETE STOOP, STAIRCASE, AND RAILING (REFER TO ARCHITECTURAL)
21. 2'-0" BICYCLE OVERHANG
22. EXISTING TREE TO REMAIN
23. REFURBISHED/REINSTALLED PRIVACY FENCE
24. CONCRETE BOLLARD, TYP
25. LIGHT POLE, TYP (REFER TO PHOTOMETRIC)
26. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE
27. ARTIFICIAL TURF AND EDGING (REFER TO LANDSCAPE)

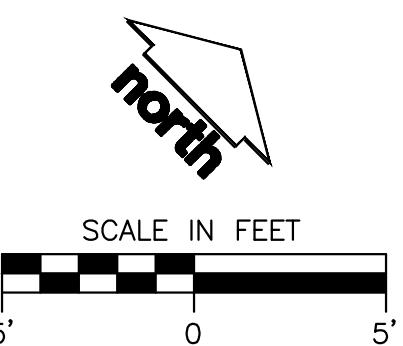
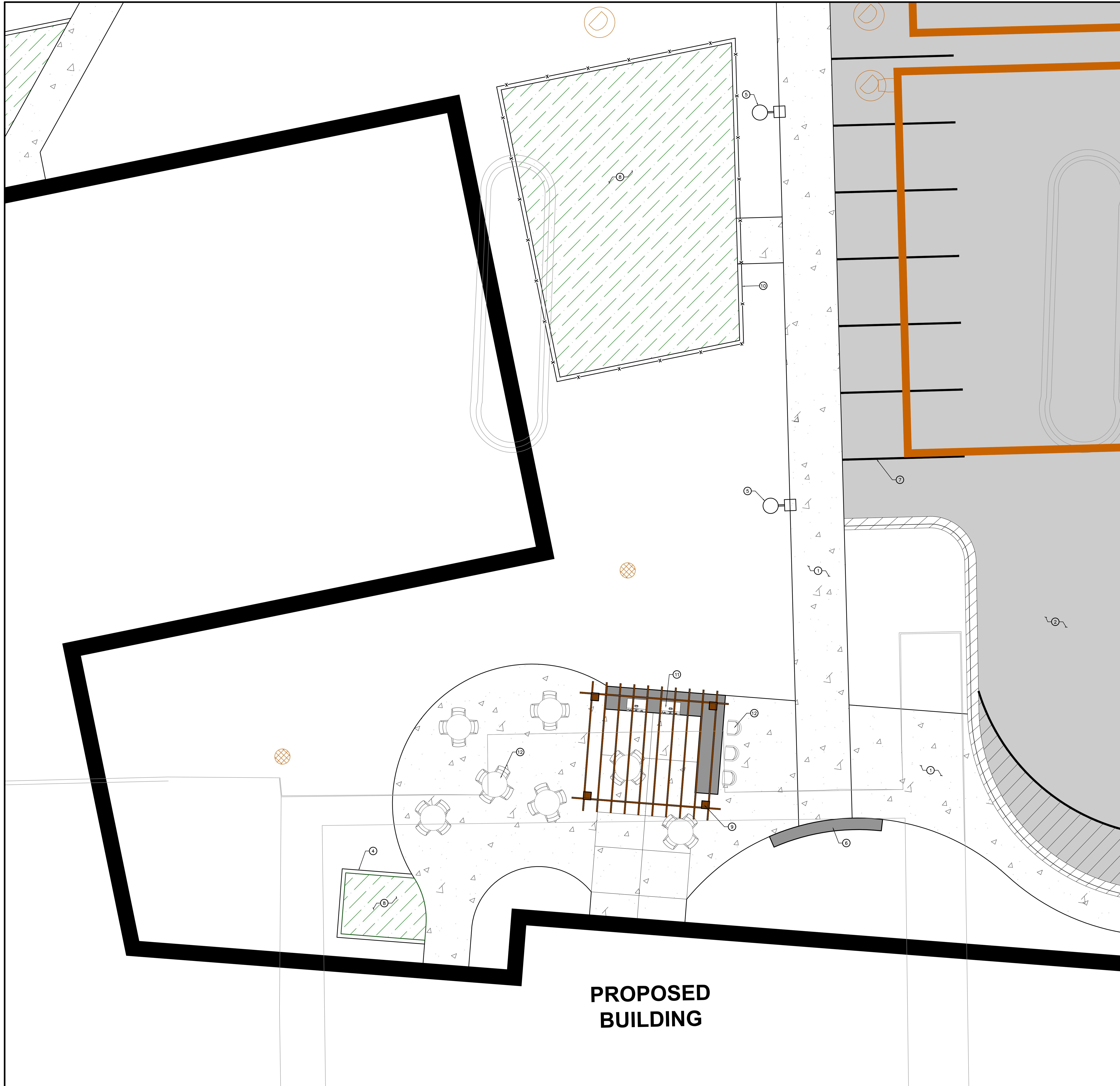
SITE INFORMATION BLOCK	
PROPERTY ACREAGE	2.208 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	254,903 SF
GROSS BUILDING SQUARE FOOTAGE	254,903 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	49
ACCESSIBLE	4
TOTAL SURFACE	53
UNDERGROUND	
LARGE	87
ACCESSIBLE	2
TOTAL UNDERGROUND	89
NUMBER OF BICYCLE STALLS:	
SURFACE	26
UNDERGROUND	192
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	66,263 SF
EXISTING PERVIOUS SURFACE AREA	29,898 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.689
PROPOSED IMPERVIOUS SURFACE AREA	69,424 SF
PROPOSED PERVIOUS SURFACE AREA	26,737 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.72

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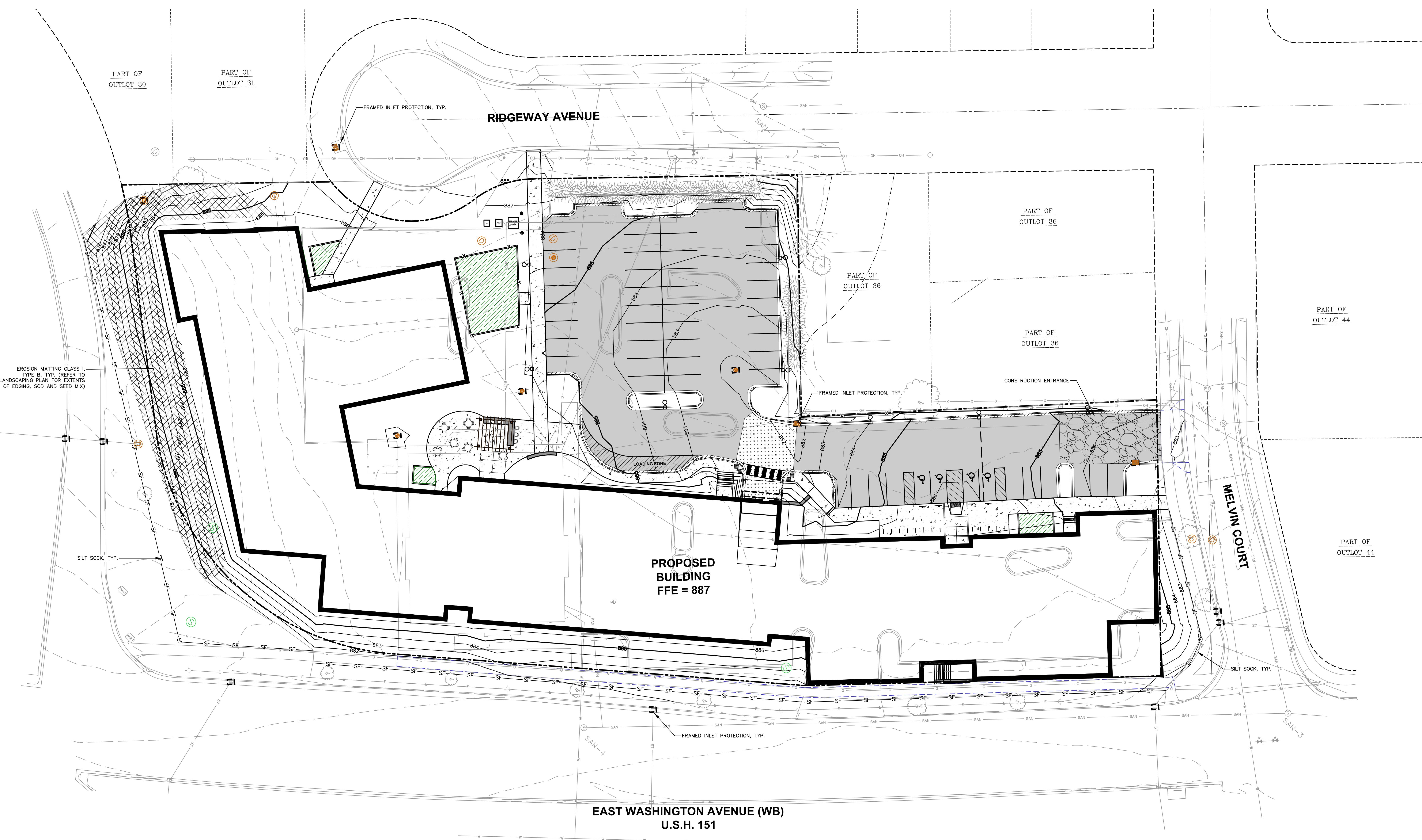
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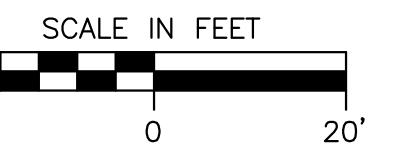
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DRAWN BY _____ Author _____
CHECKED BY _____ Checker _____

**GRADING AND
EROSION CONTROL**

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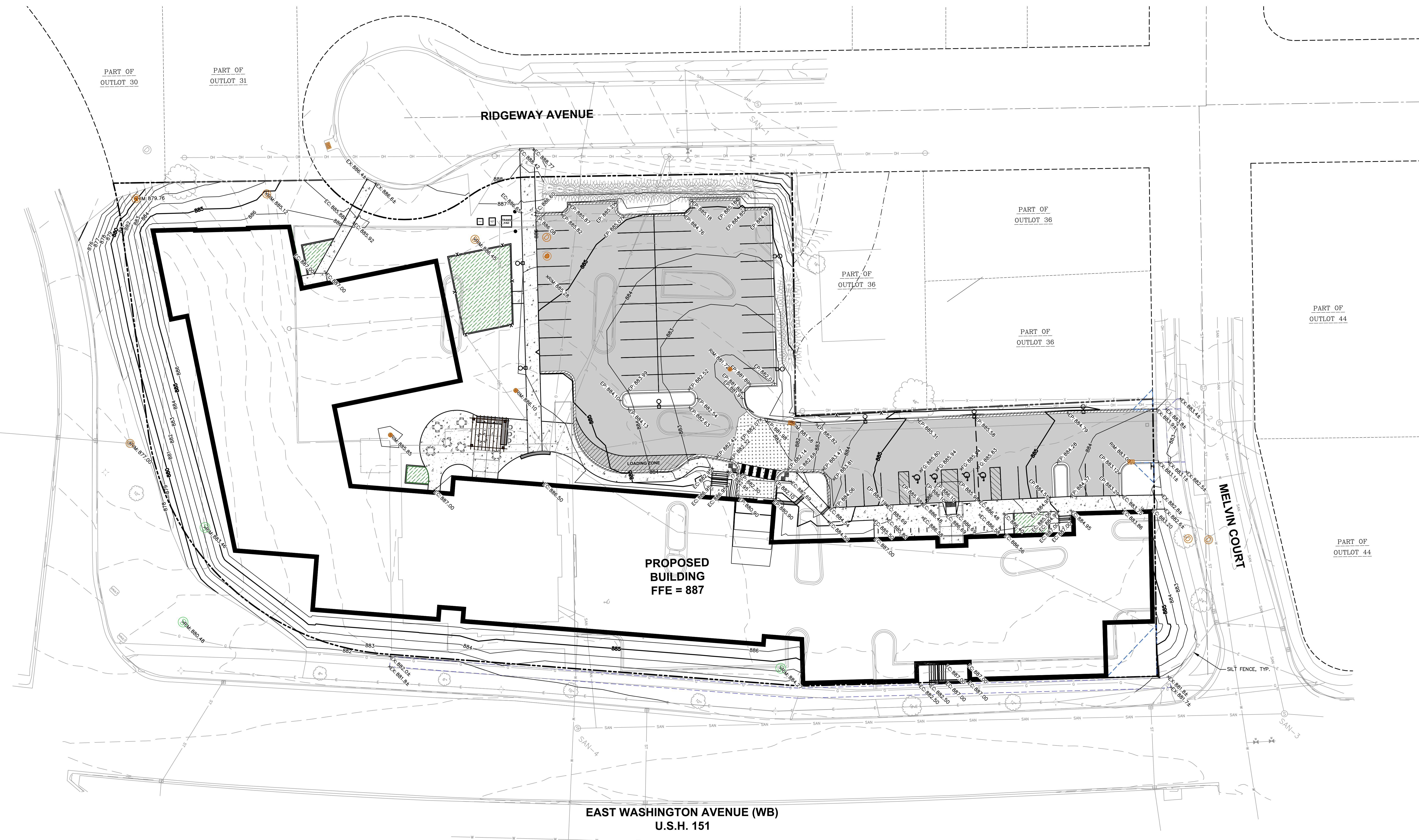
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SCALE IN FEET
20' 0' 20'



C401

3100 EAST WASHINGTON

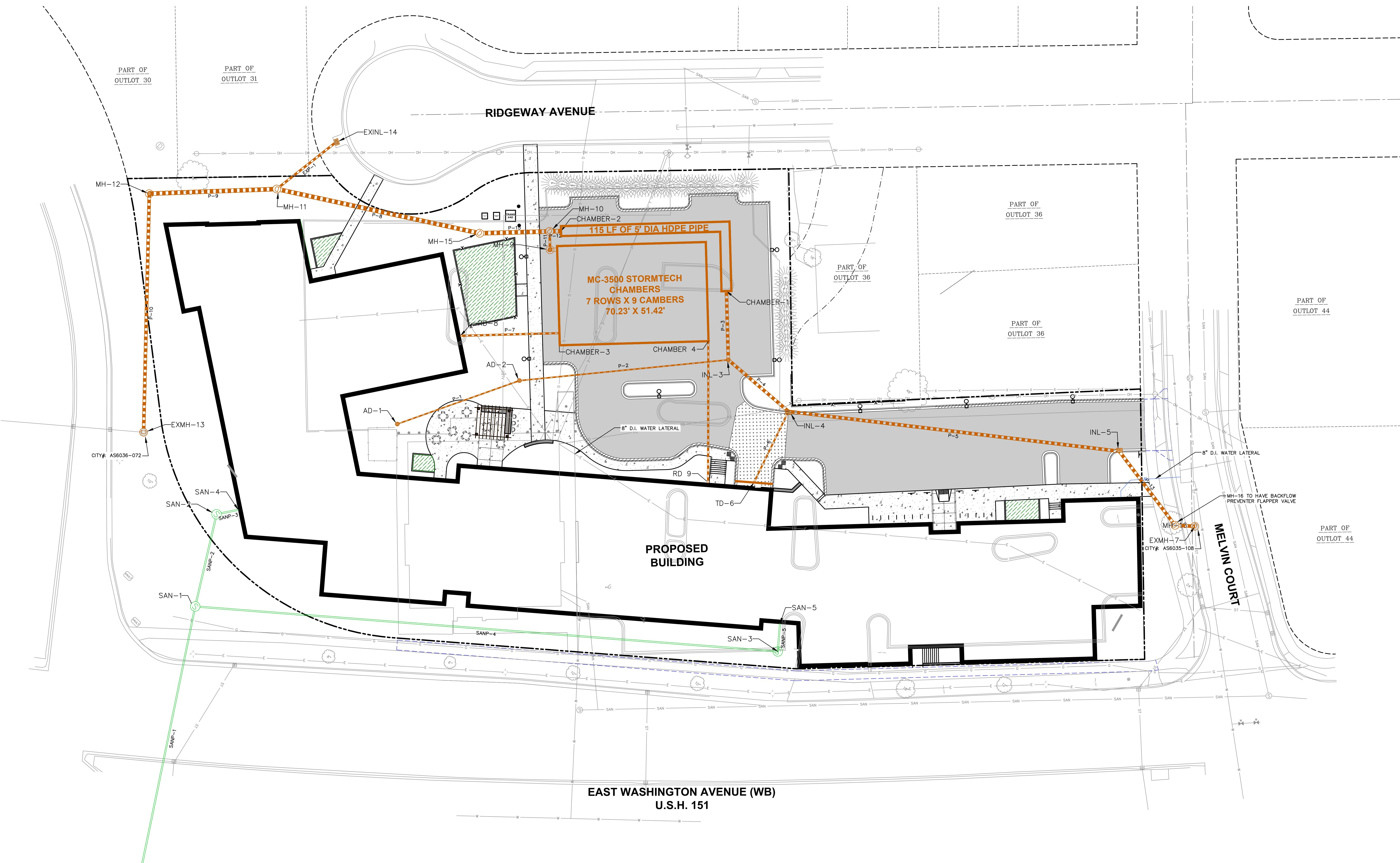
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PROPOSED STORM SEWER STRUCTURE TABLE

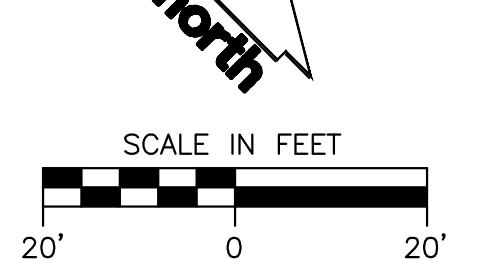
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
AD-1	885.85	NE INV: 879.45 (6") NW INV: 871.48 (8") SE INV: 871.48 (8")	6.4	12 IN DB	Standard Standard
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R-2050 TYPE D
EXMH-13	883.16	SW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID
INL-3	881.72	SW INV: 877.64 (6") E INV: 877.64 (6") W INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L
MH-9	885.52	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (24")	8.0	36 IN MH (FLAT)	R-2050 TYPE D
MH-10	885.73	SW INV: 875.92 (24") NE INV: 875.92 (24") SE INV: 875.92 (24")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID
MH-11	885.12	NE INV: 875.92 (24") NW INV: 875.92 (24") SE INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID
MH-12	879.76	NE INV: 875.25 (24") SW INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
MH-16	884.03	W INV: 878.45 (18") SW INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D
TD-6	881.14	N INV: 877.92 (8")	1.2	10'X16' TRENCH	GRATE COVER

PROPOSED STORM SEWER PIPE TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
EXP-1	MH-11	EXNL-14	38'	881.55	883.66	5.55%	12 IN RCP
P-1	AD-2	AD-1	65'	878.82	879.45	0.96%	6 IN HDPE
P-2	INL-3	AD-2	106'	877.64	878.82	1.12%	6 IN HDPE
P-3	CHAMBER-1	INL-3	35'	877.50	877.64	0.40%	18 IN HDPE
P-4	INL-4	INL-4	40'	877.76	877.64	0.30%	18 IN HDPE (HP)
P-5	INL-4	TD-6	40'	877.76	877.92	0.40%	8 IN HDPE
P-6	INL-4	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-7	CHAMBER-3	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-8	MH-11	MH-15	105'	878.92	877.01	1.04%	24 IN RCP
P-9	MH-12	MH-11	64'	875.25	875.92	1.04%	24 IN RCP
P-10	EXMH-13	MH-12	120'	874.00	875.25	1.04%	18 IN RCP
P-11	MH-10	MH-9	9'	877.50	877.50	0.00%	12 IN HDPE
P-12	MH-10	CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE
P-13	MH-16	INL-5	47'	878.45	880.50	4.39%	18 IN HDPE
P-14	MH-16	EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE
P-15	MH-10	MH-15	35'	877.50	875.50	5.67%	24 IN RCP
P-16	MH-16		71'	878.50	877.50	1.40%	10 IN HDPE

THE PUBLIC RIGHT-OF-WAY IS THE SOLE PROPERTY OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE CONSIDERED PART OF THE PROPOSED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



DRAWN BY _____ Author _____

CHECKED BY _____ Checker _____

UTILITY PLAN

C500

PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN-1	876.08	NE INV: 871.48 (8") NW INV: 871.48 (8") SE INV: 871.48 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-2	876.58	NE INV: 871.98 (8") SE INV: 871.98 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-3	879.15	NW INV: 874.54 (8") SW INV: 874.54 (8")	4.6	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE					
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)
SANP-1	SAN-1	135'	868.66	871.48	2.08%
SANP-2	SAN-1	SAN-2	48'	871.48	871.98
SANP-3	SAN-2	SAN-4	11'	871.98	872.10
SANP-4	SAN-1	SAN-3	294'	871.48	874.54
SANP-5	SAN-3	SAN-5	14'	874.54	874.69

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS

INSTALLATION INSTRUCTIONS:

1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE
2. LOAD FILTER BAG AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
3. DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

Maintenance Guidelines:

1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
2. REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER BAG OUT OF THE DRAINAGE STRUCTURE
3. DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

(HB) HYBRID FILTER BAG SPECIFICATIONS:

CATCH-IT INLET FILTER (Temporary Inlet Protection)					
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)
3067	Curb Box	35.25 x 17.75	33.5 x 15.0	4.4	2.0
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1
3030	Square/Rect (SQ)	23 x 16	20.5 x 15.5	1.6	0.7
3087-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0
R-2501	Round (RD)	>26	>24	2.3	0.8
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6
				4.6	62MRD22HB

TEMPORARY FRAMED INLET PROTECTION

N.T.S. REV. 7-01-2019

FLEXSTORM
CATCH IT

TRENCH DETAIL

SILT FENCE

N.T.S. REV. 11-19-2018

EROSION MATTING

N.T.S. REV. 11-19-2018

GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHOULD NOT BE EXCAVATED MIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN & 3-FEET FOR NON-WOVEN)

GENERAL NOTES:

1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

GENERAL NOTES:

1. APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS BY TAKING THE DBH (DIAMETER IN INCHES AT BREAST HEIGHT (DBH)), THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.
2. EXAMPLE: DBH = 8 inches
8 x 1.5 = 12 inches
CRITICAL ROOT RADIUS = 12 feet
3. DBH x 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES
4. OR
DBH x 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES
5. PROTECTED ROOT ZONE (PRZ) = DBH x 1.5 = 12 feet
6. DRIPLINE = 4.5 feet

GENERAL NOTES:

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" x 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

FIBER SILT SOCK

N.T.S. REV. 12-7-2018

CONSTRUCTION ENTRANCE

N.T.S. REV. 12-10-2018

NOTE:

1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

NOTE:

CONTRACTOR TO VERIFY LOCATION WITH OWNER.

SILT FENCE ALONG SLOPES & OUTFALLS

TRENCH DETAIL

SILT FENCE TIE BACK

SILT FENCE

ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

BERM

GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHOULD NOT BE EXCAVATED MIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
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5. ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

DRAWN BY _____
CHECKED BY _____
Author
Checker

DETAILS - EROSION CONTROL

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE

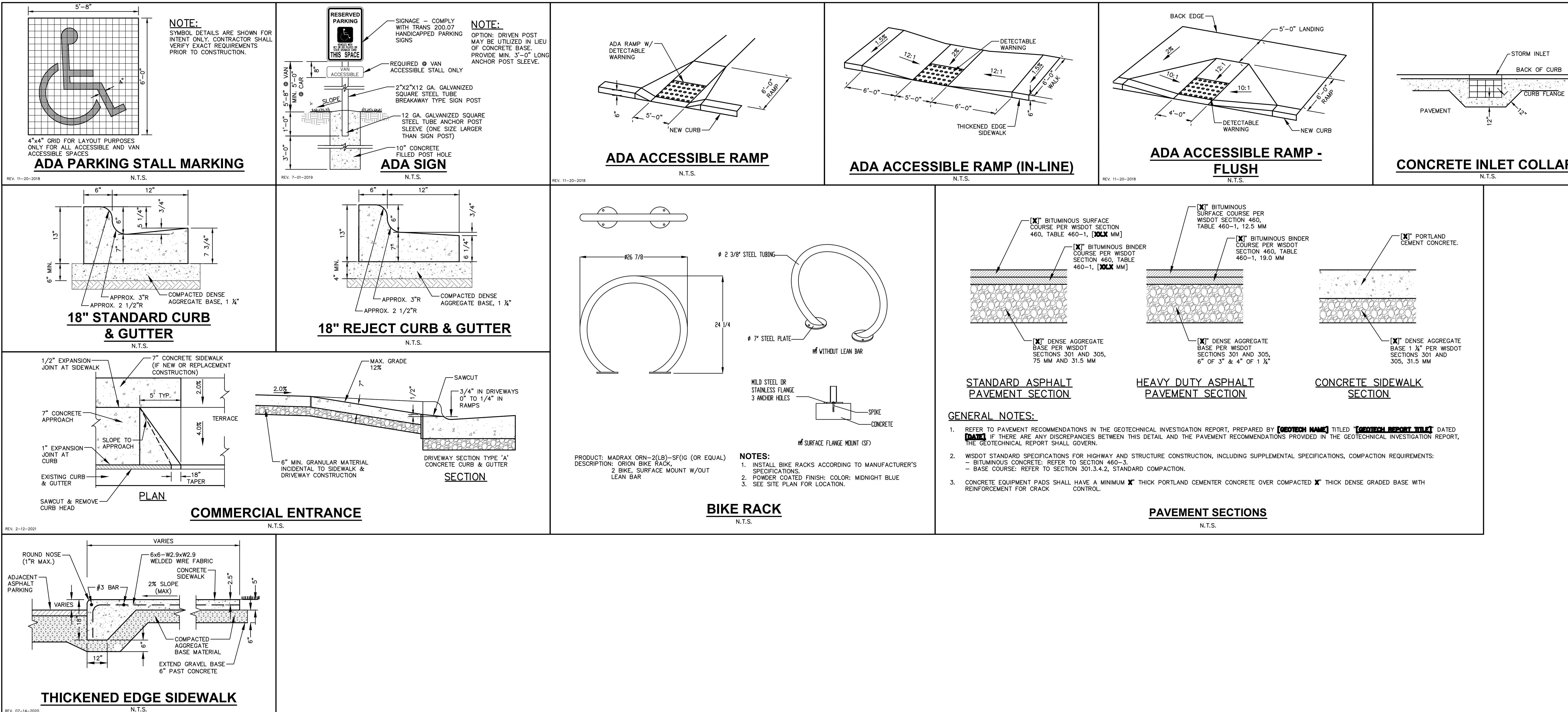
MAIDISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 60TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION
08/07/23

REVISION FOR:
NO. DESCRIPTION DATE



DRAWN BY _____
CHECKED BY _____
Author
Checker

DETAILS - SITE

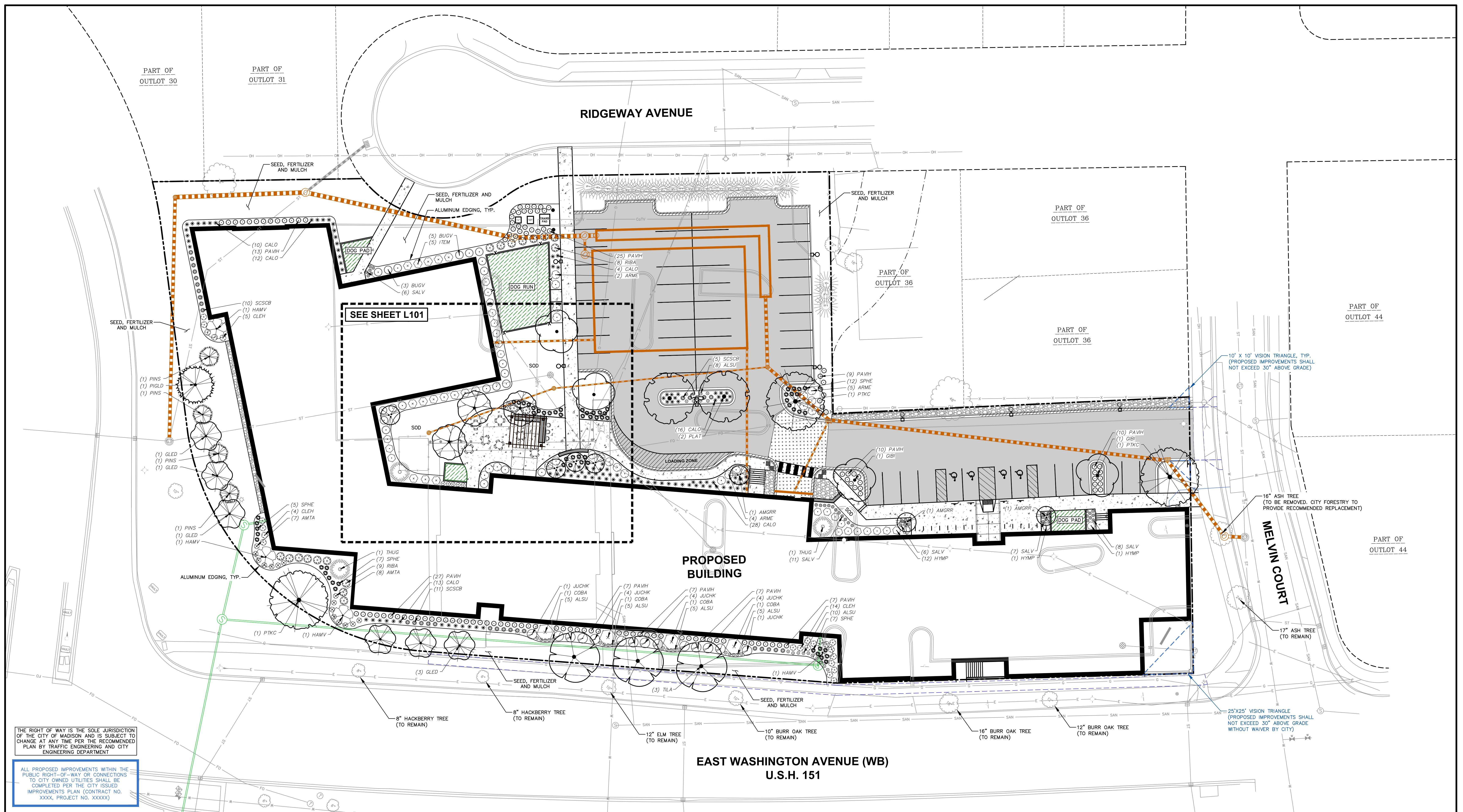
3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MAIDISON, WI 53704

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4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
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ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE


PLANT SCHEDULE					
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	PIGLD	<i>Picea glauca 'Densata'</i> Black Hills Spruce	B & B	5 ft tall min.	1
	PINS	<i>Pinus cembra</i> 'Short Stufi' Short Stufi Swiss Stone Pine	B & B	5' tall	4
ORNAMENTAL TREES					
	AMGR	<i>Amelanchier x grandiflora</i> 'Robin Hill' (Multi-Stem) Robin Hill Apple Serviceberry	B & B	6' tall (Multi-Stem)	7
	CARC	<i>Carpinus caroliniana</i> 'J.N. Select A' Fire King™ American Hornbeam	B & B	2"Cal	3
OVERSTORY DECIDUOUS TREES					
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B	2.5"Cal	4
	GLED	<i>Gleditsia triacanthos inermis</i> 'Draves' Street Keeper® Honey Locust	B & B	2.5"Cal	6
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree	B & B	2.5"Cal	3
	PLAT	<i>Platanus x acerifolia</i> 'Morton Circle' TM Exclamation London Plane Tree	B & B	2.5"Cal	2
	TILA	<i>Tilia americana</i> 'Kromm' Sweet Street™ American Linden	B & B	2.5"Cal	3

DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ARME	<i>Aronia melanocarpa</i> 'Morton' TM Iroquois Beauty Black Chokeberry	#3	Min. 12"-24"	23
	CLEH	<i>Clethra alnifolia</i> 'Hummingbird' Hummingbird Summersweet	#3	Min. 12"-24"	23
	COBA	<i>Cornus alnifolia</i> Bailey's Red-twig Dogwood	#5	36" Ht.	4
	HAMV	<i>Hamamelis vernalis</i> Ozark Witchhazel	#5	Min. 36" tall	4
	HYMP	<i>Hydrangea macrophylla</i> 'PILHIM-II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
	ITEM	<i>Itea virginica</i> 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15
	RIBA	<i>Ribes alpinum</i> 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood	#3	Min. 24"	21
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kalkars Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14
	THUG	<i>Thuya x 'Green Giant'</i> Green Giant Arborvitae	B & B	Min. 6' tall	3
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSU	<i>Allium x 'Summer Beauty'</i> Summer Beauty Allium	#1	Min. 8"-18"	38
	AMTA	<i>Amsone tabernamontana</i> 'Storm Cloud' Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15

	Calo	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	#1	Min 8"-18"	112
	LIGS	<i>Ligularia stenocephala</i> 'Little Rocket' Little Rocket Ligularia	#1	Min. 8"-18"	8
	PAVIH	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Switch Grass	#1	Min. 12"-24"	122
	SALV	<i>Salvia nemorosa</i> 'Neonmonarc' Marcus® Meadow Sage	#1	Min 8"-18"	38
	SCSCB	<i>Schizachyrium scoparium</i> 'MinnblueA' Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1	Min. 8"-18"	62

LEGEND

	PROPERTY LINE		SANITARY SEWER
	RIGHT-OF-WAY		WATERMAIN
	EASEMENT LINE		STORM SEWER
	BUILDING OUTLINE		EXISTING SANITARY SEWER
	EDGE OF PAVEMENT		EXISTING WATERMAIN
	REJECT CURB AND GUTTER		EXISTING STORM SEWER
	STANDARD CURB AND GUTTER		FENCE
	ASPHALT PAVEMENT		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	HEAVY DUTY CONCRETE PAVEMENT		ADA PARKING SIGN
	CONCRETE PAVEMENT		BOLLARD
	DECORATIVE STONE MULCH		BIKE RACK
	ALUMINUM EDGING		KAFKA GRANITE AGGREGATE PATH
	ARTIFICIAL TURF (SPECIFICATION TBD)		DECORATIVE STONE MULCH

CONTRACTOR NOTES

- ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED (SEE L200 MATERIAL NOTES)
- ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED (SEE L200 SEEDING NOTES)

DRAWN BY **MRA**

CHECKED BY **KJY**

OVERALL LANDSCAPE PLAN

SCALE IN FEET
20' 0' 20'

L100

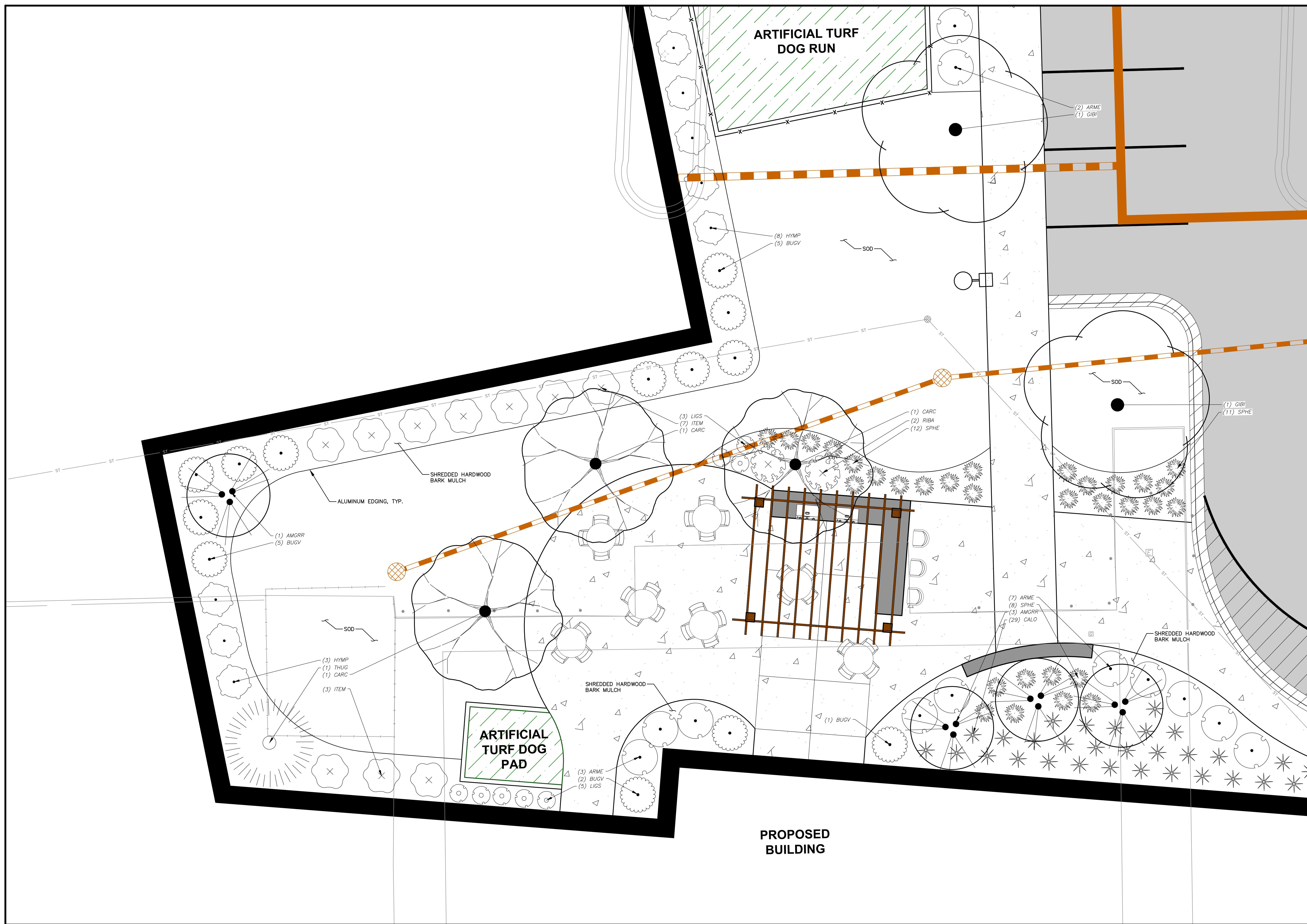
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OWNER
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ISSUED FOR:
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08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

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	PINS	<i>Pinus cembra 'Short Stuff'</i> Short Stuff Swiss Stone Pine	B & B	5' Tall	4
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMGR	<i>Amelanchier x grandiflora 'Robin Hill'</i> (Multi-Stem) Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)	7
	CARC	<i>Carpinus caroliniana 'J.N. Select A'</i> Fire King™ American Hornbeam	B & B	2" Cal	3
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	GLED	<i>Gleditsia triacanthos inermis 'Droves'</i> Street Keeper® Honey Locust	B & B	2.5" Cal	6
	PTKC	<i>Gymnocladus dioica 'J.C. McDaniel'</i> TM Prairie Titan Kentucky Coffeetree	B & B	2.5" Cal	3
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	HYMP	<i>Hydrangea macrophylla 'PILHMH-1'</i> Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
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	AMTA	<i>Amsonia tabernaemontana 'Storm Cloud'</i> Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15

*	CALO	<i>Calamagrostis x acutiflora 'Overdam'</i> Overdam Feather Reed Grass	#1	Min 8"-18"	112
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	PAVIH	<i>Panicum virgatum 'Heavy Metal'</i> Heavy Metal Switch Grass	#1	Min. 12"-24"	122
	SALV	<i>Salvia nemorosa 'Haemuanarc'</i> Marcus® Meadow Sage	#1	Min 8"-18"	38
	SCSCB	<i>Schizachyrium scoparium 'MinnblueA'</i> Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1	Min. 8"-18"	62


LEGEND

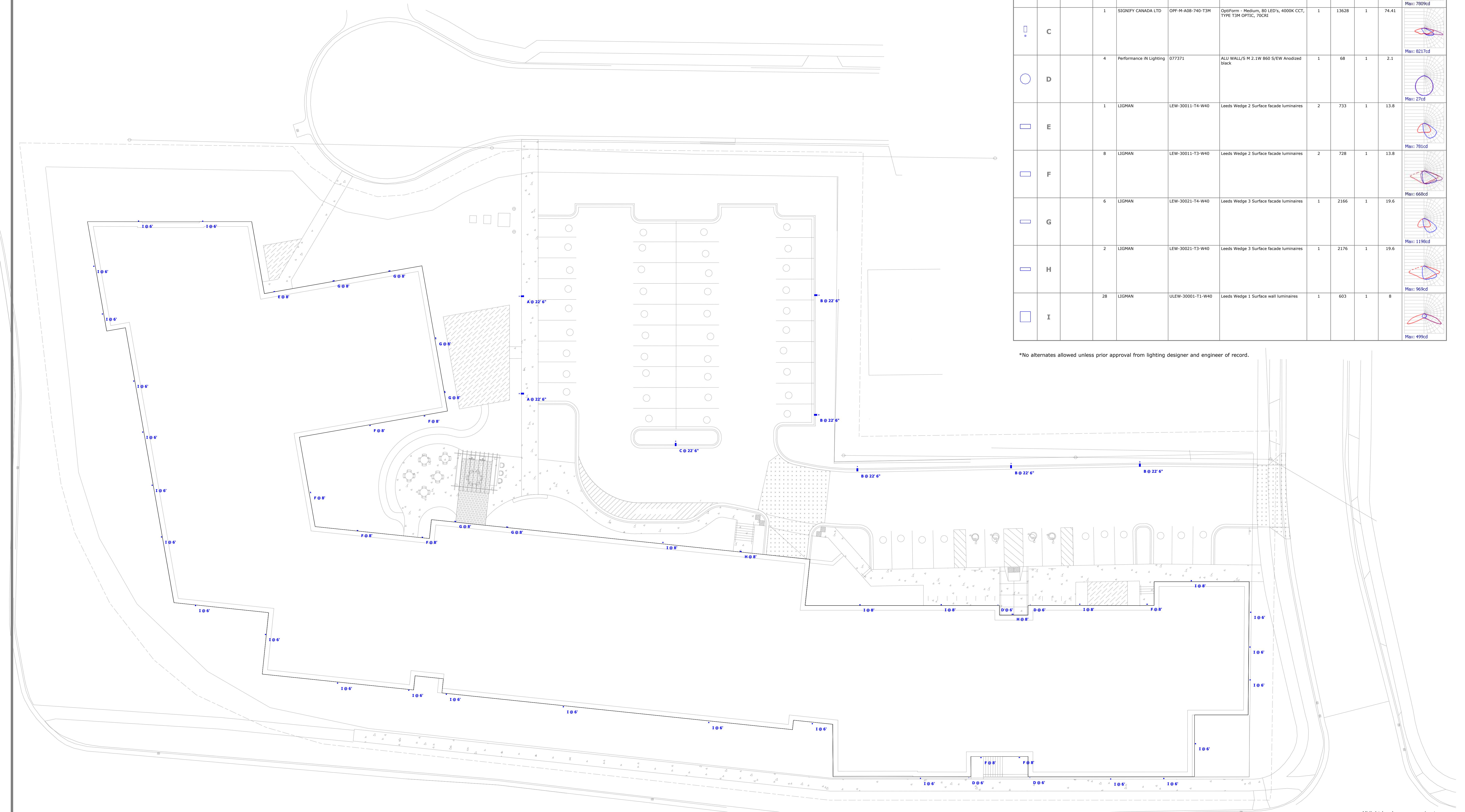
PROPERTY LINE		SANITARY SEWER
RIGHT-OF-WAY		WATERMAIN
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BUILDING OUTLINE		EXISTING SANITARY SEWER
BUILDING OVERHANG		EXISTING WATERMAIN
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STANDARD CURB AND GUTTER		FENCE
REJECT CURB AND GUTTER		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
ASPHALT PAVEMENT		ADA PARKING SIGN
CONCRETE PAVEMENT		BOLLARD
HEAVY DUTY CONCRETE PAVEMENT		BIKE RACK
PROPOSED 1 FOOT CONTOUR		ALUMINUM EDGING
PROPOSED 5 FOOT CONTOUR		KAFKA GRANITE AGGREGATE PATH
EXISTING 1 FOOT CONTOUR		ARTIFICIAL TURF (SPECIFICATION TBD)
959		DECORATIVE STONE MULCH
960		EXISTING 5 FOOT CONTOUR
959		SCALE IN FEET
960		5' 0' 5'

DRAWN BY
MRA

CHECKED BY
KJY

LANDSCAPE PLAN - COURTYARD
L101





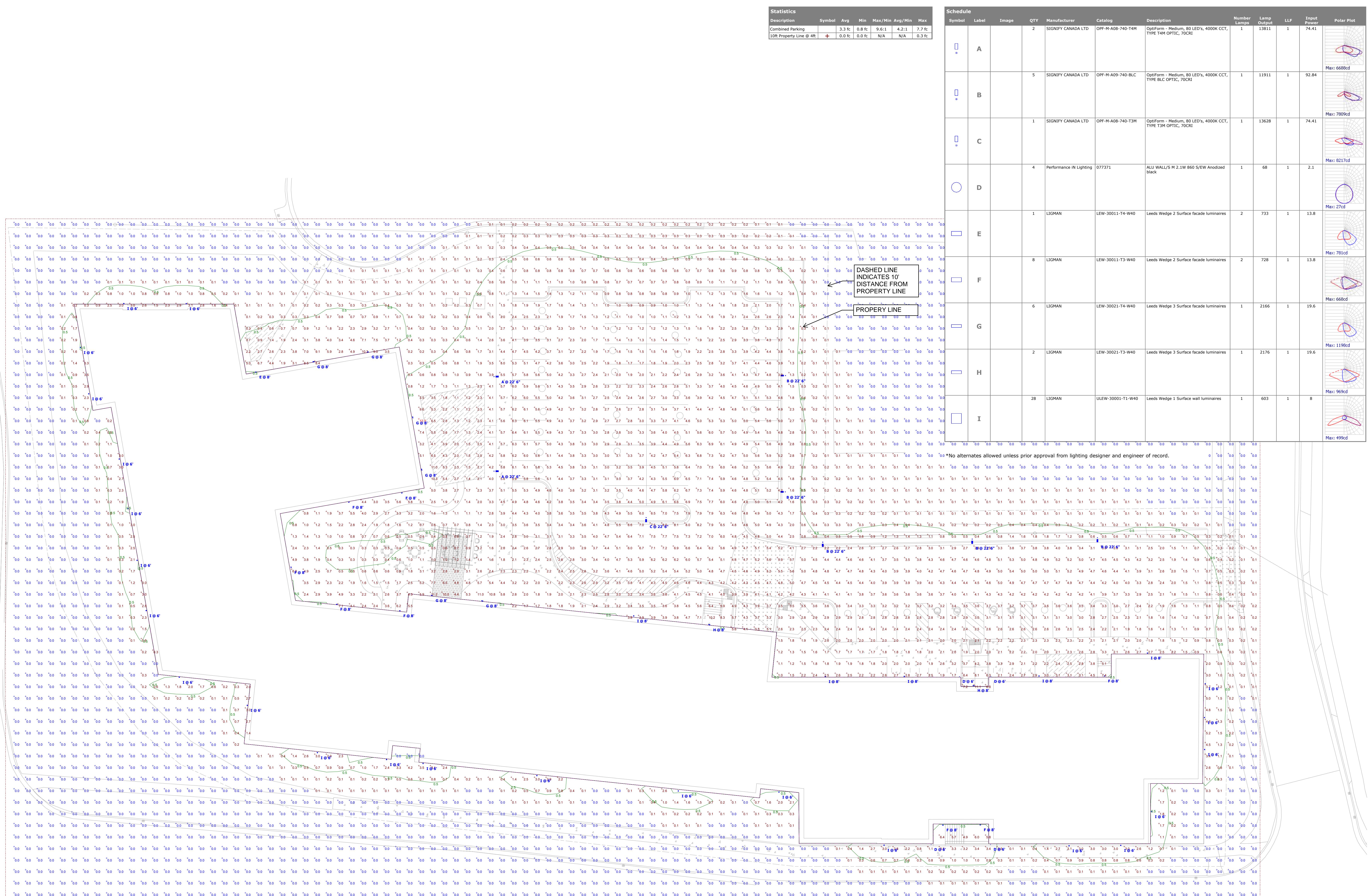
Schedule		Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
		□	A		2	SIGNIFY CANADA LTD	OPF-M-A08-740-T4H	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T4H OPTIC, 70CRI	1	13811	1	74.41	
		□	B		5	SIGNIFY CANADA LTD	OPF-M-A09-740-BLC	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	11911	1	92.84	
		□	C		1	SIGNIFY CANADA LTD	OPF-M-A08-740-T3M	OptiForm - Medium, 80 LED's, 4000K CCT, TYPE T3M OPTIC, 70CRI	1	13628	1	74.41	
		○	D		4	Performance IN Lighting	077371	ALU WALL/S M 2.1W 860 S/EW Anodized black	1	68	1	2.1	
		□	E		1	LIGMAN	LEW-30011-T4-W40	Leeds Wedge 2 Surface facade luminaires	2	733	1	13.8	
		□	F		8	LIGMAN	LEW-30011-T3-W40	Leeds Wedge 2 Surface facade luminaires	2	728	1	13.8	
		□	G		6	LIGMAN	LEW-30021-T4-W40	Leeds Wedge 3 Surface facade luminaires	1	2166	1	19.6	
		□	H		2	LIGMAN	LEW-30021-T3-W40	Leeds Wedge 3 Surface facade luminaires	1	2176	1	19.6	
		□	I		28	LIGMAN	ULEW-30001-T1-W40	Leeds Wedge 1 Surface wall luminaires	1	603	1	8	

*No alternates allowed unless prior approval from lighting designer and engineer of record.

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and other factors.
Calculations are based on our interpretation of information provided to us.
This design remains the property of Spectrum Lighting and may not be altered without written permission.

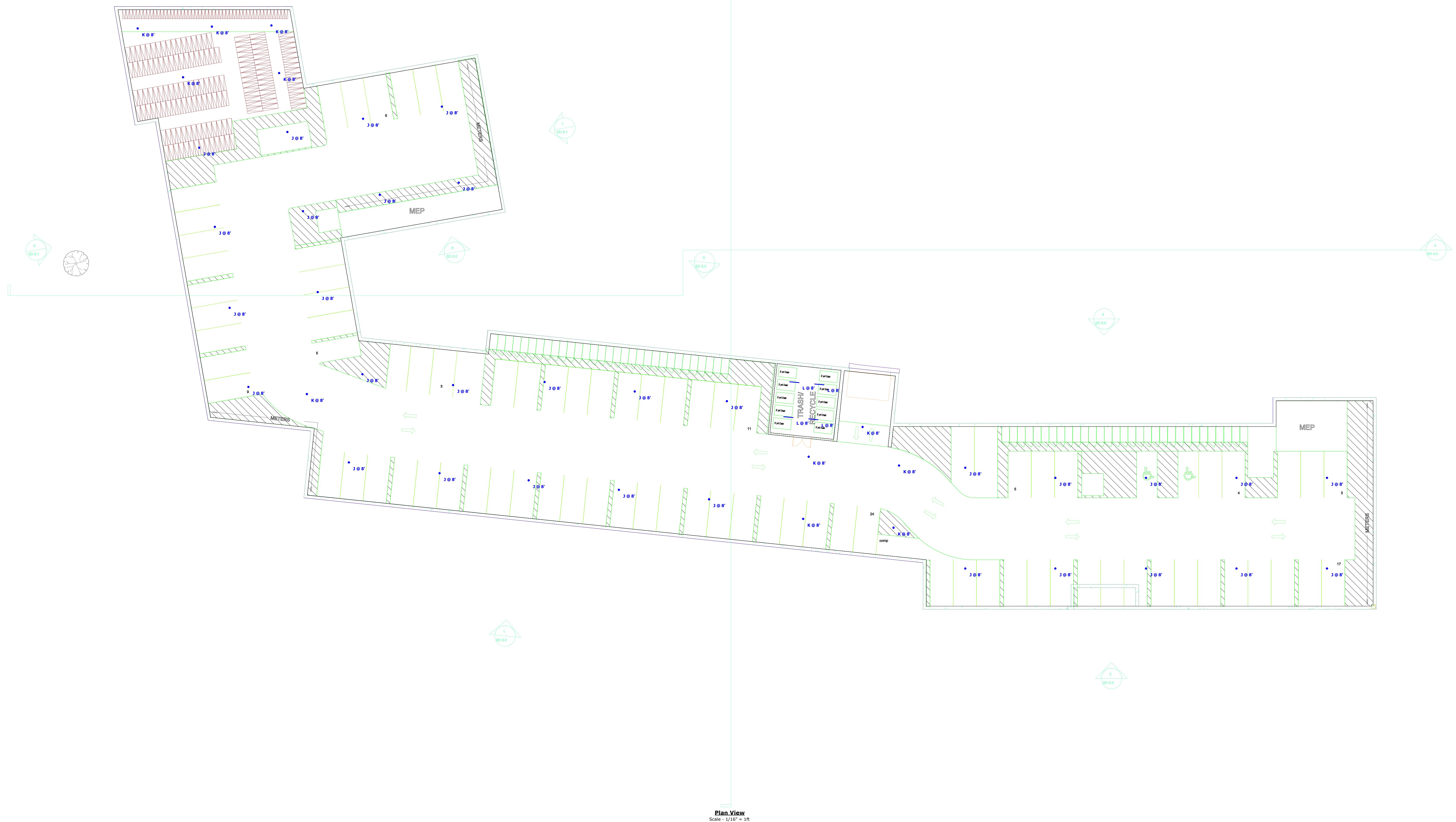


Designer
BGG
Date
08/02/2023
Scale
Not to Scale
Drawing No.
Summary



All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/20/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
This design remains the property of Spectrum Lighting and may not be altered without written permission.





Plan View

Scale - 1/16" = 1ft

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	J		31	GARDO	SVPG-A03-840-G2-SR	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 800R / 5000K 700R	1	5995	1	52	 Max: 1612cd
○	K		11	GARDO	SVPG-A02-840-G2-SR	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE SRD OPTIC, 3000K & 4000K 800R / 5000K 700R	1	4153	1	36	 Max: 1117cd
	L		4	DAY-BRITE / CFI	FSSE2440L840-UNV-DIM	4' FLUXSTREAM STRIP 2-SLIMC 2.2618 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	 Max: 1223cd

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances
(currently set at 80/50/20), environmental conditions, and
obstructions.
Calculations are based on our interpretation of information provided to
us.
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altered without written permission.

S P E C T R U M
lighting

Designer
BGG
Date
07/10/2023
Scale
Not to Scale
Drawing No.
Summary



Schedule						
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description
○	J		31	GARDCO	SVPG-A03-B40-G2-5AD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI
○	K		11	GARDCO	SVPG-A02-B40-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI
	L		4	DAY-BRITE / CFI	FSSE2440L840-UNV-DIM	4" FLUXSTREAM STRIP 2-SLIMC 2.26L8 4000K BOARDS 37W CERTA DRIVE

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Parking and Pedestrian	+	5.0 fc	9.0 fc	1.3 fc	6.9:1	3.8:1

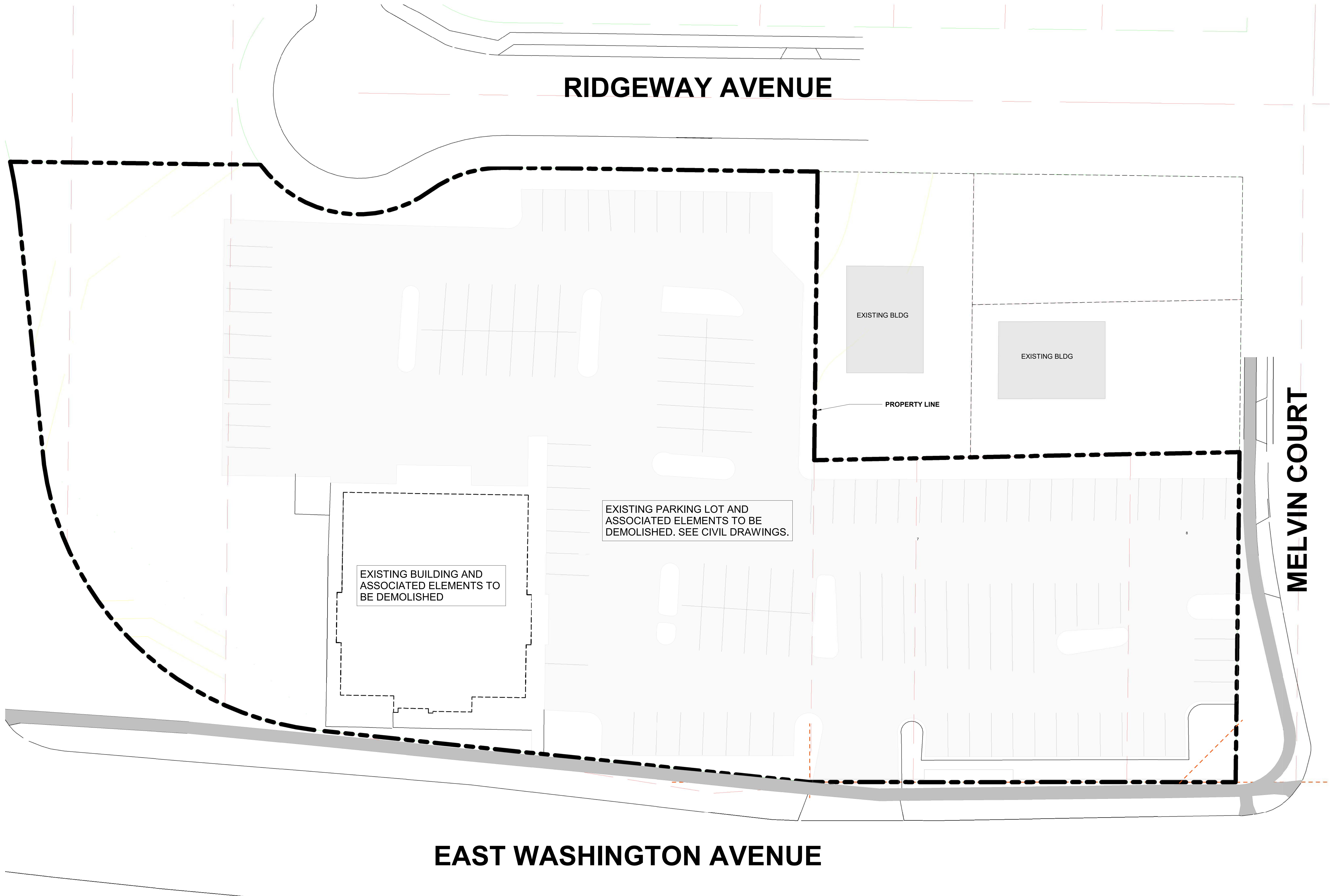
Power Statistics				
Description	# Luminaires	Total Watts	Area	Intensity
Power Density Zone # 1	42	2008.0 W	40778.4 ft ²	0.0 W/ft ²

Plan View

Scale - 1/16" = 1ft

SPECTRUM
lighting

light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances
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3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

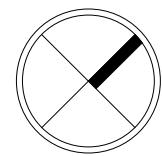
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

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CHECKED BY _____ Checker

DEMO SITE PLAN

G001

UNIT TOTALS (UNIT MIX 44.8% 1-BD & 55.2% 2-BD)							PROJECT GROSS SQUARE FOOTAGE	
	STUDIO	1BR	2BR	3BR	TOTAL			
1ST FL	0	14	17	0	31		BLDG 01	GSF / FLOOR
2ND FL	0	18	22	0	40		LL	43,374
3RD FL	0	18	22	0	40		1ST FL	42,365
4TH FL	0	18	22	0	40		2ND FL	42,291
5TH FL	0	18	23	0	41		3RD FL	42,291
SUBTOTAL	0	86	106	0			4TH FL	42,291
TOTAL					192		5TH FL	42,291
PARKING TOTALS (UNIT TO STALL RATIO 1:0.74)				BIKE PARKING				
LOWER LEVEL		89		192				
SURFACE		53		26 GUEST SPACES				
TOTAL		142						254,903 GSF

GENERAL NOTES - ZONING

CITY OF MADISON

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER ZONING	89 (LOWER LEVEL) 53 (SURFACE)	
		142	
BIKE PARKING	1 PER BEDROOM (UP TO 2BD) + 1 GUEST SPACE PER 10 UNITS	192 LONG TERM 26 GUEST	
		218	
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 10%	14 EV READY	TOTAL PARKING SPACES: 17
	EV INSTALLED SPACES: 2%	3 EV INSTALLED	1 EV INSTALLED SPACE TO BE ACCESSIBLE
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 281 28.129	ALL GLAZING PANELS ARE UNDER 50 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

GENERAL NOTES - ZONING

CITY OF MADISON

1. COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT
2. TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	500 SQ. FT./ UNIT	501 SQ. FT./ UNIT	PER CCT DISTRICT
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	190.87 LENGTH
FRONT YARD SETBACK	0' (CCT DISTRICT) 30% OF FACADE @ 20 FT.(TOD)	18' (E. WASHINGTON) 0' (30% OF E. WASH & MELVIN)	MAJORITY OF E. WASHINGTON IS FROM PROPERTY LINE. PROPERTY LINE IS >15' FROM STREET
SIDE YARD SETBACK	10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LO
REAR YARD SETBACK	20 FT	20'-0"	RIDGEWAY AVEN
MAXIMUM LOT COVERAGE	85% (MAX.)	44%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	5 STORIES	5 STORIES	PER CCT
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED PER CCT: 40 SF/UNIT (40*192= 7,680 SF)	GRADE LEVEL >9500 SQ FT	192 UNITS

RIDGEWAY AVENUE

EAST WASHINGTON AVENUE

MELVIN COURT

RELOCATED EASEMENT, REFER TO CIVIL

REAR SETBACK 20' MIN.

SIDE SETBACK 10' MIN.

ORANGE DASHED LINE = MAX./MIN. PROPERTY SETBACK LINE

6' TALL FENCE ALONG RESIDENTIAL LOTS

TRASH AT LOWER LEVEL

RAMP DN

UP

53 PARKING SURFACE STALLS

5 STORIES

PATIO

DOG RUN

SIDE SETBACK 10' MIN.

25' VISION TRIANGLE

FRONT SETBACK 0'

Detailed description: This architectural site plan illustrates the layout of a residential building complex. The building is 5 stories high and features a rear setback of 20' min. and a side setback of 10' min. An orange dashed line indicates the maximum and minimum property setback lines. A 6' tall fence runs along the residential lots. The building includes 53 parking surface stalls, a patio, and a dog run. A ramp provides access to the lower level, and trash is stored at that level. The building is bounded by Ridgeway Avenue to the north and Melvin Court to the east. A 25' vision triangle is marked at the front. A green arrow points to surface-mounted bike racks. A grid diagram in the bottom right corner shows a 15' x 18' footprint. A note on the left indicates a relocated easement, refer to civil. A 15' x 18' dimension is also present on the left side.

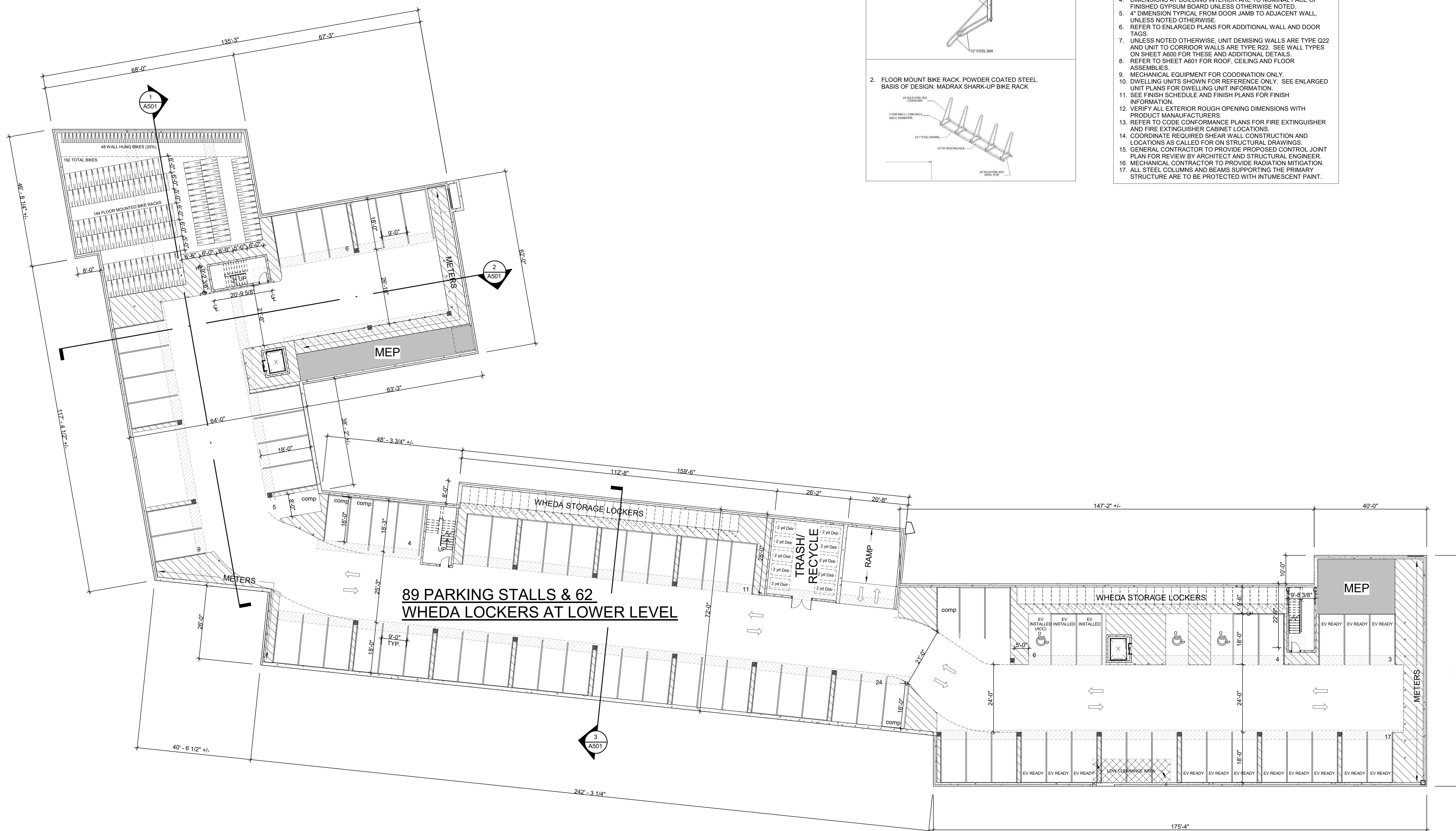
1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

ARCHITECTURAL SITE PLAN

SCALE. 1/10 = 1-0

A diagram illustrating a 16' wide area. It features a 8' wide black bar on the left and a 8' wide white bar on the right, separated by a thin white gap. The total width is 16'.

G002



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
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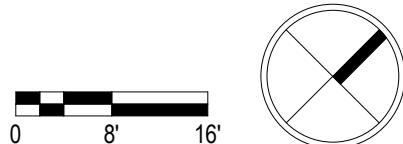
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Author
Checker

LOWER LEVEL PLAN

1 LOWER LEVEL PLAN
SCALE: 1/16" = 1'-0"



GENERAL NOTES - FLOOR PLANS

1. 887'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

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BEAR DEVELOPMENT
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PROJECT NUMBER 2336

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NO.	DESCRIPTION	DATE

A scale bar at the bottom left shows 8' and 16' increments. To its right is a circle divided into four quadrants, with a thick black diagonal line from the bottom-right to the top-left.

1 LEVEL ONE
SCALE: 1/16" = 1'-0"

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

GENERAL NOTES - FLOOR PLANS

- 88'-0" CIVIL = 100'-0" ARCHITECTURAL
- DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY
- DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF VENEER
- DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARDS UNLESS OTHERWISE NOTED
- 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE
- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS
- UNLESS NOTED OTHERWISE, UNIT DIVIDING WALLS ARE TYPE Q22 AND WALLS IN CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS
- REFER TO SHEET A601 FOR ROOF, CEILINGS AND FLOOR ASSEMBLIES
- HEATING, VENTILATION, EQUIPMENT FOR COORDINATION ONLY
- DWELLING UNITS SHOWN FOR COORDINATION ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION
- SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION
- VERIFIED ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS
- REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND SPRINKLER EXTINGUISHER PLATE LOCATIONS
- COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS
- GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLANS FOR REVIEW AND APPROVAL BY STRUCTURAL ENGINEER
- MACHINERY CONTRACTOR TO PROVIDE RADAR MITIGATION
- ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT

ISSUED FOR:
LAND USE APPLICATION 08/07/23

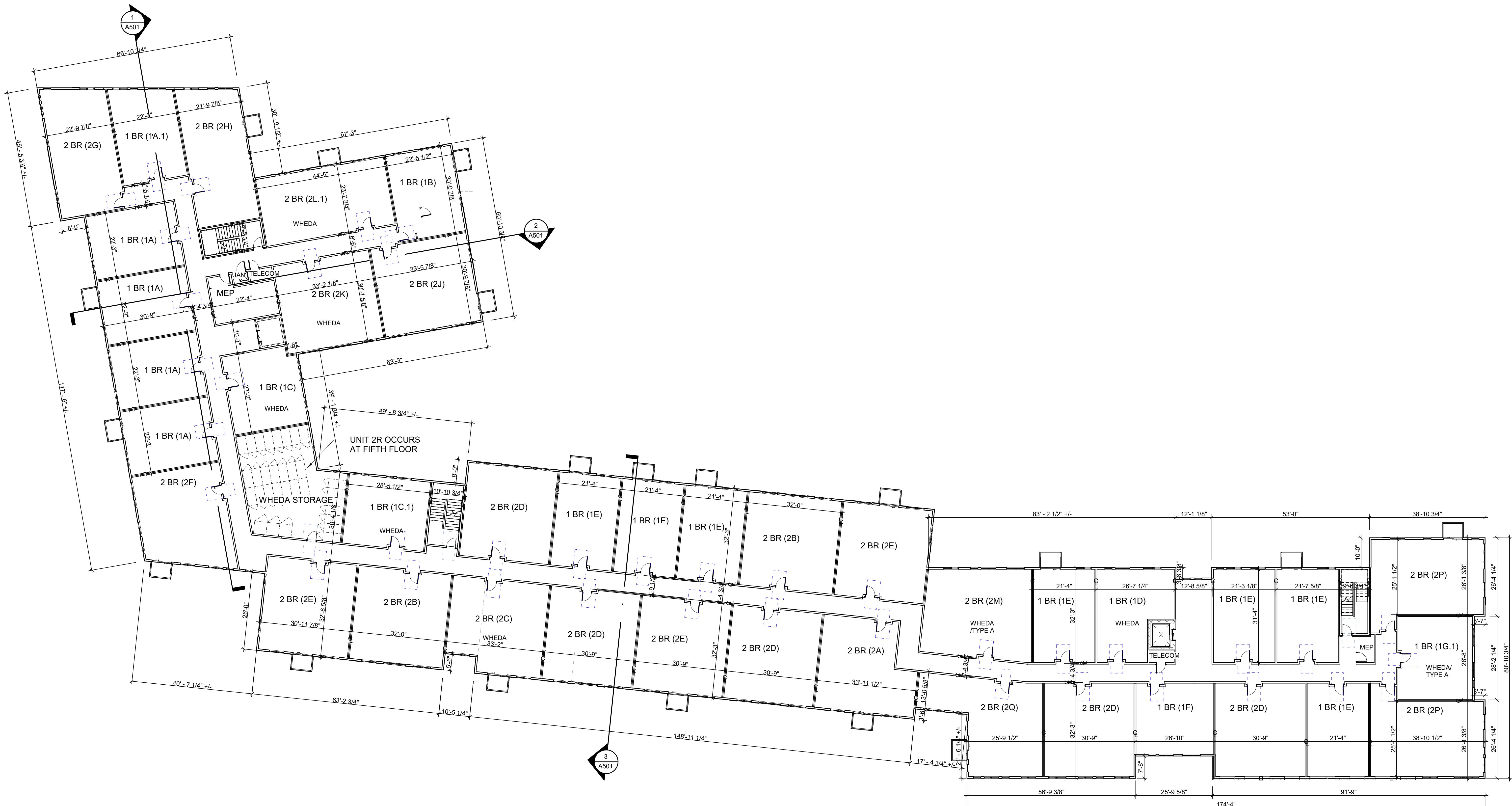
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TYPICAL FLOOR PLAN

A102

1 LEVEL TWO
SCALE: 1/16" = 1'-0"



GENERAL NOTES - ROOF PLAN

1. ALL ROOF EQUIPMENT TO BE CENTRALIZED AT THE MIDDLE OF ROOF. NOTHING TO BE LOCATED WITHIN 10 FEET OF THE ROOF EDGE. GUARDRAILS ARE REQUIRED AT ROOF EDGES WHEN MECHANICAL EQUIPMENT, HATCHES, ETC. ARE CLOSER THAN 10 FEET FROM ROOF EDGE.
2. SIDE DRAINS SHOWN AS TYPICAL.
3. ROOF DRAINS SHOWN FOR INTENT ONLY. FINAL DESIGN AND QUANTITIES TO BE PROVIDED BY DESIGN-BUILD CONTRACTOR & COORDINATED WITH ROOFER.
4. SOLAR PANELS BY OWNER.

3100 EAST WASHINGTON

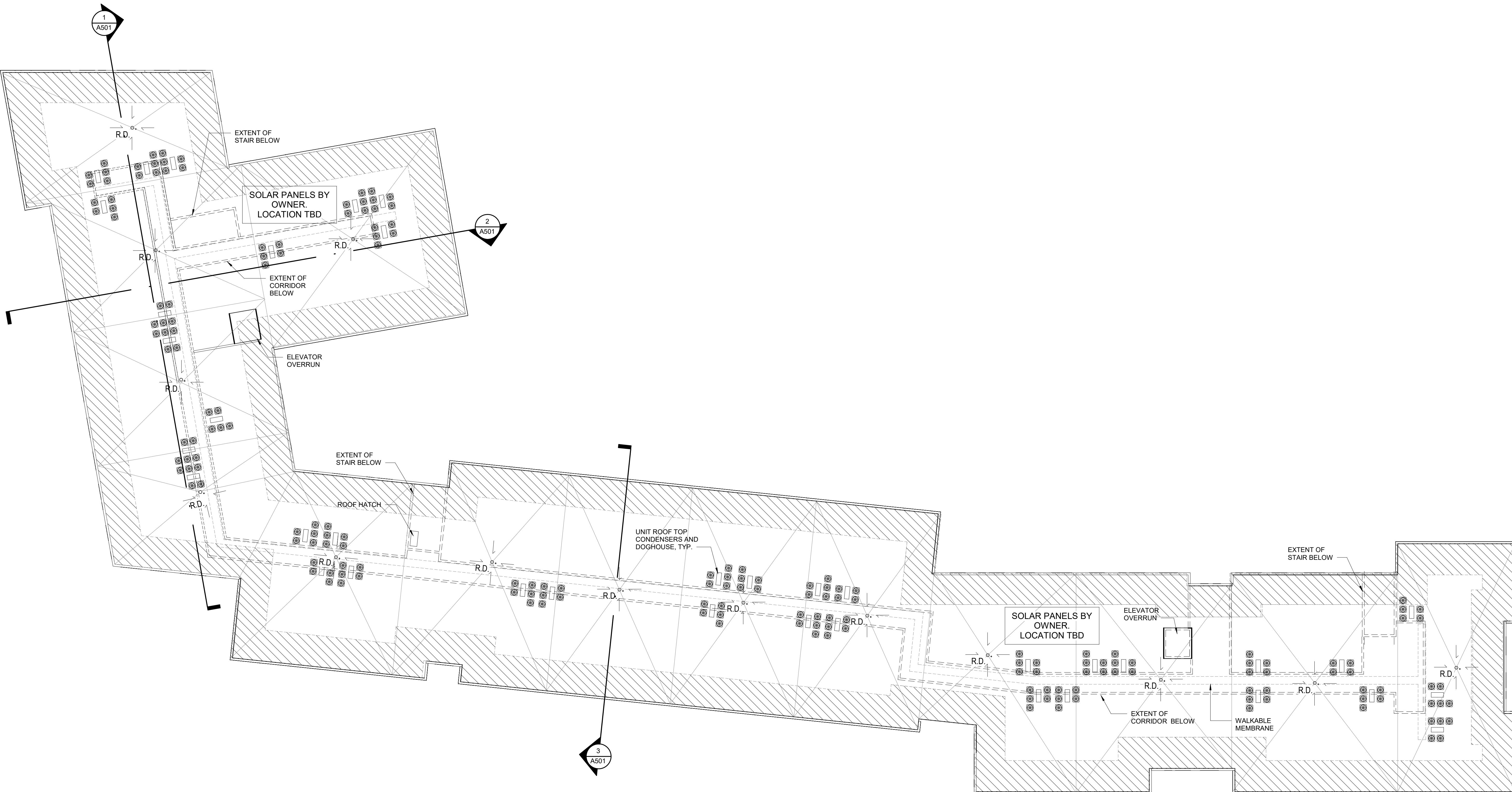
3100 E WASHINGTON AVENUE
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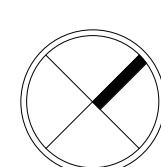
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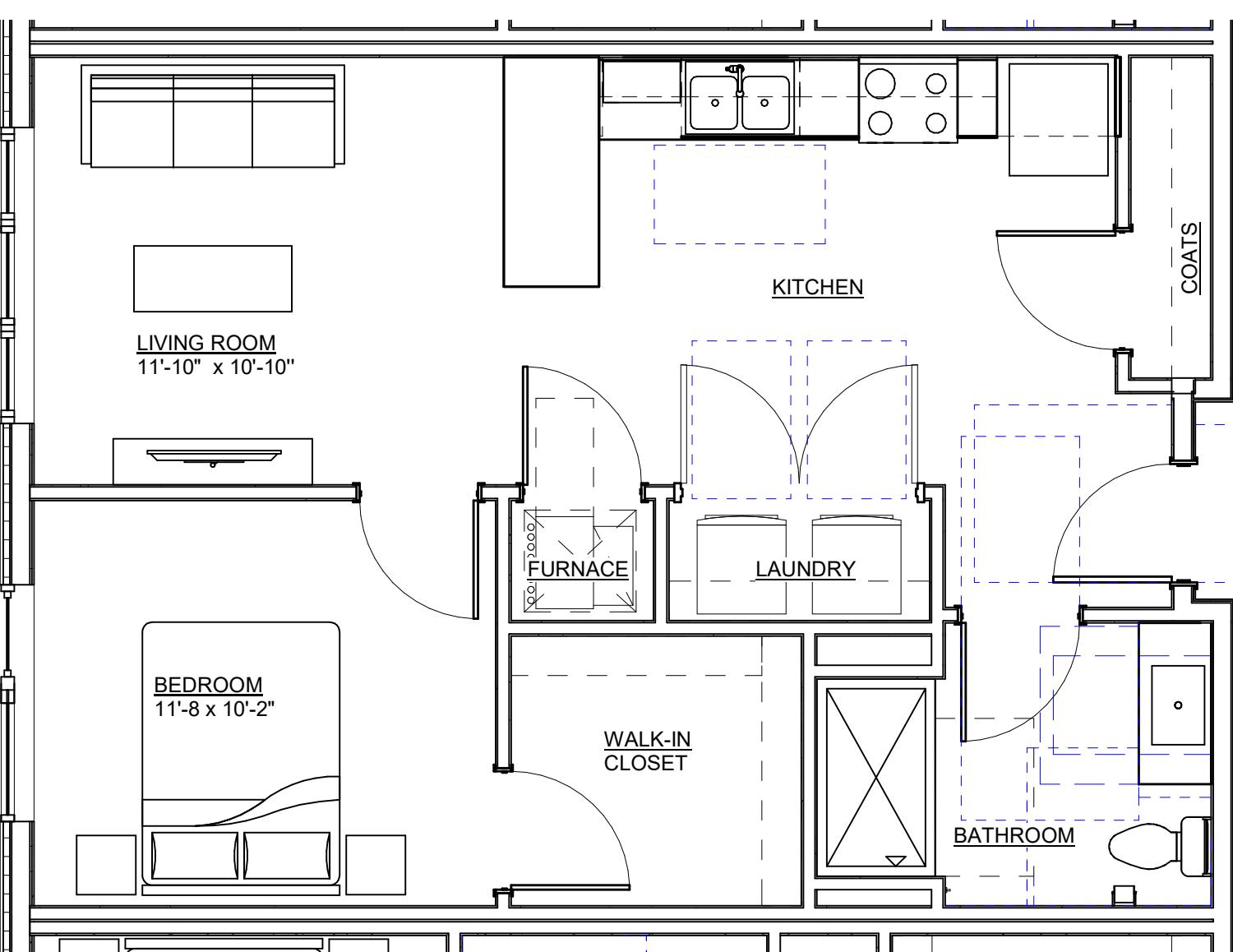
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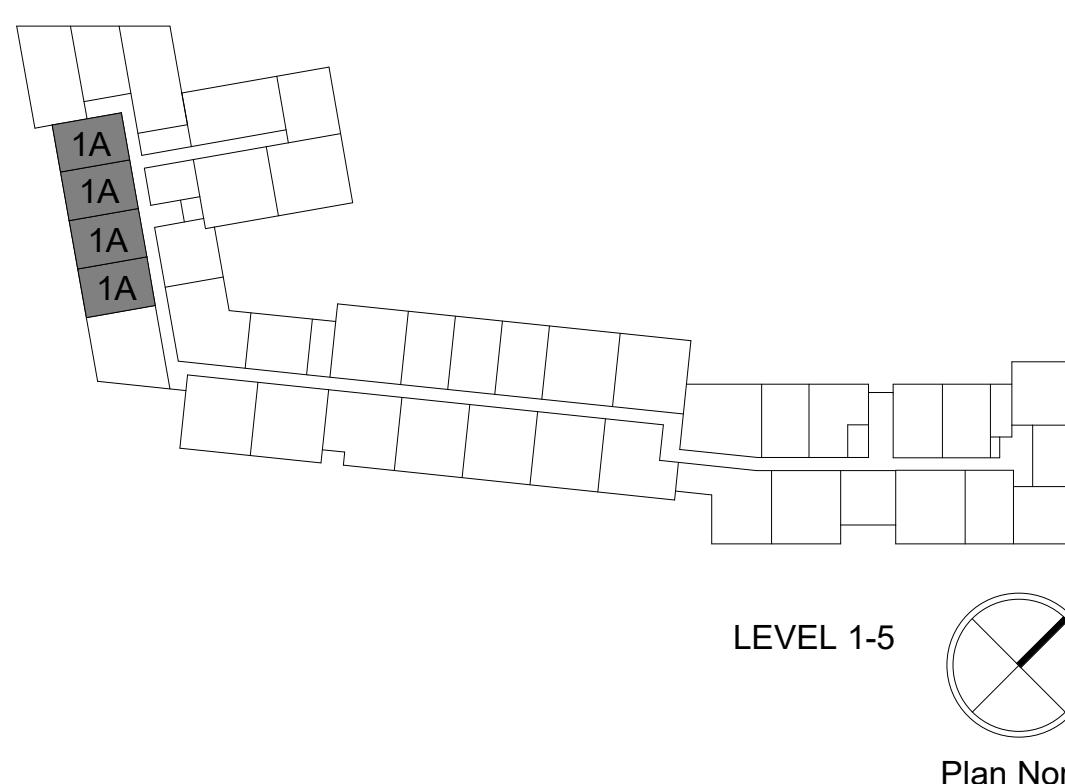


ROOF PLAN

1 ROOF
SCALE: 1/16" = 1'-0"



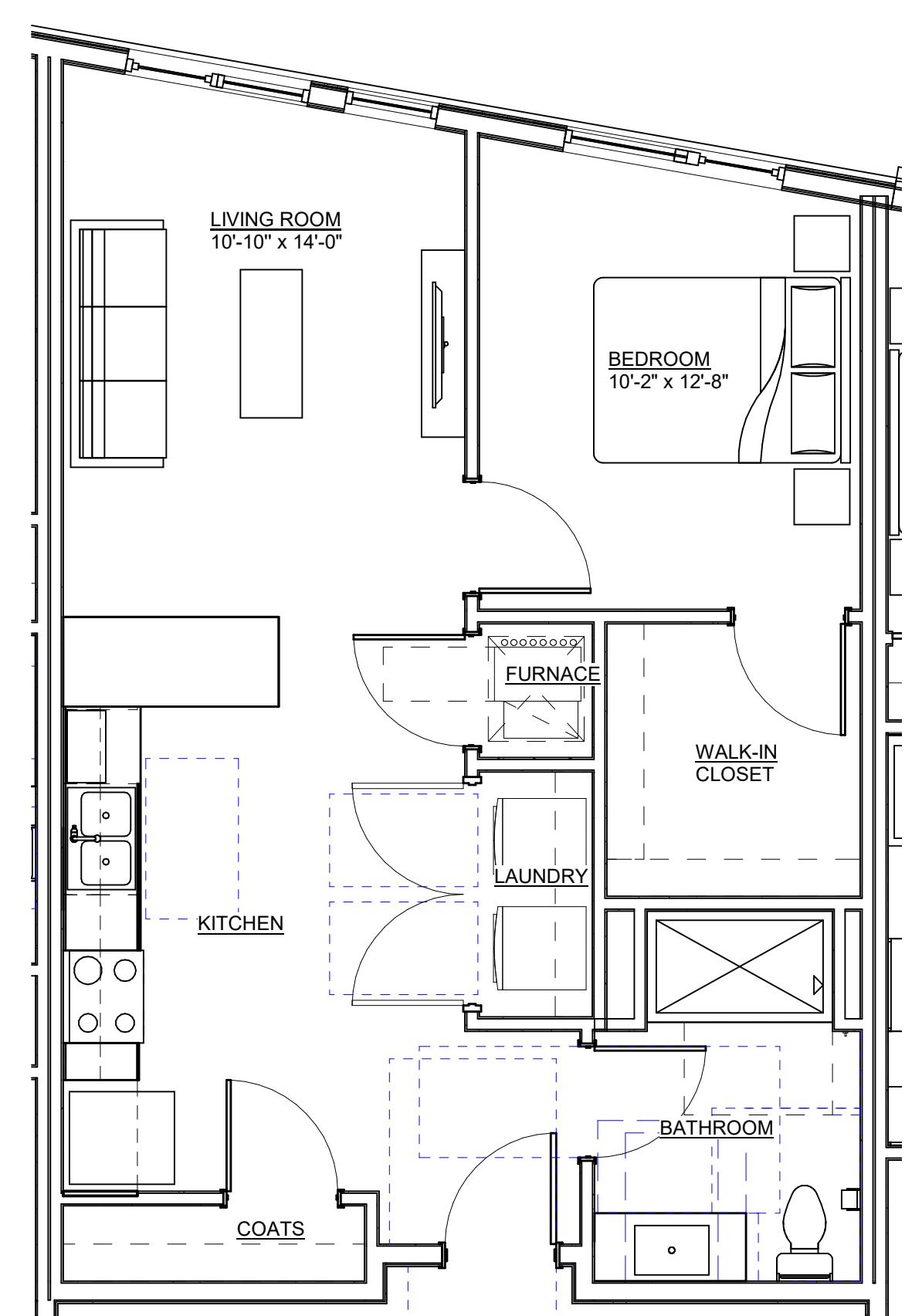
1 UNIT 1A
SCALE: 1/4" = 1'-0"



LEVEL 1-5



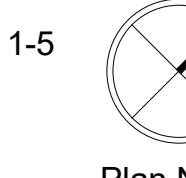
Plan North



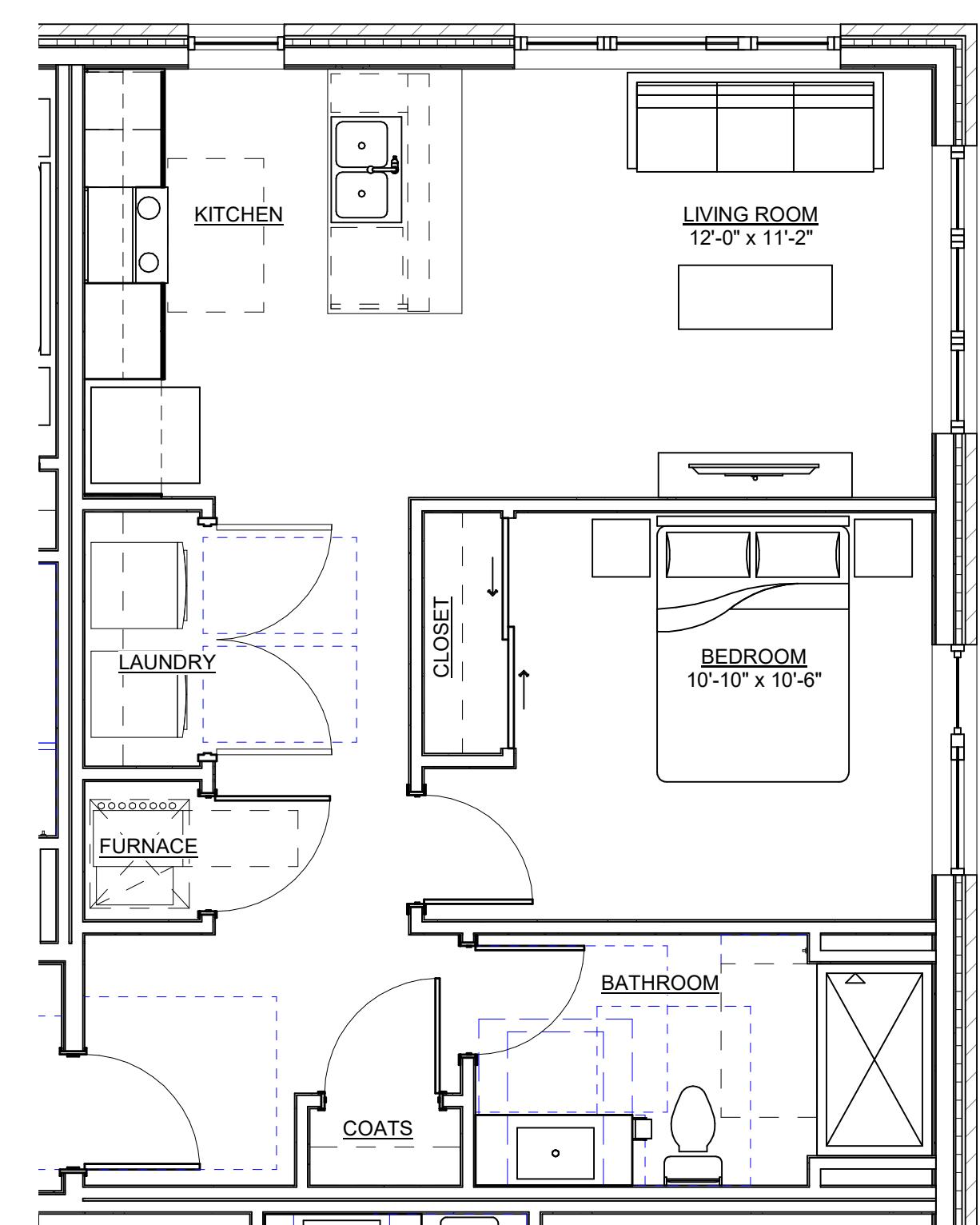
2 UNIT 1A.1
SCALE: 1/4" = 1'-0"



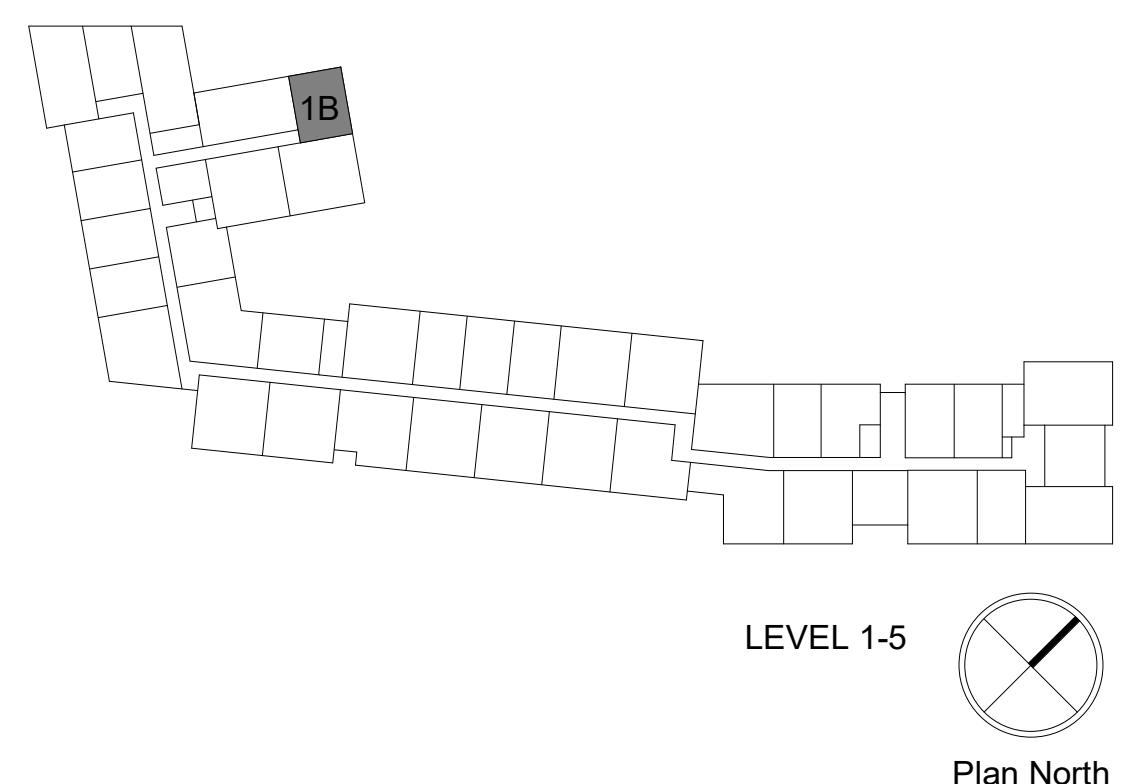
LEVEL 1-5



Plan North



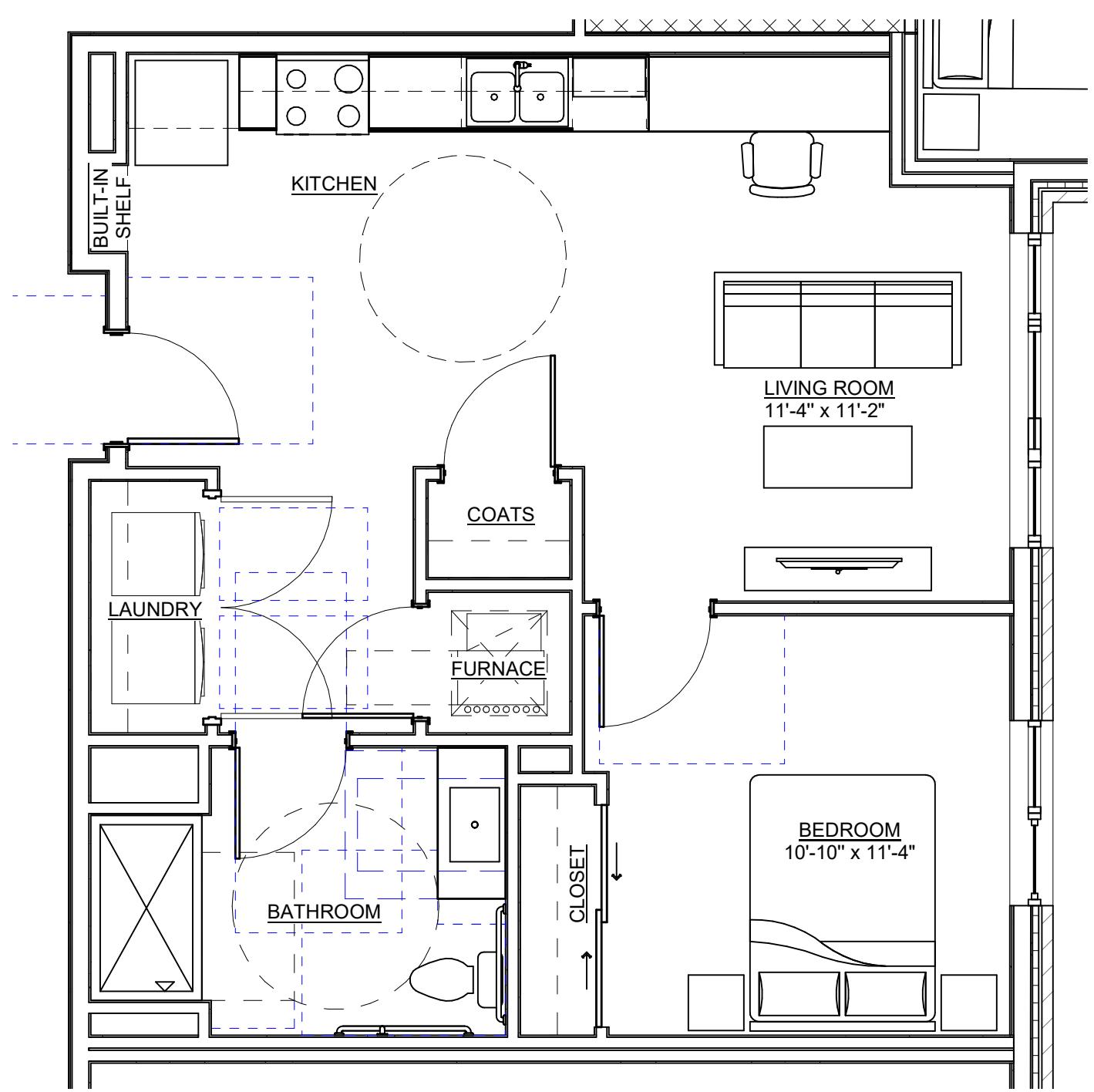
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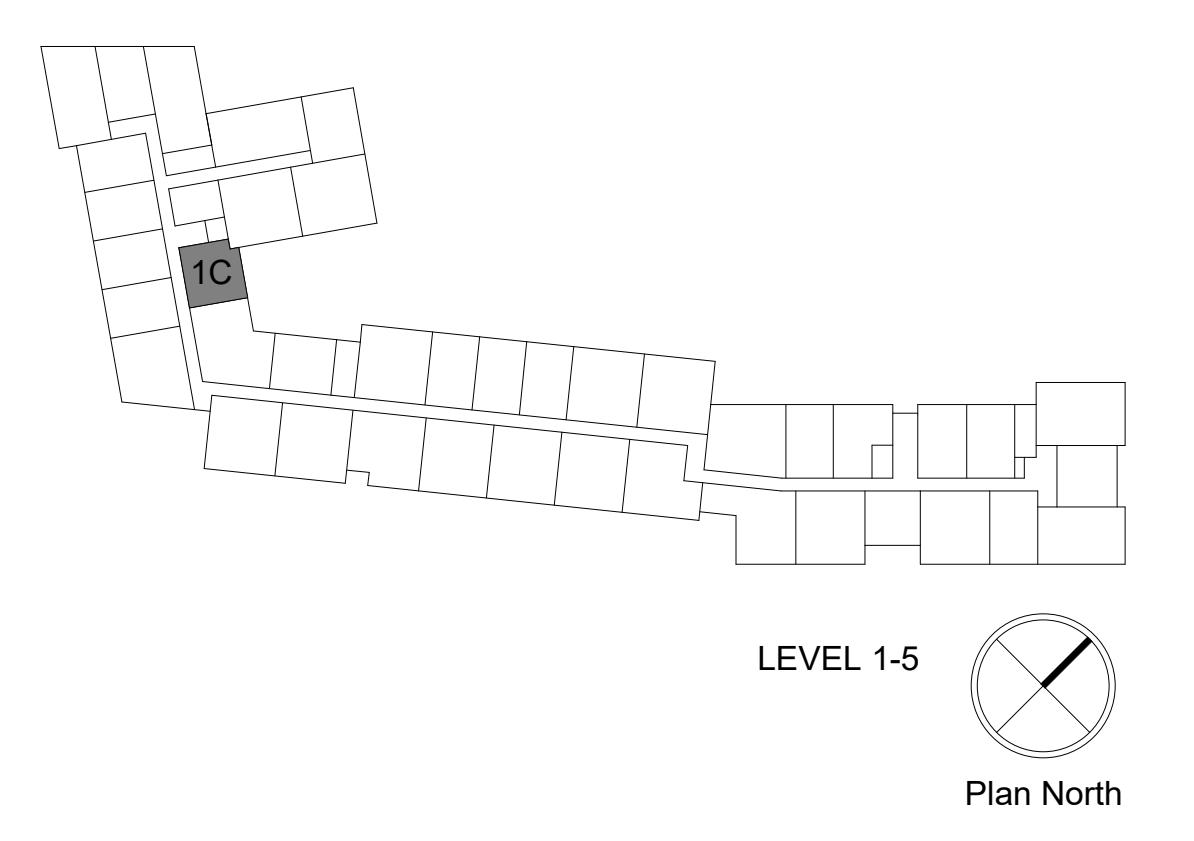
LEVEL 1-5



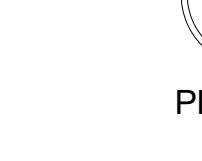
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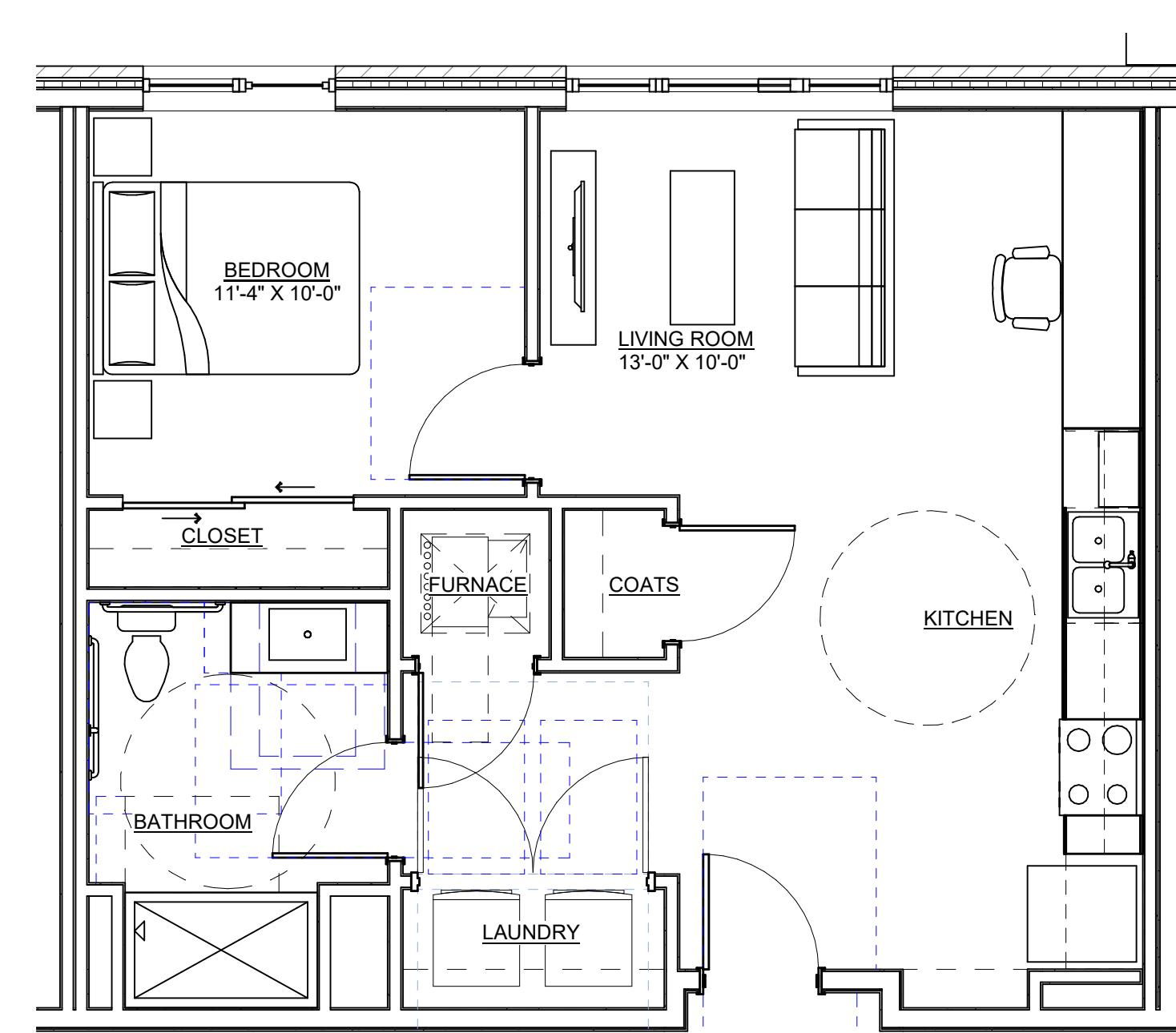
4 UNIT 1C - WHEDA
SCALE: 1/4" = 1'-0"



LEVEL 1-5



Plan North



5 UNIT 1C.1 - WHEDA
SCALE: 1/4" = 1'-0"



LEVEL 1-5



Plan North

GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
2. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
3. 4" DIMENSION TYPICAL FROM FLOOR TO CEILING UNLESS OTHERWISE NOTED.
4. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
5. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
6. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
9. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
10. PROVIDE GYPSUM BOARD RETURNS AT ALL BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
11. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
12. PROVIDE ROBE HOOKS ON WALL AT SAME END AS SHOWER HEAD.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOKS ON WALL AT SAME END AS SHOWER HEAD.
15. PROVIDE ROBE HOOKS ON WALL AT SAME END AS SHOWER HEAD.
16. REFER TO SHEETS G044 & G055 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS. UNITS TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A-600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

A300

3100 EAST WASHINGTON

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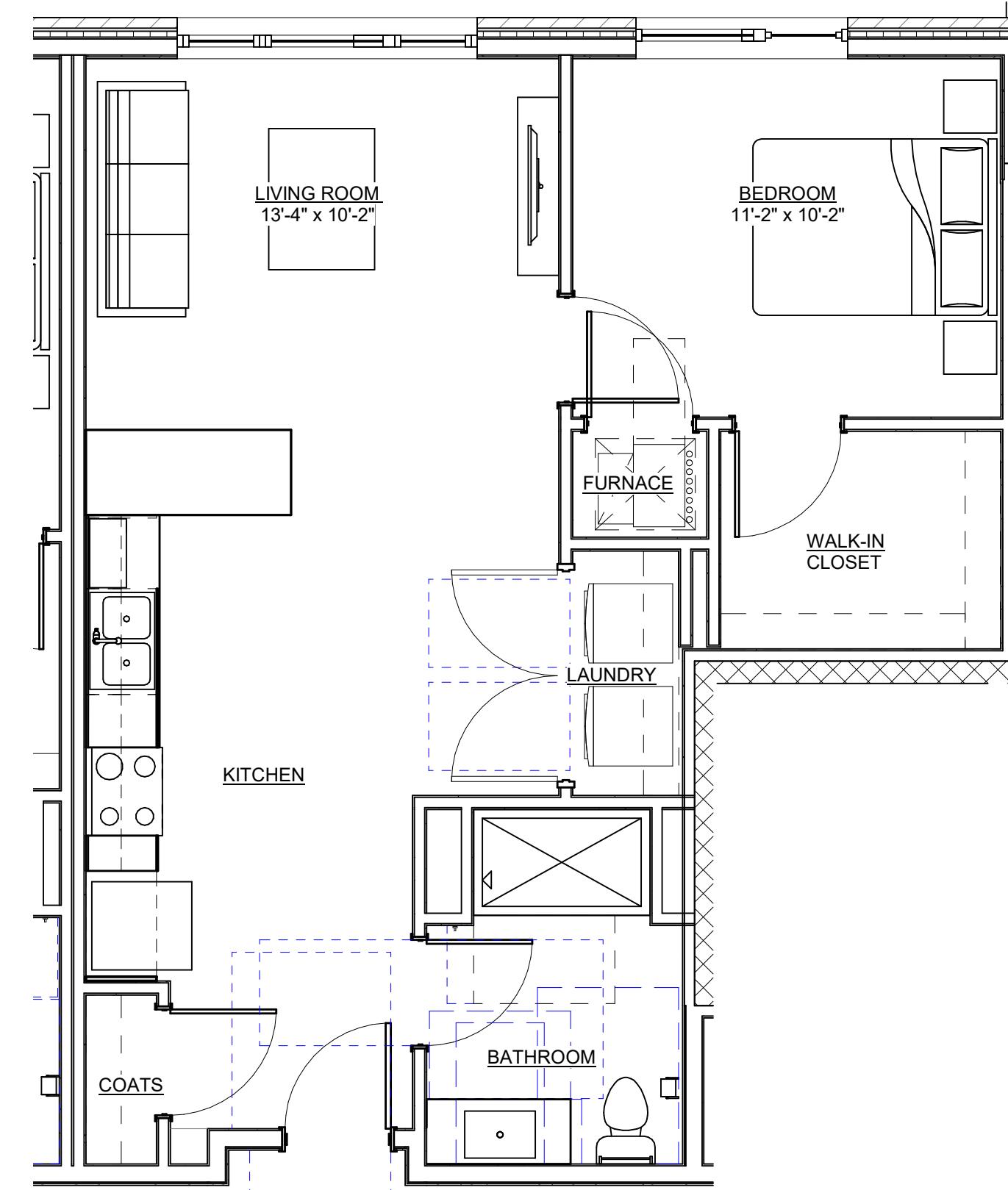
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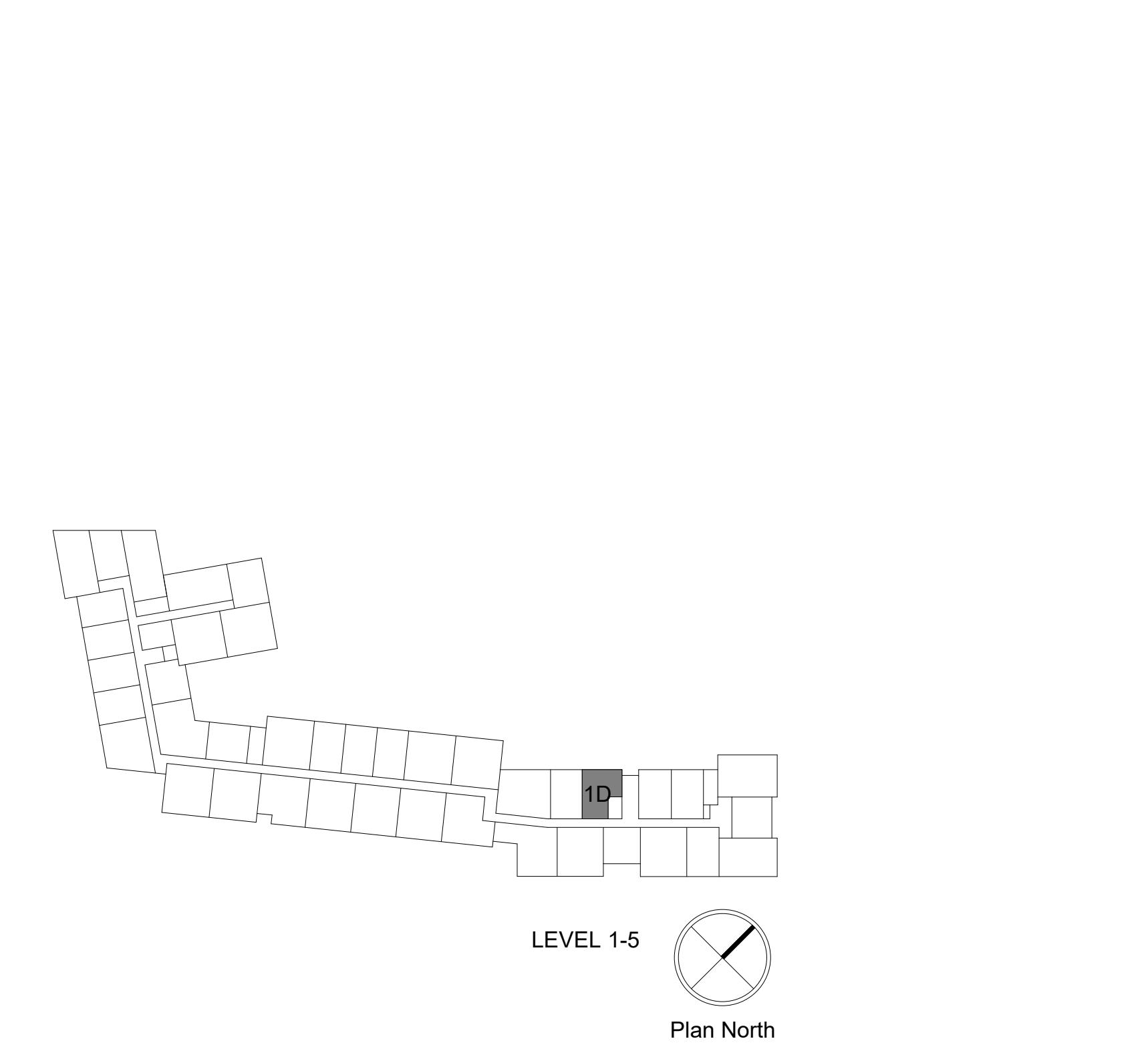
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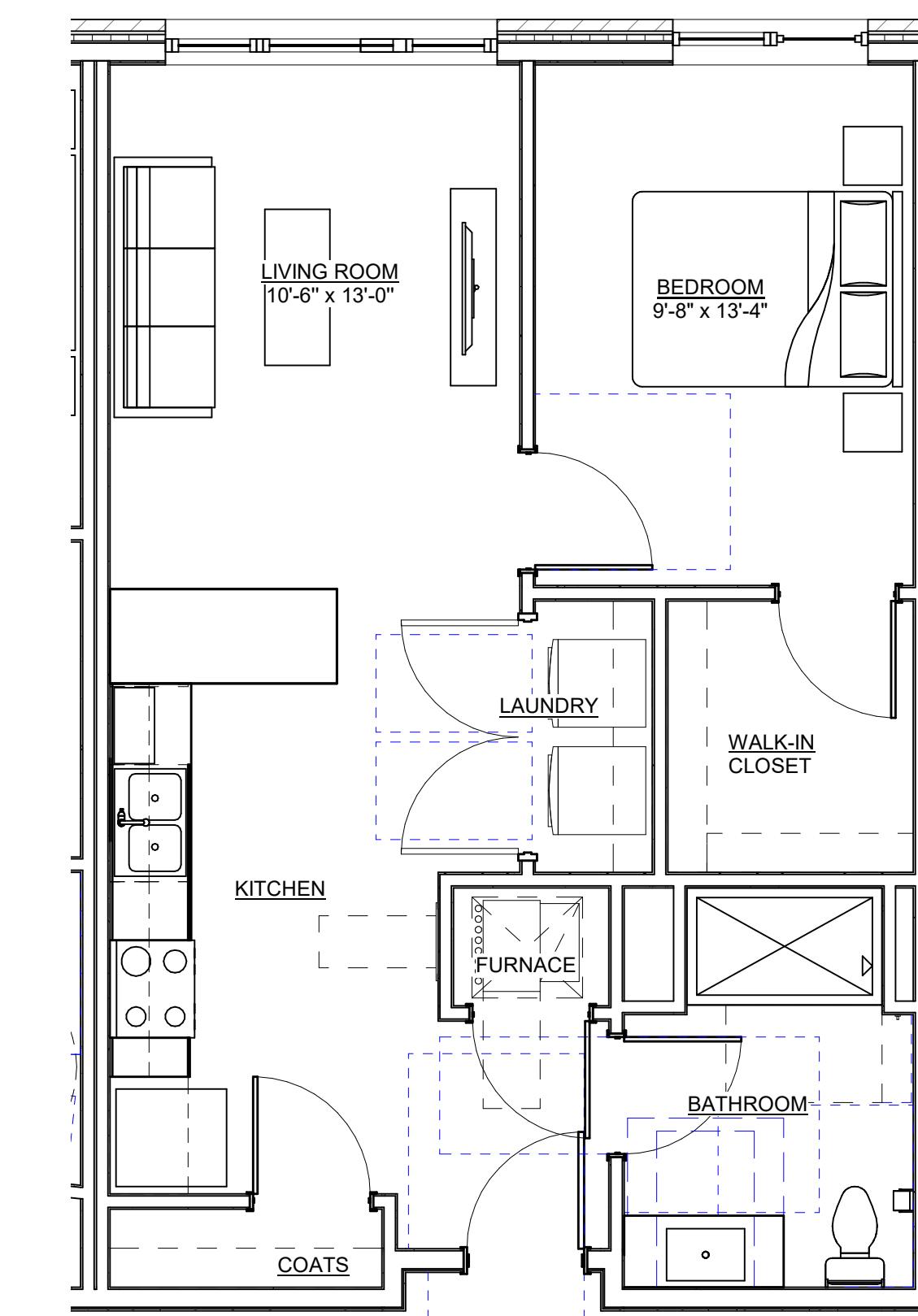
ENLARGED UNIT PLANS



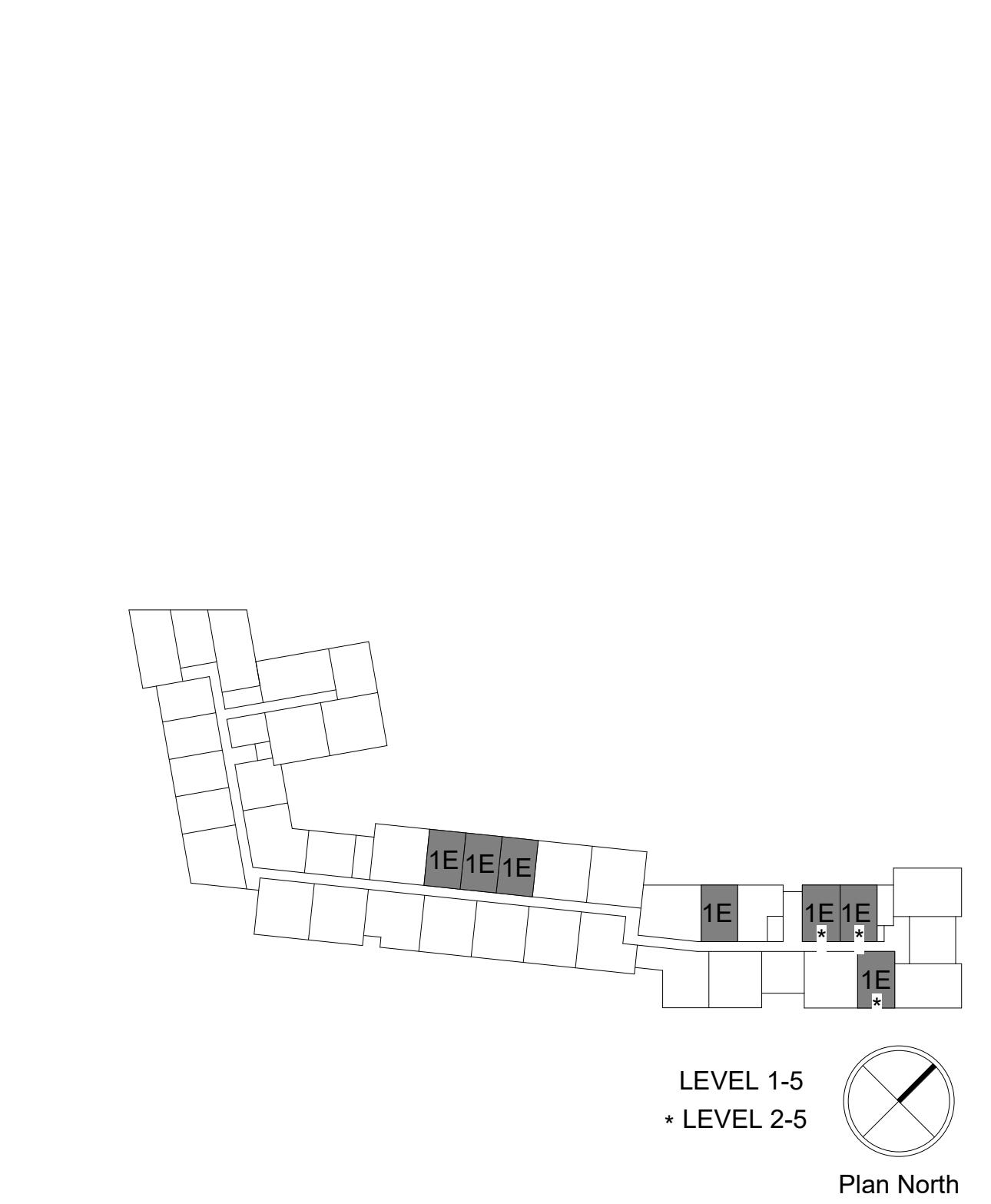
1 UNIT 1D - WHEDA
SCALE: 1/4" = 1'-0"



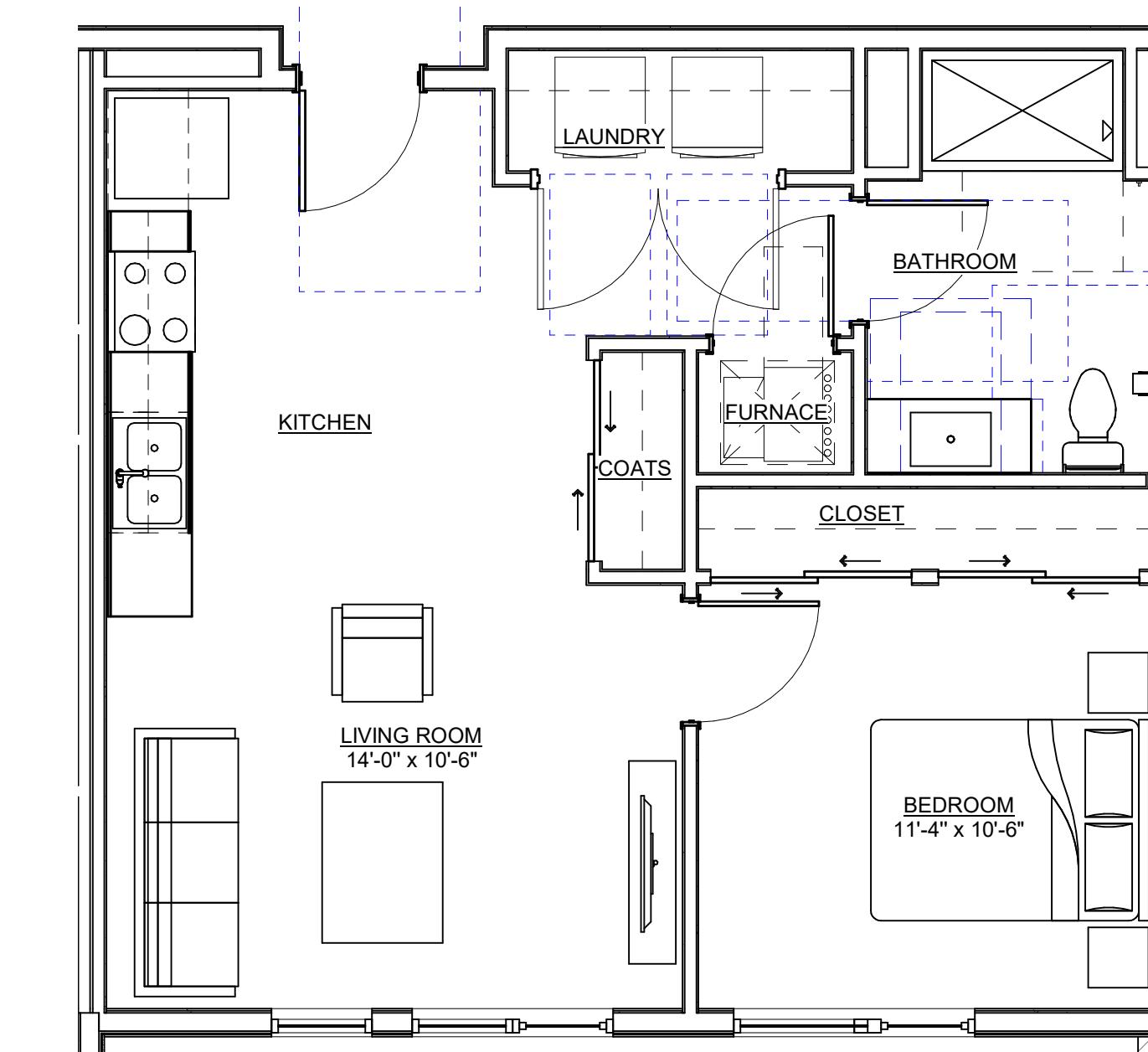
LEVEL 1-5
Plan North



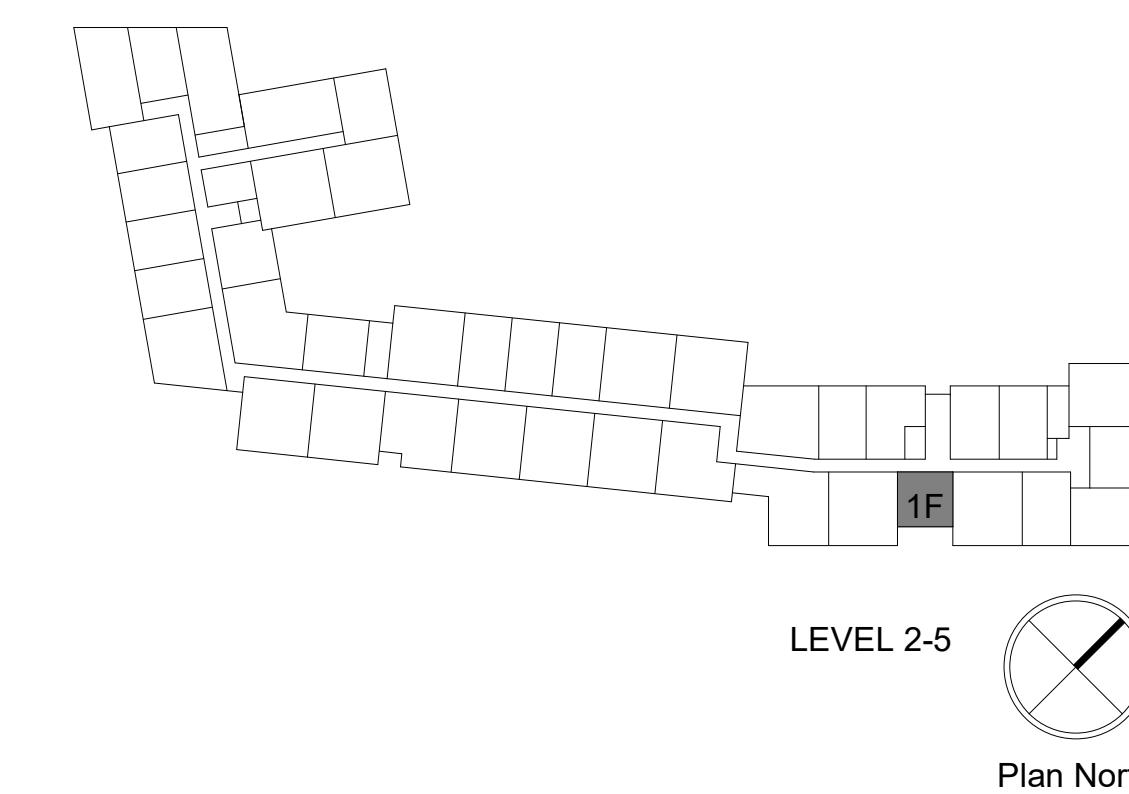
3 UNIT 1E
SCALE: 1/4" = 1'-0"



LEVEL 1-5
+ LEVEL 2-5
Plan North



2 UNIT 1F
SCALE: 1/4" = 1'-0"



LEVEL 2-5
Plan North

GENERAL NOTES - UNIT PLANS

- VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
- BUILDING GRADIENTS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
- ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE Q202 UNLESS OTHERWISE NOTED.
- 4" DIMENSIONS TYPICAL FROM DOOR JAMBS TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
- 6" DIMENSIONS TYPICAL FROM SWING DOOR (BOTH SIDES).
- VERIFY CABINET, APPLIANCE AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
- INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
- PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
- GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETS.
- PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
- PROVIDE GYPSUM BOARD RETAINS IN ALL SLIDING DOOR OPENINGS.
- PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
- WHENEVER POSSIBLE, INSTALL TOILET PAPER ON RYIWALL RATHER THAN CABINET.
- REFER TO SHEETS G001 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED DRAWINGS FOR BATH, KITCHEN, AND GYM BATH.
- SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
- ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED. SEE SHEET A601.
- PROVIDE MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
- REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

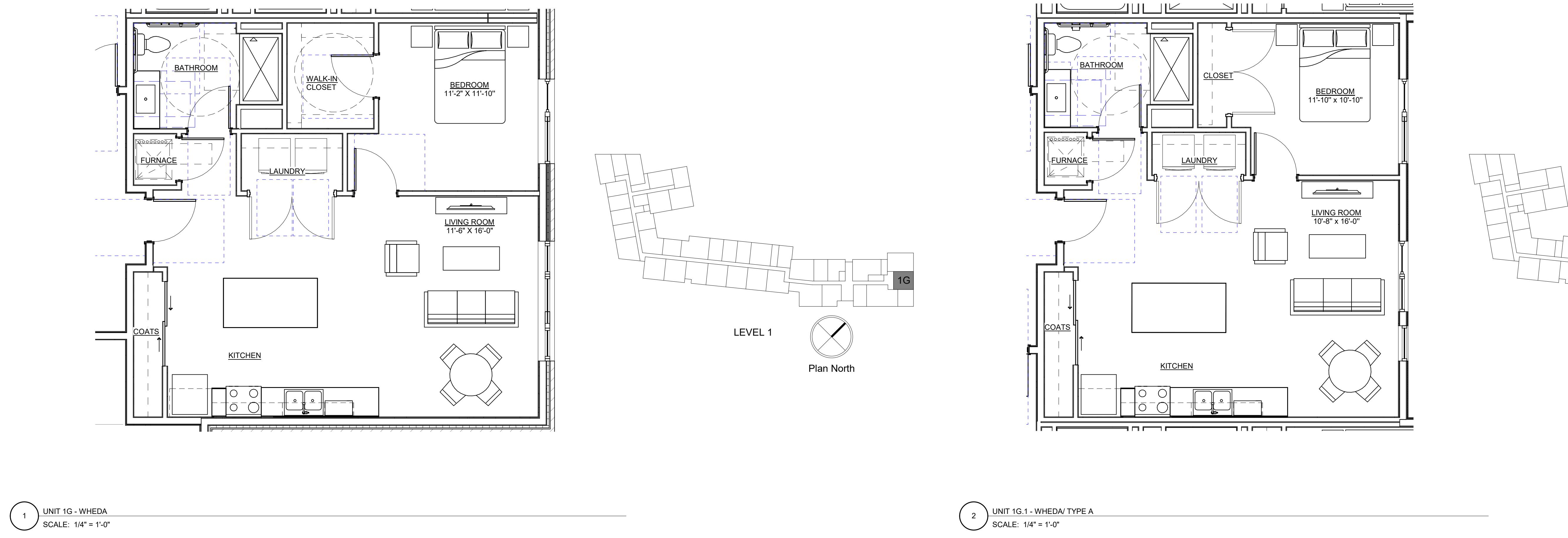
KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY _____
CHECKED BY _____
Author _____

ENLARGED UNIT PLANS

A301



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

DRAWN BY _____
CHECKED BY _____
Author
Checker

ENLARGED UNIT PLANS

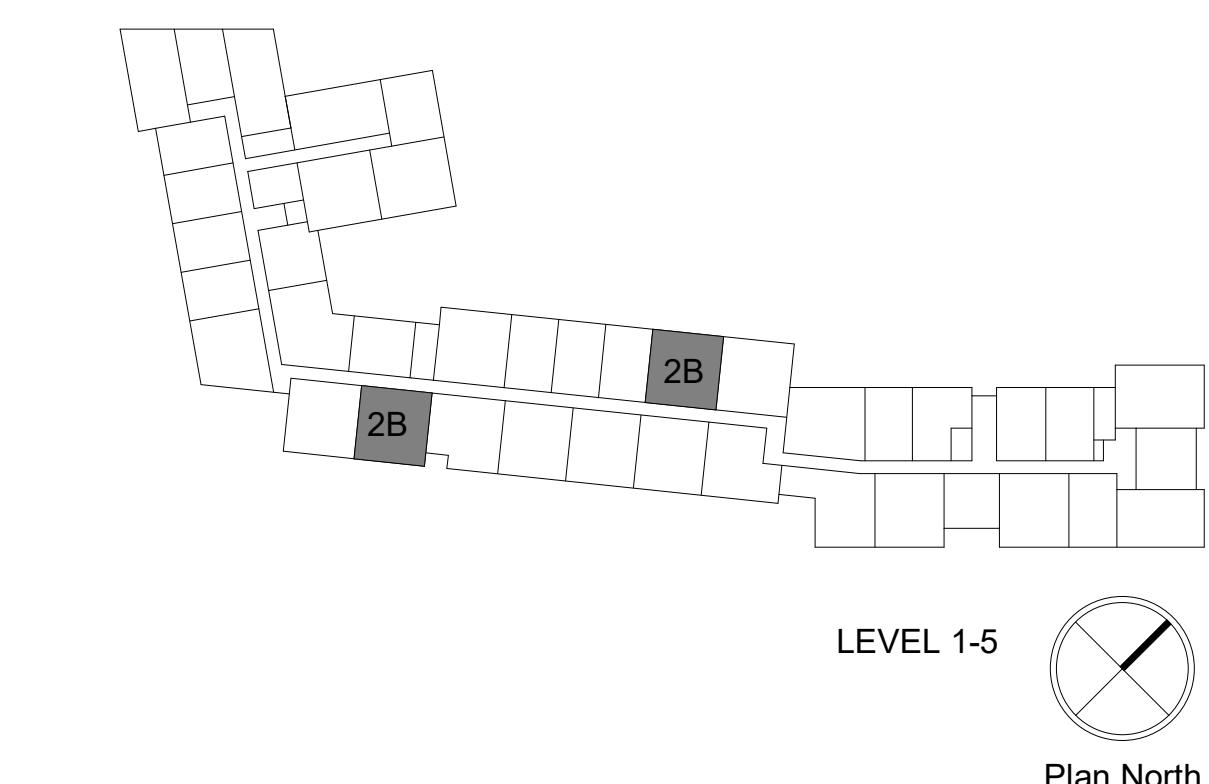
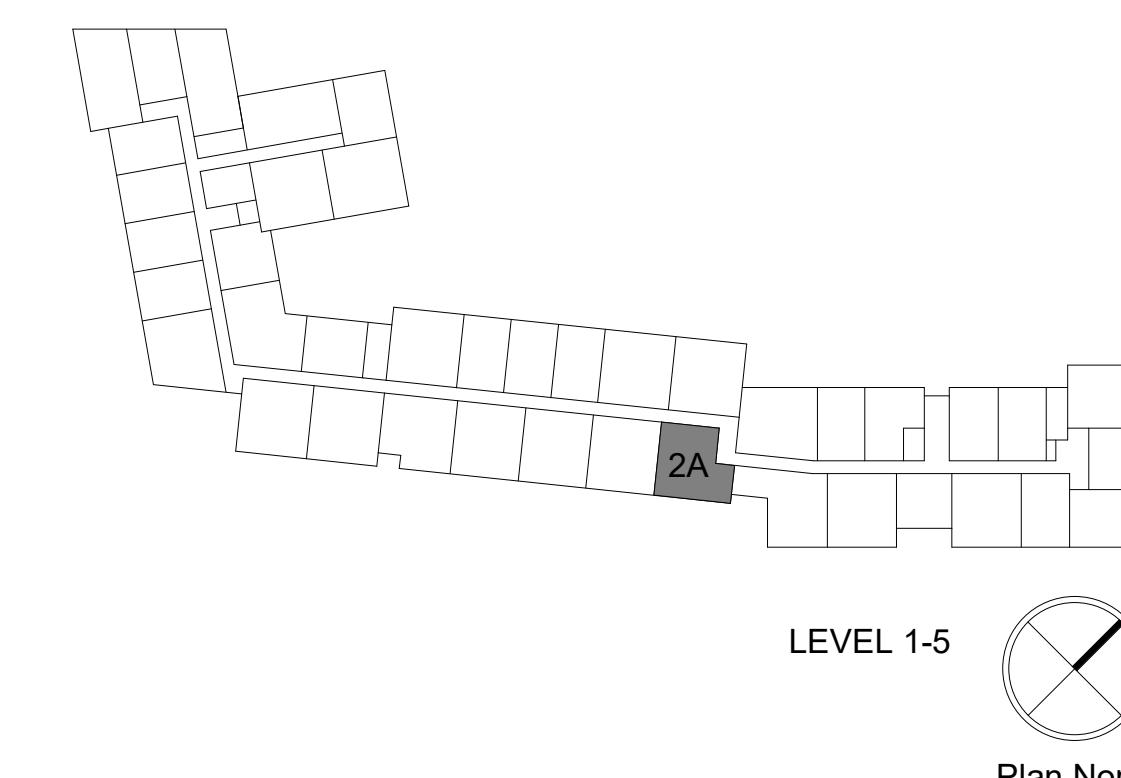
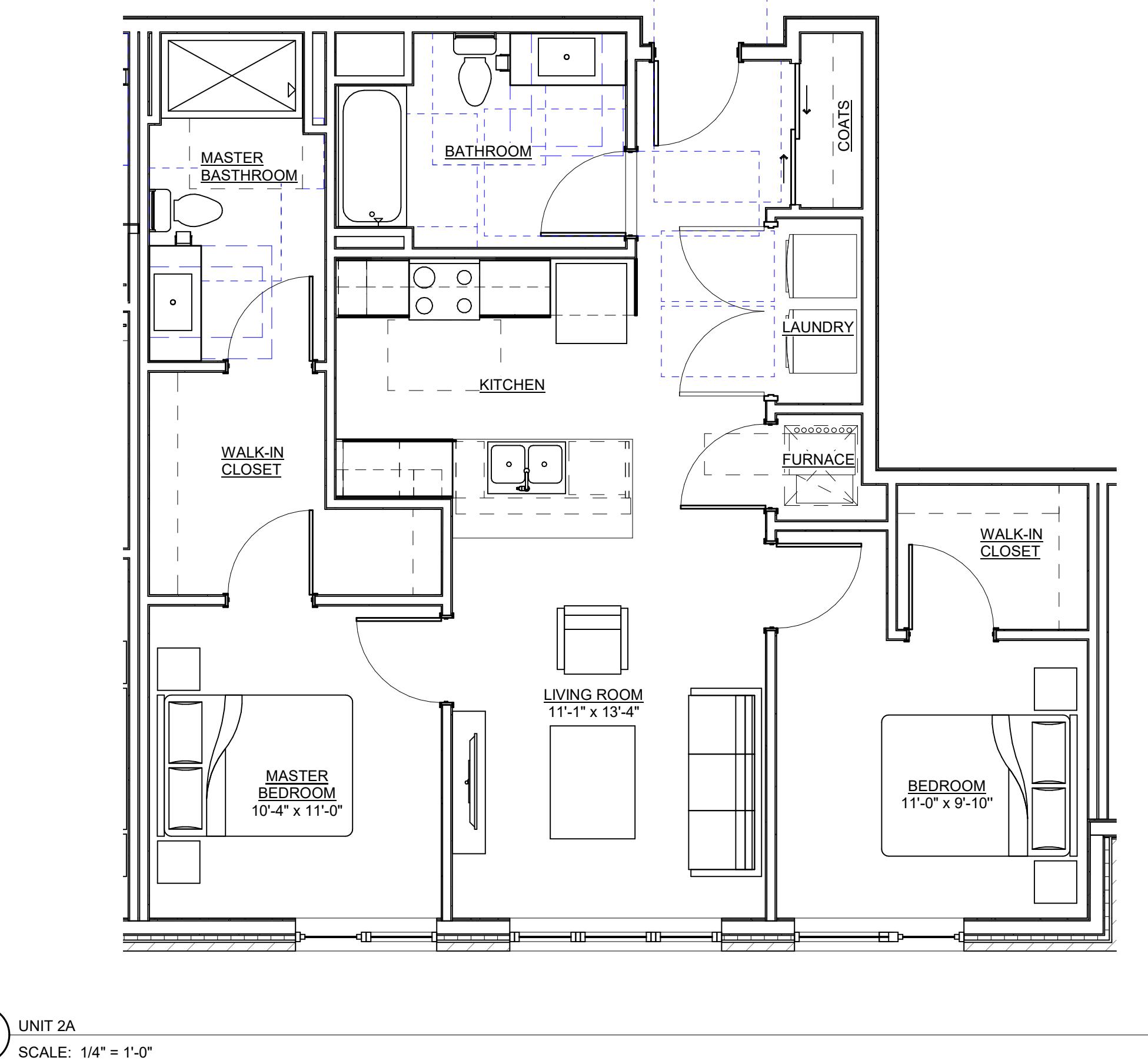
GENERAL NOTES - UNIT PLANS

- VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
- BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE Q22 UNLESS OTHERWISE NOTED.
- 4" DIMENSION TYPICAL FROM DOOR JAMM TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
- WOOD CAVING AROUND INTERIOR STUDS DONE BOTH SIDES.
- TOILET CABINETS, APPLIANCES, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
- INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
- PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
- GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
- PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
- PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
- PROVIDE TENSION SPRINGS AT ALL TUBS AND SHOWERS.
- PROVIDE A FLOOR ON WHICH TO PLACE THE SHOWER HEAD.
- WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
- ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
- PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
- REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

A302

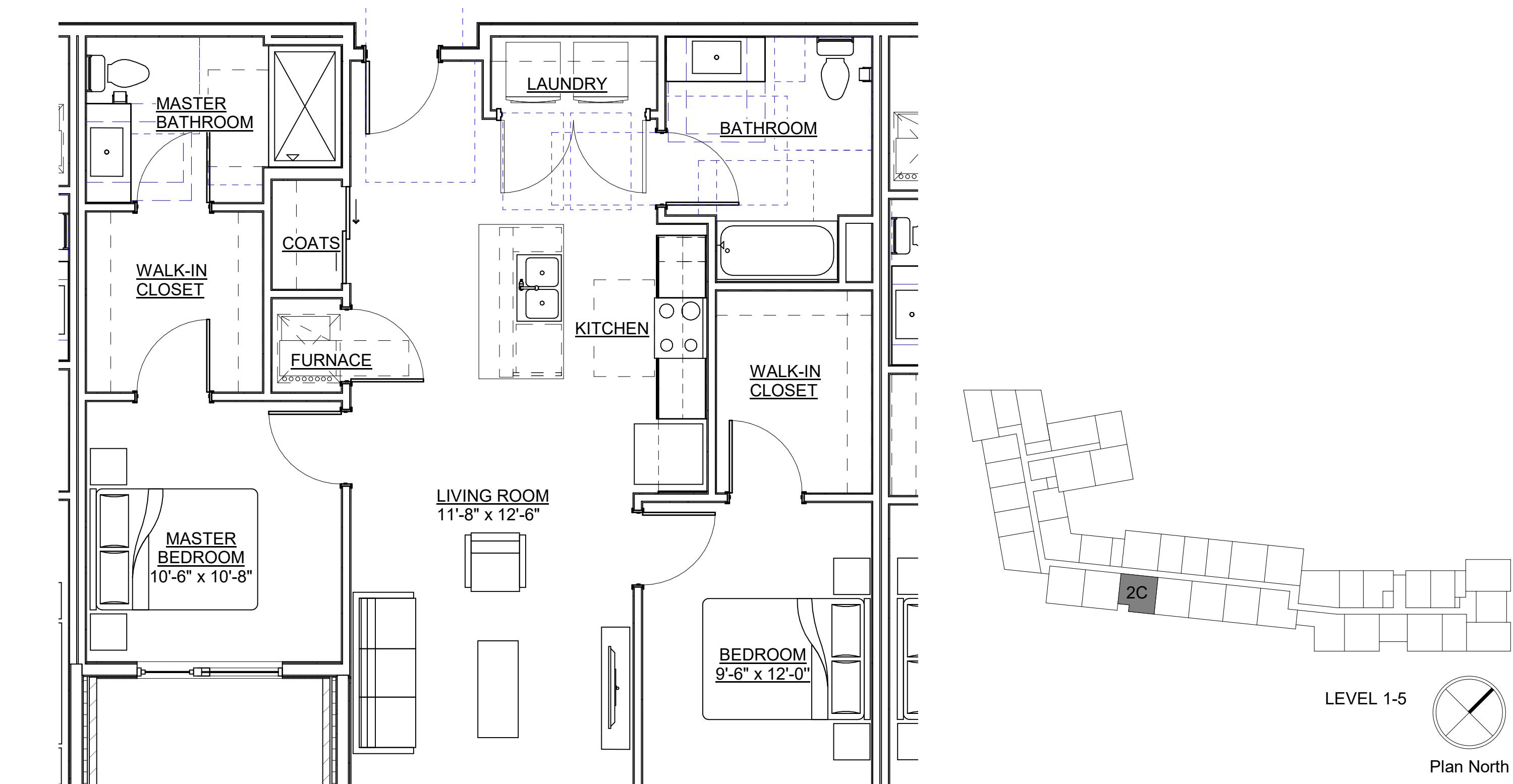


GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO COWING. COORDINATE WITH STRUCTURAL ENGINEER FOR COWING RESTRICTIONS IN ALL FLOORS BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. LIVING ROOM AND KITCHEN ARE 10'-0" DEEP.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSURE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHOULD BE TILED CABINETRY.
11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS IN BATH AND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL CLOSETS ARE 10'-0" DEEP UNLESS OTHERWISE NOTED. SEE SHEET A001.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURE DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER



DRAWN BY _____
CHECKED BY _____
Plan North

ENLARGED UNIT PLANS

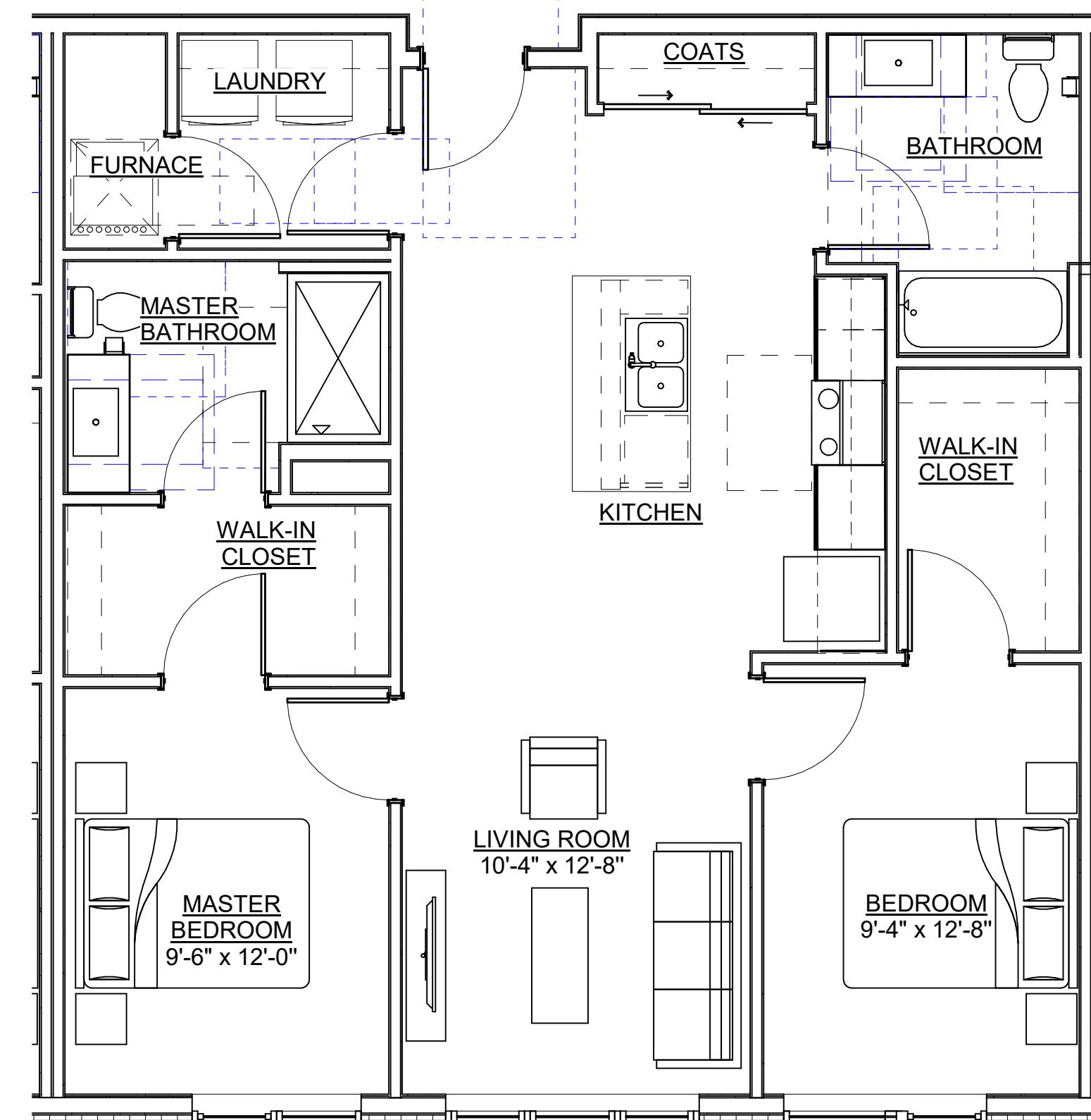
3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

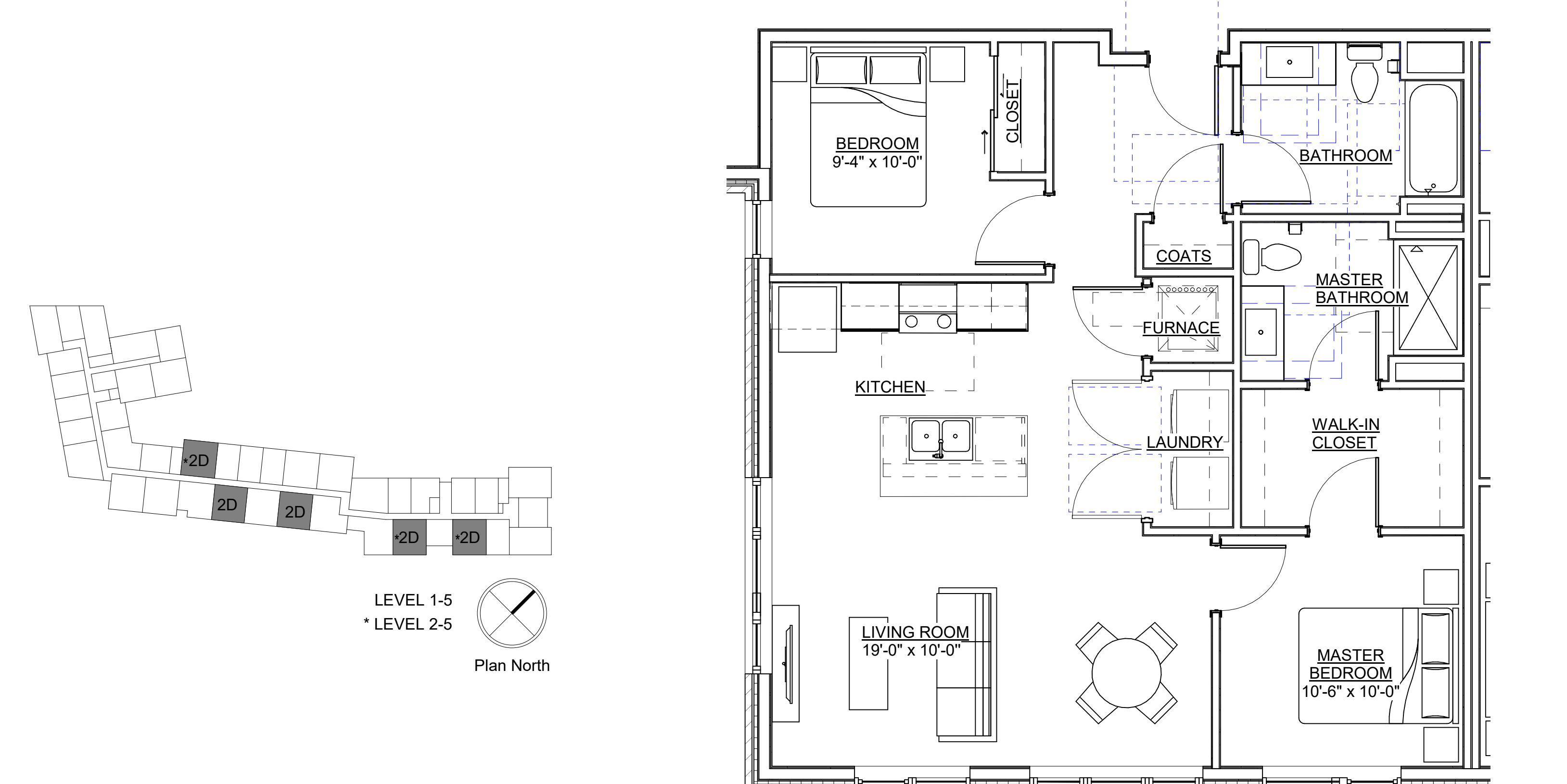
PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23
REVISION FOR:
NO. DESCRIPTION DATE

A303



1 UNIT 2D
SCALE: 1/4" = 1'-0"



2 UNIT 2E
SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINTRY.
11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINTRY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

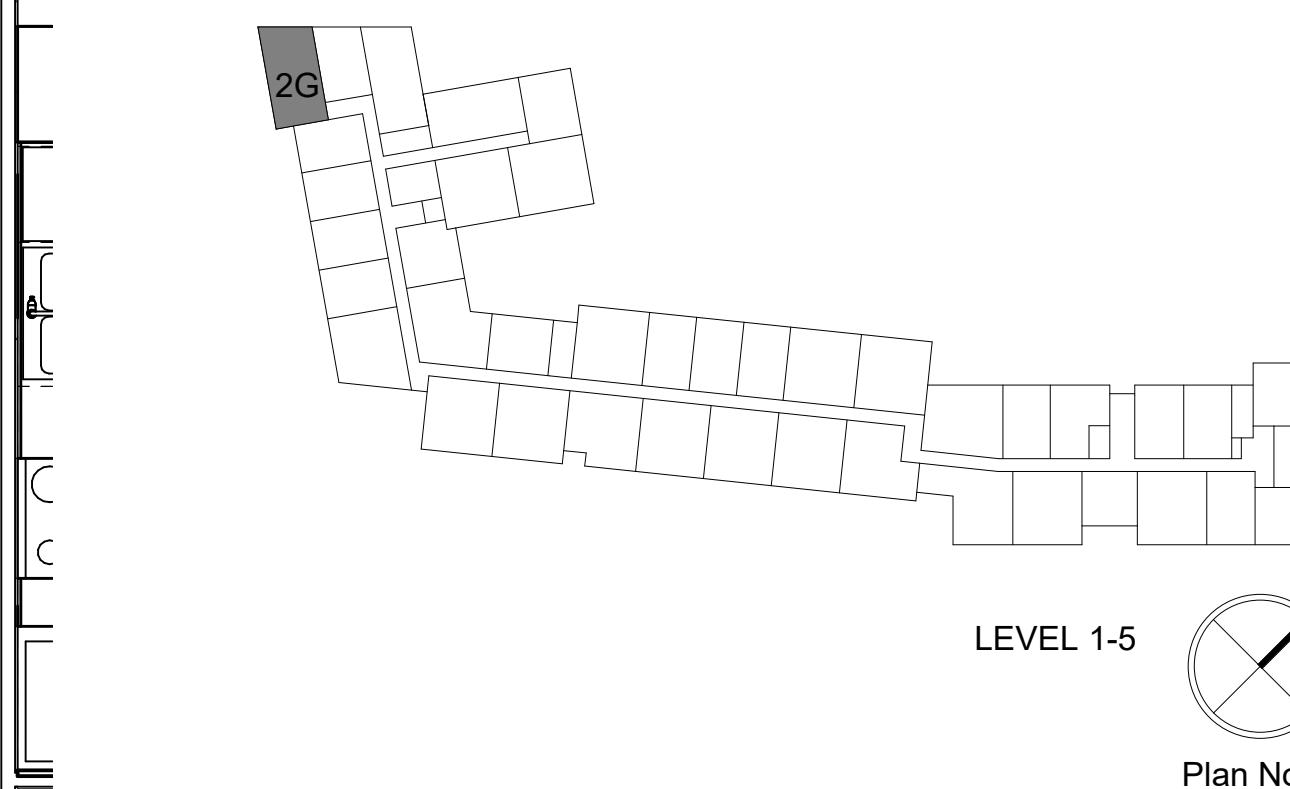
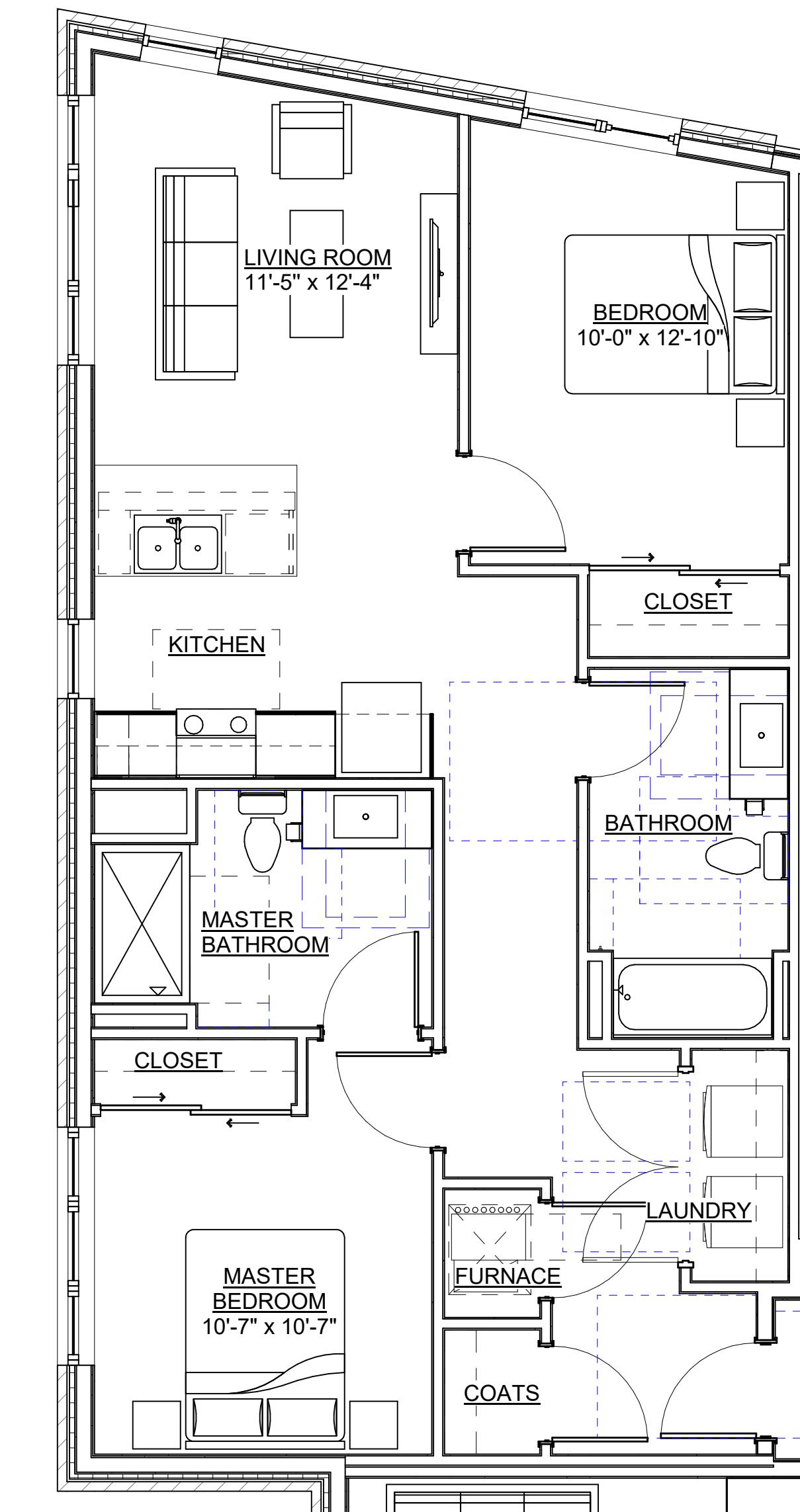
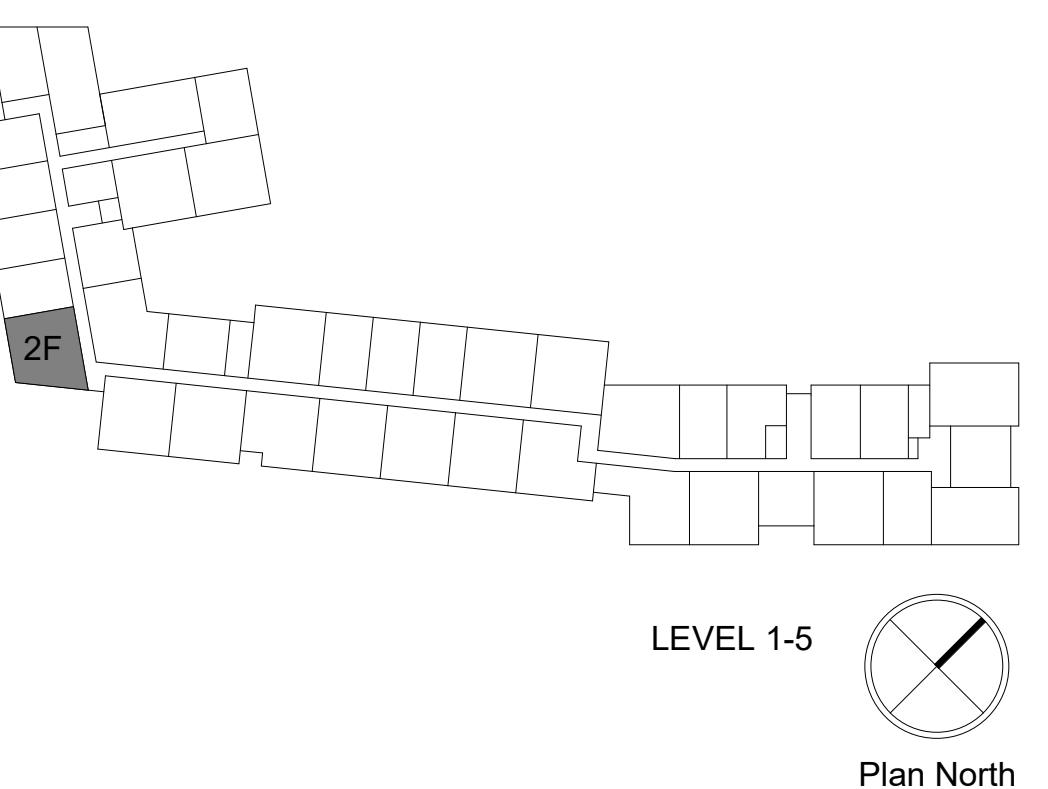
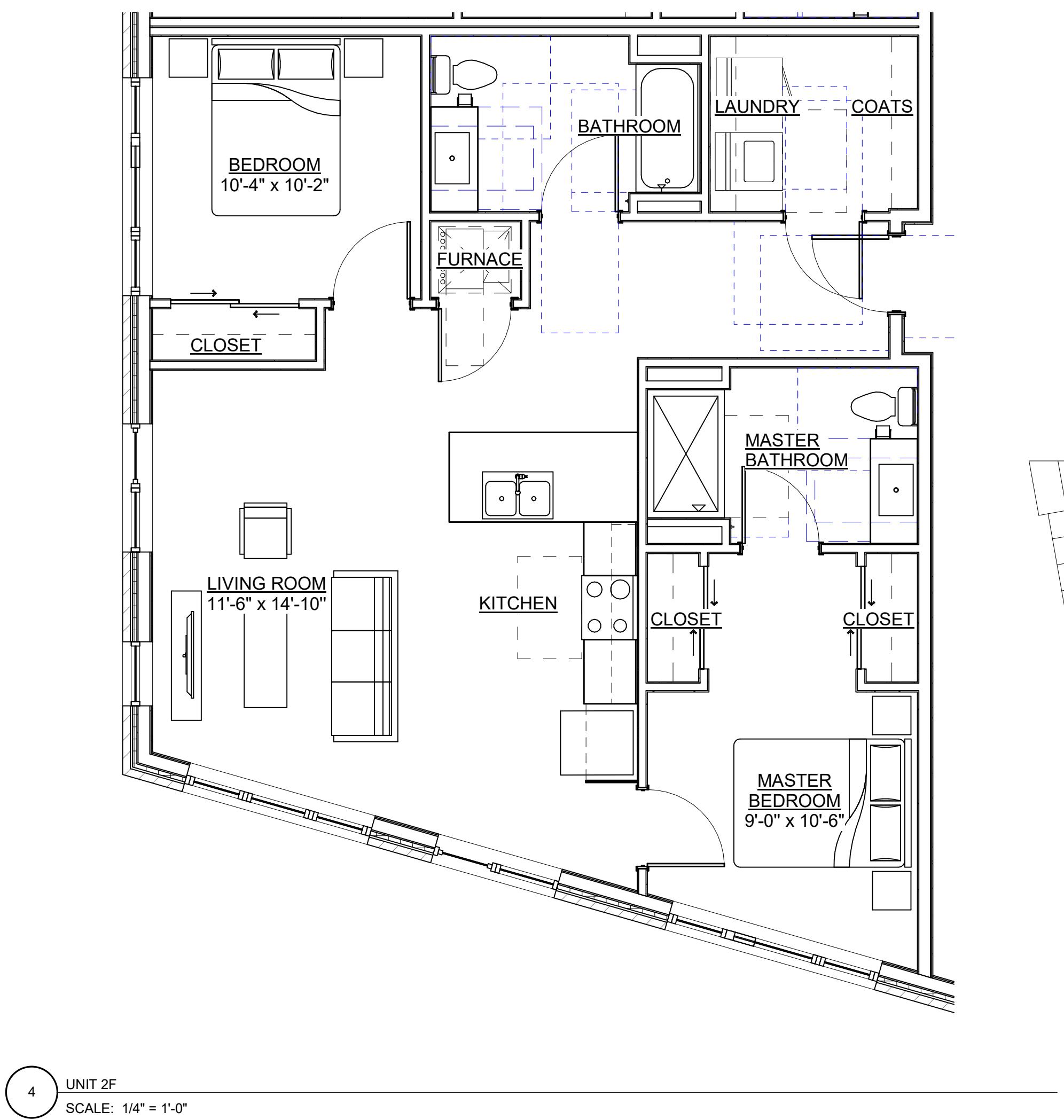
KEY NOTES - UNIT PLANS

- SH-1: TYPE B SHOWER
- SH-2: TYPE B BATHTUB
- SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY _____ Author _____
CHECKED BY _____ Checker _____

ENLARGED UNIT PLANS

ENLARGED UNIT PLANS



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER

233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

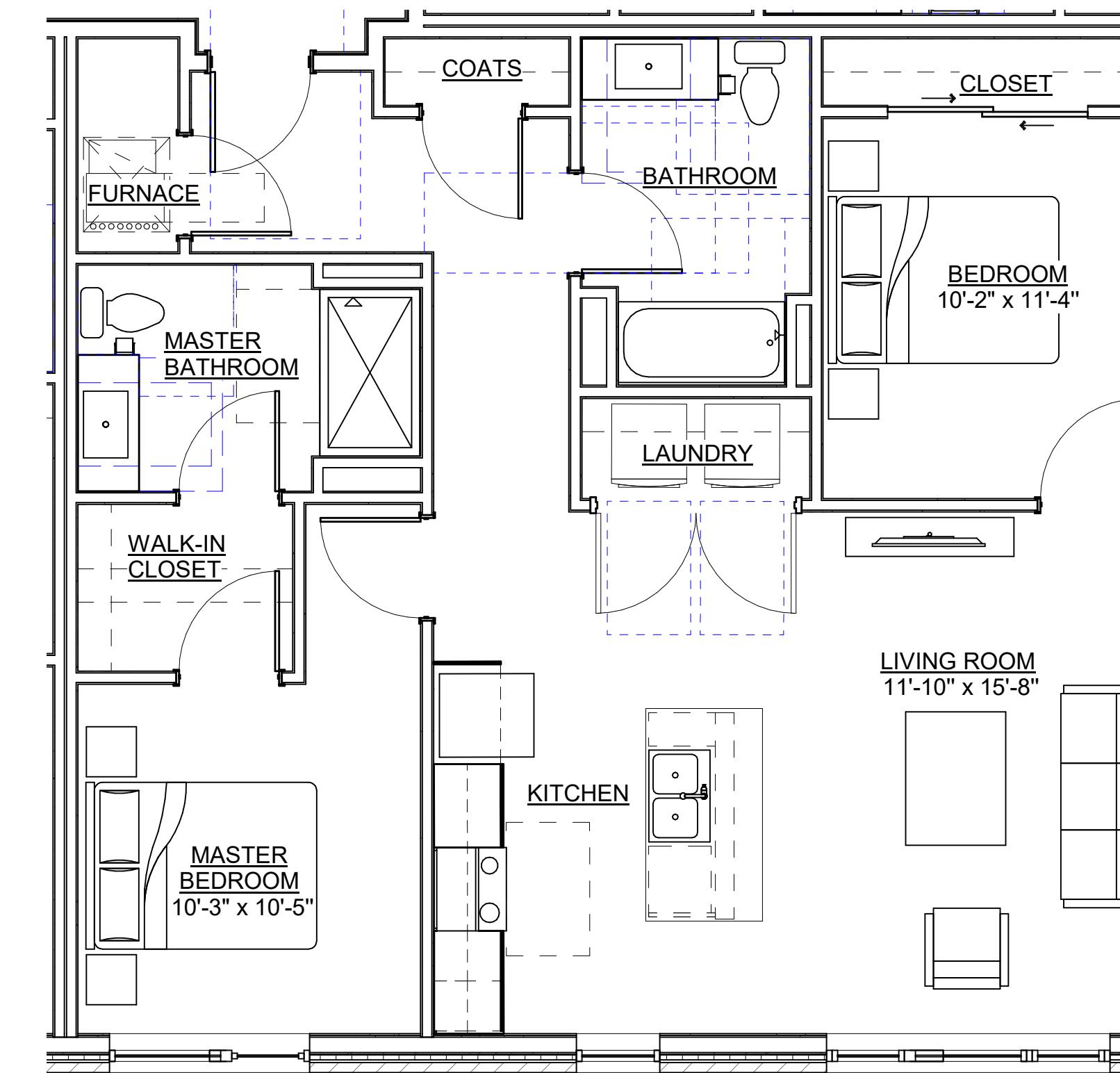
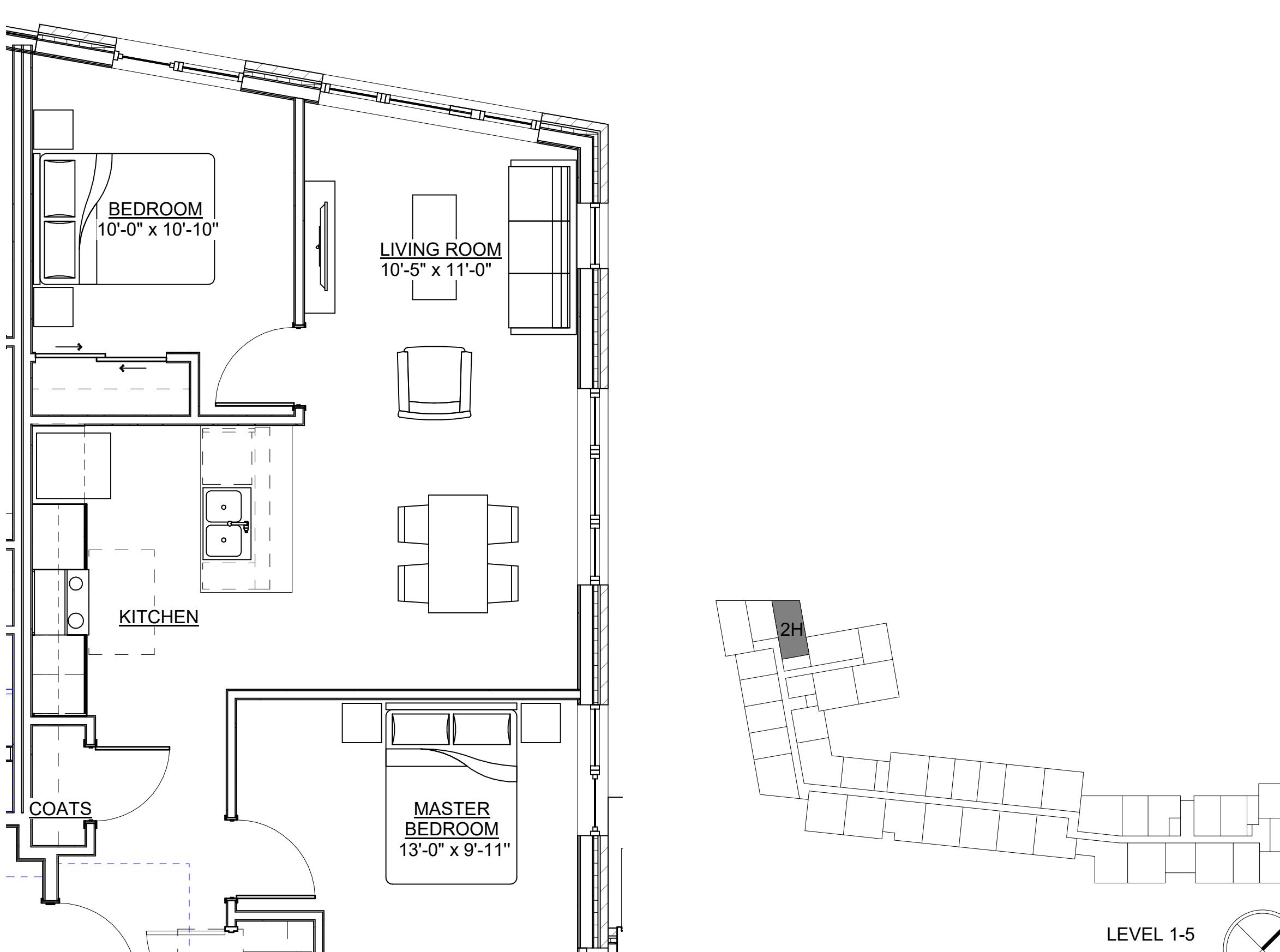
REVISION FOR:
NO. DESCRIPTION DATE

GENERAL NOTES - UNIT PLANS

- VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
- BUILD SPACES DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
- ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE Q202 UNLESS OTHERWISE NOTED.
- WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
- WOOD CASING AROUND EXTERIOR SWING DOORS (BOTH SIDES).
- VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
- INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
- PROVIDE FINISHED SURFACING AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
- GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETS.
- PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
- REFLECTOR LIGHTS TO BE PROVIDED IN ALL BATHS AND KITCHENS.
- PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
- PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.
- WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETS.
- REFLECTOR LIGHTS TO BE PROVIDED IN ALL BATHS AND KITCHENS.
- REFLECTOR LIGHTS TO BE PROVIDED IN ALL BATHS AND KITCHENS.
- SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
- ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
- REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

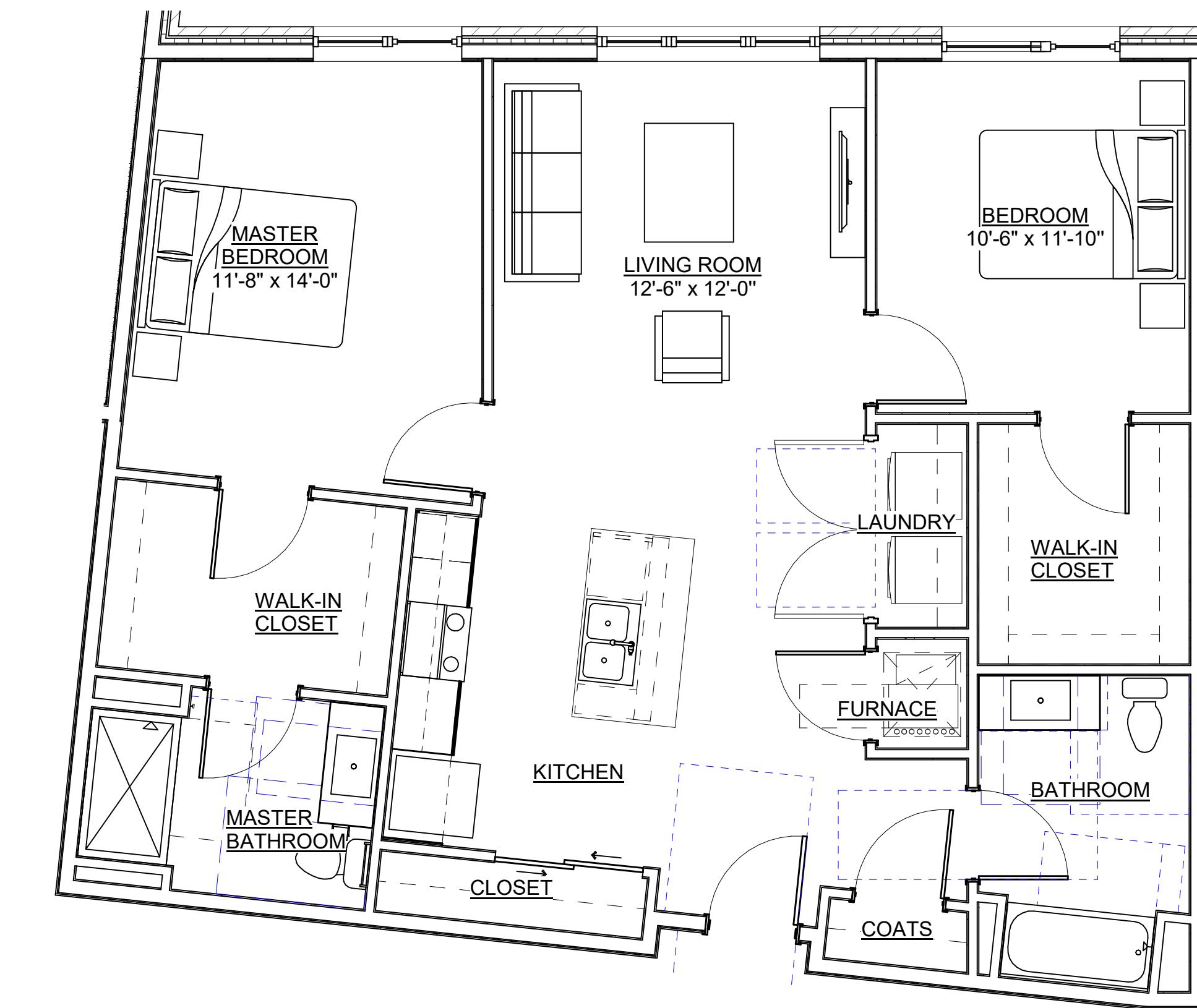
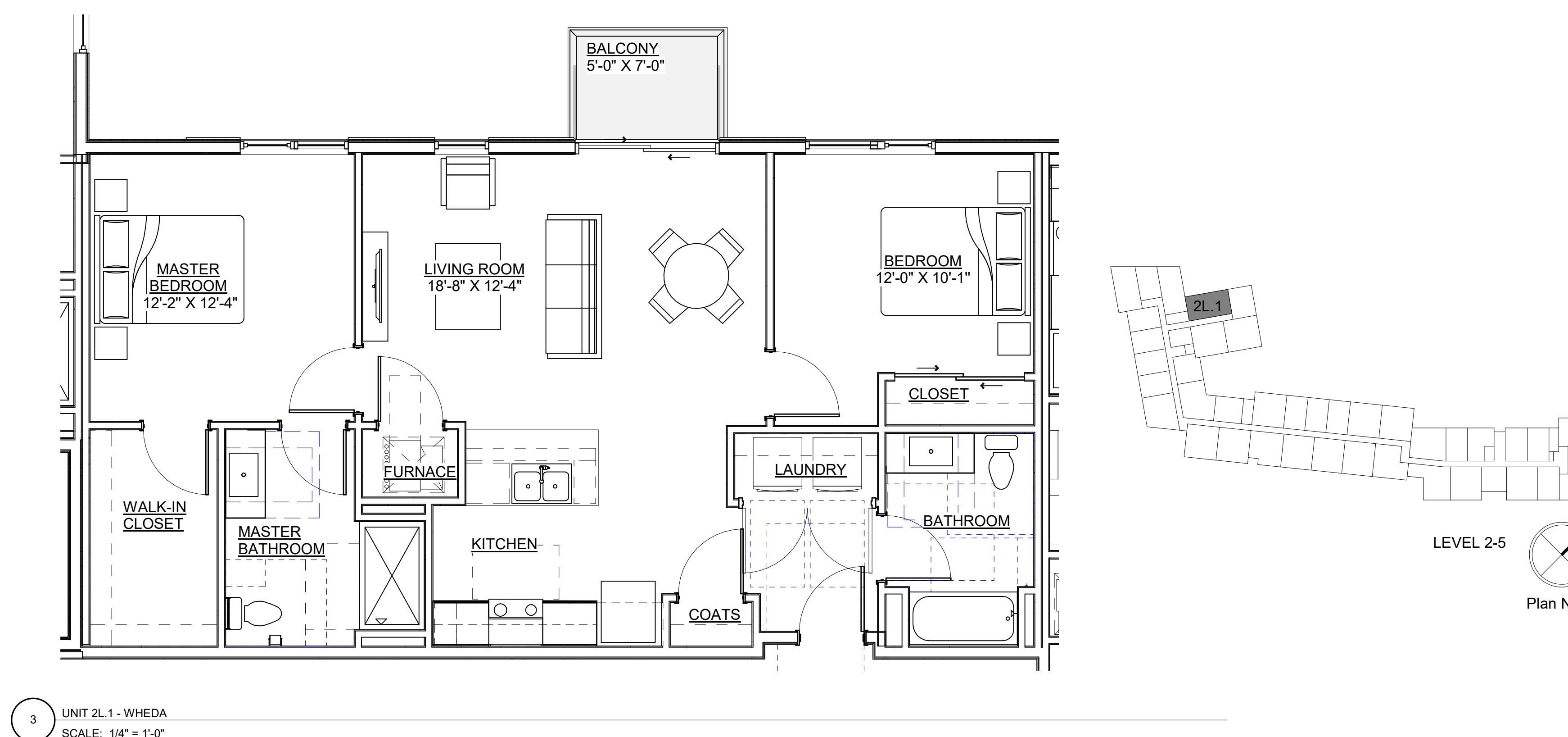
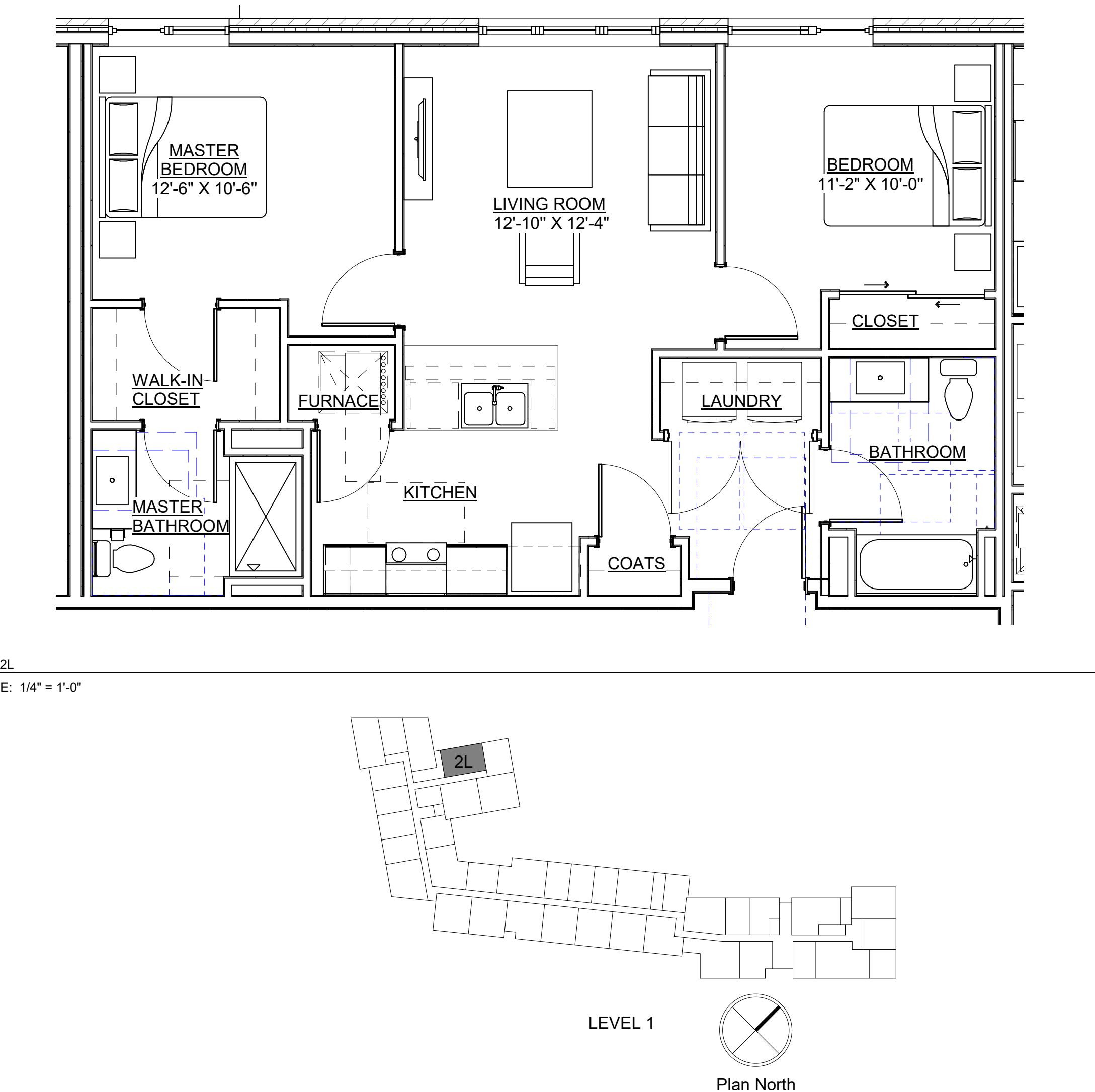
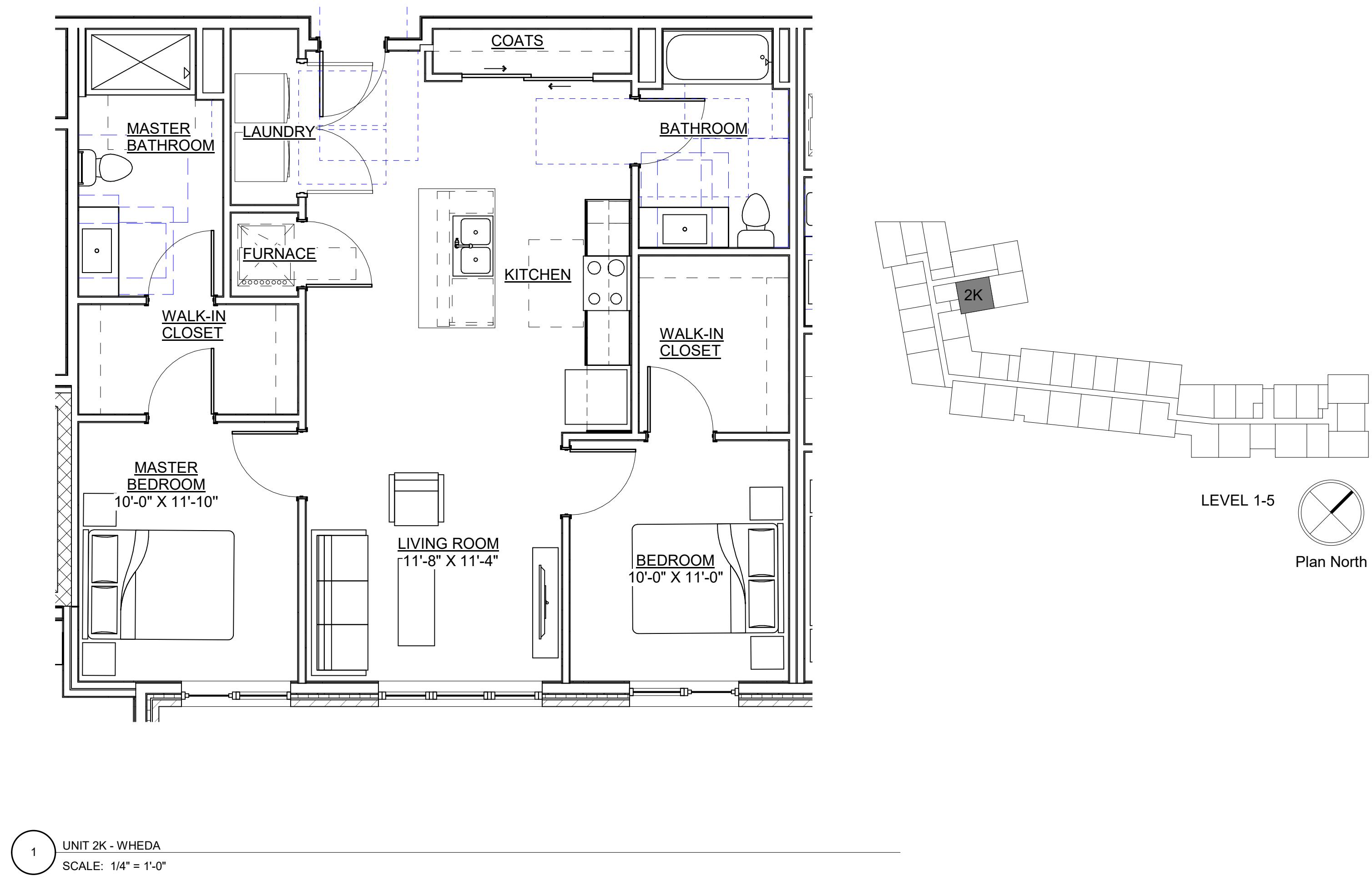
KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER



DRAWN BY _____ Author
CHECKED BY _____ Checker

ENLARGED UNIT PLANS



GENERAL NOTES - UNIT PLANS

- VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
- BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF FURNITURE, CLOTHING, ETC.
- ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE Q2 UNLESS OTHERWISE NOTED.
- 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
- WALLS TO BE Q2 UNLESS OTHERWISE NOTED.
- VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
- INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
- PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
- GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.
- PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.
- PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
- PROVIDE GYPSUM BOARD ON WALLS AND CEILINGS AS SHOWER HEAD.
- PROVIDE ROBE HOOK ON WALLS AS SHOWER HEAD.
- WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRY/WALL RATHER THAN CABINETRY.
- REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR GIB BAR INSTALLATIONS.
- SEE SEPARATE PLANS FOR UNIT DEMISING LOCATIONS AND WALL TAGS.
- ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
- PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
- REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY _____
CHECKED BY _____

ENLARGED UNIT PLANS

3100 EAST WASHINGTON

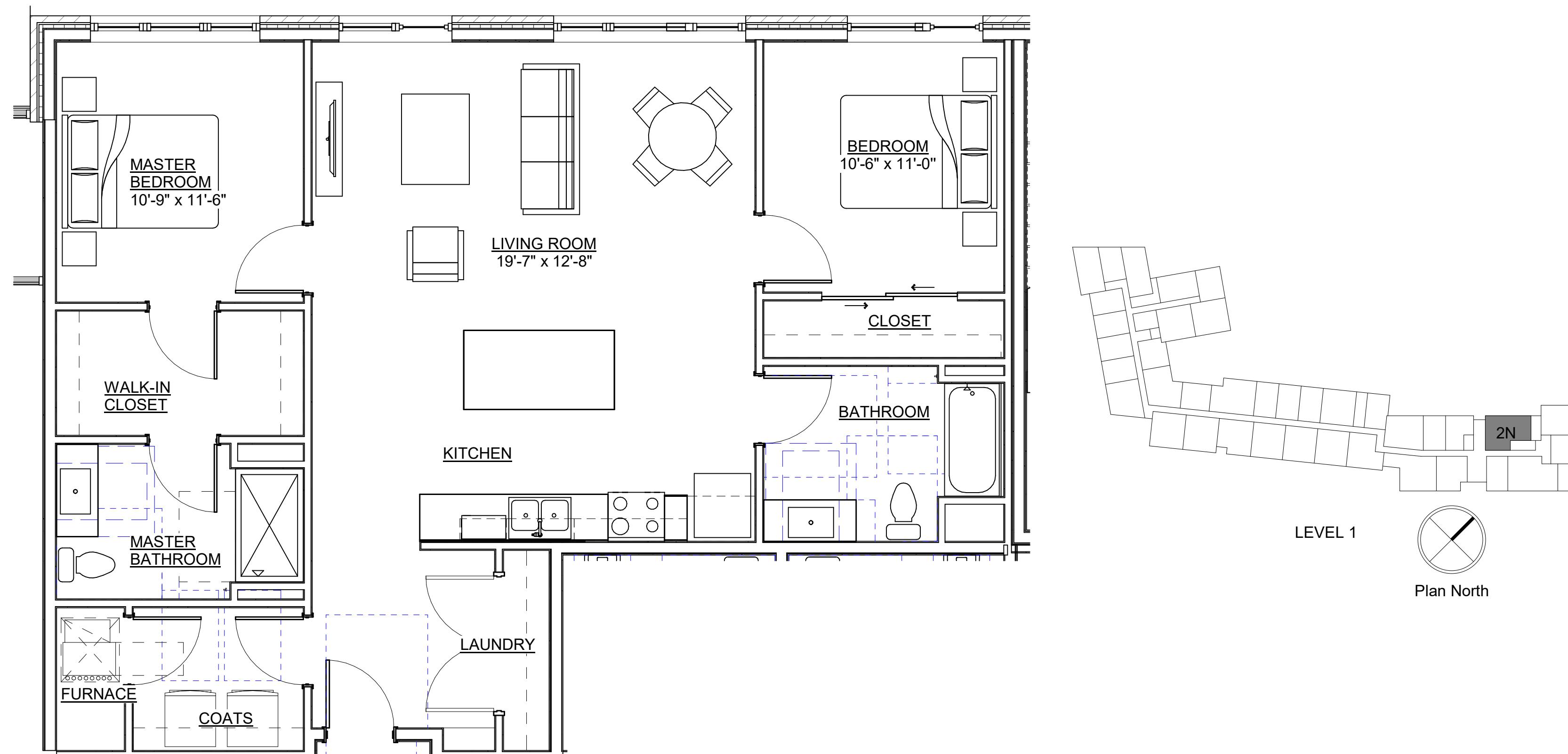
3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER
233606.00

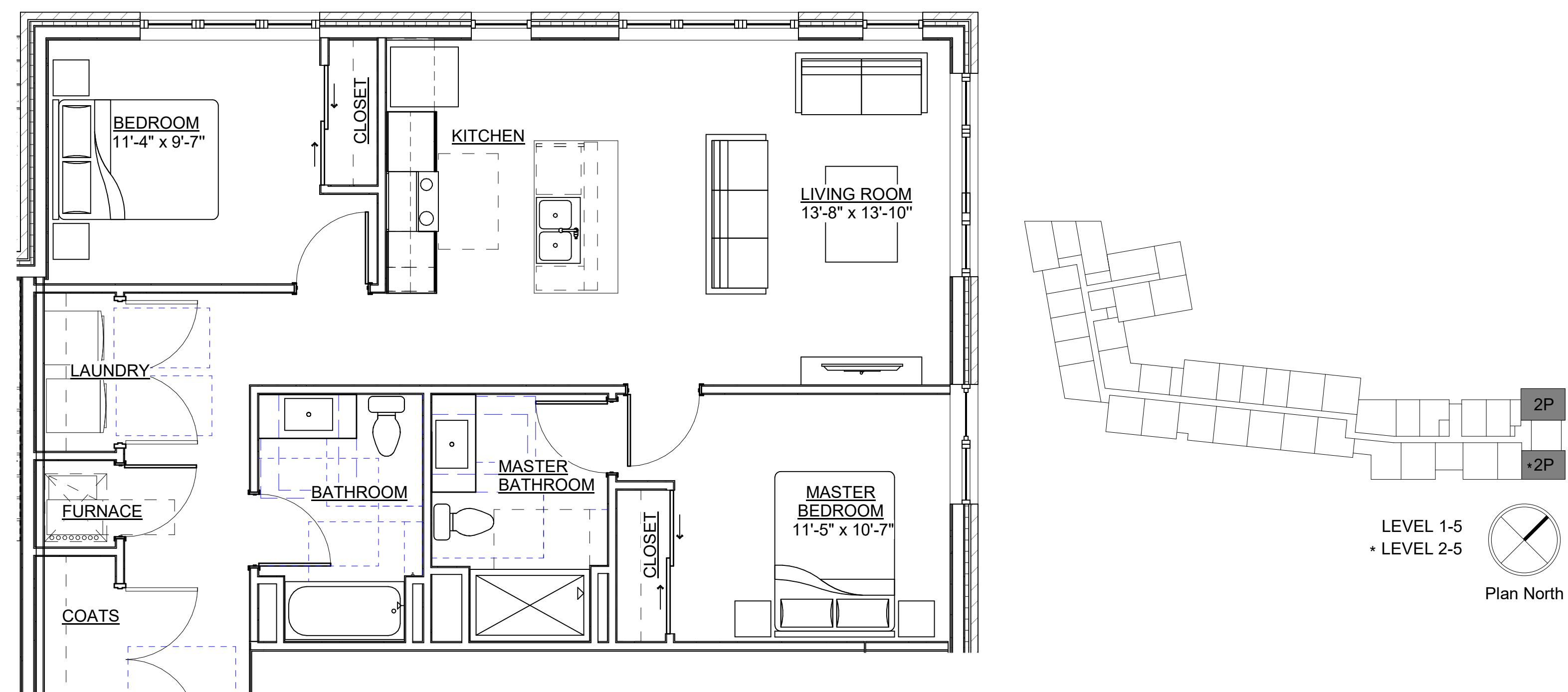
ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

A306



2 UNIT 2N
SCALE: 1/4" = 1'-0"



3 UNIT 2P
SCALE: 1/4" = 1'-0"

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE

MADISON, WI 53704

OWNER

BEAR DEVELOPMENT

4011 80TH STREET

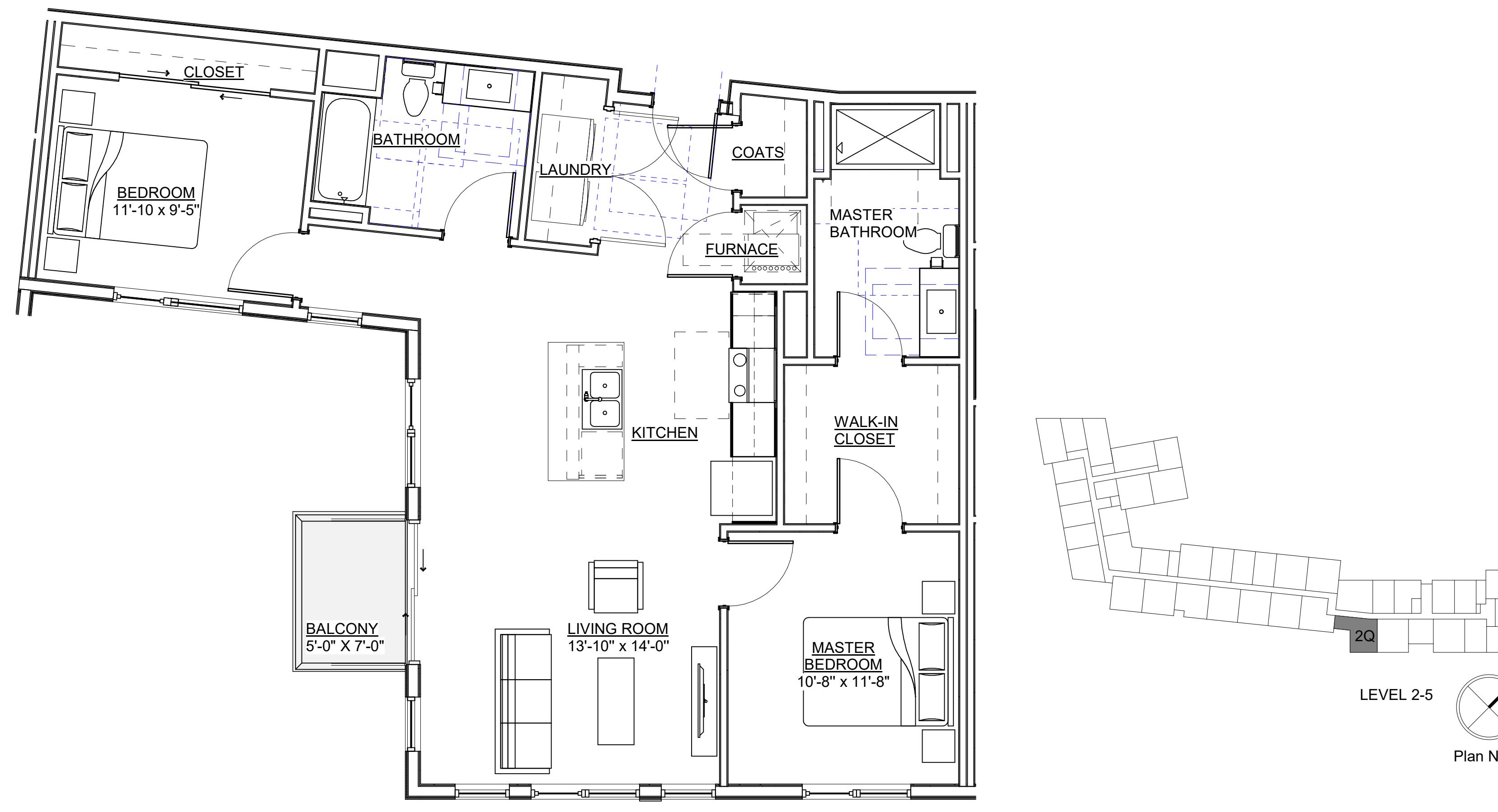
KENOSHA, WI 53142

PROJECT NUMBER

233606.00

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LAND USE APPLICATION
08/07/23

REVISION FOR:
NO. DESCRIPTION DATE



1 UNIT 2Q
SCALE: 1/4" = 1'-0"



DRAWN BY _____
CHECKED BY _____

Author

Checker

ENLARGED UNIT PLANS

GENERAL NOTES - UNIT PLANS

1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR-SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR PLACEMENT OF NEW CONSTRUCTION.
3. ALL DIMENSIONS IN PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
4. ALL WALLS ARE TO BE PLASTERED UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED.
6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER.
8. PROVIDE ACCESS TO ALL SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
9. PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET EDGES, INCLUDING UNDERNEATH CABINETS OVER SINKS IF EXPOSED.
10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETS.
11. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.
12. PROVIDE GYPSUM BOARD RETURNS AT ALL SWINGING SHOWER STALLS AND OTHER WET LOCATIONS.
13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.
14. PROVIDE ROBE HOOK ON WALL SAME END AS SHOWER HEAD.
15. PROVIDE GRAB BARS IN ALL TOILET AND BATHROOM WALLS OTHER THAN CABINERY.
16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATION.
17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
18. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS. UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED. SEE SHEET A400.
19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER
SH-2: TYPE B BATHTUB
SH-3: TYPE A ROLL-IN SHOWER

4 UNIT 2R
SCALE: 1/4" = 1'-0"

A307

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)
MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

3100 EAST WASHINGTON

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MADISON, WI 53704

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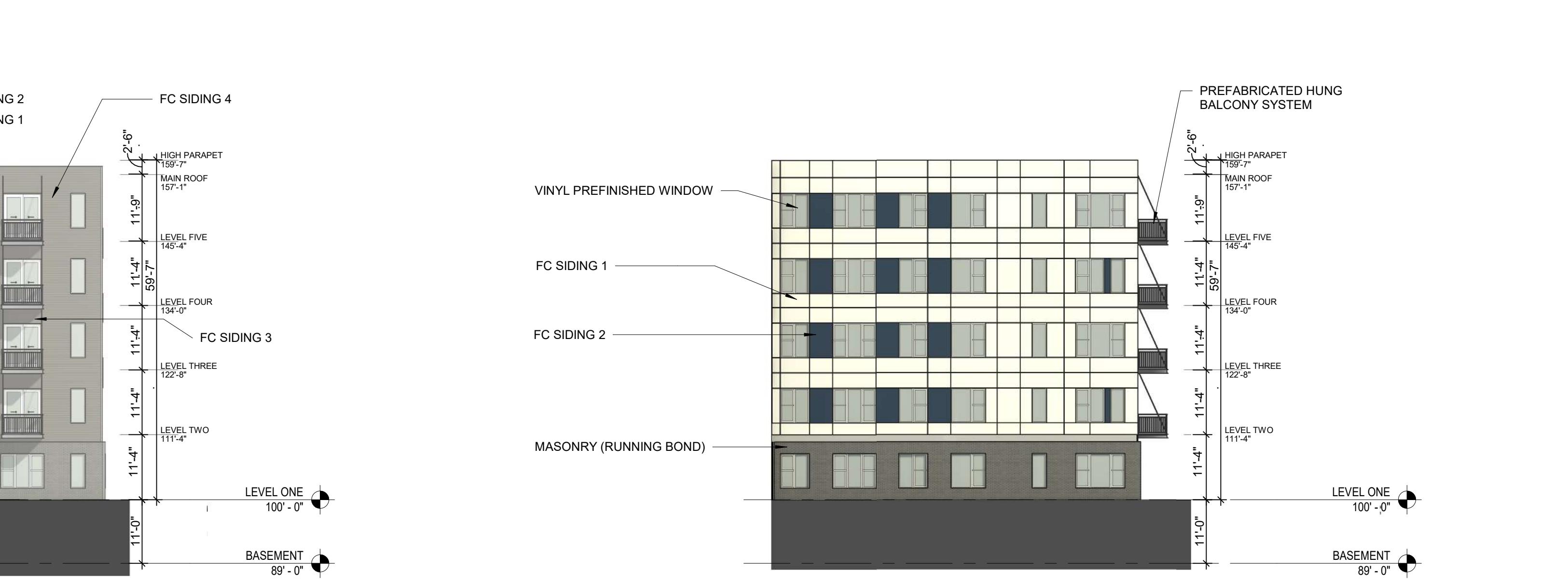
1 WEST ELEVATION INSET 1 - DESIGN
SCALE: 1/16" = 1'-0"

0 8 16'



2 WEST ELEVATION INSET 2 - DESIGN
SCALE: 1/16" = 1'-0"

0 8 16'



3 NORTH ELEVATION 2 - DESIGN
SCALE: 1/16" = 1'-0"

0 8 16'

4 EAST ELEVATION 3 - DESIGN
SCALE: 1/16" = 1'-0"

0 8 16'

DRAWN BY Author
CHECKED BY Checker

BUILDING ELEVATIONS

MATERIAL LEGEND

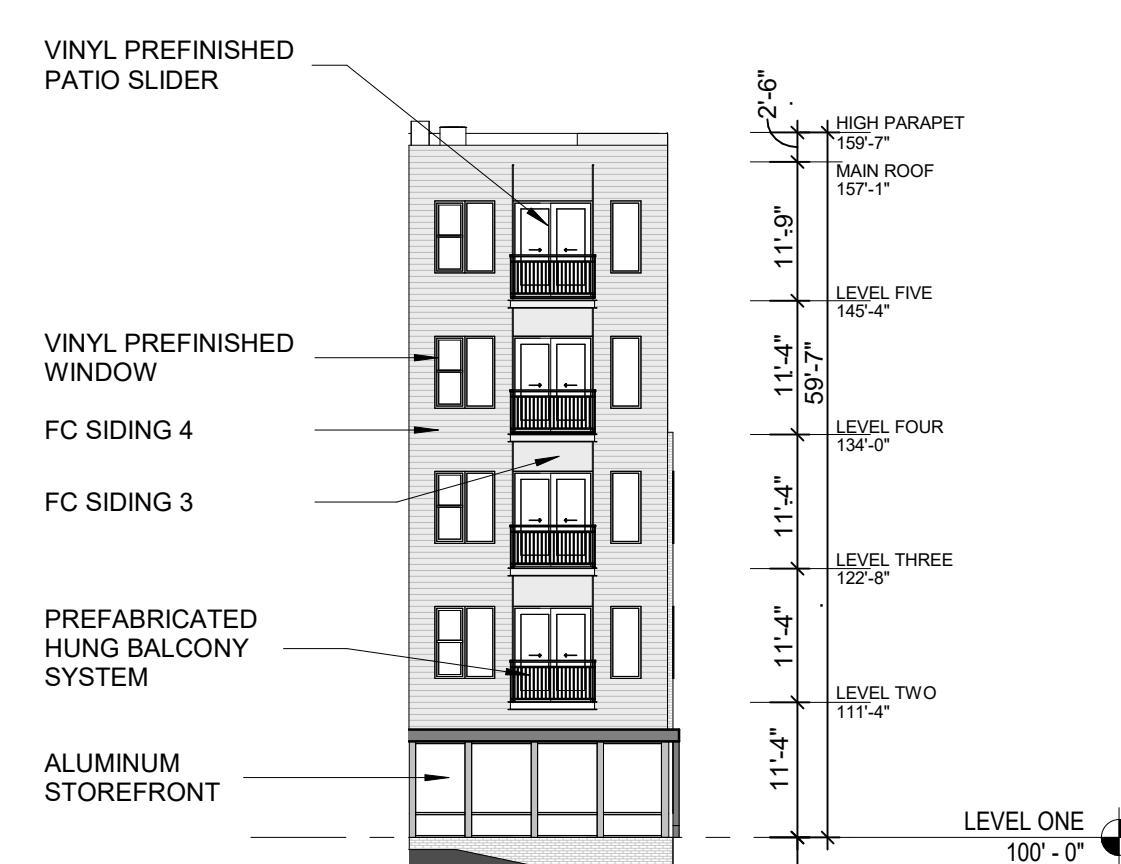
WINDOWS: BOD: PREFINISHED VINYL (WHITE)
MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



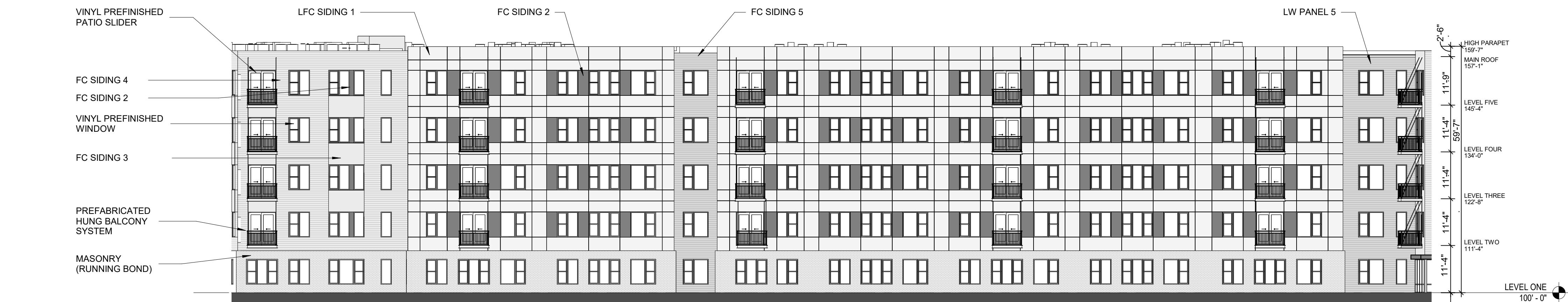
1 NORTH ELEVATION 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



3 HIDDEN SOUTH ELEVATION B&W
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"



5 WEST ELEVATION - DESIGN B&W
SCALE: 1/16" = 1'-0"



6 SOUTHWEST ELEVATION - DESIGN B&W
SCALE: 1/16" = 1'-0"

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MAIDISON, WI 53704
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KENOSHA, WI 53142

PROJECT NUMBER
233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

DRAWN BY _____ Author
CHECKED BY _____ Checker

BUILDING ELEVATIONS

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)
MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)
FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

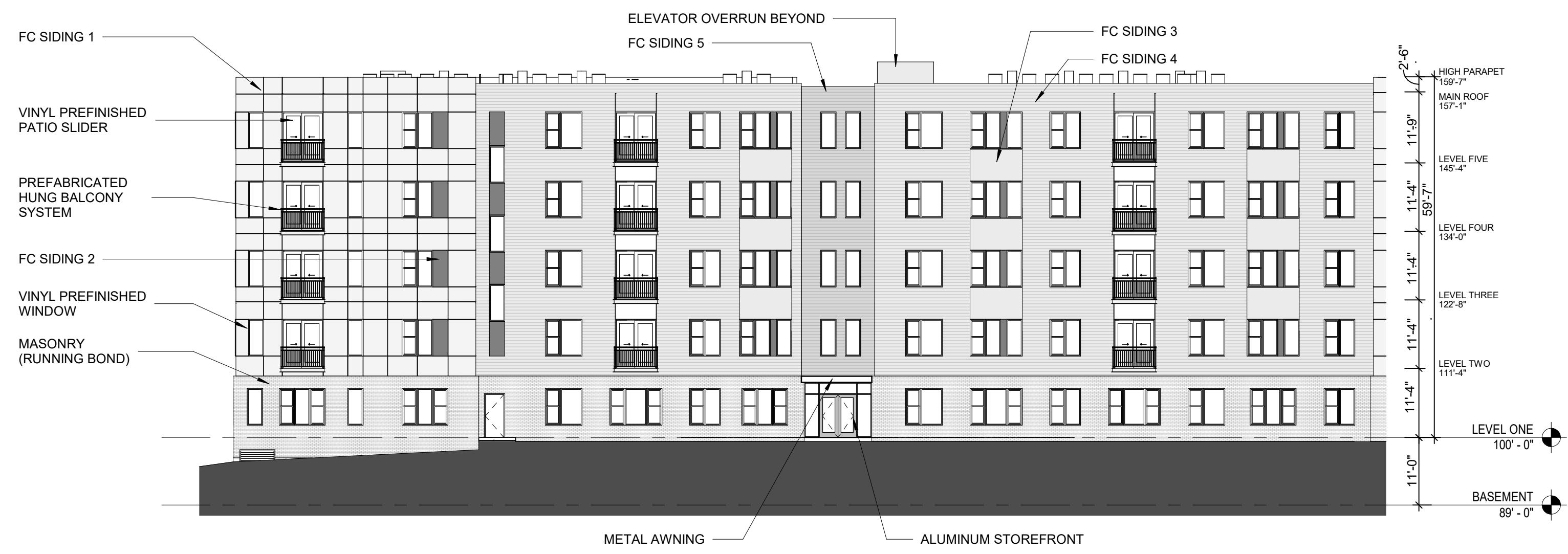
3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

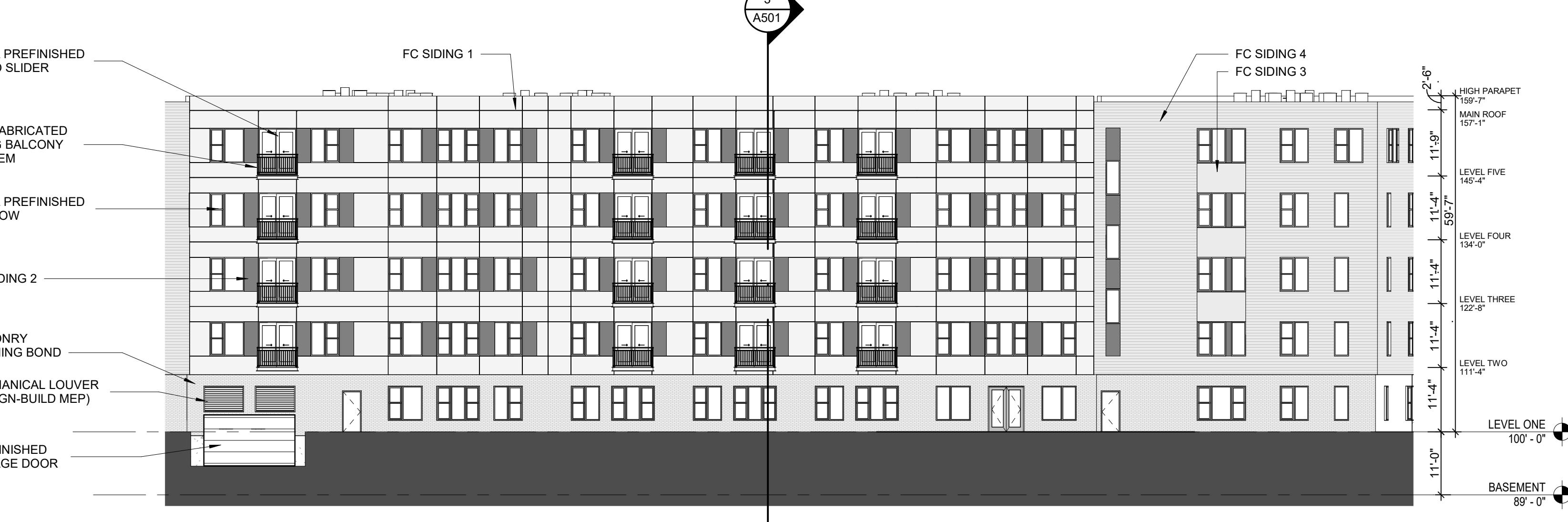
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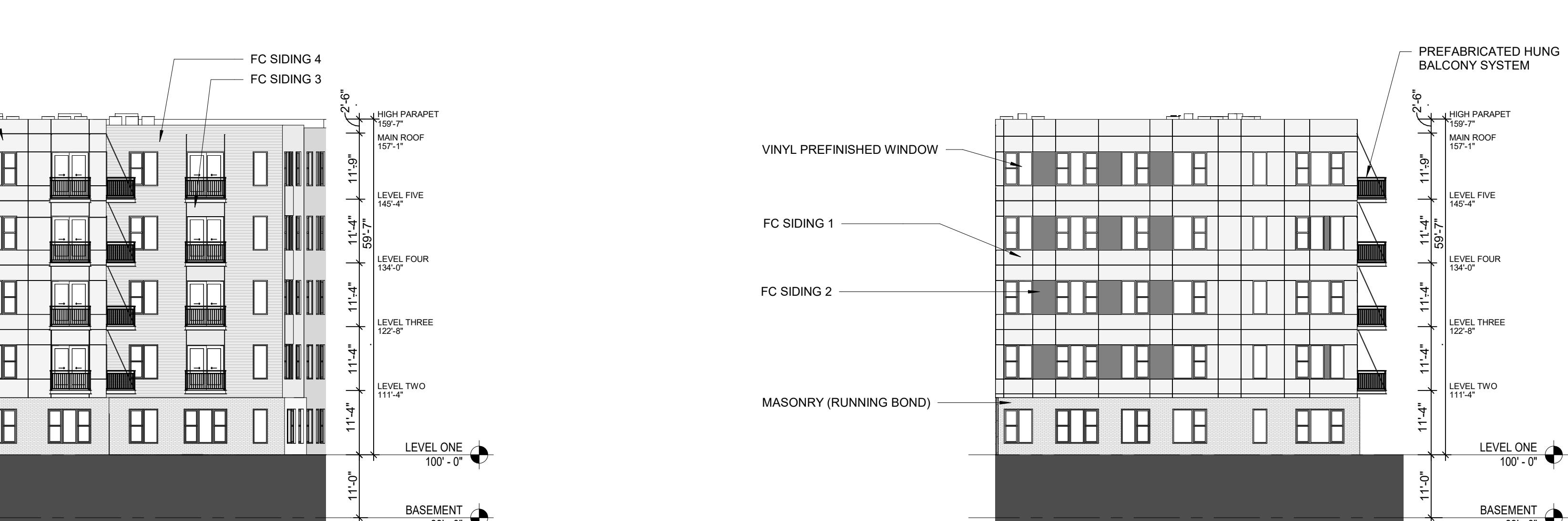
1 WEST ELEVATION INSET 1 - DESIGN B&W
SCALE: 1/16" = 1'-0"

0 8 16



2 WEST ELEVATION INSET 2 - DESIGN B&W
SCALE: 1/16" = 1'-0"

0 8 16



3 NORTH ELEVATION 2 - DESIGN B&W
SCALE: 1/16" = 1'-0"

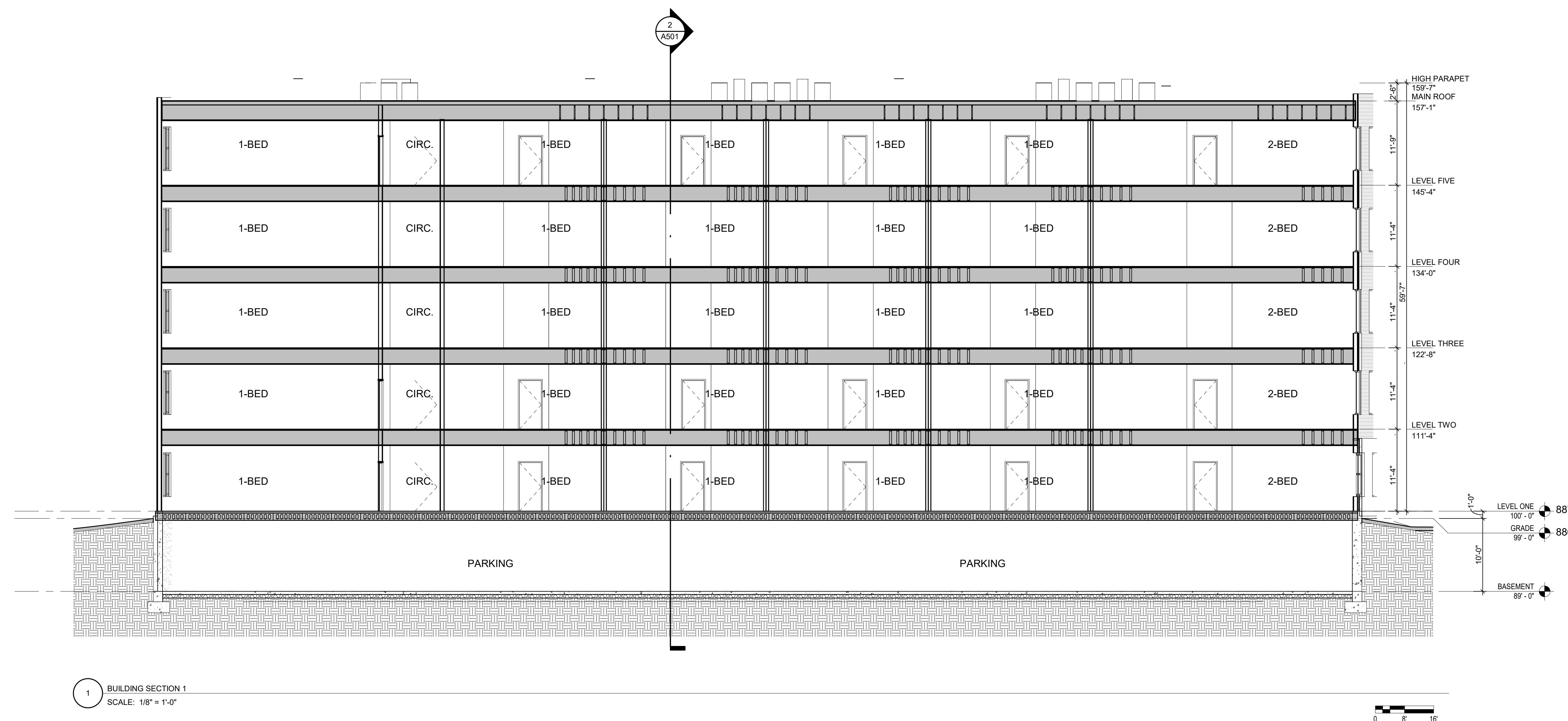
0 8 16

4 EAST ELEVATION 3 - DESIGN B&W
SCALE: 1/16" = 1'-0"

0 8 16

DRAWN BY Author
CHECKED BY Checker

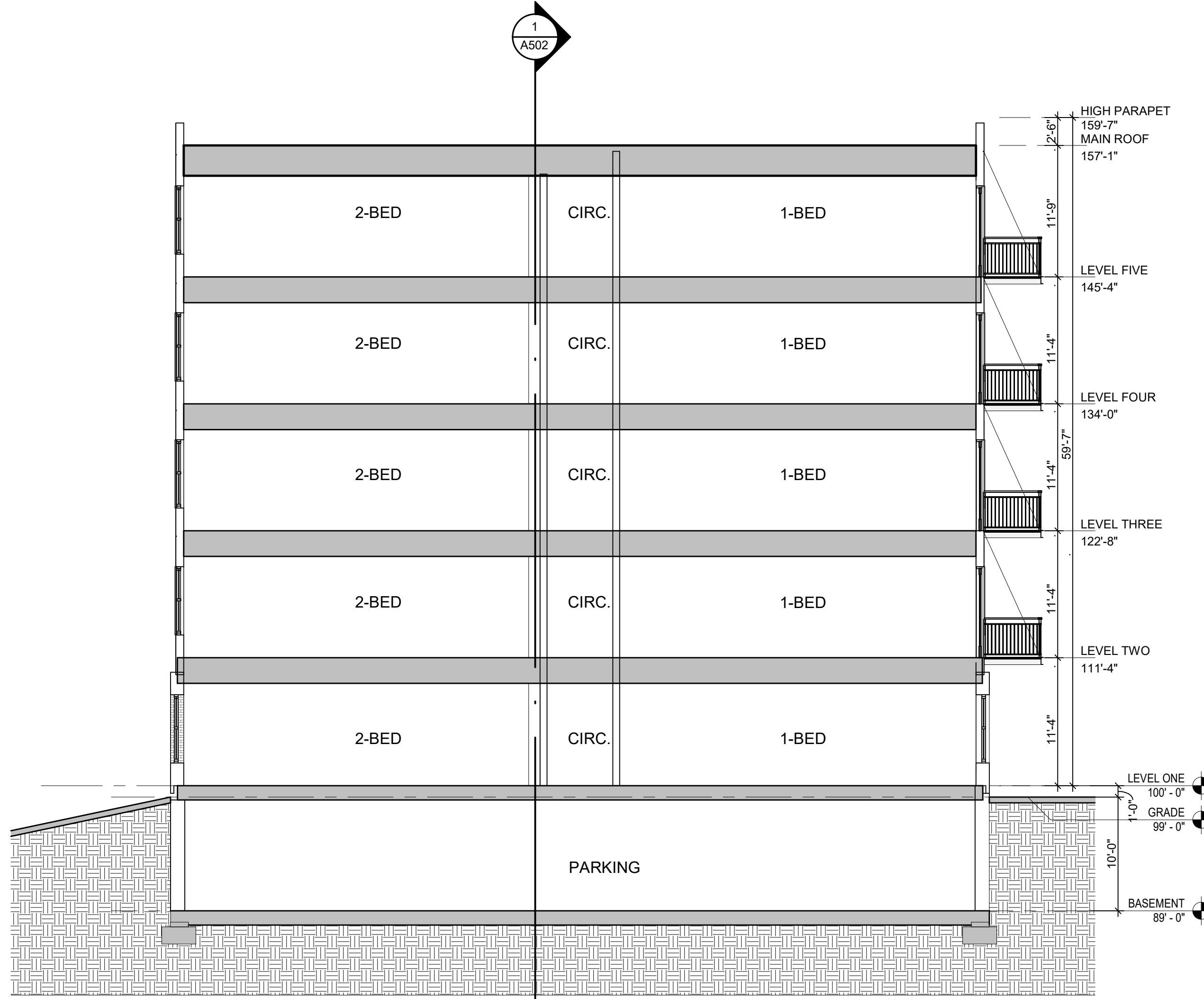
BUILDING ELEVATIONS



1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

1000

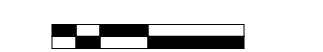


BUILDING SECTIONS



2 BUILDING SECTION 3
SCALE: 1/8" = 1'-0"

THEORY OF THE ECONOMIC SYSTEM





3100 EAST WASHINGTON



3100 EAST WASHINGTON



3100 EAST WASHINGTON

EXTERIOR RENDERINGS
SCALE: