

APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Complete all sections of this application, including signature on page 2.

To request an interpreter, translation, or accommodations, call (608)266-4910.

Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.

Koj muaj txoj cai tau txais kev txhais lus, kev pes lus los sis kev pab cuam txhawm rau

kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910

如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison

Building Inspection Division

215 Martin Luther King Jr Blvd, Ste 017

PO Box 2985

Madison, WI 53701-2985 (608) 266-4551



Submit the following via email to:

- Building Inspection at sprapplications@cityofmadison.com and
- Landmarks Commission at LandmarksCommission@cityofmadison.com (see [submittal schedule](#))

Part 1: General Application Information

Street Address:			
Alder District:		Zoning District:	
Project Contact Person Name		Role	
Company Name			
Phone		Email	
<input type="checkbox"/>	Completed Application (this form)		
<input type="checkbox"/>	Property Owner Permission (signature on this form or an email providing authorization to apply)		
<input type="checkbox"/>	Copy of Notification sent to the Demolition Listserv		Date Sent _____
<input type="checkbox"/>	Copy of Email Pre-Application Notification of Intent to Demolish a Principal Structure sent to District Alder , City-registered neighborhood association(s) , and City-listed business association(s) .		Date Sent _____
<input type="checkbox"/>	\$600 Demolition Application Fee (additional fees may apply depending on full scope of project)		
<input type="checkbox"/>	Demolition Plan		
	Are you also seeking a Zoning Map Amendment (Rezoning) or Conditional Use? <input type="checkbox"/> Yes <input type="checkbox"/> No		

Part 2: Information for Landmarks Historic Value Review

<input type="checkbox"/>	Letter of Intent describing the proposed structure to be demolished, description of proposed method and timeline of demolition
<input type="checkbox"/>	Construction Information (Dates of construction and alterations, architect name, builder name, history of property, historic photos)
<input type="checkbox"/>	Existing Condition Photos (Interior and exterior digital photos of each principal building to be demolished sufficient to indicate its character and condition)
	Will existing structure be relocated? <input type="checkbox"/> Yes <input type="checkbox"/> No If "yes" include preliminary assessment that relocation is likely to be structurally and legally feasible
<input type="checkbox"/>	Optional: Proposed mitigation plans for properties with possible historic value

APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Part 3: Application for Plan Commission Review (if applicable)

- When Landmarks Commission finds a building has Historic Value, the demolition application must be considered by the Plan Commission.
- If Plan Commission review is required, staff will schedule the public hearing based on the [published schedule](#).
- Applicant must [make an appointment](#) to pick up “Public Hearing” sign from Zoning Counter and post the sign on property at least 21 days before Plan Commission hearing.

Demolition requests will be scheduled concurrently with other related requests before the Plan Commission, where applicable. A schedule confirmation will be emailed to the designated project contact. Contact staff at pcapplications@cityofmadison.com with questions.

Part 4: Signature

Property Owner Authorizing Signature (or authorized via attached email)			
Property Owner Name			
Company Name			
Street Address			
Phone		Email	

For Office Use Only	
Date:	
Accela ID No.:	

March 17, 2026

TO:
City of Madison Zoning
215 Martin Luther King Jr. Blvd, Suite 017
Madison, WI 53703

RE:
Letter of Intent – Building Demolition Application

PROJECT:
Ganser Way Multi-Family
7601 Ganser Way
Madison, WI 53719

A-Y PROJECT # 80390

The following is submitted together for review by the Staff: Letter of Intent (this document), Demolition Application, Landmarks Commission Application, Alder Notification Email, Listserv Demolition Notification Approval, Existing Property Photos, Existing Building Plans, Demolition Site Plan (Proposed).

This demolition application is for the demolition of an existing two-story above grade, 20,108 square foot office building located at 7601 Ganser Way. The structure is a wood framed commercial building with an exterior façade consisting of brick and wood siding. The building is supported by a conventional concrete foundation system, which will also be removed as part of this scope. The demolition is being performed to prepare the site for construction of a new six-story (above grade) multi-family residential building.

PROJECT DESCRIPTION:

1. Building History
 - The Existing Class B Office Building was constructed in 1982 and had an alteration in 2012 (utility pole).
 - The Architect of Record was Root and Brink Architects.
2. Pre-Demolition Preparation
 - Secure the site with fencing, signage, and access control
 - Complete utility disconnections and verifications by all serving utility providers
 - Implement erosion-control and dust-control measures per city requirements
3. Structural Demolition
 - Utilize excavators to systematically dismantle the structure from top down
 - Building sections will be lowered in a controlled manner to minimize vibration, dust, and noise impacts to adjacent properties
 - Debris will be separated on-site for recycling and disposal according with local and state regulations
4. Foundation and Slab Removal
 - Remove concrete foundations, footings and floor slabs using excavators
5. Site turnover for new construction

PROJECT TEAM:

DEVELOPER:

7601 Ganser Way LLC
c/o Gallatin Real Estate
PO Box 5562
Madison, WI 53705
608-481-4064
Contact: Jon Kemman
jkemman@gallatinre.com

ARCHITECT/ SITE DESIGNER:

Angus-Young
316 W. Washington Avenue - Ste 800
Madison, Wisconsin 53703
608-756-2326
Contact: AJ Robitschek
a.robitschek@angusyoung.com

PROPOSED SCHEDULE:

Pending feedback from staff, the intent is to start demolition in February or March of 2027 and begin construction of the new multi-family project in March of 2027.

Thank you for your time reviewing our proposal. We are looking forward to your support and feedback!

Sincerely,

AJ Robitschek
Angus-Young

7617 Mineral Point Road from Ganser



7603 Mineral Point Road from Ganser



7602 Radcliffe Dr from subject property



7633 Ganser Way from subject property



7601 Mineral Point Rd from subject property



488 S High Point Road from subject property



7601 Ganser Way - Subject Property



7601 Ganser Way - Subject Property



7601 Ganser Way - Subject Property



7601 Ganser Way - Subject Property



414 D'onofrio Dr from subject property



7601 Ganser Way - Subject Property



7601 Ganser Way - Subject Property



7601 Ganser Way - Subject Property

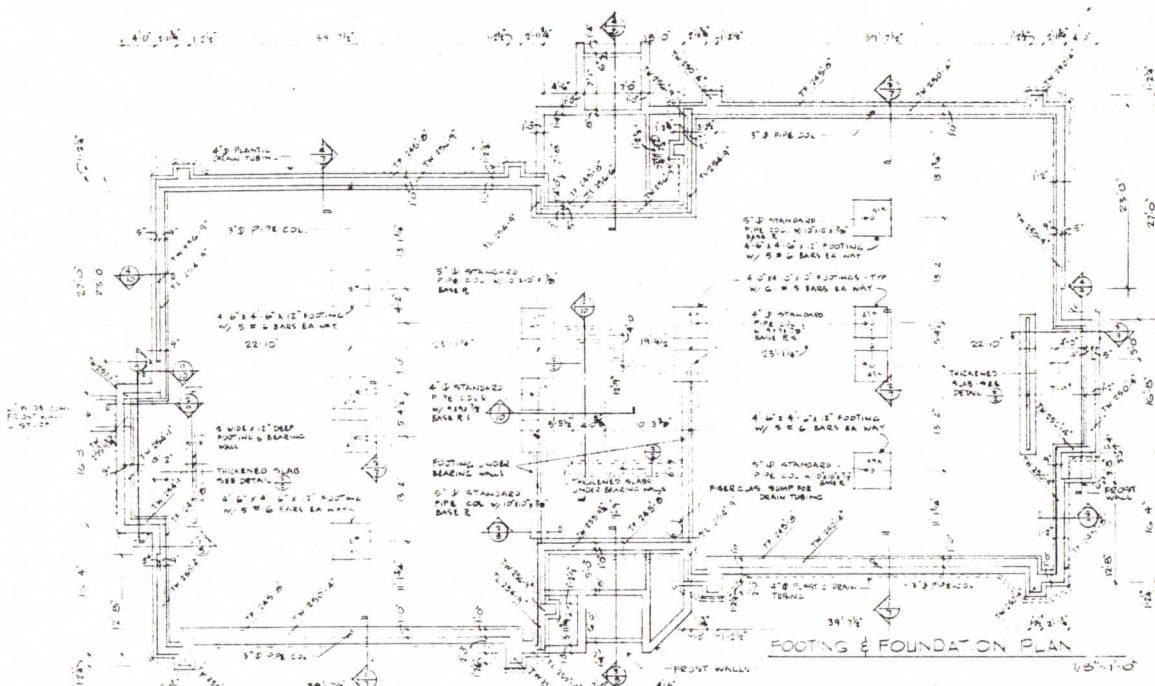


7601 Ganser Way - Subject Property

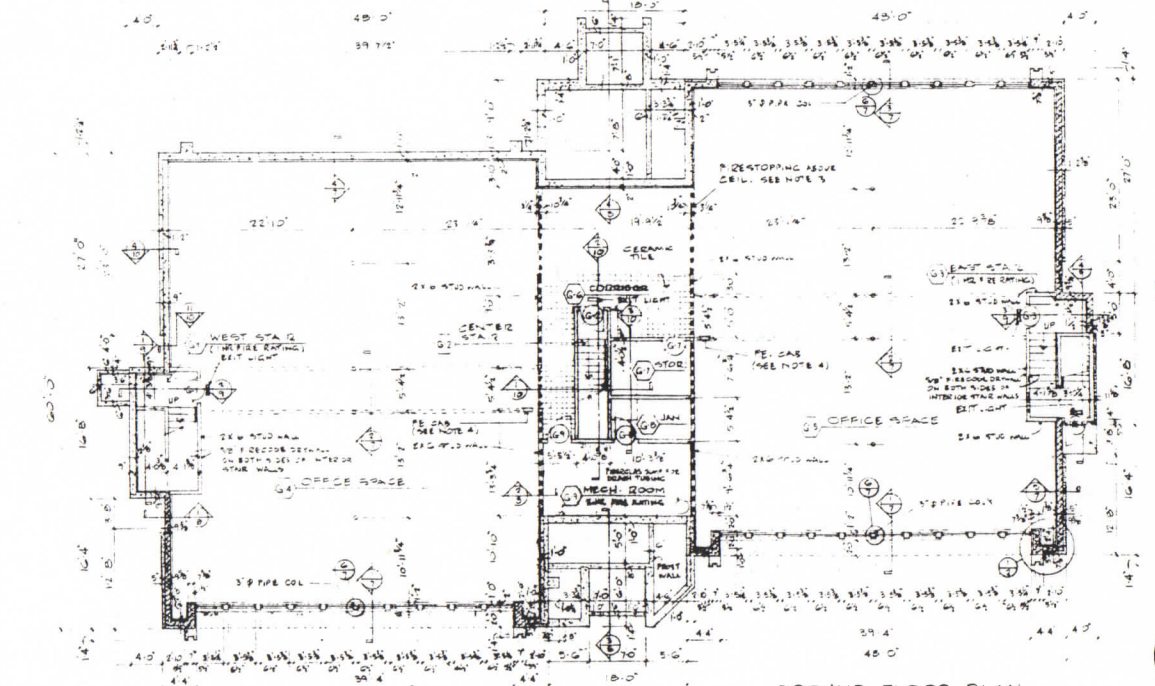


7601 Ganser Way - Subject Property





FOOTING & FOUNDATION PLAN
1/8" = 1'-0"



GROUND FLOOR PLAN
1/8" = 1'-0"

ABBREVIATIONS:

- TF 246'-0" = TOP OF FOOTING ELEVATION FOR BUILDING NO. 1
- TW 250'-0" = TOP OF CONC. WALL ELEVATION FOR BUILDING NO. 1
- TL 250'-0" = TOP OF CONC. LEDGE ELEVATION FOR BUILDING NO. 1

STRUCTURAL NOTES:

DESIGN LOADS:

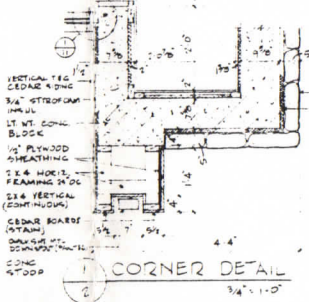
- SLOPED ROOF:
 - SNOW LOAD 10 PSF
 - DEAD LOAD 10 PSF
- FLAT ROOF:
 - SNOW LOAD 40 PSF
 - DEAD LOAD 10 PSF
- FIRST & SECOND FLOOR:
 - OFFICE AREA:
 - LIVE LOAD 55 PSF
 - DEAD LOAD 12 PSF
 - CORRIDOR & PUBLIC AREAS:
 - LIVE LOAD 60 PSF
 - DEAD LOAD 15 PSF
 - WIND LOAD 20 PSF

DESIGN STRESSES:

- CONCRETE: f'c = 3000 PSI
- STRUCT. STEEL: f'y = 36 KSI
- DECKING STEEL: f'y = 50 KSI
- SOIL BEARING: 1.5 TONS/SQ. FT. (ASSUMED)
- FLOOR JOIST: 24 x 1800 PSI
- EST. WALL STUDS: 18 x 500 PSI
- INT. WALL STUDS: 20 x 1200 PSI

GENERAL NOTES:

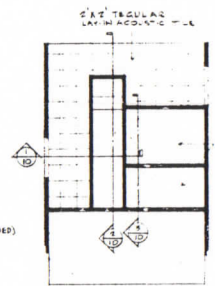
1. GENERAL CONTRACTOR SHALL HAVE A SOILS ENGINEER VERIFY THE ALLOWABLE SOIL PRESSURE PRIOR TO POURING ANY FOOTINGS.
2. ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF CONCRETE & FACE OF WOOD STUD.
3. FIRE STOPPING FROM CEILING TIGHT TO BOTTOM OF PLYWOOD FLOOR OR GYM DECK TYPICAL IN WALLS SHOWN THIS. 1/2" GAP BETWEEN JOIST OR PARTITION & G. AND F. ST. WALL & BOTH SIDES OF PARTITION ABOVE AND TO CEILING. ALL OPENINGS MUST BE TIGHT TO G. AND F. ST. WALLS. ALL COMBUSTIBLE PIPING, WIRING, ETC. MUST BE ENCLOSED INSIDE METAL KEYS EXTENDING 4 MIN. OR 18" ON BOTH SIDES OF FIRE STOP.
4. ALL FIRE RATED CLOSET DOORS SHALL CONTAIN AN ALL PURPOSE FIRE EXTINGUISHER W/A UL RATING OF 20 OR 30 (CHECK WITH FIRE DEPT. FOR EXACT LOCATION OF CABINET OR INSTALLATION).



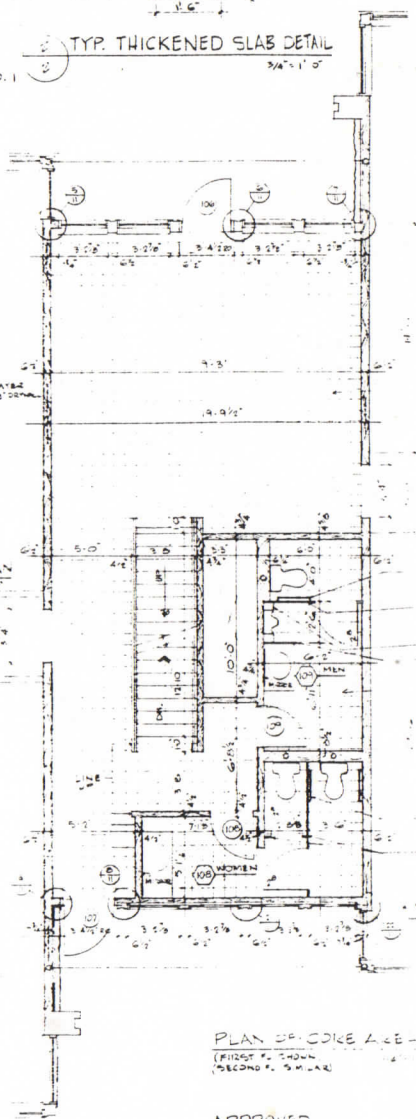
CORNER DETAIL
3/4" = 1'-0"



TYP. THICKENED SLAB DETAIL
3/4" = 1'-0"



GND. FL. REFLECTED CELL PLAN
1/8" = 1'-0"



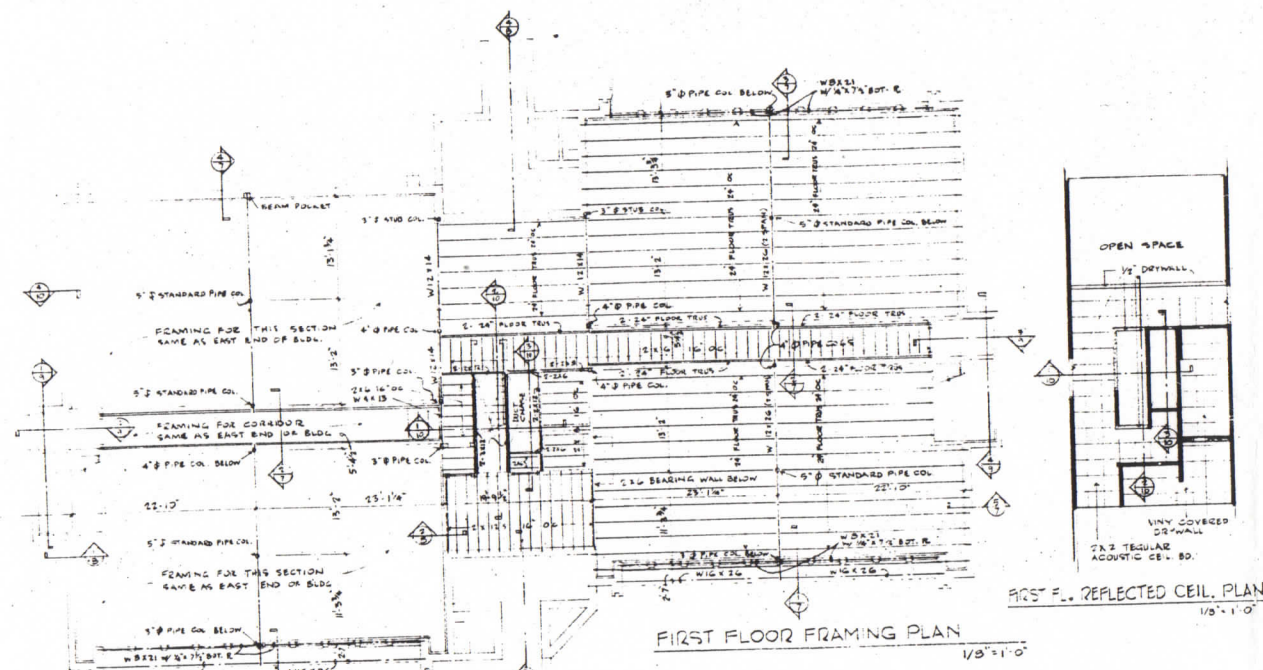
PLAN OF CORE AREA
(FIRST FLOOR)
(SECOND FLOOR)

APPROVED _____ DATE _____
PLAN DEPARTMENT



H. T. OFFICE BUILDING
FOR
HIGH POINT TOWNE JOINT VENTURE
7201 GANGLER WAY MADISON WISCONSIN
ROOT AND BRINK ARCHITECTS
4808 REGENT STREET
MADISON, WI 53706
PHONE (608) 233-8318

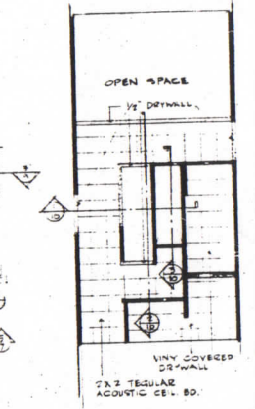
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COMM NO. 0124	
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CHECKED BY:	
REVISIONS:	



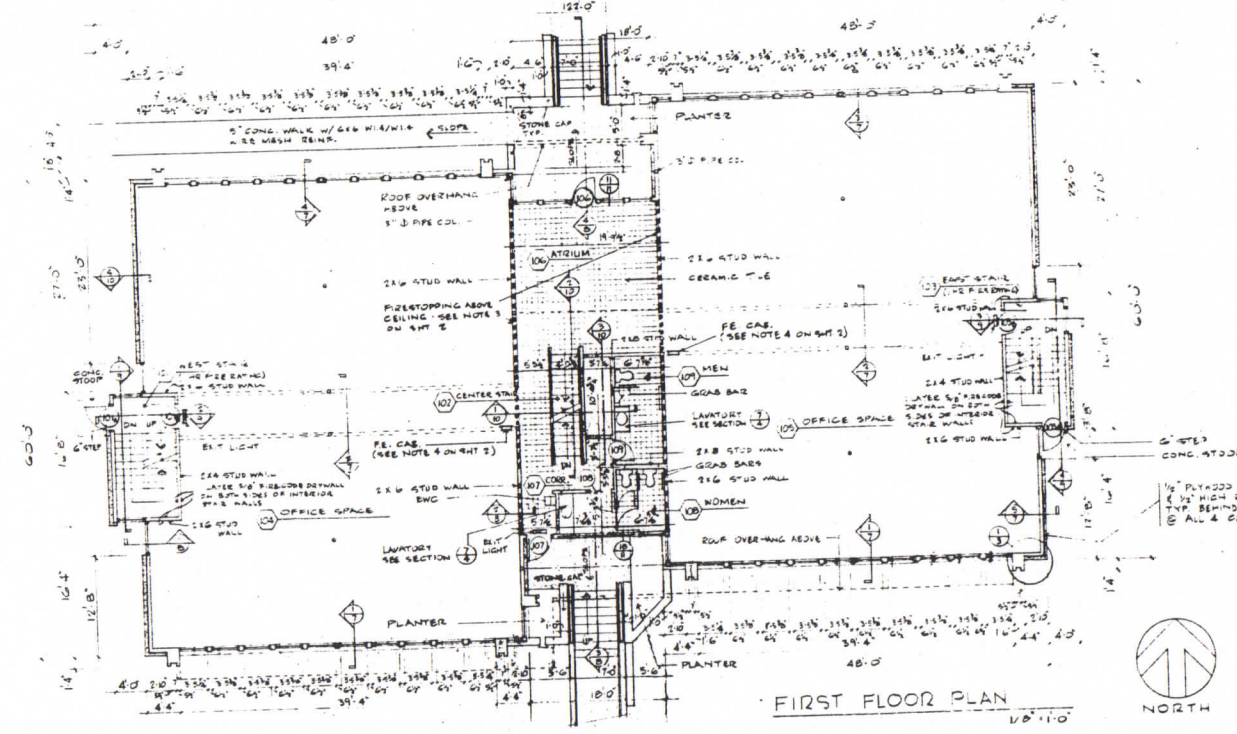
FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"

ROOM FINISH SCHEDULE

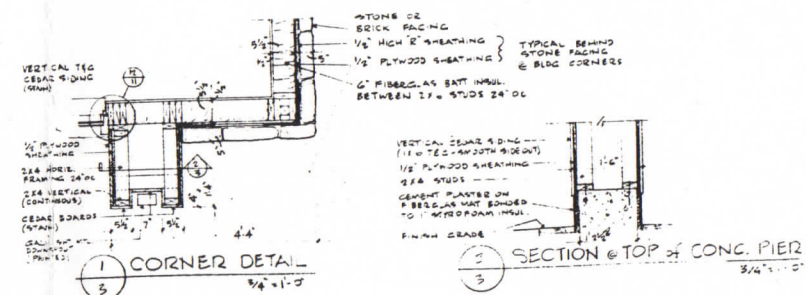
ROOM NO.	ROOMS	FLOORS	BASES	WALLS	CEILING	REMARKS
101	WEST STAIR	5	5	5	5	
102	CENTER STAIR	5	5	5	5	
103	EAST STAIR	5	5	5	5	
104	OFFICE SPACE	5	5	5	5	
105	OFFICE SPACE	5	5	5	5	
106	CORRIDOR	5	5	5	5	
107	STORAGE	5	5	5	5	
108	JANITOR CLOSET	5	5	5	5	
109	MECHANICAL RM	5	5	5	5	
110	WEST STAIR	5	5	5	5	
111	CENTER STAIR	5	5	5	5	
112	EAST STAIR	5	5	5	5	
113	OFFICE SPACE	5	5	5	5	
114	OFFICE SPACE	5	5	5	5	
115	ATRIUM	5	5	5	5	
116	CORRIDOR	5	5	5	5	
117	WOMEN'S TOILET	5	5	5	5	
118	MEN'S TOILET	5	5	5	5	
119	WEST STAIR	5	5	5	5	
120	CENTER STAIR	5	5	5	5	
121	EAST STAIR	5	5	5	5	
122	OFFICE SPACE	5	5	5	5	
123	OFFICE SPACE	5	5	5	5	
124	OFFICE SPACE	5	5	5	5	
125	OFFICE SPACE	5	5	5	5	
126	CORRIDOR	5	5	5	5	
127	WOMEN'S TOILET	5	5	5	5	
128	WOMEN'S TOILET	5	5	5	5	
129	MEN'S TOILET	5	5	5	5	



FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"



CORNER DETAIL
3/4" = 1'-0"

SECTION @ TOP of CONC. PIER
3/4" = 1'-0"

APPROVED
PLAN DEPARTMENT
W.H. Korte

H. T. OFFICE BUILDING
HIGH POINT TOWNE JOINT VENTURE
1601 GANSEMER WAY MADISON, WISCONSIN

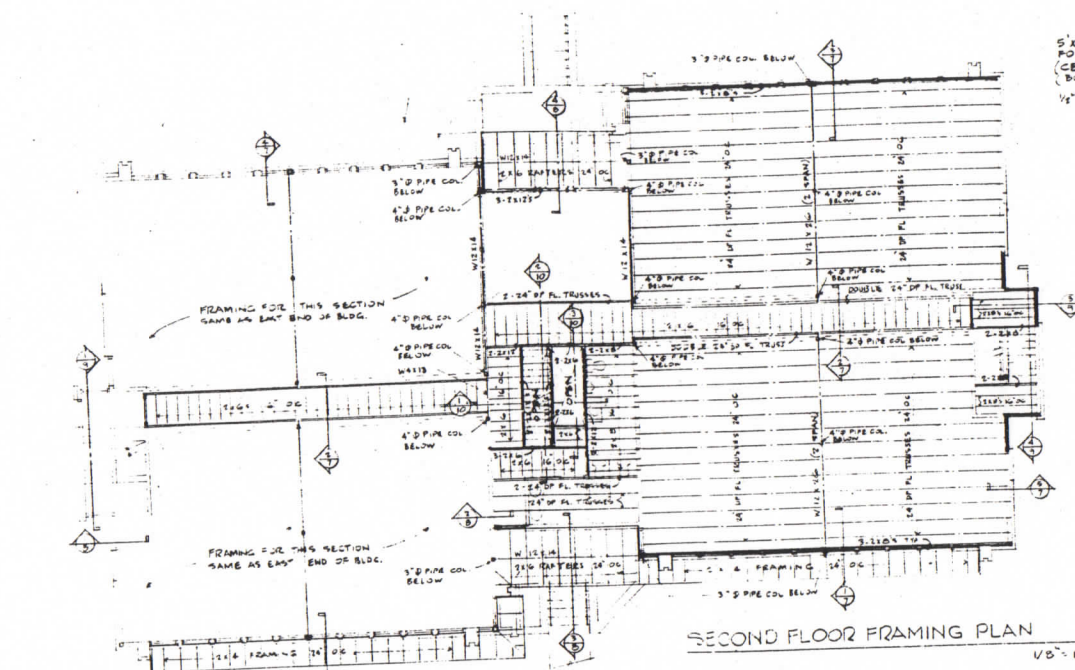
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COMM. NO. 0124
DRAWN BY: 6124
CHECKED BY:

REVISIONS

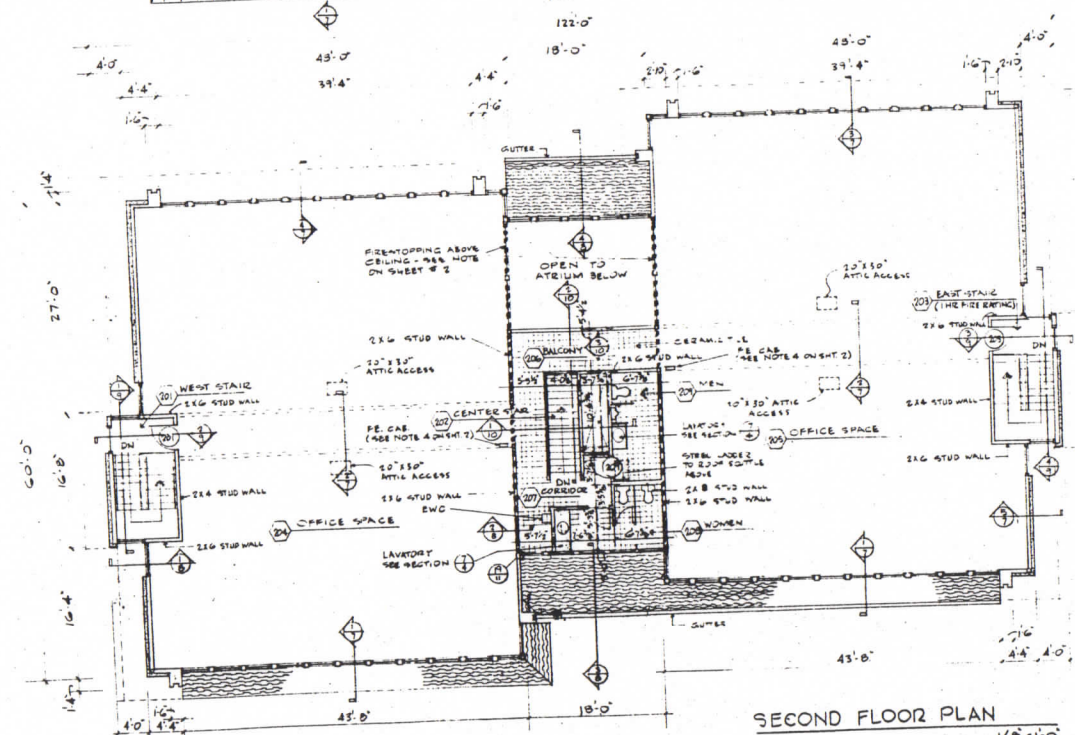
DATE: 9/21/08
COMM. NO. 0124
DRAWN BY: 6124
CHECKED BY:

SHEET NO.
3

ROOT AND BRINK ARCHITECTS
4506 REGENT STREET
MADISON, WIS. 53708
PHONE: (608) 233-9318

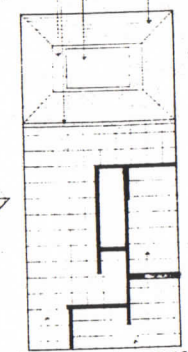


SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"

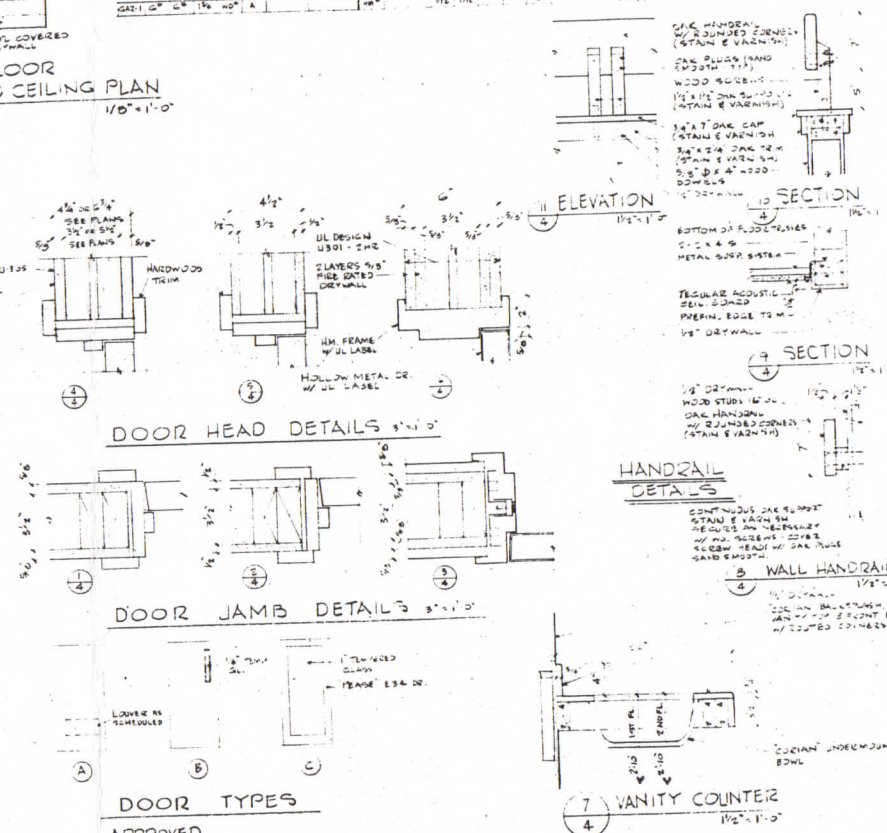
1X6 T&G CEDAR SIDING AT CEILING OVER ATRIUM
5 X 8' OPENING IN CEILING FOR SKYLIGHT (CENTERED IN ATRIUM SPACE) BOTH DIRECTIONS
1/2" DETAIL



SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

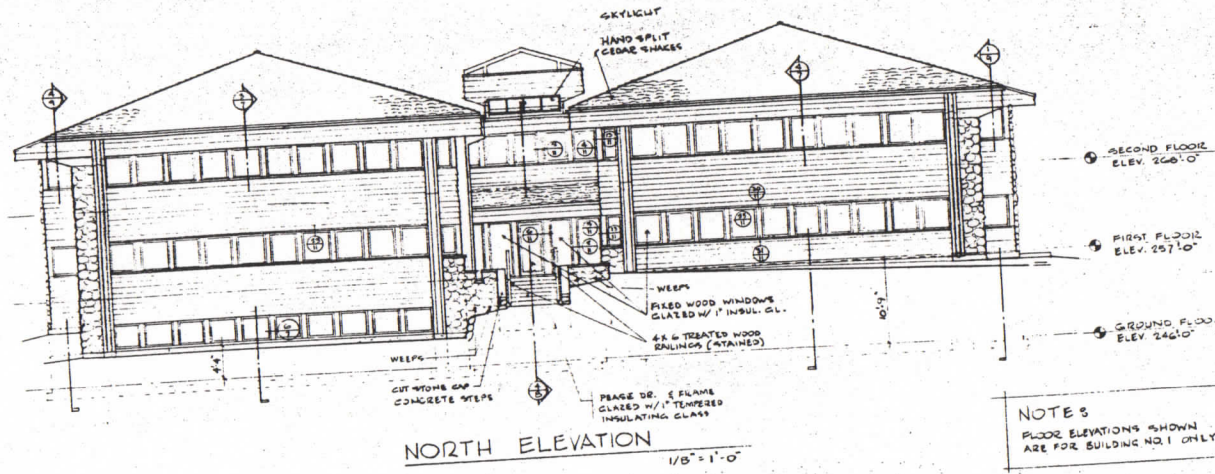
DOOR & HARDWARE SCHEDULE

NO.	SIDE	DOOR		FRAME		HARDWARE		REMARKS							
		W	H	MAT. TYPE	GLASS	W	H		UL LABEL	NO.	UL LABEL	NO.			
101	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
102	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
103	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
104	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
105	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
106	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
107	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
108	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
109	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
110	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
111	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
112	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
113	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
114	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
115	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
116	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
117	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
118	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
119	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
120	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
121	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
122	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
123	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
124	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
125	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
126	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
127	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
128	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
129	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
130	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
131	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
132	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
133	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
134	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
135	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
136	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
137	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
138	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
139	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
140	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
141	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
142	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
143	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
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146	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
147	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
148	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
149	CB	36	96	SC	B	HD	1/2	3/8	HR	3					
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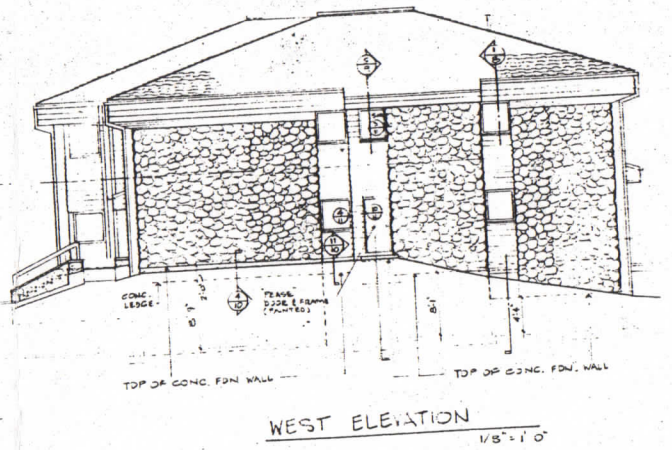
APPROVED
PLAN DEPARTMENT
H. T. OFFICE BUILDING
FOR
HIGH POINT TOWNE JOINT VENTURE
7601 GANSEY WAY MADISON, WISCONSIN
ROOT AND BRINK ARCHITECTS
4008 REGENT STREET
MADISON, WIS. 53708
PHONE (608) 233-5318

DATE: SEPT 01 01	SHEET NO.
COMM. NO. 0124	4
DRAWN BY: ESR	
CHECKED BY:	
REVISIONS:	

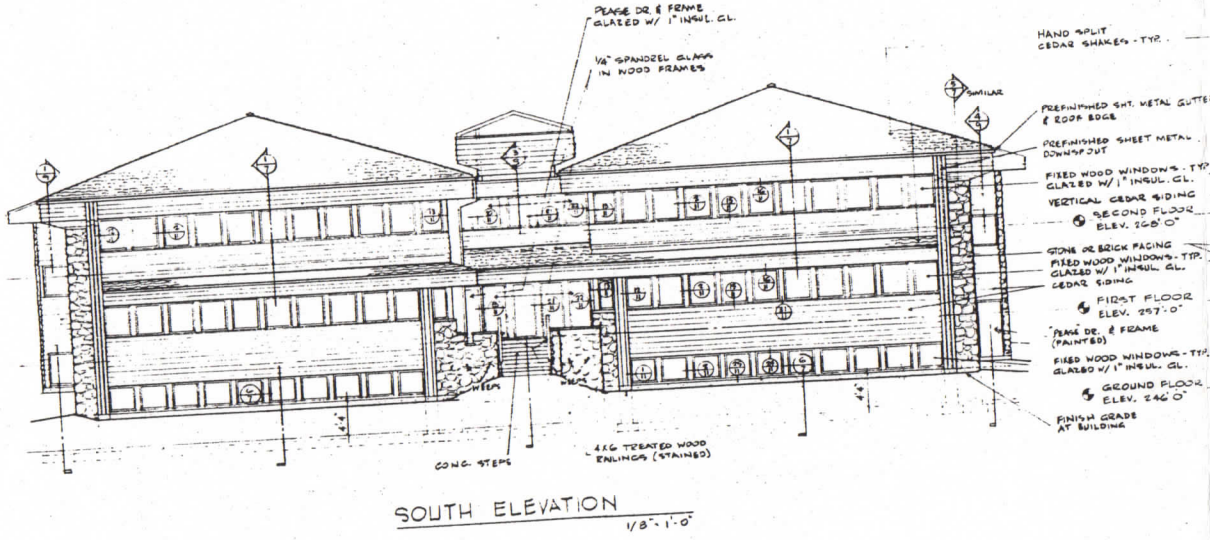


NORTH ELEVATION
1/8" = 1'-0"

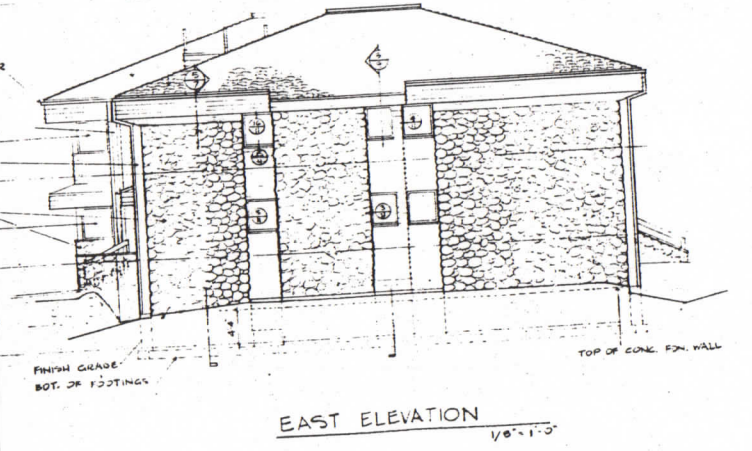
NOTES
FLOOR ELEVATIONS SHOWN
ARE FOR BUILDING NO. 1 ONLY



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

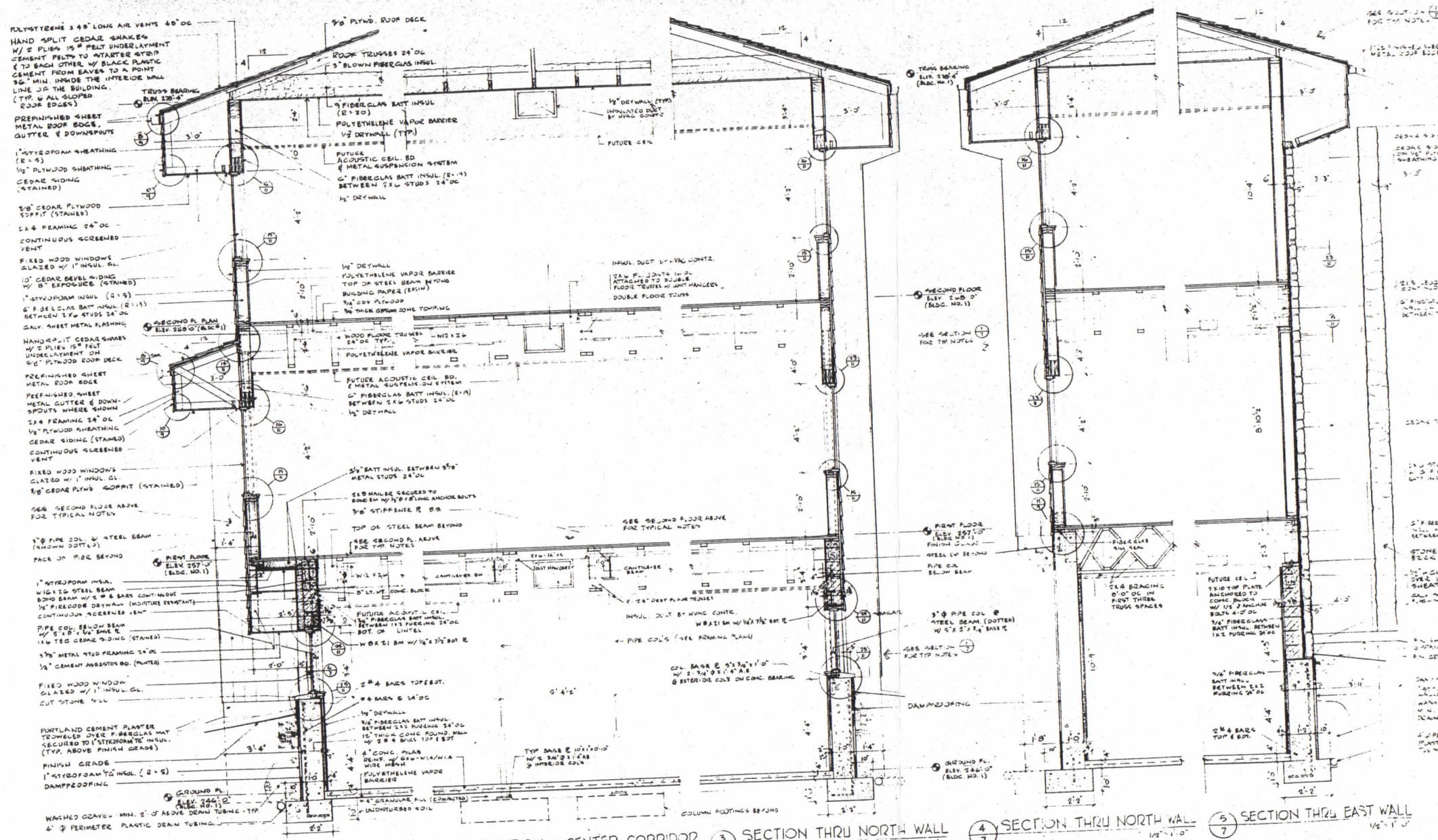
APPROVED
PLAN DEPARTMENT DATE
and *REIT* 11-11-11

H.T. OFFICE BUILDING
FOR
HIGH POINT TOWNE JOINT VENTURE
7601 GANSER WAY MADISON, WISCONSIN
ROOT AND BRINK ARCHITECTS
1808 REGENT STREET
MADISON, WIS. 53706
PHONE (608) 233-5318

DATE SEPT. 8, 01
COMM NO 0124
DRAWN BY 5142
CHECKED BY
REVISIONS

SHEET NO
6

ARCHITECTS PHONE (608) 233-5318



PLYSTYRENE 1 1/2" LONG AIR VENTS 48" OC
 HAND SPLIT CEDAR SHAKES
 W/ 2 PLYS 1/2" FELT UNDERLAYMENT
 CEMENT FELT TO STARTER STUD
 (1 TO EACH OTHER W/ BLACK PLASTIC
 CEMENT FROM EAVES TO A POINT
 1/8" MIN. INSIDE THE INTERIOR WALL
 LINE OF THE BUILDING.
 (TYP. & ALL SLOPED
 ROOF EDGES)
 PREFINISHED SHEET
 METAL ROOF EDGE,
 GUTTER & DOWNSPOUTS
 1" STYROFOAM SHEATHING
 (R-4)
 1/2" PLYWOOD SHEATHING
 CEDAR SIDING
 (STAINED)
 3/8" CEDAR PLYWOOD
 SOPFIT (STAINED)
 2x4 FRAMING 24" OC
 CONTINUOUS SCREENED
 VENT
 FIXED WOOD WINDOWS
 GLAZED W/ 1" INSUL. GL.
 1" CEDAR BEVEL SIDING
 W/ 1" EXPOSURE (STAINED)
 1" STYROFOAM INSUL. (R-5)
 2" FIBERGLASS BATT INSUL. (R-11)
 BETWEEN 2x4 STUDS 24" OC
 GALV. SHEET METAL FLASHING
 HAND SPLIT CEDAR SHAKES
 UNDERLAYMENT ON
 5/8" PLYWOOD ROOF DECK
 PREFINISHED SHEET
 METAL ROOF EDGE
 PREFINISHED SHEET
 METAL GUTTER & DOWN-
 SPOUTS WHERE SHOWN
 2x4 FRAMING 24" OC
 1/2" PLYWOOD SHEATHING
 CEDAR SIDING (STAINED)
 CONTINUOUS SCREENED
 VENT
 FIXED WOOD WINDOWS
 GLAZED W/ 1" INSUL. GL.
 3/8" CEDAR PLYWOOD SOPFIT (STAINED)
 SEE SECOND FLOOR ABOVE
 FOR TYPICAL NOTES
 1 1/2" PIPE COL. @ STEEL BEAM
 (SHOWN DOTTED)
 FACE OF PIPE BEYOND
 1" STYROFOAM INSUL.
 W/ 1 1/2" STEEL BEAM
 BOND BEAM W/ 2" x 2" BARK CONTINUOUS
 1/2" FIBERGLASS DRYWALL (MOISTURE RESISTANT)
 CONTINUOUS SCREENED VENT
 PIPE COL. BELOW BEAM
 W/ 2" x 2" x 1/4" BARK
 1/2" CEDAR SIDING (STAINED)
 3/8" METAL STUD FRAMING 24" OC
 1/2" CEMENT ASPHALT OSB. (PAINTED)
 FIXED WOOD WINDOW
 GLAZED W/ 1" INSUL. GL.
 CUT STONE SILL
 PORTLAND CEMENT PLASTER
 TROWELED OVER FIBERGLASS MAT
 SECURED TO 1" STYROFOAM INSUL.
 (TYP. ABOVE FINISH GRADE)
 FINISH GRADE
 1" STYROFOAM INSUL. (R-5)
 DAMP PROOFING
 WASHED GRAVE - MIN. 2" ABOVE DRAIN TUBING - TYP.
 4" PERIMETER PLASTIC DRAIN TUBING

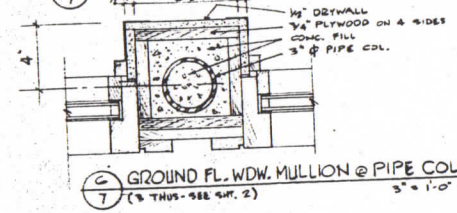
1 SECTION THRU SOUTH WALL
 1/2" x 1'-0"

2 SECTION @ CENTER CORRIDOR
 1/2" x 1'-0"

3 SECTION THRU NORTH WALL
 1/2" x 1'-0"

4 SECTION THRU NORTH WALL
 1/2" x 1'-0"

5 SECTION THRU EAST WALL
 1/2" x 1'-0"

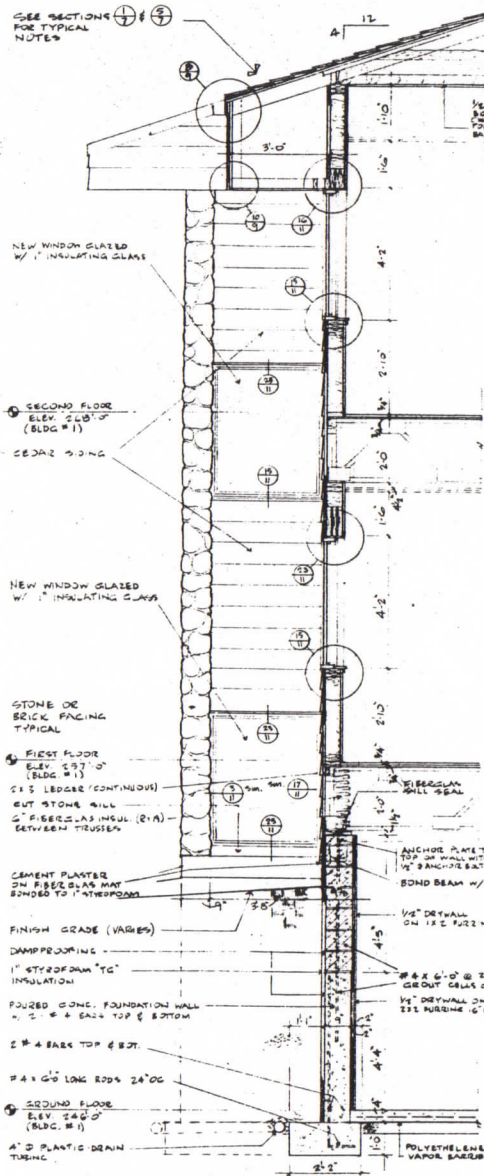


6 GROUND FL. WDW. MULLION @ PIPE COL.
 3" x 1'-0"

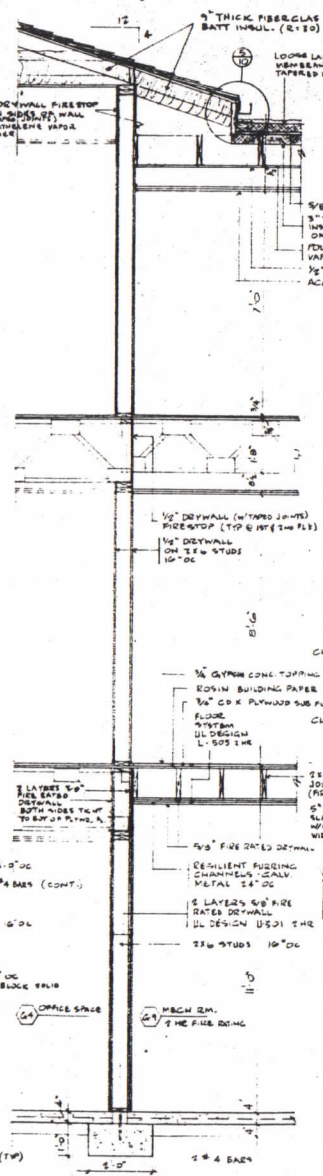
H.T. OFFICE BUILDING
 HIGH POINT TOWNE JOINT VENTURE
 7601 GAMBER WAY MADISON, WISCONSIN

ROOT AND BRINK ARCHITECTS
 4608 REGENT STREET
 MADISON, WIS. 53706
 PHONE (608) 233-5316

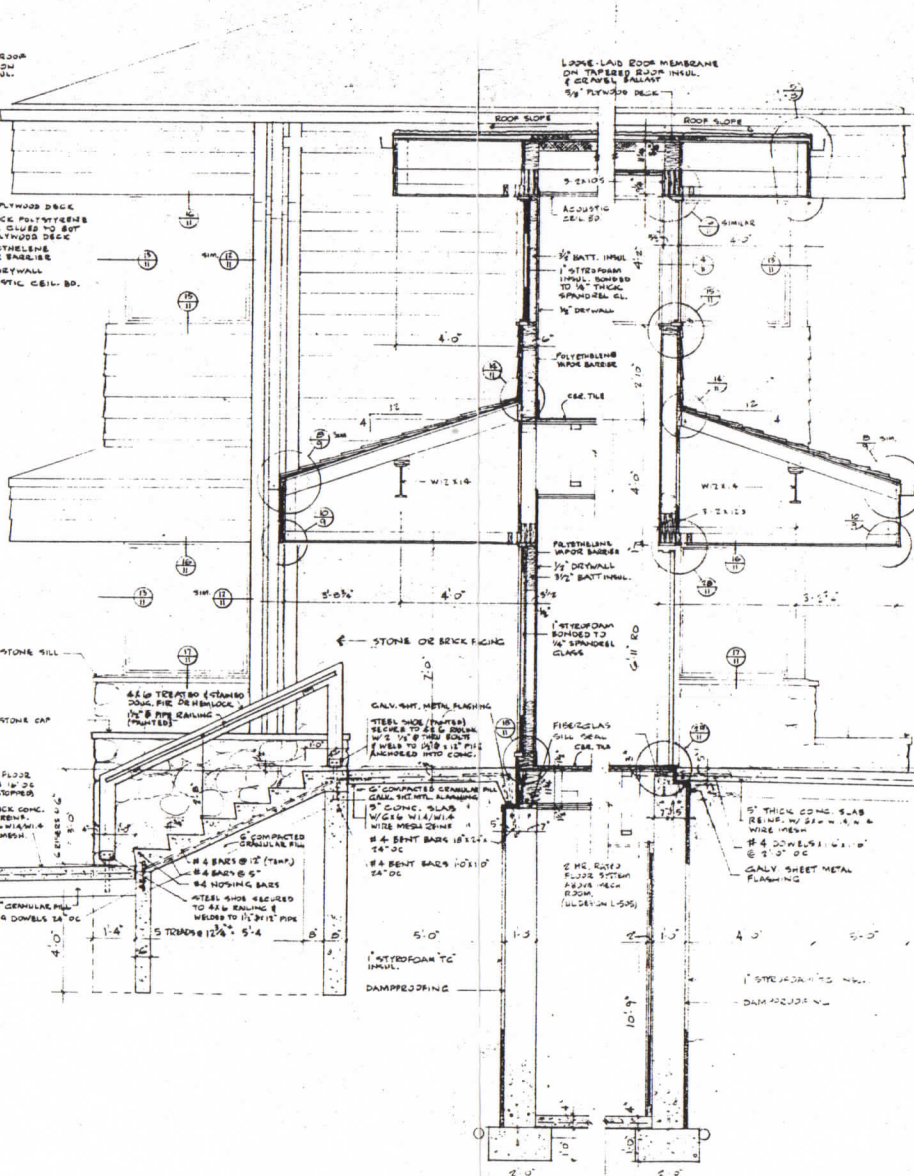
DATE 7-17-80	SHEET
COMM NO 0124	7
DRAWN BY ENE	
CHECKED BY	
REVISIONS	



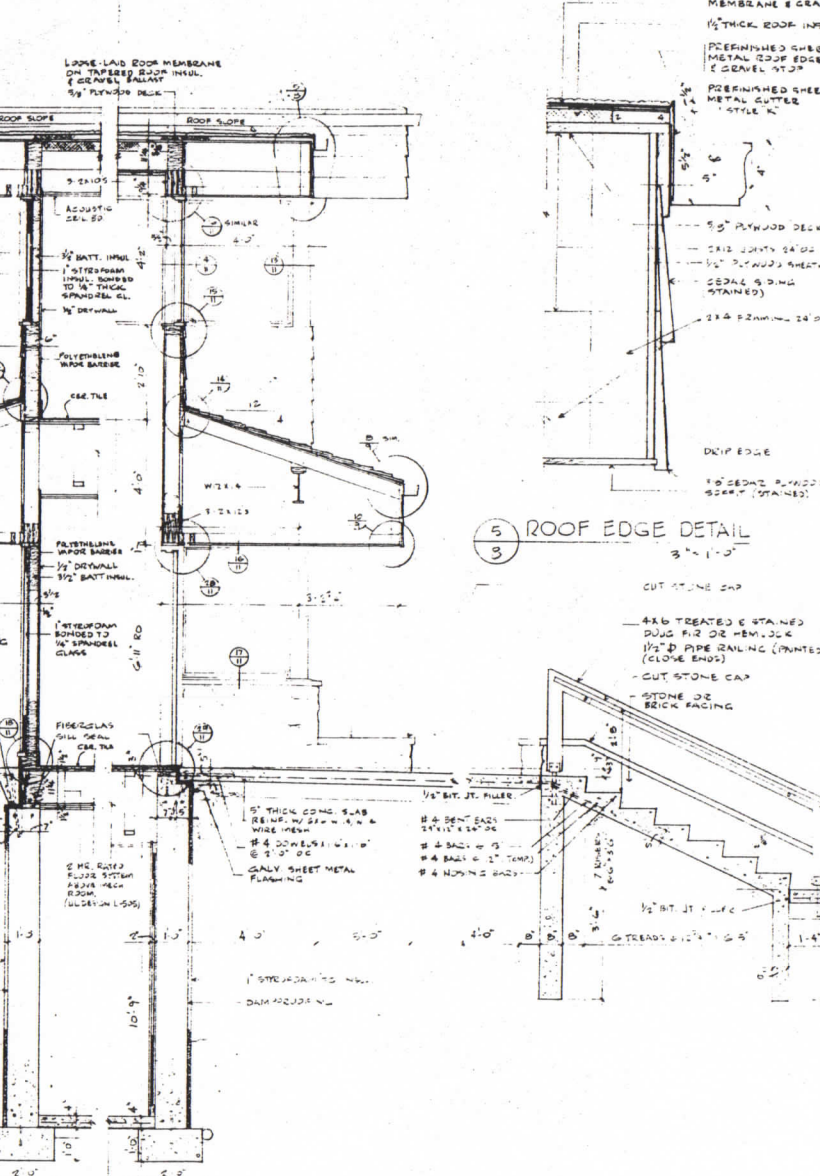
1 SECTION THRU WEST WALL @ WINDOW
1/2" = 1'-0"



2 INTERIOR BEARING WALL
1/2" = 1'-0"



3 SECTION THRU SOUTH ENTRY STEPS
1/2" = 1'-0"



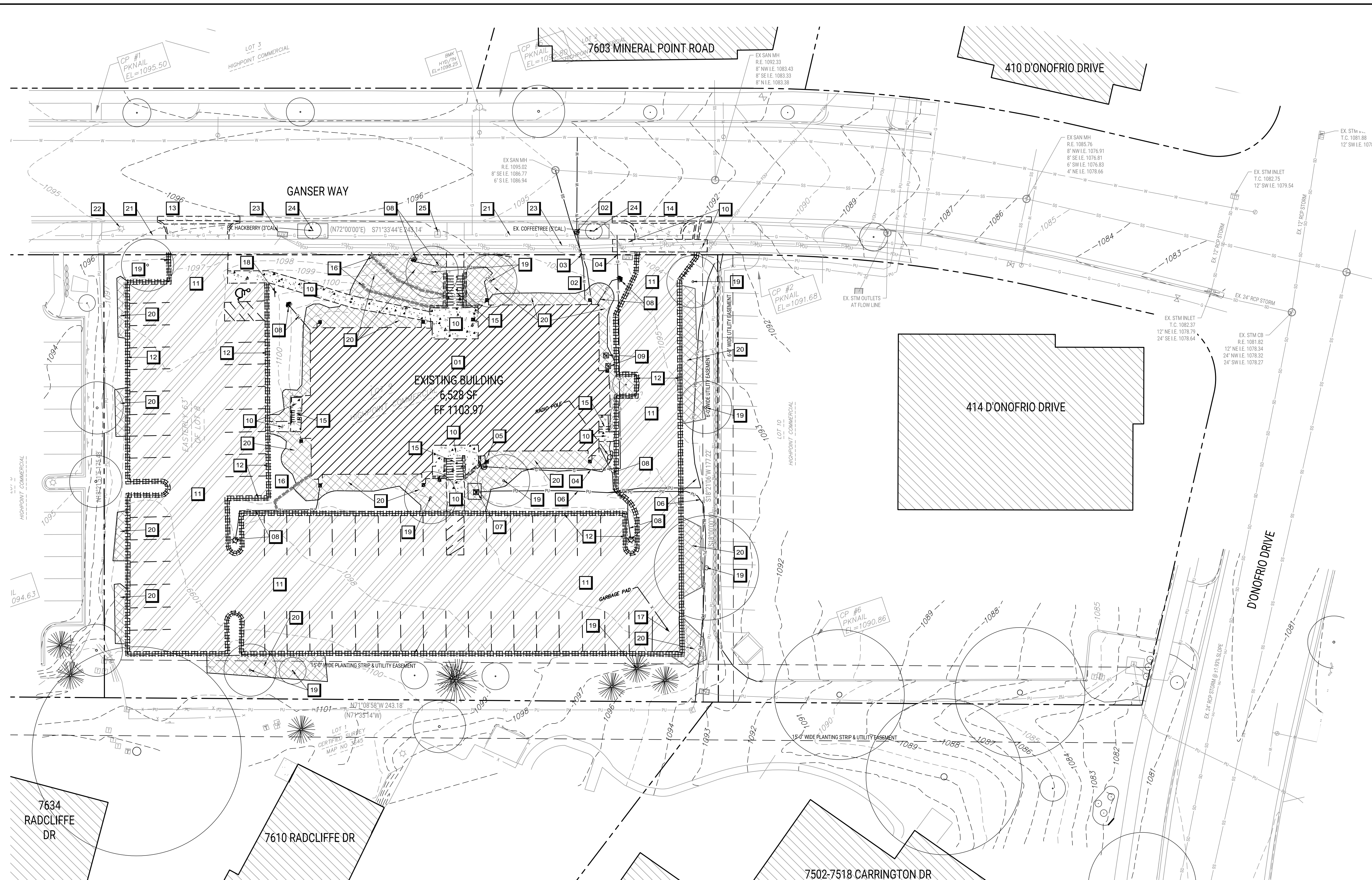
4 SECTION THRU NORTH ENTRY & EXTERIOR STEPS
1/2" = 1'-0"

5 ROOF EDGE DETAIL
3/4" = 1'-0"

APPROVED
PLAN DEPARTMENT DATE

H. T. OFFICE BUILDING
FOR
HIGH POINT TOWNE JOINT VENTURE
7601 GANSEY WAY MADISON, WISCONSIN
ROOT AND BRINK ARCHITECTS
3094 REGENT STREET
MADISON, WIS. 53708
PHONE (608) 233-5216

DATE SEPT. 8, 81
COMM. NO. 2124
DRAWN BY EJR
CHECKED BY
REVISIONS
SHEET NO. **8**



SITE GENERAL NOTES

1. TREE NORTH MAY VARY FROM PROJECT NORTH.
2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS. COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
5. BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINE AS SHOWN ON DRAWING.
6. ALL EXTERIOR CONCRETE SIDEWALK AND YARD SLABS SHALL BE 4000 PSI ALL CONCRETE PAVEMENT SHALL BE 4500 PSI UNLESS NOTED OTHERWISE.

DEMOLITION NOTES

1. FOR EXISTING BUILDING TO BE REMOVED, REMOVE STRUCTURE, FOOTINGS AND ASSOCIATED WALK AND PAVEMENT, DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS.
2. FOR EXISTING PAVEMENTS, CURBING, AND SITE AMENITIES, REMOVE ALL AT GRADE AND BELOW GRADE SITE WORK PER OWNER.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK AND COORDINATE WITH OWNER AND ADJACENT ITEMS NOT SHOWN ON THIS PLAN.
4. CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING ALL WORK ON SITE.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER LOCAL AND STATE REQUIREMENTS. ALL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING WORK ON THE SITE. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ALL WORK ON THE SITE.
7. CONTRACTOR SHALL PROTECT ALL TREES NOT MARKED FOR DEMOLITION.
8. CONTRACTOR SHALL TRIM TREES AS NEEDED. CONTRACTOR SHALL OBTAIN OWNER APPROVAL IF AN EXISTING TREE NEEDS TO BE REPLACED IF IT IS UNLAWFUL TO REMAIN OR IT ENCRUSTS THE BUILDING.
9. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO BE REVIEWED BY CITY ENGINEERING PRIOR TO WORKING WITHIN THE RIGHT-OF-WAY. AT LEAST ONE TRAFFIC LANE MUST BE MAINTAINED IN BOTH DIRECTIONS AT ALL TIMES.
10. CONTRACTOR SHALL RESTORE ANY DISTURBED PUBLIC SIDEWALK TO A FINISH AND TRAVELER'S SURFACE ASH AS NEAR AS POSSIBLE TO THE ORIGINAL FINISH. AFTER COMPLETION OF THE WORK THAT REQUIRED REMOVAL, CONCRETE SIDEWALKS SHALL BE PERMANENTLY RESTORED WITHIN TWO WEEKS OF THE DEMOLITION. CONTRACTOR MAY CONTACT CITY FOR PERMISSION TO CLOSE SIDEWALK (WHICH MAY OR MAY NOT BE GRANTED BY CITY) AND SHALL USE CONTRACTOR FURNISHED SIGNAGE IF GRANTED.

CITY OF MADISON TREE PROTECTION NOTES

1. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISRUPT, SCAR OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS NOT TO DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (OTHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-8674. NEW TREES AND SEEDLINGS SHALL BE REQUIRED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONSTRUCTION WITHIN FIVE FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER, IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-8674 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN PART I OF THE SPECIFICATIONS POSTED ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs/cfm>
3. SECTION 107.13 USE OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: <https://www.cityofmadison.com/business/pw/specs/cfm>) ADDRESS FOR CONSTRUCTION NEAR STREET TREES SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PAVED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR COMBUSTIBLES OR POSIBLY HAZARDOUS OR ARDENT TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
4. STREET TREE PROTECTION ZONE FENCING IS REQUIRED ON THIS PROJECT. THE FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TRUNK AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
5. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-8674. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z600 - PART 1 STANDARD FOR PRUNING.
6. THE DEVELOPER SHALL SUBMIT A STREET TREE REPORT PERFORMED BY INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST PRIOR TO THE PLAN COMMISSION MEETING FOR CITY FORESTRY'S REVIEW OF PROJECT. THIS REPORT SHALL IDENTIFY ALL STREET TREES ON PROPOSED PROJECT SITE, SPECIES TYPE, CANOPY SPREAD, TREE CONDITION, PROPOSED TREE REMOVALS, THE IMPACTS OF PROPOSED CONSTRUCTION, AND ANY REQUESTED PRUNING.
7. THE DEVELOPER SHALL POST A SECURITY DEPOSIT PRIOR TO THE START OF THE DEVELOPMENT TO BE COLLECTED BY CITY ENGINEERING AS PART OF THE DEVELOPMENT AS PART OF THE EVENT THAT STREET TREES ARE DAMAGED DURING THE CONSTRUCTION PROCESS. CITY FORESTRY WILL DRAW FROM THIS DEPOSIT FOR DAMAGES INCURRED. A REPORT WILL BE COLLECTED IF THERE IS A DEVELOPERS AGREEMENT AND IF THERE ARE ANY TREES GREATER THAN 12 INCHES TO BE PRESERVED/PROTECTED WITH THE PROJECT. THE AMOUNT COLLECTED WOULD BE \$125.00 PER DIAMETER INCH OF TREE WITH A \$5,000.00 MAXIMUM.

DEMOLITION & REMOVALS LEGEND

	CURB REMOVAL
	SIDEWALK REMOVAL
	PAVEMENT REMOVAL
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	STORM DRAIN
	SANITARY SEWER
	WATER
	GAS
	ELECTRICAL POWER
	UNDERGROUND ELECTRICAL POWER
	UNDERGROUND FIBER OPTIC
	TELEPHONE
	UNDERGROUND TELEPHONE
	CABLE
	EDGE OF TREES OR SHRUBS

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

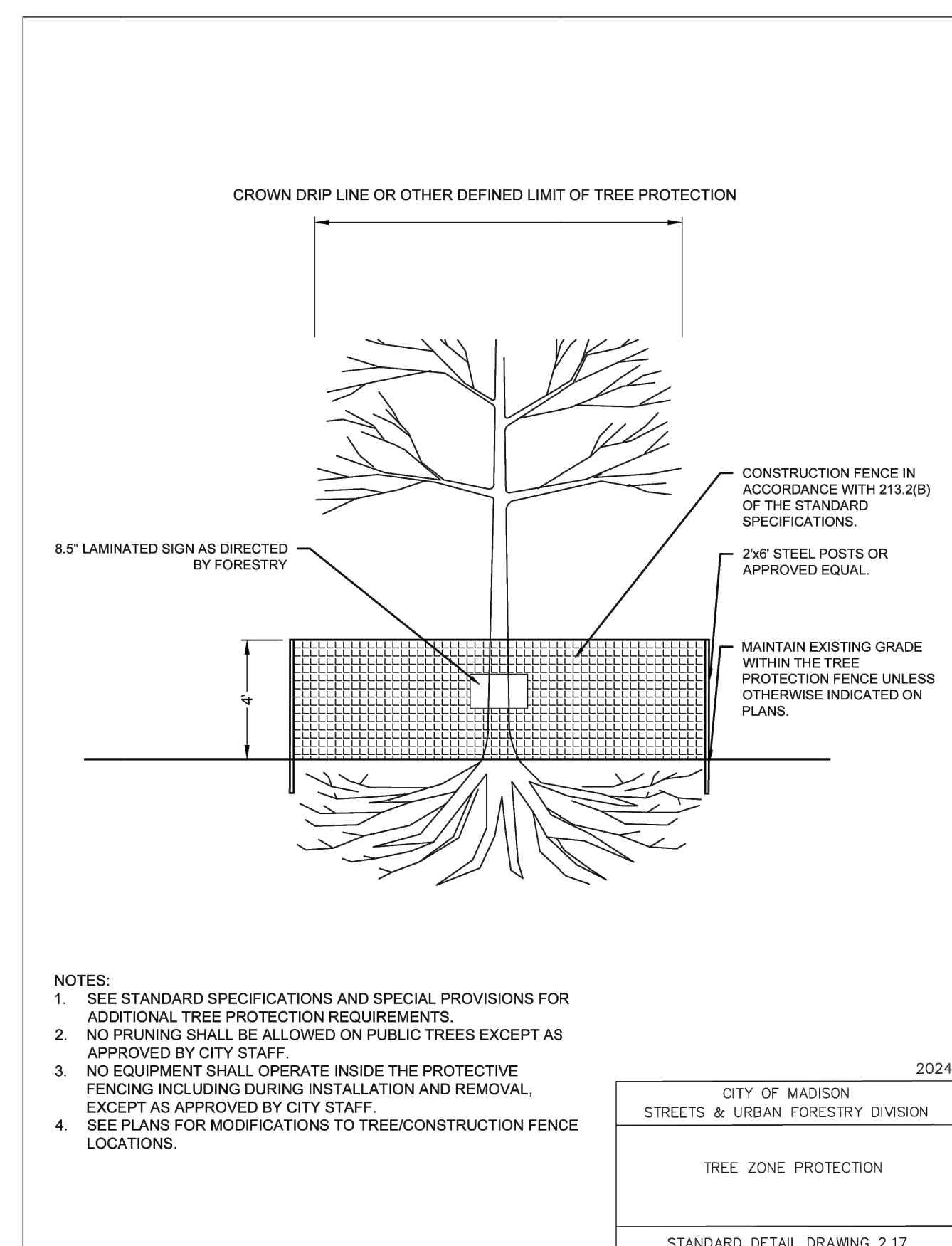
KEYNOTES

- 01 REMOVE EXISTING BUILDING.
- 02 REMOVE EXISTING SANITARY LATERAL TO PROPERTY LINE AND TEMPORARILY PLUS LATERAL.
- 03 REMOVE EXISTING WATER SERVICE LINE TO CURB STOP. PROTECT EXISTING CURB STOP.
- 04 REMOVE EXISTING GAS LATERAL TO PROPERTY LINE. COORDINATE WITH MG&E.
- 05 REMOVE EXISTING GAS METER. COORDINATE WITH MG&E.
- 06 REMOVE EXISTING UNDERGROUND POWER. COORDINATE WITH MG&E.
- 07 REMOVE EXISTING ELECTRIC TRANSFORMER. COORDINATE WITH MG&E.
- 08 REMOVE EXISTING SITE LIGHTING AND LIGHTING SERVICE.
- 09 REMOVE EXISTING MECHANICAL EQUIPMENT.
- 10 REMOVE EXISTING CONCRETE SIDEWALK.
- 11 REMOVE EXISTING ASPHALT PAVEMENT.
- 12 REMOVE EXISTING CURB AND GUTTER.
- 13 REMOVE EXISTING CURB OPENING. PROVIDE NEW CURB AND GUTTER TO MATCH EXISTING PROFILE. SEE SHEET C100.
- 14 REMOVE EXISTING CURB OPENING. PROVIDE NEW CURB OPENING. SEE SHEET C100.
- 15 REMOVE EXISTING STAIRS, RETAINING WALLS, AND HANDRAILS.
- 16 REMOVE EXISTING BOULDER WALL.
- 17 REMOVE EXISTING CLUMPSTER ENCLOSURE.
- 18 REMOVE EXISTING SIGN.
- 19 REMOVE EXISTING TREE.
- 20 REMOVE LANDSCAPE BED.
- 21 COORDINATE WITH MG&E FOR PROTECTION OF GAS MAIN IN ROW.
- 22 COORDINATE WITH MG&E FOR PROTECTION OF STREET LIGHT AND UNDERGROUND POWER SERVICE IN ROW.
- 23 COORDINATE WITH T&T FOR PROTECTION OF COMMUNICATION LINE IN ROW.
- 24 PROTECT EXISTING STREET TREE. SEE TREE ZONE PROTECTION DETAIL AND CITY OF MADISON TREE PROTECTION NOTES.
- 25 PROTECT EXISTING USPS BOX.



EXISTING SITE & DEMOLITION PLAN

SCALE: 1"=20'



- NOTES:
1. SEE STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 2. NO PRUNING SHALL BE ALLOWED ON PUBLIC TREES EXCEPT AS APPROVED BY CITY STAFF.
 3. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING INSTALLATION AND REMOVAL, EXCEPT AS APPROVED BY CITY STAFF.
 4. SEE PLANS FOR MODIFICATIONS TO TREE/CONSTRUCTION FENCE LOCATIONS.

CITY OF MADISON STREETS & URBAN FORESTRY DIVISION	
TREE ZONE PROTECTION	
STANDARD DETAIL DRAWING 2.17	

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
01	SITE PLAN REVIEW SUBMITTAL	12/05/2026

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PROJECT NUMBER	80390
APPROVED BY	JAD
REVIEWED BY	KAU
DRAWN BY	TGL
EXISTING SITE & DEMOLITION PLAN	

Jon Kemman

From: Jon Kemman
Sent: Tuesday, February 3, 2026 4:09 PM
To: 'district9@cityofmadison.com'
Cc: Brian Hennig; AJ Robitschek
Subject: Notice of Intent to File Demolition Approval Application - 7601 Ganser Way

Dear Alder Pritchett,

I hope this message finds you well. I am writing to formally notify you of our intent to file an application for demolition approval for the property located at **7601 Ganser Way, Madison, WI 53719**, within District 9.

The project site currently contains a two-story, above-grade, approximately 20,108 square foot office building constructed in 1982, along with 59 surface parking stalls. The existing office building and associated surface parking are proposed to be demolished to allow for the construction of a new multi-family residential building.

The proposed redevelopment consists of a six-story, above-grade, approximately 181,519 square foot multi-family building containing 134 residential apartment units, ranging from studio to two-bedroom units. Studio units are anticipated to range from approximately 500 to 550 square feet, one-bedroom units from approximately 650 to 800 square feet, and two-bedroom units from approximately 1,000 to 1,100 square feet. The project will also include 2½ levels of private underground parking, providing approximately 132 parking stalls to serve the residential units.

In addition to the demolition approval application, we will also be submitting a Permitted Use Site Plan application for the proposed redevelopment.

We plan to submit the demolition application to the Landmarks Commission by March 18, with the intent of being placed on the April 20 Landmarks Commission meeting agenda.

Please do not hesitate to reach out if you have any questions or would like additional information. We appreciate your time and consideration.

Best,

Jon Kemman
Gallatin Real Estate / Managing Director
P: 608.481.4064



AJ Robitschek

From: Jon Kemman <jkemman@gallatinre.com>
Sent: Thursday, March 5, 2026 10:33 AM
To: AJ Robitschek
Subject: FW: City of Madison Demolition Notification Approved

AJ - This is what I received back from the notification.

I put 3.18.2026 as our intended application date.

-----Original Message-----

From: noreply@cityofmadison.com <noreply@cityofmadison.com>
Sent: Thursday, March 5, 2026 10:32 AM
To: Jon Kemman <jkemman@gallatinre.com>
Subject: City of Madison Demolition Notification Approved

Dear applicant,

Please be advised that your demolition permit notification message was sent to all interested parties registered with the City of Madison on March 5, 2026 at 10:31 AM. Your demolition permit application can be filed with the Zoning Office, 215 Martin Luther King Jr. Blvd, Suite 017, on the next business day following 30 days of the posting of this notification message. Please consult the annual Plan Commission schedule for application deadline days and the corresponding Plan Commission hearing dates. For more information on filing your Plan Commission application for a demolition permit, please contact the City of Madison Planning Division at (608) 266-4635.

Comments:

A waiver from the district alder may be required in order for you to file for review sooner than 30 days from this online notification.