

NEIGHBORHOOD HOUSE

29 S. MILLS STREET
MADISON, WI 53715

SHEET INDEX - LUA

ARCHITECTURAL

T1 TITLE SHEET

A1.0	PARKING LEVEL FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	FIFTH FLOOR PLAN
A1.6	SIXTH FLOOR PLAN
A1.7	OVERALL ROOF PLAN

A2.1 BUILDING ELEVATIONS

A2.2 BUILDING ELEVATIONS

CIVIL

-	ALTA/NSPS LAND TITLE SURVEY
C1.1	NOTES & LEGEND
C2.0	DEMOLITION PLAN
C3.0	OVERALL SITE PLAN
C3.1	DETAILED SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN - GREEN ROOF
L2.0	LANDSCAPE DETAILS & NOTES

**LAND USE
APPLICATION**
NOT FOR CONSTRUCTION

10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

DRAWN: Author APPR: Checker

NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

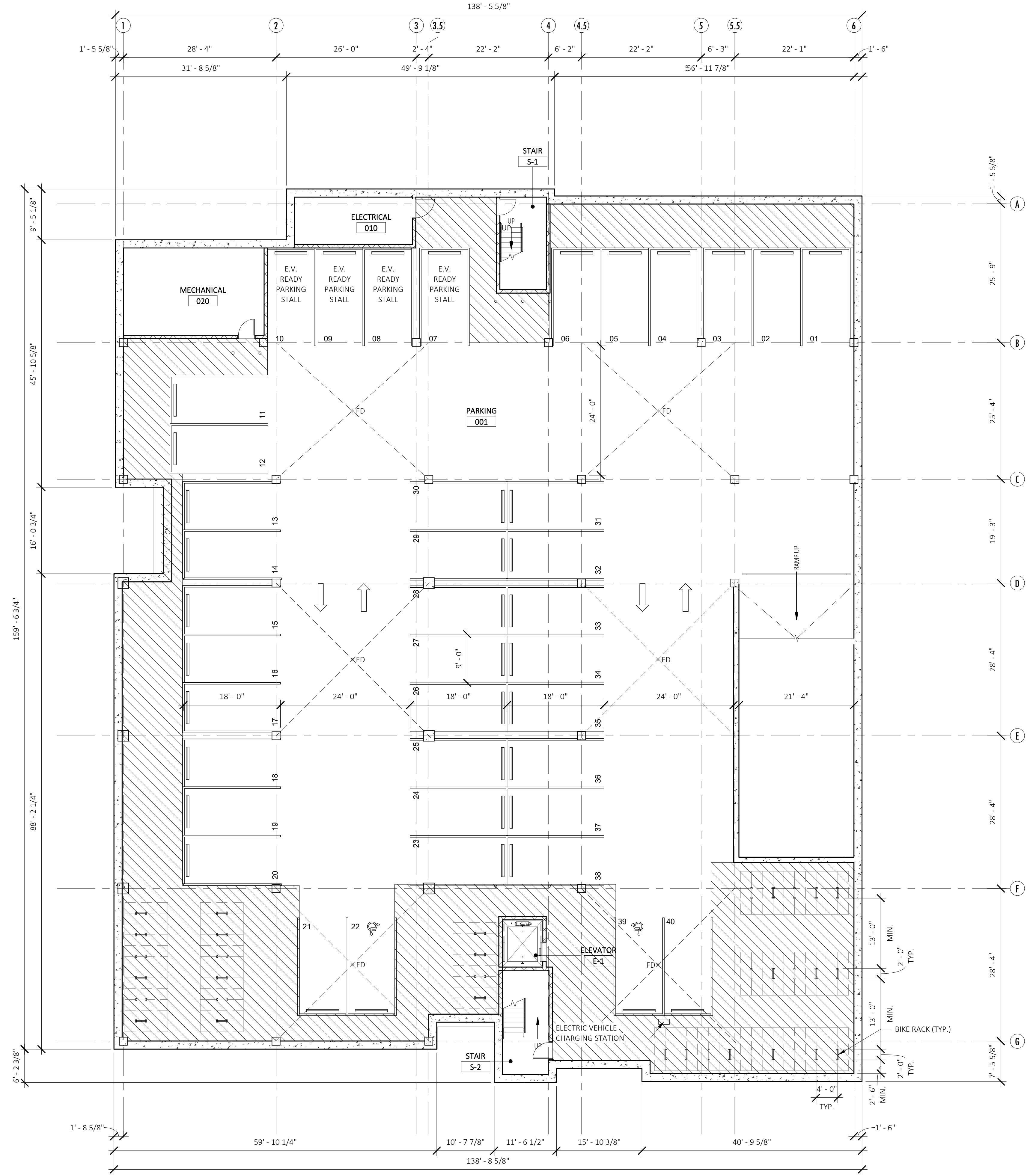
TITLE SHEET

T 1



LOCATION MAP

APPROVALS	NAME	DATE
DESIGN		
CONSTRUCTION		
DEVELOPMENT		
MANAGEMENT		
OWNER		



GENERAL FLOOR PLAN NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G1.1
2. FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE ENLARGED UNIT PLANS.
3. FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND FINISH LEGEND ON SHEET A8.1
4. FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A9.0 TO A9.1

GENERAL WALL KEY:

- NEW INTERIOR WALL
- NEW MASONRY WALL
- WALL TAG INDICATES WALL TYPE, REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION
- UNIT INTERIOR WALL TYPES ARE INDICATED ON ENLARGED UNIT PLANS

FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE ON SHEET A0.1, WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES WITHIN UNITS, REFER TO ENLARGED UNIT PLAN SHEETS

DIMENSION NOTES:

1. ALL WALLS ARE DIMENSIONED TO FACE OF FINISH UNLESS NOTED OTHERWISE.
2. NOTIFY ARCHITECT IF +/- DIMENSION VARIES BY 6" OR MORE.
3. DIMENSIONS IN KITCHENS AND BATHROOMS MUST BE WITHIN 1/2".

FLOOR PLAN KEYNOTES

PARKING SUMMARY		
SIZE	TYPE	QTY
9' x 18'	STANDARD	38
9' x 18'	HC	2

40

BICYCLE PARKING SUMMARY		
SIZE	TYPE	QTY
2' x 8'	BICYCLE	70

LAND USE
APPLICATION
NOT FOR CONSTRUCTION

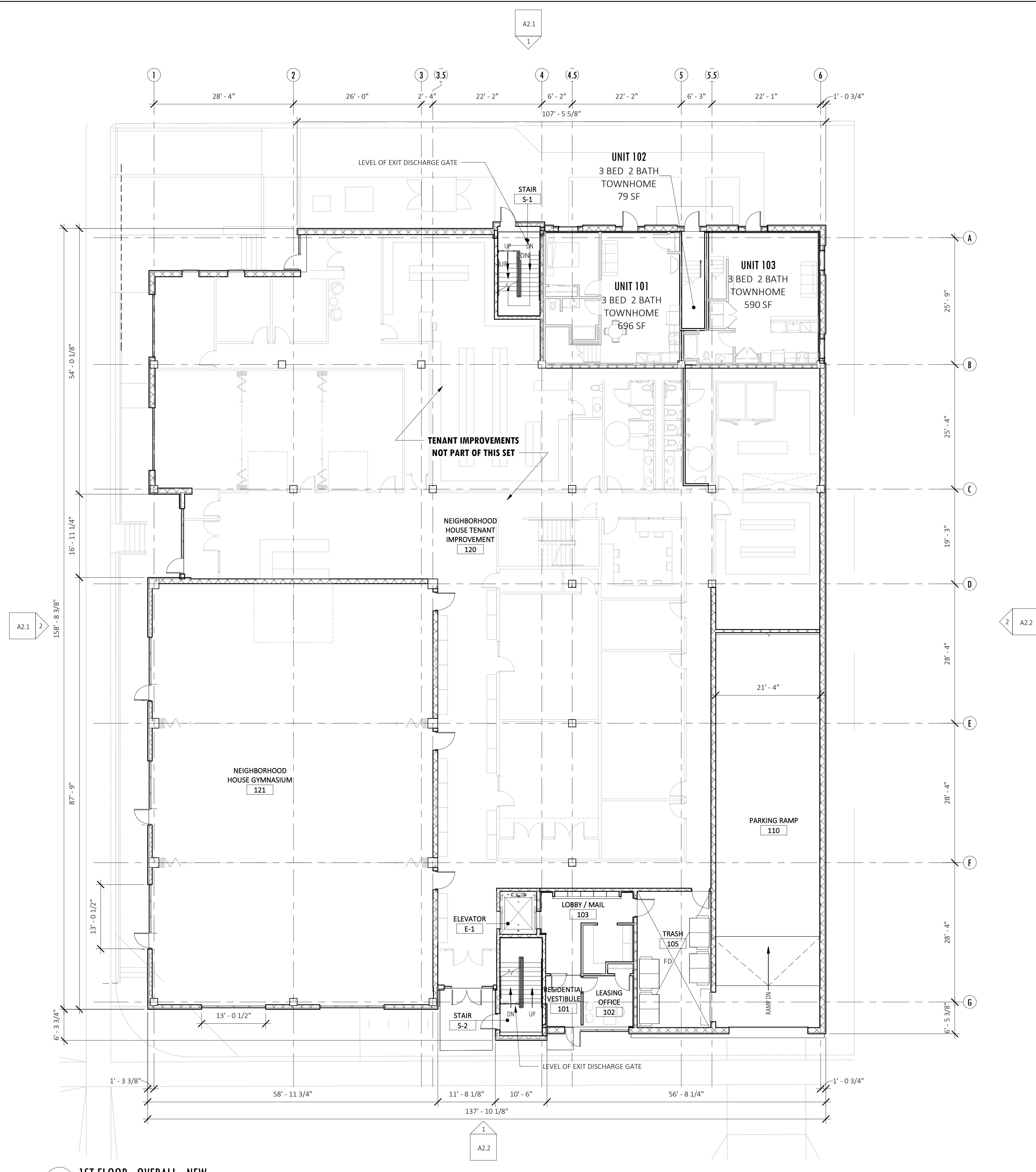
10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

DRAWN:DZ APPR:CDQ
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

PARKING LEVEL
FLOOR PLAN

A1.0
NORTH



LAND USE APPLICATION NOT FOR CONSTRUCTION

9-12-23 LAND USE APPLICATION
-28-23 LAND USE APPLICATION - REV 1

RAWN:Author APPR:Checker

EIGHBORHOOD HOUSE
9 S. MILLS STREET
MADISON WI 53715

PROJECT # 23-814

SECOND FLOOR PLAN

A1.2

GENERAL FLOOR PLAN NOTES:

NERAL WALL KEY:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G1.1
2. FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE ENLARGED UNIT PLANS.
3. FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND FINISH LEGEND ON SHEET A8.1
4. FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A9.0 TO A9._

FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE SHEET A0.1, WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES IN THIN UNITS, REFER TO ENLARGED UNIT PLAN SHEETS

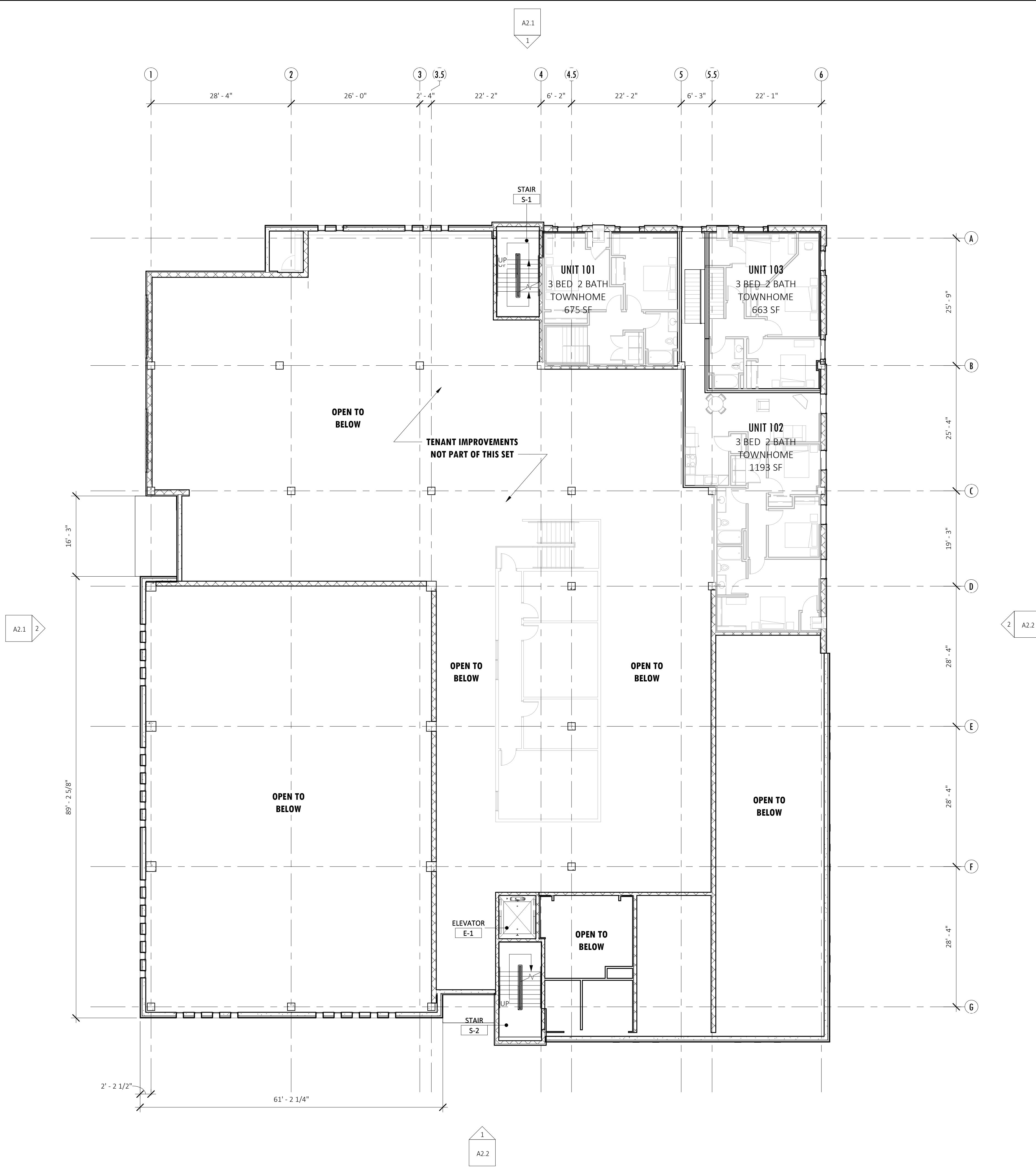
MENSION NOTES:

ALL WALLS ARE DIMENSIONED TO FACE OF FINISH
UNLESS NOTED OTHERWISE.

NOTIFY ARCHITECT IF +/- DIMENSION VARIES BY 6"
OR MORE.

DIMENSIONS IN KITCHENS AND BATHROOMS MUST
BE WITHIN 1/2".

OOR PLAN KEYNOTES



**LAND USE
APPLICATION**
NOT FOR CONSTRUCTION

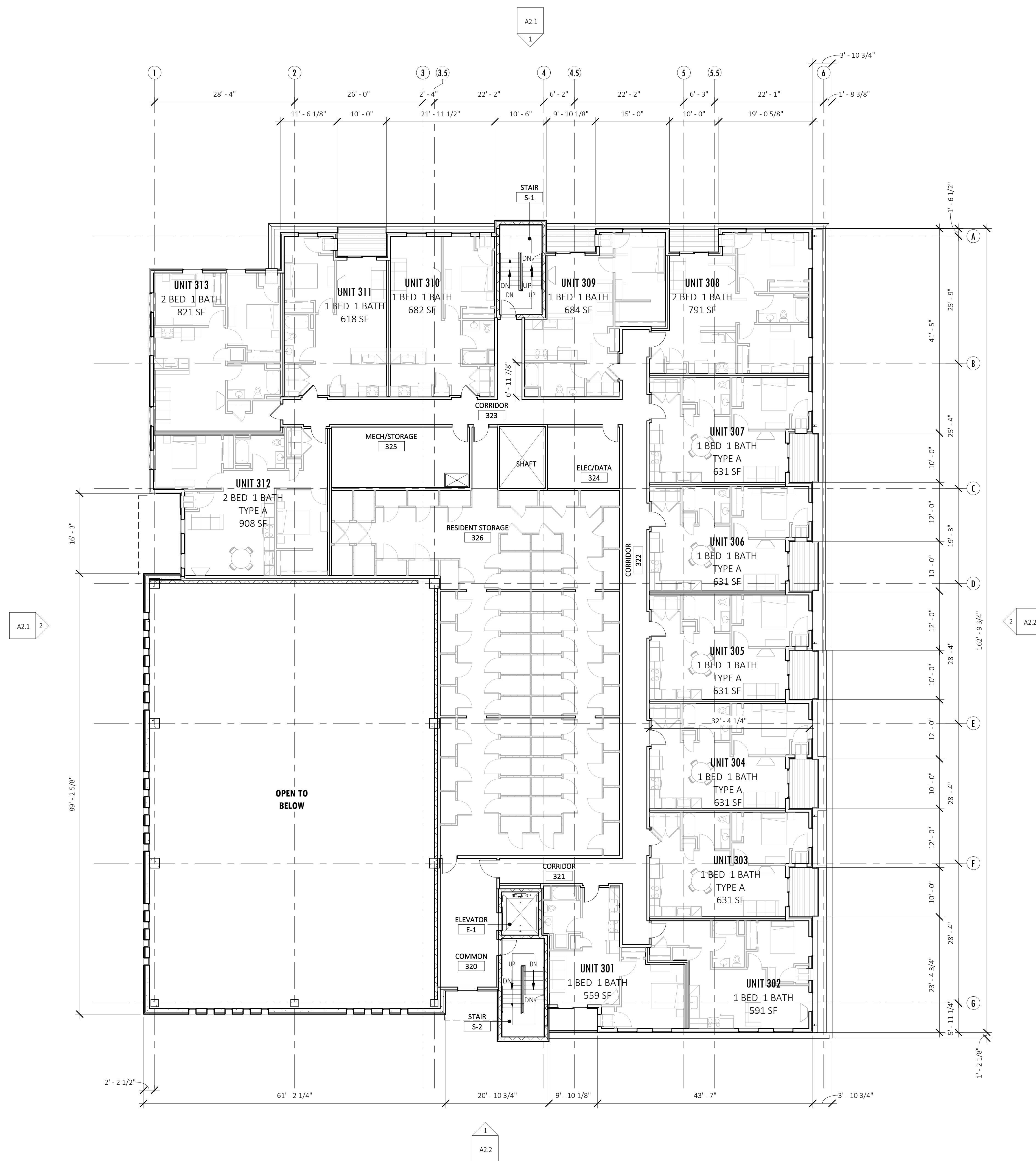
10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

DRAWN:DZ APPR:CDQ
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

THIRD FLOOR PLAN

A1.3



1
A1.3 3RD FLOOR - OVERALL - NEW

SCALE: 3/32" = 1'-0"

GENERAL FLOOR PLAN NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G1.1
2. FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE ENLARGED UNIT PLANS.
3. FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND FINISH LEGEND ON SHEET A8.1
4. FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A9.0 TO A9.1

GENERAL WALL KEY:

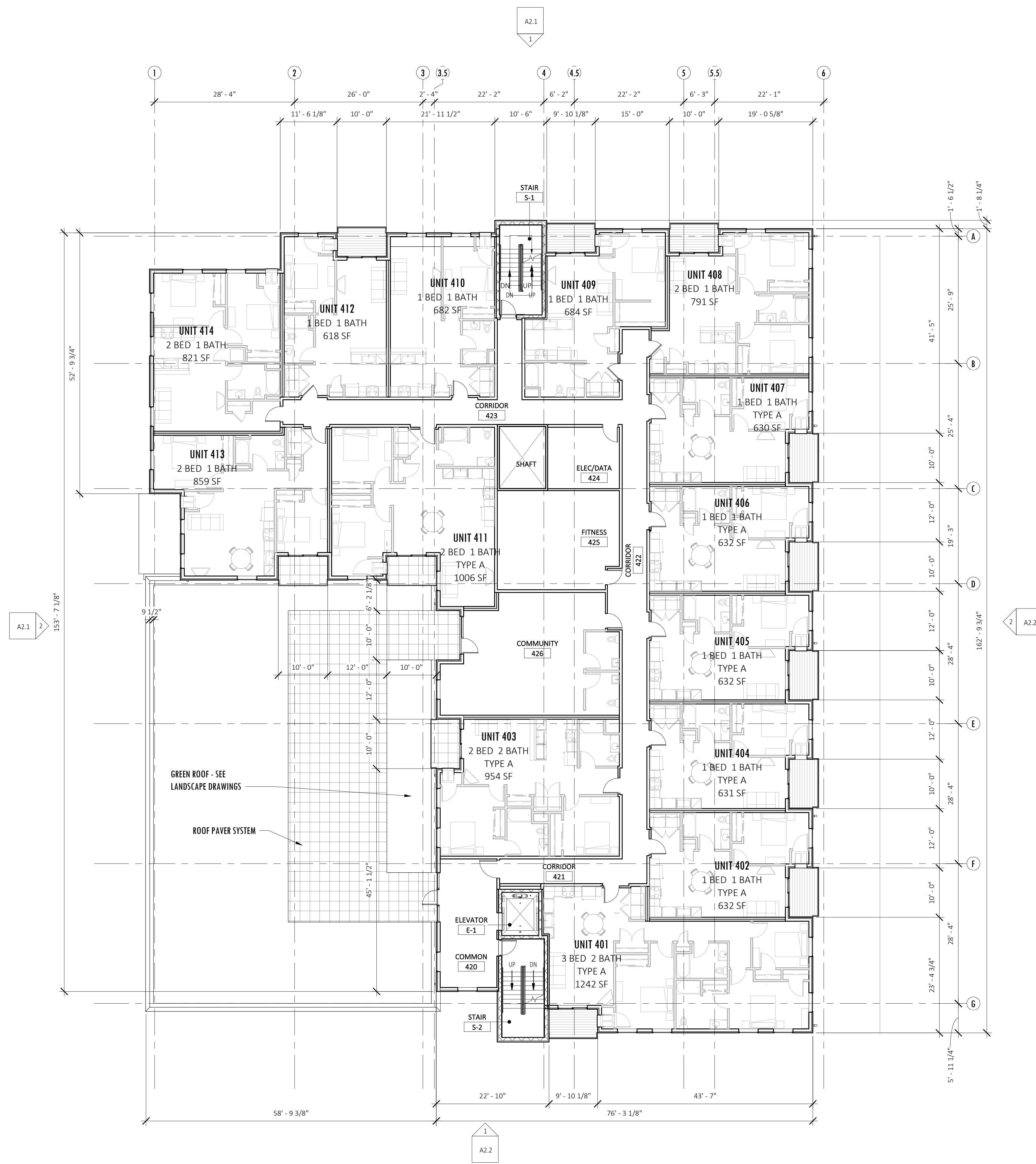
- NEW INTERIOR WALL
- NEW MASONRY WALL
- WALL TAG INDICATES WALL TYPE, REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION
- UNIT INTERIOR WALL TYPES ARE INDICATED ON ENLARGED UNIT PLANS

FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE ON SHEET A0.1, WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES WITHIN UNITS, REFER TO ENLARGED UNIT PLAN SHEETS

DIMENSION NOTES:

1. ALL WALLS ARE DIMENSIONED TO FACE OF FINISH UNLESS NOTED OTHERWISE.
2. NOTIFY ARCHITECT IF +/- DIMENSION VARIES BY 6" OR MORE.
3. DIMENSIONS IN KITCHENS AND BATHROOMS MUST BE WITHIN 1/2".

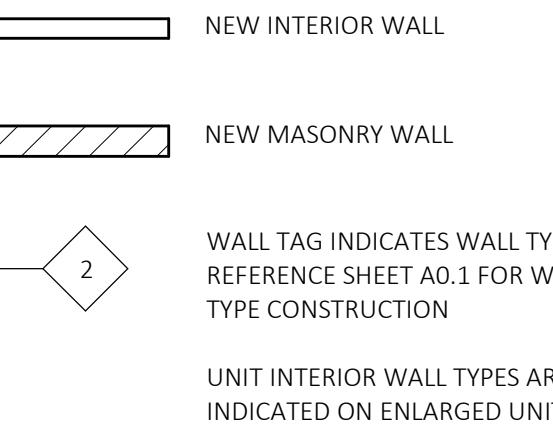
FLOOR PLAN KEYNOTES



GENERAL FLOOR PLAN NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G1.1
2. FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE ENLARGED UNIT PLANS.
3. FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND FINISH LEGEND ON SHEET A8.1
4. FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A9.0 TO A9.1

GENERAL WALL KEY:



UNIT INTERIOR WALL TYPES ARE INDICATED ON ENLARGED UNIT PLANS

FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE ON SHEET A0.1, WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES WITHIN UNITS, REFER TO ENLARGED UNIT PLAN SHEETS

DIMENSION NOTES:

1. ALL WALLS ARE DIMENSIONED TO FACE OF FINISH UNLESS NOTED OTHERWISE.
2. NOTIFY ARCHITECT IF +/- DIMENSION VARIES BY 6" OR MORE.
3. DIMENSIONS IN KITCHENS AND BATHROOMS MUST BE WITHIN 1/2".

FLOOR PLAN KEYNOTES

LAND USE
APPLICATION
NOT FOR CONSTRUCTION

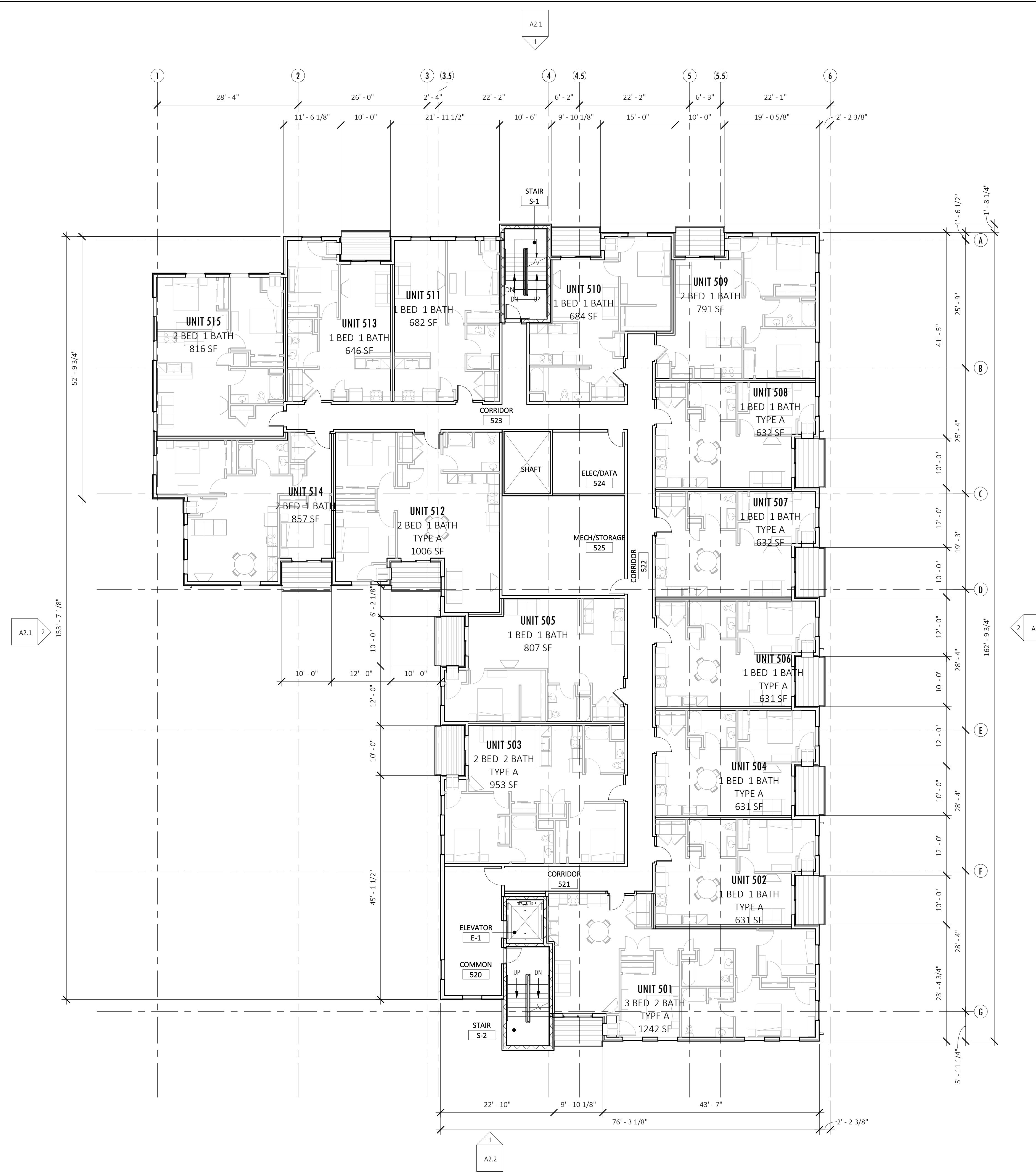
10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

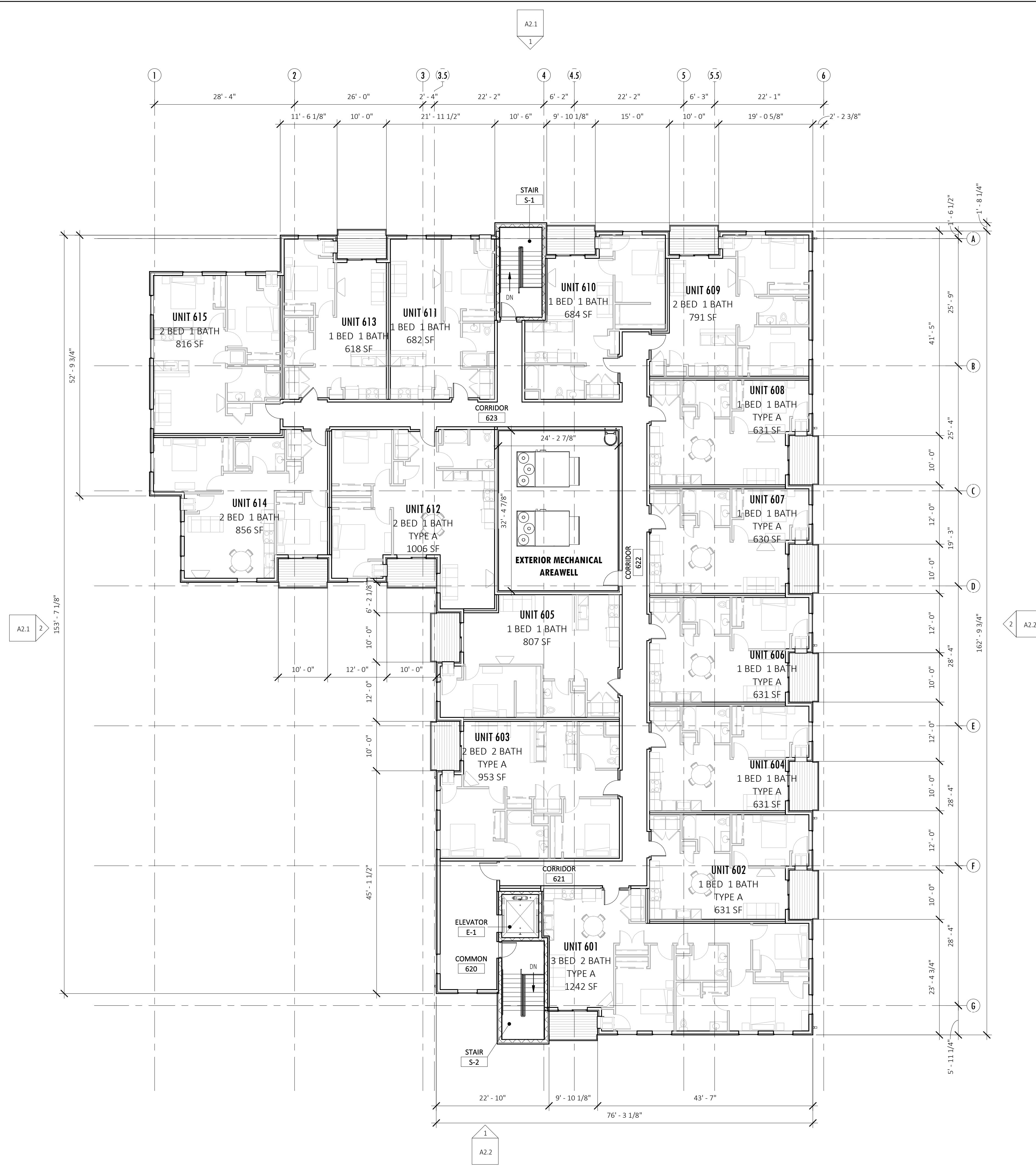
DRAWN:DZ APPR:CDQ
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

FOURTH FLOOR PLAN

A1.4
NORTH





GENERAL ROOF PLAN NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G1.1
2. REFER TO DEMOLITION PLANS FOR EXISTING CONDITIONS AND ADDITIONAL INFORMATION.

ROOF PLAN KEYNOTES

2450 Rimrock Road
Suite 100
Madison, WI 53713
Telephone: 608-258-5580
Fax: 608-258-5599
www.alexandercompany.com

**LAND USE
APPLICATION**
NOT FOR CONSTRUCTION

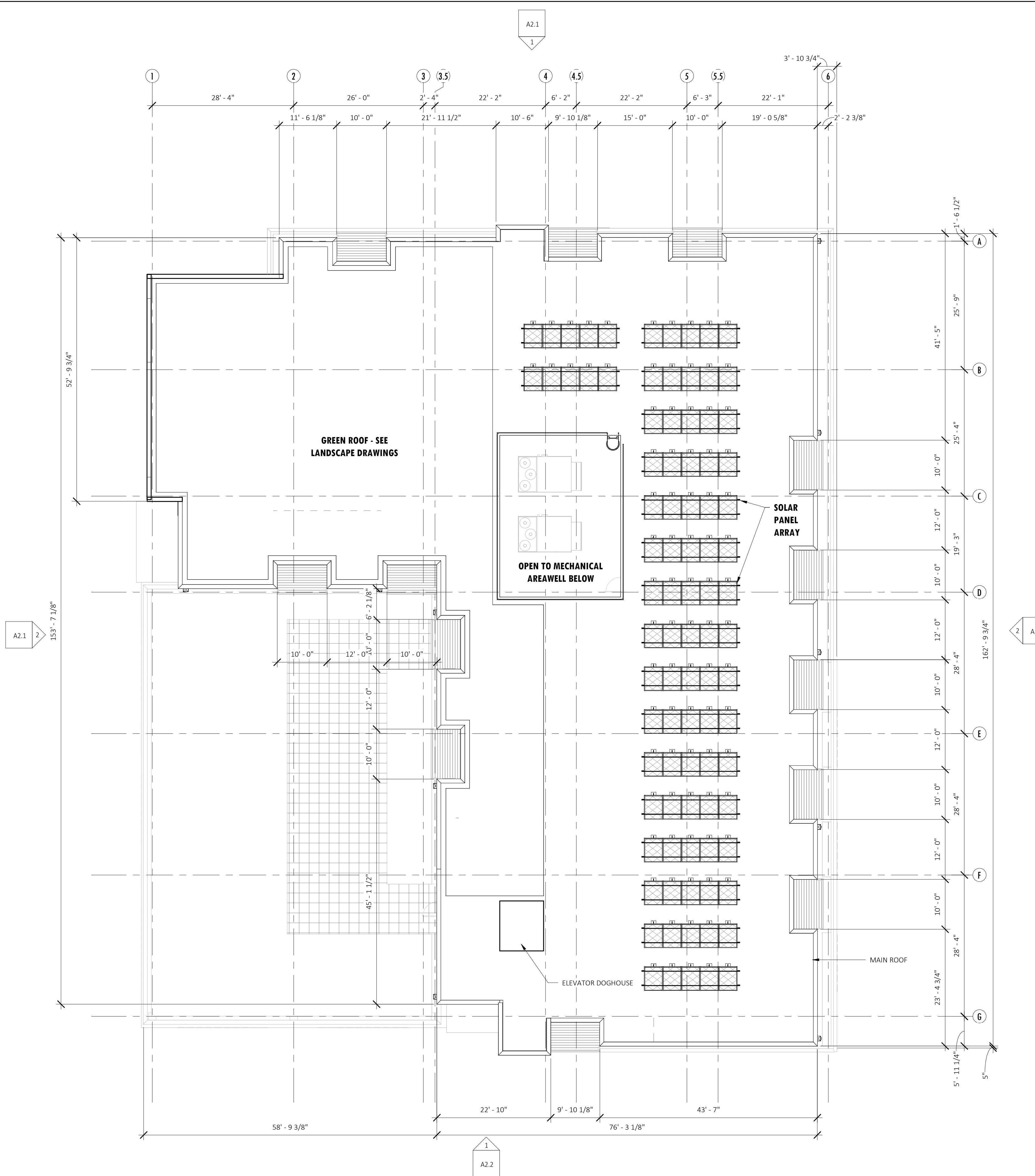
10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

DRAWN:DZ APPR:CDQ
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

OVERALL ROOF PLAN

A1.7



GENERAL ELEVATION NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G.1.
2. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED.
3. FOR EXTERIOR WALL ASSEMBLIES (EX1, EX2, ETC), SEE SHEET
4. FOR DOOR TYPE DESCRIPTIONS, SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A.9.0 TO A.9.1
5. FOR WINDOW TYPE DESCRIPTIONS, SEE WINDOW ELEVATIONS AND SCHEDULES ON SHEETS A.10.1 TO A.10.1

ELEVATION KEYNOTES



LAND USE APPLICATION
NOT FOR CONSTRUCTION

10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

DRAWN:DZ APPR:CDQ
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

BUILDING ELEVATIONS

A2.1

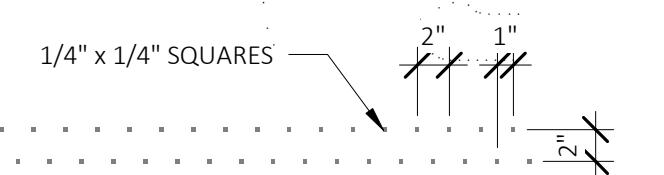


EXTERIOR MATERIAL KEY:

7/8" CORRUGATED METAL SIDING SLATE GRAY EXPOSED FASTENERS
CEMENT BOARD MOUNTAIN SAGE EXPOSED FASTENERS
T8 METAL PLANKWALL BURNT WOOD CONCEALED FASTENERS
THIN BRICK GEORGIAN RED IRONSPOT CONCEALED FASTENERS

DRAWN:DZ APPR:CDQ

BIRD GLASS -
PATTERN APPLIED FILM TO INTERIOR:



GENERAL ELEVATION NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G.1.1
2. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED.
3. FOR EXTERIOR WALL ASSEMBLIES (EX1, EX2, ETC), SEE SHEET
4. FOR DOOR TYPE DESCRIPTIONS, SEE DOOR AND HARDWARE SCHEDULES ON SHEETS A.9.0 TO A.9.1
5. FOR WINDOW TYPE DESCRIPTIONS, SEE WINDOW ELEVATIONS AND SCHEDULES ON SHEETS A.10.1 TO A.10.1

ELEVATION KEYNOTES



EXTERIOR MATERIAL KEY:

7/8" CORRUGATED METAL SIDING SLATE GRAY EXPOSED FASTENERS
CEMENT BOARD MOUNTAIN SAGE EXPOSED FASTENERS
T8 METAL PLANKWALL BURNED WOOD CONCEALED FASTENERS
THIN BRICK GEORGIAN RED IRONSPOT CONCEALED FASTENERS

10-12-23 LAND USE APPLICATION
11-28-23 LAND USE APPLICATION - REV 1

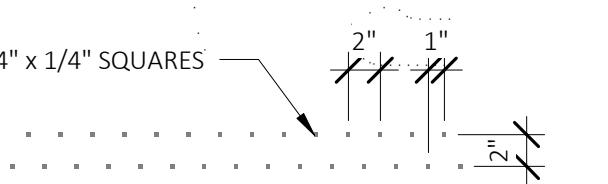
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

BUILDING
ELEVATIONS

A2.2

**BIRD GLASS -
PATTERN APPLIED FILM TO INTERIOR:**





SCALE IN FEET

20' 0' 20'

SCALE 1" = 20'

MODIFICATIONS:	
#	Date:
1	Description:
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Prepared By: CMD 06/19/23

SHEET TITLE: ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER: 1 OF 1

PROJECT NO: 23-1316

ALTA/NSPS LAND TITLE SURVEY

ALL OF LOT 1, BLOCK 1, TRIANGLE PLAT, PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, MADISON, DANE COUNTY, WISCONSIN.

LEGEND

GOVERNMENT CORNER	SQUARE CASTED INLET	SECTION LINE	UNDERGROUND ELECTRIC
1" IRON PIPE FOUND	CURB INLET	CENTERLINE	EDGE OF WOODS OR BRUSH
2" IRON PIPE FOUND	DOWNSPOUT	RIGHT-OF-WAY LINE	BUILDING
1/4" REBAR FOUND	GAS REGULATOR/METER	PROPERTY LINE	INDEX CONTOUR
3/4" REBAR FOUND	GAS VALVE	CHORD LINE	BITUMINOUS PAVEMENT
BENCHMARK	ELECTRIC MANHOLE	SETBACK LINE	CONCRETE PAVEMENT
FINISHED FLOOR SHOT LOCATION	ELECTRIC METER	EASEMENT LINE	GRAVEL
BOLLARD	ELECTRIC TRANSFORMER	FENCE LINE	EDGE OF BITUMINOUS
SIGN	AIR CONDITION UNIT	EDGE OF PAVEMENT	PAVEMENT STRIPING
SANITARY MANHOLE	LIGHT POLE	EDGE OF GRAVEL	END OF FLAGGED UTILITIES
CLEAN OUT	POWER POLE	POWER LINE	DENOTES RECORDED AS MEASUREMENTS
HYDRANT	TELEPHONE PEDESTAL	WATER LINE	DEPICTING THE SAME LINE ON THE
WATER VALVE	DECIDUOUS TREE	STORM SEWER	GROUND AS RETRACED BY THIS SURVEY
CRV STOP/SERVICE VALVE	HANDICAP PARKING	OVERHEAD LINE	
ROUND CASTED INLET	PARCEL BOUNDARY		

NOTES

1. FIELD WORK PERFORMED ON JUNE 9-16, 2023.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, T07N, R09E, RECORDED AS S0013'07E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE WEST QUARTER CORNER OF SECTION 23, T07N, R09E, ELEVATION = 850.74'
4. CONTOUR INTERVAL IS ONE FOOT.
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20232206672, WITH A CLEAR DATE OF JUNE 02, 2023.
6. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON
CHARTER COMMUNICATIONS
MIDWEST FIBER NETWORKS
VERIZON WIRELESS
MADISON GAS AND ELECTRIC
MOI
AT&T DISTRIBUTION
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
8. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.
9. BUILDING SETBACK LINE ARE FROM AMENDED URBAN RENEWAL PLAN, DOCUMENT No. 1079986.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 55025C0408G, WHICH HAS NOT BEEN PRINTED.

ITEM 6(c) CURRENT ZONING CLASSIFICATION WAS REQUESTED BUT NOT PROVIDED BY THE INSURER AT THE TIME OF THE SURVEY.

ITEM 9 THERE ARE 30 PARKING SPACES AND 1 HANDICAP SPACE FOR A TOTAL OF 31 PARKING SPACES.

ITEM 11 NOTE TO THE CLIENT, INSURER, AND LENDER – WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, B11 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.

ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.

ITEM 18 THERE ARE NO OFFSITE EASEMENTS FOR THE SUBJECT PROPERTY.

ITEM 20 EXECUTE A DIGGERS HOTLINE PUBLIC UTILITY LOCATE, SEE NOTE 5 ABOVE.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1182327-MAD, COMMITMENT DATE: JUNE 14, 2023 AT 7:30 A.M.)

9 CURRENT AND FUTURE OBLIGATIONS ARISING FROM THE INCLUSION OF THE SUBJECT PARCELS IN TAX INCREMENTAL DISTRICT No. 48. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE; THEREFORE IT IS NOT PLOTTED HEREON.

10 RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF TRIANGLE PLAT, AS RECORDED IN AUGUST 5, 1968 IN VOLUME 34, PAGE 21 AS DOCUMENT No. 1220391, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILY STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

11 AMENDED URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA, PROJECT No. WIS. R-2 RECORDED AUGUST 13, 1963 IN VOLUME 396 OF MISC, ON PAGE 79 AS DOCUMENT No. 1079986. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: AMENDED URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA, PROJECT No. WIS. R-2; RECORDING INFORMATION: FEBRUARY 2, 1965 IN VOLUME 422 OF MISC, PAGE 101 AS DOCUMENT No. 1123151. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

12 LAND PURCHASE AND REDEVELOPMENT AGREEMENT UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN; DATED: JANUARY 13, 1965; PARTIES: REDEVELOPMENT AUTHORITY OF THE CITY OF MADISON, A PUBLIC BODY CORPORATE AND POLITICAL OF THE STATE OF WISCONSIN AND MADISON NEIGHBORHOOD CENTERS, A NON-STOCK, NON-PROFIT CORPORATION; RECORDED: JANUARY 13, 1965 IN VOLUME 421, PAGE 1; INSTRUMENT No.: 1121965. CERTIFICATE OF COMPLETION OF IMPROVEMENTS RECORDED JUNE 22, 1967 IN VOLUME 465, PAGE 564 AS DOCUMENT No. 1187666. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

13 COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN QUITCLAIM DEED RECORDED IN JANUARY 21, 1965 IN VOLUME 793, PAGE 111 AS DOCUMENT No. 1122479 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILY STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

14 URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA (PROJECT No. WIS. R-2) RECORDED OCTOBER 13, 1967 IN VOLUME 473 OF MISC, PAGE 1 AS DOCUMENT No. 1198060. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

15 URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA (PROJECT No. WIS. R-2) RECORDED JANUARY 19, 1972 IN VOLUME 313, PAGE 279 AS DOCUMENT No. 1315271. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

16 LIENS, HOOK-UP CHARGES OR FEES, DEFERRED CHARGES, RESERVE CAPACITY ASSESSMENTS, IMPACT FEES, OR OTHER CHARGES OF FEES DUE AND PAYABLE ON THE DEVELOPMENT OR IMPROVEMENT OF THE LAND. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

17 RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1182327-MAD, COMMITMENT DATE: JUNE 14, 2023 AT 7:30 A.M.)

LOT ONE (1), BLOCK ONE (1), TRIANGLE PLAT, A REPLAT OF PARTS OF GREEN BUSH ADDITION, PREGERS ADDITION, FABERS SUBDIVISION AND MURPHY'S REPLAT, CITY OF MADISON, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:

ADDRESS: 31 SOUTH MILLS STREET, MADISON, WI

TAX KEY NUMBER: 251/0709-233-0302-1

SURVEYOR'S CERTIFICATE

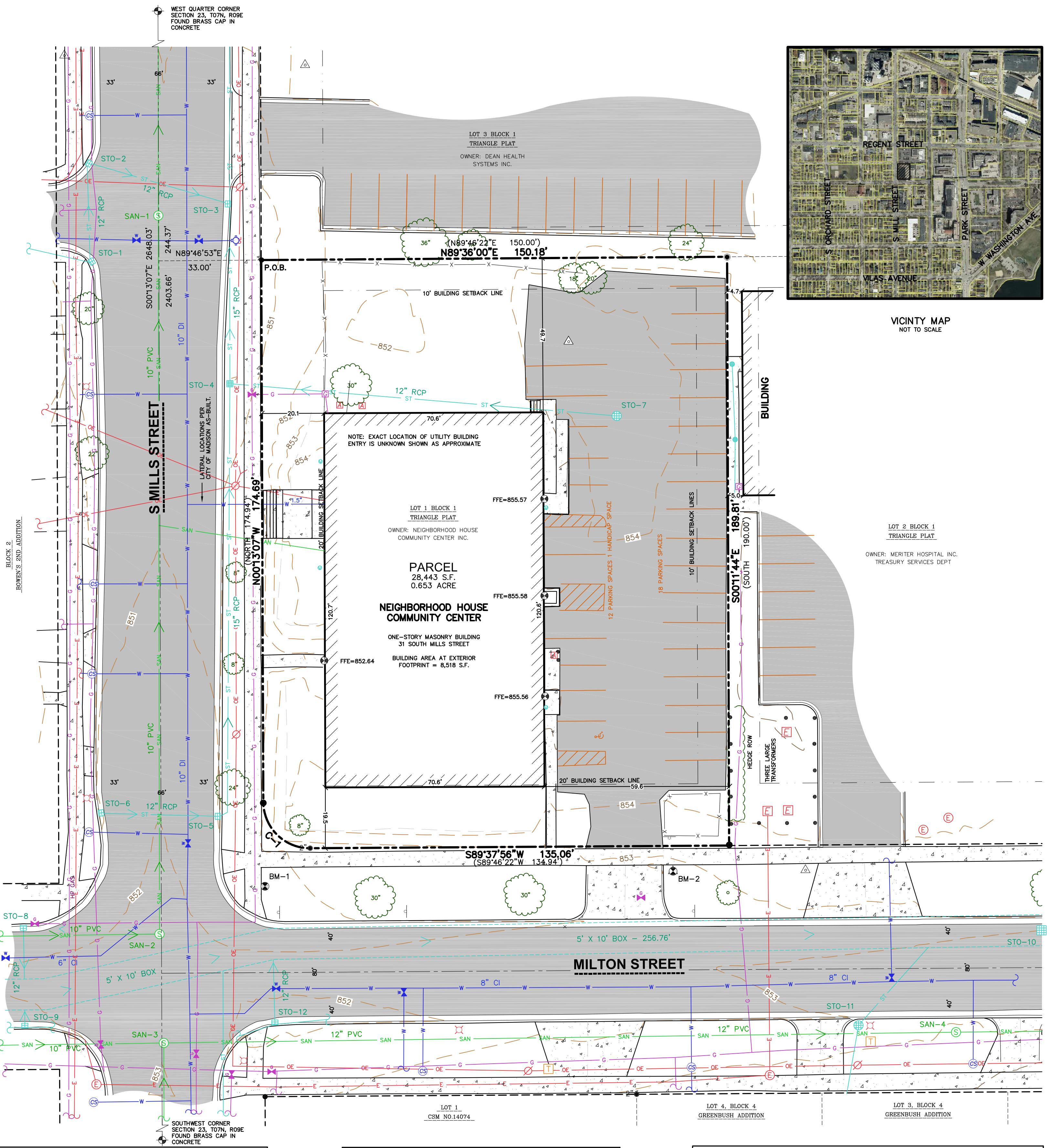
TO:

- i) NEIGHBORHOOD HOUSE COMMUNITY CENTER, INC.,
- ii) FIRST BUSINESS BANK,
- iii) CITY OF MADISON, A MUNICIPAL CORPORATION,
- iv) FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 7a, 7b(1), 7c, 8, 9, 10, 11a, 12, 13, 14, 16, 17, 18, 19, 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 9-16, 2023.

TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR
Email: todd.buhr@jsdinc.com
Website: www.jsdinc.com

DATE



STORM SEWER STRUCTURES

INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STO-1	850.02	N	848.27	12"	RCP
		NW	848.32	4"	PVC
STO-2	850.00	S	848.15	12"	RCP
		SE	848.15	12"	RCP
STO-3	850.10	N	847.40	15"	RCP
		W	847.90	12"	RCP
STO-4	851.10	N	846.35	15"	RCP
		E	846.35	12"	RCP
STO-5	850.88	N	847.78	15"	RCP
		W	848.08	12"	RCP
STO-6	850.85	E	848.44	12"	RCP
STO-7	853.38	NW	848.97	12"	RCP
STO-8	851.33	S	849.13	12"	RCP
STO-9	851.46	N	848.86	12"	RCP
STO-10	853.03	E	848.96	6"	PVC
		W	843.88	5'X10'	RCP
		E	843.88	5'X10'	RCP

STORM SEWER STRUCTURES

INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STO-11	853.60	S	850.50	6"	PVC
		NE	849.08	12"	RCP
STO-12	851.34	SW	848.74	4"	CPP
		SE	848.74	4"	CPP
		N	848.24	10"	RCP

CURVE TABLE

CURVE	RADIUS	DELTA	CHORD BEARING	CHORD	ARC LENGTH	TANGENT LENGTH

<tbl_r cells="7" ix="1" maxcspan="1" maxrspan

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY NOT BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, SPECIFICATIONS AND PROPOSE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ALL CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- INSTALL FOUNDATIONS AND BASEMENT.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- GENERAL
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY JSD DATED DATE".
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY NOT BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, SPECIFICATIONS AND PROPOSE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ALL CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVERSIVE SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

- WATER MAIN SPECIFICATIONS - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
- VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
- HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
- BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35 WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

- BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE SAND AS USED FOR BEDDING AND SHADING CONFORM WITH SECTION 8.43.2 (A) BEDDING AND COVER MATERIAL SHALL BE SAND IN AN AMOUNT OF THREE QUARTERS OF THE QUANTITY OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
- MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE AS SHOWN ON SHEET C5.0.
- WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP).
- ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(h), SPS 382.36(7)(C)(10), AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.

- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORKS TO AVOID OCCUPANCY FEE CHARGES.
 - VERIFYING ALL ELEVATIONS, DIMENSIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.

- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.

- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE CITY OF MADISON. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12' THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTR

PRELIMINARY

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

0-12-23 | LAND USE APPLICATION

THE RIGHT OF WAY IS THE SOLE JURISDICTION
OF THE CITY OF MADISON AND IS SUBJECT TO
CHANGE AT ANY TIME PER THE RECOMMENDED
PLAN BY TRAFFIC ENGINEERING AND CITY
ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE
PUBLIC RIGHT-OF-WAY OR CONNECTIONS
TO CITY OWNED UTILITIES SHALL BE
COMPLETED PER THE CITY ISSUED
IMPROVEMENTS PLAN (CONTRACT NO.
XXXX, PROJECT NO. XXXXXX)

AWN: APPR:

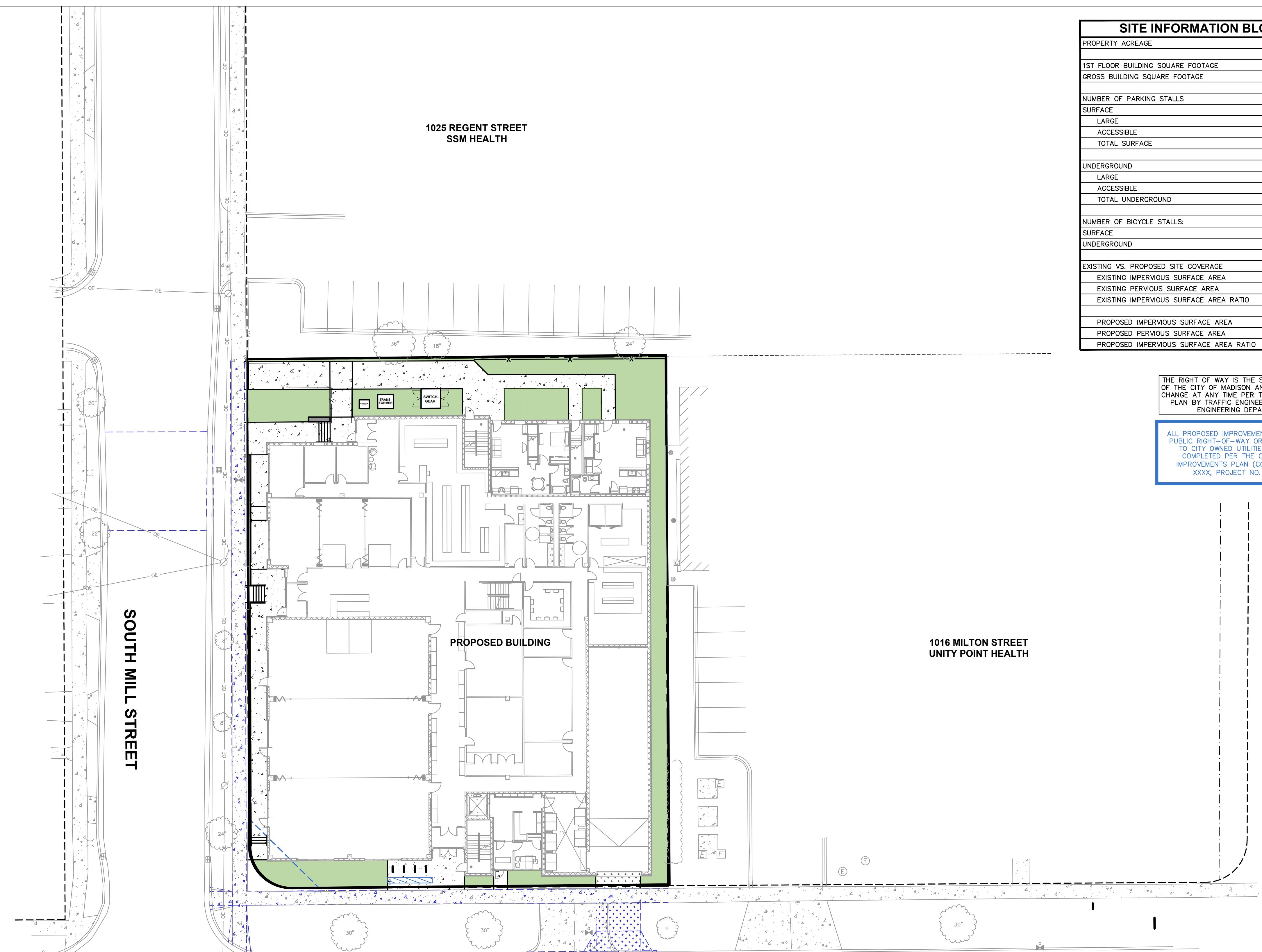
NEIGHBORHOOD HOUSE
10 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

DEMOLITION PLAN

c2.0

File: 1202312313116.DWG Civil Sheets\2313116 - Con Docs.dwg Layout: C2_U - Demo User: cgroener Plotted: Oct 11, 2023 - 2:10pm Xrefs:



SITE INFORMATION BLOCK	
PROPERTY ACREAGE	0.65 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	21,741 SF
GROSS BUILDING SQUARE FOOTAGE	109,190 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	0
ACCESSIBLE	0
TOTAL SURFACE	0
UNDERGROUND	
LARGE	38
ACCESSIBLE	2
TOTAL UNDERGROUND	40
NUMBER OF BICYCLE STALLS:	
SURFACE	8
UNDERGROUND	70
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	19,314 SF
EXISTING PERVIOUS SURFACE AREA	9,129 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.68
PROPOSED IMPERVIOUS SURFACE AREA	25,090 SF
PROPOSED PERVIOUS SURFACE AREA	3,353 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.88

PRELIMINARY
NOT FOR CONSTRUCTION

10-12-23 LAND USE APPLICATION

DRAWN: APPR:

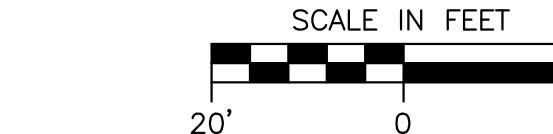
NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

OVERALL SITE PLAN



C3.0



PRELIMINARY

NOT FOR CONSTRUCTION

10.10.00 | LAND USE APPLICATION

THE RIGHT OF WAY IS THE SOLE JURISDICTION
OF THE CITY OF MADISON AND IS SUBJECT TO
CHANGE AT ANY TIME PER THE RECOMMENDED
PLAN BY TRAFFIC ENGINEERING AND CITY
ENGINEERING DEPARTMENT

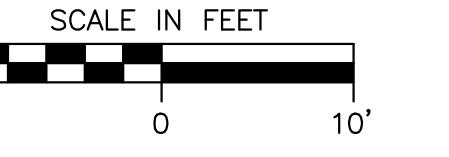
POSED IMPROVEMENTS WITHIN THE
RIGHT-OF-WAY OR CONNECTIONS
CITY OWNED UTILITIES SHALL BE
PLETED PER THE CITY ISSUED
OVEMENTS PLAN (CONTRACT NO.
XXXXX PROJECT NO. XXXXXX)

DRAWN: APPR:

NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

GRADING PLAN



DIGGERS HOTLINE

C4.0

MILTON STREET

PRELIMINARY
NOT FOR CONSTRUCTION

10-12-23 LAND USE APPLICATION

DRAWN: APPR:

NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

LANDSCAPE PLAN

L 1.0

LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
EASEMENT LINE	---
BUILDING OUTLINE	---
BUILDING OVERHANG	---
EDGE OF PAVEMENT	---
STANDARD CURB AND GUTTER	---
ASPHALT PAVEMENT	---
CONCRETE PAVEMENT	---
HEAVY DUTY CONCRETE PAVEMENT	---
959	PROPOSED 1 FOOT CONTOUR
960	PROPOSED 5 FOOT CONTOUR
959	EXISTING 1 FOOT CONTOUR
960	EXISTING 5 FOOT CONTOUR
SAN	SANITARY SEWER
W	WATERMAIN
ST	STORM SEWER
E	ELECTRIC
G	GAS
SAN	EXISTING SANITARY SEWER
W	EXISTING WATERMAIN
ST	EXISTING STORM SEWER
X	RETAINING WALL
X	RAILING
○○	FENCE
—	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
—	BIKE RACK
—	ALUMINUM EDGING
XX XX XX XX	GREEN ROOF

PLANT LIST

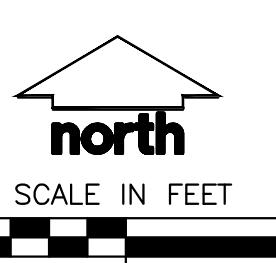
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree
DECIDUOUS SHRUBS	AMEO	BOTANICAL / COMMON NAME
	ARME	Amelanchier alnifolia 'Obelisk' Standing Ovation™ Serviceberry
	HAMV	Aronia melanocarpa 'Morton' TM Iroquois Beauty Black Chokeberry
	HYDB	Hydrangea paniculata 'ILVOBO' Bobo® Panicle Hydrangea
	PHOPA	Physocarpus opulifolius 'Amber Jubilee' Ninebark
	RHOG	Rhododendron x 'Golden Lights' Golden Lights Northern Lights Azalea
	RIBG	Ribes alpinum 'Green Mound' Green Mound Alpine Currant
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	ALSU	Allium x 'Summer Beauty' Summer Beauty Allium
	ASCHW	Astilbe chinensis 'Vision in White' Vision in White Chinese Astilbe
	HOBA	Hosta x 'Blue Angel' Blue Angel Hosta
	HORS	Hosta x 'Regal Splendor' Regal Splendor Hosta
	PAVI	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass
	SPHE	Sporobolus heterolepis Prairie Dropseed

LANDSCAPE MATERIAL NOTES

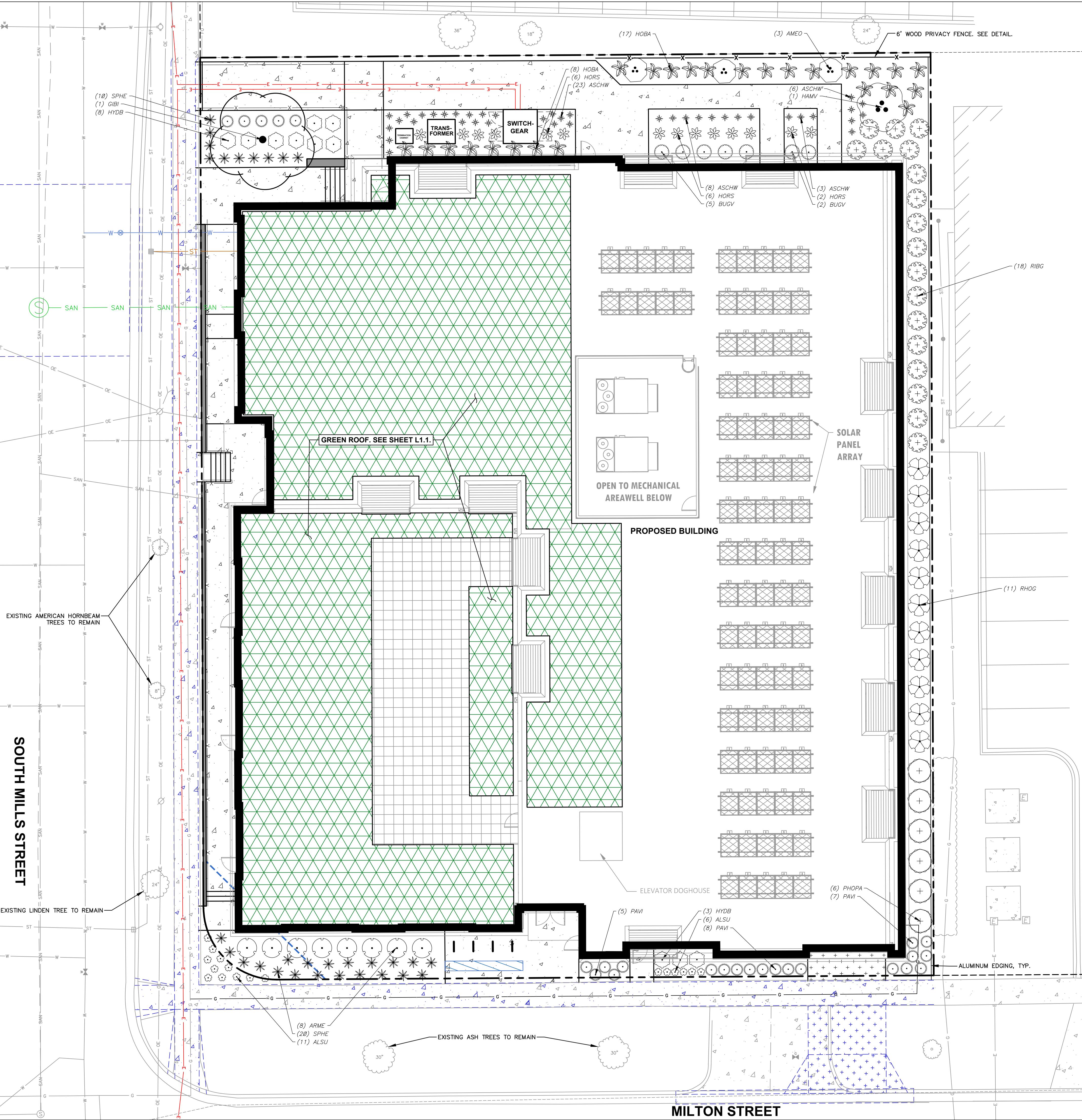
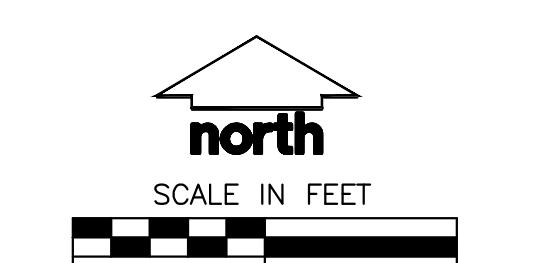
1. ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED. (SEE SHEET 12.0 SEEDING NOTES)
2. ALL PLANTING AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED. (SEE SHEET 12.0 MATERIAL NOTES)

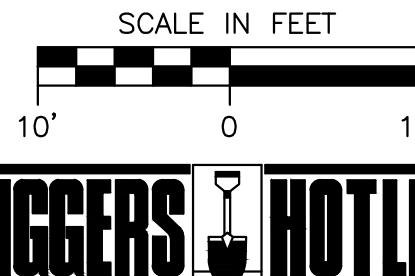
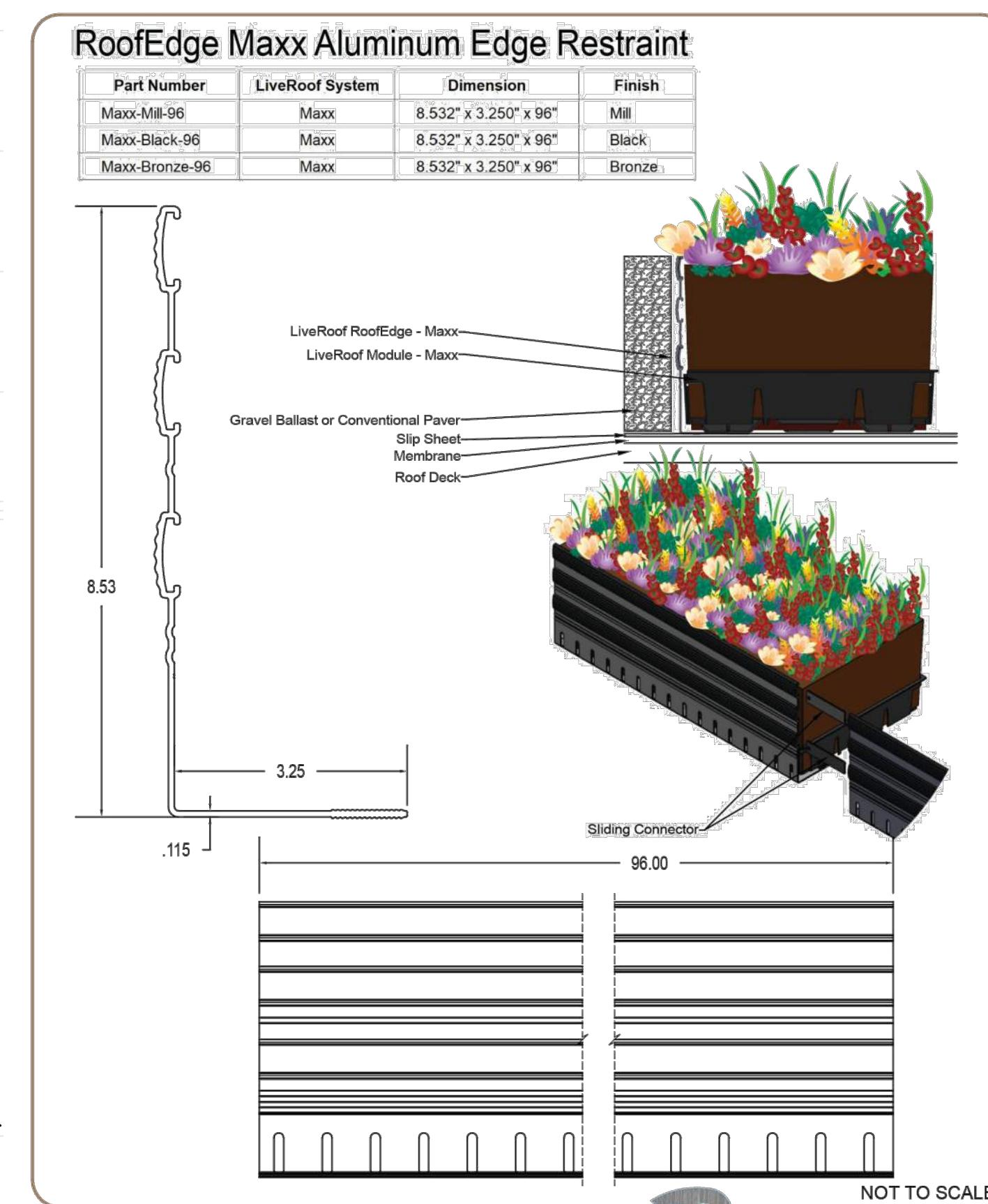
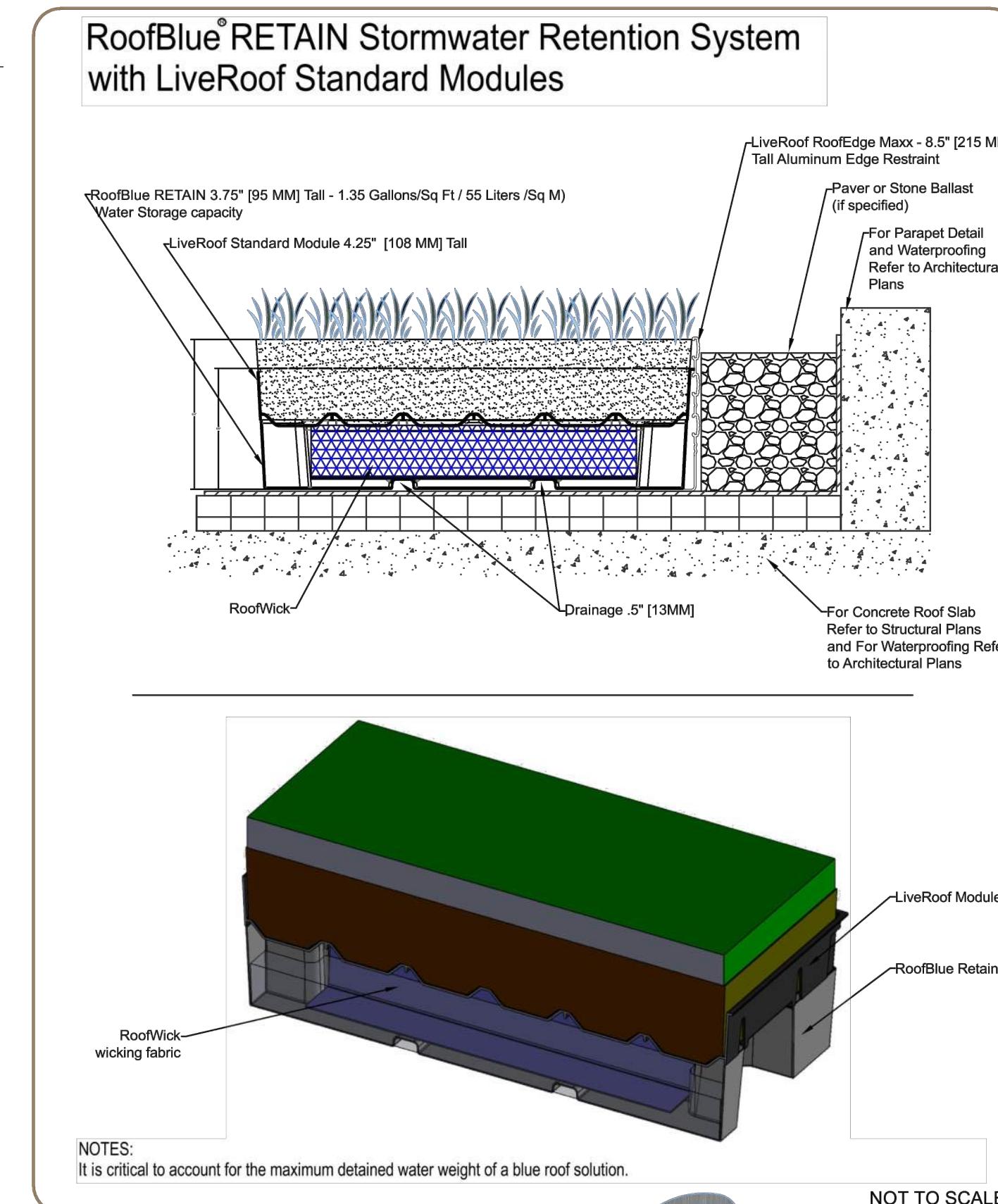
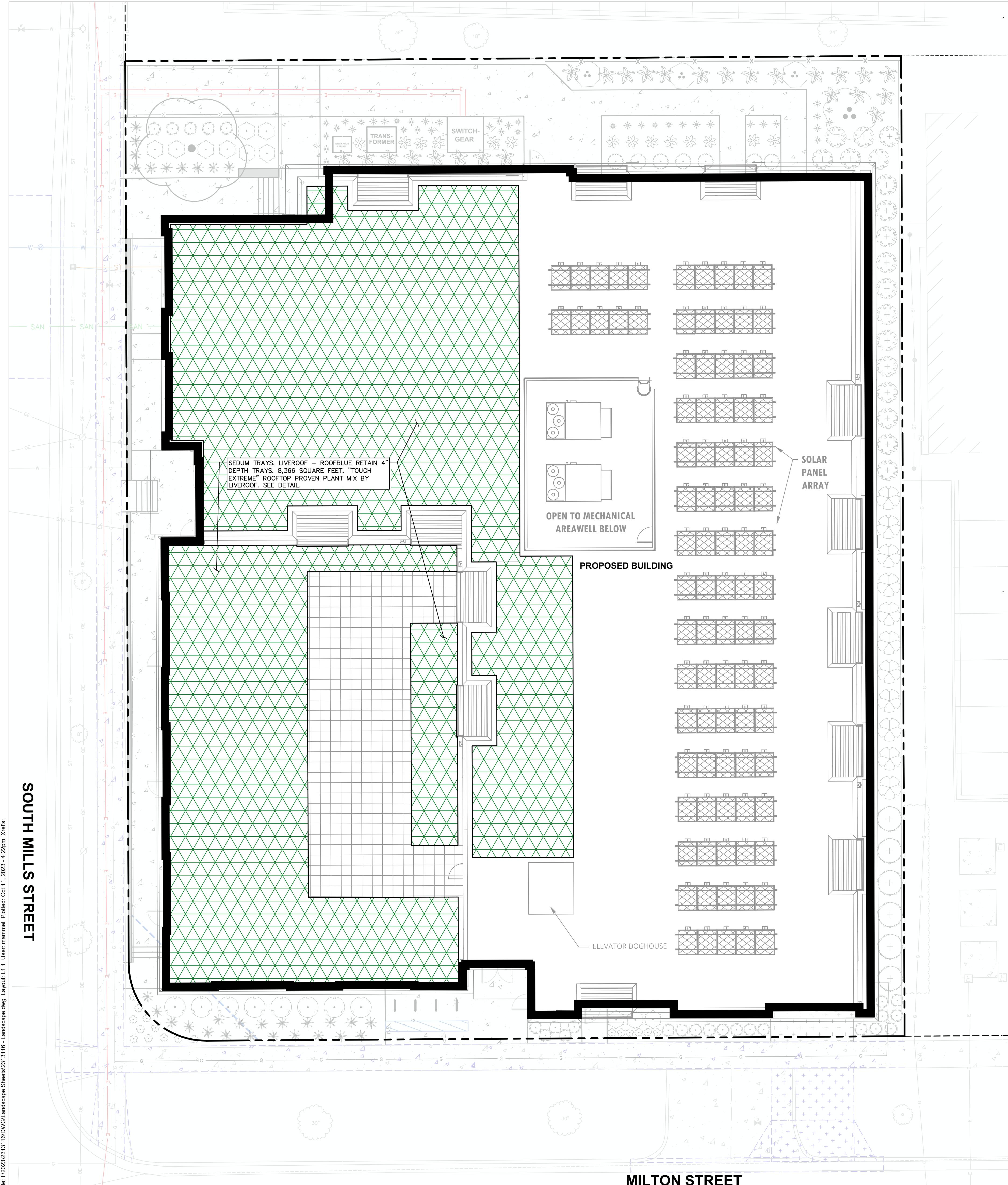
THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

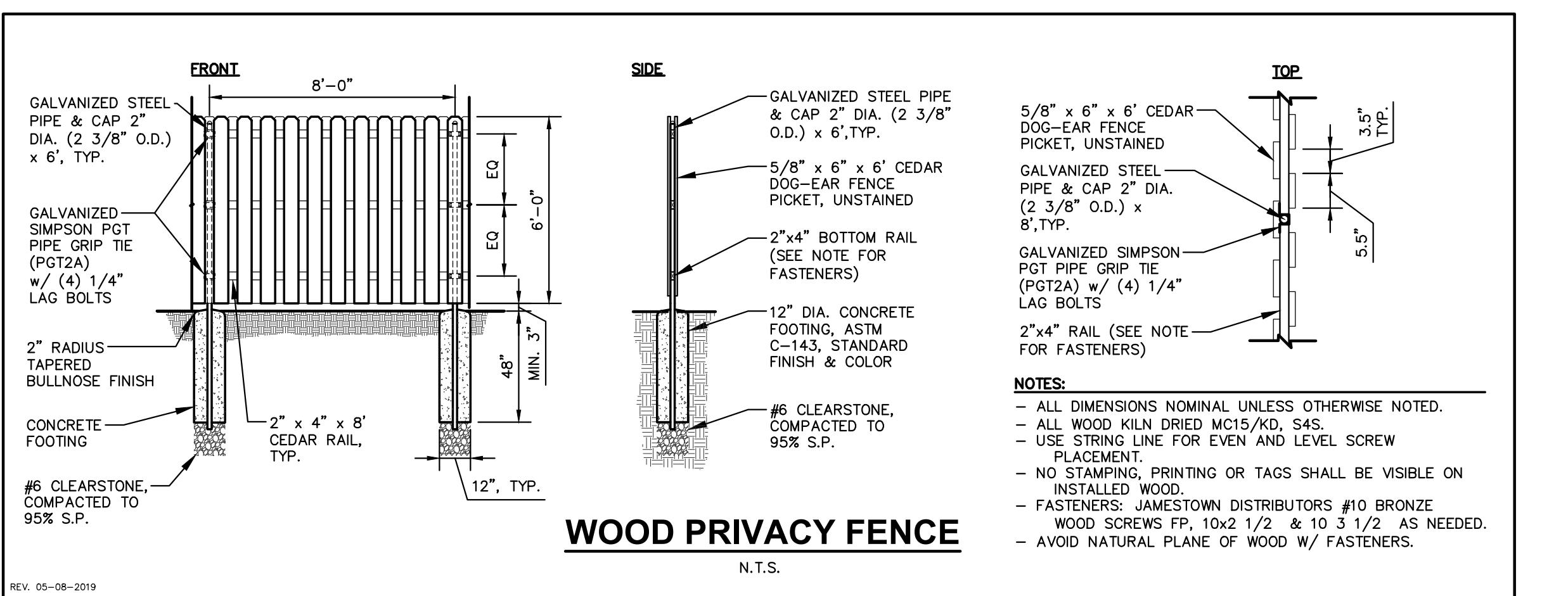
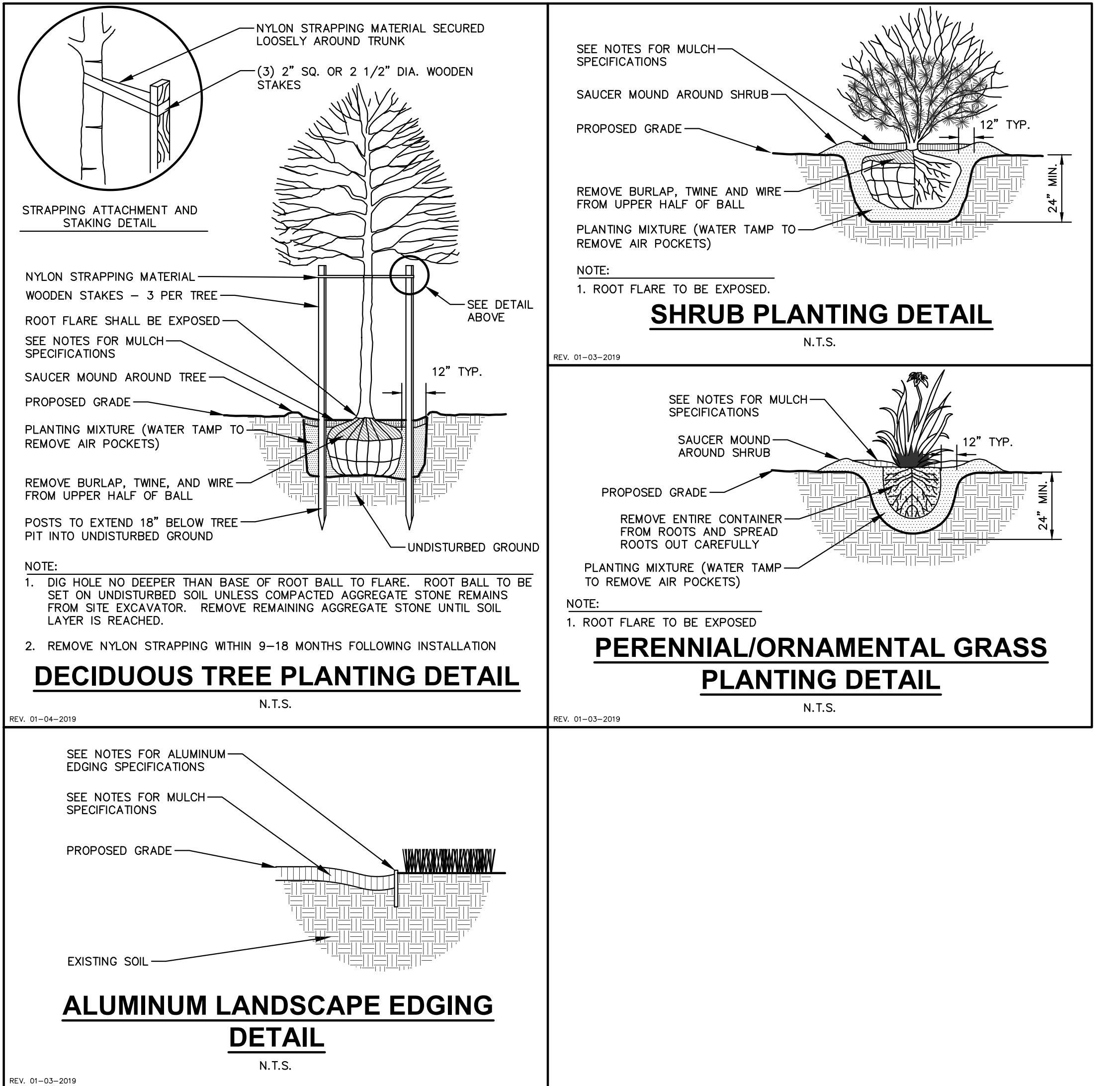
ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXXX, PROJECT NO. XXXXXX)



DIGGERS HOTLINE
Toll Free (800) 242-8511







PLANT SCHEDULE

OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B	2.5" Cal	1
DECIDUOUS SHRUBS	AMEO	Amelanchier alnifolia 'Obelisk' Standing Ovation™ Serviceberry	B & B	Min. 24"-36"	3
	ARME	Aronia melanocarpa 'Morton' TM Iroquois Beauty Black Chokeberry	#3	Min. 12"-24"	8
	HAMV	Hamamelis virginiana Common Witch Hazel	B & B	Min. 36" tall	1
	HYDB	Hydrangea paniculata 'ILVOBO' Bobo® panicle Hydrangea	#3	Min. 12"-24"	11
	PHOPA	Physocarpus opulifolius 'Amber Jubilee' Ninebark	#5	Min. 24" Ht.	6
	RHOG	Rhododendron x 'Golden Lights' Golden Lights Northern Lights Azalea	#3	Min. 24"	11
	RIBG	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	#3	Min. 12"-24"	18
EVERGREEN SHRUBS	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 12"-24"	7
PERENNIALS & GRASSES	ALSU	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	17
	ASCHW	Astilbe chinensis 'Vision in White' Vision in White Chinese Astilbe	#1	Min. 8"-18"	40
	HOBA	Hosta x 'Blue Angel' Blue Angel Hosta	#1	Min. 8"-18"	25
	HORS	Hosta x 'Regal Splendor' Regal Splendor Hosta	#1	Min. 8"-18"	14
	PAVI	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	#1	Min. 8"-18"	25
	SPHE	Sporobolus heterolepis Prairie Dropseed	#1	Min. 8"-18"	30

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 3,183 SF

Total landscape points required: 54 POINTS

(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first Five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: _____

Five (5) acres = _____

First five (5) developed acres = _____

Remainder of developed area: _____

Total landscape points required: _____

(C) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____

Total landscape points required: _____

TABULATION OF LANDSCAPE CREDITS AND POINTS

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
		POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	1
TALL EVERGREEN TREE	5'-6" TALL MIN.	35	0	0	0
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	0
UPRIGHT EVERGREEN SHRUB	3'-4" TALL MIN.	10	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	58
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	7
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	151
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICLY ACCESSIBLE DISTANCE, SEAT CANNOT COMprise MORE THAN 1/3 OF TOTAL REQUIRED POINTS)	5	0	0	0
SUBTOTAL			0		539
TOTAL NUMBER OF POINTS PROVIDED					539

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION, REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO PLANTING. CONTRACTOR MUST CALL 1-800-242-8551 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HIDE ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND HANDLING. PRUNE PLANTS PRIOR TO DELIVERY. ALL TREES SHALL BE PLANTED IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE GROWTH STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALED PLANTS BY STEM OR ROOTS. ALL PLANTS TO BE LIFTED AND PLANTED IN THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS – PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPLETENESS, AND SYMMETRY. PLANTS SHALL BE SO PLANTED, HELD, TIED, SUPPORTED, BRANCHED AND PLACED IN PLANTING HOLE, LEAF, AND FREE OF DISEASE AND INJURY (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE ANSI Z133.1 AND Z333.1. PRUNE TREES IN ACCORDANCE WITH ZMA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND DEMOLITION OF EXISTING PLANTS AND SOILS. PRUNE TRIMMING UNLESS OTHERWISE SPECIFIED SHALL NOT ACCUMULATE. ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS – PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS – TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6.0 AND 7.0. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE ADDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS – SHREDDED HARDWOOD BARK: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED NEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS – TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEADED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS – ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

DRAWN: APPR:

NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

LANDSCAPE
DETAILS & NOTES

L2.0

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. PLANTS BEING REPLACED SHALL BE OF THE SAME SPECIES AND QUALITY AS THE UNPLANTED PLANTING. EDGING, MULCH, ETC. TO REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEADED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.