

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, including checklist on page 2.
To request an interpreter, translation, or accommodations, call (608)266-4910.
Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.
Koj muaj txoj cai tau txais kev txhais lus, kev pes lus los sis kev pab cuam txhawm rau
kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910
如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985 (608) 266-4635



1. LOCATION

Project Address: 952 Spaight St Alder District: 6

2. PROJECT

Project Title/Description: 2 car Garage w/ 1 bedroom apartment above

This is an application for: (check all that apply)

- New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify):
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify):
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Demolition
- Development adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission or Historic District Nomination/Amendment
(Please contact the Preservation Planner for specific Submission Requirements.)
- Informational Presentation
- Other (specify):

DPCED USE ONLY	Legistar #:
	DATE STAMP

3. APPLICANT

Applicant's Name: Benjamin J Fritz Company: _____

Address: 956 Spaight St MADISON WI 53703
Street City State Zip

Telephone: 608-335-5088 Email: [REDACTED]

Property Owner (if not applicant): _____

Address: _____
Street City State Zip

Property Owner's Signature: Benjamin J Fritz Date: 2/1/26

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be emailed by 12:00pm on the submission date with the Landmarks Commission. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled submittal date. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to landmarkscommission@cityofmadison.com.** Please note that an individual email cannot exceed 20 MB.

- Landmarks Commission Application w/signature of the property owner.
- Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - Photographs of existing conditions;
 - Photographs of existing context;
 - Photographs of comparable historic resources within 200 feet of subject property;
 - Manufacturer's product information showing dimensions and materials.
- Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
 - Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - Floor Plan views of levels and roof;
 - For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - Perspective drawing
 - Other _____

Landmarks Commission staff will preliminarily review projects for additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division
 215 Martin Luther King Jr Blvd, Suite 017
 PO Box 2985 (mailing address)
 Madison, WI 53701-2985
landmarkscommission@cityofmadison.com
 (608) 266-6552

Dear Landmarks Commission,

My name is Benjamin J Fritz and I live at 956 Spaight Street in the Marquette neighborhood. My home has two other apartment units in it and sits on the corner of Spaight and Brearly. The entrance to my parking lot in my backyard is off Brearly, and it is here I would like to build a two-car garage with a 1 bedroom apartment on top. No additional green space would be needed, as the footprint of the garage would sit on top of the current parking lot. The photo below is taken from Brearly, the yellow line is the edge of my property, and the back of my house is pictured.



The new building will have a porch that looks east towards Brearly. I have talked with my neighbors and so far, no one has any concerns or complaints about the idea.

This is a photo of the front of the house so you can see the architectural style. We worked to include similar pillars on the Garage to help tie the buildings together.



Sincerely,

Benjamin Fritz
608-335-5088



GENERAL MAIN FLOOR NOTES

1	ALL EXTERIOR WALLS FRAMED WITH 2X6's - 16" O.C. WITH 7/16" SHEATHING OVER AT ENTIRE HOUSE WALL BRACING PER LOCAL CODE INTERPRETATION. INSULATE WALLS PER TYPICAL BUILDING SECTION
2	FRAME ALL GARAGE WALLS WITH 2X4's - 16" O.C. WITH TREATED BOTTOM PLATE TO CONCRETE AND 7/16" OSB WALL SHEATHING
3	VENT ALL BATH FANS TO EXTERIOR THROUGH ROOF VENT OR THROUGH SOFFIT. (SOFFIT VENTING MUST TERMINATE TO EXTERIOR VIA UNDERMOUNT SOFFIT VENT
4	ALL EXTERIOR DOORS SHALL BE STEEL INSULATED OR EQUAL WITH WEATHERSTRIP
5	ALL WINDOW CODE NUMBERS ARE GENERIC NUMBERS UNLESS OTHERWISE NOTED. UNIT TO INCLUDE SCREENS AND EXTENSION JAMBS AS REQ. SUPPLIER TO CONFIRM UNIT NUMERS AND SIZINGS W/ GENERAL CONTRACTOR (GC) PRIOR TO FRAMING. WINDOW SUPPLIER TO VERIFY AT LEAST (1) ONE WINDOW IN ALL BEDROOMS TO MEET EGRESS CODE, WITH SILL HEIGHT NOT GREATER THAN 46" ABOVE FINISHED FLOOR. ALL HABITABLE ROOMS TO HAVE A MIN. OF 8% NATURAL LIGHT OF FLOOR AREA. BEDROOM AND/OR SLEEPING AREAS TO HAVE MIN. 3.5% VENTILATION OF FLOOR AREA
6	SAFETY GLAZING TO BE INSTALLED IN ANY DWELLING WINDOW THAT IS PART OF A TUB AND/OR SHOWER ENCLOSURE AND WITHIN 5'(60") VERTICALLY OF THE TUB OR SHOWER DRAIN
7	SAFETY GLAZING TO BE INSTALLED IN ANY WINDOW THAT IS WITHIN 4' (48") VERTICALLY AND 1'(12") HORIZONTALLY OF A STAIRWAY TREAD OR LANDING TO ADDRESS FALLS ON STAIRWAYS.
8	ALL ROOF TRUSS ENGINEERING AND LAYOUT IS TO BE COMPLETED BY TRUSS MANUFACTURER AND CONFIRMED BY GC PRIOR TO FRAMING. COPY OF TRUSS DRAWINGS AND LAYOUT TO BE AVAILABLE ON SITE UNTIL FRAMING INSPECTION IS COMPLETED.
9	ALL ROOF FRAMING MEMBERS SPANNING MORE THAN 6'(72") TO BE ANCHORED TO BEARING TOP WALL PLATES WITH ENGINEERED CLIPS, STRAPS OR HANGERS. (NOTE: TOE-NAILING IS NOT SUFFICIENT.)
10	ALL TJI JOISTS OR RAFTERS TO BE SIZED AND ENGINEERED PER MANUFACTURER'S REQUIREMENTS. INSTALLATION TO BE VERIFIED BY MANUFACTURER SYSTEM REQUIREMENTS AND VERIFIED BY GC AND SUPPLIER PRIOR TO START OF CONSTRUCTION.
11	ALL ANGLED WALLS ARE AT 45", UNLESS OTHERWISE NOTED OR DIMENSIONED.
12	SMOKE DETECTORS TO BE PROVIDED AT ALL LEVELS INCLUDING BASEMENT, AND ALL BEDROOMS. DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACK-UP

GENERAL ELEVATION NOTES

1	SIDING AND ACCESSORIES - PER CONTRACT CORNERS - PER CONTRACT
2	BRICK / STONE VENEER AS SHOWN ON ELEVATIONS. CONFIRM ALL SUPPORT SYSTEM REQUIRED FOR VENEER PRIOR TO START OF CONSTRUCTION
3	ALUMINUM FASCIA AND SOFFIT (50% VENTING)
4	ROOF VENTING AS REQUIRED BY MANUFACTURER OF SELECTED SYSTEM TO MEET CODE REQUIREMENTS
5	ALL FLUTES, STACKS, AND GUTTERS/DOWNSPOUTS NOT SHOWN ON ELEVATIONS.
6	ALL ROOFING TO BE ASPHALT SHINGLES OVER 15# FELT: USE 90# FELT AND METAL AT ALL VALLEYS AND FLASHING AS REQUIRED. ICE AND WATER SHIELD AT ALL ROOF EDGES PER CODE
7	PROTECTIVE COVER REQUIRED OVER ANY EXPOSED BASEMENT INSULATING BOARD
8	ALL LANDSCAPED RETAINING WALLS AND/OR TREATED WOOD NAILING STRIPS IN CONCRETE WALLS SHALL BE SITE VERIFIED BY GENERAL CONTRACTOR AT TIME OF WALL POUR

GENERAL MAIN FLOOR TAGS

- ◇ SHELF & POLE PER CONTRACT OR OWNER DIRECTION - SUPPLY BLOCKING AS REQUIRED
- ◇ LINEN/PANTRY - (4) SHELVES, AS WIDE (UP TO 24") AS ALLOWED BY CLOSET DEPTH (VIF)
- ◇ KITCHEN, BATH, LAUNDRY CABINETRY - LAYOUTS PROVIDED BY SUPPLIER ALL CABINET LAYOUT AND DESIGN TO BE SUPPLIED BY SUPPLIER AND TO BE SITE VERIFIED AFTER FRAMING. ANY DETAILING PROVIDED BY DESIGNER IS A SUGGESTION ONLY AND MUST BE FINALIZED PRIOR TO ACTUAL CONSTRUCTION.....
- ◇ ALL DOORS BETWEEN GARAGE AREAS AND HOUSE AREAS TO HAVE MIN. 20 MIN. LABEL FOR BOTH DOOR AND FRAME..... THIS INCLUDES DOORS AT BOTTOM OF STAIRS FROM GARAGE TO BASEMENT AREAS.....
- ◇ ATTIC ACCESS SCUTTLES TO BE JAMBED AND CASED. ACCESS PANELS ON INTERIOR SPACES TO ATTIC AREAS NOT ACCESSIBLE FROM GARAGE MUST BE WEATHER STRIPPED AND paneled

TYPICAL WALL BRACING NOTES

- NEW FRAMED EXTERIOR WALLS
- NEW FRAMED INTERIOR WALLS
- EXISTING WALLS

-ALL DIMENSIONS ARE STUD TO STUD OR STUD TO CENTERLINE OF OPENINGS UNLESS NOTED

-ALL HEADERS IN LOAD BEARING WALLS NOT NOTED TO BE (2) 2X10 HF SELECT. STRUCT.

-ALL HEADERS IN EXTERIOR WALLS NOT NOTED TO BE 2PLY 2X10 DF

-ALL LVL BEAMS SHOWN ARE 2.0E, 2900 FB MANUFACTURED BY LP SOLIDSTART ENGINEERED WOOD PRODUCTS

-BOTTOM OF NEW WINDOW HEADERS TO BE 7'11-1/2" ABOVE SUBFLOOR

-2X6 WALL W/POCKET DOOR - USE FLAT 2X4 STUDS VS METAL STUDS TO CREATE DOOR POCKET

WALL BRACING NOTES

- ◇ -CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS (CS-WSP) MINIMUM BRACING THICKNESS - 3/8" FOR A MAX. OF 16" O.C. STUD SPACING & 7/16" FOR A MAX OF 24" O.C. STUD SPACING W/ CONTINUOUS WALL SHEATHING
- ◇ - FASTENERS: 6D COMMON NAIL OR 8D BOX NAIL (2 3/8" LONG X 0.113" DIAM.) OR 7/16" OR 1/2" CROWN 16 GAUGE STAPLES, 1 1/4" LONG, 6" O.C. ON ALL EDGES & 12" O.C. FIELD (NAILS), 3" O.C. ON ALL EDGES & 6" O.C. FIELD (STAPLES).
- ◇ -ALL VERTICAL JOINTS OF BRACED WALL PANELS SHALL OCCUR OVER COMMON STUD. HORIZONTAL JOINTS SHALL BE BACKED W/ 1 1/2" BLOCKING.
- ◇ -THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED W/MIN. 1/2" GYPSUM WALL BOARD UNLESS OTHERWISE PERMITTED. ALL EDGES OF PANEL TYPE WALL BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING. SHEET INTERIOR WALLS WITH NEW SHEETROCK
- ◇ -EACH BRACED PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN 10% OF THE LEAST DIMENSION OF THE PANEL & CONFINED TO THE MIDDLE 3/4 OF THE PANEL.
- ◇ -ALL EXTERIOR WINDOW & DOOR HEADERS NOT SPECIFIED ARE TO BE DBL 2X10 DF
- ◇ -ALL NON FHA INTERIOR POSTS ARE TO BE VERSALAM COLUMNS
- ◇ -ALL POSTS MUST TRANSFER LOAD TO BEARING

AREA CALCULATIONS

FINISHED 2020 SF.....
UNFINISHED N/A
GARAGE 940 SF.....
PATIO N/A
DECK N/A
TOTAL2143 SF.....

DRAWING SYMBOLS

	CARDINAL MARKER		ELEVATION TAG
	DP - 50/50 DIAMOND PIER W/ 6X6 PT POST		F1 FOOTING TAG
	DP - 75/63 DIAMOND PIER W/ 6X6 PT POST		48" CONCRETE SONOTUBE W/ 6X6 PT POST
			WALL TAG

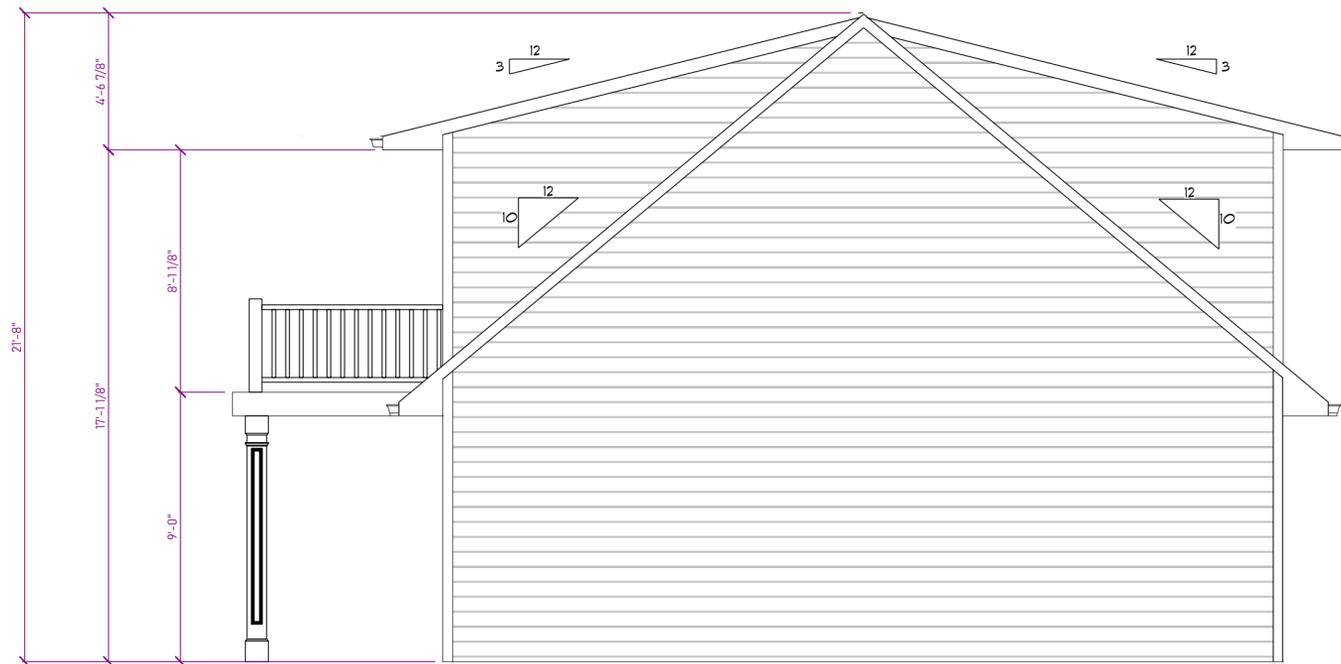
ABBREVIATIONS

#	POUNDS	DEMO	DEMOLISH/DEMOLITION	HVAC	HEATING, VENTILATION & AIR CONDITIONING	REQ	REQUIRED
@	AT	DF	DOUGLAS FIR	INT	INTERIOR	SS	SELECT STRUCT
ADJ	ADJUSTABLE	DIA	DIAMETER	KD	KILN DRIED	SPF	SPRUCE, PINE, FIR
ALUM	ALUMINUM	DIM	DIMENSION(S)	LVL	LAMINATED VENEER LUMBER	STL	STEEL
CLG	CEILING	DTG	DOWN TO GRADE	MAX	MAXIMUM	SYP	SOUTHERN YELLOW PINE
CMU	CONCRETE MASONRY UNIT	EXT	EXTERIOR	MIN	MINIMUM	T&G	TONGUE AND GROOVE
CONC	CONCRETE	FND	FOUNDATION	NTS	NOT TO SCALE	TYP	TYPICAL
CS-WSP	CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL	GWB	GYPSUM WALL BOARD	O.C.	ON CENTER	W/	WITH
D	NAIL SIZE	HF	HEM FIR	PT	PRESSURE TREATED	WIC	WALK-IN CLOSET
DBL	DOUBLE	HT	HEIGHT	OSB	ORIENTED STRAND BOARD	XTG	EXISTING

Date:	Issue:
09-09-2025	Prelim.



BREARLY STREET-FRONT ELEVATION
 SCALE: 3/8" = 1'-0"



ELEVATION - RIGHT
 SCALE: 1/4" = 1'-0"

FRITZ RESIDENCE - ADU

952 Spaight St., Madison WI, 53703

Scale: AS SHOWN

Designer:

Drawn By: Andrew C. Edwin B.

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CLIENT AND / OR CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. THE CLIENT AND / OR CONTRACTORS WILL ASSUME ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

Drawing:

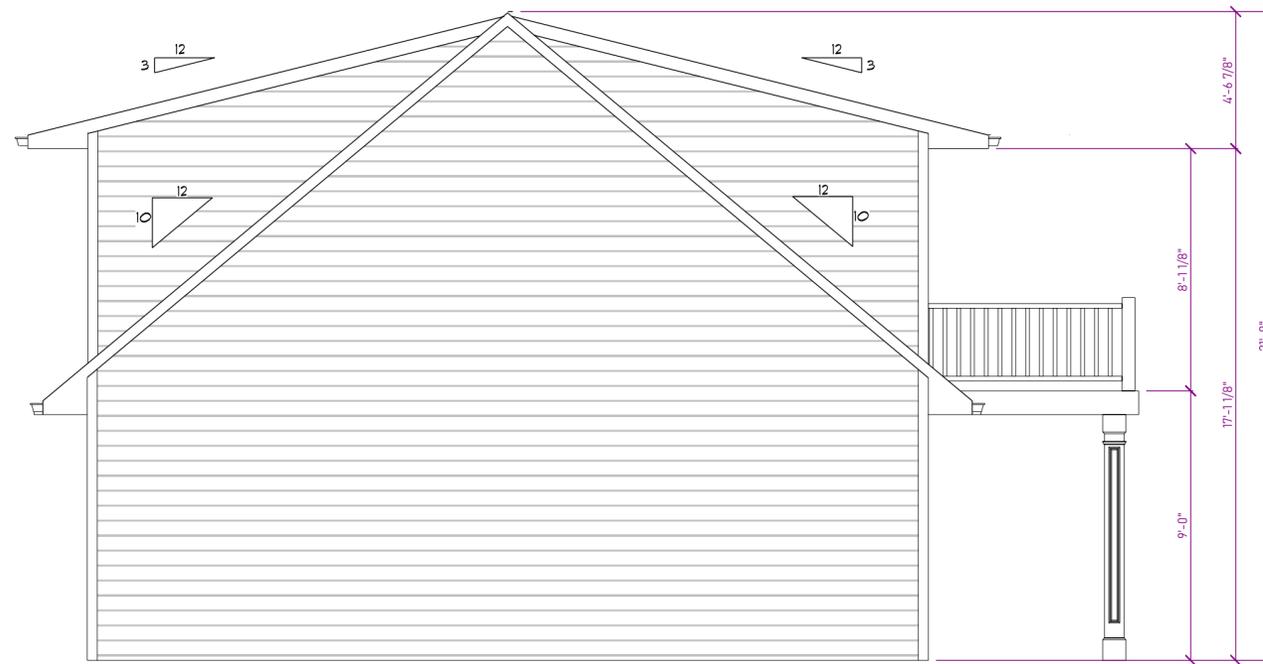
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ELEVATION - REAR

 SCALE: 3/8" = 1'-0"



ELEVATION - LEFT

 SCALE: 1/4" = 1'-0"

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952 Spaight St., Madison WI, 53703

Scale: AS SHOWN

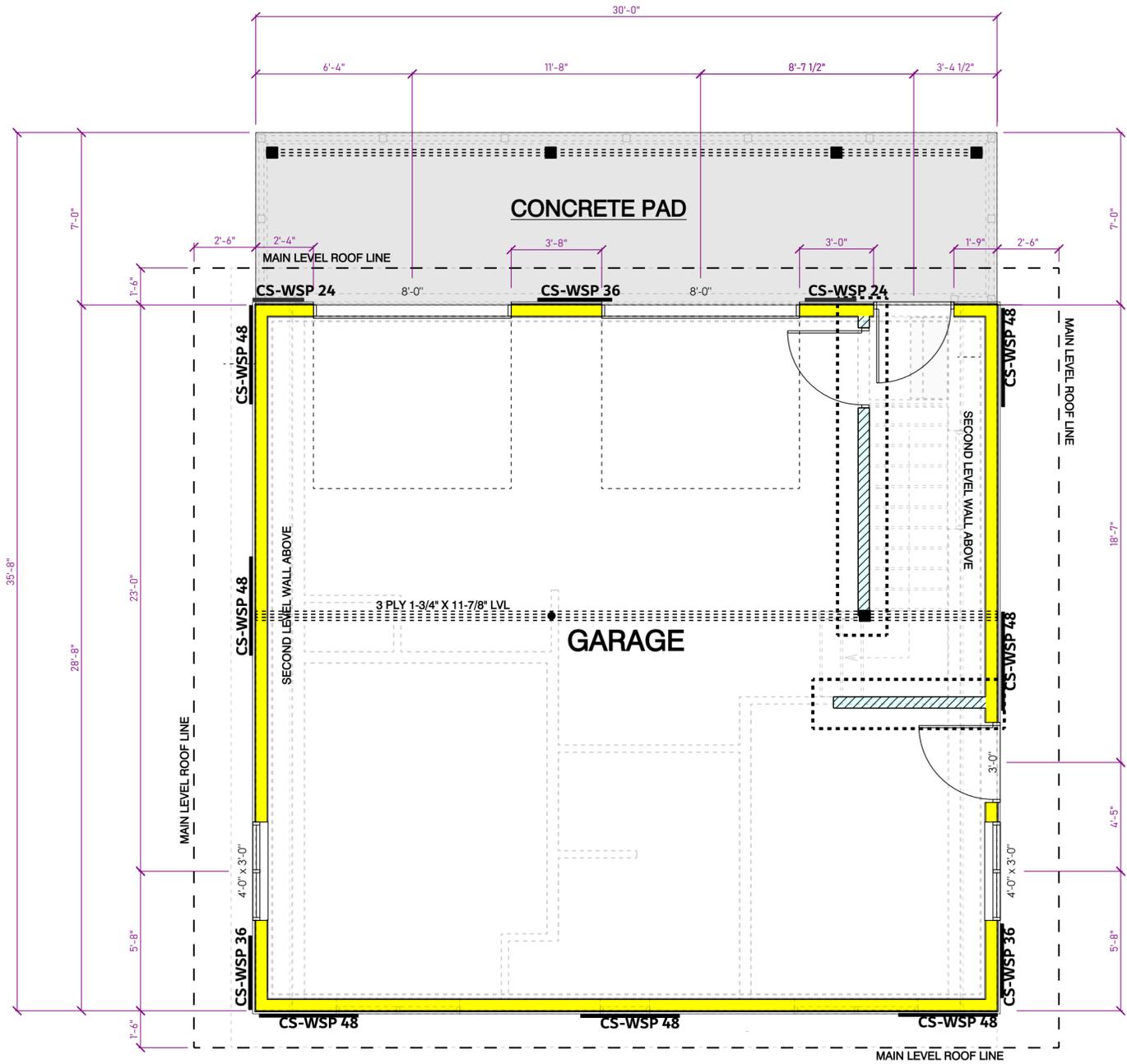
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MAIN LEVEL
SCALE: 1/4" = 1'-0"

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- 2 FRAME ALL GARAGE WALLS WITH 2X4's - 16" O.C. WITH TREATED BOTTOM PLATE TO CONCRETE AND 7/16" OSB WALL SHEATHING
- 3 VENT ALL BATH FANS TO EXTERIOR THROUGH ROOF VENT OR THROUGH SOFFIT. (SOFFIT VENTING MUST TERMINATE TO EXTERIOR VIA UNDERMOUNT SOFFIT VENT)
- 4 ALL EXTERIOR DOORS SHALL BE STEEL INSULATED OR EQUAL WITH WEATHERSTRIP
- 5 ALL WINDOW CODE NUMBERS ARE GENERIC NUMBERS UNLESS OTHERWISE NOTED. UNIT TO INCLUDE SCREENS AND EXTENSION JAMBS AS REQ. SUPPLIER TO CONFIRM UNIT NUMERS AND SIZINGS W/ GENERAL CONTRACTOR (GC) PRIOR TO FRAMING. WINDOW SUPPLIER TO VERIFY AT LEAST (1) ONE WINDOW IN ALL BEDROOMS TO MEET EGRESS CODE, WITH SILL HEIGHT NOT GREATER THAN 46" ABOVE FINISHED FLOOR. ALL HABITABLE ROOMS TO HAVE A MIN. OF 8% NATURAL LIGHT OF FLOOR AREA. BEDROOM AND/OR SLEEPING AREAS TO HAVE MIN. 3.5% VENTILATION OF FLOOR AREA
- 6 SAFETY GLAZING TO BE INSTALLED IN ANY DWELLING WINDOW THAT IS PART OF A TUB AND/OR SHOWER ENCLOSURE AND WITHIN 5'(60") VERTICALLY OF THE TUB OR SHOWER DRAIN
- 7 SAFETY GLAZING TO BE INSTALLED IN ANY WINDOW THAT IS WITHIN 4' (48") VERTICALLY AND 1'(12") HORIZONTALLY OF A STAIRWAY TREAD OR LANDING TO ADDRESS FALLS ON STAIRWAYS.
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- 12 SMOKE DETECTORS TO BE PROVIDED AT ALL LEVELS INCLUDING BASEMENT, AND ALL BEDROOMS. DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACK-UP

GENERAL MAIN FLOOR TAGS

- ① SHELF & POLE PER CONTRACT OR OWNER DIRECTION - SUPPLY BLOCKING AS REQUIRED
- ② LINEN/PANTRY - (4) SHELVES, AS WIDE (UP TO 24") AS ALLOWED BY CLOSET DEPTH (VIF)
- ③ KITCHEN, BATH, LAUNDRY CABINETRY - LAYOUTS PROVIDED BY SUPPLIER ALL CABINET LAYOUT AND DESIGN TO BE SUPPLIED BY SUPPLIER AND TO BE SITE VERIFIED AFTER FRAMING. ANY DETAILING PROVIDED BY DESIGNER IS A SUGGESTION ONLY AND MUST BE FINALIZED PRIOR TO ACTUAL CONSTRUCTION.....
- ④ ALL DOORS BETWEEN GARAGE AREAS AND HOUSE AREAS TO HAVE MIN. 20 MIN. LABEL FOR BOTH DOOR AND FRAME..... THIS INCLUDES DOORS AT BOTTOM OF STAIRS FROM GARAGE TO BASEMENT AREAS.....
- ⑤ ATTIC ACCESS SCUTTLES TO BE JAMBED AND CASED. ACCESS PANELS ON INTERIOR SPACES TO ATTIC AREAS NOT ACCESSIBLE FROM GARAGE MUST BE WEATHER STRIPPED AND PANELED

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FRITZ RESIDENCE - ADU

952 Spaight St., Madison WI, 53703

Scale: AS SHOWN

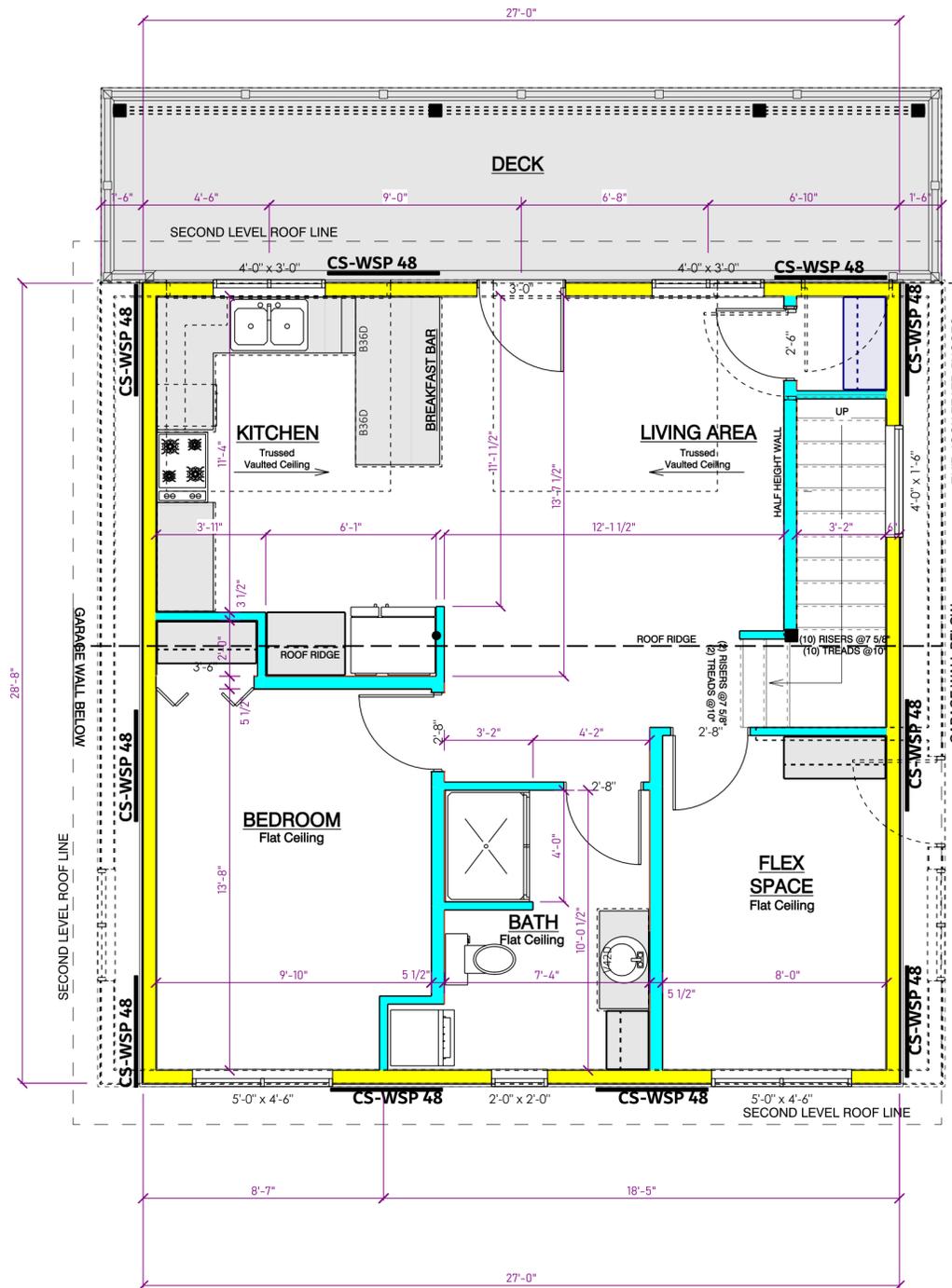
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Drawing:

Sheet No.



SECOND LEVEL
SCALE: 1/4" = 1'-0"

WALL BRACING NOTES:

-Continuous Sheathing - Wood Structural Panels (CS-WSP) Minimum Bracing Thickness - 3/8" For A Max. Of 16" o/c Stud Spacing & 7/16" For A Max. Of 24" o/c Stud Spacing w/Continuous Wall Sheathing - Fasteners: 6d Common Nail Or 8d Box Nail (2 3/8" Long x 0.113" Diam.) Or 7/16" Or 1/2" Crown 16 Gauge Staples, 1 1/4" Long. 6" o/c On All Edges & 12" o/c Field (Nails). 3" o/c On All Edges & 6" o/c Field (Staples).

-All Vertical Joints Of Braced Wall Panels Shall Occur Over Common Stud. Horizontal Joints Shall Be Backed w/1 1/2" Thick Blocking.

-The Interior Side Of All Exterior Walls Shall Be Sheathed w/Min. 1/2" Gypsum Wall Board Unless Otherwise Permitted. All Edges Of Panel Type Wall Bracing Shall Be Attached To Framing Or Blocking. Sheet Interior Walls With new Sheetrock.

-Each Braced Panel May Contain No More Than One Hole, Having A Maximum Dimension Of No More Than 10% Of The Least Dimension Of The Panel & Confined To The Middle 3/4 Of The Panel.

-All Exterior Window & Door Headers Not Specified Are To Be DBL 2x10 DF

-All non FHA Interior Posts Are To Be Versalam Columns

-All Posts Must Transfer Load To Bearing

NOTES:

- New Framed Exterior Walls
- New Framed Interior Walls
- Existing Walls

-All Dimensions Are Stud To Stud Or Stud To Centerline Of Opngs. Unless Noted

-All Headers In Load Bearing Walls Not Noted To Be (2) 2x10 HF Select. Struct.

-All Headers In Exterior Walls Not Noted To Be 2ply 2x10 DF

-All LVL Beams Shown Are 2.0E, 2900 Fb Manufactured By LP SolidStart Engineered Wood Products

-Bottom Of New Window Headers To Be 7'11-1/2" Above Sub Floor

-New Windows To Be Composite Double Hung Units - Black

-2x6 Wall w/Pocket Door - Use Flat 2x4 Studs Vs Metal Studs To Create Door pocket

-All Exterior Posts And Beams To Be Wrapped With LP Smartside Trim

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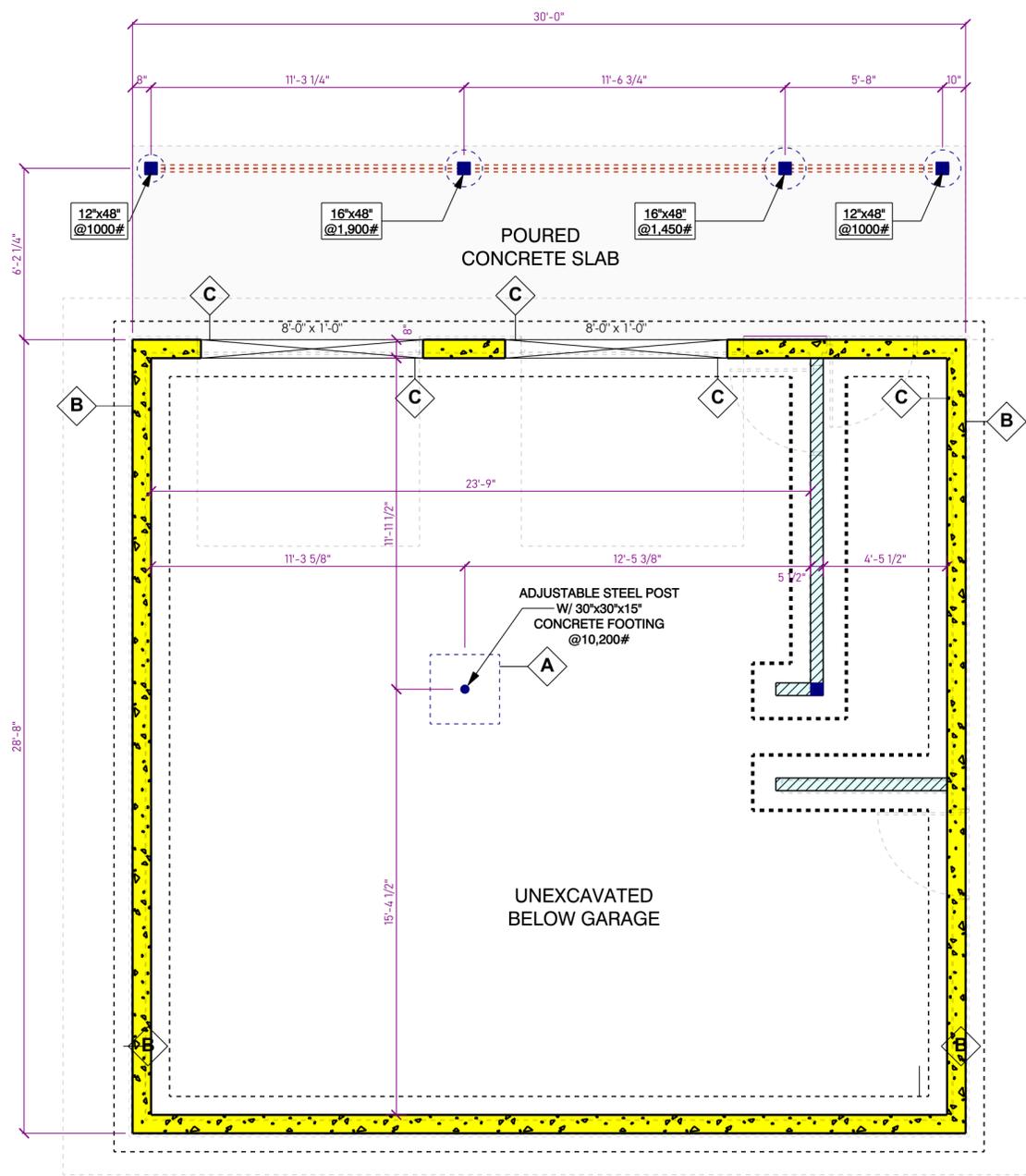
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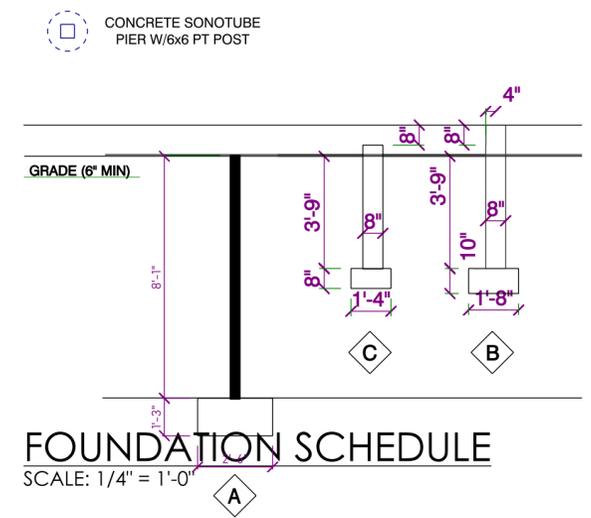
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FOUNDATION
SCALE: 1/4" = 1'-0"



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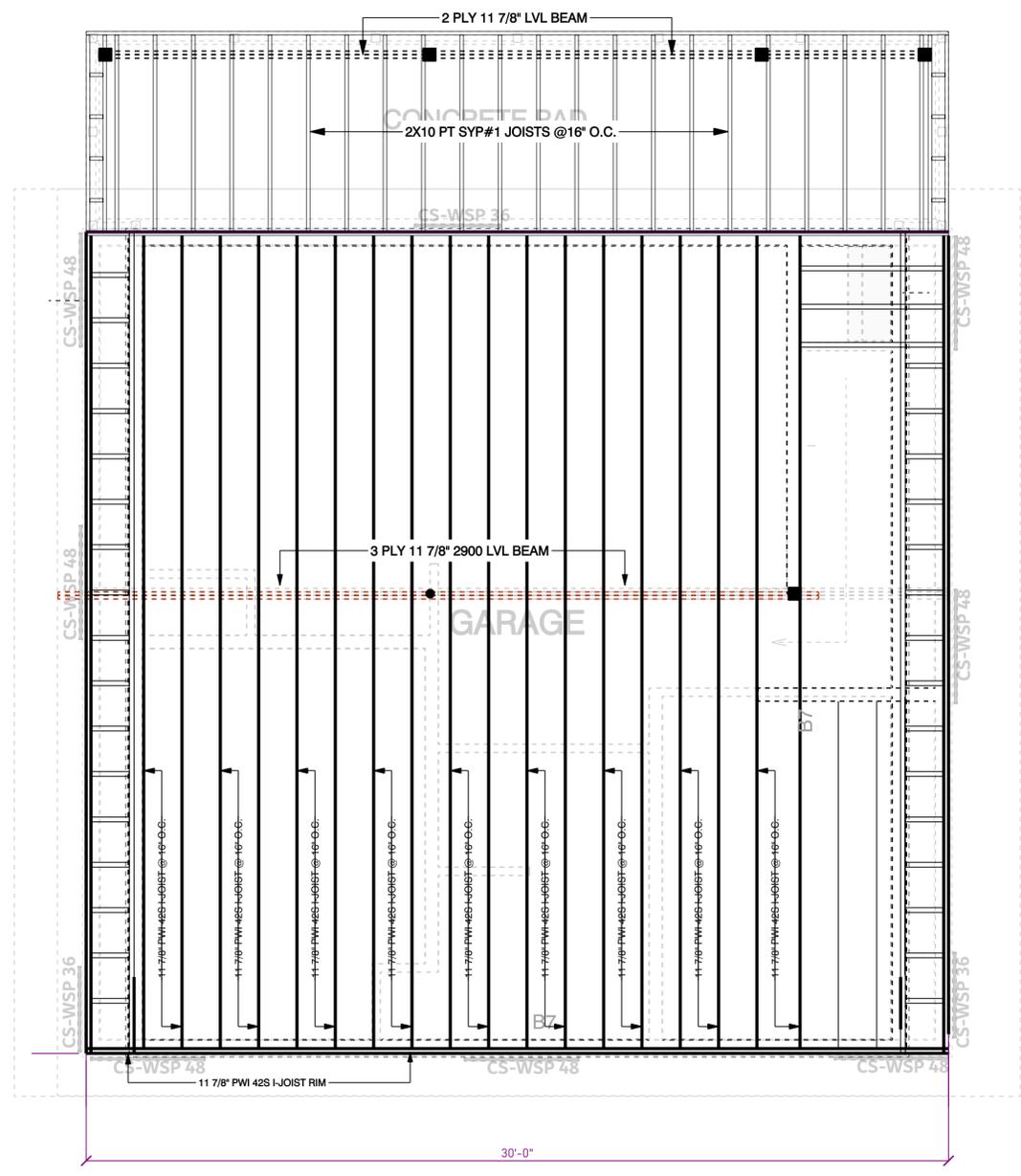
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Drawn By: Andrew C. Edwin B.

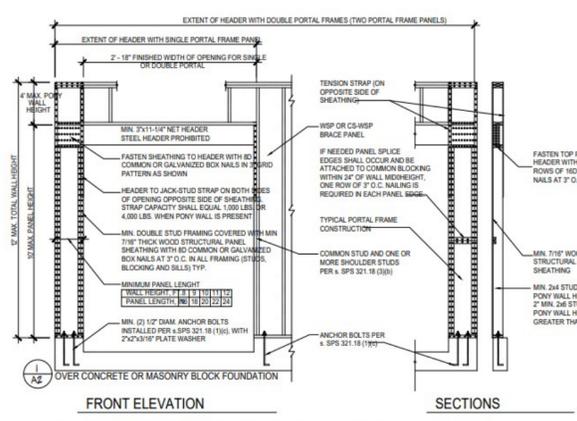
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CLIENT AND / OR CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. THE CLIENT AND / OR CONTRACTORS WILL ASSUME ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

Drawing:

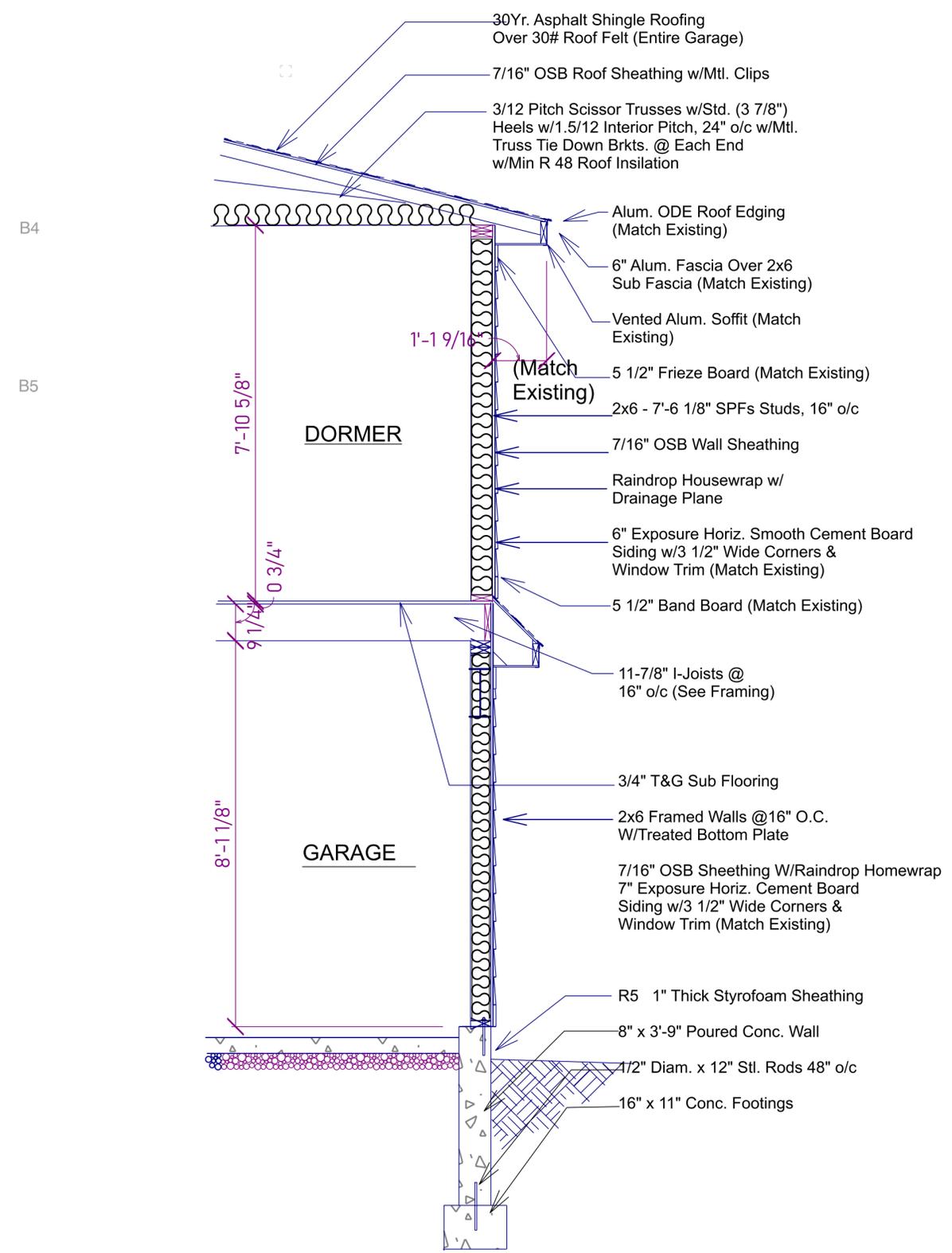
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SECOND LEVEL - FRAMING PLAN
SCALE: 1/4" = 1'-0"



PF - PORTAL FRAME BRACE CONSTRUCTION
SCALE: NONE



WALL SECTION
Scale: 1/2" = 1'-0"



Ben Fritz
952 Spaight St
Madison, WI 53703

List of architectural materials:

Entry doors:

Man doors: Thermatru Traditions or Fiberclassic entry doors.

Garage: C.H.I. Cottage style garage doors

Windows:

Anderson 400 series: Woodwright with color to match the existing residence.

Windows to be wrapped in 5/4" X 4" smooth painted trim

Siding:

Trim to be James Hardie smooth trim. All siding corners are to be 3-1/2" cement board

All columns, stools, and pediments to be James Hardie smooth trim or WindsoreOne exterior grade smooth from the traditions line of products.

corners.

Siding to be 7" exposure smooth horizontal James Hardie siding

Soffit:

Soffit and Fascia to be aluminum and match the existing residence.

Roofing:

Roof to be a 30 year architectural shingle with the manufacturers recommended flashing and underlayment.