

# LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison  
Planning Division  
126 S Hamilton St  
PO Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## 1. LOCATION

Project Address: 121 LANGDON STREET Aldermanic District: 2

## 2. PROJECT

Project Title/Description: EXTERIOR REPAIR - 121 LANGDON

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)\*\*:
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)\*\*:
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Demolition
- Alteration/Addition to a building adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission of Historic District Nomination/Amendment  
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):

DPCED USE ONLY	Registrar #:
	DATE STAMP
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

## 3. APPLICANT

Applicant's Name: DAVID FERCH Company: FERCH ARCHITECTURE

Address: 2704 GREGORY ST MADISON, WI 53711  
Street City State Zip

Telephone: 608-886-3394 Email: david@fercharchitecture.com

Property Owner (if not applicant): 121 LANGDON STREET GROUP; HAROLD LANGHAMMER  
Partner

Address: 513 N. LAKE STREET, MADISON, WI 53703  
Street City State Zip

Property Owner's Signature: Harold Langhammer Date: 11-11-18

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 126 S Hamilton Street. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: [www.cityofmadison.com/dpced/planning/documents/2018LCMeetingScheduleDates.pdf](http://www.cityofmadison.com/dpced/planning/documents/2018LCMeetingScheduleDates.pdf)

# FERCH ARCHITECTURE

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2704 Gregory Street, Madison, WI 53711 (608) 238-6900

November 12, 2018

Project: 01815

Madison Landmarks Commission  
126 S. Hamilton St.  
Madison, WI 53701

RE: Letter of Intent – 121 Langdon Street

Dear Madison Landmarks Commission Members:

The owner of the registered landmarks building (John Suhr Residence) at 121 Langdon was issued a notice for needed repair work on the building. Attached is that repair notice and drawings addressing the repairs.

I would appreciate feedback on the specific items or areas listed below:

1. The site plan includes a new refuse/recycling enclosure and bike parking. The city will also require a minimum amount of landscaping. The site plan shows the preliminary location of plantings. A final plan will be reviewed by the in the building plan approval process.
2. I have proposed replacing the metal roof on the front porch with a rubber roof membrane.
3. South side porch will be restored to the original building design. I have relocated the required exit stair to the rear of the building and have proposed using the same baluster design of the south porch on the stair guardrails.
4. I have raised the rear porch deck to be level with the first floor, eliminating the step at the rear door. If the deck is level with the floor in the future this area could be used as an accessible area of refuse, and the rear porch is also a good location for a future platform lift for the 1<sup>st</sup> floor building accessibility.

Thank you for your time in reviewing this proposal.

Respectfully Submitted,



David Ferch

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**From:** Building Inspection Division  
126 S. Hamilton St.  
P.O. Box 2984  
Madison, Wisconsin 53701-2984

**City of Madison**  
**OFFICIAL NOTICE**

**Notice:** An inspection discloses that certain sections of the City Ordinances are being violated.

**Property Located At:**  
121 LANGDON STREET

**OWNER:**  
121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
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**121 LANGDON STREET**

**REISSUE**

**FIELD OBSERVATION**

**Exterior of house**

**NOTE:**

THIS IS A **REISSUE** OF THE PREVIOUSLY ISSUED NOTICE CB2016-040-01121 DUE TO ITEMS HAVING NOT BEEN PROPERLY IDENTIFIED AND INCLUDED ON THE ORIGINAL NOTICE THAT WAS ISSUED. YOU MAY DISREGARD THE ORIGINAL NOTICE AND NOTE THAT THE DUE DATE FOR THIS CASE HAS BEEN EXTENDED TO JULY 16, 2017.

ALL HISTORIC DISTRICT AND LANDMARK REGULATIONS APPLY.

ALL DIRECTIONS ARE VIEWED LOOKING AT THE FRONT OF THE HOUSE FROM LANGDON ST.

- 1. 41.09(2)
- 41.16
- 41.21(2)

Obtain a Certificate of Appropriateness from the Landmarks Commission *before proceeding with any exterior repairs or alterations to this property*. Because this property is a designated Landmark, any exterior work must be reviewed and approved by the Landmarks Commission, or staff designee, and a Certificate of Appropriateness granted before a Building Permit may be issued and/or before any exterior work may begin. Contact Amy Scanlon, Preservation Planner, to discuss this project and to discuss the approval process. Please also note that failure to comply with any provision of the Landmarks Commission Ordinance, including failure to comply with any conditions of your approval, are subject to a minimum forfeiture of

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\$250 a day and a maximum forfeiture of \$500 a day for each separate violation. [See Madison General Ordinances Sec 41.14(3).]

Compliance with any of the exterior-related items listed in this Official Notice shall be contingent upon these repairs being completed in such a manner that meets all of the criteria and expectations set forth by the Landmarks Commission, by Preservation Planner, Amy Scanlon, and by Madison Building Inspection.

You may contact the Preservation Planner by phone at (608)266-6552 or by email at: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

- 2. 29.05(1)
- 29.08(1)
- 27.05(2)i

Obtain the required building permit and inspections and repair or rebuild the front porch and roof assembly to a safe and substantial condition. This includes, but is not limited to:

- Repair or replace the damaged and out of plumb masonry piers supporting the front porch roof columns, tuck point the columns as needed, and replace any missing material. Ensure all piers are returned to plumb condition and can support all loads applied to them
- Repair or replace the porch columns - the columns are deteriorating and out of plumb - ensure all columns are returned to plumb condition and can support all loads applied to them
- Repair or replace any deteriorated beams and framing in the front porch roof assembly and return them to a level condition.
- Replace any rotted, missing, or damaged fascia, soffit, trim, or decorative members on the front porch assembly

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Item No.	Violating Section No.	CORRECTIONS REQUIRED
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- Eliminate all holes, gaps, and cracks, and repair the crushed areas where the support columns meet the beams
- Ensure that the roof system is weatherproof, rodent proof, and in proper repair

3. 29.05(1)  
29.08(1)  
27.05(2)(i)

Obtain the required building permit and inspections for the right side porch stairway that was installed without approvals or return the area to its original condition. An inspection found that a non-code complaint right side porch stairway was installed without a building permit or approvals. Some items observed that do not comply with the building code are as follows:

- Use of a 2x4 as top of handrail
- Handrail does not extend to the bottom landing
- Unknown construction of support post footings
- Stair stringers not properly attached to the top beam
- Existing box beam supporting roof system crushed/rotted
- Beam connections not resting on top of support posts
- Drywall screws used in post to footing connection
- Foundation window not safety glass at base of stairs

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Item No.	Violating Section No.	CORRECTIONS REQUIRED
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4. 29.05(1)  
29.08(1)

Obtain the required building permit and inspections for the work done to repair the rear porch assembly and return the rear porch assembly to a safe and code compliant condition. An inspection found that incorrect rear porch repairs were made without a building permit or approvals. Some items observed that do not comply with the building code are as follows:

- Open stair risers
- Over span of deck support beams
- Unknown construction and use of "cookie" support post footings
- Missing beam/support post connections
- Loose, rotted, and/or missing balusters
- Rotted wood in the roof support columns
- Rotted/animal damaged wood roof fascias/soffits/trim

5. 27.05(2)(g)2

Tuck-point and repair the masonry throughout the building wherever the existing mortar and blocks or bricks are loose, damaged, cracked, or missing. Remove any spray foam that has been installed between bricks. Repairs shall be completed in a workmanlike manner using accepted masonry construction methods and materials. Ensure that the foundation is waterproof, rodent proof, and can support all loads applied to it. Areas to be repaired shall include, but are not limited to:

- The building block foundation walls
- The masonry brick walls, window, and door openings
- The rear chimney
- The right side chimney

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6. 27.05(2)(e) Scrape and repaint the building wherever paint is peeling, chipping, cracking, or missing. All newly painted areas shall closely match the surrounding areas in color and appearance. Areas to be painted include, but are not limited to:

- The first floor front stair risers
- Exterior of the common front entry doors
- Front porch ceiling
- All new wood installation or repairs
- Wherever the existing finish is missing or damaged

7. 27.05(2)(i) Repair the broken sections of wood lattice decorative skirting, and remove and properly relocate the non-conforming metal duct through the front skirt.

8. 27.05(2)(g)2 Replace the missing, rotted, or deteriorated wood fascias, trim, gable end trim, siding, and metal sheeting throughout the building. Ensure that all repairs are weatherproof and rodent proof and painted to match the surrounding areas. Areas needing repair include, but are not limited to:

- The second floor front balconet
- The storm window assemblies in the first floor front bay window system below the balconet
- The framing in the two story bay window system on the right side of the house
- The framing in the third floor mansard roof and rear roof systems

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OWNER:

121 LANGDON STREET GROUP

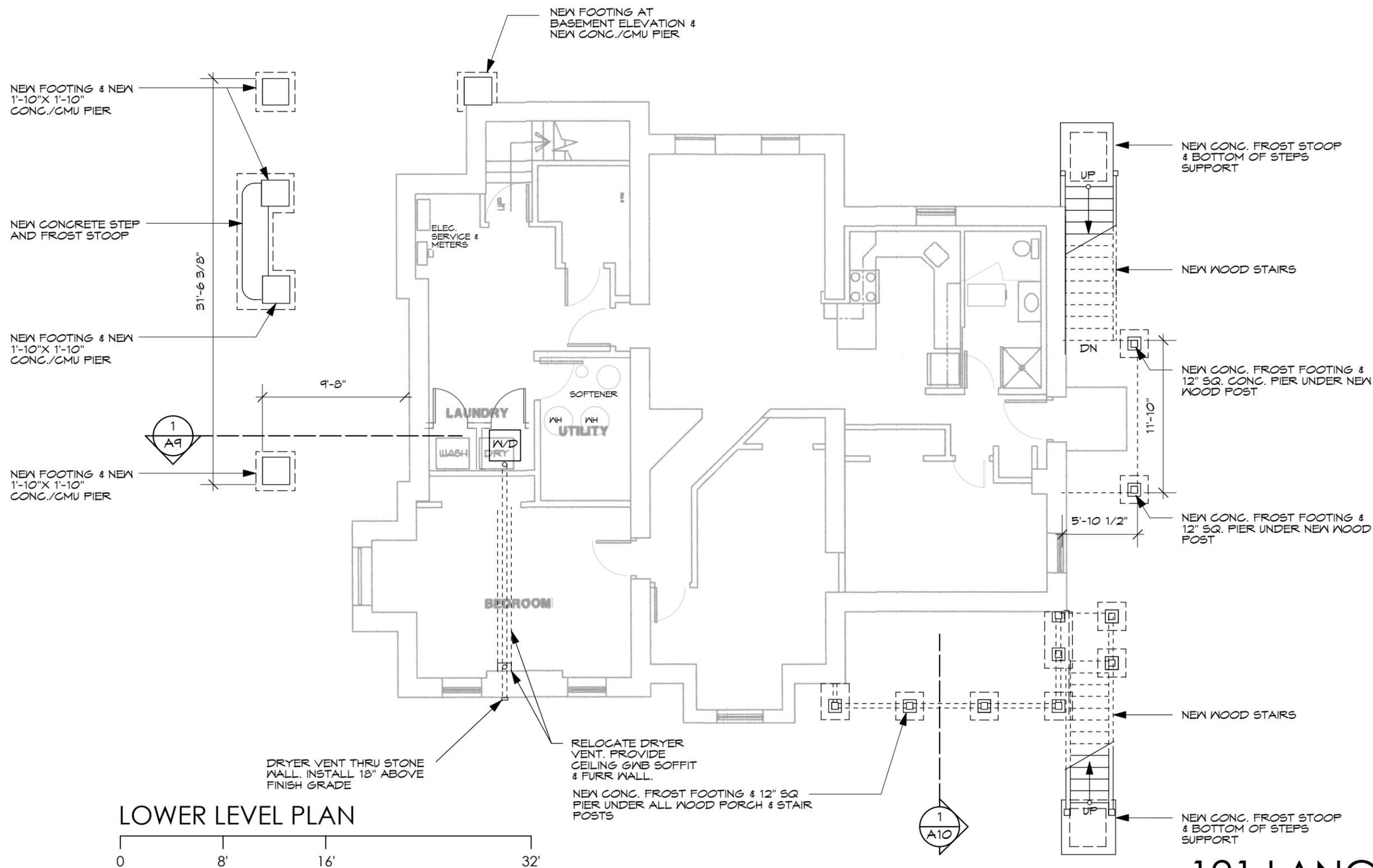
% SHAKESPEARE'S BOOKS

513 N LAKE ST

MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
9.	27.05(2)(h)	Remove the plastic cover in the half-moon foundation window on the front of the house, and replace the missing window glass and rotted wood trim and framing, and repair any holes. Ensure that the window system is weatherproof and rodent proof.
10.	27.04(2)(g)	Properly secure and install the loose orange communication wires and open/loose gray communication junction box on the front porch next to the gas meters.
11.	27.05(2)(d)	Repair or rebuild the masonry retaining wall under the right side porch; the wall is leaning and out of plumb.
12.	27.05(2)a	Properly re-grade the ground around the perimeter of the foundation so that the rigid insulation is no longer exposed. If the insulation cannot be property covered via grading, ensure the rigid insulation is properly covered with an approved material and not exposed to ultraviolet light sources.
13.	27.05(2)(a)	Remove the plastic down spout extension assemblies and replace them with a downspout system that conforms with the Landmark requirements for this property.
14.	27.05(2)(h)	Remove the cracked plastic from the foundation window opening toward the front and replace the rotted wood in the middle foundation window assembly next to it on the left side of the house.





**LOWER LEVEL PLAN**

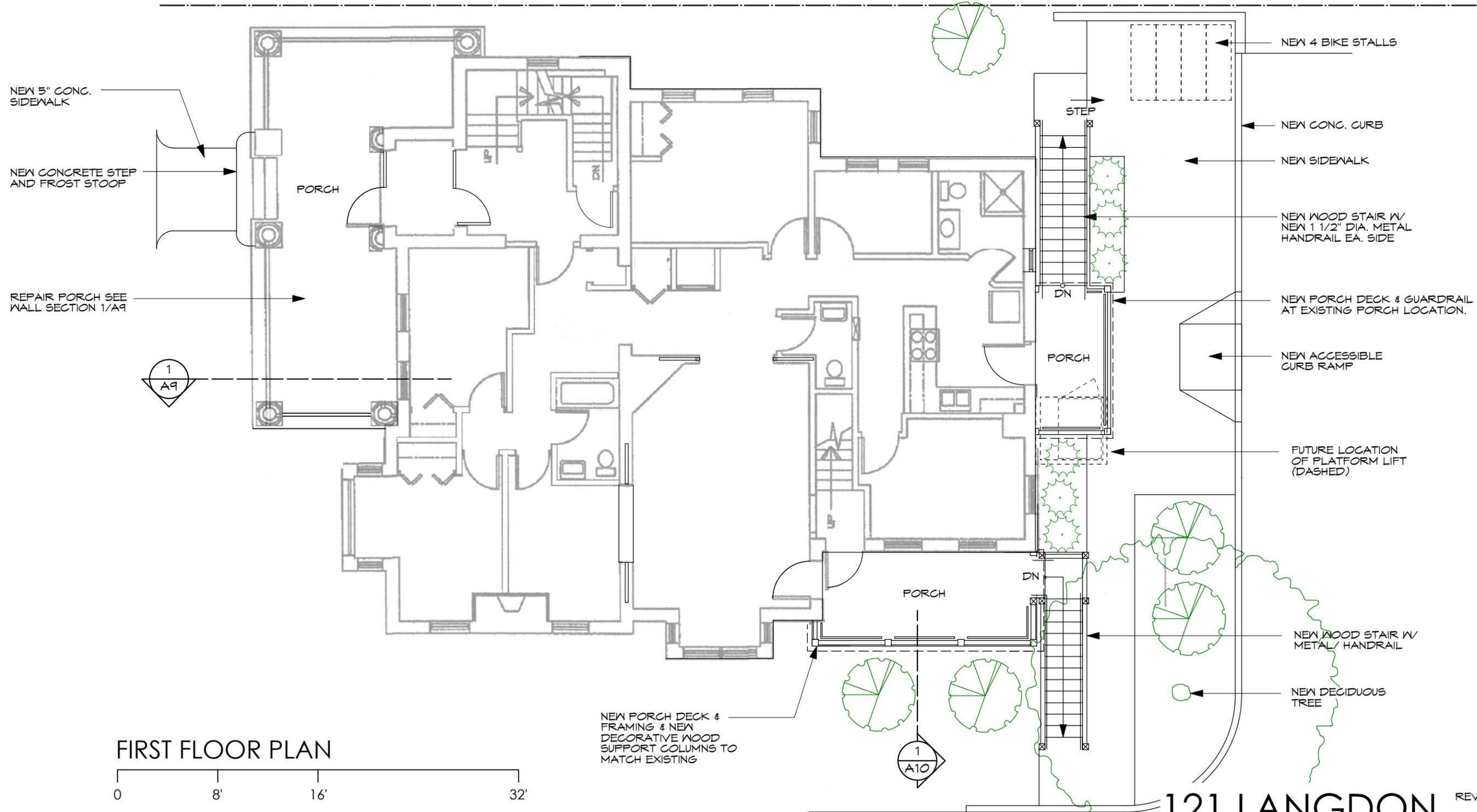
0 8' 16' 32'

**121 LANGDON** 11/12/18

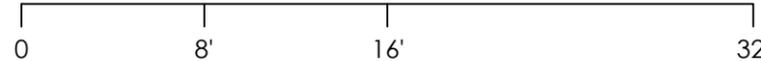
FERCH ARCHITECTURE  
 2704 GREGORY STREET, MADISON, WI 53711  
 608-238-6900 david@fercharchitecture.com

**A1**

GENERAL NOTE: REPAIR BUILDING WOOD TRIM, BRICK & STONE AND PAINT PER CITY INSPECTION REPORT.



FIRST FLOOR PLAN

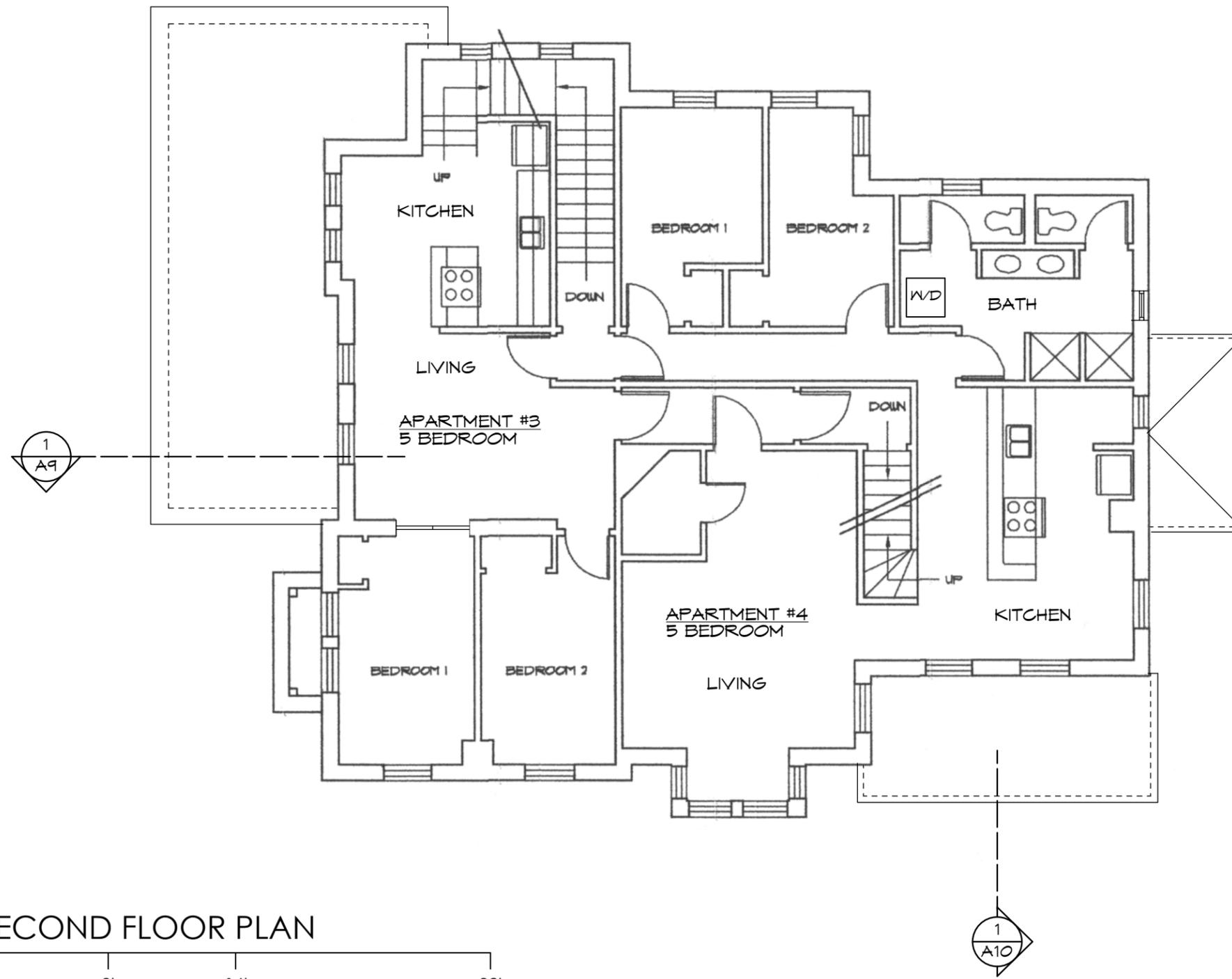


121 LANGDON

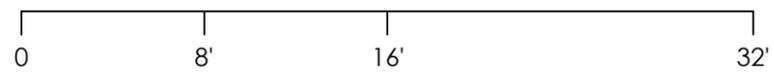
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REV. 11/5/18  
 11/12/18

A2



SECOND FLOOR PLAN

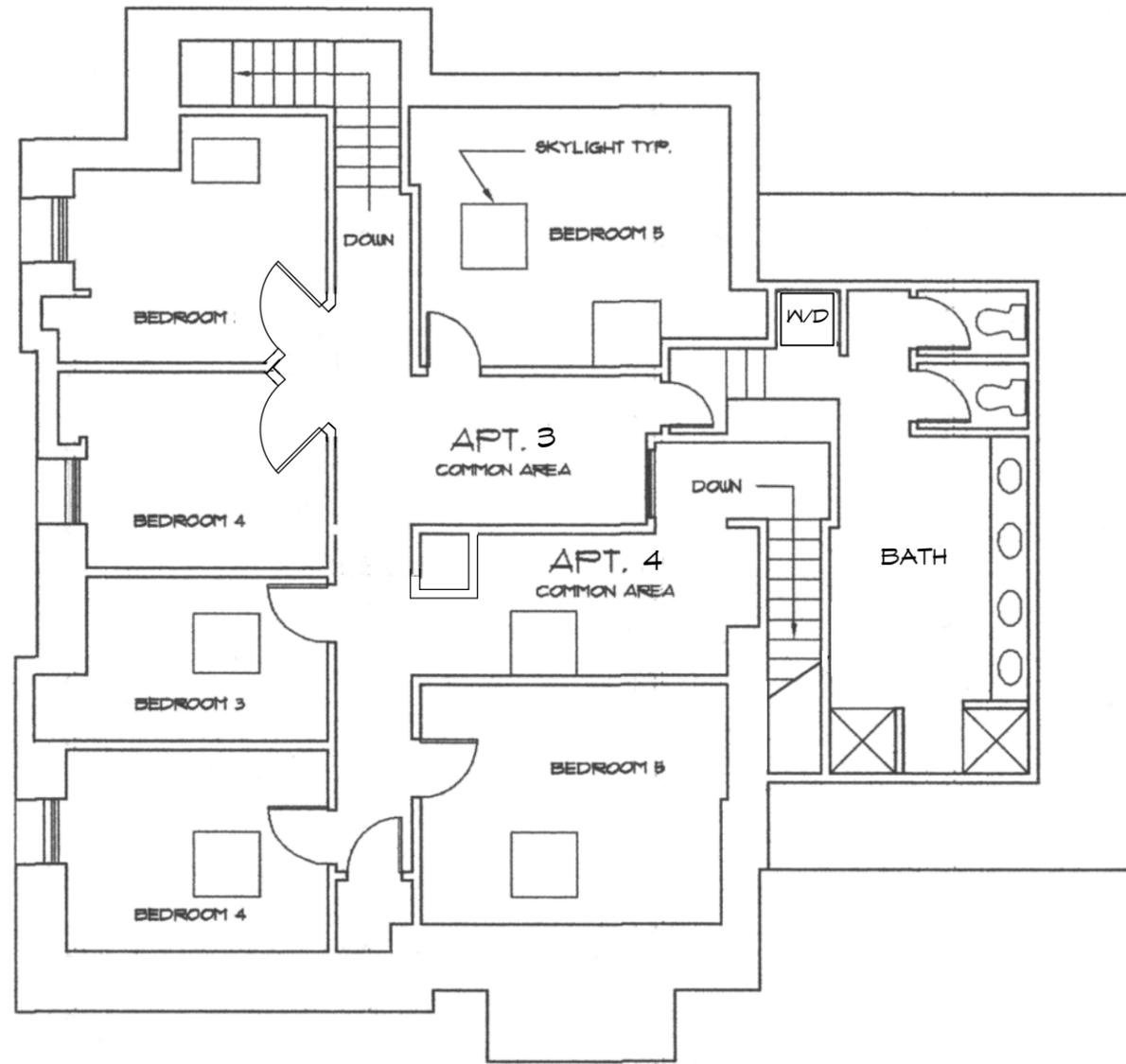


121 LANGDON

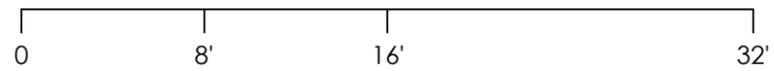
11/12/18

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 608-238-6900 david@fercharchitecture.com

A3



THIRD FLOOR PLAN



121 LANGDON

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A4



SEE SECTION SHEET 1/A9 FOR NOTES ON THE REPAIR OF THE PORCH COLUMNS & BOX BEAM

REPAIR COLUMN CAPITAL TO MATCH EXISTING

REPAIR W/ NEW WOOD BASE TRIM ON WOOD COLUMNS

REPLACE CRACKED STONE W/ SINGLE NEW TOP STONE TO MATCH EXISTING

RELOCATE EXPOSED PHONE CABLES

REPLACE EXISTING ROTTED CROWN MOULD & WOOD TRIM, NEW WOOD CROWN TO MATCH EXISTING PROFILE

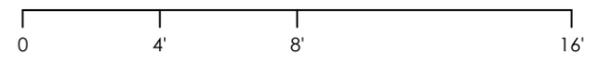
PAINT ENTIRE BUILDING & REPLACE ANY AND ALL ROTTED WOOD

REPLACE EXISTING ROTTED WOOD PROFILE OF SILL TO MATCH EXISTING

TUCKPOINT ENTIRE BUILDING

REMOVE EXISTING FLEXIGLASS STORM WINDOW AND REPLACE W/ PREFINISHED ALUM STORM WINDOW TO MATCH EXISTING STORM WINDOW FRAME COLOR

FRONT ELEVATION



GENERAL NOTE: REPAIR BUILDING WOOD TRIM, BRICK & STONE AND PAINT PER CITY INSPECTION REPORT.

# 121 LANGDON

11/12/18

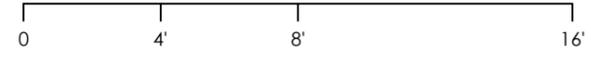
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A5



ORIGINAL PORCH RAILING

SOUTH ELEVATION



121 LANGDON

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A6





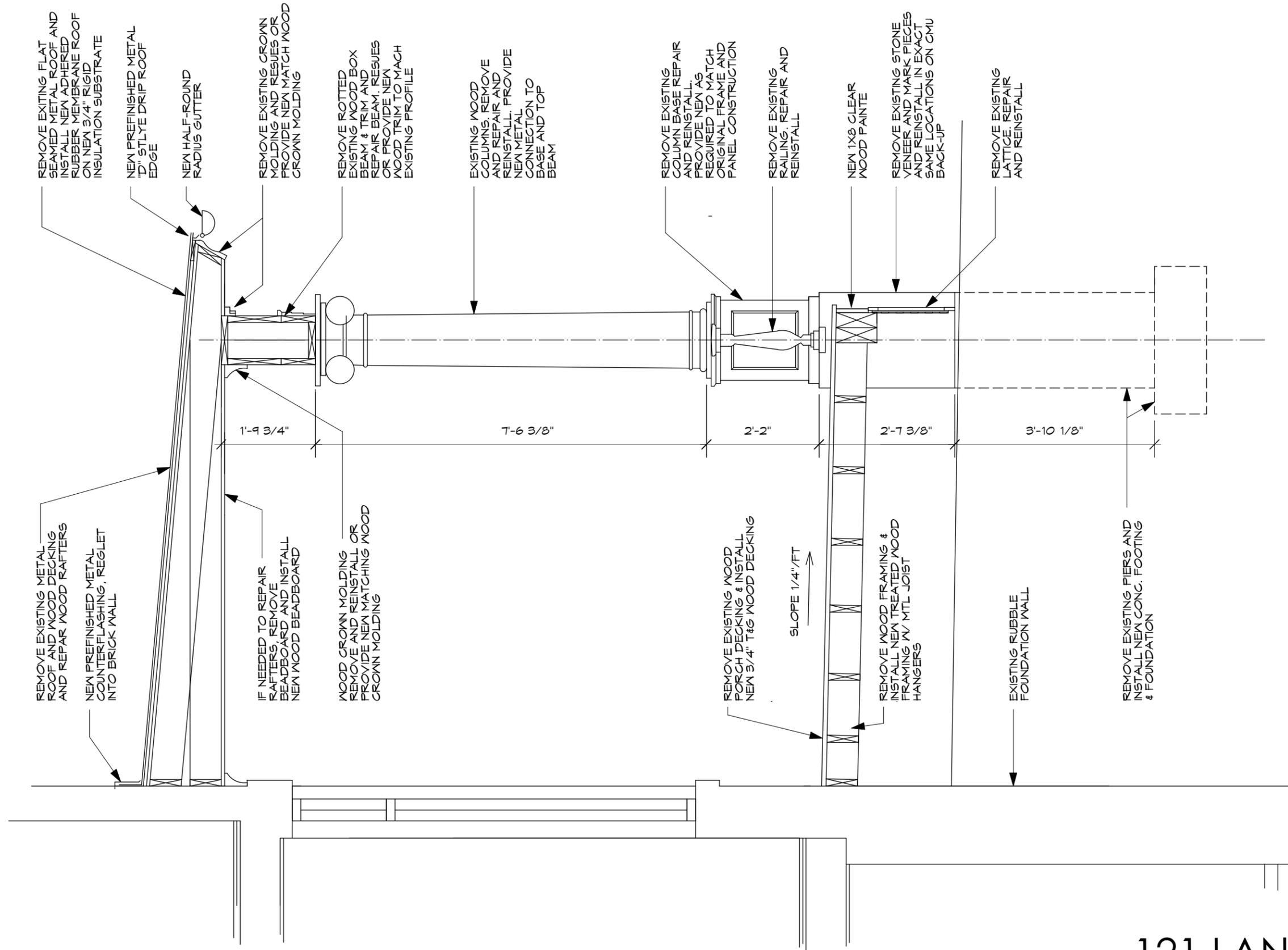
NORTH ELEVATION  
 0 4' 8' 16'

# 121 LANGDON

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A8



# 1 FRONT PORCH

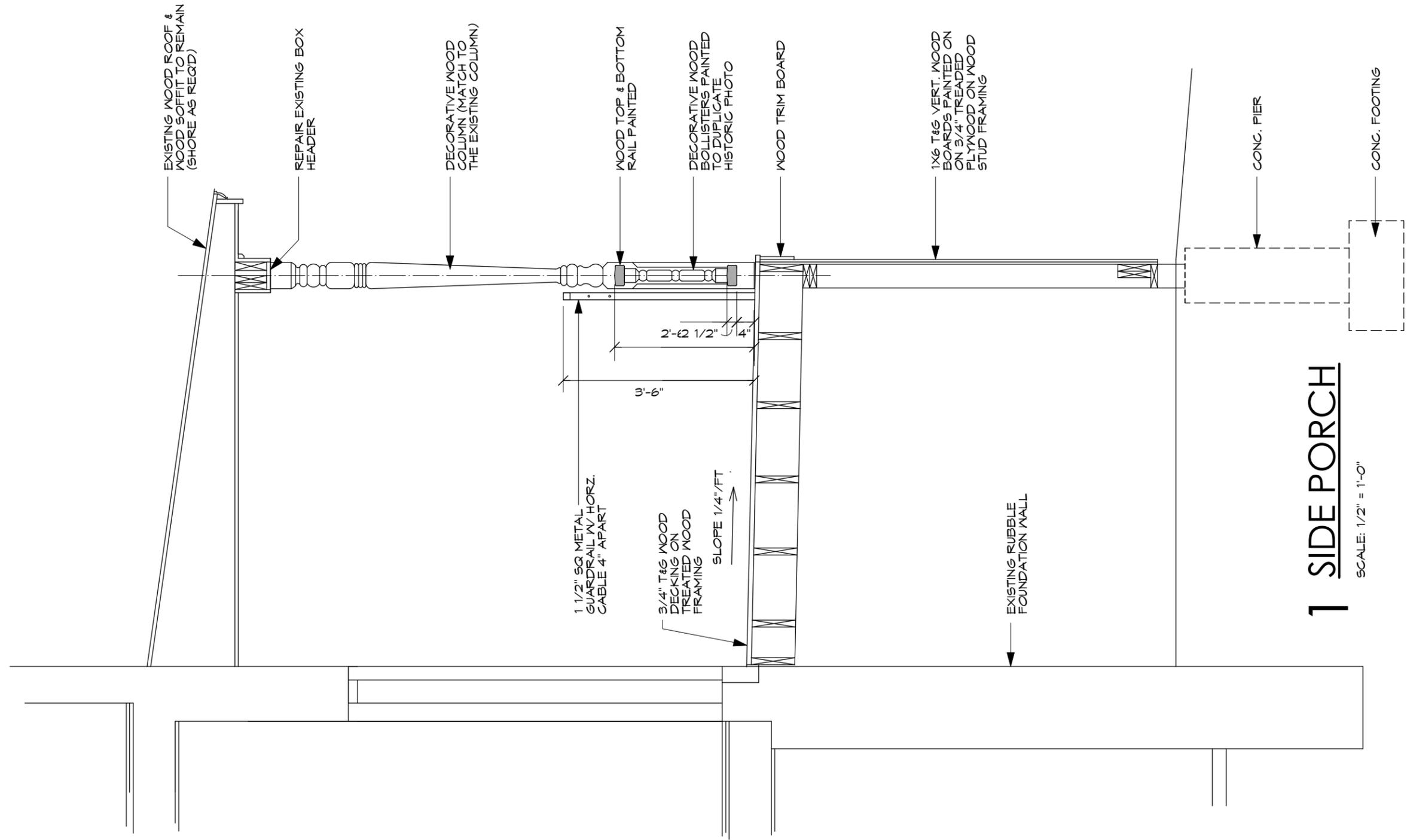
SCALE: 1/2" = 1'-0"

121 LANGDON

9/3/18

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A9



**1 SIDE PORCH**

SCALE: 1/2" = 1'-0"

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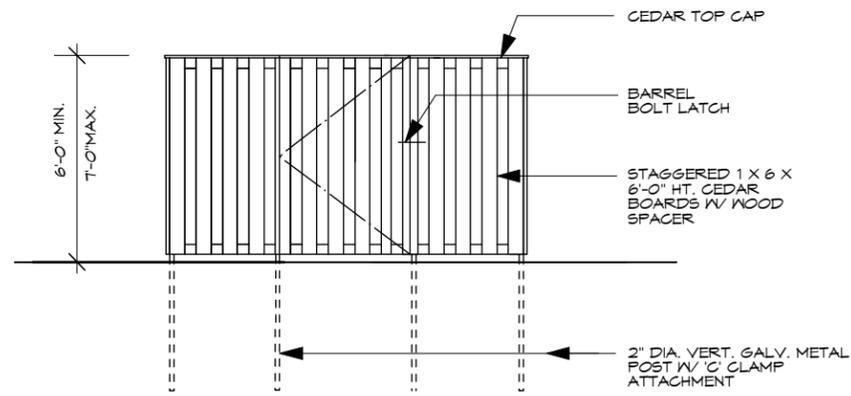
A10



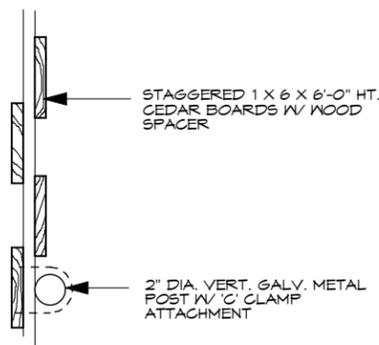




# EXTERIOR REPAIR



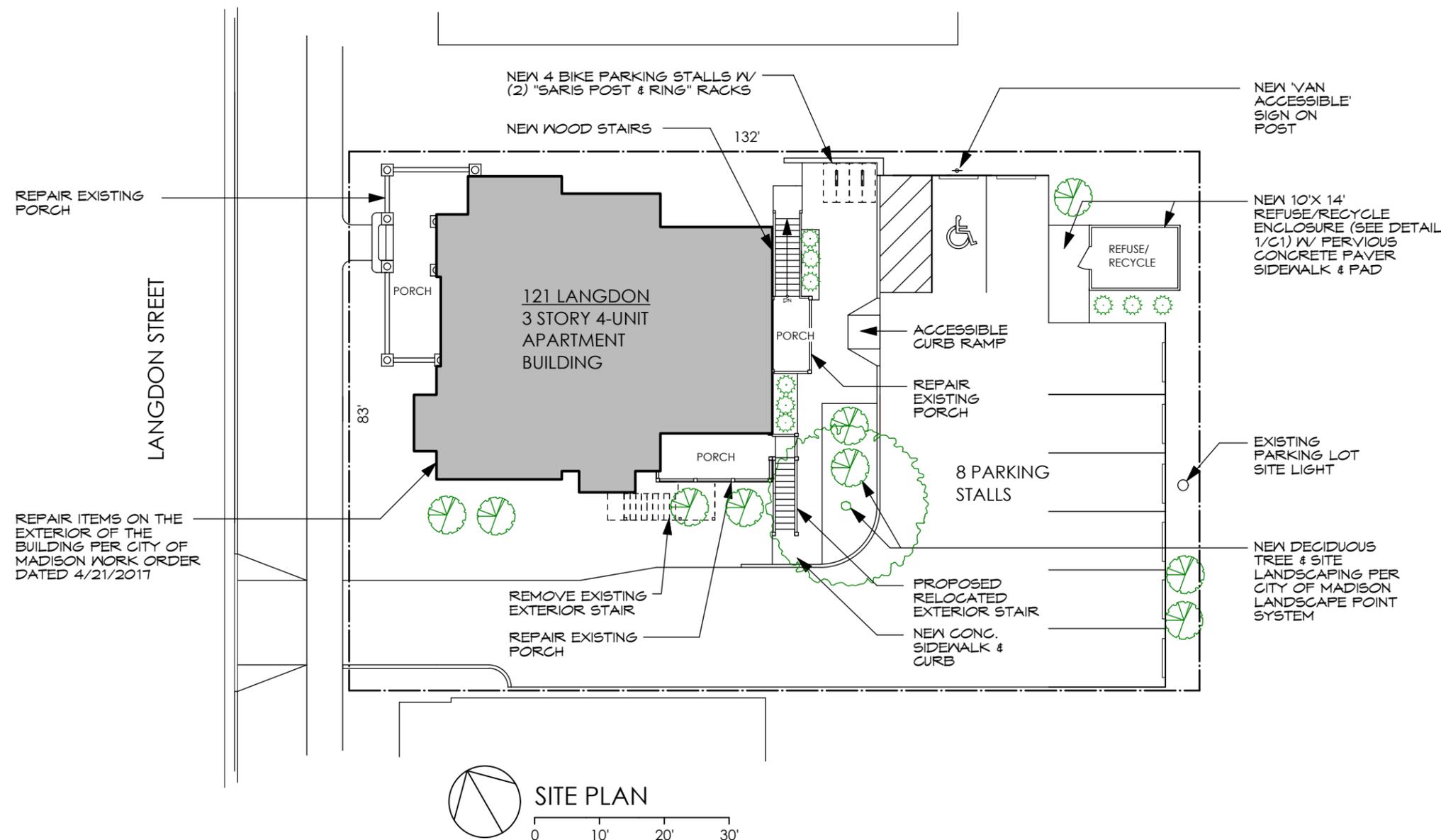
**1** GATE SIDE ELEVATION - REFUSE ENCLOSURE  
SCALE: 1/4" = 1'-0"



**A** SCREEN FENCE DETAIL  
SCALE: 1" = 1'-0"

## MADISON LANDMARKS COMMISSION SUBMITTAL SHEET INDEX

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- P3 SIDE PORCH PHOTO
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- P6 HISTORIC PHOTO
  
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- A2 FIRST FLOOR PLAN
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- A4 THIRD FLOOR PLAN
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- A6 SOUTH ELEVATION
- A7 REAR ELEVATION
- A8 NORTH ELEVATION
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- A11 IMAGE SKETCH
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**SITE PLAN**  
0 10' 20' 30'

## 121 LANGDON

11/12/18

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C1



# 121 LANGDON

9/3/18

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P1



FRONT PORCH PHOTO

REV. 8/23/18

121 LANGDON 9/3/18

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P2



SIDE PORCH PHOTO

121 LANGDON

REV. 8/23/18

9/3/18

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P3



REAR PORCH PHOTO

121 LANGDON

8/23/18

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P4



Photo: Wisconsin Historical Society, WHS-3280

## HISTORIC PHOTO: John Suhr Residence

# 121 LANGDON

9/3/18

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# P5



Photo: Wisconsin Historical Society, WHS-39049

## HISTORIC PHOTO: John Suhr Residence

# 121 LANGDON

9/3/18

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# P6