

City of Madison Landmarks Commission

APPLICATION

City of Madison Planning Division, 215 Martin Luther King Jr. Blvd., Suite LL-100, P.O. Box 2985, Madison, WI 53701-2985



1. LOCATION

Project Address: 306 LATHROP ST., MADISON, WI 53726 Aldermanic District: 5

2. PROJECT

Project Title / Description: CONSTRUCT NEW DETACHED GARAGE.

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Landmark
Land Division/Combination of Designated Landmark site
Alteration / Addition to a building adjacent to a Designated Landmark
Alteration / Addition to a building in a Local Historic District (specify):
New Construction in a Local Historic District (specify):
Demolition
Variance from the Historic Preservation Ordinance (Chapter 41)
Referral from Common Council, Plan Commission, or other referral
Landmark Nomination/Rescission or Historic District Nomination/Amendment
Other (specify):

PLANNING DIVISION USE ONLY
Registrar #

3. APPLICANT

Applicant's Name: MOLLY COOPER Company: COOPER ARCHITECTURE, LLC
Address: 918 HILLINGTON WAY, MADISON, WI 53726
Telephone: 206-795-1804 E-mail: STEWARTCOOPER@MSN.COM
Property Owner (if not applicant): CAROLINA C PEZUA
Address: 306 LATHROP ST., MADISON, WI 53726
Property Owner's Signature: [Signature] Date: 2/5/16

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 4:30 p.m. on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located in Suite LL-100, of the Madison Municipal Building, 215 Martin Luther King, Jr. Blvd. Applications submitted after the submittal date or incomplete applications will be postponed to the next scheduled filing time.

Madison Landmarks Commission Application, 2/2/2016

LOCATION: 306 Lathrop Street

PROJECT: Build detached garage

APPLICANT: Cooper Architecture LLC Molly Cooper, 418 Hillington Way, Madison, WI 53726

PROPERTY OWNER: Carolina C Pezua, 306 Lathrop Street, Madison, WI 53726

BRIEF NARRATIVE DESCRIPTION OF THE PROJECT

The subject single-family home is located at 306 Lathrop Street in the City of Madison University Heights Historic District. Originally constructed in 1925 in an “American Four-Square” house style with elements of “Prairie School” style details. The existing home is two finished levels above grade, and a partially finished below grade basement. The existing home has an approximately 931 square-foot footprint (including covered front porch, not including uncovered rear deck) on a 7,200 square foot lot.

The Owner intends to;

1. To add a detached garage to the rear of the property. The footprint of the rear garage is proposed to be 24'x24', 576 square feet. The height of the rear garage proposed to meet the City’s zoning requirements for height.

Attached to this document are the following items to assist in communicating the details of this project;

- University Heights Historic District Map – with subject site located.
- Photos of existing house.
- Photos of surrounding context.
- Garage design drawings; including site plan, floor plans, elevations.



306 Lathrop, Front – East Elevation



306 Lathrop, Side – Southwest Elevation



306 Lathrop, Rear – West Elevation



306 Lathrop, Northwest Elevation

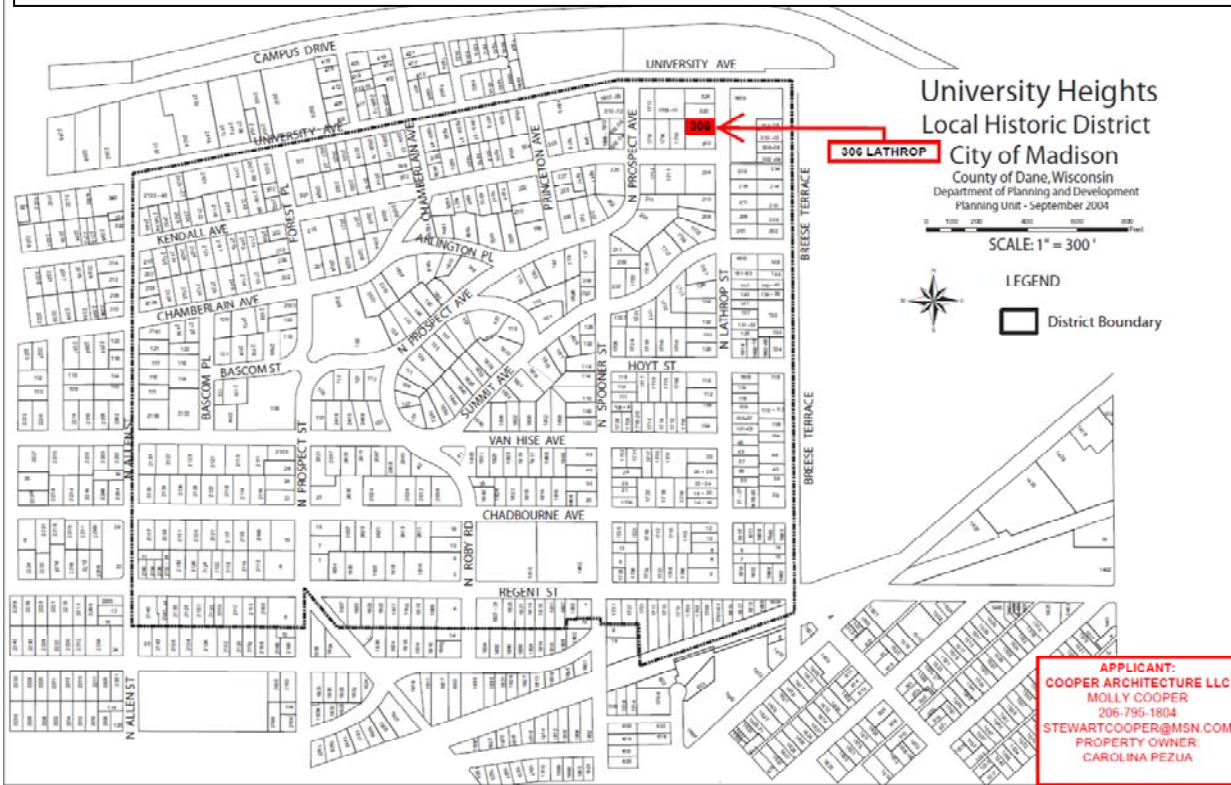
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302 Lathrop on Left, 306 Lathrop



306 Lathrop on Left, 320 Lathrop on Right








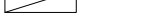




1609 University Avenue,
across the street from 306 Lathrop



1609 University Avenue,
across the street from 306 Lathrop

MATERIAL SYMBOLS

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	CONCRETE
	GYPSUM BOARD
	PLYWOOD
	BATT INSULATION
	SOLID WOOD BLOCKING
	WOOD FRAMING, CONTINUOUS WOOD
	WOOD TRIM

ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISH FLOOR
BYD	BEYOND
C.L.	CENTER LINE
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DIA	DIAMETER
DIM	DIMENSION
DWB	DRAWING
(E)	EXISTING
EL	ELEVATION
HT	HEIGHT
NTS	NOT TO SCALE
O/	OVER
RM	ROOM
RO	ROUGH OPENING
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
W/	WITH

PROJECT INFORMATION

OWNER/CONTRACTOR
 LARRY GEORGE
 SUN CARPENTRY & HOMES
 608-225-9348

ARCHITECT
 MOLLY COOPER
 COOPER ARCHITECTURE, LLC
 206-795-1804

SUMMARY OF WORK
 ADDITION TO EXISTING 2 STORY SINGLE FAMILY RESIDENCE. NEW GARAGE WITH BONUS ROOM ABOVE.

GENERAL NOTES:

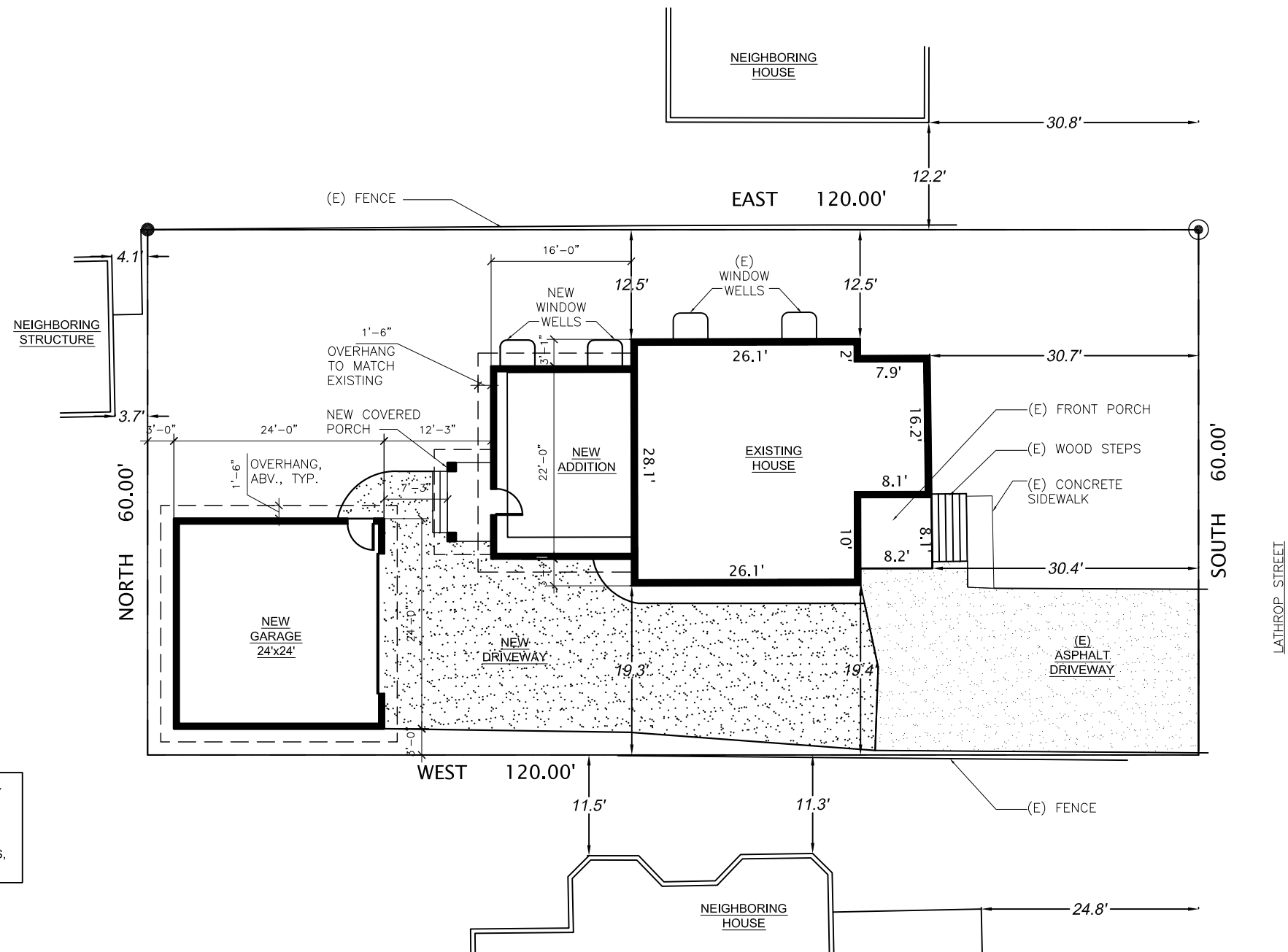
- DRAWINGS ARE BASED ON A COMBINATION OF FIELD MEASUREMENTS AND PHOTOS. DIMENSIONS TO BE VERIFIED IN FIELD.
- DIMENSIONS ARE TO THE FACE OF CONCRETE OR STUDS UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL COMPLY WITH THE WI UNIFORM DWELLING CODE, SPS 321. AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STRUCTURAL REQUIREMENTS.
- STRUCTURAL DESIGN TO BE PER APPLICABLE BUILDING CODE. ANY UNIQUE CONDITIONS TO BE REVIEWED AND ADDRESSED BY LICENSED ENGINEER.

DRAWING INDEX

S1	SITE PLAN/COVER SHEET
A0	BASEMENT PLAN
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTION
A5	GARAGE FLOOR PLANS
A6	GARAGE EXTERIOR ELEVATIONS
A7	GARAGE SECTIONS & EXTERIOR ELEVATION

LOT COVERAGE CALCULATION.
 LOT SQUARE FOOTAGE = 7200 SF
 HOUSE (EXISTING & ADDITION) = 1330 SF
 NEW GARAGE = 576 SF
 EXISTING DRIVEWAY = 720 SF
 NEW DRIVEWAY = 1070 SF
 TOTAL COVERAGE 3696 SF = 52%
 MAXIMUM LOT COVERAGE PERMITTED IN TR-C2 = 65%

GENERAL NOTES: SITE PLAN IS BASED ON SURVEY CREATED BY ISTHMUS SURVEYING LLC; DATED AUGUST 17, 2015.
 LEGAL DESCRIPTION OF RECORD:
 THE NORTH 1/2 OF LOTS 9 AND 10, BLOCK 2, UNIVERSITY HEIGHTS, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN



1 SITE PLAN
 SCALE: 1/16" = 1'-0"

cooper architecture
 418 hillington way
 madison, wisconsin 53726
 206.795.1804
 steewartcooper@msn.com
 Sun Carpentry & Homes
 Larry George
 608.225.9348

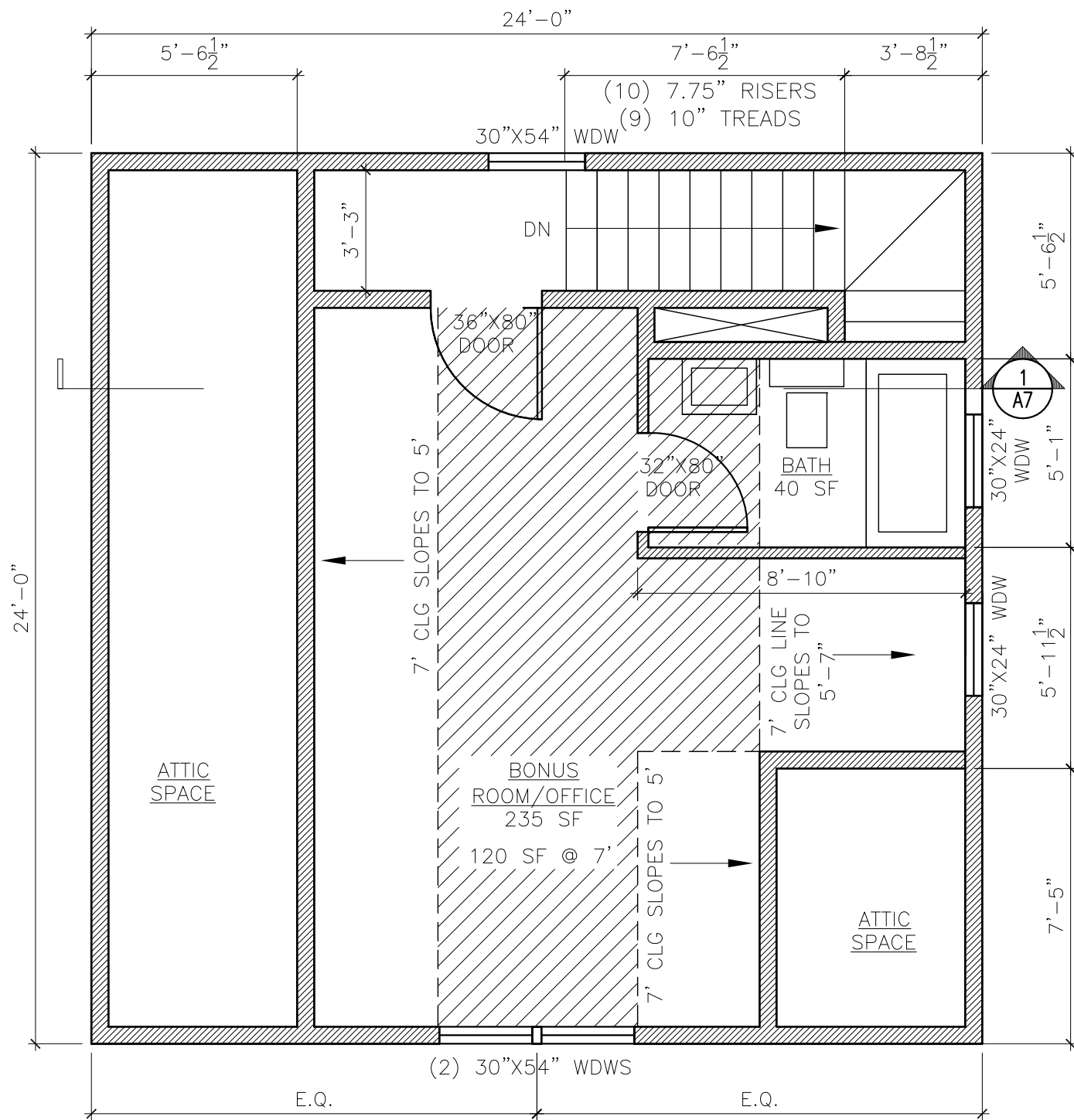
Lathrop Residence

306 Lathrop St.
 Madison, WI 53726

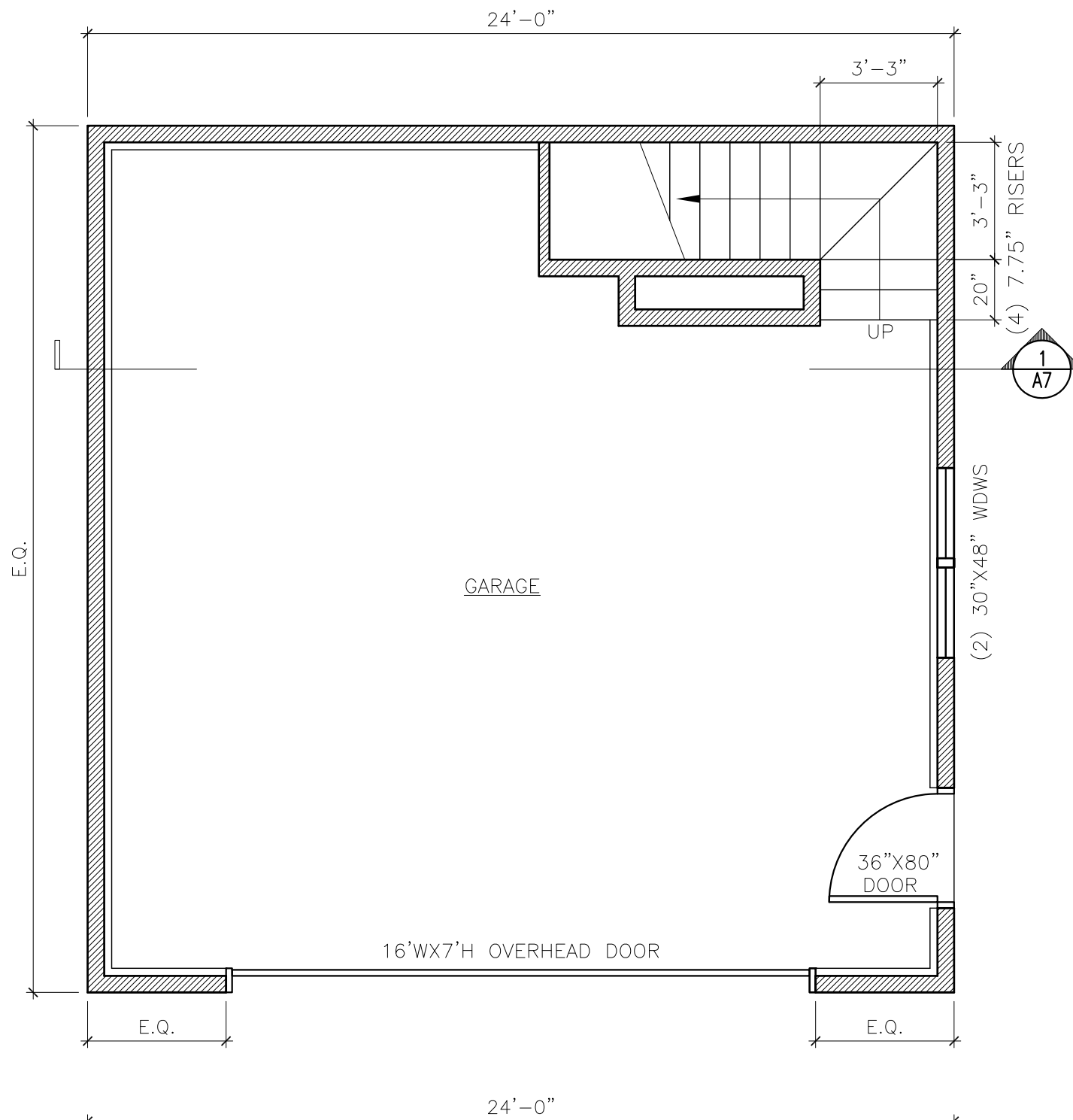
DRAWN BY	MC
CHECKED BY	BC
DATE	
REVISION	
9/17/15	PRELIM DESIGN
9/27/15	DD
10/4/15	LANDMARKS
11/15/15	PRICING SET
11/22/15	REVISION
12/06/15	GARAGE REV
01/24/16	LANDMARKS/PERMIT

SITE PLAN

S1



2 GARAGE FLOOR PLAN — LEVEL TWO
SCALE: 1/4" = 1'-0" 



1 GARAGE FLOOR PLAN — LEVEL ONE
SCALE: 1/4" = 1'-0" 

cooper architecture

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madison, wisconsin 53726
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stewartcooper@msn.com

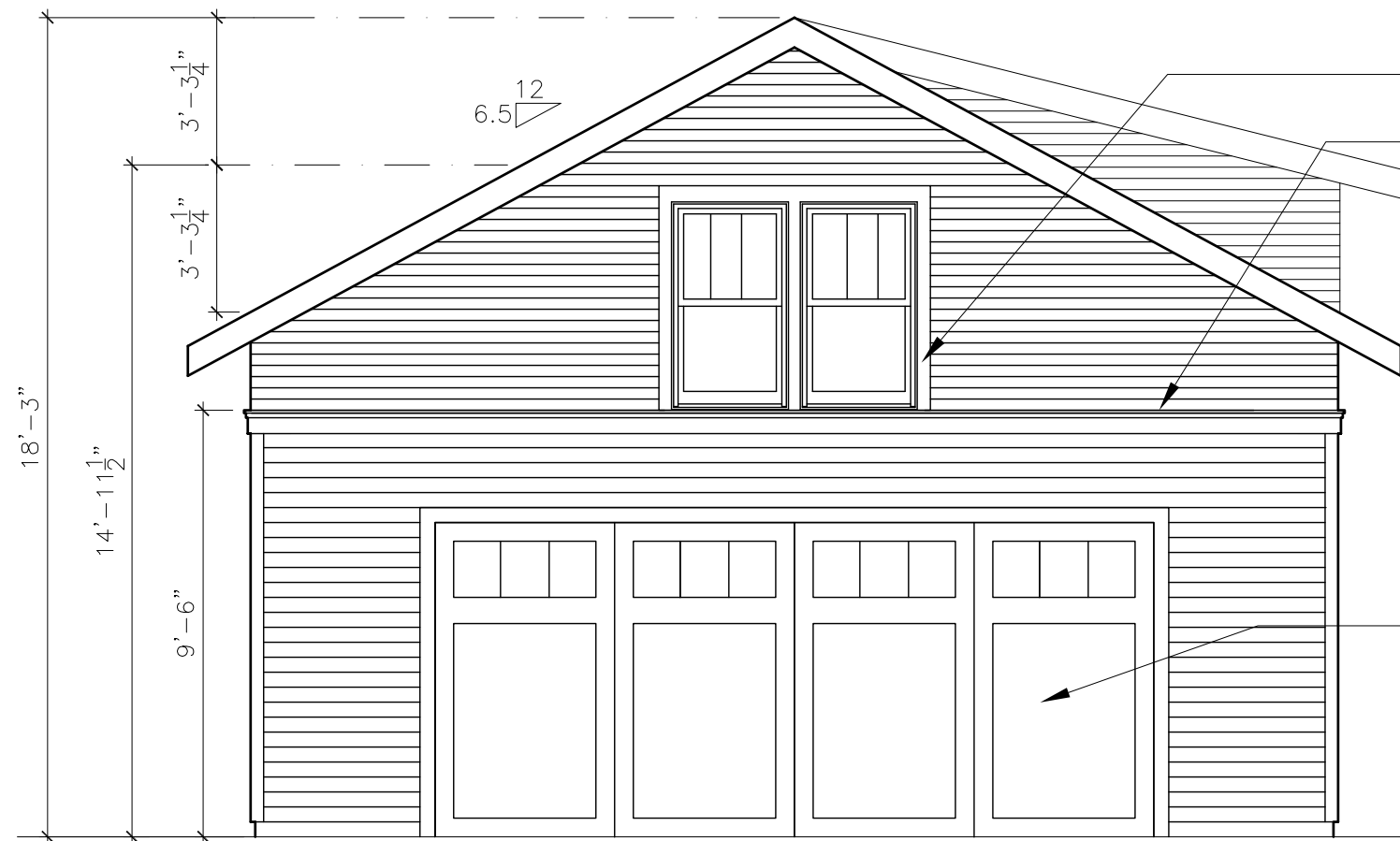
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GARAGE FLOOR PLANS
A5

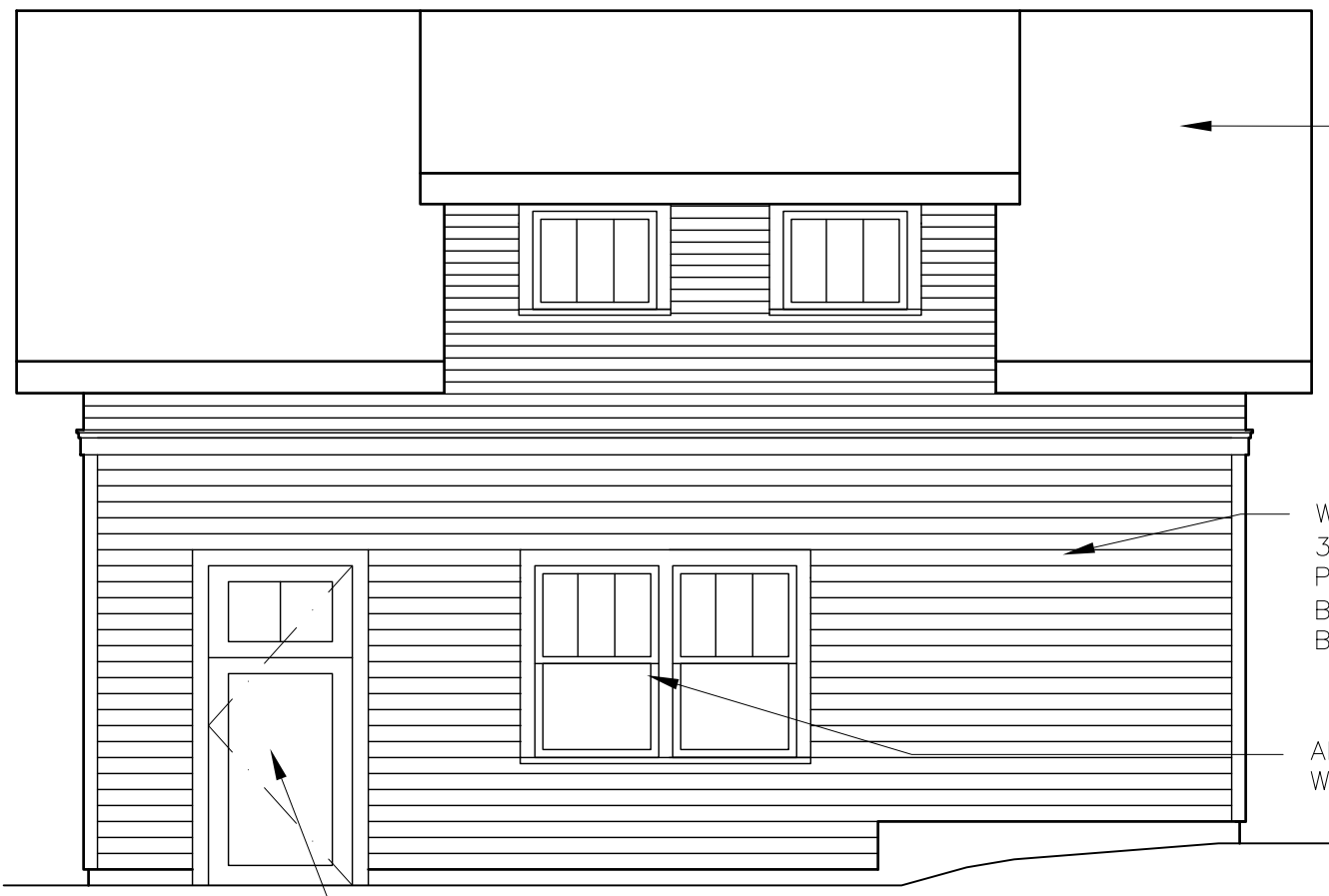


ALUM. CLAD
WINDOWS, TYP.

WOOD SIDING, TYP.
3" EXPOSURE,
ABOVE PERIMETER
WOOD BAND BOARD,
5" PROFILE BELOW.

WOOD PANELED
OVERHEAD GARAGE
DOOR W/GLASS
LITES

1 FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



NEW ARCHITECTURAL
ASPHALT SHINGLES,
TYP.

WOOD SIDING, TYP.
3" EXPOSURE, ABOVE
PERIMETER WOOD BAND
BOARD, 5" EXPOSURE
BELOW.

ALUM. CLAD
WINDOWS, TYP.

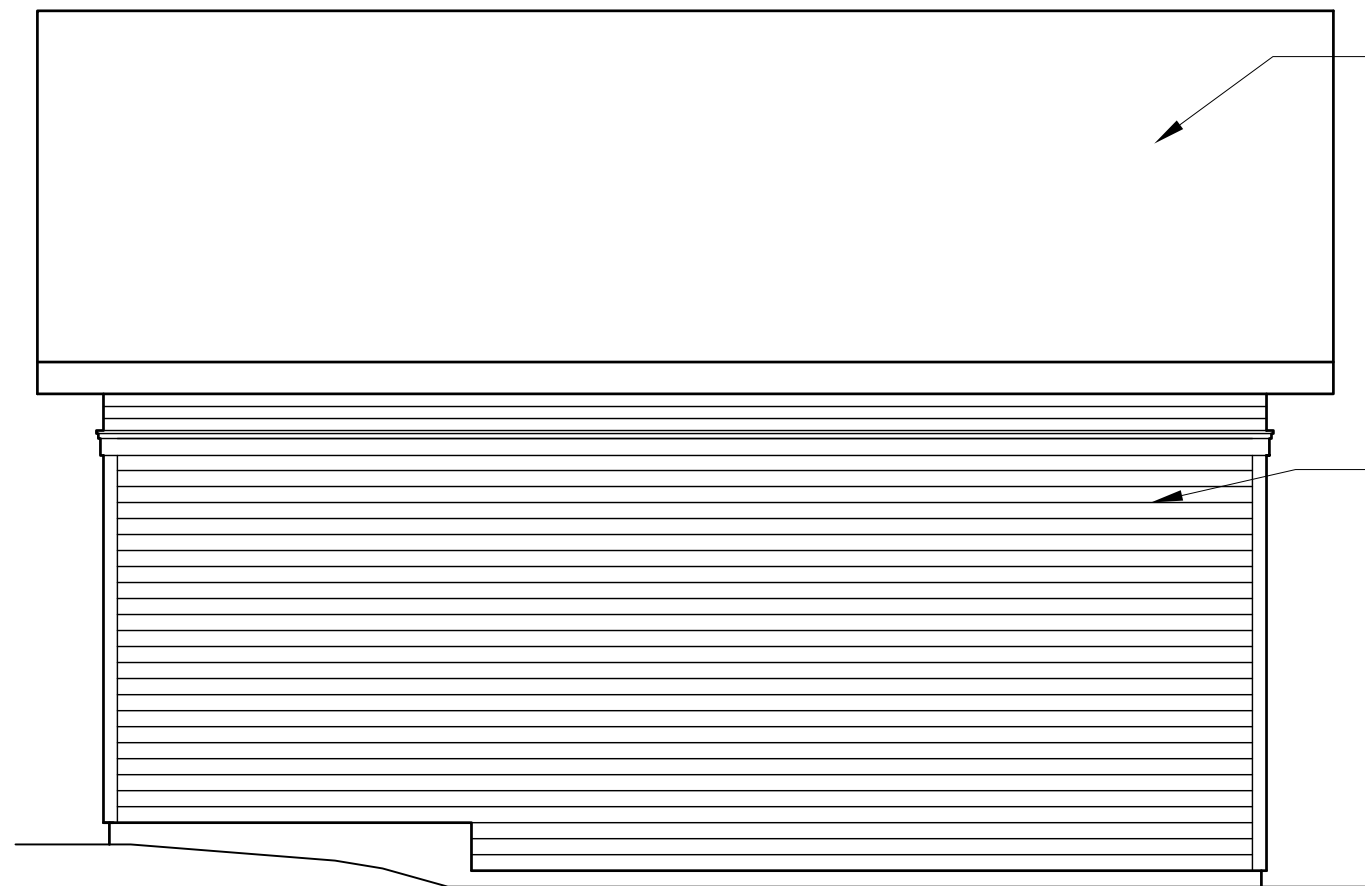
WOOD DOOR WITH GLASS LITE

2 SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



3 BACK ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

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NEW ARCHITECTURAL ASPHALT SHINGLES, TYP.

NEW WOOD SIDING, TYP. 3" EXPOSURE, ABOVE PERIMETER WOOD BAND BOARD, 5" PROFILE BELOW.

ROOF ASSEMBLY:
ARCHITECTURAL SHINGLES,
STRUCTURAL ROOF SHEATHING,
ROOF TRUSSES (PER STRUCTURAL)
R-49 INSULATION, MIN.,
VAPOR BARRIER,
7/8" PLASTER CEILING.

1 SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

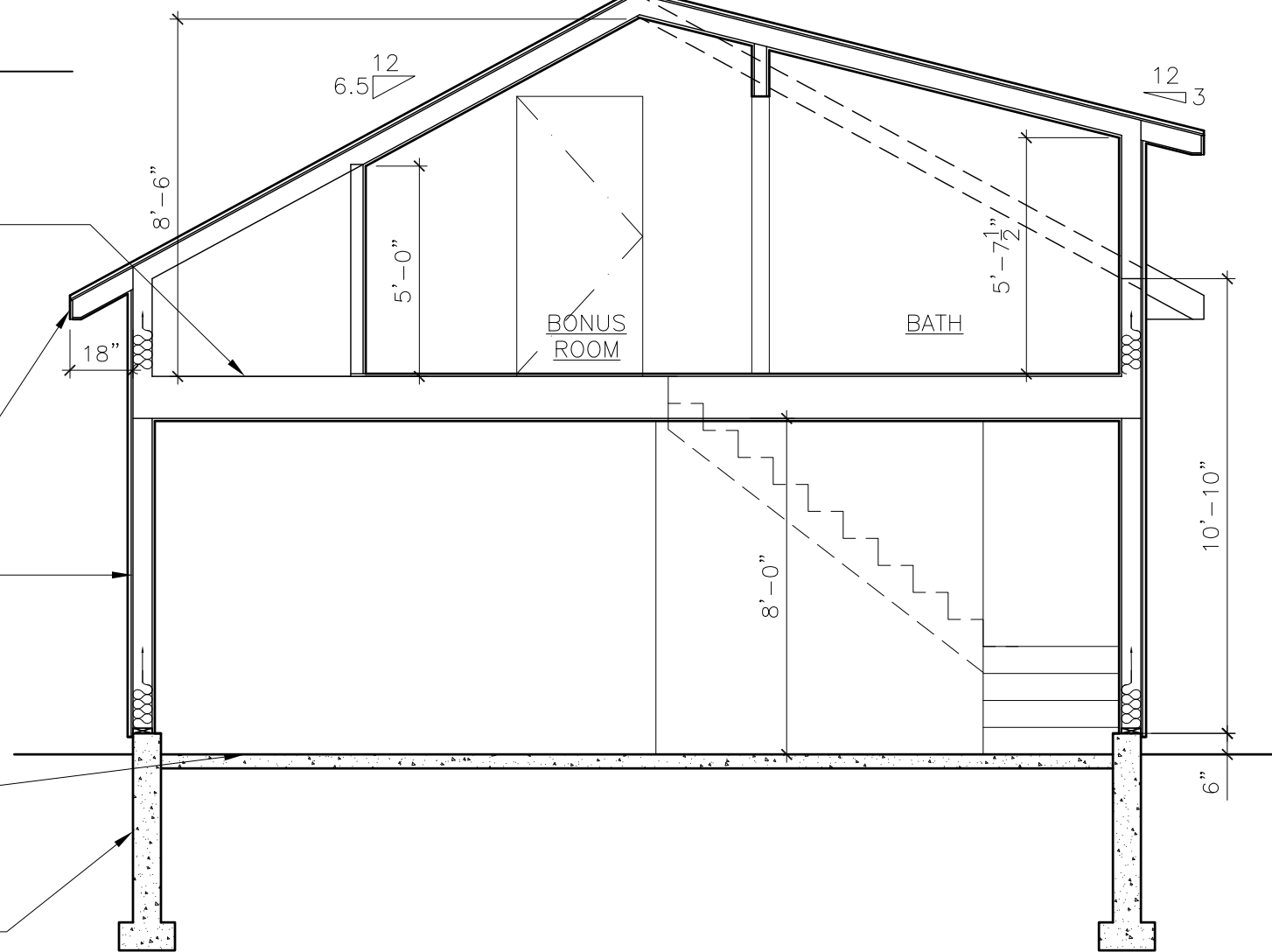
FLOOR ASSEMBLY (TYPICAL):
3/4" SUBFLOOR,
OVER FLOOR TRUSS (PER STRUCTURAL)
OVER 5/8" TYPE X GYPSUM WALL BOARD
OR EQUIV. TO CREATE 3/4 HOUR FIRE
RESISTIVE CONSTRUCTION.

1X6 WOOD FASCIA WITH ALUM. SOFFIT
TO MATCH EXISTING MAIN HOUSE.

WALL ASSEMBLY (TYPICAL):
WOOD SIDING O/
WATER AND AIR BARRIER (TYVEK),
7/16" OSB WALL SHEATHING,
2X6 WD STUDS @16" O.C.
WITH R20 BATT INSULATION,
SMART VAPOR BARRIER,
7/8" PLASTER.

4" (MIN) REINFORCED
CONCRETE SLAB
OVER MOISTURE BARRIER
OVER 6" GRAVEL.

8" CONCRETE WALLS
W/16"x8" FOOTING, 48" BELOW
GRADE MINIMUM (TYP).



2 GARAGE - SECTION (LOOKING WEST)
SCALE: 1/4" = 1'-0"