



Location
9801 Mineral Point Road

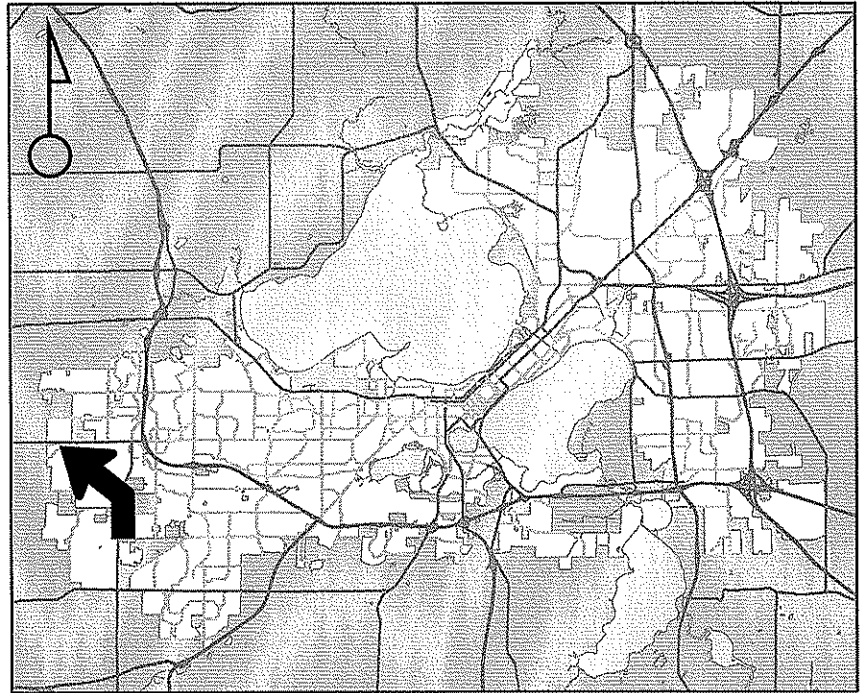
Project Name
Full Compass HQ

Applicant
Jonathon Lipp - Full Compass Systems/
Todd Jindra - Building Systems General Corp

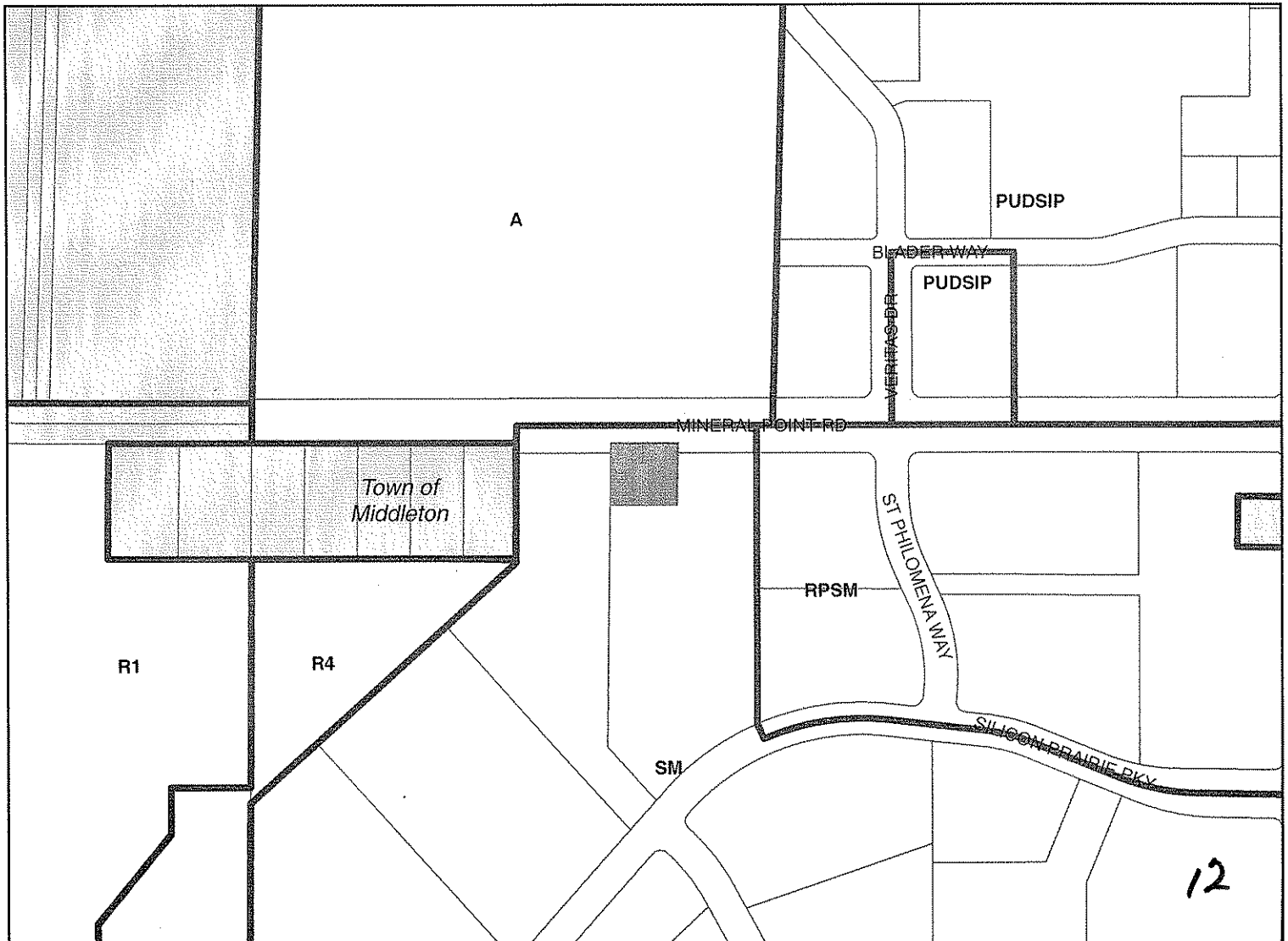
Existing Use
Single-Family Home

Proposed Use
Demolish Single-Family House as
Part of Full Compass HQ Construction

Public Hearing Date
Plan Commission
05 May 2008



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 22 April 2008

12



12

LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 550 Receipt No. 89568
Date Received 3/20/08
Received By JGP
Parcel No. 0708-282-0304-5
Aldermanic District 9-PAUL Skidmore
GQ ENG, PLMAO
Zoning District SM
For Complete Submittal
Application Letter of Intent
IDUP Legal Descript.
Plan Sets Zoning Text
Alder Notification Waiver
Ngrbrhd. Assn Not. Waiver
Date Sign Issued 3/20/08

9718 Silicon Prairie Pkwy

1. **Project Address:** LOT 6 & 7 OF SILICON PRAIRIE **Project Area in Acres:** 18.088

Project Title (if any): FULL COMPASS

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from _____ to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use **Demolition Permit** **Other Requests** (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: TODD JINDRA Company: BUILDING SYSTEMS GENERAL CORP
Street Address: 5972 EXECUTIVE DR. City/State: MADISON WI Zip: _____
Telephone: (608) 276-4400 Fax: (608) 276-4468 Email: TJINDRA@BSGC-WI.COM

Project Contact Person: _____

Street Address: _____ City/State: _____

Telephone: () _____ Fax: () _____

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____

Mr. Jonathon Lipp
Full Compass Systems
8001 Terrace Ave.
Middleton, WI 53562



4. Project Information:

Provide a general description of the project and all proposed uses of the site: DEMOLITION OF VACANT HOUSE TO FACILITATE CONSTRUCTION OF FULL COMPASS FACILITY.

Development Schedule: Commencement APRIL '08 Completion 1 YR DURATION

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 500 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ *The site is located within the limits of _____ Plan, which recommends: _____ for this property.*

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner _____ Date _____ | Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name TOBY JINDRA Date 3/19/08

Signature [Signature] Relation to Property Owner AGENT

* Authorizing Signature of Property Owner [Signature] Date 4-6-08



Building Systems

We build it like it's our own.

DATE: 3/19/08

RE: LETTER OF INTENT- DEMOLITION PERMIT FOR A SINGLE FAMILY RESIDENCE

This correspondence serves as Letter of Intent, as required for the demolition permit application. The name of the project is Full Compass, located on Lots 6 & 7 of the Silicon Prairie Park. Currently a 2,368 square foot, single family residence located at 9801 Mineral Point Rd. was acquired after the SPBP approvals were granted in 2001-02 for these lots. Therefore we are requesting a demolition permit of this structure in order to facilitate the completion of the Full Compass facility.

Demolition of the structure is warranted for the following reasons:

The structure could not be removed from the site using conventional moving methods. There are existing trees on the lot that flank the driveway that are scheduled to remain in the new landscape plan for the facility. The trees are 23' apart on the driveway. The house is 32' wide. Excessive slope on the front yard facing Mineral Point Rd would also prevent standard moving techniques from being used. The additional cost to overcome the difficult burden to remove the house from the site far outweighs the value of the house. See photo group #1.

The exterior condition of the house is poor. The siding has been neglected and therefore damaged from exposure. The roof condition is poor. Shingles are "curling" See photo group #2

The electrical service and wiring in the house would not be an acceptable electrical system per the current electrical code. In fact it would be considered a fire hazard as well as a high possibility of injury. The current electrical system uses a fuse box, not a circuit breaker system. The outlets in the house do not have a ground wire. No GFI outlets in Kitchen or bathrooms. See photo group #3

The furnace and water heater are oil burning. Both units are old and inefficient by today's standards. The Plumbing system is on a well. See photo group #4

Structurally, the house has a number of issues. The north wall is buckling so much that it is 2" out of plumb. See photo group #5. Majority of the windows throughout the house do not work properly as indicated with the windows requiring blocks of wood to hold up the sash. Cracks both in drywall below the windows and on the casing below the window, further indicate structural issues are apparent.

Lastly, the interior finishes of the house are of very low value. This is indicated in the last photo group #6.

The combination of the structural failures that are occurring throughout the house, the Non code compliant electrical system, the inefficient HVAC and hot water system, low value of the interior finishes and the inability to remove the house from the site without excessive costs, far outweigh the benefit of relocating this structure to another site.

Todd Jindra



Project Manager

CERTIFIED SURVEY MAP

ALL OF LOTS 6, 7 AND 8, SILICON PRAIRIE BUSINESS PARK AS RECORDED IN VOLUME 58-015A OF PLATS, ON PAGES 77-79, AS DOCUMENT NUMBER 3664595, DANE COUNTY REGISTRY AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 28, ALL IN TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

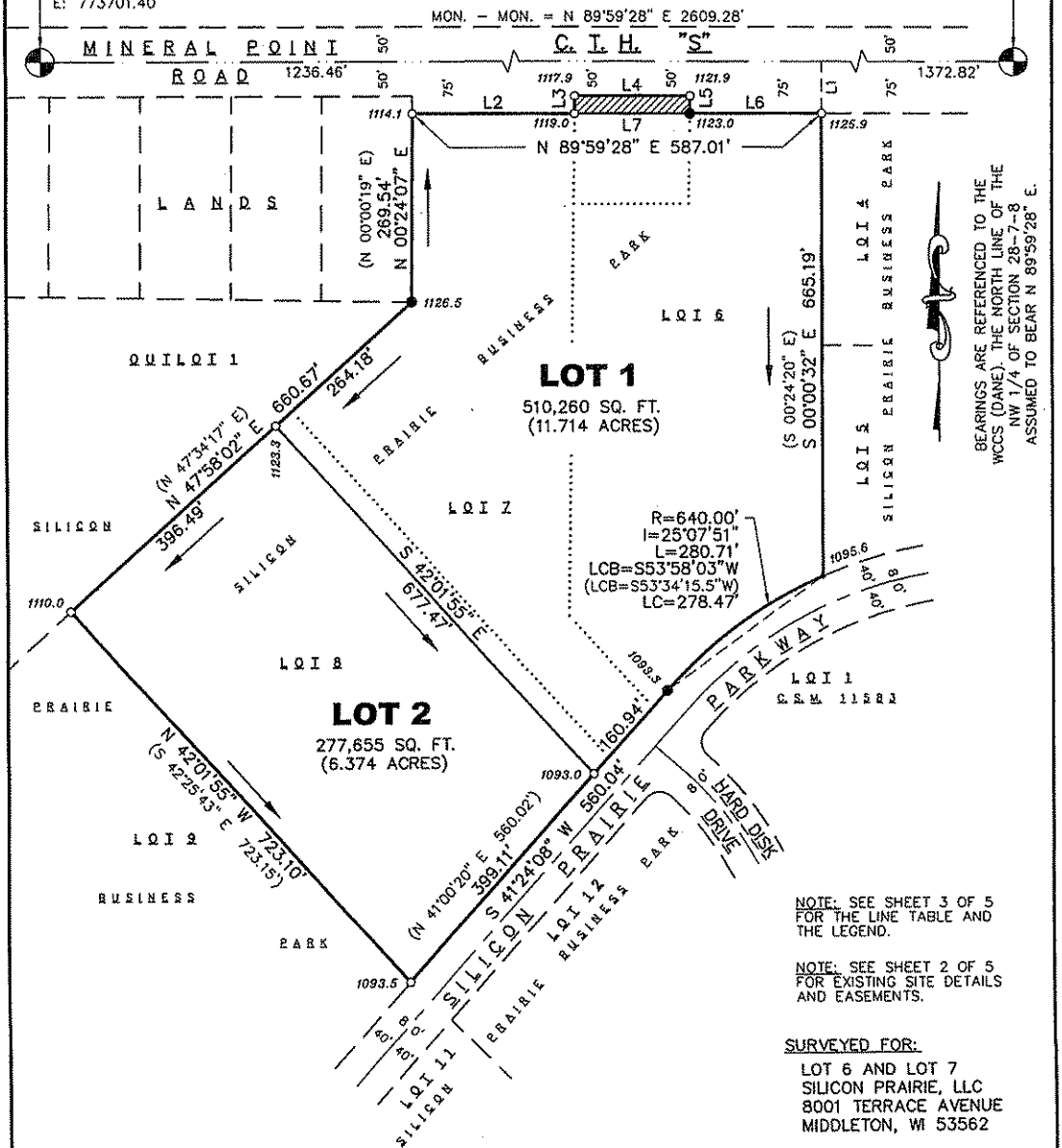
0 100 200 400 600

SCALE: ONE INCH = TWO HUNDRED FEET

TOTAL AREA = 787,915 SQ. FT.
(18.088 ACRES)

FOUND ALUMINUM MONUMENT AT THE NORTHWEST CORNER OF SECTION 28, T7N, R8E, WCCS (DANE) COORDS. ARE:
N: 477579.95
E: 773701.40

FOUND BROKEN ALUMINUM MONUMENT AT THE NORTH 1/4 CORNER OF SECTION 28, T7N, R8E, WCCS (DANE) MEASURED COORDS. ARE:
N: 477580.36
E: 776310.68



BEARINGS ARE REFERENCED TO THE WCCS (DANE), THE NORTH LINE OF THE NW 1/4 OF SECTION 28-7-8 ASSUMED TO BEAR N 89°59'28" E.

NOTE: SEE SHEET 3 OF 5 FOR THE LINE TABLE AND THE LEGEND.

NOTE: SEE SHEET 2 OF 5 FOR EXISTING SITE DETAILS AND EASEMENTS.

SURVEYED FOR:
LOT 6 AND LOT 7
SILICON PRAIRIE, LLC
8001 TERRACE AVENUE
MIDDLETON, WI 53562

SURVEYED BY:
CALKINS ENGINEERING, LLC
5010 VOGES ROAD
MADISON, WI 53718
(608) 838-0444

MAP NO. _____
DOCUMENT NO. _____
VOLUME _____ PAGE _____

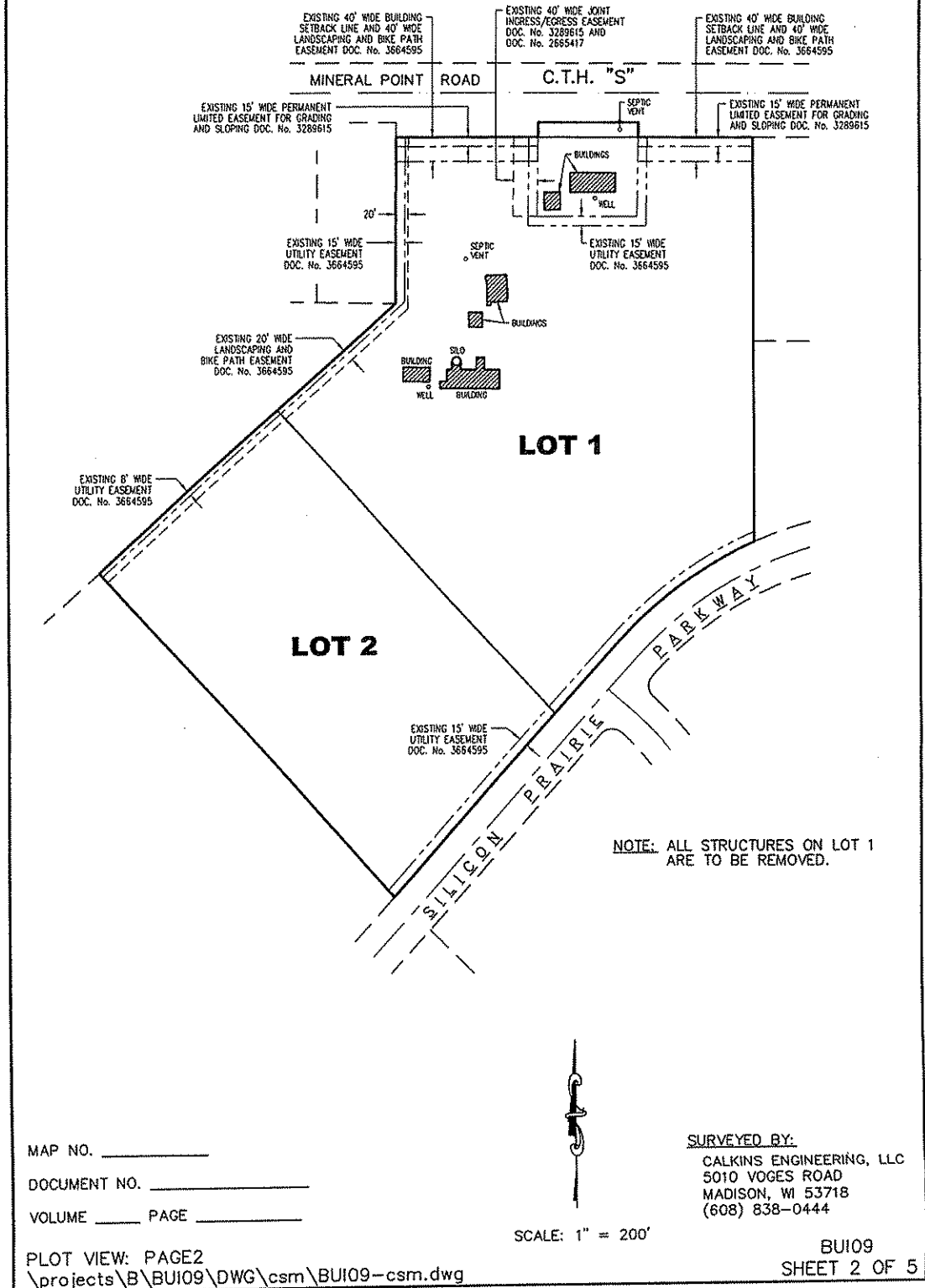
PLOT VIEW: PAGE1
\\projects\B\BUI09\DWG\csm\BUI09-csm.dwg

BUI09
SHEET 1 OF 5

12

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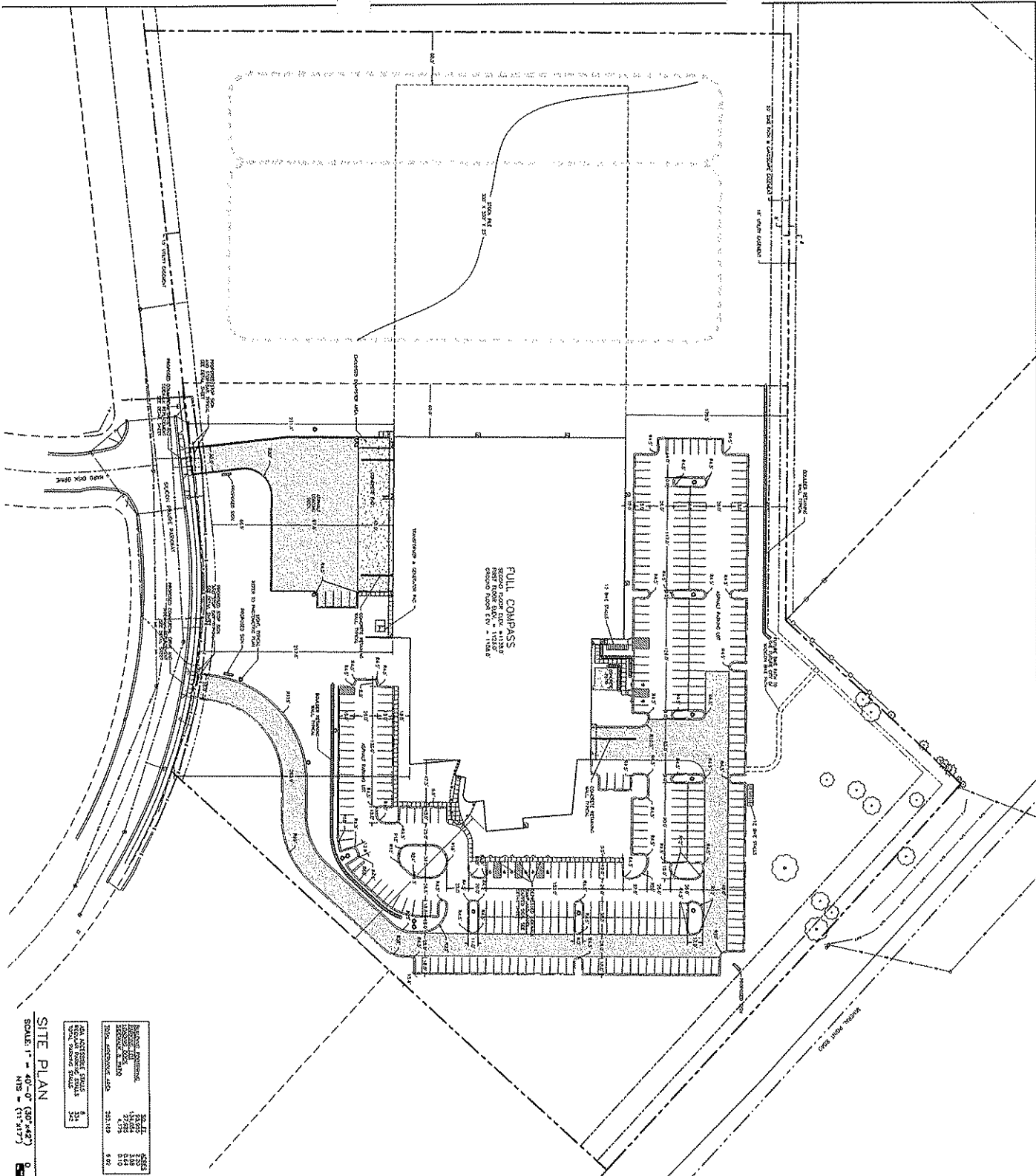
MAP NO. _____
 DOCUMENT NO. _____
 VOLUME _____ PAGE _____

PLOT VIEW: PAGE2
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SCALE: 1" = 200'

SURVEYED BY:
 CALKINS ENGINEERING, LLC
 5010 VOGES ROAD
 MADISON, WI 53718
 (608) 838-0444

BUI09
 SHEET 2 OF 5



SITE PLAN
SCALE 1" = 40'-0" (30' x 40')



ITEM	DESCRIPTION	AMOUNT	UNIT
1	CONCRETE	15,000	YD
2	STEEL	1,200	TON
3	BRICK	1,000,000	BRICK
4	GLASS	100,000	SQ FT
5	PAINT	10,000	GAL
6	ROOFING	10,000	SQ FT
7	MECHANICAL	10,000	HR
8	ELECTRICAL	10,000	HR
9	PLUMBING	10,000	HR
10	LANDSCAPING	10,000	SQ FT
11	UTILITIES	10,000	HR
12	PERMITS	10,000	HR
13	INSURANCE	10,000	HR
14	LABOR	10,000	HR
15	EQUIPMENT	10,000	HR
16	TRAVEL	10,000	HR
17	MEALS	10,000	HR
18	ACCIDENTS	10,000	HR
19	SALES TAX	10,000	HR
20	PROFIT	10,000	HR

SYMBOL	DESCRIPTION
(Symbol)	EXISTING LOT
(Symbol)	EXISTING BUILDING
(Symbol)	EXISTING DRIVE
(Symbol)	EXISTING SIDEWALK
(Symbol)	EXISTING CURB
(Symbol)	EXISTING UTILITY
(Symbol)	EXISTING TREE
(Symbol)	EXISTING FENCE
(Symbol)	EXISTING SIGN
(Symbol)	EXISTING LIGHT
(Symbol)	EXISTING PAINT
(Symbol)	EXISTING ROOFING
(Symbol)	EXISTING MECHANICAL
(Symbol)	EXISTING ELECTRICAL
(Symbol)	EXISTING PLUMBING
(Symbol)	EXISTING LANDSCAPING
(Symbol)	EXISTING UTILITIES
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(Symbol)	EXISTING ACCIDENTS
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(Symbol)	PROPOSED MEALS
(Symbol)	PROPOSED ACCIDENTS
(Symbol)	PROPOSED SALES TAX
(Symbol)	PROPOSED PROFIT

TE: 3-13-2008
PROJECT NUMBER: BU109
SHEET NUMBER: C-1.2
ISSUED FOR: []
DRAWN: [] APPROVED: []
LARSON AND DARBY, INC.
ARCHITECTS-ENGINEERS-PLANNERS

NEW FACILITY FOR
FULL COMPASS
MADISON, WISCONSIN

Building Systems General Corp.
5972 Executive Drive • Suite 100
Madison, Wisconsin 53719
Phone: (608) 276-4400
Fax: (608) 276-4468

Calkins Engineering, LLC
Civil Engineers & Land Surveyors
3050 West Drive
1000 5th Floor

Larson & Darby Group
Architects-Engineers-Planners
ARCHITECTS-ENGINEERS-PLANNERS

