

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: April 5, 2012

Action Requested

- Informational Presentation
 Initial Approval and/or Recommendation
 Final Approval and/or Recommendation

UDC MEETING DATE: April 18, 2012

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 6733 Fairhaven Road

ALDERMANIC DISTRICT: District 7

OWNER/DEVELOPER (Partners and/or Principals)

Fairhaven Court, LLC

Kevin Kavanaugh, Jim Anderson,

Gregg Shimanski

ARCHITECT/DESIGNER/OR AGENT:

Architectural Design

Consultants, Inc.

Russell A. Eilers, AIA

CONTACT PERSON: Russell A. Eilers, AIA

Address: 30 Wisconsin Dells Parkway
Lake Delton, WI 53940

Phone: 608-254-6181

Fax: 608-254-2139

E-mail address: r.eilers@adcidesign.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

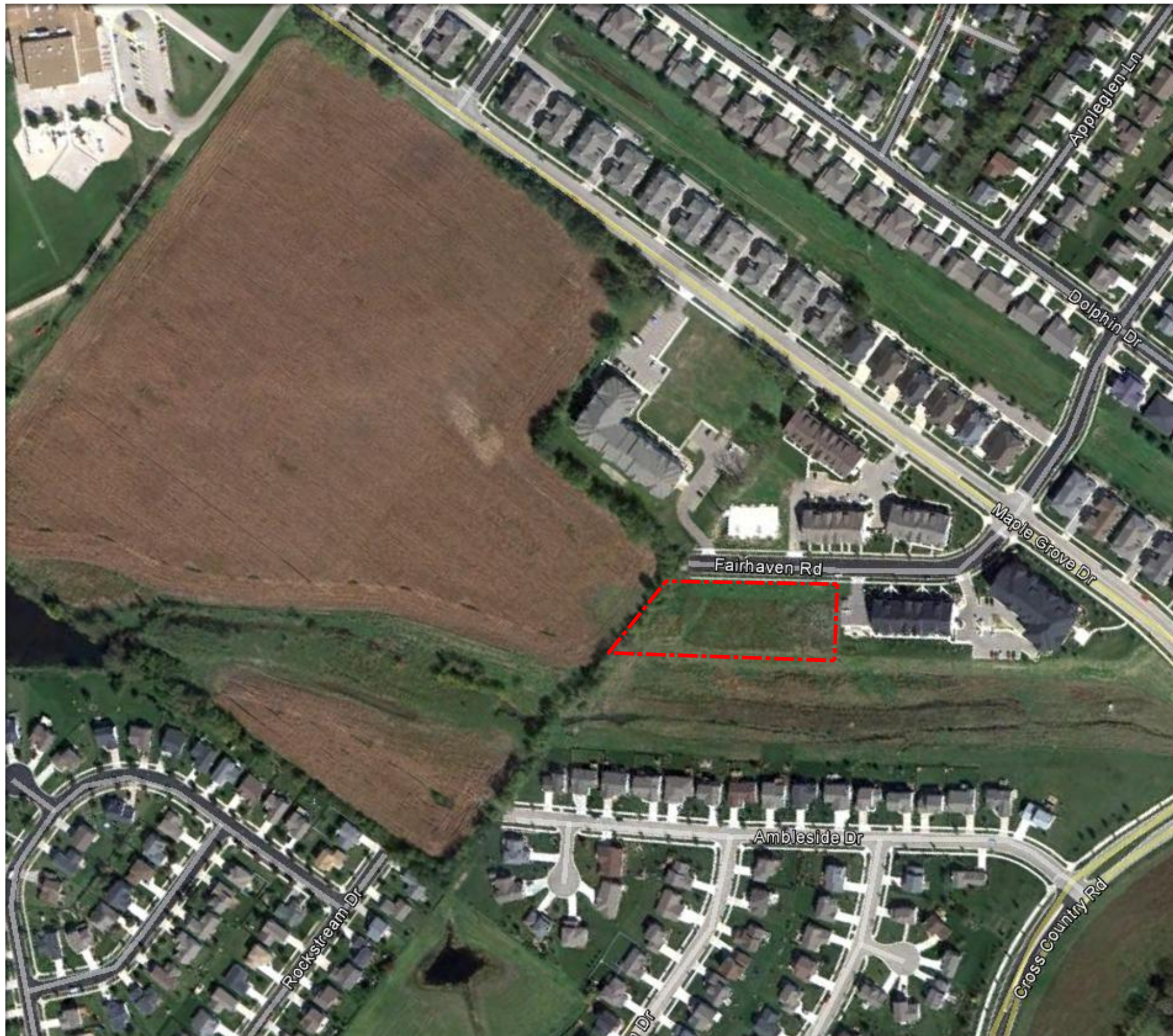
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



**Architectural Design
Consultants, Inc.**

Location Map

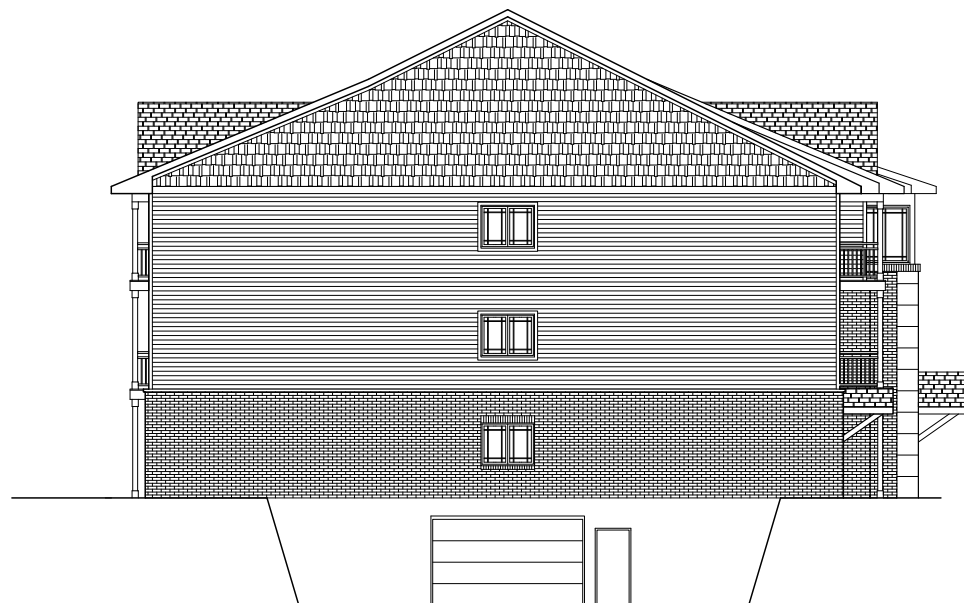
Fairhaven Court - Madison, WI





ELEVATION A

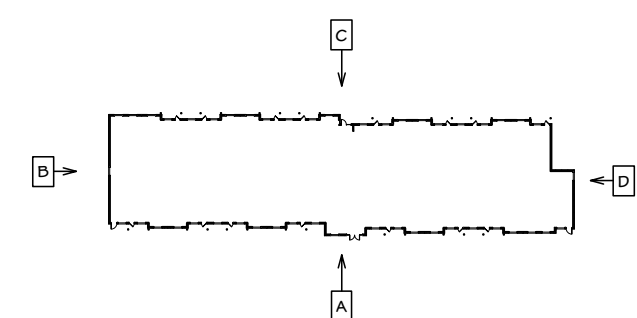
SCALE: 1" = 10'



ELEVATION B

SCALE: 1" = 10'

EXTERIOR COLOR SCHEDULE	
MATERIAL	COLOR
BRICK	RED
SIDING	STERLING GRAY
SHINGLES	CHARCOAL
SOFFIT/FASCIA	WHITE
WINDOWS/DOORS	WHITE
TRIM	WHITE
BALCONIES/RAILINGS	WHITE



KEY PLAN



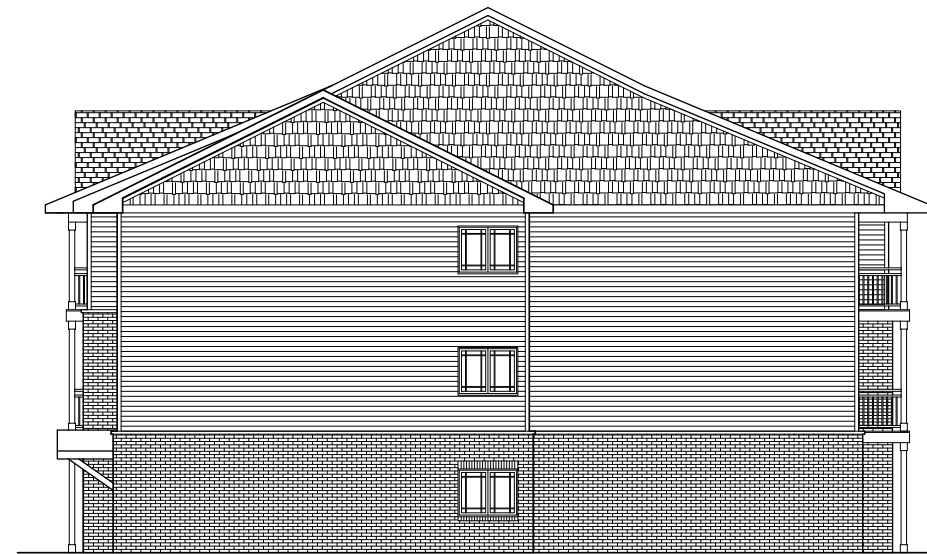
**Architectural Design
Consultants, Inc.**

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



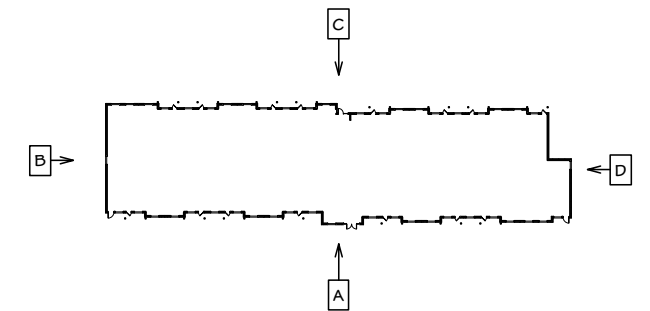
ELEVATION C

SCALE: 1" = 10'



ELEVATION D

SCALE: 1" = 10'



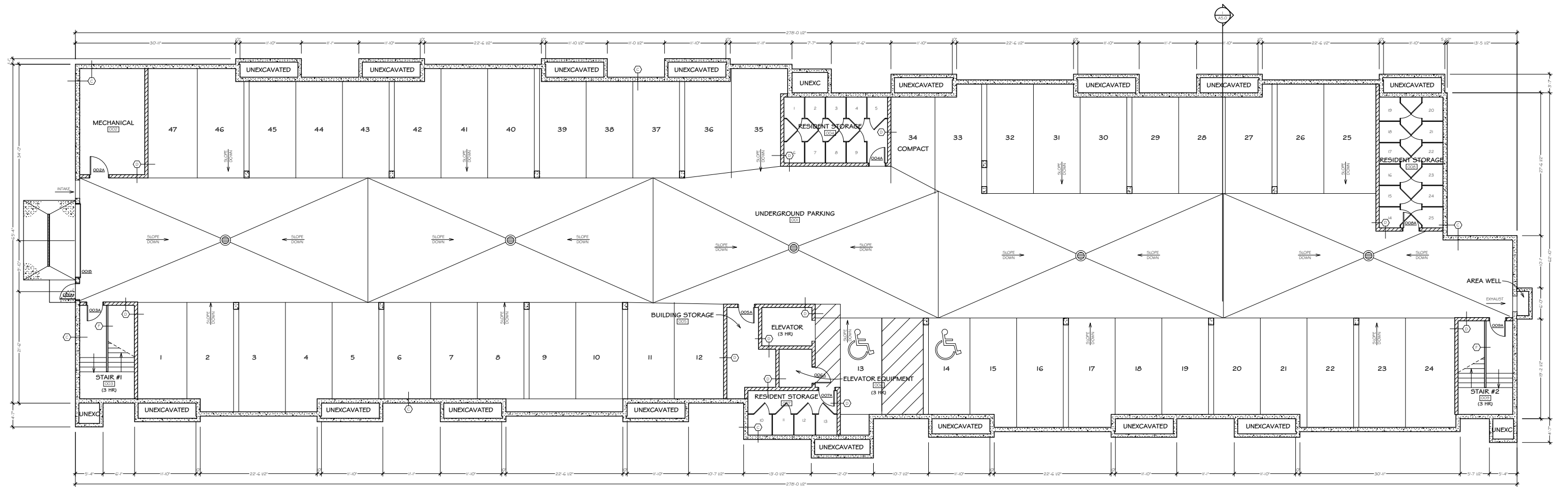
KEY PLAN



**Architectural Design
Consultants, Inc.**

Elevations

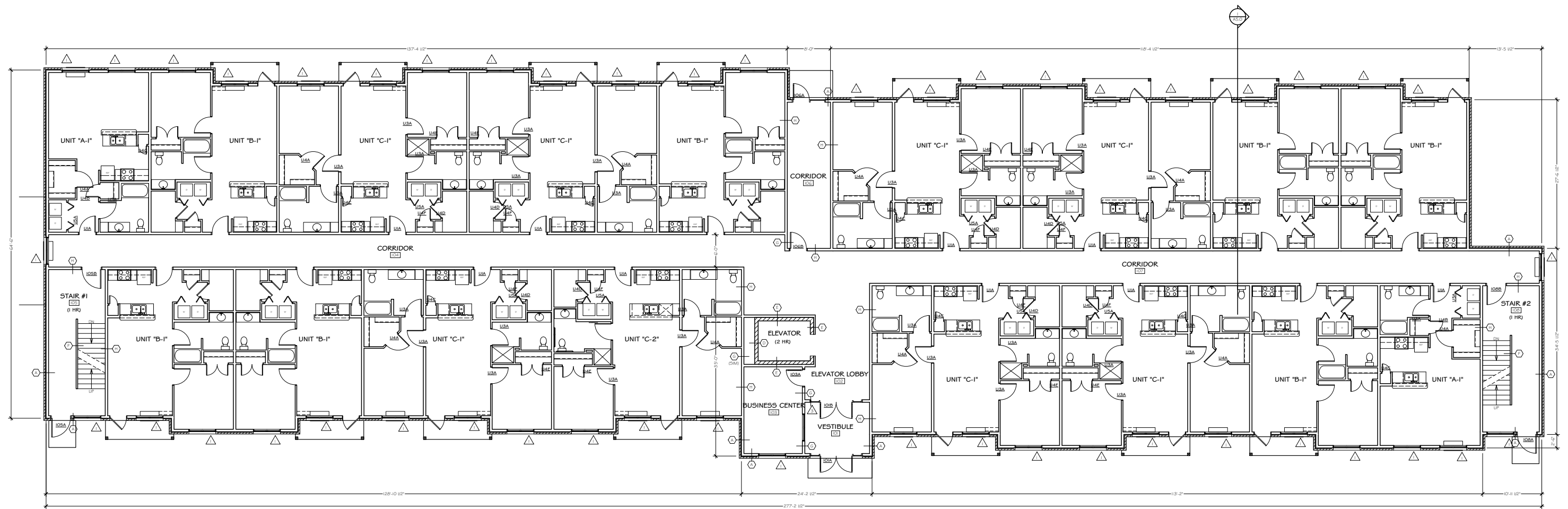
Fairhaven Court - Madison, WI



**Architectural Design
Consultants, Inc.**

Basement Floor Plan

Fairhaven Court - Madison, WI



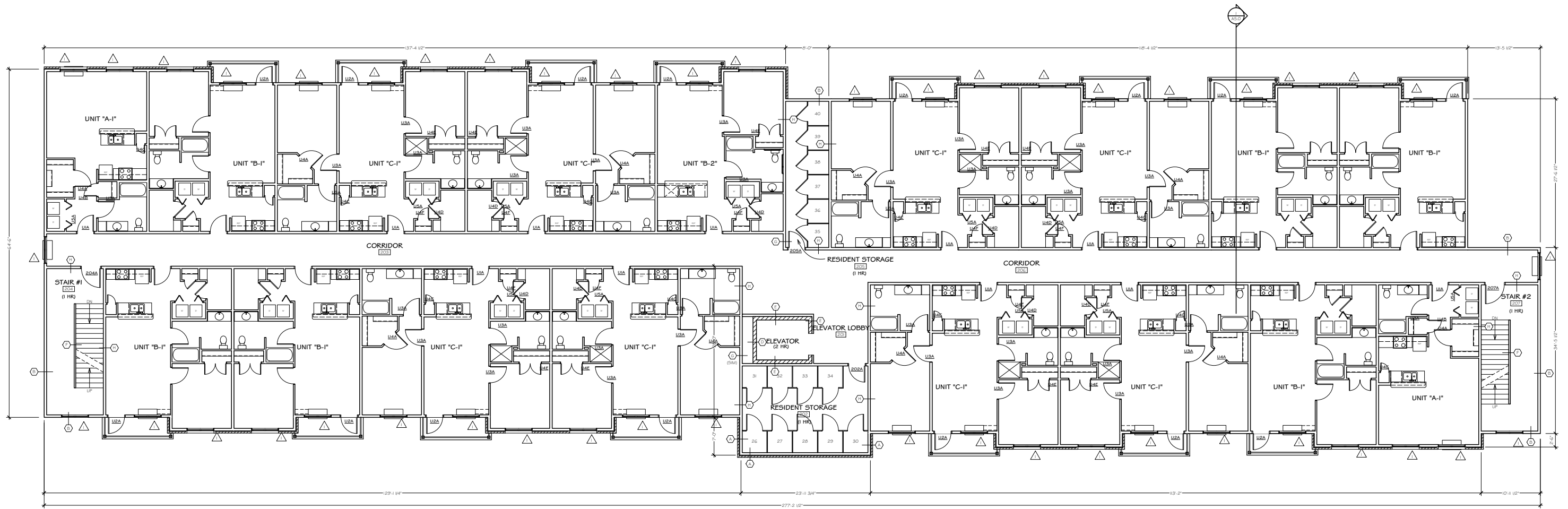
**Architectural Design
Consultants, Inc.**

First Floor Plan

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.





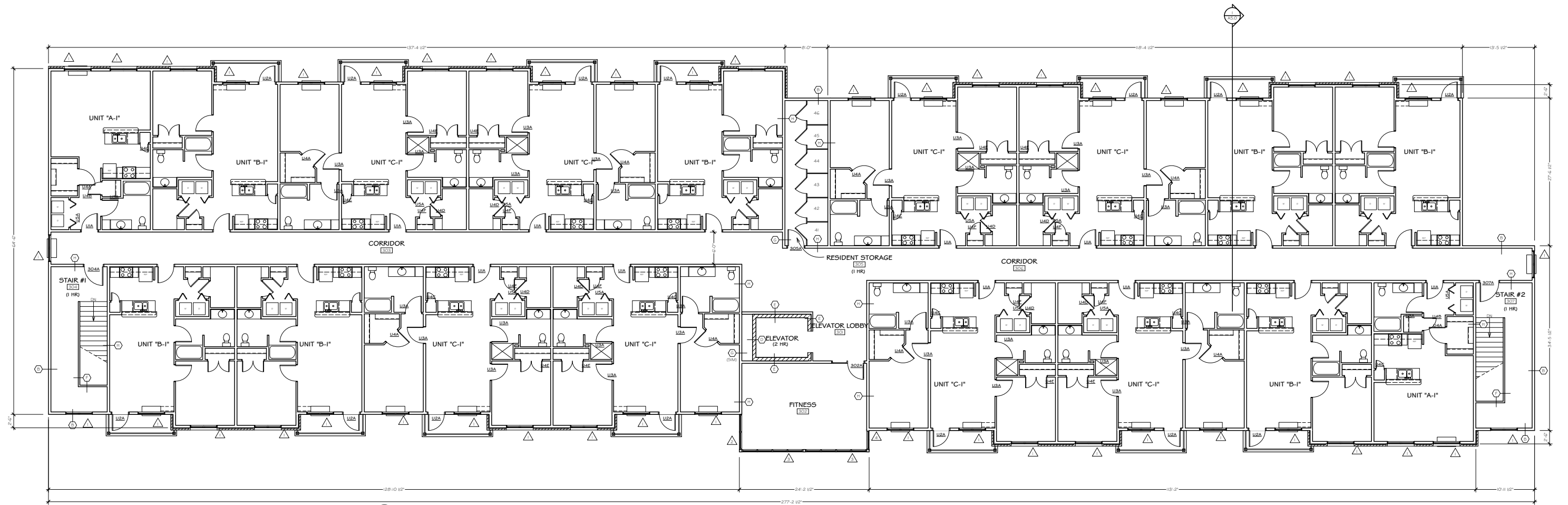
**Architectural Design
Consultants, Inc.**

Second Floor Plan

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.





**Architectural Design
Consultants, Inc.**

Third Floor Plan

Fairhaven Court - Madison, WI





**Architectural Design
Consultants, Inc.**

Front Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Front Yard of 16-Unit Building

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Rear Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Side Elevation of 16-Unit Building

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the East

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Undeveloped Site

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the North

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the North

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the West

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Rear Yard of 16-Unit Building

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the South

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.



**Architectural Design
Consultants, Inc.**

Development to the South

Fairhaven Court - Madison, WI

This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.

ZONING TEXT

PLANNED UNIT DEVELOPMENT - SPECIFIC IMPLEMENTATION PLAN
PUD (SIP)
May 9, 2012

Residential Development

Lot 3, Certified Survey Map No. 10769, now known as Units
6717-1 through 6717-16, inclusive, and Units 6725-1 through 6725-16,
inclusive, Twisted Tree Condominium and Lot 1, Certified Survey Map No. 12128.
6717, 6725 and 6733 Fairhaven Road
In the City of Madison, Dane County, Wisconsin
To be known as Fairhaven Court

Statement of Purpose:

This Planned Unit Development Specific Implementation Plan PUD (SIP) provides for a new 70,204 gross square foot, 51-unit residential development with underground parking located on a portion of Lot 3 Certified Survey Map No. 10769, now known as 6725-1 through 6725-16, inclusive, Twisted Tree Condominium (6725 Fairhaven Road) and Lot 1 of Certified Survey Map No. 12128 (6733 Fairhaven Road); and an existing 16-unit building located on a portion of Lot 3 Certified Survey Map No. 10769, now known as Units 6717-1 through 6717-16, inclusive, Twisted Tree Condominium, (6717 Fairhaven Road) in the City of Madison, Dane County, Wisconsin.

The proposed development, part of Madison's very popular Cross Country neighborhood, currently consists of 1 townhouse style building with 16 condominium units (located on Lot 3 CSM 10769, 6717 Fairhaven Road), and a 51-unit multi-family apartment building all totaling 107,045 square feet of dwelling unit improvements, including underground parking. The condominium will be dissolved and the units will become multi-family rental units.

This development has been designed to provide a maximum amount of functional and usable open space proximate to all units. Block

retaining walls will be used to accommodate grade changes and flat open lawn areas will be adjacent to all areas of the building. Asphalt paving has been minimized and proposed landscaping does not hinder the use of the lawn areas.

Front porches are included with the dwelling units for all ground units, and balconies are provided for upper units. A variety of landscaping will be used to act as screening or for general separation of those units.

Building Descriptions:

This development will consist of 67 dwelling units. The dwelling units will offer a mix of interiors and amenities with a total of approximately 107 bedrooms. The apartment buildings will offer units ranging from roughly 580-1,730 s.f.

CSM Lot No	Permitted Use	Lot Area	Permitted Dwelling Units	Bedrooms
Lot 1 CSM 12128	Multi-Family Building	57,856 s.f.	51	75
Lot 3 CSM 10769	Townhouse Units	40,067 s.f.	16	32
		<u>97,923 s.f.</u>	<u>67</u>	<u>107</u>

The improvements to Lot 1 CSM 12128 and a portion of Lot 3 CSM 10769 (6725 and 6733 Fairhaven Road) shall consist of one 51-unit apartment building. There exists on a portion of Lot 3 CSM 10769 one townhouse style building with 16 condominium units, the condominium will be dissolved. All units shall be used for multi-family residential purposes only as that term is defined in the City of Madison zoning code.

Accessory uses shall include but not be limited to: a. accessory uses directly associated with those permitted uses including parking for tenants and guests, and b. temporary building for storage of building materials and equipment for construction

purposes when on same lot as a principle use for a period not to exceed the duration of such construction.

Yard Requirements:

Minimum Yard Requirements:
Front Yard: 10 ft.
Side Yard: 5 ft.
Rear Yard: 30 ft.

Total area of Lots 1 and 3:

Lot 1 CSM 12128- 57,856 sq. ft.; Lot 3 CSM 10769-40,067 sq. ft.; total 97,923 sq. ft.

Lot Area Requirements

Per PUD (SIP) total area as defined above is Lot 1 CSM 12128-57,856 sq. ft.; Lot 3 CSM 10769-40,067 sq. ft.; total 97,923 sq. ft.

Dwelling Units

Dwelling units proposed: 51 new apartment units (6725 and 6733 Fairhaven Road) plus existing 16 units (6717 Fairhaven Road)

Lot Area Per Dwelling Unit

1,462 sq. ft./u;

Usable Open Space/Requirements:

Area Required 160 s.f./bedroom: 17,120 sq. ft.

Useable Open Space Provided:

27,078 sq. ft.

Height Requirements:

Maximum Building Height is 3 stories or 40 ft.

Proposed Building Height is 3 stories with average height of 38 ft.

Landscaping:

Landscaped areas will be provided as shown on approved plans. Upon commencement of building construction, a local provider will be responsible for the installation of all landscape materials.

Accessory Off-Street Parking:

Min. Parking Stalls Required: 104 spaces

Parking Stalls Provided: 44 spaces above ground; 75 spaces underground.

Bicycle Requirements:

Spaces required: 67

Spaces provided: 68

Site Lighting:

Lighting will be provided as shown on approved plans.

Signage:

Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R4 District--Max. Allowable Signage: [__] sq. ft. Proposed Signage: [__] sq. ft.

All signage shall be per the approved PUD (SIP).

Snow and Trash Storage and Removal, Maintenance:

Snow and trash storage and removal will be done by private contractor. All on-site maintenance equipment will be stored within the underground parking garages.

Alterations and Revisions:

No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, However, the Zoning Administrator may issue permits for minor alterations or additions that are approved by the Director of Planning and Development and the Alderperson of the district and are compatible with the concept approved by the City Plan Commission.

LETTER OF INTENT
TO THE PLAN COMMISSION AND
CITY COUNCIL OF THE CITY OF MADISON

PLANNED UNIT DEVELOPMENT - SPECIFIC IMPLEMENTATION PLAN
PUD (SIP)

Residential Development
Lot 3, Certified Survey Map No. 10769, now known as Units
6717-1 through 6717-16, inclusive, and Units 6725-1 through 6725-16,
inclusive, Twisted Tree Condominium and Lot 1, Certified Survey Map No. 12128.
6717, 6725 and 6733 Fairhaven Road
In the City of Madison, Dane County, Wisconsin
To be known as Fairhaven Court

Application Submittal Date: May 9, 2012

Project Name: Fairhaven Court

Owner: Fairhaven Court, LLC
2920 Bryant Road
Madison, Wisconsin 53713
Contact: Kevin Kavanaugh
(608) 271-8514
kevin@krsrestequip.com

Project Manager: [_____]

Designer: Russell A. Eilers, AIA
Architectural Design Consultants, Inc.
30 Wisconsin Dells Parkway
P.O. Box 580
Lake Delton, WI 53940
(608) 254-6181
r.eilers@adcidesign.com

Engineer: Eric W. Sandsnes, PLS
Royal Oak & Associates, Inc.
3678 Kinsman Boulevard
Madison, WI 53704-2509
(608) 274-0500 Ext. 13
esandsnes@royaloakengineering.com

Landscape Architect: The Bruce Company

Legal:

Nathan J. Wautier
Reinhart Boerner Van Deuren s.c.
22 East Mifflin Street, Ste. 600
P.O. Box 2018
Madison, WI 53701-2018
(608) 229-2249
nwautier@reinhartlaw.com

Project:

51-unit apartment building to be located on a portion of Lot 3 Certified Survey Map No. 10769, now known as 6725-1 through 6725-16, inclusive, Twisted Tree Condominium (6725 Fairhaven Road) and Lot 1 of Certified Survey Map No. 12128 (6733 Fairhaven Road); and an existing 16-unit building located on a portion of Lot 3 Certified Survey Map No. 10769, now known as Units 6717-1 through 6717-16, inclusive, Twisted Tree Condominium, (6717 Fairhaven Road) in the City of Madison, Dane County, Wisconsin.

The proposed development, part of Madison's very popular Cross Country neighborhood, currently consists of 1 townhouse style building with 16 condominium units (located on Lot 3 CSM 10769, 6717 Fairhaven Road), and a 51-unit multi-family apartment building all totaling 107,045 square feet of dwelling unit improvements, including underground parking. The condominium will be dissolved and the units will become multi-family rental units.

This development has been designed to provide a maximum amount of functional and usable open space proximate to all dwelling units. Block retaining walls will be used to accommodate grade changes and flat open lawn areas will be adjacent to all areas of the building. Asphalt paving has been minimized and proposed landscaping does not hinder the use of the lawn areas.

Front porches are included with the dwelling units for all ground units, and balconies are provided for upper units. A variety of

landscaping will be used to act as screening or for general separation of those units.

Uses/Family Definition:

The uses of Lots 1 and 3 are as follows:

CSM Lot No	Permitted Use	Lot Area	Permitted	
			Dwelling Units	Bedrooms
Lot 1 CSM 12128	Multi-Family Building	57,856 s.f.	51	75
Lot 3 CSM 10769	Townhouse Units	40,067 s.f.	16	32
		<u>97,923 s.f.</u>	<u>67</u>	<u>107</u>

The improvements to Lot 1 CSM 12128 and a portion of Lot 3 CSM 10769 (6725 and 6733 Fairhaven Road) shall consist of one 51-unit apartment building. There exists on a portion of Lot 3 CSM 10769 one townhouse style building with 16 condominium units, the condominium will be dissolved. All units shall be used for multi-family residential purposes only as that term is defined in the City of Madison zoning code.

Accessory uses shall include but not be limited to: a. accessory uses directly associated with those permitted uses including parking for tenants and guests, and b. temporary building for storage of building materials and equipment for construction purposes when on same lot as a principle use for a period not to exceed the duration of such construction.

Timetable for Construction:

Building construction is anticipated to begin immediately following plan approval. Ultimate completion is expected in approximately nine months.

Total area of Lots 1 and 3:

Lot 1 CSM 12128-57,856 sq. ft.; Lot 3 CSM 10769-40,067 sq. ft.; total 97,923 sq. ft.

Lot Area Requirements:

Per PUD (SIP) total area as defined above is Lot 1 CSM 12128-57,856 sq. ft.; Lot 3 CSM 10769-40,067 sq. ft.; total 97,923 sq. ft.

Dwelling Units:

Dwelling units proposed: 51 new apartment

units (6725 and 6733 Fairhaven Road) plus existing 16 units (6717 Fairhaven Road).

Lot Area Per Dwelling Unit:

1,462 sq. ft./u;

Usable Open Space/Requirements:

Area Required 160 s.f./bedroom: 17,120 sq. ft.

Useable Open Space Provided:

27,078 sq. ft.

Snow and Trash Storage and Removal, Maintenance:

Snow and trash storage and removal will be done by private contractor. All on-site maintenance equipment will be stored within the underground parking garages.

Economic/Socioeconomic Impact:

The development is readily accessible to a variety of employment centers, retail services, daycare centers, and recreation areas and is in the vicinity of multi-family single-family development which dominates the area. The creation of 51 new apartment units will add approximately [\$_____] of tax base.

Rents for the apartment units of the existing building will range from \$[_____] for [_____] bedrooms to \$[_____] for [_____] bedrooms. Rents for the apartment units of the new building will range from \$[_____] for [_____] bedrooms to \$[_____] for [_____] bedrooms.

Sincerely,

Fairhaven Court, LLC