



Location
8301 Old Sauk Road

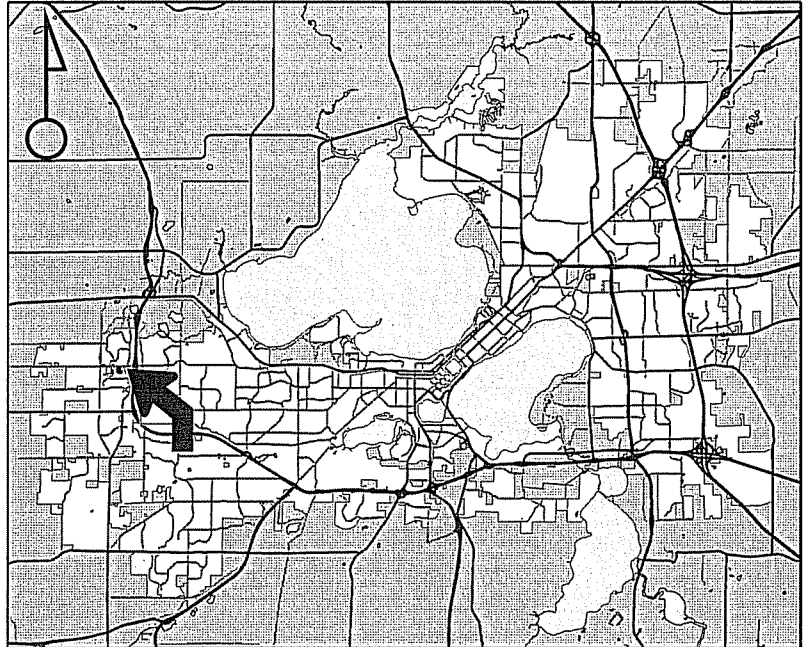
Applicant
Mary Ann Drescher - Attic Angel Place, Inc./
Duane Helwig - Community Living Solutions

From: PUD-SIP To: Amended
PUD-GDP-SIP

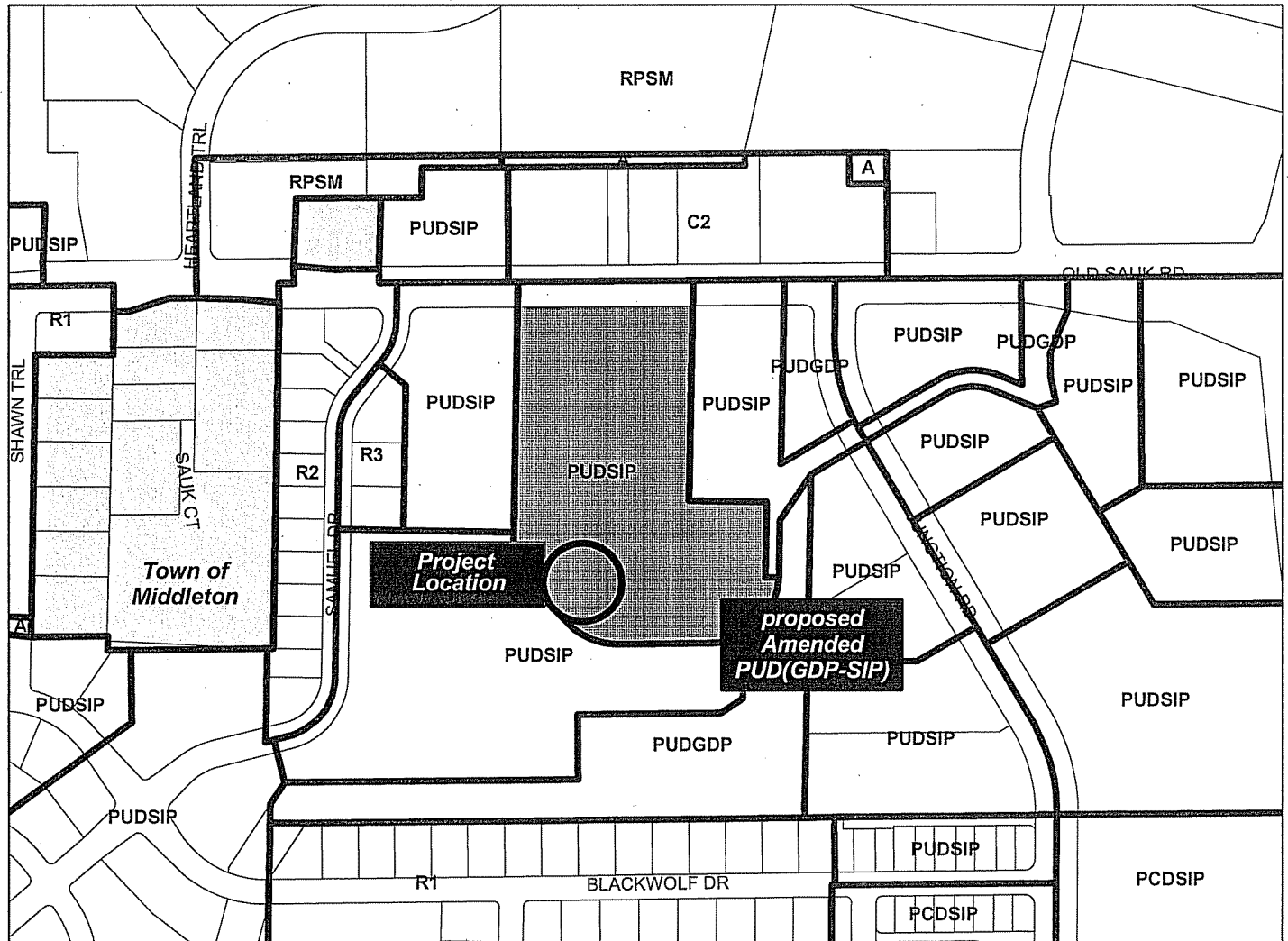
Existing Use
Attic Angel Place

Proposed Use
Construct addition to Attic Angel
Place health center and assisted
living facility

Public Hearing Date
Plan Commission
03 October 2011
Common Council
18 October 2011

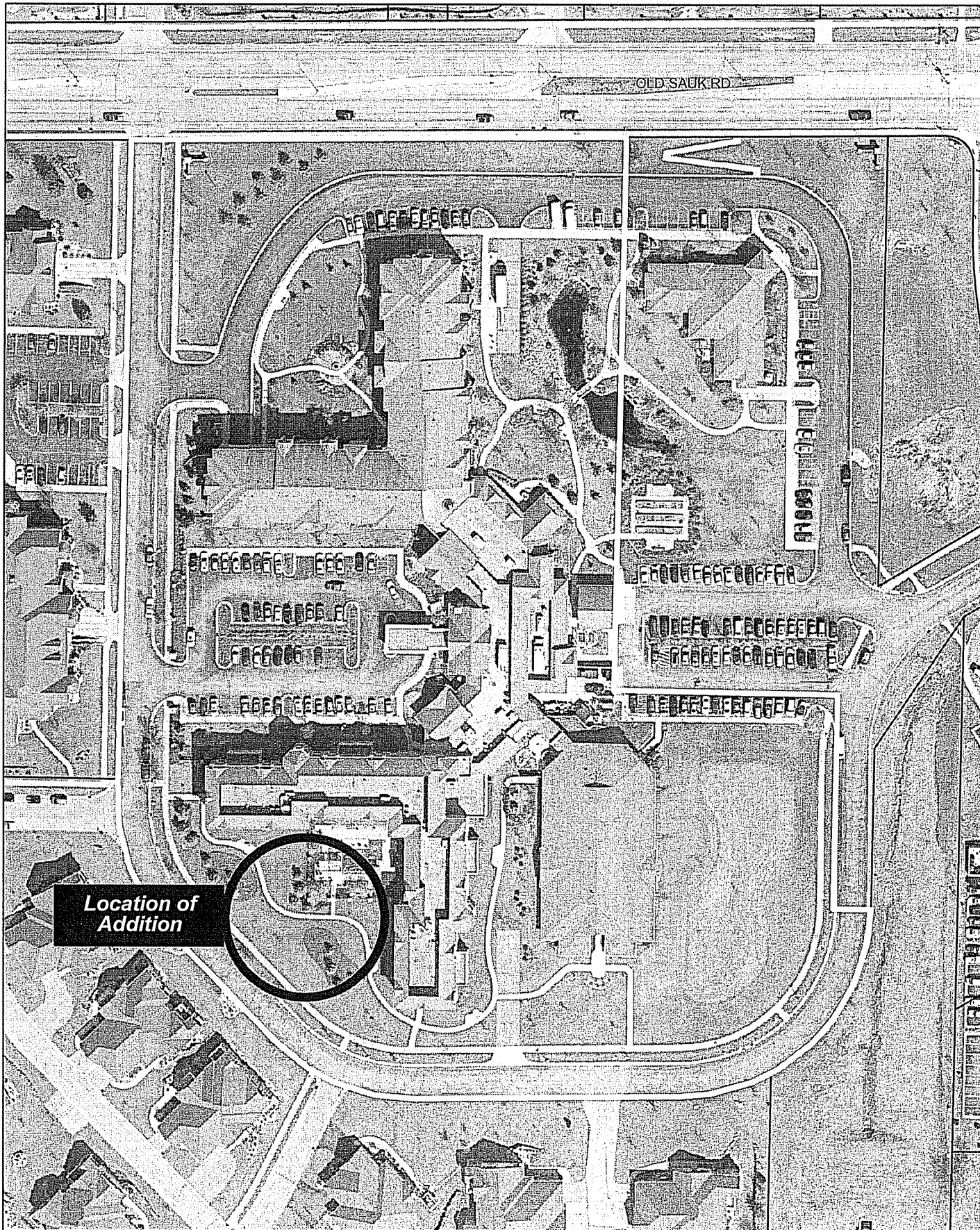


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 19 September 2011





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>1250.00</u> Receipt No. <u>123375</u>
Date Received	<u>8/3/11</u>
Received By	<u>[Signature]</u>
Parcel No.	<u>0408-221-0533-8</u>
Aldermanic District	<u>9-Paul Skidmore</u>
GQ	<u>WP-28</u>
Zoning District	<u>PUD SIP</u>
For Complete Submittal	
Application	Letter of Intent <input checked="" type="checkbox"/>
IDUP	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	Zoning Text <input checked="" type="checkbox"/>
Alder Notification	Waiver <input type="checkbox"/>
Ngrbrhd. Assn Not.	Waiver <input type="checkbox"/>
Date Sign Issued	<u>8/3/11</u>

1. **Project Address:** 8301 Old Sauk Road **Project Area in Acres:** 0.96

Project Title (if any): Attic Angel Place Addition

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input checked="" type="checkbox"/> Amended Gen. Dev. <input checked="" type="checkbox"/> Amended Spec. Imp. Plan	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Mary Ann Drescher, President Company: Attic Angel Place, Inc.
 Street Address: 640 Junction Road City/State: Madison, WI Zip: 53717
 Telephone: (608) 662-8907 Fax: (608) 662-8800 Email: maryann.drescher@atticangel.org

Project Contact Person: Duane Helwig Company: Community Living Solutions, LLC
 Street Address: 2801 East Enterprise Ave., Suite 202 City/State: Appleton, WI Zip: 54913
 Telephone: (920) 969-9344x7514 Fax: (920) 969-9345 Email: dhelwig@communitylivingsolutions.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
Addition to the exist. health center and assist. living wings for rehab nursing residents and additional assisted living apts.

Development Schedule: Commencement Fall 2011 (estimated) Completion Fall 2012 (estimated)

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 1,200 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - *The site is located within the limits of* The Comprehensive *Plan, which recommends:*
Low-density residential uses *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
Alderperson Paul Skidmore; Junction Ridge Neighborhood notified on March 27, 2011
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 - Planning Staff:* Heather Stouder *Date:* 2/22/11 *Zoning Staff:* Matthew Tucker *Date:* 2/22/11
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Mary Ann Drescher Date 7/25/11
 Signature *Mary Ann Drescher* Relation to Property Owner President of Corporation
 Authorizing Signature of Property Owner *Mary Ann Drescher* Date 7/25/11

August 3, 2011

Plan Commission
City of Madison
215 Martin Luther King Jr. Boulevard
Room LL-110
Madison, Wisconsin 53701-2985

RE: Letter of Intent, Attic Angel Place Addition

To Whom It My Concern:

The following information is submitted as required for an application of an amendment to a PUD-GDP/SIP zoning for Attic Angel Place, Inc., a development that provides services for elderly residents. Currently, Attic Angel Place and the neighboring assisted living facility titled, The Haven, provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.

The existing Attic Angel Place facility consists of 74 apartments, 36 assisted household units and 36 individual skilled nursing suites in a combination of private and semi-private living arrangements accommodating 44 licensed beds. Adjacent to Attic Angel Place, The Haven is an existing community-based-residential-facility consisting of 20 units/22 beds providing memory care in an assisted living environment.

The proposed addition to Attic Angel Place will be comprised of an additional 24 assisted household units, 14 private skilled nursing suites and an inpatient/outpatient physical therapy center. As part of connecting the addition to the existing building a total of 6 existing skilled nursing suites and 4 assisted household units will be converted to common living space resulting in a net gain of 8 skilled nursing suites and 20 assisted household units. The addition of the 8 nursing suites will result in all 44 beds within the Health Center being private units.

Construction Schedule:

The construction of the addition is anticipated to begin in the Fall of 2011 with completion by Fall of 2012.

List of Individuals and Firms Involved in the Project:

Architect and Construction Manager:
Community Living Solutions, LLC
Contact: Duane Helwig, AIA
2801 East Enterprise Avenue, Suite 202
Appleton, Wisconsin 54913
920-969-9344 x7514
920-969-9345 (fax)
dhelwig@communitylivingsolutions.com

Civil Engineer:
Snyder and Associates
Contact: Michael Calkins, P.E.
5010 Voges Road
Madison, Wisconsin 53718
608-838-0444 x223
mcalkins@snyder-associates.com

Landscape Architect:

The Bruce Company
Contact: Rich Carlson
2830 Parmenter Street
Middleton, Wisconsin 53562
608-836-7041 x253
608-831-6266 (fax)
RCarlson@brucecompany.com

Mechanical, Electrical and Plumbing Engineer:

Muermann Engineering
Contact: Curt Krupp
116 Fremont Street
Kiel, Wisconsin 53042
920-894-7800
920-894-7916 (fax)
curt@me-pe.com

Building and Property Information:

Total Site Area: 401,703 square feet (9.22 acres)
Total Proposed Project Areas: 41,818 square feet (0.96 acre)

Total Combined Existing Building Area (all floor levels): 199,329 square feet
Total Addition Building Area (all floor levels): 42,380 square feet

Existing Attic Angel Place: 184,025 square feet

- Licensed RCAC one and two bedroom apartments: 74
- Licensed assisted living one bedroom household apartments: 36 (4 apartments will be removed as part of addition)
- Licensed skilled nursing facility: 36 suites, 44 beds. (6 suites, 8 beds will be removed as part of addition)

Existing Haven Assisted Living: 15,304 square feet

- Licensed CBRF dedicated to memory care: 20 units/22 beds

Proposed Addition:

- Skilled Nursing Facility: 14 units; 9,664 square feet (first floor)
- Physical Therapy Center: 2,000 square feet (first floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (second floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (third floor)
- Campus and Resident Storage: 10,044 square feet (lower level)

Parking:

EXISTING REQUIRED:

SKILLED NURSING	
36 UNITS X .5 CARS/UNIT	18 CARS
HOUSEHOLDS (ASSISTED LIVING)	
36 UNITS X .75 CARS/UNIT	27 CARS
APARTMENTS (RCAC)	

74 UNITS X 1 CARS/UNIT	74 CARS
HAVEN ASSISTED LIVING	
22 UNITS X .5 CARS/UNIT	11 CARS
<u>TOTAL PARKING (REQUIRED)</u>	<u>130 CARS</u>
<u>PROPOSED ADDITIONS (REQUIRED)</u>	
SKILLED NURSING	
8 UNITS (NET) X .5 CARS/UNIT	4 CARS
HOUSEHOLDS	
20 UNITS (NET) X .75 CARS/UNIT	15 CARS
<u>TOTAL PARKING ADDITION (REQUIRED)</u>	<u>19 CARS</u>
CAMPUS TOTAL (REQUIRED)	149 CARS
<u>EXISTING (ACTUAL)</u>	
SURFACE PARKING	121 CARS
<u>UNDERGROUND PARKING</u>	<u>30 CARS</u>
<u>TOTAL PARKING (ACTUAL)</u>	<u>151 CARS</u>
<u>PROPOSED ADDITION (ACTUAL)</u>	
SURFACE PARKING	25 CARS NET
<u>CAMPUS TOTAL PARKING (ACTUAL)</u>	<u>176 CARS</u>
<u>HANDICAPPED ACCESSIBLE STALLS</u>	
STALLS REQUIRED	7 CARS
STALLS PROVIDED (as part of total)	9 CARS

Number of Employees:

- Existing Health Center and Assisted Living Uses: 245
- Proposed Physical Therapy Addition: Contracted
- Proposed Assisted Living Addition: 7

The hours of operation are: 24 hours per day

Trash removal and storage, snow removal and maintenance: The Association will provide for their own trash compactor, storage and removal as well as snow removal. Road maintenance will be provided per previously approved agreement.

SUGGESTED ZONING TEXT GDP/SIP

Zoning: PUD-GDP/SIP, Amended

Project Name: Attic Angel Place Addition

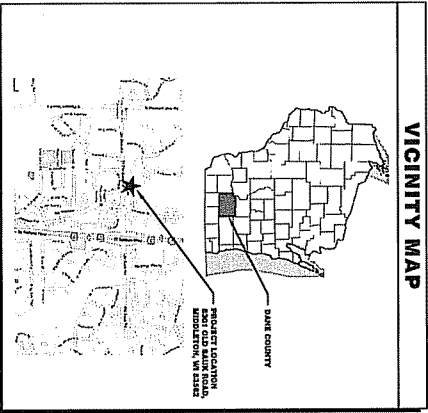
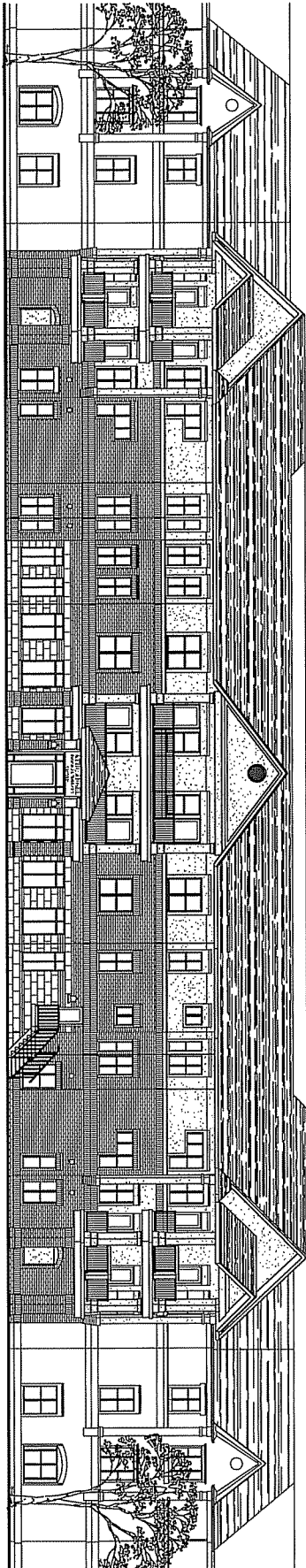
Address: 8301 Old Sauk Road

Legal Description: The lands subject to this planned unit development shall include those described in Exhibit A, attached hereto.

- A. Statement of Purpose:** This zoning district is established to allow for the construction of an addition to the existing Attic Angel Place Facility consisting of 14 new skilled nursing resident rooms (8 net), 24 new RCAC licensed household apartments (20 net) and a Physical Therapy Inpatient and Outpatient Rehabilitation Center. The addition will allow the Health Center to provide each skilled nursing resident, both elderly long term care residents and short term rehabilitation patients with a private room during their stay at Attic Angel while also providing a solution for the demand of additional RCAC apartments for elderly residents and a new Therapy Center expansion. Attic Angel Place provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.
- B. Permitted Uses:**
1. Those uses that are existing per the previously approved PUD submittals.
 2. Those uses that are part of this building phase consisting of an additional 8 private skilled nursing units (no increase in number of beds) and a net additional 20 assisted household apartment units.
 3. Uses accessory to existing approved uses and those uses listed above consisting of an inpatient/outpatient physical therapy center.
- C. Lot Area:** As stated on architectural plans, attached hereto.
- D. Floor Area Ratio:**
1. Maximum floor area ratio permitted shall be as shown on the approved plans.
 2. Maximum building height shall be 4 stories as shown on approved plans.
- E. Yard Requirements:** Yard areas will be provided as shown on approved plans.
- F. Landscaping:** Site landscaping will be provided as shown on the approved plans.
- G. Accessory Off-Street Parking & Loading:** Accessory off-street parking and loading will be provided as shown on approved plans.
- H. Lighting:** Site lighting will be provided as shown on approved plans.
- I. Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances and as approved on the recorded plans.
- J. Family Definition:** The family definition of this PUD-GDP/SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R4 zoning district.
- K. Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

ATTIC ANGEL PLACE

ADDITION AND REMODEL TO:
8301 OLD SAUK ROAD,
MADISON, WISCONSIN



SHEET INDEX	
A100	CERTIFIED SURVEY MAP
A101	ARCHITECTURAL CAMPUS SITE PLAN
A101	ENLARGED BUILDING ADDITION SITE PLAN
L1	LANDSCAPE PLAN
C1	SITE DEMOLITION PLAN
C2	SITE PLAN
C3	SITE GRADING AND UTILITY PLAN
C4	PARKING LOT DEMOLITION PLAN
C5	PARKING LOT SITE AND GRADING PLAN
C6	SITE DETAILS
C7	SITE EROSION CONTROL DETAILS
E101	SITE PLAN ELECTRICAL
E101C	SITE PLAN LIGHTING PHOTOMETRICS
A200	BASEMENT PLAN
A201	FIRST FLOOR PLAN AND DEMO
A202	SECOND FLOOR PLAN / THIRD FLOOR PLAN
A203	ROOF PLAN
A300	EXTERIOR BUILDING ELEVATIONS
A301	EXTERIOR BUILDING ELEVATIONS

PLAN COMMISSION APPLICATION

© 2016 Community Living Solutions, LLC

DATE
08-03-11

PROJECT
11-101

SHEET
A001

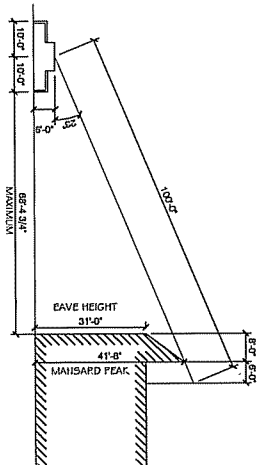
REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MIDDLETON, WISCONSIN 53562

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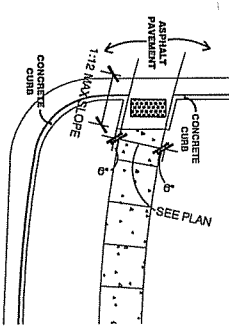
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REVISIONS

4



1 FIRE APPARATUS LADDER REACH DIAGRAM
SCALE: 1/8" = 1'-0"



2 TYPICAL CURB RAMP DETAIL
SCALE: 1/8" = 1'-0"

KEY TO SYMBOLS	SYMBOL	DESCRIPTION
A	▲	EXISTING SIGN
B	○	EXISTING LIGHT
C	□	POLES
D	△	EXISTING FIRE ALARM
E	▲	EXISTING RESTRICTION ONLY SIGN
F	○	EXISTING STOP SIGN
G	△	EXISTING SIGN ON FINE LANE SIDE OF STREET
H	○	EXISTING PARKING SIGN
I	□	EXISTING FINE LANE SIDE OF STREET
J	○	EXISTING PLANT/POLE
K	□	EXISTING SIDEWALK
L	□	EXISTING DRIVE
M	□	NEW FIRE LANE
N	□	NEW CONCRETE ACCESS ROAD
O	□	NEW ASPHALT ACCESS ROAD
P	□	NEW FADING ZONE SIGN
Q	□	NEW FIRE LANE SIGN
R	□	NEW PARKING SIGN
S	□	NEW KEEP RIGHT SIGN
T	□	NEW FIRE LANE SIGN, EMERGENCY ONLY
U	□	NEW SIGN
V	□	NEW SIGN



3 TYPICAL LOADING ZONE SIGN
SCALE: 1/8" = 1'-0"

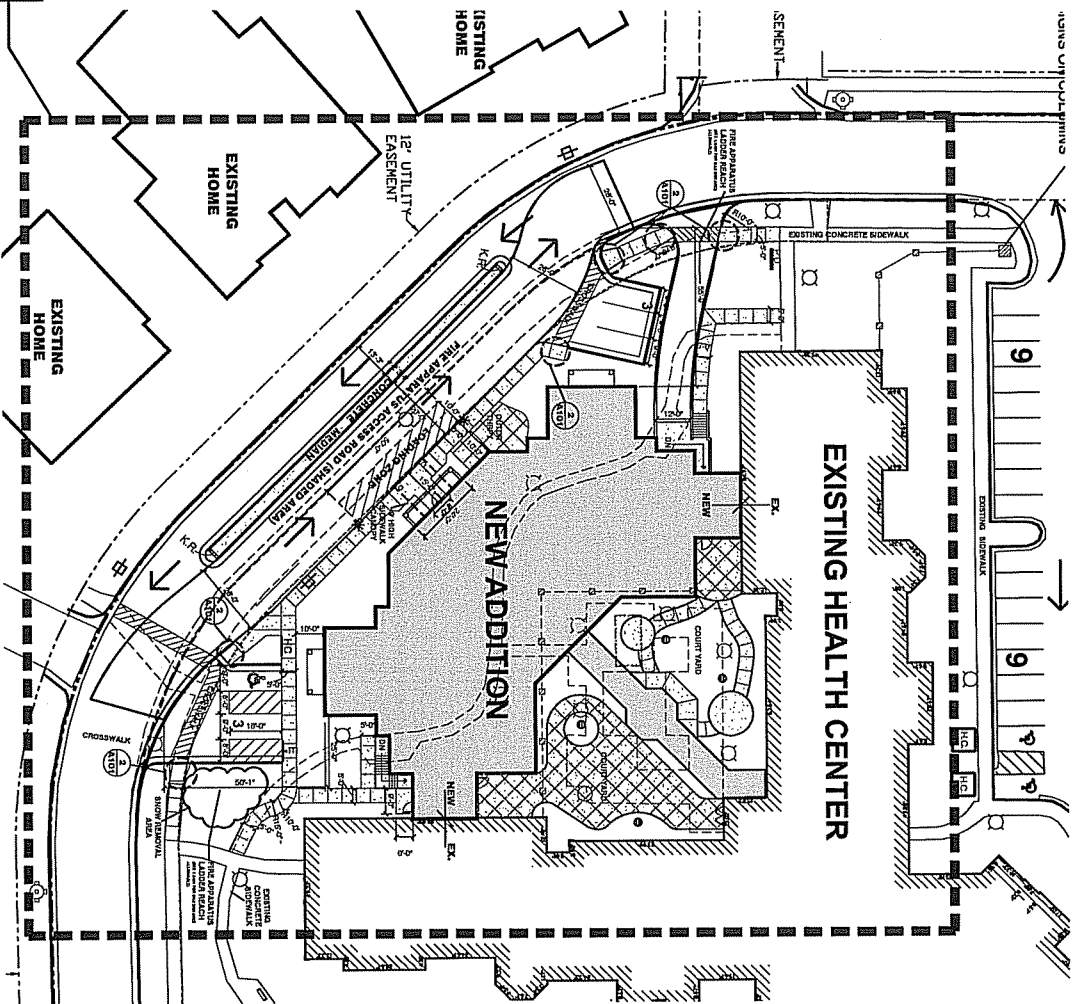


4 TYPICAL FIRE ZONE SIGN
SCALE: 1/8" = 1'-0"



5 TYPICAL KEEP RIGHT SIGN
SCALE: 1/8" = 1'-0"

PROPOSED PROJECT WORK AREA



REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MIDDLETON, WISCONSIN 53562

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REVISIONS

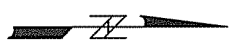
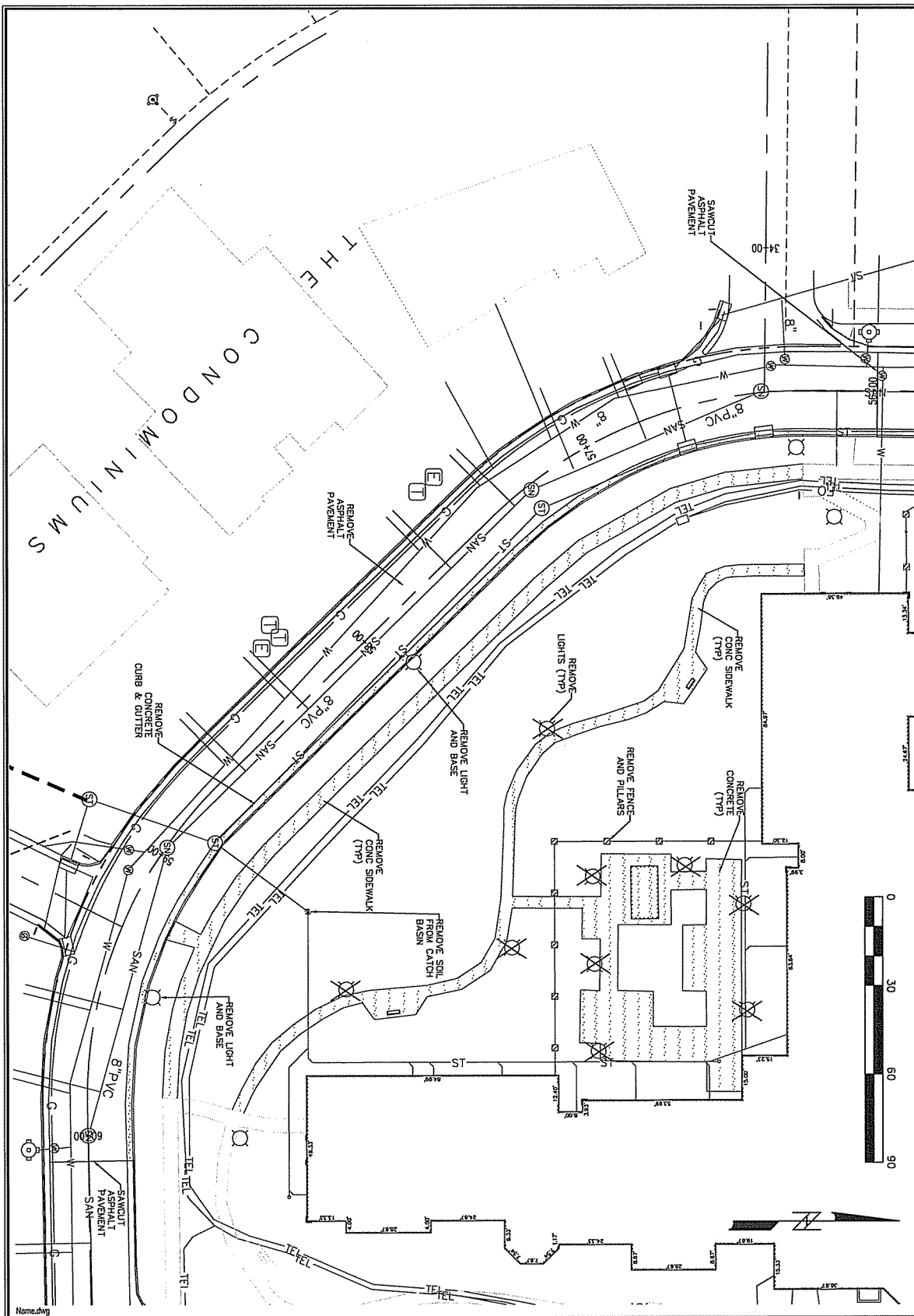
4

PLAN COMMISSION APPLICATION

PROJECT: 11-101
DATE: 08-03-11
SHEET: A101



NORTH
SCALE: 1/8" = 1'-0"



Name.dwg

Project No. 0350
Sheet C1

ATTIC ANGEL PLACE - ADDITION & RENOVATION

DEMOLITION PLAN

SNYDER & ASSOCIATES

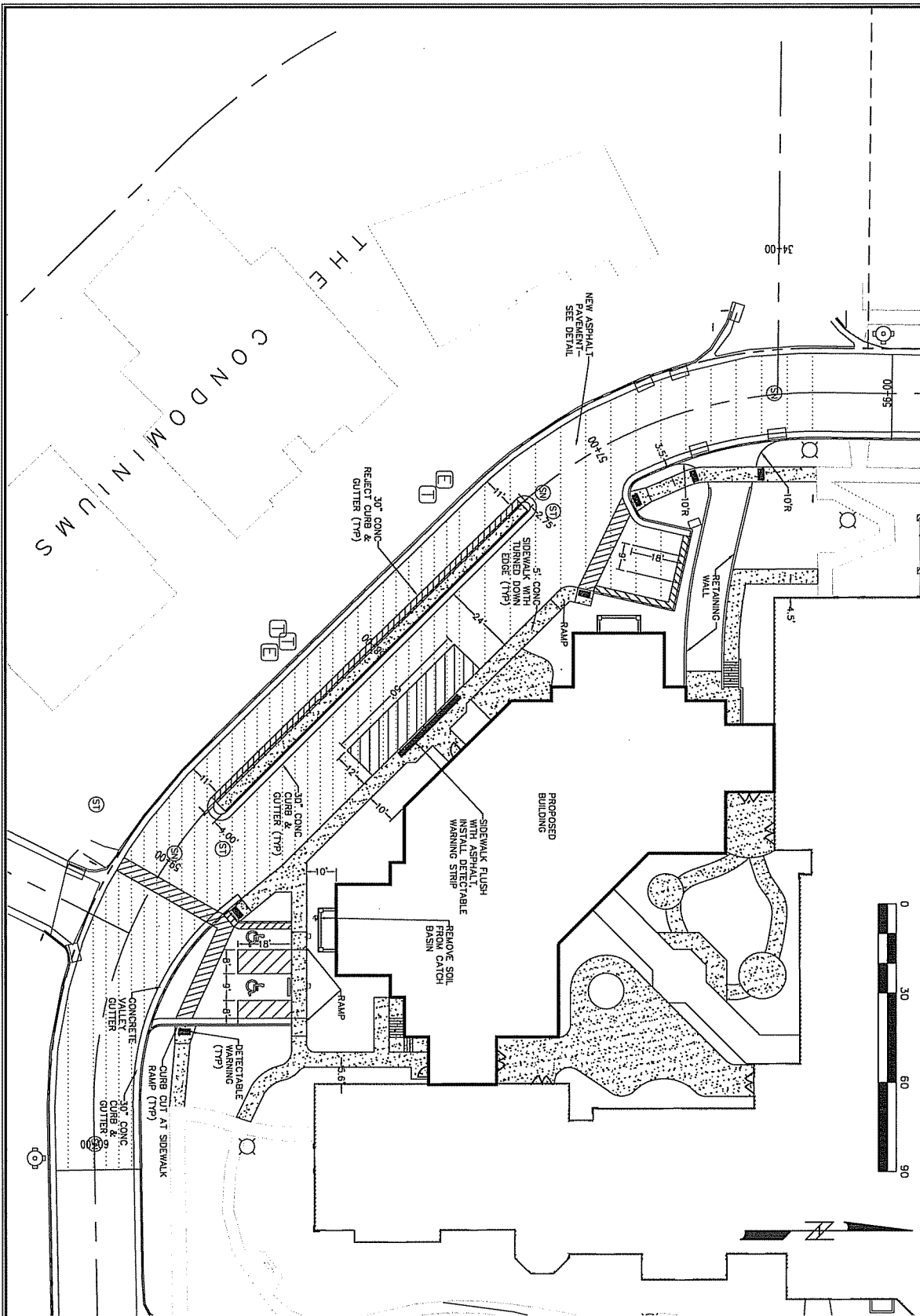
5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-833-0444

SOUTH DAKOTA | WISCONSIN
 IOWA | MISSOURI
 NEBRASKA

Mark	Revision	Date	By

Engineer: _____ Checked By: _____ Scale: 1" = 30'
 Technician: _____ Date: 08-02-2011 Field Dwg: PJC
 Project No: CL503

Sheet C1



Name.dwg

Sheet C2

ATTIC ANGEL PLACE - ADDITION & RENOVATION

SITE PLAN

SNYDER & ASSOCIATES

5010 VOEGES ROAD
MADISON, WISCONSIN 53718
608-638-2444

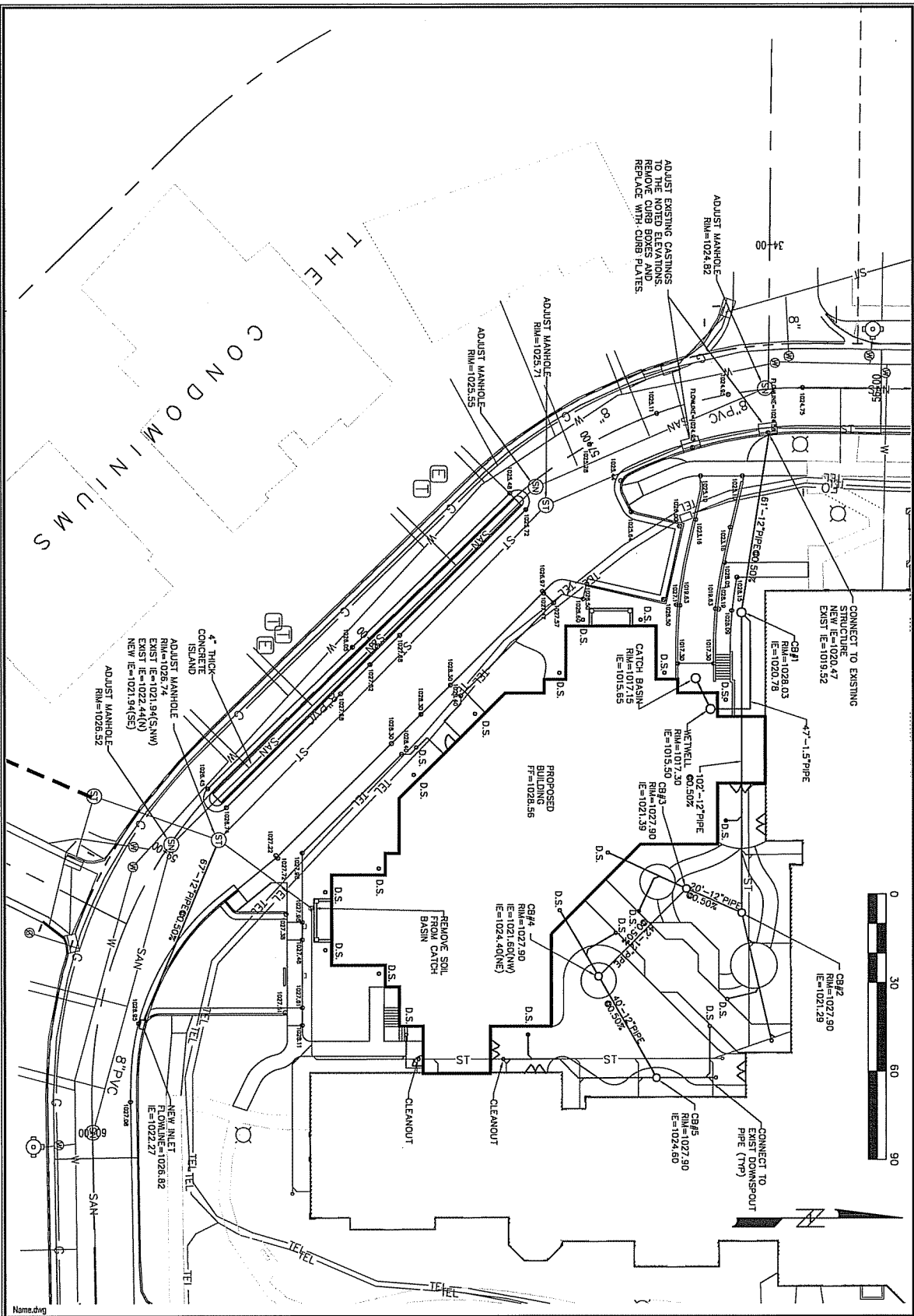
SOUTH DAKOTA | WISCONSIN
IOWA | MISSOURI
NEBRASKA

Mark	Revision	Date	By

Engineer: _____
 Technician: _____
 Project No: CL503

Checked By: _____
 Date: 08-02-2011
 Scale: 1" = 30'
 Field Etc: _____
 Fig: _____

Sheet C2



Name.dwg

Project No. **ST**
 Sheet C3

ATTIC ANGEL PLACE - ADDITION & RENOVATION
 GRADING & UTILITY PLAN

SNYDER & ASSOCIATES

5010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-9390

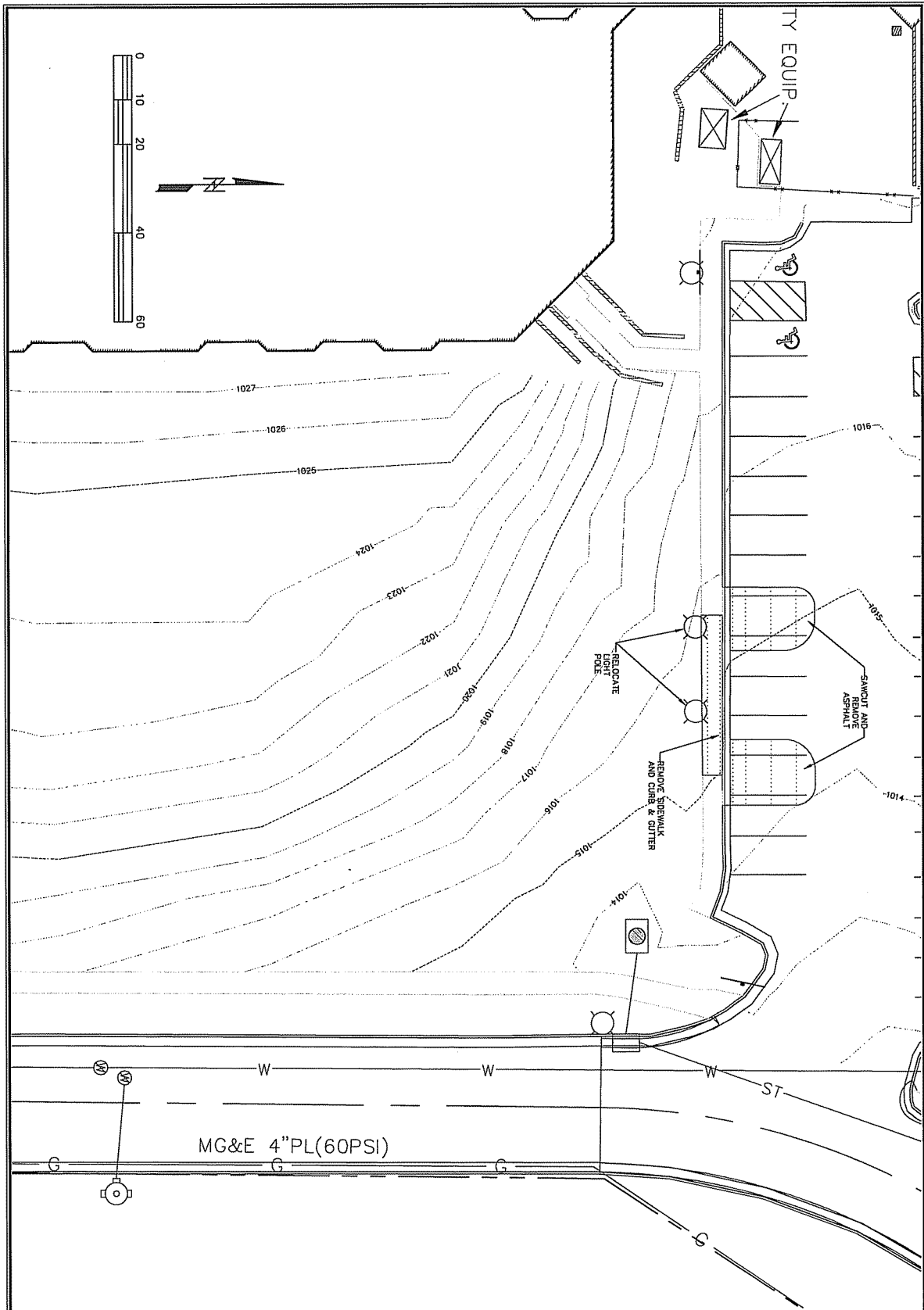
SOUTH DAKOTA | WISCONSIN
 IOWA | MISSOURI
 NEBRASKA

Mark	Revision	Date	By

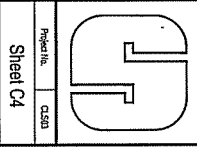
Engineer: _____
 Checked By: _____
 Date: 08-02-2011
 Project No: CL503

Scale: 1" = 30'
 Field Dc: _____
 Pj: _____

Sheet C3



Name.dwg



ATTIC ANGEL PLACE - ADDITION & RENOVATION

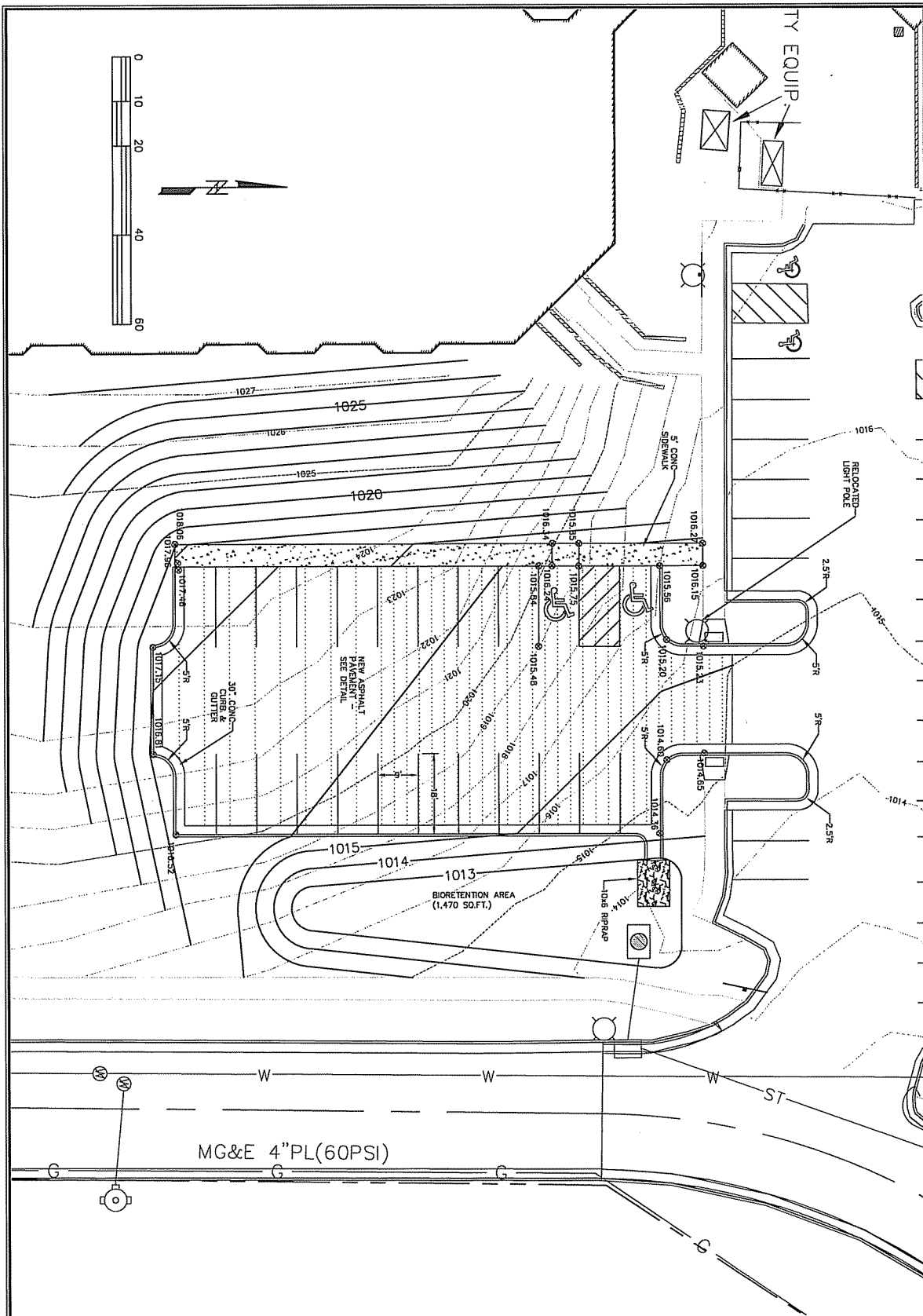
DEMOLITION PLAN

SNYDER & ASSOCIATES

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-835-0444

SOUTH DAKOTA | WISCONSIN
IOWA | MISSOURI
NEBRASKA

Mark	Revision	Date	By
Engineer	Checked By:	Scale: 1" = 20'	
Technician:	Date: 08-02-2011	Field Bk:	Pg:
Project No: CL503		Sheet C4	



Name.dwg

Project No. CS80
 Sheet C5

ATTIC ANGEL PLACE - ADDITION & RENOVATION

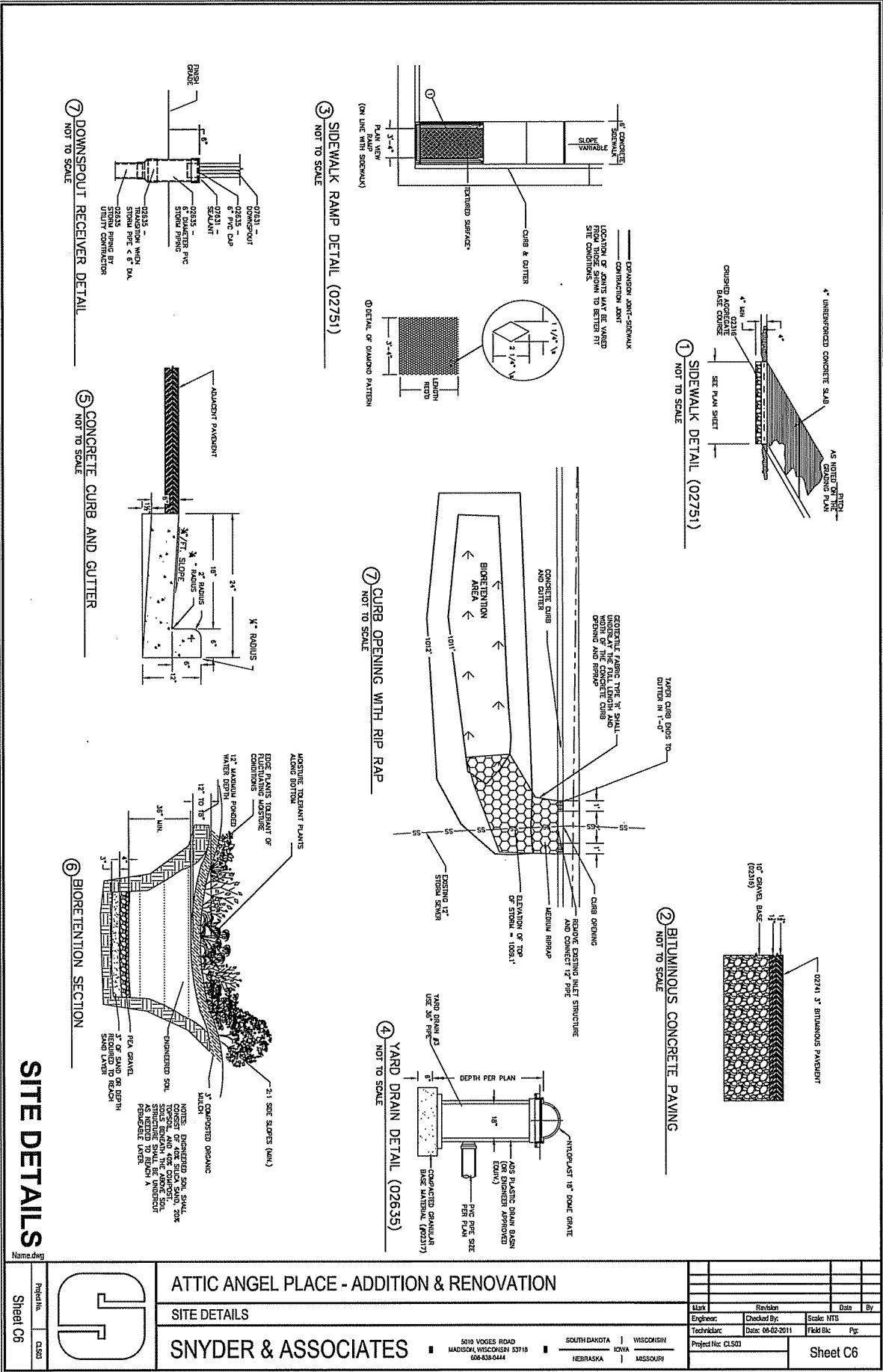
SITE & GRADING PLAN

SNYDER & ASSOCIATES

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-438-0444

SOUTH DAKOTA | WISCONSIN
 IOWA | MISSOURI
 NEBRASKA

Mark	Revision	Date	By
Engineer:	Checked By:	Scale: 1" = 20'	
Technician:	Date: 08-02-2011	Field Etc:	Pp:
Project No: XXX		Sheet C5	



① SIDEWALK DETAIL (02751)
NOT TO SCALE

② BITUMINOUS CONCRETE PAVING
NOT TO SCALE

③ SIDEWALK RAMP DETAIL (02751)
NOT TO SCALE

④ YARD DRAIN DETAIL (02655)
NOT TO SCALE

⑤ CONCRETE CURB AND GUTTER
NOT TO SCALE

⑥ BIORETENTION SECTION
NOT TO SCALE

⑦ CURB OPENING WITH RIP RAP
NOT TO SCALE

1" CONCRETE SIDEWALK

CONCRETE JOINT-SIDEWALK
CONCRETE JOINTS MAY BE WAVED
DOWN TO BETTER FIT
SITE CONDITIONS

4" UNADORNED CONCRETE SLAB
AS NOTED ON THE
GENERAL NOTES

1/2" CURB & GUTTER

10' WIDE
10' DEEP
1/2" RIP RAP
1/2" CURB & GUTTER

12" GRAVEL BASE (02219)

2711 3" BITUMINOUS PAVEMENT

PLAN VIEW
(ON LINE WITH SIDEWALK)

1 1/4" RADIUS
2 1/4" RADIUS

CONCRETE CURB AND GUTTER
GEOTEXTILE FABRIC TYPE "H" SHALL
BE INSTALLED UNDER THE CURB AND
WITHIN OF THE CONCRETE CURB
OPENING AND BRIDGE

EXISTING 12" STORM SEWER
ELEVATION OF TOP OF STORM = 1008.1'

RAISE EXISTING INLET STRUCTURE
AND CONNECT 12" PIPE

YARD DRAIN 18" DEEP GRAVE
DEPTH PER PLAN

USE 12" RIGID DRAIN BASKET
(SEE SCHEDULE APPROVED
EQUIV.)

PIPE FREE SIZE
PER PLAN

COMPACTED GRANULAR
BASE MATERIAL (02317)

DOWNSPOUT
DOWNSPOUT
6" DIAMETER PVC
SEALANT
02315 -
STORM PIPE < 6" DIA.
TRANSITION WHEN
STORM PIPE BY
UTILITY CONTRACTOR

ADJACENT PARADELT
1/4" RADIUS
3/4" SLOPE
18" RADIUS
6" RADIUS

HOSTILE TOXICANT PLANTS
ALONG BOUNDARY
EDGE PLANTS TOXICANT OF
CONCRETE WASTEWATER
12" MAXIMUM PONDING
WATER DEPTH
12" TO 18"

21:1 SIDE SLOPE (MIN.)

3/8" MIN.

12" TO 18"

18"

18"

18"

DOWNSPOUT RECEIVER DETAIL
NOT TO SCALE

CONCRETE CURB AND GUTTER
NOT TO SCALE

BIORETENTION SECTION
NOT TO SCALE

CURB OPENING WITH RIP RAP
NOT TO SCALE

BITUMINOUS CONCRETE PAVING
NOT TO SCALE

SIDEWALK RAMP DETAIL
NOT TO SCALE

YARD DRAIN DETAIL
NOT TO SCALE

CONCRETE CURB AND GUTTER
NOT TO SCALE

BITUMINOUS CONCRETE PAVING
NOT TO SCALE

ATTIC ANGEL PLACE - ADDITION & RENOVATION

SITE DETAILS

SNYDER & ASSOCIATES

5019 VOGES ROAD
MADISON WISCONSIN 53718
608-839-0144

SOUTH DAKOTA
IOWA
MISSOURI
NEBRASKA

Mark	Revised	Date	By

Project No: CL503

Engineer: [Signature]

Checked By: [Signature]

Date: 08-02-2011

Field EIC: [Signature]

Scale: NTS

Sheet C6

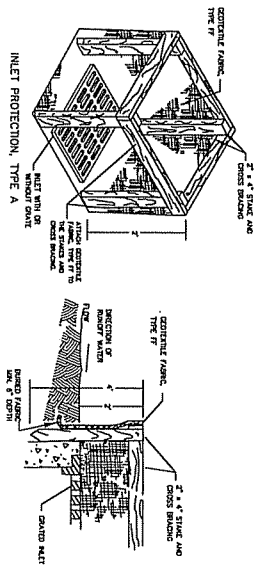
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Field EIC: [Signature]

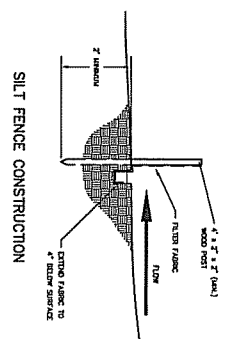
Project Name: CL503

Field EIC: [Signature]

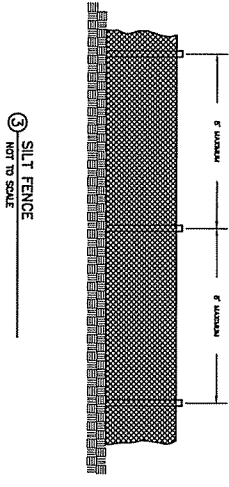
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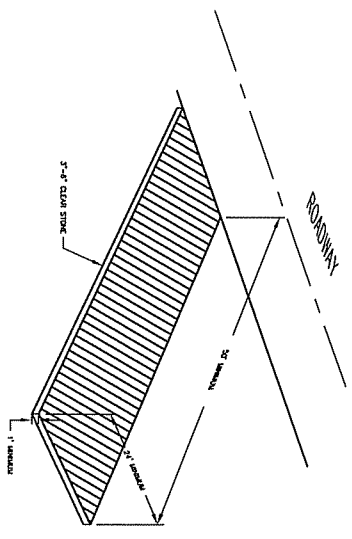
① INLET PROTECTION, TYPE A
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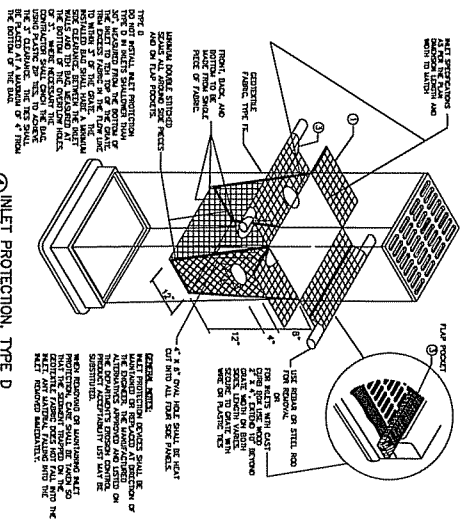
SILT FENCE CONSTRUCTION



③ SILT FENCE
NOT TO SCALE



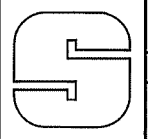
② STONE CONSTRUCTION ENTRANCE
NOT TO SCALE



④ INLET PROTECTION, TYPE D
NOT TO SCALE

EROSION CONTROL DETAILS

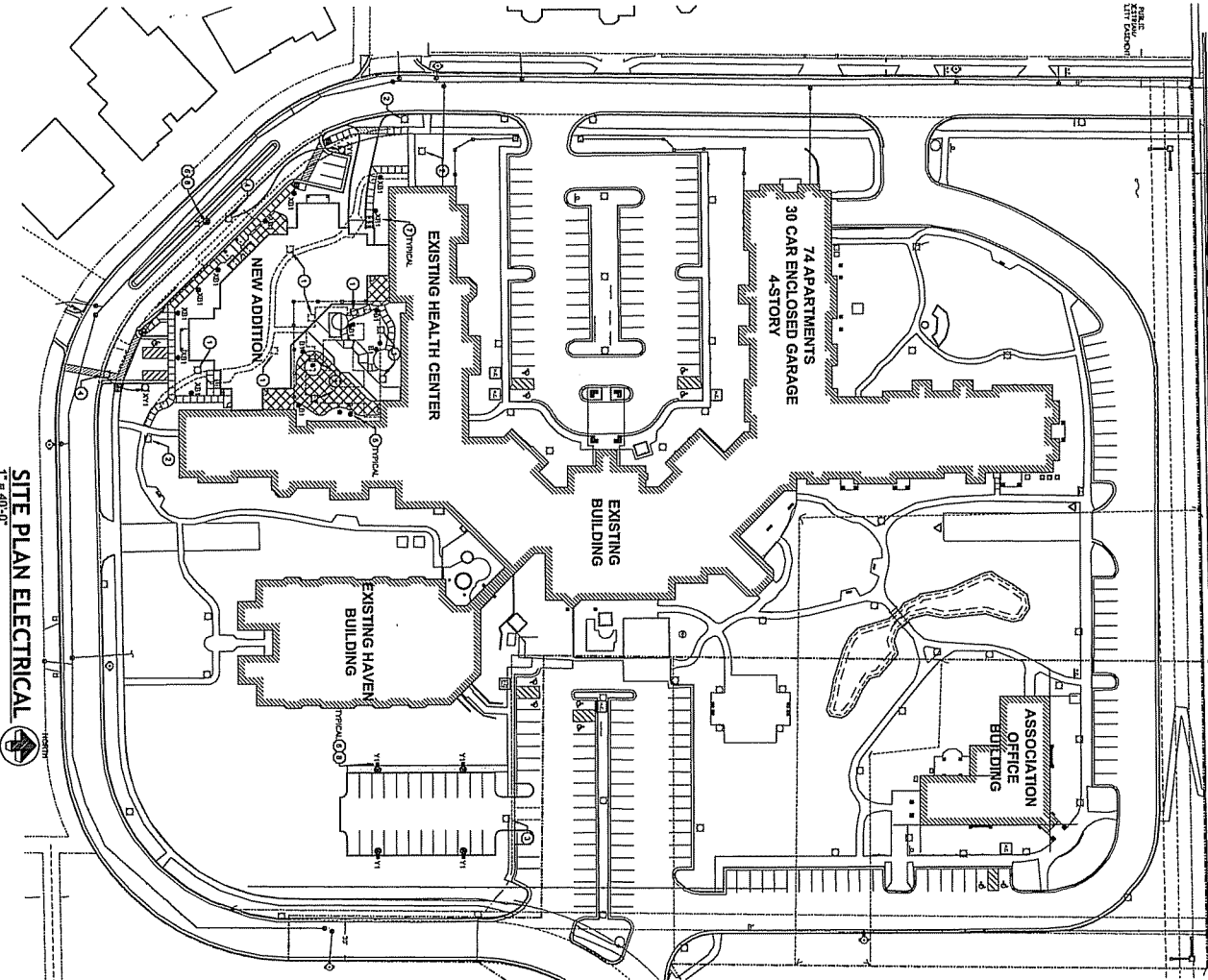
Name.dwg
Project No. 0350
Sheet C7



ATTIC ANGEL PLACE - ADDITION & RENOVATION
EROSION CONTROL DETAILS
SNYDER & ASSOCIATES
5010 WIGES ROAD
MADISON, WISCONSIN 53718
608-835-0444
SOUTH DAKOTA | WISCONSIN
IOWA | MISSOURI
NEBRASKA | MISSOURI

Mark	Revision	Date	By

Engineer: _____ Checked By: _____ Scale: NTS
 Technician: _____ Date: 08-02-2011 Field BC: _____ Pg: _____
 Project No: CL503
 Sheet C7



SITE PLAN ELECTRICAL
1" = 40'-0"

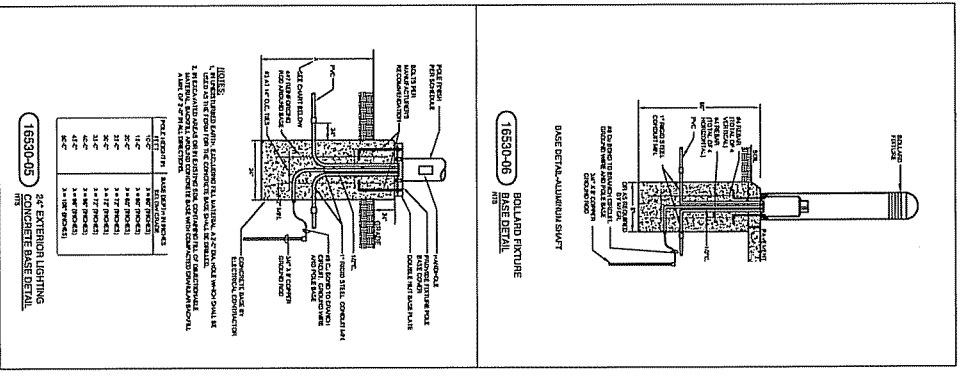
- PLAN NOTES:**
- EXISTING BUILDING FIXTURES TO BE RELOCATED AND REUSED AT MAIN ENTRANCE AND SIDEWALK.
 - EXISTING FIXTURES TO BE RELOCATED TO REPAIR DEFECTS OR REPAIRS.
 - EXISTING FIXTURES AND FIXTURES TO BE RELOCATED TO REPAIR DEFECTS OR REPAIRS.
 - EXISTING FIXTURES TO BE RELOCATED TO PROVIDE SUFFICIENT LIGHTING ON SIDEWALK.
 - EXISTING FIXTURES TO BE RELOCATED TO PROVIDE SUFFICIENT LIGHTING ON SIDEWALK.
 - PROVIDE CONDUIT BASED FOR TYPE 60 BOLLARD FIXTURES FOR DETAIL (18330-05).
 - TYPE 60 BOLLARD FIXTURES ARE EXISTING BOLLARDS RELOCATED FROM CONCRETE AREA AND REUSED WHERE SHOWN.
 - FIXTURES FOR TYPE 60 BOLLARD FIXTURES TO BE 12" WITH 4" CONCRETE BASE, TYPICAL FOR ALL V.I.

ATTIC ANGEL'S FIXTURE SCHEDULE

TYPE	DESCRIPTION	QTY	UNIT PRICE	TOTAL	DATE	REVISIONS
B1	4" RELOCATING BOLLARD	1	150.00	150.00		
Y1	EXISTING POLE MOUNTED SINGLE HEAD FIXTURE	1	150.00	150.00		
Z01	EXISTING BOLLARD	1	150.00	150.00		
YV1	EXISTING POLE MOUNTED SINGLE HEAD FIXTURE	1	150.00	150.00		

PLAN NOTES:

- FIXTURES TO BE RELOCATED WITH CONCRETE BASES TO BE RELOCATED FROM TO CONCRETE.
- EXISTING FIXTURES TO BE RELOCATED, RELOCATED AND REUSED ON SITE. SEE THE PLAN FOR NOTES.



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E101
DATE: 8-31-11
SHEET

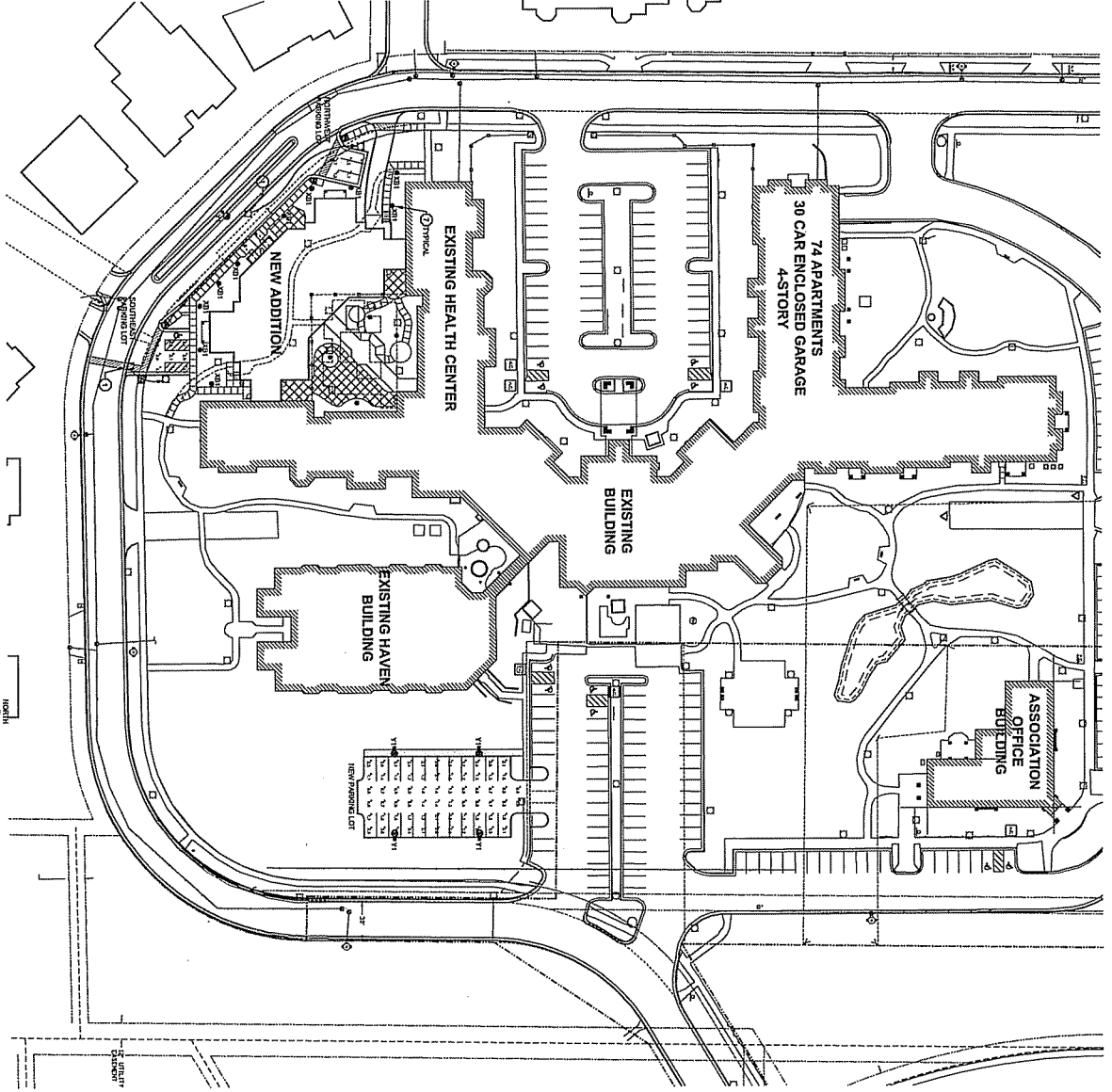
**REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE**
8301 OLD SAUK ROAD,
MIDDLETON, WISCONSIN 53562

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REVISIONS

4

SITE PLAN LIGHTING PHOTOMETRICS



PLAN NOTES

1. THIS SITE PLAN IS FOR THE RELOCATION TO THE ABOVE SHOWN, EXISTING AND PROPOSED LIGHTING FIXTURES TO THE NEW FACILITY. PROVIDE NEW EQUIPMENT BASE, CEILING AND MOUNTING FIXTURES AS REQUIRED. THESE SHALL BE OF THE FOLLOWING TYPE: [SPECIFIC TYPE] MANUFACTURED BY [SPECIFIC MANUFACTURER].
2. THE ABOVE FIXTURES ARE EXISTING BUILDINGS RELATED FROM THE COMMUNITY LIVING AREA AND INCLUDED IN THE EXISTING LIGHTING PLAN. PROVIDE NEW EQUIPMENT BASE, CEILING AND MOUNTING FIXTURES AS REQUIRED. THESE SHALL BE OF THE FOLLOWING TYPE: [SPECIFIC TYPE] MANUFACTURED BY [SPECIFIC MANUFACTURER].

STATISTICS									
Item	Symbol	Area	Perf	Beam	Height	Quantity	Wattage	Footcandle	Footcandle
EXISTING LOT	+	1.88	3.75	0.75	25.0	220	220	220	220
EXISTING PARKING	+	2.40	4.80	1.20	20.0	220	220	220	220
EXISTING DRIVEWAY	+	2.38	4.76	0.80	25.0	220	220	220	220
NEW PAVED LOT	+	2.38	4.76	0.80	25.0	220	220	220	220

PROJECT
11-101

DATE
8-31-11

SHEET
E101C

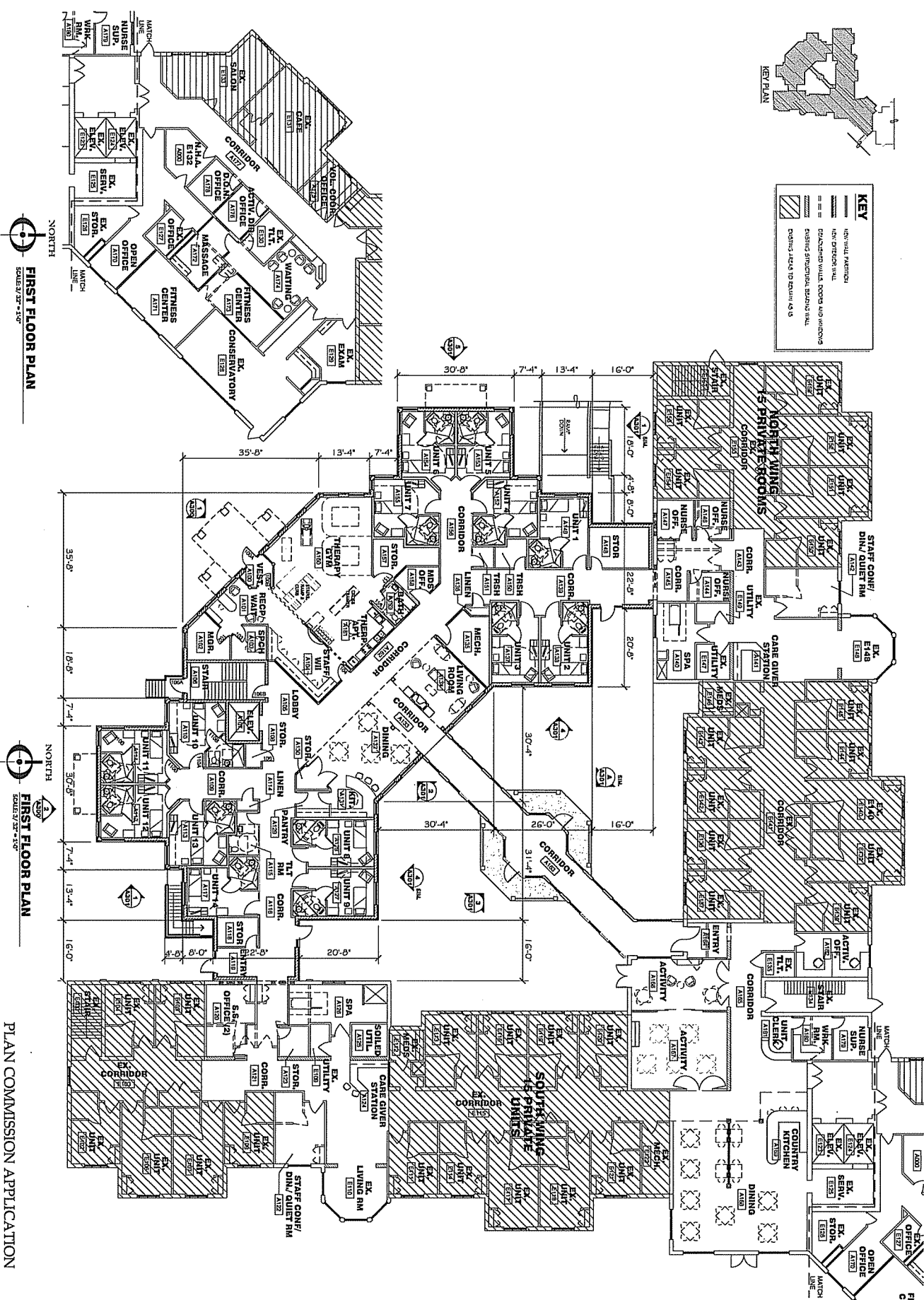
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REVISIONS



NORTH
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NORTH
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

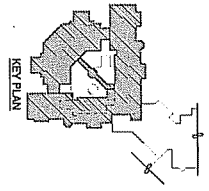
PLAN COMMISSION APPLICATION

PROJECT
11-1-101
DATE
08-03-11
SHEET
A201

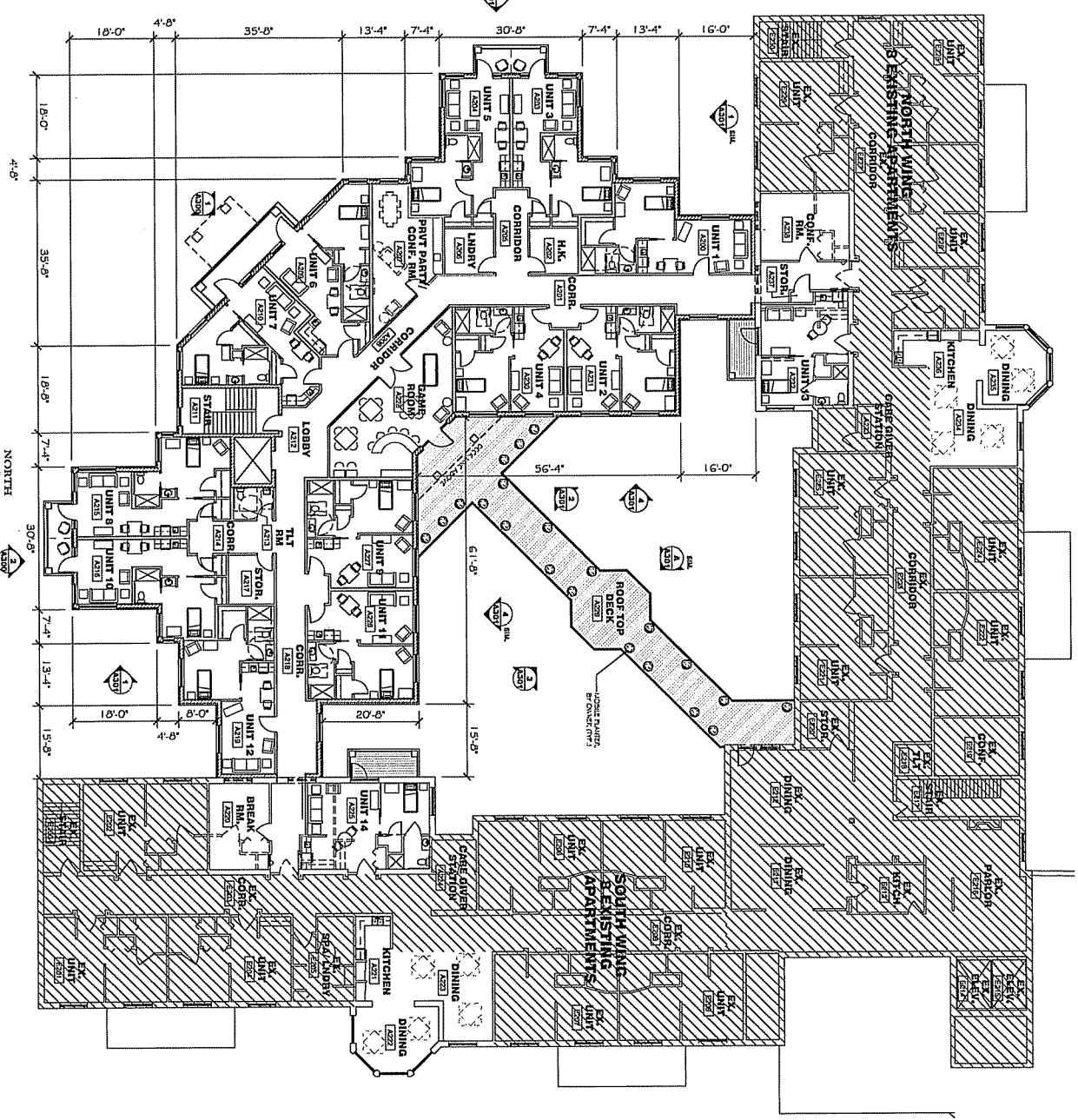
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KEY	
[Symbol]	NEW WALL PARTITION
[Symbol]	NEW EXTERIOR WALL
[Symbol]	EXISTING WALL, ROOF AND WINDOW
[Symbol]	EXISTING STRUCTURAL EXISTING WALL
[Symbol]	EXISTING HEAD TO REMAIN (A.S.)



SECOND FLOOR PLAN (THIRD FLOOR SIMILAR)
PLAN COMMISSION APPLICATION

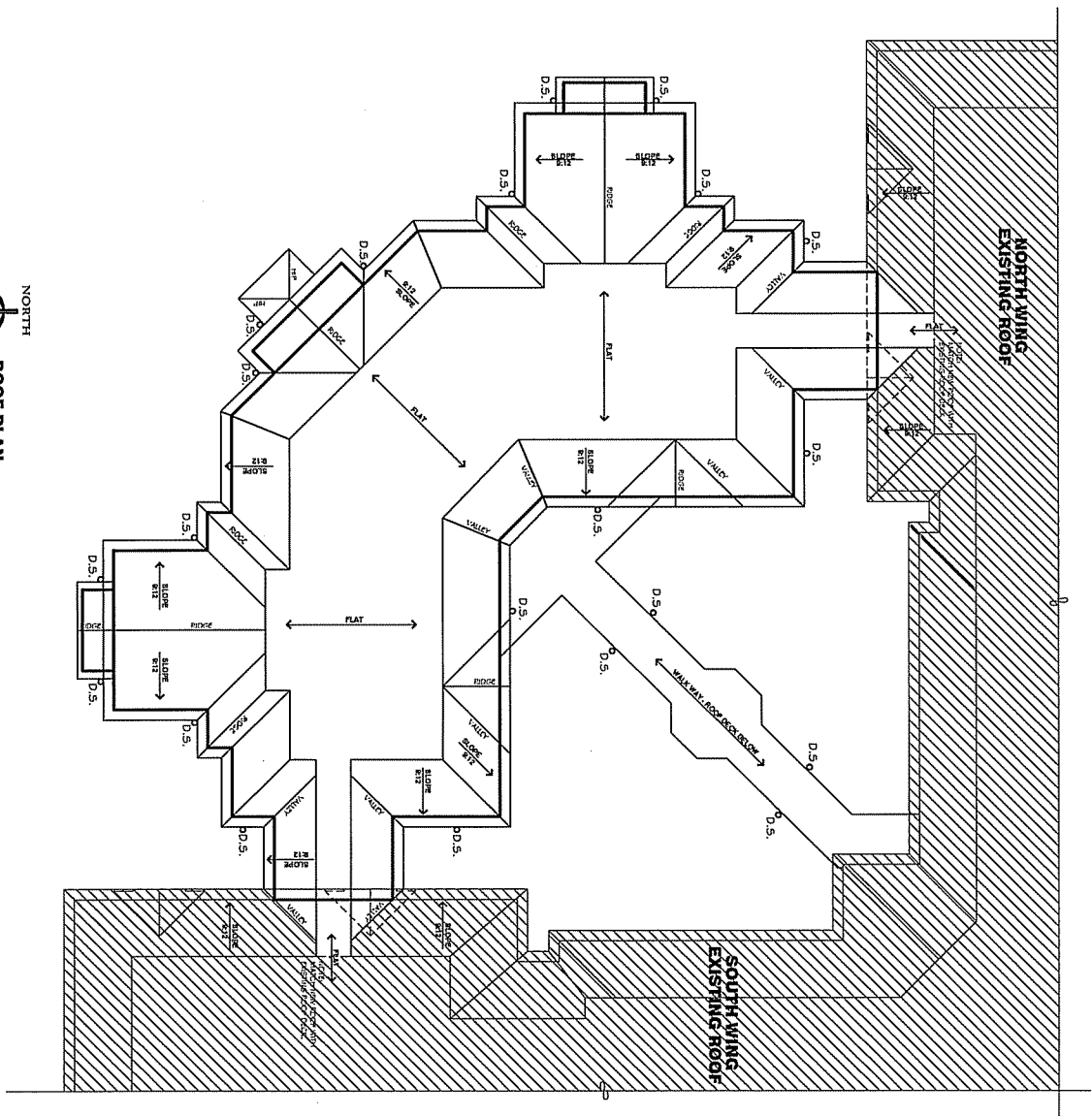
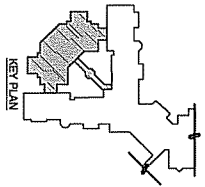
PROJECT 11-101
DATE 08-03-11
SHEET A202

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PLAN COMMISSION APPLICATION

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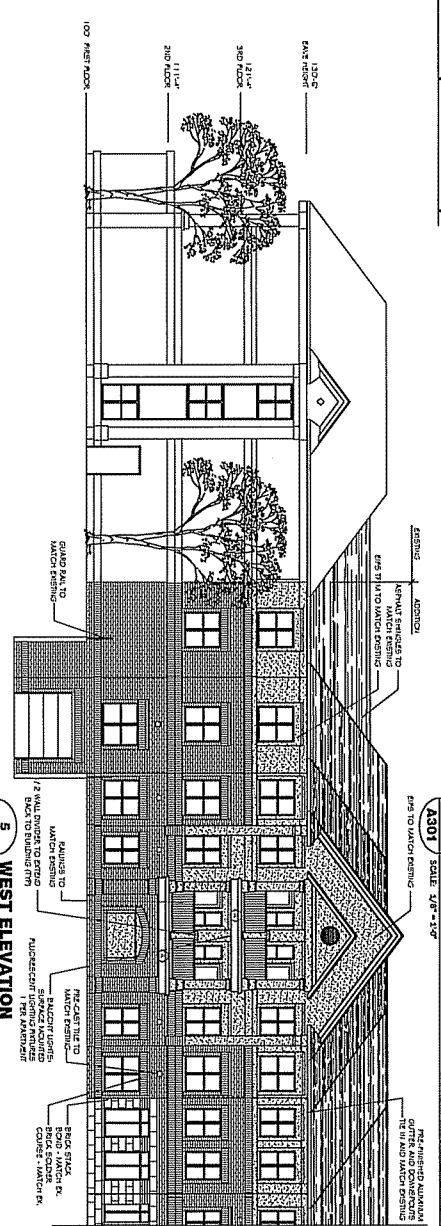
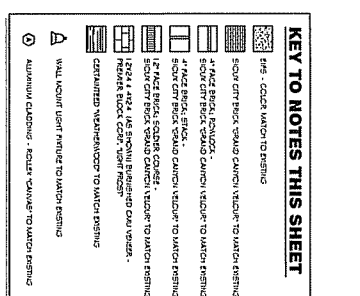
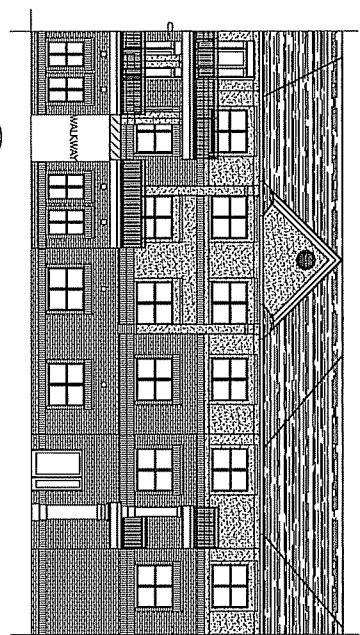
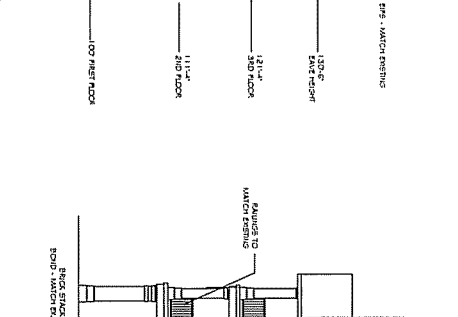
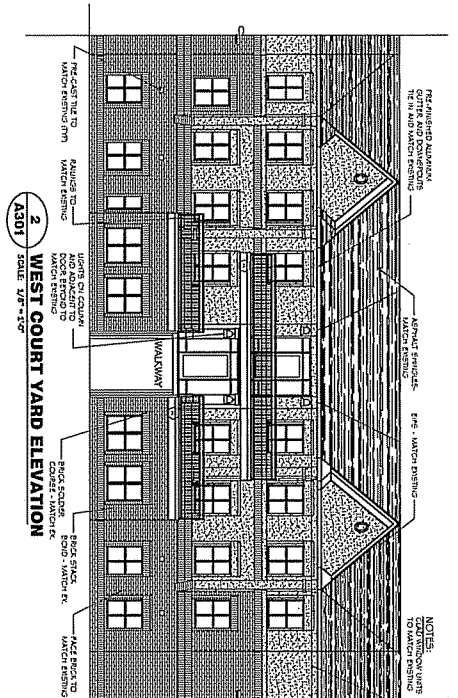
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DATE 08-03-11
PROJECT 11-101

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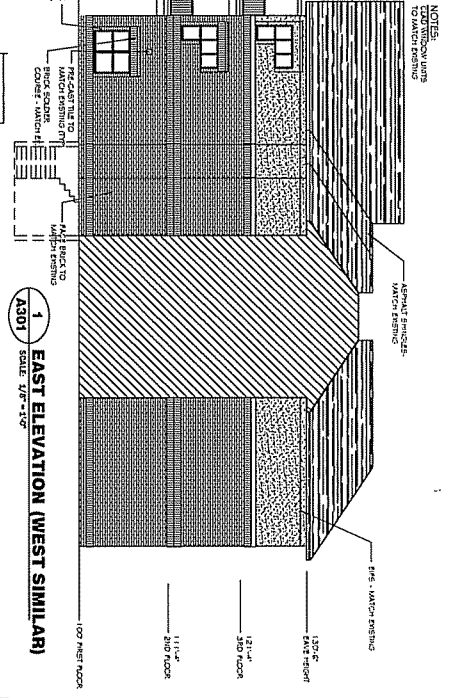
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REVISIONS



KEY TO NOTES THIS SHEET

- #15 - COLOR MATCH TO FINISH
- SANDY GRAY BRICK, SANDY GARNET VENEER TO MATCH FINISH
- 3\"/>



CITY OF MADISON	
NEW ADDITION PARKING STALLS	
LANDSCAPE POINTS REQUIREMENTS	
Number of Parking Stalls	20
Number of 2" Min. Cal. Trees Required	2
Number of Landscape Points Required	28
SOLUTION	
1. Canopy Trees (2-2 1/2' @ 35' Pr.)	20
TOTAL POINTS	28

Rowland Designation	Qty	Common Name	Planting Size
2	ABH	Australian Blue Hydrangea	2" B&B
1	ABT	Australian Bill Serviceberry (6)	1 3/4" B&B
3	AGS	Australian Gold Ginkgo	2" B&B
1	FCS	Forsythia (6)	1 3/4" B&B
2	FFC	Fraxino Excelsior	2" B&B
6	SHL	Shiloh Shrub	2" B&B

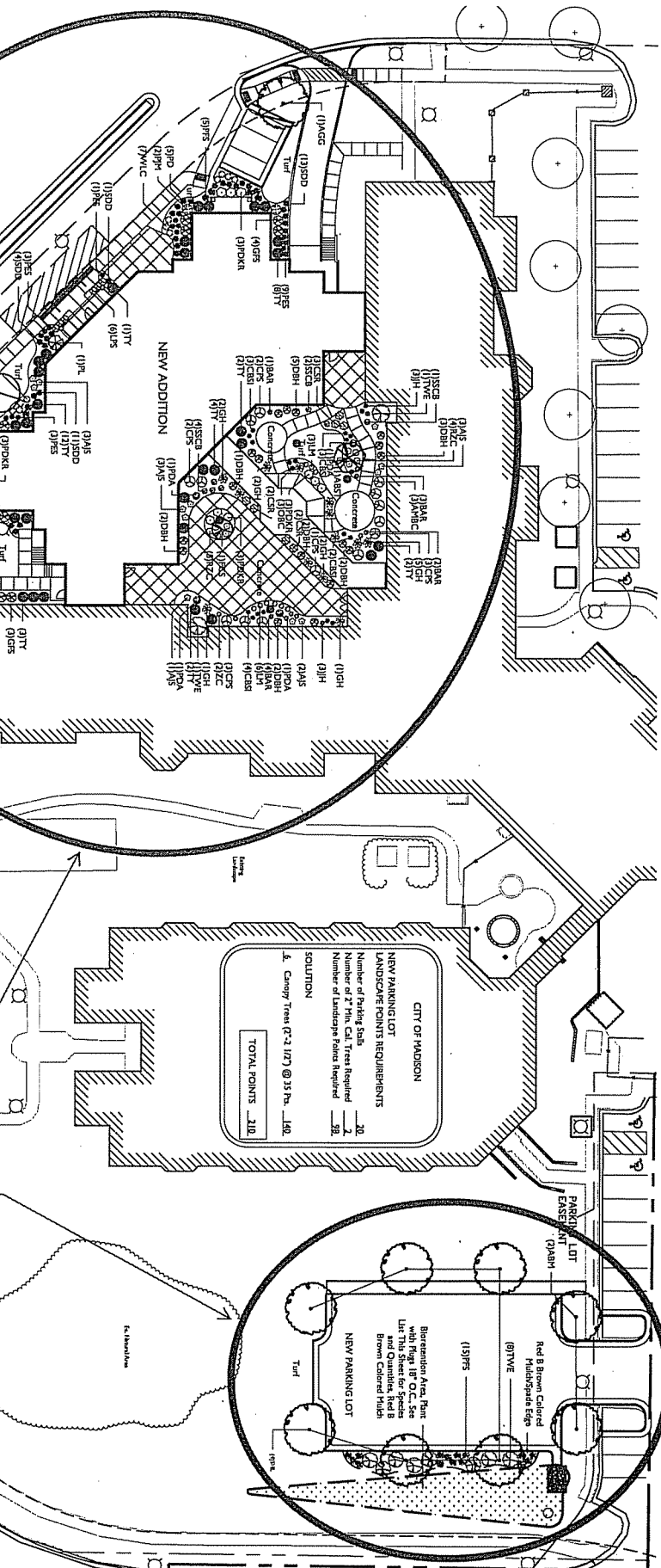
Rowland Designation	Qty	Common Name	Planting Size
11	CFS	Clay Spirea	#2 CONT.
17	DBH	Dwarf Bushclover	#2 CONT.
11	GFS	Golden Spirea	#2 CONT.
6	LPS	Little Prince Spirea	#2 CONT.
1	PL	Pink Lace	#2 CONT.
12	PKR	Pink Double Knop Oak Rose	#2 CONT.
4	PH	Pink Hawthorn	#2 CONT.
10	TVE	Texas Wreath Euonymus	#5 CONT.

Rowland Designation	Qty	Common Name	Planting Size
13	GN	Gaumnok Hosta	#1 CONT.
6	JH	June Hosta	#1 CONT.
9	LH	Lady's Mantle	#1 CONT.
3	ORC	Original Blue & Yellow Columbine	#1 CONT.
5	PD	Pink Dogwood	#1 CONT.
19	PF3	Purple Foliage Plant	#1 CONT.
4	PDA	Purple Dome Aster	#1 CONT.
14	PE5	Peppercorn Sedum	#1 CONT.
9	RZC	Roseum Cranesbill	#1 CONT.
26	SDD	Steel De-Oro Dogwood	#1 CONT.
7	SCB	Snowy Star Coral Bell	#1 CONT.
11	WLC	Walker's Low Canna	#1 CONT.
2	ZC	Zebra Canna	#1 CONT.

Rowland Designation	Qty	Common Name	Planting Size
26	SDD	Steel De-Oro Dogwood	#1 CONT.
7	SCB	Snowy Star Coral Bell	#1 CONT.
11	WLC	Walker's Low Canna	#1 CONT.
2	ZC	Zebra Canna	#1 CONT.

Rowland Designation	Qty	Common Name	Planting Size
34	TT	Tantrum Tree	15" B&B
15	AS	American Ivy	#1 CONT.
10	BAR	Barnum's Aster	#1 CONT.
12	CS	Charles's Brother Shrub	#1 CONT.

Rowland Designation	Qty	Common Name	Planting Size
34	TT	Tantrum Tree	15" B&B



ADDED PLANTINGS AND RECONFIGURED PLANTING PLAN

NEW PARKING LOT

CITY OF MADISON
 LANDSCAPE POINTS REQUIREMENTS
 Number of Parking Stalls: 20
 Number of 2" Min. Cal. Trees Required: 2
 Number of Landscape Points Required: 28
SOLUTION
 1. Canopy Trees (2-2 1/2' @ 35' Pr.) 20
TOTAL POINTS 28

CITY OF MADISON
 LANDSCAPE POINTS REQUIREMENTS
 Number of Parking Stalls: 20
 Number of 2" Min. Cal. Trees Required: 2
 Number of Landscape Points Required: 28
SOLUTION
 1. Canopy Trees (2-2 1/2' @ 35' Pr.) 20
TOTAL POINTS 28

GENERAL NOTES

A) All beds to receive a mixture of recycled mulch, colored brown spread to 3" depth over pre-emergent herbicide.

B) Individual trees found along perimeter of property as well as those found within lawn areas to receive brown colored mulch 1/2" consisting of a mixture of recycled mulch, colored brown spread to a minimum 3" depth.

C) All beds to be edged with Valley View Black Diamond Vinyl Edging or equivalent.

D) Turf areas shall be fertilized and seeded at a rate of 1 lb. per 1,000 sq. ft.

E) Seed shall consist of the following mixture:
 20% Ryegrass
 20% Fescue
 20% Kentucky Bluegrass
 20% Perennial Ryegrass
 20% Paspalum

SCALE: 1/4" = 1'-0"

ATTIC ANGELS PLACE ADDITION
 ATTIC ANGELS CIRCLE
 MADISON, WISCONSIN

Checked by: RIC
 Drawn by: MRS
 Revised: 7/21/11
 Revised: 8/11/11
 Revised: 9/13/11

bluce company
 ARCHITECTS
 LANDSCAPE CONTRACTORS
 2800 WILSON STREET
 MADISON, WI 53705-0200
 TEL: (608) 835-7941
 FAX: (608) 835-8258

