

LAND USE APPLICATION LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Parcel # _____
Aldermanic district _____
Zoning district _____
Special requirements _____
Review required by _____
 UDC PC
 Common Council Other _____
Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 7941 Tree Lane
Title: Tree Lane Multifamily

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Stephen Smith **Company** Stephen Perry Smith Architects
Street address 215 N Water Street **City/State/Zip** Milwaukee, WI 53202
Telephone 424.277.9700 **Email** stephensmith@spsarchitects.com

Project contact person Diana Dyste **Company** CommonBond Communities
Street address 1080 Montreal Avenue **City/State/Zip** St Paul, MN 55116
Telephone 651.312.3349 **Email** diana.dyste@commonbond.org

Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Mixed-income senior housing community, on-site services, on-site property management office.

Scheduled start date February 2019 Planned completion date April 2020

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Land Use Application
- Letter of intent
- Legal description
- Pre-application notification
- Vicinity map
- Survey or existing conditions site plan
- Development plans
- Land Use Application Checklist (LND-C)
- Supplemental Requirements
- Electronic Submittal*

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udapplications@cityofmadison.com.

6. Applicant Declarations

- Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Colin Punt and miscellaneous staff Date 07.12.18

Zoning staff Colin Punt and miscellaneous staff Date 07.12.18

- Demolition Listserv
- Public subsidy is being requested (indicate in letter of intent)
- Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request.** List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Stephen Smith Relationship to property Architect

Authorizing signature of property owner _____ Date 07.17.18



CommonBond
COMMUNITIES

July 17, 2018

City of Madison...

**RE: Tree Lane Senior Apartments
Conditional Use Application
Letter of Intent**

Narrative description of proposal in detail

CommonBond Communities proposes the development of a new construction, 54-unit mixed-income senior housing community, complete with on-site services, on-site property management office, community rooms, underground parking, and outdoor green space. The property is located at 7941 Tree Lane in Madison, Wisconsin 53717, within an economically diverse location. Building and unit amenities include accessibility features, fully equipped kitchens, on-site management and services, security, card access entry, exterior green space, underground and surface parking, trash chute, community room, and computer lab.

Through this development, CommonBond Communities is able to provide affordable housing to an economically diverse senior resident population – 94% (51 of 54 units) of the units are reserved for households at 60% AMI or less, and the development has secured 8 project-based vouchers from Dane County Housing Authority, where residents will pay no more than 30% of their income towards rent.

The need for affordable senior housing is increasing throughout the country, and CommonBond has demonstrated extensive experience in both the ownership and management of communities similar to that which is proposed.

Existing site conditions

The existing site consists of an underutilized office building and parking lots.

Project schedule

Conditional Use application	July 2018
Close on financing/acquire land	December 2018
Existing building demo	February 2019
Site preparation and construction commencement	April 2019

Lease-up commencement	October 2019
Construction completion	April 2020
Lease-up complete	October 2020
Stabilization	January 2021

Phasing plan

The development will occur in one phase which includes demolition of the existing building, site preparation, and construction.

Proposed uses

The development includes one four-story multifamily housing community with underground parking. The development will service seniors ages 55+ with affordable housing in a mixed income community. The development will include onsite supportive services through CommonBond’s Advantage Services program and additional community development and programming for residents.

Hours of operation

Property Management and Advantage Services office hours will be formalized upon property operations, and are typically Monday through Friday 8am to 4:30pm.

Number of employees

Three total staff, including: one Property Manager, one advantage Services Coordinator, and one Maintenance Technician.

Gross square footage

Number of units and bedrooms

Unit Description	Income Limit	Number of Units
1BR	30%	3
1BR	50%	22
1BR (Project-Based Vouchers)	Residents pay no more than 30% of income towards rent	6
1BR	60%	11
1BR	Market Rate	3
2BR	50%	4
2BR (Project-Based Vouchers)	Residents pay no more than 30% of income towards rent	2
2BR	60%	3
Total		54

Public subsidy requested

Sources	Status	Total
---------	--------	-------

First Mortgage –IFF	*Committed	\$1,781,998
City of Madison – Affordable Housing Funds	*Committed	\$1,480,000
Madison Community Foundation	*Committed	\$50,000
Managing Member Equity	*Committed	\$100
Federal Home Loan Bank – Affordable Housing Program	*Committed	\$750,000
Dane County AHDF	Pending (application submitted June 2018)	\$550,000
WEDC Brownfields Grant	*Committed	\$332,000
Deferred Developer Fee	*Committed	\$268,799
Tax Credits - Limited Partner Equity (Wells Fargo)	*Committed	\$6,158,118
Total		\$11,371,015

Project team

Developer: CommonBond Communities
Architect: Stephen Perry Smith Architects
General Contractor: CatCon, LLC (Catalyst Construction)
Project Manager: Diana Dyste, Project Manager
Construction Project Manager: Tammie Fallon, Construction Project Manager, CommonBond Communities
Andy Reahm, President, Growth Werks, LLC

Project Oversight: Andy Hughes, Director of Real Estate Acquisition and Development
Bob Mueller, Director of Construction
Cecile Bedor, Executive Vice President of Real Estate

Operational Expertise: Lisa Wilcox-Erhardt, Executive Vice President of Housing and Services
Todd Eatmon, Vice President of Property Management
Jessie Hendel, Vice President of Advantage Services
Katie Haas, Director of Advantage Services

Plan Commission Demolition Permit Interested Parties Notification Form

(* indicates required field)

CONTACT INFORMATION

CONTACT NAME:*

Stephen Smith
FIRST NAME LAST NAME

CONTACT ORGANIZATION/COMPANY: Stephen Perry Smith Architects, Inc.

CONTACT ADDRESS LINE 1: 215 N. Water Street - Suite 250

CONTACT ADDRESS LINE 2:

CONTACT CITY: Milwaukee

CONTACT STATE: WI ▼

CONTACT ZIP CODE: 53202

CONTACT PRIMARY PHONE NUMBER: 4142779700 EXT:
ex: (###)###-####

CONTACT EMAIL: stephensmith@spsarchitects.com

DEMOLITION INFORMATION

ANTICIPATED DATE OF APPLICATION: April ▼ 1 ▼ 2019 ▼

TYPE OF BUILDING: two-story commercial office building
ex: single-family house, apartment building, commercial building

CITY ADDRESS OF BUILDING TO BE DEMOLISHED: 7941 Tree Ln Madison, WI
ex: I N Demolition St

ZIP CODE OF BUILDING TO BE DEMOLISHED: 53717

COMMENTS

COMMENTS: must be 500 characters or less
Proposed demolition of an existing vacant two story office building owned by the City of Madison for redevelopment into Affordable Low Income Senior Housing by Common Bond Communities.

SUBMIT NOTIFICATION REQUEST

CLEAR FORM

7941 TREE LANE DEMOLITION



VIEWING NORTH FROM SOUTH ACCESS ROAD



VIEWING NORTHEAST FROM SOUTH ACCESS ROAD

7941 TREE LANE DEMOLITION



VIEWING NORTHWEST FROM SOUTH ACCESS ROAD



VIEWING NORTHWEST FROM SOUTH ACCESS ROAD

7941 TREE LANE DEMOLITION



VIEWING SOUTHEAST FROM TREE LANE



VIEWING EAST FROM LEAF LANE

7941 TREE LANE DEMOLITION



VIEWING NORTHWEST FROM EAST ACCESS DRIVE

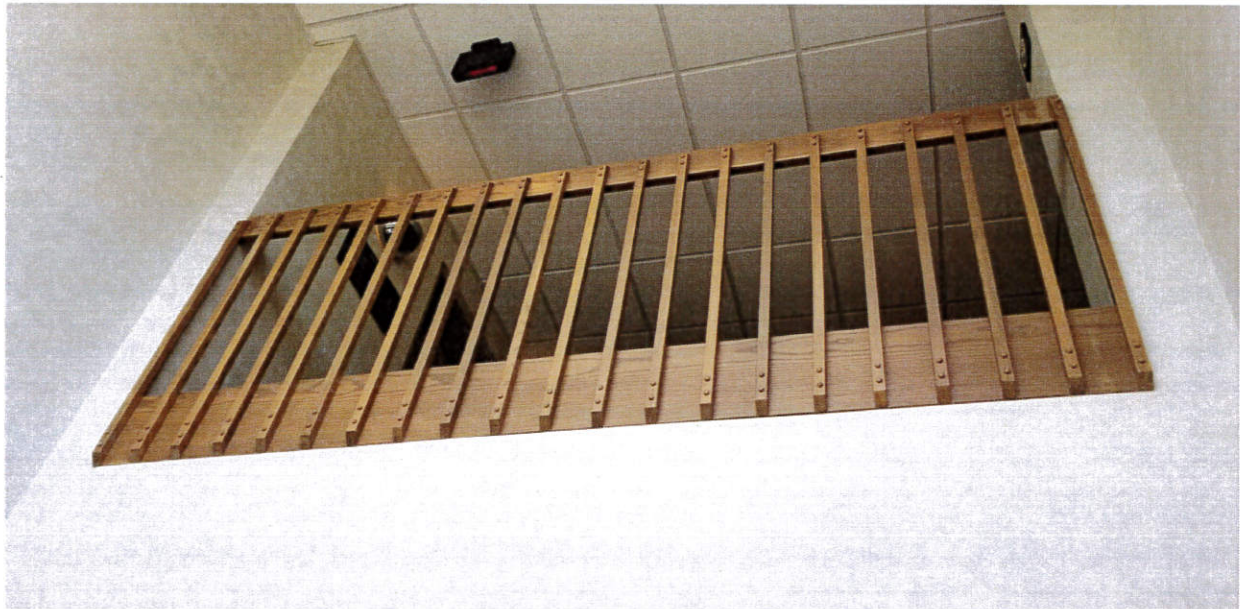


VIEWING NORTH FROM EAST ACCESS DRIVE

7941 TREE LANE DEMOLITION



VIEWING NORTH - ENTRANCE LOBBY



VIEWING NORTH - ENTRANCE LOBBY

7941 TREE LANE DEMOLITION



VIEWING NORTH - GROUND FLOOR CORRIDOR



VIEWING EAST - RESTROOM

7941 TREE LANE DEMOLITION



VIEWING NORTH - SECOND FLOOR LOBBY



VIEWING SOUTH - SECOND FLOOR LOBBY

PROJECT:

Tree Lane Senior Apartments

Madison, WI



215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com

PROJECT

TREE LANE
SENIOR
APARTMENTS
MADISON, WI

OWNER



CommonBond
COMMUNITIES

REVISIONS

NO. DESCRIPTION DATE

INFORMATION

PROJECT ARCHITECT SPS
PROJECT MANAGER
PROJECT NUMBER 908
ISSUED FOR MUNICIPAL SUBMITTAL
DATE 07.17.18

SHEET

TITLE PAGE

G000



NSPS-SERVER\Company\Final\Drawing\001\B\Common_Bond\008_Tree_Lane\008_Tree_Lane_01.rvt

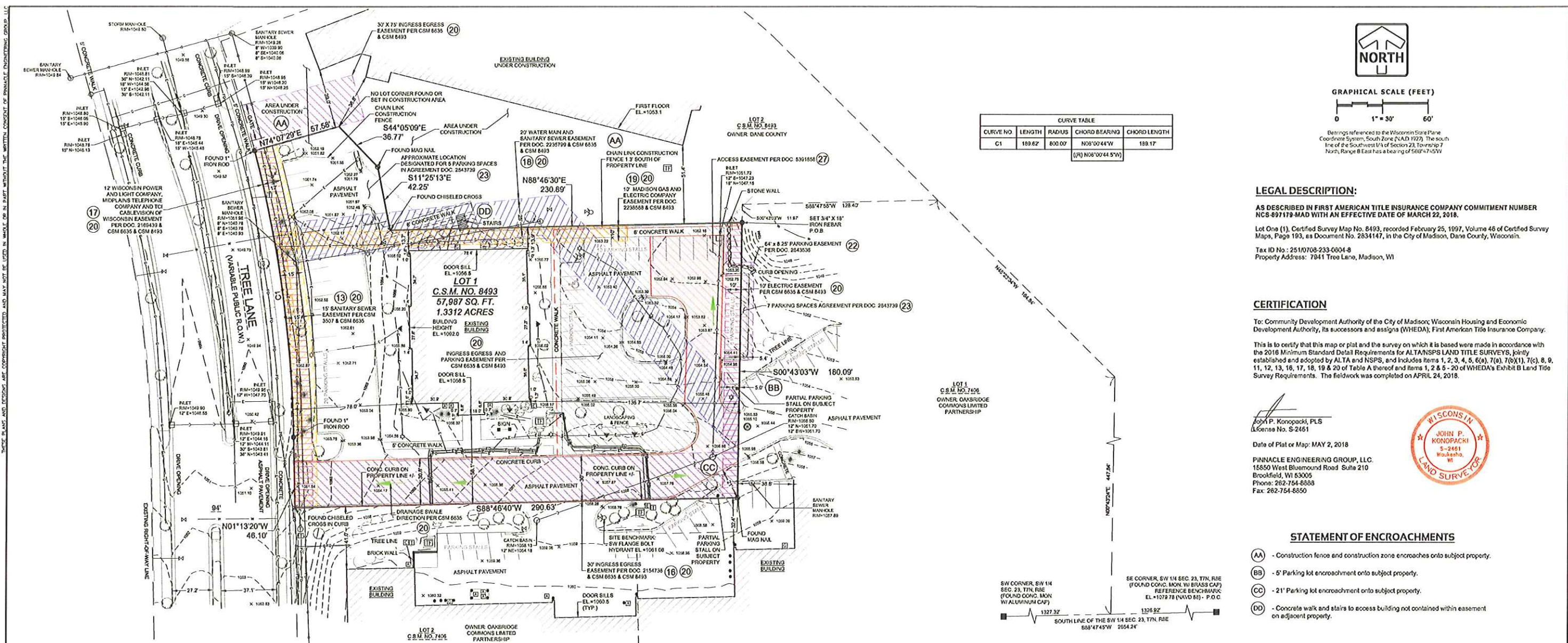
ISSUED FOR: MUNICIPAL SUBMITTAL

ARCHITECT:

STEPHEN PERRY SMITH ARCHITECTS, INC.
MILWAUKEE, WISCONSIN

SHEET INDEX

G000 TITLE PAGE	C5.5 SITE DETAILS
1 of 1 SURVEY	C6.0 SITE LIGHTING
C1.0 VICINITY PLAN	L1.0 LANDSCAPING PLAN
C1.1 NOTES	FIRE
C1.2 NOTES	A100 BASEMENT PLAN
C2.0 EXISTING SITE / DEMO PLAN	A101 1ST FLOOR PLAN
C2.1 PROPOSED SITE PLAN	A102 2ND/3RD/4TH FLOOR PLANS
C3.0 GRADING & EROSION CONTROL PLAN	A103 ROOF PLAN
C4.0 UTILITY PLAN	A401 BUILDING ELEVATIONS
C4.1 BIO-RETENTION BASIN DETAILS	A402 BUILDING ELEVATIONS
C5.0 EROSION CONTROL DETAILS	ENTRY PERSPECTIVE
C5.1 SANITARY SEWER DETAILS	NW PERSPECTIVE
C5.2 WATER DETAILS	SW PERSPECTIVE
C5.3 STORM SEWER DETAILS	NE PERSPECTIVE
C5.4 SITE DETAILS	SE PERSPECTIVE



CURVE NO	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	199.62	800.07	N08°00'44\"/>	

LEGAL DESCRIPTION:
 AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NCS-897179-MAD WITH AN EFFECTIVE DATE OF MARCH 22, 2018.
 Lot One (1), Certified Survey Map No. 8493, recorded February 25, 1997, Volume 46 of Certified Survey Maps, Page 193, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.
 Tax ID No.: 2510708-233-0604-8
 Property Address: 7941 Tree Lane, Madison, WI

CERTIFICATION
 To: Community Development Authority of the City of Madison, Wisconsin Housing and Economic Development Authority, its successors and assigns (WHEDA), First American Title Insurance Company.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS LAND TITLE SURVEYS, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11, 12, 13, 16, 17, 18, 19 & 20 of Table A thereof and items 1, 2 & 5 - 20 of WHEDA's Exhibit B Land Title Survey Requirements. The fieldwork was completed on APRIL 24, 2018.

John P. Konopacki, PLS
 License No. S-2461
 Date of Plat or Map: MAY 2, 2018
 PINNACLE ENGINEERING GROUP, LLC
 15850 West Bluemound Road, Suite 210
 Brookfield, WI 53005
 Phone: 262-754-8888
 Fax: 262-754-8850



STATEMENT OF ENCROACHMENTS

- (AA) - Construction fence and construction zone encroaches onto subject property.
- (BB) - 5' Parking lot encroachment onto subject property.
- (CC) - 21' Parking lot encroachment onto subject property.
- (DD) - Concrete walk and stairs to access building not contained within easement on adjacent property.

NOTES CORRESPONDING TO SCHEDULE B - II

- 1 - 3, 9 VISIBLE EVIDENCE SHOWN IF ANY
- 4 - 8, 10, 24 & 26 NOT SURVEY RELATED
11. General Development Plan recorded December 13, 1977, Volume 894 of Records, Page 58, as Document No. 1551730. Affects subject property but cannot be plotted.
12. Declaration of Covenants and Restrictions recorded April 11, 1979, Volume 1050 of Records, Page 750, as Document No. 1616522. Affects subject property but cannot be plotted.
13. Notes and other matters set forth on Certified Survey Map No. 3507. 15' Public Sanitary Sewer Easement as graphically shown on survey.
14. Underground Electric Easement granted to Wisconsin Power and Light Company recorded April 20, 1984, Volume 5563 of Records, Page 41, as Document No. 1628721. It is the surveyor's opinion the easement does not affect the subject property.
15. P.O.D. (S.I.P.) Plans recorded June 5, 1989, Volume 12908 of Records, Page 29, as Document No. 2144021. Alteration to an Approved and Recorded Specific Implementation Plan recorded July 28, 1989, Volume 13108 of Records, Page 70, as Document No. 2152669. Alteration to an Approved and Recorded Specific Implementation Plan recorded January 21, 1992, Volume 17658 of Records, Page 36, as Document No. 2316821. Affects subject property but cannot be plotted.
16. Non-exclusive perpetual easement for ingress and egress as set forth in instrument recorded August 7, 1989, Volume 13151 of Records, Page 1, as Document No. 2154738; ALSO noted on Certified Survey Map No. 8493. Ingress Egress Easement graphically shown on survey.
17. Underground Electric Easement granted to Wisconsin Power and Light Company recorded Volume 13481 of Records, Page 21, as Document No. 2169439; ALSO noted on Certified Survey Map No. 6635. 12' Wisconsin Power and Light Company Easement and Mid-Plains Telephone Company and TCI Cablevision of Wisconsin Easement as graphically shown on survey.
18. Perpetual Easement for Public Water Main and Sanitary Sewer Purposes recorded November 29, 1990, Volume 15107 of Records, Page 41, as Document No. 2235799; ALSO noted on Certified Survey Map No. 6635 and Certified Survey Map No. 8493. 25' Water Main and Sanitary Sewer Easement as graphically shown on survey.
19. Right-of-Way Gas Main recorded December 19, 1990, Volume 15189 of Records, Page 69, as Document No. 2235588; ALSO noted on Certified Survey Map No. 8493. 10' Madison Gas and Electric Company Easement as graphically shown on survey.
20. Easements, Drainage Swale restrictions, and other matters as set forth on Certified Survey Map No. 6635 and Certified Survey Map No. 8493. Easements and Drainage Swales graphically shown on survey.
21. Declaration of Conditions and Covenants recorded February 3, 1992, Volume 17772 of Records, Page 33, as Document No. 2319948. Affects subject property but cannot be plotted.
22. Easement for Parking recorded April 7, 1997, as Document No. 2843538. 64' x 8 25' Easement for 7 Parking Spaces. Only 6 parking spaces observed during the process of collecting the field work as graphically shown on survey.
23. Agreement recorded April 8, 1997, as Document No. 2843739. Agreement for a total of 12 Parking Spaces for the benefit and sole use of the subject property. Seven (7) Parking Spaces to be constructed along the east portion of the subject property - Only 6 parking spaces observed during the process of collecting the field work as graphically shown on survey. Five (5) parking spaces to be constructed northerly of the existing building - No parking spaces observed in the designated area as graphically shown on survey.
25. Assignment of Restriction recorded April 11, 2018, as Document No. 5214408. Affects subject property but cannot be plotted.
27. Access Easement recorded February 27, 2018, as Document No. 6391858. Access Easement for fire lane access and vehicular and pedestrian egress and ingress as graphically shown on survey.

TABLE A

1. Monuments placed at the corners of the subject property boundary.
2. Address (as disclosed in title commitment): 7941 Tree Lane, Madison, WI.
3. Flood Zone Classification: The property lies within Zone "X" of the Flood Insurance Rate Map Community Panel No. 550250395G. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
4. Land Area: 57,987 Square Feet (1.3312 Acres).
5. Vertical Datum: North American Vertical Datum 1988 (NAVD 88). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the southeast corner of the Southwest 1/4 Section 23, Town 7 North, Range 8 East, Elevation = 1079.78.
6. Letter Zoning Report not supplied by client at time of survey.
7. (a) The exterior dimensions of all buildings at ground level graphically shown on survey.
(b) (1) The exterior building square footage is 7,860 SQ. FT.
(c) Measured height of buildings graphically shown on survey.
8. Substantial features observed in the process of conducting the survey graphically shown on survey.
9. There are 38 regular parking spaces, 6 partial parking stalls covered by easement and 1 disabled parking space clearly designated on the surface of the subject property. Total parking = 45 stalls. There are 2 partial parking stalls which encroach onto the subject property.
11. Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20181510139 with a clear date of APRIL 16, 2018. The location and size of underground structures and utilities shown herein have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC, does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
12. WHEDA requirements shown on Survey.
13. Names of adjoining owners according to current public records. Shown on Survey.
14. The northwest portion of the property is currently fenced off with chain link construction fencing and is included in the construction area of the adjacent property to the north.
17. No evidence of changes in street right of way lines and street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
18. No wetlands were delineated or observed in the process of conducting the fieldwork.
19. Other easements as disclosed in title graphically shown on survey.
20. Certificate of Professional Liability Insurance furnished upon request and in effect throughout the contract term.

WHEDA

1. Project Name: Tree Lane Senior Apartments
2. Project Location: 7941 Tree Lane, Madison, WI.
3. Project Number.
4. Housing Units.
5. Survey Scale: 1"=30'
6. Present Owners: Community Development Authority of the City of Madison
7. Property Possession: Community Development Authority of the City of Madison
8. Legal Description: Lot One (1), Certified Survey Map No. 8493, recorded February 25, 1997, Volume 46 of Certified Survey Maps, Page 193, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.
9. Subdivision Plat: N/A
10. Certified Survey Map: Certified Survey Map No. 8493, recorded February 25, 1997, Volume 46 of Certified Survey Maps, Page 193, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.
11. Topography: As graphically shown on survey.
12. Foundation Elevation: N/A
13. Foundation Walls: N/A
14. Encroachments: graphically shown on survey, see "Statement of Encroachments".
15. Access: As graphically shown on survey.
16. Surface Water and Drainage: As graphically shown on survey.
17. Cemetery: N/A
18. Adjacent Structures: As graphically shown on survey.
19. Wetlands: N/A
20. Zoning Report: Letter Zoning Report not supplied by client at time of survey.

GENERAL NOTES

1. Right of Way widths and locations are based on Certified Survey Map No. 8493 & 3849.
2. Existing vehicular access to this subject property is via Tree Lane being a public right of way.
3. At the time of this survey the subject property contained snow covered ground conditions. Pinnacle Engineering Group, LLC takes no responsibility for any improvements that can not be located based on a reasonable visual observation.

VICINITY MAP
 SCALE 1"=1000'

LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	SANITARY MANHOLE	▲	FIBER OPTIC MARKER	⊥	SIGN
⊙	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VALVE	□	MAIL BOX
⊙	STORM INLET	□	TELEPHONE PEDESTAL	⊥	FLAG POLE
⊙	CLEANOUT	⊙	TELEPHONE MANHOLE/VALVE	⊙	BASKETBALL HOOP
⊙	CATCH BASIN	⊙	TELEPHONE MARKER	⊙	BOLLARD
⊙	LATERAL	⊙	TRANSFORMER	⊙	CROSS CUT
⊙	UNKNOWN MANHOLE	⊙	ELECTRIC METER/PEDESTAL	⊙	MAG NAIL
⊙	MONITORING WELL	⊙	ELECTRIC MANHOLE/VALVE	⊙	IRON REBAR/ROD
⊙	HYDRANT	⊙	CABLE TV RISER/BOX	⊙	SECTION MONUMENT
⊙	WATER VALVE	⊙	CABLE TV MANHOLE/VALVE	⊙	BENCH MARK
⊙	DOWN SPOUT	⊙	GAS VALVE	⊙	CONIFER TREE
⊙	BURSTER VALVE	⊙	GAS METER	⊙	DECIDUOUS TREE
⊙	WATER SHUT OFF	⊙	GAS METER	⊙	BUSH
⊙	STANDPIPE	⊙	AIR CONDITIONING UNIT	⊙	WETLAND SYMBOL
⊙	WATER MANHOLE	⊙	VENT	⊙	CL - CENTERLINE
⊙	FLOOD LIGHT	⊙	DIRECTIONAL ARROW	⊙	CONC - CONCRETE
⊙	LIGHT POLE	⊙	DUMPSTER	⊙	EL - ELEVATION
⊙	TRAFFIC SIGNAL	⊙	HANDICAP STALL	⊙	EXT - EXISTING
⊙	UTILITY POLE	⊙	SPOT ELEVATION	⊙	INV - INVERT
⊙	GUY WIRE	⊙		⊙	MON - MONUMENT
⊙		⊙		⊙	P.O.B - POINT OF BEGINNING
⊙		⊙		⊙	P.O.C - POINT OF COMMENCEMENT
⊙		⊙		⊙	R.O.W - RIGHT OF WAY
⊙		⊙		⊙	SEC - SECTION
⊙		⊙		⊙	SQ. FT. - SQUARE FEET
⊙		⊙		⊙	W - WITH
⊙		⊙		⊙	(R) - RECORDED AS
⊙		⊙		⊙	(U) - UNRECORDED AS

PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com
PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
 15850 W. BLUEMOUND ROAD
 BROOKFIELD, WI 53005
 (262) 754-8888

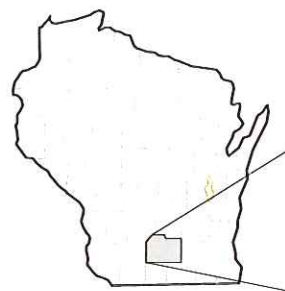
7941 TREE LANE
 LOT 1 OF C.S.M. NO. 8493, PART OF THE SW 1/4 OF THE SW 1/4
 SEC. 23, T7N, R8E, CITY OF MADISON, DANE COUNTY, WISCONSIN

ALTA/NSPS LAND TITLE SURVEY

REVISIONS

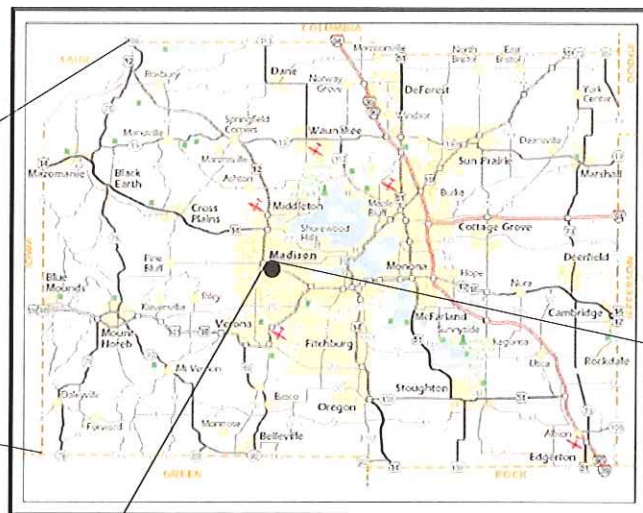
NO.	DATE	DESCRIPTION

SHEET **1** OF **1**
 SURVEY



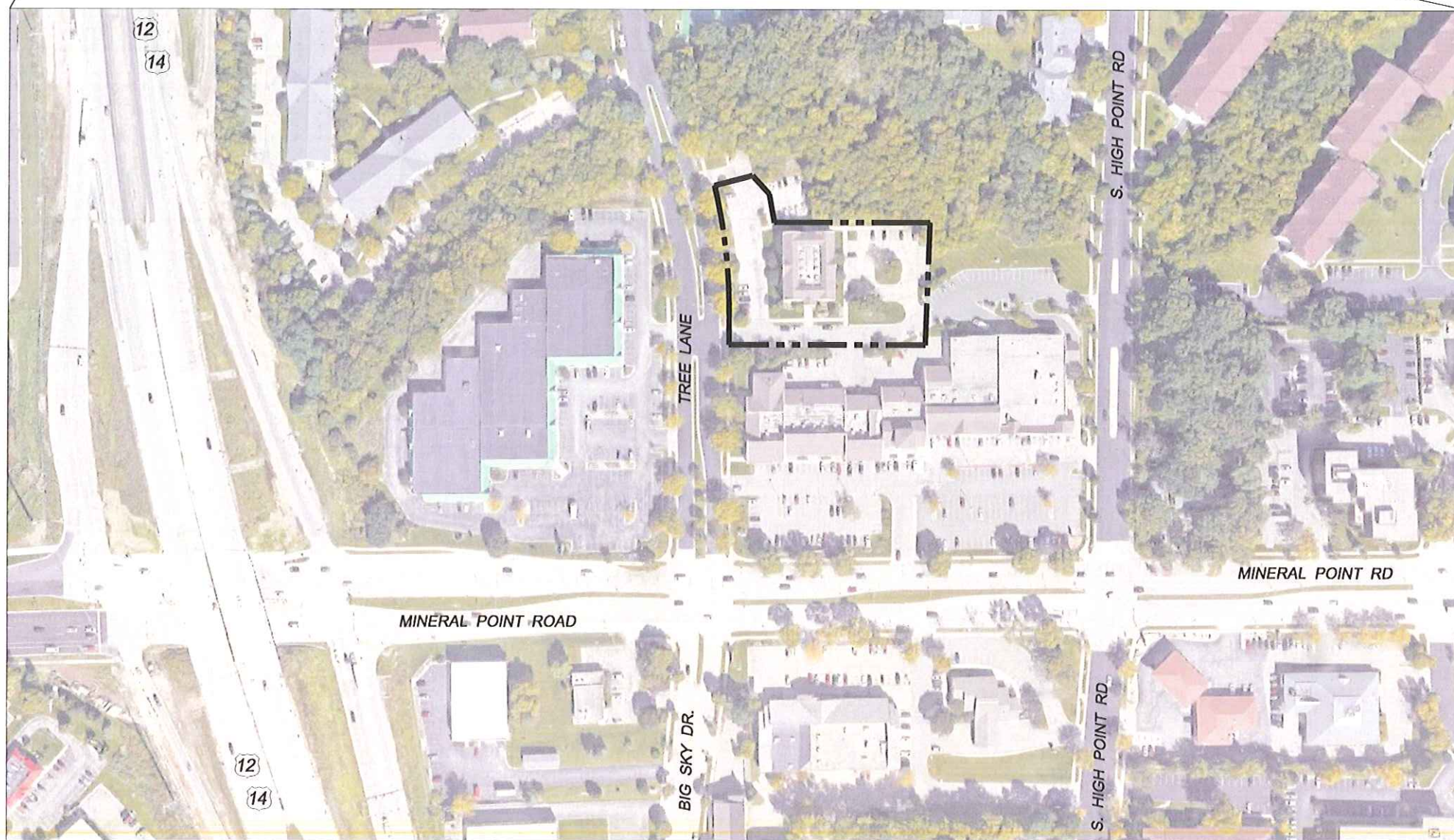
REGIONAL MAP

WISCONSIN



DANE COUNTY

DANE COUNTY, WISCONSIN



CITY OF MADISON

LOCATION MAP



TREE LANE SENIOR APARTMENTS

VICINITY PLAN

MADISON, WI

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-535-0444 | www.snyder-associates.com



C 1.0

MARK	REVISION	DATE	BY
	Checked By: SJA	Scale/NOTED	
	Engineer: SJA	Date: 7/19/2018	Field Bc
	Technician: MW	Project No: 118.0644.30	Page
FILE LOCATION: C:\Users\1021111111\OneDrive\Documents\CAD\DWG\118.0644.30_C1.0.dwg			

CONSTRUCTION SEQUENCE

1. INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL...

2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN...

3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED...

4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS...

5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION...

6. INSTALL SANITARY SEWER, WATER MAIN, & STORM SEWER.

7. COMPLETE FINAL GRADING FOR PARKING LOT & ROADWAY AND STABILIZE WITH GRAVEL.

8. COMPLETE FINAL GRADE OF THE SITE.

9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12...

10. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED...

11. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED ABOVE IN ITEM 11...

THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE CITY OF MADISON.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER.

MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30, TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE...

12. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.

13. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL...

14. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES...

EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND CITY OF MADISON EROSION CONTROL PERMIT...

2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.

3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD...

4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT...

5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD...

6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).

7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.21.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.

8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.

9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH...

10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.

11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED...

12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.

13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 106B.

14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM...

15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.

16. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.

17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.

18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE...

19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.

20. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1, USE CLASS I URBAN, TYPE A EROSION CONTROL MATTING. FOR SLOPES GREATER THAN 4:1 BUT LESS THAN 2.5:1, USE CLASS I URBAN TYPE B. FOR SLOPES GREATER THAN 2.5:1 USE CLASS I TYPE B...

21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. ELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.

22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.

23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.

24. WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.

25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

GENERAL CONDITIONS

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE CITY OF MADISON TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.

2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE CITY OF MADISON, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.

5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.

7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.

8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.

9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE CITY OF MADISON OR OTHER APPROPRIATE GOVERNMENT AGENCIES.

10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

GRADING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.

3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF CITY OF MADISON PERMITS.

4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT AT NO EXTRA COST TO THE OWNER.

5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.

6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.

7. ALL SPOT GRADES SHOWN ON PLAN ARE EDGE OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.

STREET SIGNS

1. ALL STREET SIGNS MUST MEET ALL MUTCD STANDARDS.

2. ALL STREET SIGNS SHALL MEET THE MINIMUM RETRO REFLECTIVITY GUIDELINES ACCORDING TO THE MUTCD.

3. STREET SIGN POSTS SHALL BE 2" SQUARE GALVANIZED METAL WITH BREAK-AWAY (V-LOCK) BREAKAWAYS ACCEPTABLE).

4. STREET NAME SIGNS SHALL BE WHITE LETTERING ON GREEN BACKGROUND.

Table with columns: MARK, REVISION, DATE, BY, Engineer, SJA, Checked By, SJA, Date, 7/19/2018, Technician, MW, Field Btc, Per.

MADISON, WI PROJECT NO. 118.0644.30 5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.com

TREE LANE SENIOR APARTMENTS NOTES SNYDER & ASSOCIATES, INC.



STORM SEWER NOTES

- STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:
STORM SEWER SHALL BE HDPE UNLESS OTHERWISE SPECIFIED ON PLANS.
STORM SEWER PIPE BEDDING SHALL BE CLEAR STONE.
- EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12".
ADJUSTMENT RINGS FOR STORM MANHOLES SHALL BE POLYETHYLENE PLASTIC UNLESS OTHERWISE APPROVED. CURB INLET RINGS SHALL BE CONCRETE.
- MANHOLES 3' DEEP AND GREATER SHALL BE CONSTRUCTED WITH STEPS.
- INLETS AT LOW POINTS SHALL HAVE TYPE NEENAH TYPE R GRATES. INLETS ON GRADE SHALL BE DIRECTIONAL TYPE L.
- THE LAST TWO PIPES SHALL BE STRAPPED TOGETHER AT END SECTIONS ON ALL PIPES 18" AND GREATER.
- TRASH GRATES SHALL BE PROVIDED ON ALL END SECTIONS ON ENCLOSED STORM SEWER NETWORKS.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS AND FUTURE PARKING AREA AS SPECIFIED ON PLANS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- INLET TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- ALL INFILTRATION BASINS SHALL INCLUDE ENGINEERED SOILS OR PERMAMATRIX SOIL AMENDMENT APPLIED PER MANUFACTURER RECOMMENDATIONS.
- ALL STORM WATER MANAGEMENT FACILITIES SHALL BE SEEDED WITH A NATIVE SEED MIXTURE WITHIN THE LIMITS OF THE OUTLOT OR EASEMENT. THE NATIVE SEED MIXTURE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES.
- ALL STORM WATER FACILITIES SHALL CONFORM TO WDNR TECHNICAL STANDARDS FOR PRE AND POST CONSTRUCTION STORM WATER MANAGEMENT.

SANITARY SEWER & WATER MAIN NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:
SANITARY SEWER SHALL BE PVC IN ACCORDANCE WITH ASTM 3034, SDR-35 AND BEDDED WITH CLASS C BEDDING.
BEDDING: 1/2" TO 1 1/2" CLEAR STONE
COVER: 1/2" TO 1 1/2" CLEAR STONE

TRACER WIRE SHALL BE INSTALLED WITH ALL NEW LATERALS.

TRACER WIRE BOXES SHALL BE PROVIDED AND LOCATED 3.5' BEHIND THE BACK OF CURB. "SEWER" SHALL BE STAMPED IN THE LID OF THE ACCESS BOX. TRACER WIRE SHALL EXTEND TO THE RIGHT OF WAY.

ALL LATERAL ENDS SHALL BE MARKED WITH A TREATED 4" X 4" POST AND THE TOP OF THE POST SHALL BE PAINTED GREEN. LATERAL END SHALL BE CAPPED WITH A GLUED ON CAP.

LATERALS ARE NOT ALLOWED TO BE CONNECTED DIRECTLY INTO A MANHOLE.

ALL SANITARY MANHOLE CASTINGS SHALL BE NEENAH R-1550 WITH TYPE B NON-ROCKING LIDS AND CONCEALED PICK HOLES.

SANITARY MANHOLES SHALL HAVE EXTERNAL CHIMNEY SEALS.

ALL MANHOLE JOINTS SHALL BE WRAPPED WITH GATOR WRAP OR APPROVED EQUAL. MANHOLE CONNECTIONS SHALL BE WATERTIGHT WITH SOLID SLEEVES. RUBBER FERRO TYPE CONNECTIONS WILL NOT BE ALLOWED.

SANITARY SEWER & WATER MAIN NOTES CONT.

EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.

ALL SANITARY SEWER MAINS WILL BE REQUIRED TO BE TELEVISED. 2 COPIES OF THE TELEVISION REPORT AND DVD SHALL BE PROVIDED TO THE PUBLIC SERVICES DIRECTOR. MANDRELL TESTING IS ALSO REQUIRED ON ALL SANITARY SEWER. LOW PRESSURE AIR TESTS ARE REQUIRED ON ALL SANITARY SEWER CONSTRUCTION.

ALL MANHOLES INSTALLED OUTSIDE OF THE RIGHT-OF-WAY SHALL HAVE A RIM ELEVATION A MINIMUM OF 1' ABOVE THE PROPOSED GROUND AND BE MARKED WITH A TREATED 4" X 4" POST AND HAVE A SIGN WITH THE WORDS "SANITARY SEWER" ATTACHED TO THE POST.

LATERAL DEPTH AT THE RIGHT-OF-WAY SHALL NOT EXCEED 12' WITHOUT PROPER JUSTIFICATION. VARIANCES FROM THIS MAP BE APPROVED BY THE PUBLIC SERVICES DIRECTOR.

ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS SHALL BE PRECAST CONCRETE. MAINTAIN A MINIMUM SEPARATION OF 8' OF HORIZONTAL SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER.

SANITARY MANHOLES SHALL BE CONSTRUCTED WITH STEPS.

- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:
WATER MAIN SHALL BE DUCTILE IRON, SPECIAL CLASS 52 AND BEDDED WITH TYPE 3 EMBEDMENT (SAND OR SAND SCREENINGS)

WATER MAIN SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE SHALL SURFACE AT ALL HYDRANTS IN A CONDUIT OR A TRACER WIRE ACCESS BOX.

WATER MAIN SHALL BE WRAPPED IN POLYETHYLENE WRAP: LINEAR LOW-DENSITY POLYETHYLENE (LLDPE) MINIMUM THICKNESS 8 MILS OR HIGH-DENSITY CROSS LAMINATED POLYETHYLENE (HDCLPE) MINIMUM THICKNESS 4 MILS.

ALL MAINS SHALL BE A MINIMUM OF 8" IN DIAMETER WITH THE EXCEPTION OF HYDRANT LEADS THAT SHALL BE 6".

WATER MAINS SHALL HAVE A MINIMUM COVER OF 6.5'.

MECHANICAL JOINT FITTINGS WITH MEGA-LUGS ARE REQUIRED FOR ALL DIRECTIONAL CHANGE FITTINGS AND WATER MAIN ENDS. ALL BOLTS SHALL BE STAINLESS STEEL. ALL FITTINGS SHALL BE "MADE IN AMERICA" CERTIFIED.

CORPORATION STOPS SHALL BE MUELLER H15008.

WATER VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE GATE VALVE.

FIRE HYDRANTS SHALL BE LOCATED 3.5' BEHIND THE BACK OF CURB AND HYDRANT VALVES SHALL BE PLACED IN THE STREET.

A FIRE HYDRANT WILL BE REQUIRED AT THE END OF ALL DEAD END LINES.

FIRE HYDRANTS SHALL BE WATEROUS PACER WB67 WITH A STORZ NOZZLE.

FIRE HYDRANTS SHALL INCLUDE A RODON HYDRA FINDER FLAG.

CURB BOXES SHALL BE BINGHAM AND TAYLOR BUFFALO TYPE AND INSTALLED WITH THE EXTENSION ROD AND GUIDE RING.

CURB VALVES SHALL BE MUELLER H15209.

CURB BOXES SHALL BE LOCATED 3.5' BEHIND THE BACK OF CURB.

ALL LATERAL/WATER SERVICE ENDS SHALL BE MARKED WITH A TREATED 4" X 4" POST AND THE TOP OF THE POST SHALL BE PAINTED BLUE.

EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT AND SELECT TRENCH BACKFILL WILL BE REQUIRED.

PROVIDE A 2" THICK STYROFOAM INSULATION BETWEEN WATER MAIN AND ALL STORM SEWER CROSSINGS.

WATER MAINS SHALL UNDERGO A PRESSURE AND LEAKAGE TEST. SERVICES SHALL BE TESTED TO THE CURB STOP. SERVICES OF 4" AND LARGER WITH JOINTED PIPE SHALL BE TESTED AGAINST THE VALVE WITH A SECOND TEST OUT TO THE PLUG. THE SECOND TEST MAY BE SHORTER DURATION AS APPROVED BY THE PUBLIC SERVICES DIRECTOR.

ADDITIONAL UTILITY NOTES

- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

URBAN FORESTRY NOTES

- TREES MUST COMPLY TO ANSI Z60.1-1996 "AMERICAN STANDARD NURSERY STOCK" OR MOST RECENT VERSION THEREOF.
- TREES MUST BE A MINIMUM 2" CALIPER.
- ALL TREES AND LANDSCAPING SHALL BE UNDER WARRANTY FOR ONE FULL GROWING SEASON.
- THE MINIMUM DISTANCE BETWEEN TREE TRUNKS SHALL BE 30' FOR SMALL TREES AND 45' TO 50' FOR MEDIUM OR LARGE TREES.
- THE MINIMUM DISTANCE FROM THE FRONT OF A STREET SIGN TO THE TREE TRUNK IS 25' AND THE MINIMUM DISTANCE FROM THE BACK OF THE STREET SIGN IS 10'.
- THE MINIMUM DISTANCE FROM A CURB CUT, CARRIAGE WALK, OR DRIVEWAY IS 10'.
- THE MINIMUM DISTANCE FROM A FIRE HYDRANT IS 10'.
- THE MINIMUM DISTANCE FROM ANY WATER MAIN INCLUDING SERVICES IS 10'.
- NO MORE THAN 20% OF TREES SHALL BE FROM ONE FAMILY.
- NO MORE THAN 10% OF TREES SHALL BE FROM ONE GENUS.
- NO MORE THAN 5% OF ANY SINGLE SPECIES, INCLUDING CULTIVARS AND VARIETIES.
- ANY SPECIES SHALL BE TREE FORM. SHRUB FORM ARE NOT ALLOWED.
- ALL BURLAP AND WIRE CAGES SHALL BE REMOVED FROM ROOTS PRIOR TO PLANTING.
- APPLY STARTER FERTILIZER AT THE RATE RECOMMENDED BY THE NURSERY.
- SATURATE SOIL WITH WATER WHEN PIT IS HALF FULL OF TOPSOIL AND AGAIN WHEN FULL.
- DO NOT PRUNE TREES. INJURED OR DEAD BRANCHES MAY BE REMOVED ACCORDING TO STANDARD HORTICULTURAL PRACTICES. DO NOT CUT LEADER.
- PROVIDE 4" THICKNESS OF ORGANIC MULCH AROUND ALL TREES. MULCH SHOULD NOT REST AGAINST THE TREE TRUNK. LEAVE 1/2" AROUND THE TRUNK FREE OF MULCH.
- PLANTING DEPTH OF TREE SHALL BE SUCH THAT ROOT FLAIR IS VISIBLE JUST ABOVE GRADE.

PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1.25-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-1) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS.
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT FOR THE PARKING LOT SHALL BE (9.5MM), AND THE LOWER LAYER PAVEMENT FOR THE PARKING LOT AND BOTH UPPER AND LOWER LAYERS OF TIMOTHY COURT SHALL BE (12.5MM).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
SECTION 415 FOR CONCRETE PAVEMENT
SECTION 601 FOR CONCRETE CURB AND GUTTER
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE

ADA SYMBOLS: BLUE OR PER LOCAL CODE

FIRE LANES: PER LOCAL CODE

EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

TREE LANE SENIOR APARTMENTS

NOTES

MADISON, WI

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-836-0444 | www.snyder-associates.com



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA	Drawn: SJA	Scale: NOTED
Technician: M/W	Date: 7/18/2018	Field Bc:	Pf:
PROJECT NO. 118.0644.30		FILE LOCATION:	
C:\Projects\2018\118.0644.30\CD\DWG\PLAN.dwg			

MARK	REVISION	DATE	BY
	Checked By: SJA	Scale/NOTED	
	Engineer: SJA	Date: 7/18/2018	Pa
	Technician: MW	Project No. 118.0644.30	
		FILE LOCATION:	

TREE LANE SENIOR APARTMENTS
PROPOSED SITE PLAN
MADISON, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



SNYDER & ASSOCIATES

C2.1

- NOTE**
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.
 - RADI ARE FROM FACE OF CURB, DIMENSIONS ARE FROM FACE OF CURB.
 - EXISTING SURVEY PROVIDED BY OTHERS.

UTILITY COMPANY INFORMATION

ELECTRICITY - M&E - 608-252-7222
 NATURAL GAS - M&E - 608-252-7222
 PHONE - VARIES
 COMMUNICATIONS - VARIES
 SANITARY SEWER - CITY OF MADISON - 608-222-1201
 WATER SERVICE - CITY OF MADISON - 608-226-4651

FIRE LANE

TREE LANE WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING.

SITE INFORMATION

ZONING DISTRICT: CC - COMMERCIAL CENTER TOTAL
 SITE AREA: 57,937 SF / 1.33 ACRES
 TOTAL DISTURBED AREA: 56,937 SF / 1.31 ACRES
 PRO IMPERVIOUS: 32,266 SF (56.7%) (LOT COVERAGE)
 PAVED AREA: 19,121 SF (33.6%)
 BUILDING AREA: 13,145 SF (23.1%)
 PRO PERVIOUS: 24,671 SF (43.3%) (LOT COVERAGE)

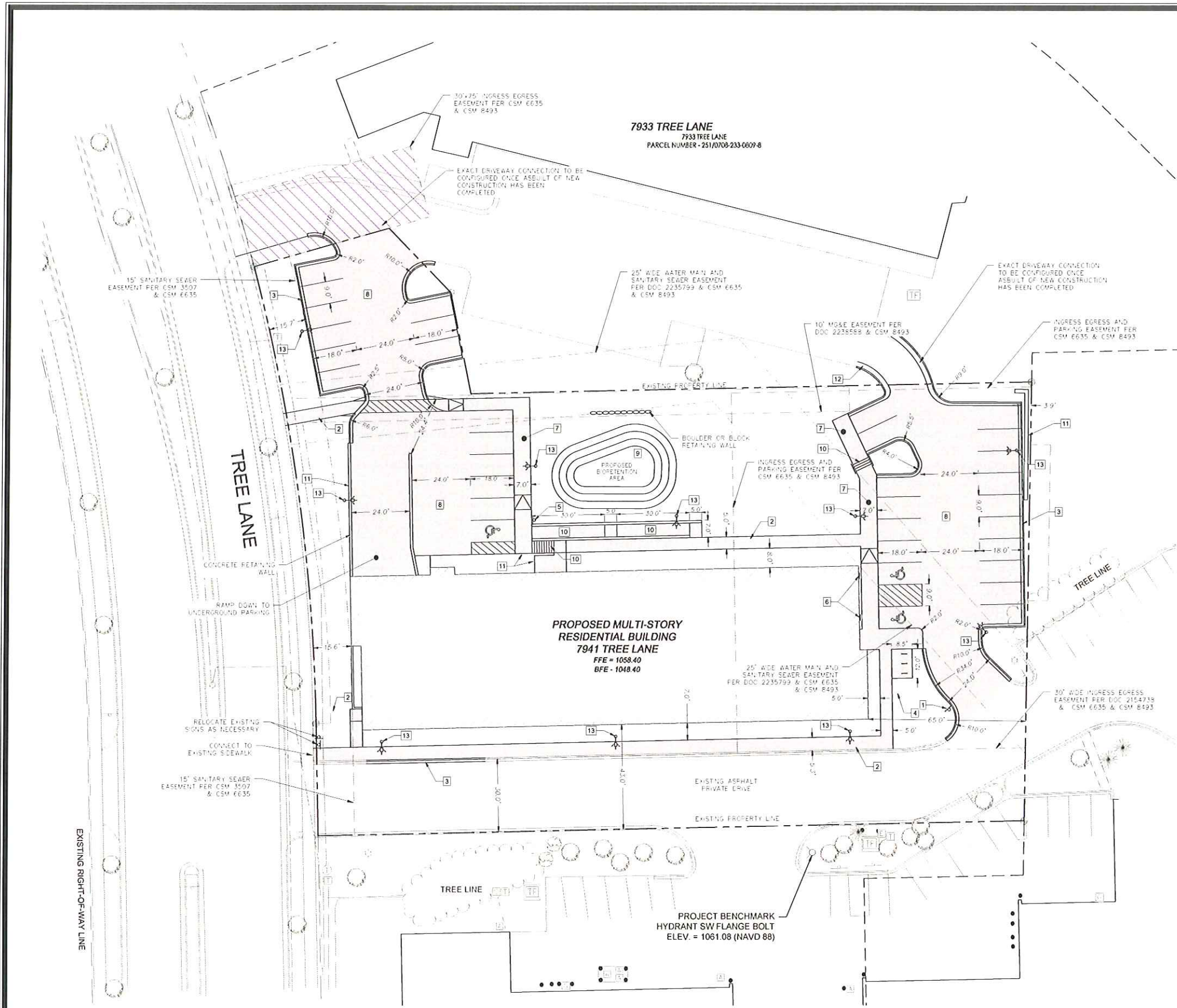
PARKING STALL COUNT

SURFACE PARKING
 STANDARD PARKING: 30 STALLS
 ADA PARKING: 3 STALLS

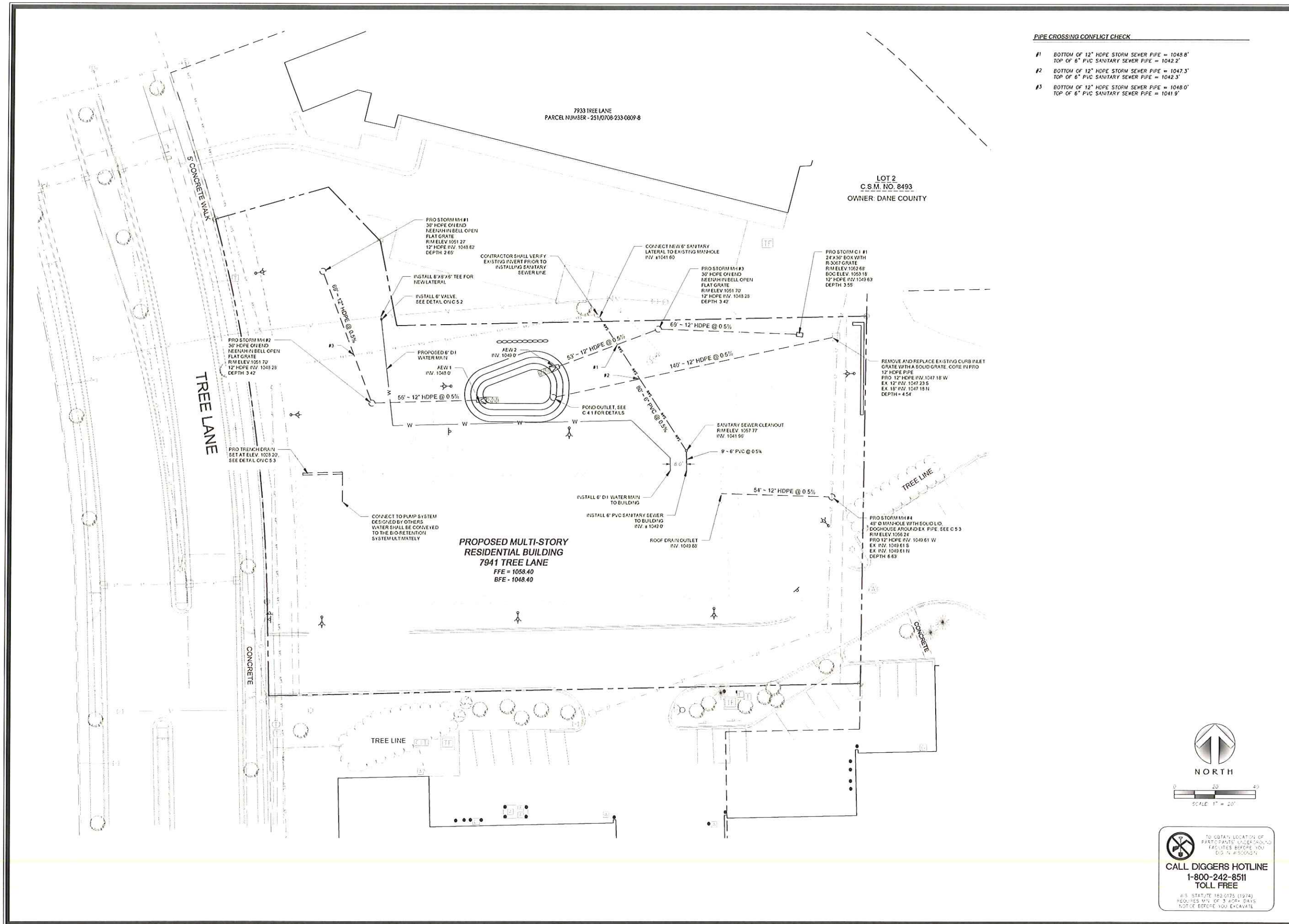
BASEMENT GARAGE PARKING
 STANDARD PARKING: 23 STALLS
 ADA PARKING: 1 STALL

BUILDING SETBACKS
 FRONT: 0'
 REAR: 0'
 SIDE: 0'

- KEY NOTES**
- STOP SIGN, SEE DETAIL ON C 5.4
 - 5' WIDE SIDEWALK, SEE DETAIL ON C 5.4
 - 18" CURB & GUTTER, SEE DETAIL ON C 5.4
 - ELVE PARKING AREA, SEE DETAIL ON C 5.5
 - HANDICAP PARKING SIGN, SEE DETAIL ON C 5.5
 - HANDICAP PARKING SIGN MOUNTED TO BUILDING
 - THICKENED EDGE SIDEWALK, SEE DETAIL ON C 5.4
 - 4" ASPHALT PAVEMENT, SEE DETAIL ON C 5.4
 - BIO-RETENTION AREA, SEE SHEET C 4.1
 - HANDICAP RAMP, RAILINGS, STAIRS AND ALL STRUCTURAL DETAILS BY OTHERS
 - CONCRETE RETAINING WALLS DESIGN BY OTHERS
 - 30" CURB & GUTTER, SEE DETAIL ON C 5.4
 - SITE LIGHT POLES, SEE DETAIL ON C 6.0



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN,
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 195.075 (1979) REQUIRES MIN. OF 3 BUSY DAYS NOTICE BEFORE YOU EXCAVATE.



PIPE CROSSING CONFLICT CHECK

- #1 BOTTOM OF 12" HDPE STORM SEWER PIPE = 1048.8'
TOP OF 6" PVC SANITARY SEWER PIPE = 1042.2'
- #2 BOTTOM OF 12" HDPE STORM SEWER PIPE = 1047.3'
TOP OF 6" PVC SANITARY SEWER PIPE = 1042.3'
- #3 BOTTOM OF 12" HDPE STORM SEWER PIPE = 1048.0'
TOP OF 6" PVC SANITARY SEWER PIPE = 1041.9'

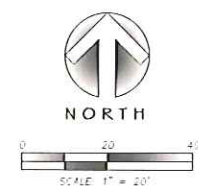
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA	Scale: NOTED	
Technician: M/W	Drawn: 7/18/2018	Field Bc:	Pf:
PROJECT NO. 118.0644.30			
FILE LOCATION: \\P:\Projects\2017\118.0644.30\CADD\PLAN.DWG			

MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

TREE LANE SENIOR APARTMENTS
 UTILITY PLAN
SNYDER & ASSOCIATES, INC.



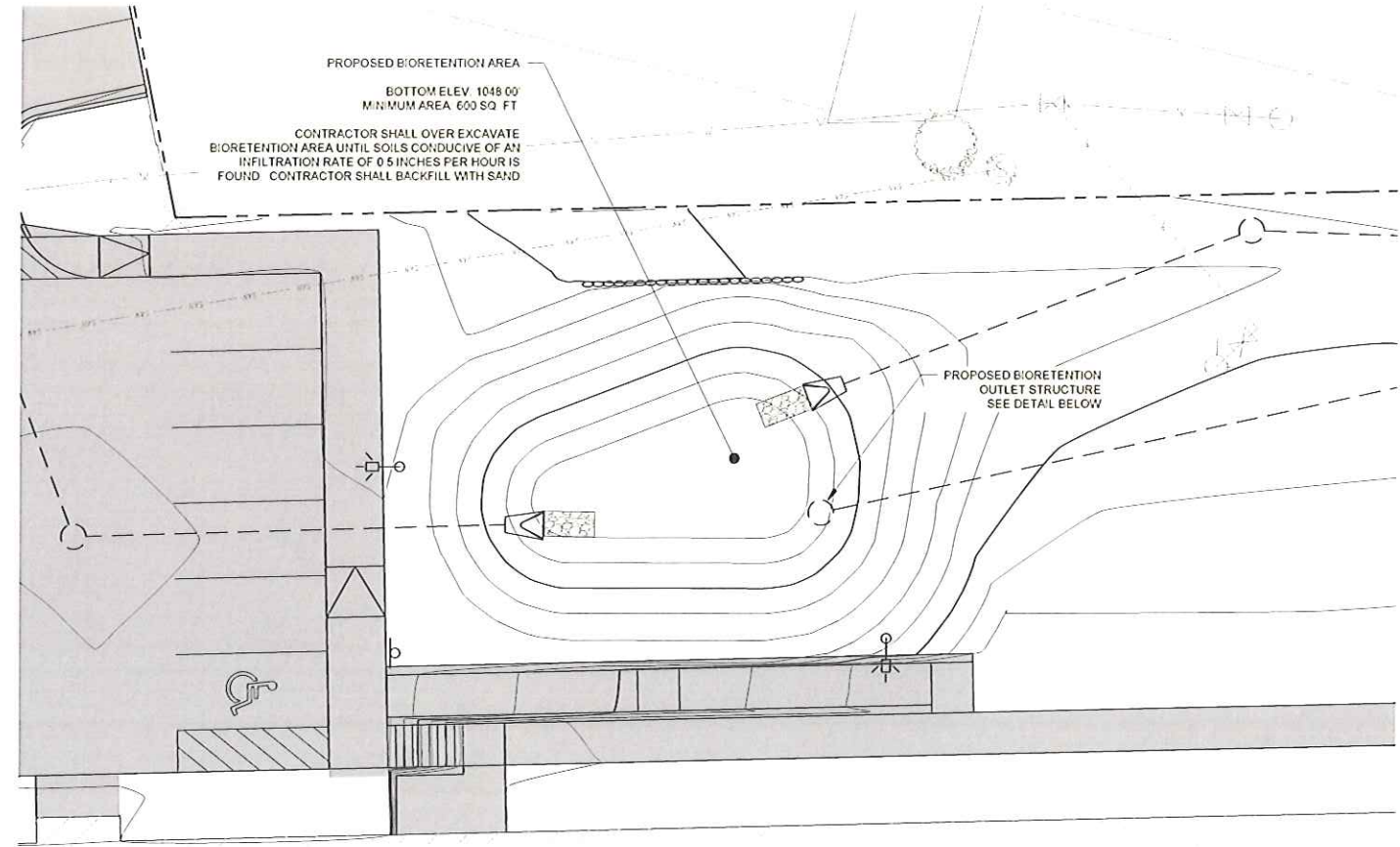
C4.0



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG, CALL DIGNER.

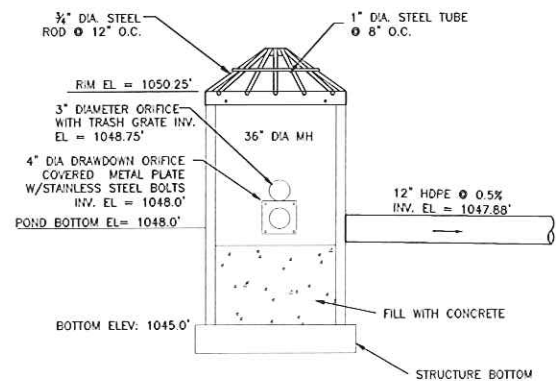
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WIS. STATUTE 152.0175 (1974) REQUIRES M.N. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

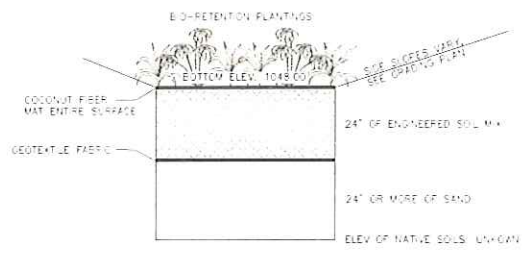


BIORETENTION NOTES

- BIORETENTION SHALL CONFORM TO WIS ENV TECH STANDARD 1002.
- ENGINEERED SOIL SHALL CONSIST OF 70%-80% SILICA SAND AND 15%-30% COMPOST WITH A PH OF 5.5-6.5.
- BIORETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE PLACED TO WITHIN THREE INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS PLACED, THREE INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.
- FIELD INFILTRATION TESTING: IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES FOR ALL STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES. DETERMINE INFILTRATION RATES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) SITE EVALUATION FOR STORMWATER INFILTRATION STANDARD 1002. FREQUENCY OF TESTING SHALL BE 1 TEST PER 5000 SQUARE FEET OF SURFACE AREA OF THE STORMWATER INFILTRATION DEVICE MEASURED AT THE DESIGN HIGH WATER LEVEL AND AT LEAST ONE TEST PER DEVICE. FURNISH A REPORT OF THE TEST RESULTS TO ARCHITECT/ENGINEER.
- SPECIFIC SPECIES OR CONTAINER SIZE SUGGESTED SUBSTITUTIONS SHALL BE PRESENTED TO CONSULTANT ALONG WITH THE REASONS FOR THE SUGGESTIONS WITH CONSULTANT OR PROJECT ENGINEER'S APPROVAL. SUBSTITUTIONS MAY BE MADE.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PLANT SPECIES SHALL BE SELECTED FROM THE FOLLOWING LIST:
 FROGS: MARSH MARSHWEED, HEATH ASTER, NEW ENGLAND ASTER, ALOE WHITE INDOOR, SPOTTED JOE PINE WOOD, BUCKLE SHARP, B. AZAR STAR, MARSH BLAZING STAR, CARDINAL FLOWER, GREAT BLUE LOBELIA, ALOE BERGAMOT, CRESCENT PLANT, MOUNTAIN MINT, YELLOW KNOXFLOWER, BLACK-EYED SUSAN, SWEET BLACK-EYED SUSAN, OHIO GOLDENROD, SPICERAGwort, BLUE VERVAIN AND IRONWEED
 GRASSES, SEDGES & RUSHES: FRINGED BROOME, BLUE JOINT GRASS, BEED-S SEDGE CRAWFORD'S SEDGE, FRINGED SEDGE, COMMON FOX SEDGE, CANADA ALOE RYE, VIRGINIA ALOE RYE, FEED TANNIA GRASS, SWITCH GRASS, DARK GREEN BULLRUSH, ALOE GRASS, MOHAWK GRASS, FRAISE COOD GRASS
- ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
- NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE. IF NATURAL RAINFALLS ARE INSUFFICIENT A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- PLANTS SHALL BE PLANTED IN THE BIORETENTION AREA AT A MINIMUM OF ONE PLANT PER EVERY 12" ON CENTER.
- UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FREE-BLE PLANT BED SHALL BE PREPARED FOR INSTALLATION OF NATIVE PLANT PLANTS.
- CARE SHALL BE TAKEN TO MINIMIZE SOIL CONTRACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE PLANTED.
- UNDULATIONS OR IRREGULARITIES IN THE PLANT BED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELLED PRIOR TO FINAL SEEDING.
- FINAL PLANTING AREA SHOULD BE GRADED SUCH THAT THE AREAS TO BE PLANTED SHALL CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.



1
C4.1
BIORETENTION BASIN OUTLET STRUCTURE DETAIL
SCALE: NTS



2
C4.1
BIORETENTION AREA
CROSS SECTION DETAIL
SCALE: NTS

TO OBTAIN LOCATION OF PARTS PLANTS UNDERGROUND FACILITIES BEFORE YOU DIG - CALL 811
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 U.S. STATUTE 182-0175 (1974)
 REQUIRES 24 HOURS NOTICE BEFORE YOU EXCAVATE

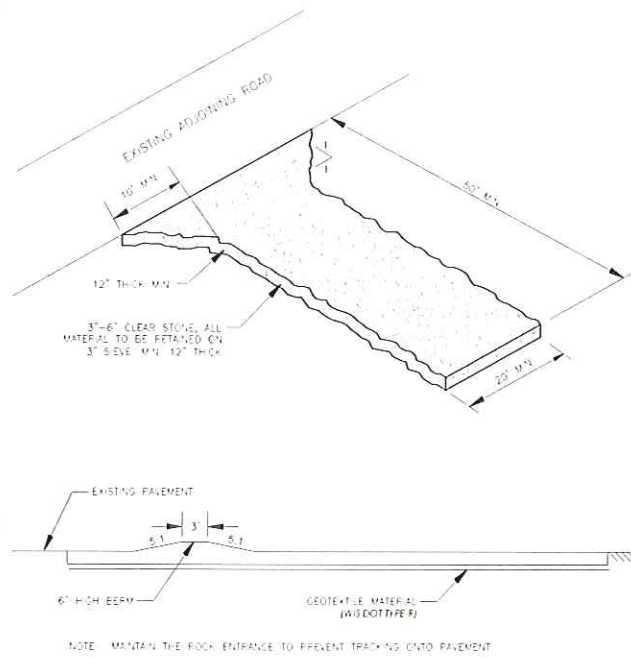
TREE LANE SENIOR APARTMENTS
 BIO-RETENTION BASIN DETAILS
SNYDER & ASSOCIATES, INC.



C4.1

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA	Scale: NOTED	
Technician: MW	Date: 7/19/2018	Field Bk:	Pg:
PROJECT NO. 118.0644.30			
FILE LOCATION: \\proj\proj\2018\118.0644\30\C4.1.dwg			

MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



1
C5.0 CONSTRUCTION ENTRANCE DETAIL
SCALE: NTS

INSTALLATION NOTES:

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SMALLER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

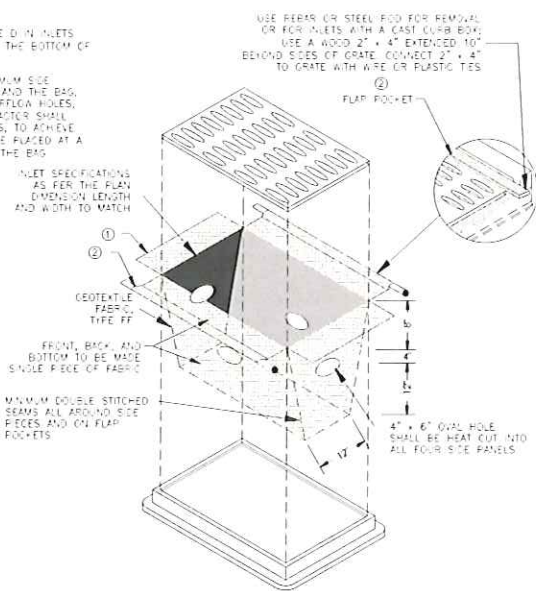
GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON AASDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

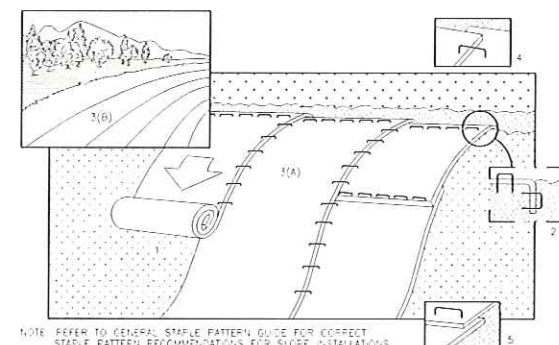
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INLET PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH AASDOT TECHNICAL STANDARD 1002.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FLAP POCKET SHALL BE LARGE ENOUGH TO ACCEPT A HOOD 2" x 4".

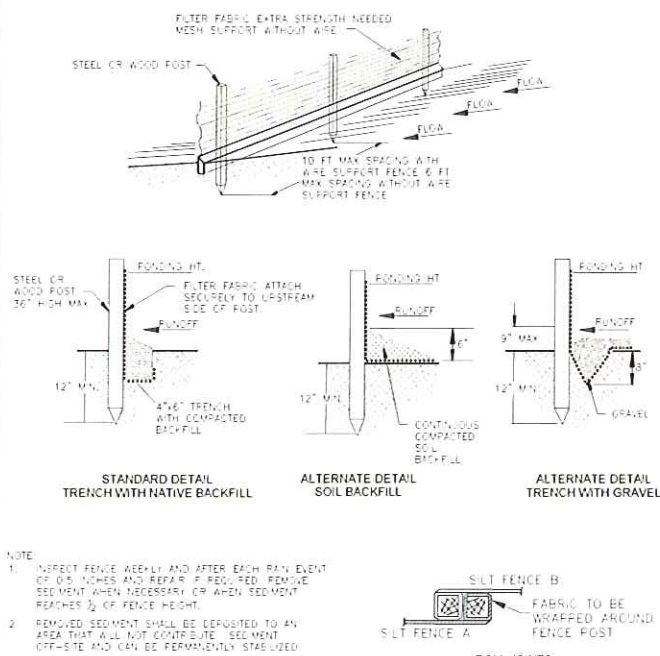


3
C5.0 INLET PROTECTION TYPE D DETAIL
SCALE: NTS

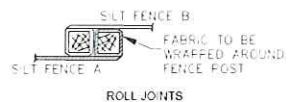


- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP x 6" WIDE TRENCH. BACK-FILL AND COMPACT THE TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- 5. WHEN BLANKETS MUST BE SPUN DOWN THE SLOPE, PLACE BLANKETS END OVER END (SINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AASDOT TECHNICAL STANDARD 1002.
- 8. EROSION MAT SHALL BE CLASS 1 TYPE B.

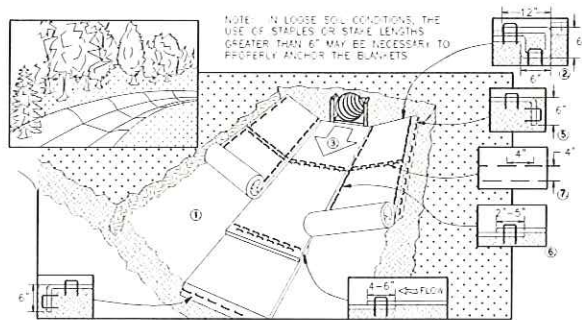
5
C5.0 EROSION CONTROL MAT - SLOPE INSTALLATION
SCALE: NTS



- NOTE:**
- 1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT. IF 0.5 INCHES OR DEEPER P. REQUIRED, REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
 - 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE FLOWING EFFICIENCY.
 - 4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AASDOT TECHNICAL STANDARD 1002.



2
C5.0 SILT FENCE DETAIL
SCALE: NTS



- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
- 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP x 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEHIND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACK-FILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 4. PLACE CONSECUTIVE BLANKETS END OVER END (SINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP x 6" WIDE TRENCH. BACK-FILL AND COMPACT THE TRENCH AFTER STAPLING.
- 6. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- 7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP x 6" WIDE TRENCH. BACK-FILL AND COMPACT THE TRENCH AFTER STAPLING.
- 8. EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UP-SLOPE ONE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 6" HIGHER THAN DESIGN FLOW DEPTH.
- 9. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AASDOT TECHNICAL STANDARD 1002.
- 10. EROSION MAT SHALL BE CLASS 1 TYPE B.

4
C5.0 EROSION CONTROL MAT - CHANNEL INSTALLATION
SCALE: NTS

TREE LANE SENIOR APARTMENTS
EROSION CONTROL DETAILS

MADISON, WI

SNYDER & ASSOCIATES, INC.



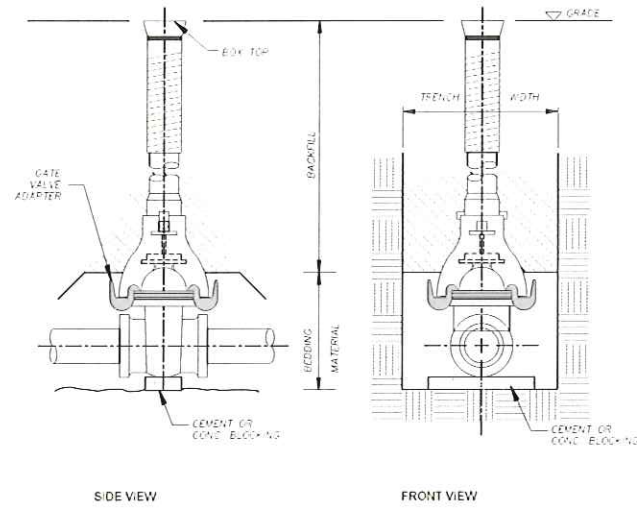
C5.0

MARK REVISION DATE BY

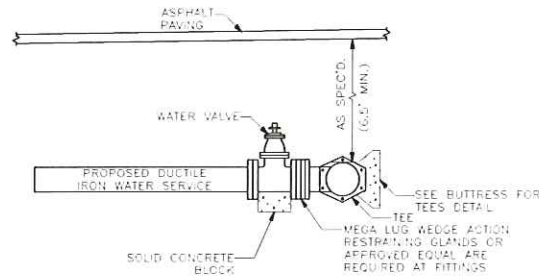
Engineer: SJA
Checked By: SJA
Date: 7/18/2018
Field B/c

PROJECT NO. 118
FILE LOCATION:

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

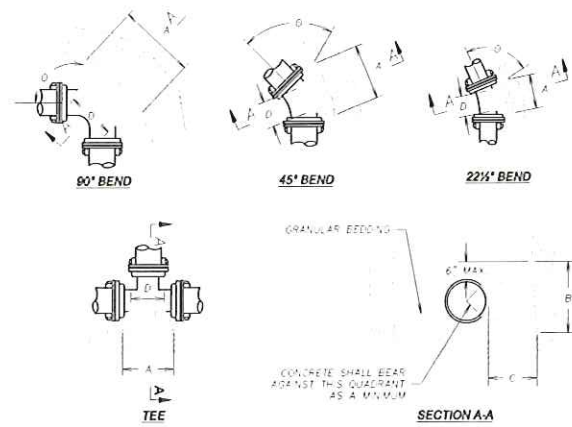


1 GATE VALVE BOX DETAIL
SCALE: NTS



3 WATER SERVICE DETAIL
SCALE: NTS

5 NOT USED
SCALE: NTS



- NOTES
1. BLOCKING MAY NOT BE USED; ONLY SOLID CONCRETE BLOCKS ARE ALLOWED.
 2. DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 3. DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Θ" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.
 4. CONCRETE SHALL BE CLASS "CC".
 5. ALL BUTTRESSED JOINTS SHALL INCLUDE MEGALUGS AND CONCRETE BUTTRESSING.

TEE SIZE	BUTTRESS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		22.5° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ. FT.

* A FOR TEE THIS WILL BE THE BRANCH PIPE

2 BUTTRESS DETAIL
SCALE: NTS

4 NOT USED
SCALE: NTS

6 NOT USED
SCALE: NTS

TREE LANE SENIOR APARTMENTS

WATER DETAILS

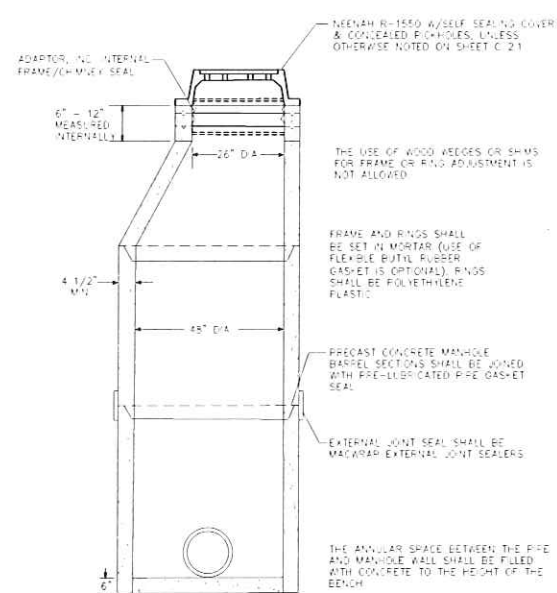
MADISON, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-835-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

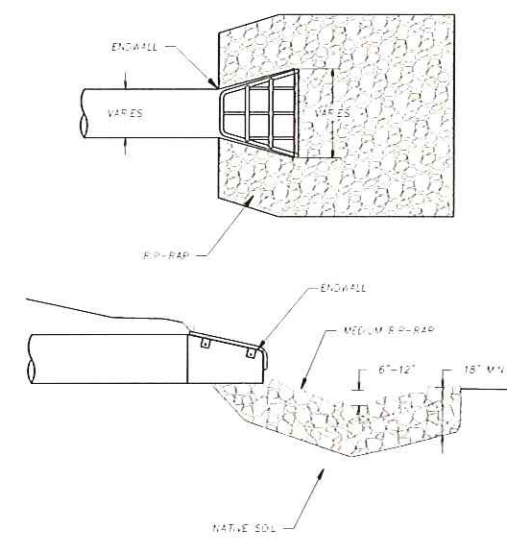


MARK	REVISION	DATE	BY
	Checked By: SJA	Some/NOTED	
	Engineer: SJA	Date: 7/18/2018	Field B/c
	Technician: M/W		P/g
PROJECT NO. 118			
FILE LOCATION:			

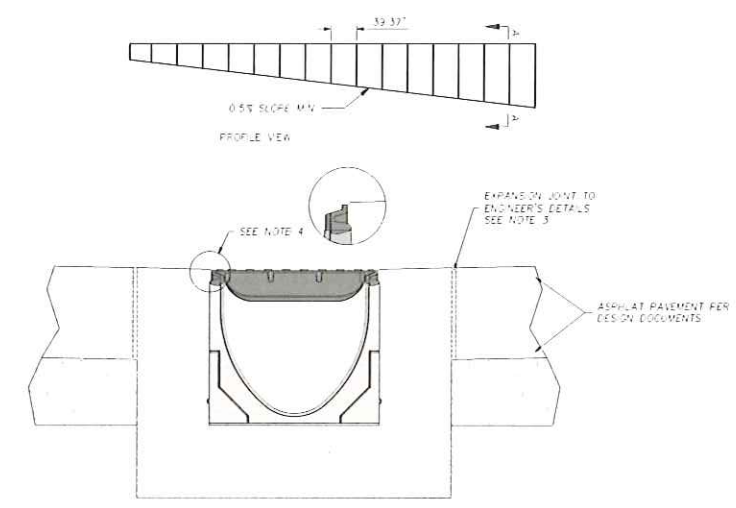


1 STORM SEWER MANHOLE DETAIL
SCALE: NTS

RIP-RAP OUTLET PROTECTION DIMENSIONS			
STRUCTURE NUMBER	PIPE DIAMETER INCHES (D)	LENGTH (L) FEET	WIDTH (W) FEET
AEW-1	12"	8'	4'
AEW-2	12"	8'	4'



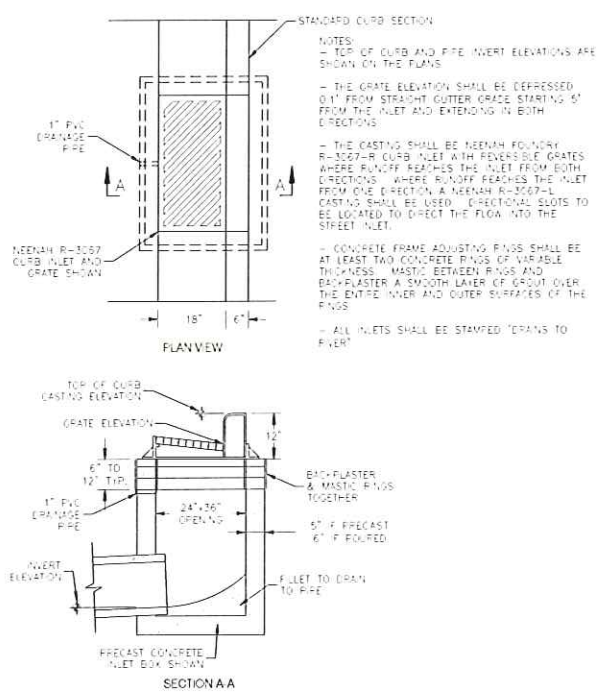
3 ENDWALL RIP-RAP DETAIL
SCALE: NTS



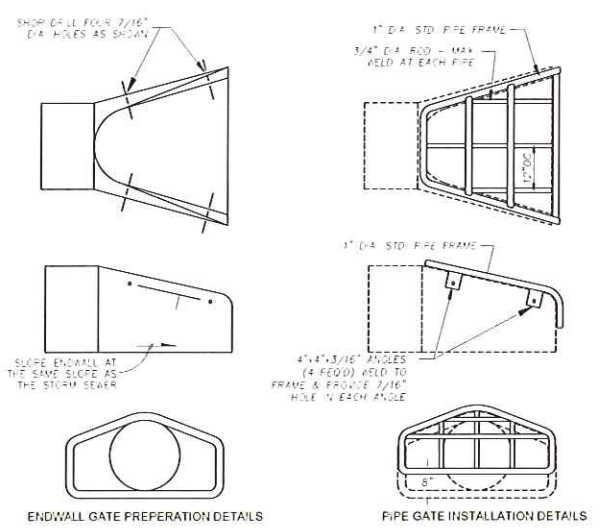
NOTES:

- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. **ENGINEERING ADVICE MAY BE REQUIRED.**
- MINIMUM CONCRETE STRENGTH OF 4000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
- EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
- THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
- CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
- REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

5 ACO #S300K TRENCH DETAIL
SCALE: NTS



2 STORM SEWER INLET DETAIL
SCALE: NTS



NOTES:

- ALL ENDWALLS GREATER THAN 18" IN DIAMETER SHALL RECEIVE GATES.
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x16" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

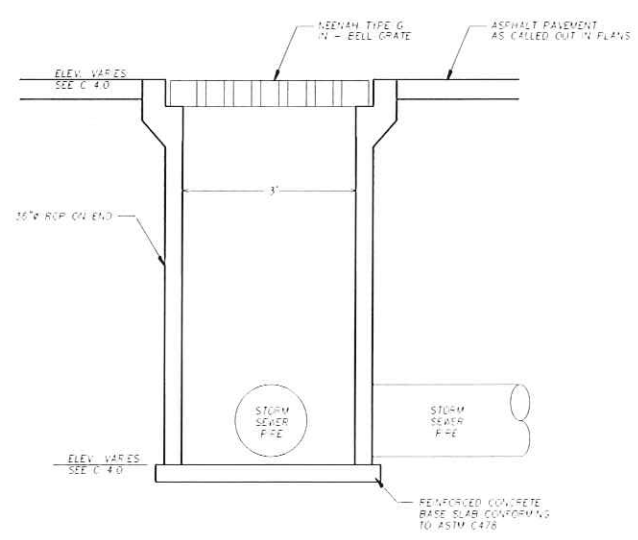
PAINTING SPECIFICATIONS:

- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUST-OLEUM X-160 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUST-OLEUM 100 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUST-OLEUM 1252 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

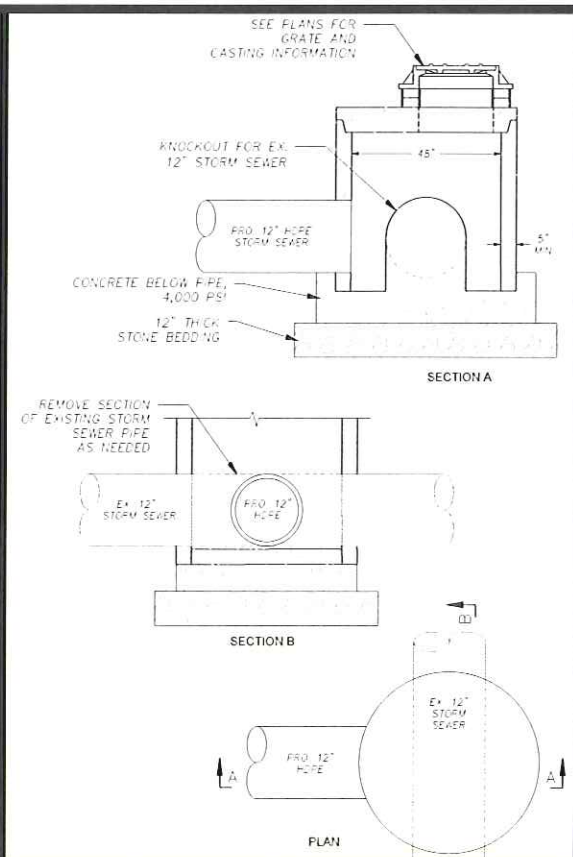
PREPARATION STEPS:

- BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
- EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
- ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

4 ENDWALL GATE DETAIL
SCALE: NTS



6 STORM SEWER INLET
SCALE: NTS



7 DOGHOUSE MANHOLE DETAIL
SCALE: NTS

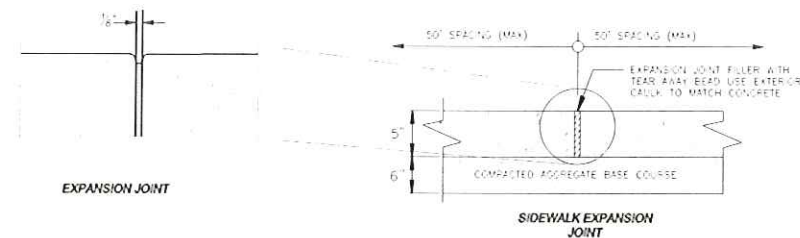
TREE LANE SENIOR APARTMENTS
STORM SEWER DETAILS



C5.3

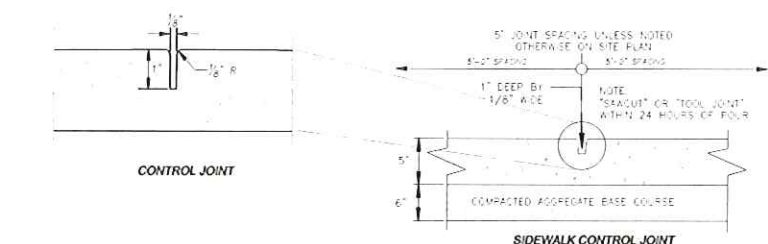
MADISON, WI
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

MARK	REVISION	DATE	BY
	Checked By: SJA	Scale: NOTED	
	Engineer: SJA	Date: 7/18/2018	Field B/c
	Technician: MW	PROJECT NO. 118	
		FILE LOCATION:	



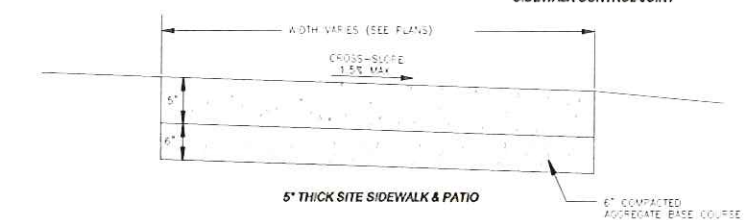
EXPANSION JOINT

SIDEWALK EXPANSION JOINT

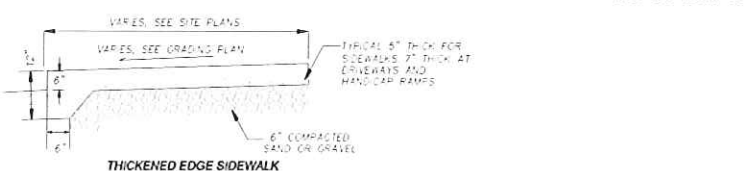


CONTROL JOINT

SIDEWALK CONTROL JOINT



5" THICK SITE SIDEWALK & PATIO

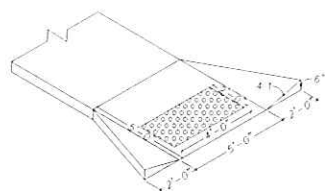


THICKENED EDGE SIDEWALK

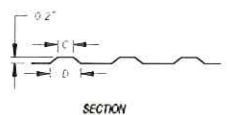
1 CONCRETE SIDEWALK DETAILS
SCALE: NTS

	MIN	MAX
A	16"	24"
B	0.65"	1.5"
C	*	*
D	0.2"	1.4"

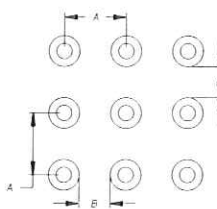
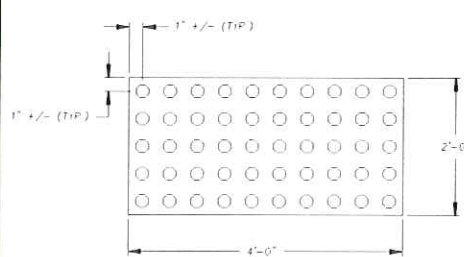
* THE C DIMENSION IS 5/8 TO 1/2 OF YELLOW TRUNCATED CONES PER THE DIMENSION.



END OF SIDEWALK RAMP INSTALLATION

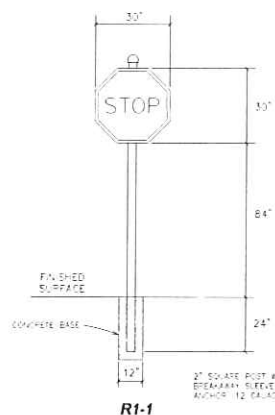


SECTION

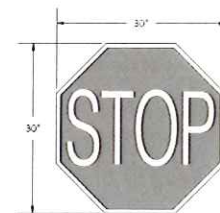


PLAN

3 TRUNCATED DOME DETAIL
SCALE: NTS

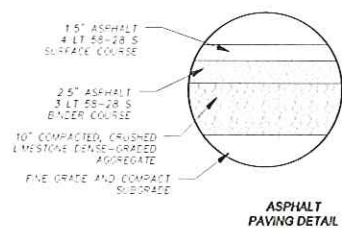


R1-1

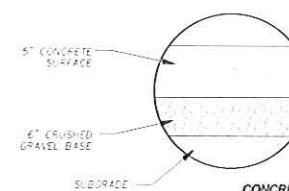


WHITE LEGEND RED BACKGROUND

4 STOP SIGN DETAIL
SCALE: NTS

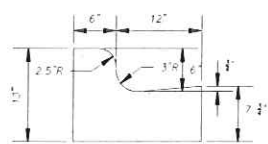


ASPHALT PAVING DETAIL

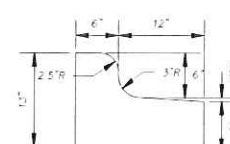


CONCRETE WALK DETAIL

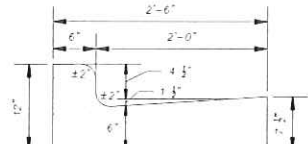
5 PAVEMENT THICKNESS DETAIL
SCALE: NTS



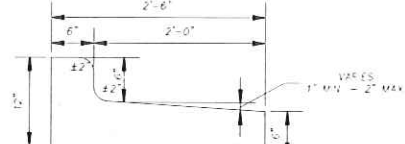
STANDARD 18" CURB & GUTTER



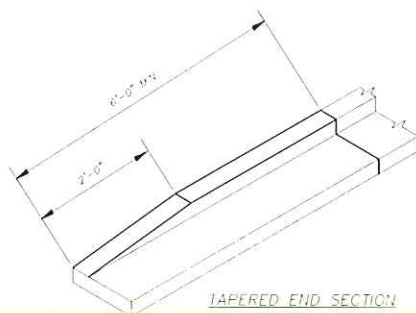
REJECT 18" CURB & GUTTER



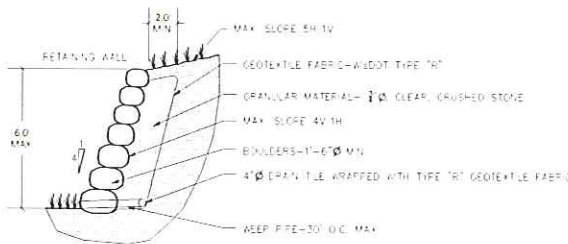
STANDARD 30" CURB & GUTTER



REJECT 30" CURB & GUTTER



TAPERED END SECTION



6 BOULDER RETAINING WALL DETAIL
SCALE: NTS

NOTES

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' OR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 1" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
- THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

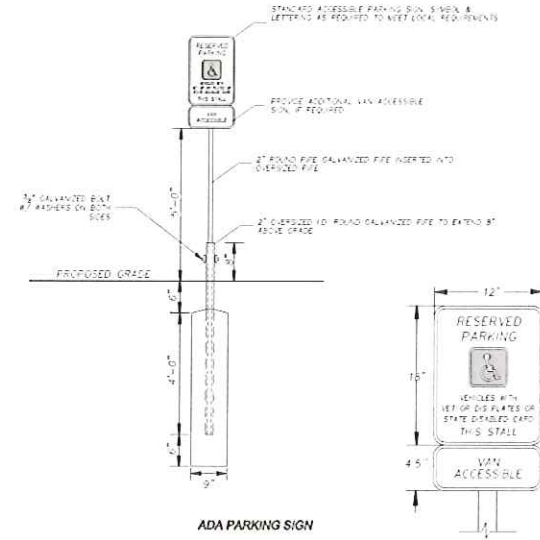
2 CURB DETAILS
SCALE: NTS

MARK	REVISION	DATE	BY
	Checked By: SJA	Scale: NOTED	
	Engineer: SJA	Field Bc	
	Technician: M/W	Field Bc	
	Date: 7/18/2018		
	PROJECT NO. 118		
	FILE LOCATION:		

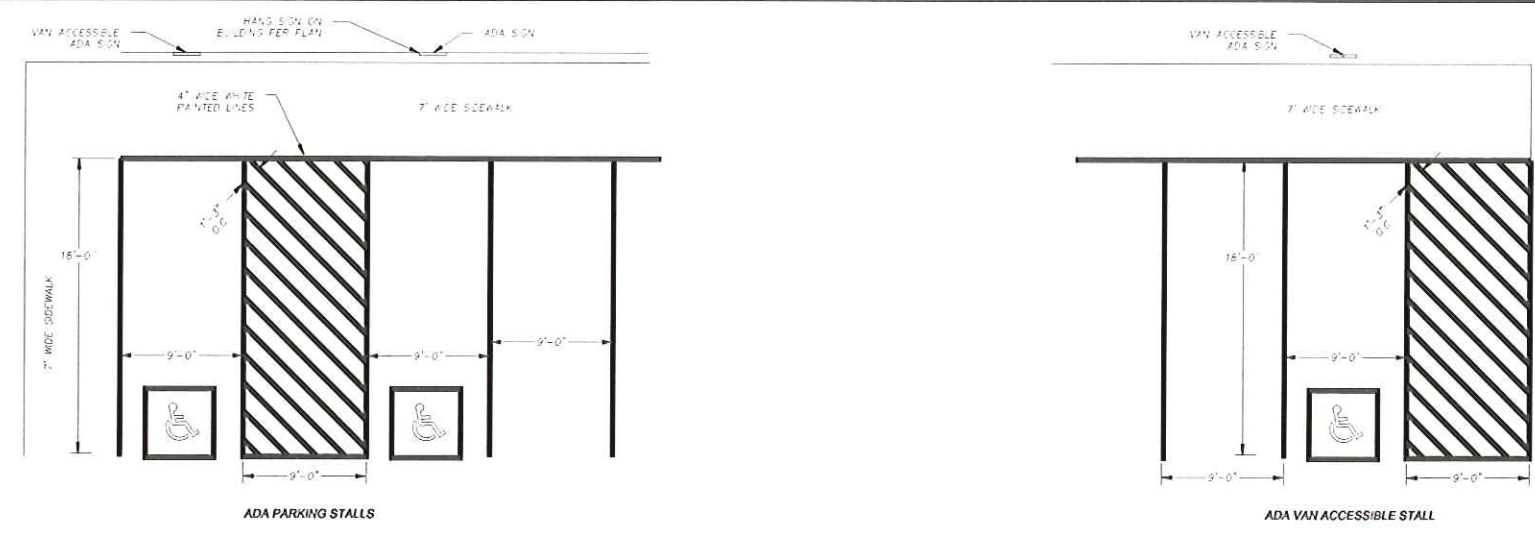
MADISON, WI
5010 VOGES ROAD
MADISON, WISCONSIN 53718
800-838-0444 | www.snyder-associates.com

TREE LANE SENIOR APARTMENTS
SITE DETAILS
SNYDER & ASSOCIATES, INC.

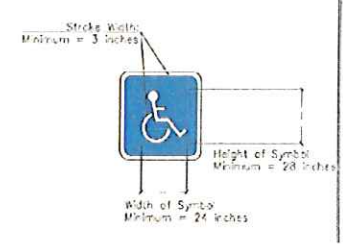




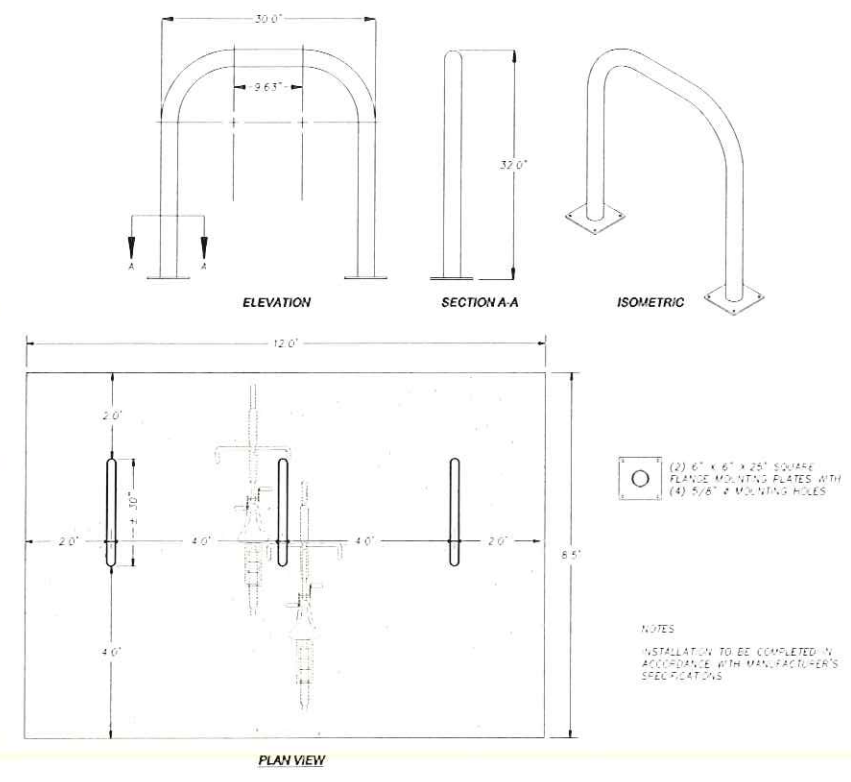
NOTE:
 SIGNS SHALL BE LOCATED SO THAT THEY CANNOT BE OBLSCURED BY A VEHICLE PARKED IN THE SPACE.
 SIGNS TO BE PROVIDED AND INSTALLED BY SITE CONTRACTOR.
 ADA ACCESSIBLE SIGN MUST COMPLY WITH W/ ADMINISTRATIVE RULE (TRANSPORTATION 200.09)



Accessible Parking Detail



1 HANDICAP PARKING DETAILS
 SCALE: NTS



2 BIKE RACK DETAIL
 SCALE: NTS

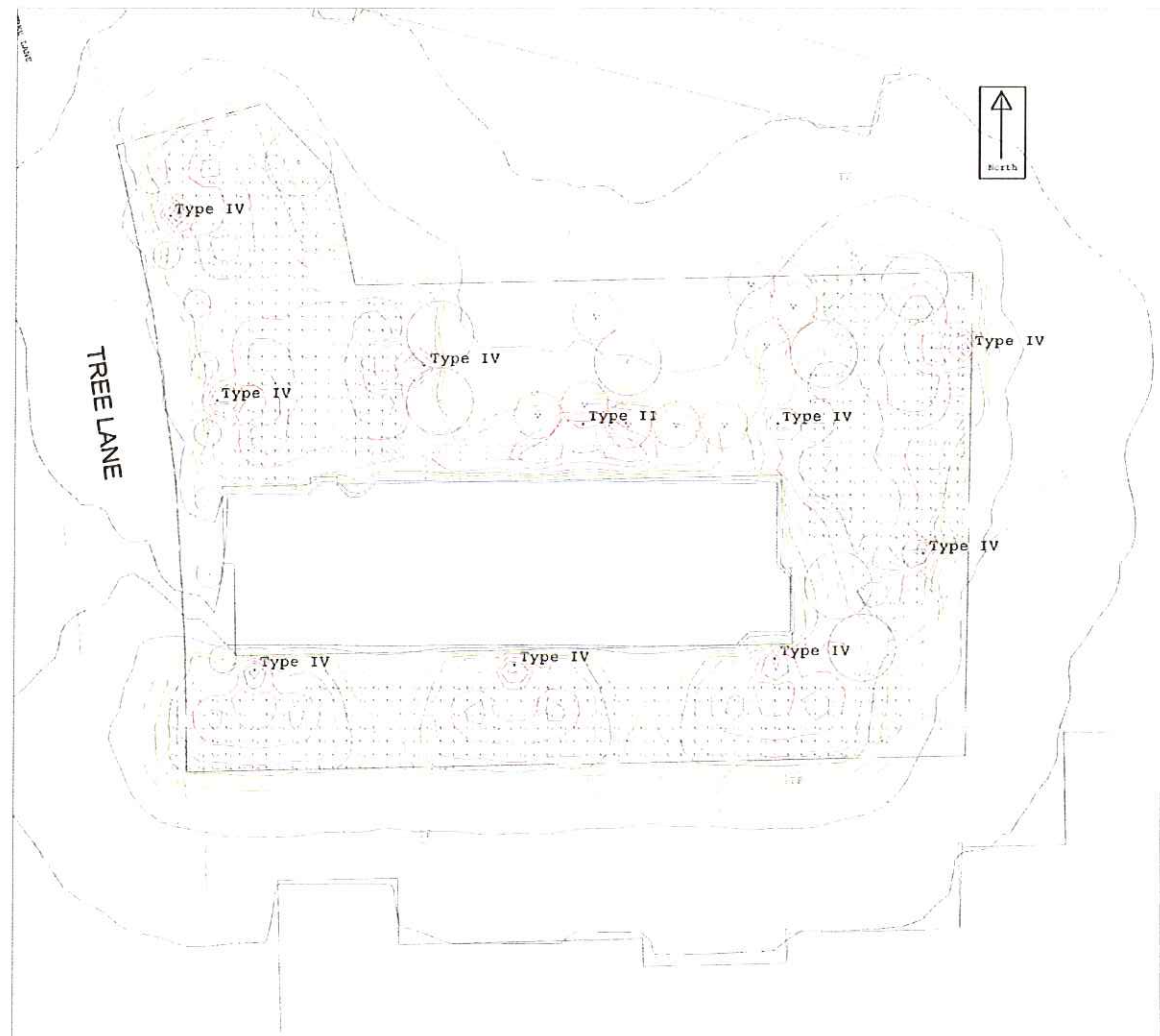
3 RETAINING WALL DETAIL
 SCALE: NTS

4 NOT USED
 SCALE: NTS

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA	Scale/NOTED	
Technician: MW	Date: 7/18/2018	Field B/c	Pjr

MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com





**Parking Lot Lighting
Tree Lane Project
Madison, WI**
July 13, 2018

Assumptions:
 -20 ft Mounting Height
 -Poles located 2' behind the pavement/sidewalk
 -Husbell Outdoor Lighting, Cimarron Series LED, 16 LED
 -Type II & IV Distributions, 4K Color Temperature

Illumination Calculation Summary

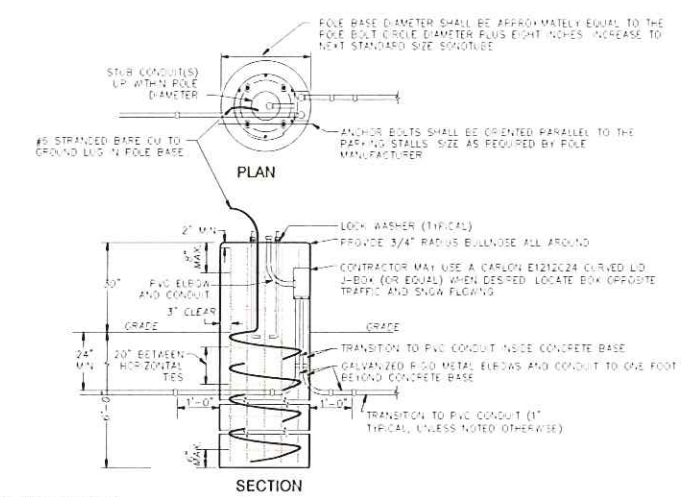
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
East Parking Lot	Fc	0.86	1.82	0.16	5.38	11.38
North Sidewalk	Fc	0.76	1.43	0.36	2.11	3.97
NW Parking Lot	Fc	0.76	1.34	0.16	4.75	8.38
South Driveway	Fc	0.57	1.16	0.14	4.07	8.29

Luminaire Schedule

Symbol	Qty	Label	Lum. Watts	LLF	Description
-	1	CL1S-16L-4K-2	38	0.810	CL1S-16L-4K-2
-	9	CL1S-16L-4K-4	38	0.810	CL1S-16L-4K-4

Isoline Legend

Value (Fc)	Color	Value (Fc)	Color	Value (Fc)	Color
0.01	Black	0.4	Green	1.5	Purple
0.1	Blue	0.5	Pink	2	Dark Purple
0.2	Light Blue	0.75	Red		
0.3	Light Green	1	Red-Orange		

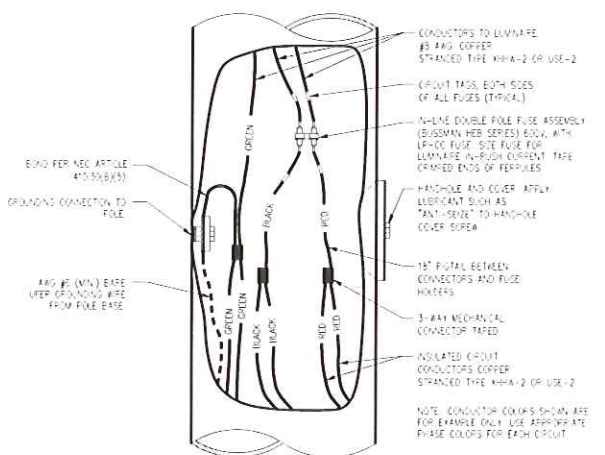


CONCRETE AND HARDWARE NOTES:
 1. USE ANCHOR BOLTS FURNISHED BY POLE MANUFACTURER. VERIFY BOLT CIRCLE DIAMETER WITH MANUFACTURER.
 2. APPLY "ANTI-SEIZE" LUBRICANT TO ALL ANCHOR BOLT THREADS.
 3. USE #4 REBAR (TYPICAL).
 4. THE EXPOSED SIDES OF THE CONCRETE BASE SHALL HAVE THE FORMS REMOVED AND THE CONCRETE RUBBED OUT TO A SMOOTH FINISH.
 5. THE TOP OF THE CONCRETE BASE SHALL HAVE A BUSHING FINISH.
 6. PROVIDE 3/4" RADIUS BULLNOSE ON TOP EDGE OF CONCRETE.

CONDUIT AND FITTING NOTES:
 1. AT CONTRACTOR'S OPTION, CONTRACTOR MAY USE A CURVED LID J-BOX RECESSED IN THE POLE BASE FOR ROUTING MULTIPLE CONDUITS TO/FROM A POLE. OTHERWISE CONDUITS SHALL BE STEELED OUT THE TOP OF THE CONCRETE BASE WITHIN THE POLE DIAMETER.
 2. WHEN USED, AN INCH BOX SHALL FACE OPPOSITE TRAFFIC AND SNOW FLOWING.
 3. PROVIDE A SPACE CONDUIT SLUG AT EACH END-OF-LINE FIXTURE. SEE PLANS FOR ADDITIONAL SPACE SLUGS.
 4. PROVIDE A BUSHING ON ALL EXPOSED CONDUIT ENDS.

CONCRETE FINISHES (AS PER) GROUNDING SYSTEM NOTES:
 1. PROVIDE #10 BARE COPPER STRANDED GROUNDING ELECTRODE CONDUCTOR (GEC) AT TOP OF REBAR CAGE.
 2. PROVIDE 2' OF #6 BARE COPPER STRANDED GROUNDING ELECTRODE CONDUCTOR.
 3. EXTEND 3' OF CONDUCTOR OUT THE TOP OF POLE BASE FOR POLE GROUNDING.
 4. SERIAL 10' MINIMUM OF CONDUCTOR AROUND OUTSIDE OF REBAR CAGE.
 5. LOOP REMAINS CONDUCTOR AROUND REBAR CAGE AT BOTTOM OF POLE BASE IN CONTACT WITH EARTH.

1 CONCRETE BASE DETAIL
SCALE: NTS



PARKING LOT LIGHTING NOTES:

- ALL CONDUIT SHALL BE 1 1/2" DIA. AND EITHER RIGID PVC OR ELECTRICAL-BORED PIPE CONDUIT. UNLESS OTHERWISE SPECIFIED, CONDUIT MUST BE EMBED INTO FURF UNDERNEATH ALL EXISTING PAVEMENT. TRENCHING WILL BE ALLOWED IN ALL OTHER LOCATIONS. ALL CONDUIT SHALL BE INSTALLED AT LEAST 30" BELOW EXISTING OR FINAL GRADE. INSTALL SPACE CONDUIT SLUG OUT OF EACH FOOTING.
- SERVICE VOLTAGE TO THE POLES IS 208-VOLT. PROVIDE #5 A.W.G. THHN OR USE CABLE TO EACH POLE. INSTALL 2-#5 A.W.G. CABLES WITHIN EACH POLE FROM THE FIXTURE TO POLE BASE.
- ALL SPlicing SHALL BE COMPLETED WITHIN AN IN-GRADE HAND-HOLE OR POLE BASE. SPlicing WITHIN A FULL BOX MUST BE COMPLETED USING A WATER-TIGHT CONNECTION. SPlice INTO LIGHTING CIRCUIT AT IN-GRADE HAND-HOLE AT THE EXTERIOR OF THE BUILDING NEAR THE PHOTOCELL.
- ALL HOLES RESULTING FROM CONSTRUCTION ACTIVITIES BY THE CONTRACTOR, INCLUDING UTILITY LOCATING, SHALL BE FILLED AND CONSOLIDATED TO FINISH GRADE, AS APPROVED BY ENGINEER. THE HOLES SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED, BUT NO LATER THAN THE FOLLOWING DAY.
- POLE SHALL BE ROUND, STRAIGHT, GALVANIZED-STEEL. POLE SHALL BE 20' HEIGHT, 6" DIAMETER, AND 0.127 MINIMUM WALL THICKNESS.
- FIXTURE SHALL BE A HUSSELL OUTDOOR LIGHTING, CIMARRON SERIES LED, TYPE II AND IV DISTRIBUTIONS.
- IN-GRADE HANDHOLES SHALL BE 11"x18"x18" AND RATED PER IS.

2 POLE CUTAWAY DETAIL - (208 VOLTS, 1 PHASE)
SCALE: NTS

TREE LANE SENIOR APARTMENTS

SITE LIGHTING

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

C6.0

MARK: _____ REVISION: _____ DATE: _____ BY: _____
 Checked By: SJA Scale/NOTED: _____
 Engineer: SJA Date: 7/18/2018 Field Bc: _____
 Technician: MW PROJECT NO. 118.0666.30
 FILE LOCATION: I:\Projects\2017\118.0666.30\118.0666.30.dwg
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

7333 TREE LANE
PARCEL NUMBER - 251/0708-233-0009-8

TREE LANE

PROPOSED BUILDING
7941 TREE LANE

PLANTING PLAN CONSTRUCTION NOTES

- REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION
- PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN 3-FOOT PERMETER, AND IN ALL AREAS NOTED ON PLANS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPACED VERTICAL EDGE WHEN PERMETER IS NOT CONCRETE CURB

LANDSCAPE CALCULATIONS AND DISTRIBUTION

STREET FRONTAGE REQUIREMENTS:
REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF OF FRONTAGE
TREE LANE: 237.5 LF /30 LF = 7.92 PLANT UNITS (PUS)
7.92 PUS X 1 OVERSTORY TREE = 7.92 TREES REQUIRED
DUE TO SANITARY EASEMENT, TREES ARE UNABLE TO BE PLANTED ALONG TREE LANE. 8 LARGE SHRUBS ARE PROVIDED IN LEU OF THE REQUIRED TREES.

7.92 PUS X 5 SHRUBS = 39.6 SHRUBS (39 PROVIDED)

INTERIOR PARKING LOT REQUIREMENTS:
REQUIREMENT: 5% OF PAVEMENT AREA TO BE USED AS LANDSCAPED AREAS
14,400 SF X 5% = 720 SF REQUIRED (XXX PROVIDED)

REQUIREMENT: 1 SHADE TREE PER 160 SF OF REQUIRED LANDSCAPED AREA
720 SF / 160 SF = 4.5 TREES REQUIRED (5 PROVIDED)

DEVELOPED LOT REQUIREMENTS:
REQUIREMENT: 5 POINTS PER 300 SF OF DEVELOPED AREA
14,400 SF / 300 SF = 48 X 5 = 240 POINTS REQUIRED (240 PROVIDED)

PLANTING PLAN GENERAL NOTES

- UTILITY WARNING:** THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE PLAN SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE. PARKWAY TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM DATE OF PROJECT ACCEPTANCE.
- CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE. PARKWAY TREES SHALL BE CARED FOR FOR A PERIOD OF TWO YEARS FROM THE DATE OF PROJECT ACCEPTANCE.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIAL IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. OWNER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.



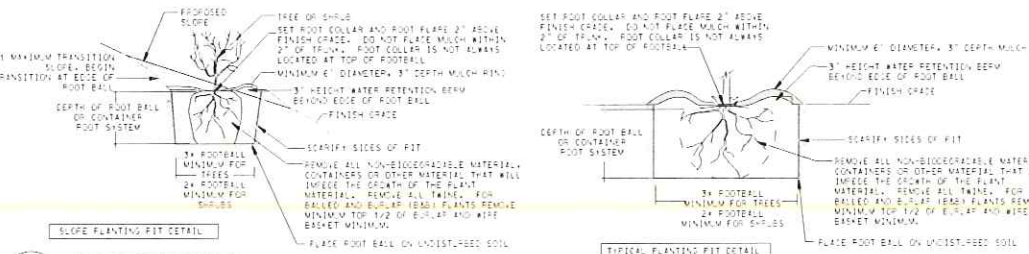
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG AN ASSOCIATION,

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

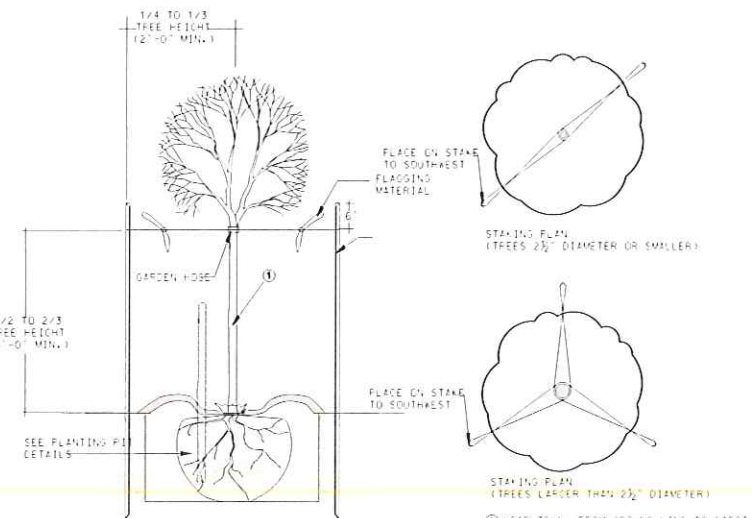
WIS. STATUTE 182.0275 (1274)
REQUIRES MIN. OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE

PLANT SCHEDULE

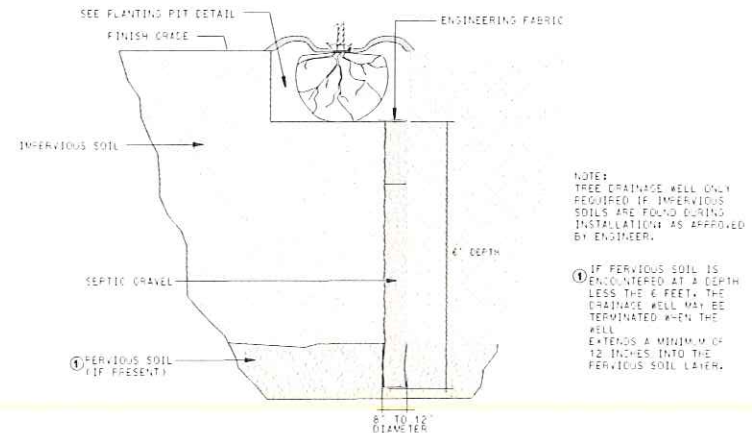
QTY	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL SIZE	MATURE SIZE	COMMENTS	POINT VALUE PER PLANT	TOTAL POINT VALUE
2	GB	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2 1/2" Cal	50h x 40w	B&B (MALE ONLY)	70	300
3	GT	Cedrela trichocarpa var. 'nervosa' 'Skyeole'	SKYLINE HONEYLOCUST	2 1/2" Cal	50h x 20w	B&B	105	180
1	GD	Gymnocladia dioica 'Espresso'	ESPRESSO KENTUCKY COFFEETREE	2 1/2" Cal	25h x 20w	B&B	35	90
5	MA	Malus 'Royal Redcrisp'	XX CRABAPPLE	1 1/2" Cal	50h x 30w	B&B	60	225
3	SR	Syringa reticulata 'Ivory Silk'	IVORY SILK JAPANESE TREE LILAC	1 1/2" Cal	50h x 40w	B&B	45	525
2	TA	Tilia americana 'Boulevard'	BOULEVARD LINDEN	2 1/2" Cal	20h x 20w	B&B	70	60
15	FM	Forsythia x intermedia 'Midori'	SHOW OFF FORSYTHIA	24" HI	6h x 6w	CONT. (6" O.C.)	3	45
10	HY	Hydrangea paniculata 'Limelight'	LIMELIGHT HYDRANGEA	24" HI	6h x 6w	CONT. (6" O.C.)	3	30
17	FO	Potentilla fruticosa 'Goldfinger'	GOLDFINGER POTENTILLA	18" HI	3h x 4w	CONT. (4" O.C.)	3	51
22	SB	Spiraea betulifolia 'TerGold'	GLOW GIRL SPIREA	18" HI	3h x 4w	CONT. (4" O.C.)	3	66
8	VP	Viburnum prunifolium	BLACKHAW VIBURNUM	48" HI	15h x 12w	CONT.	10	80



1 PLANTING PIT DETAILS
L1.0 NO SCALE



2 DECIDUOUS TREE STAKING DETAIL
L1.0 NO SCALE



3 TREE DRAINAGE WELL DETAIL
L1.0 NO SCALE

TREE LANE SENIOR APARTMENTS

LANDSCAPING PLAN

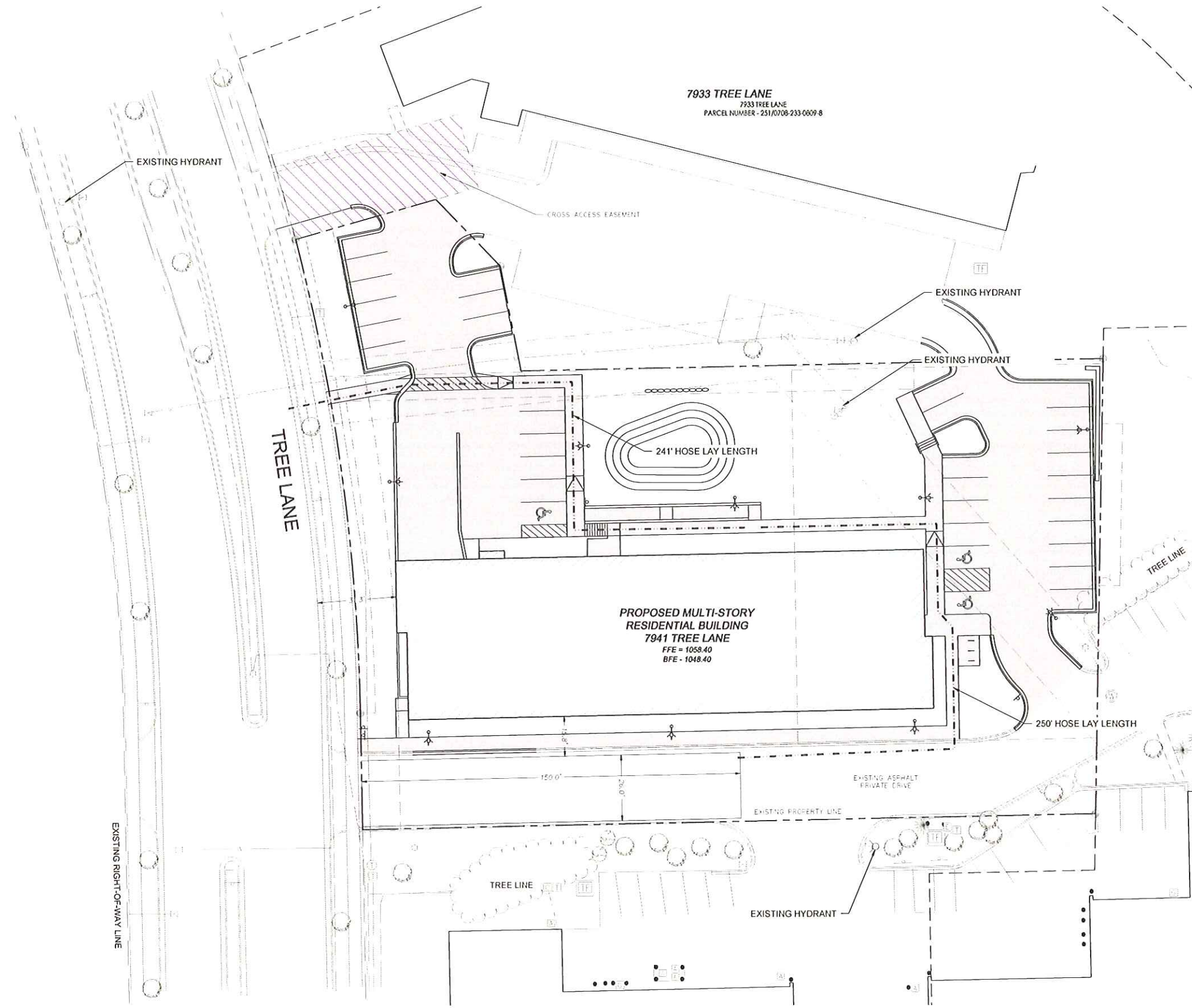
SNYDER & ASSOCIATES, INC.



L1.0

MADISON, WI
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA	Scale: NOTED	
Technician: LJC	Date: 7/18/2018	Field Bc	
PROJECT NO. 118.0644.30	FILE LOCATION:		



7933 TREE LANE
 7933 TREE LANE
 PARCEL NUMBER - 251/0708-233-0609-8

PROPOSED MULTI-STORY
 RESIDENTIAL BUILDING
 7941 TREE LANE
 FFE - 1058.40
 BFE - 1048.40

PERIMETER OF BUILDING IS 550'
 26' AERIAL ACCESS LANE FRONTS 131' OF BUILDING
 $131' / 550' (100\%) = 23.8\%$



 TO OBTAIN LOCATION OF
 PARTIALS' UNDERGROUND
 FACILITIES BEFORE YOU
 DIG IN A REGION:
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0195 (1974)
 REQUIRES 90% OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE.

MARK	REVISION	DATE	BY
	Checked By: SJA	Scale/NOTED	
	Engineer: SJA	Date: 7/18/2018	Field Bk:
	Technician: M/W	PROJECT NO. 118.0644.30	Pg:
FILE LOCATION: <small>C:\Users\lshelton\Documents\Projects\118.0644.30\118.0644.30.dwg</small>			

MADISON, WI
 FIRE DEPARTMENT SITE PLAN
TREE LANE SENIOR APARTMENTS
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-835-0444 | www.snyder-associates.com



FIRE

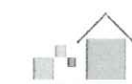


215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com

PROJECT

TREE LANE
SENIOR APARTMENTS
MADISON, WI

OWNER



CommonBond
COMMUNITIES

REVISIONS

NO.	DESCRIPTION	DATE

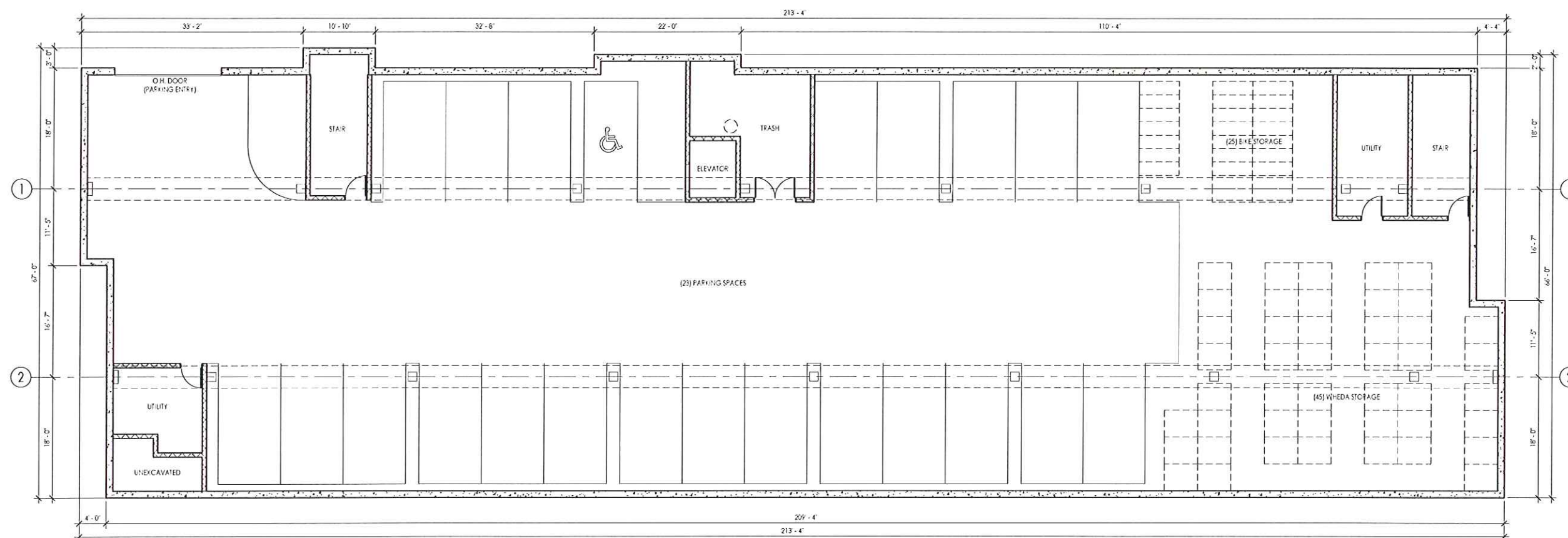
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	908
ISSUED FOR	MUNICIPAL SUBMITTAL
DATE	07.17.18

SHEET

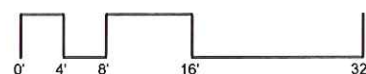
BASEMENT PLAN

A100



1 PRELIMINARY BASEMENT PLAN

SCALE 1/8" = 1'-0"



I:\SPS-SERVER\CompanyFiles\Drawings\2018\Common Bond\008 Tree Lane\008 Tree Lane.dwg

PROJECT

TREE LANE
SENIOR APARTMENTS
MADISON, WI

OWNER



REVISIONS

NO.	DESCRIPTION	DATE

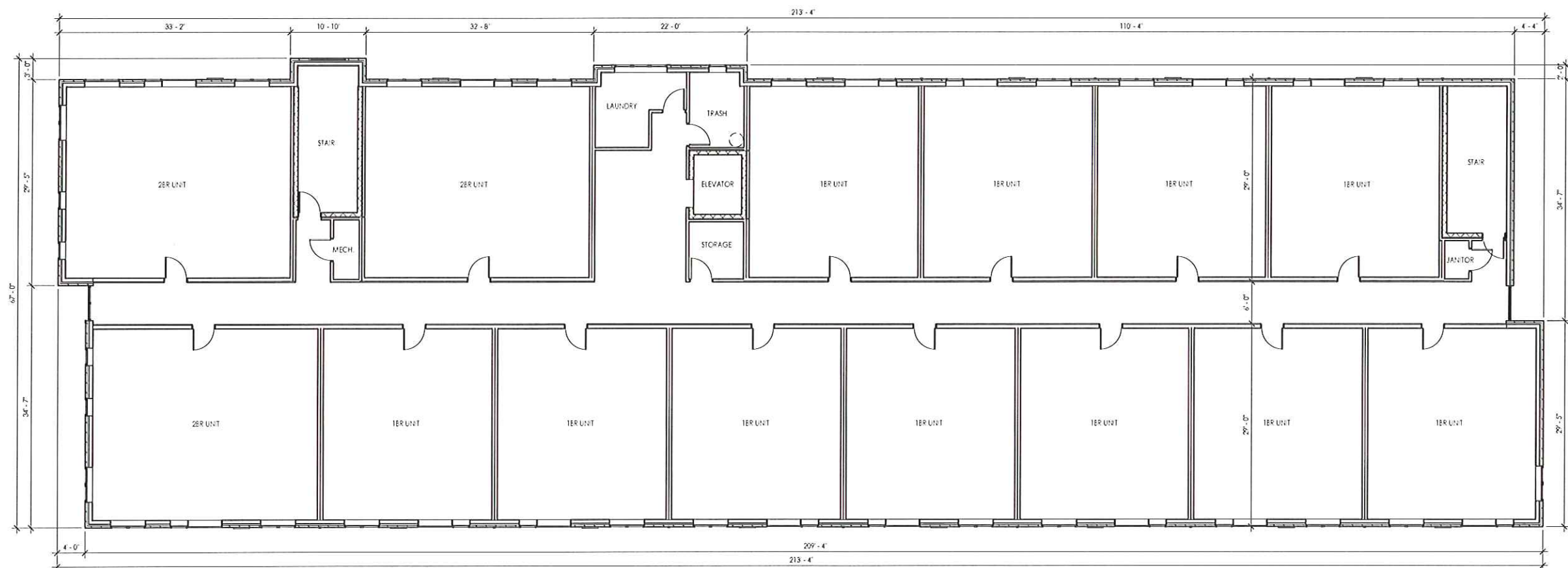
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	908
ISSUED FOR	MUNICIPAL SUBMITTAL
DATE	07.17.18

SHEET

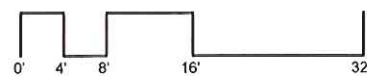
2ND/3RD/4TH FLOOR PLANS

A102



1 PRELIMINARY 2ND/3RD/4TH FLOOR PLANS

SCALE 1/8" = 1'-0"



PROJECT

TREE LANE
SENIOR APARTMENTS
MADISON, WI

OWNER



CommonBond
COMMUNITIES

REVISIONS

NO.	DESCRIPTION	DATE

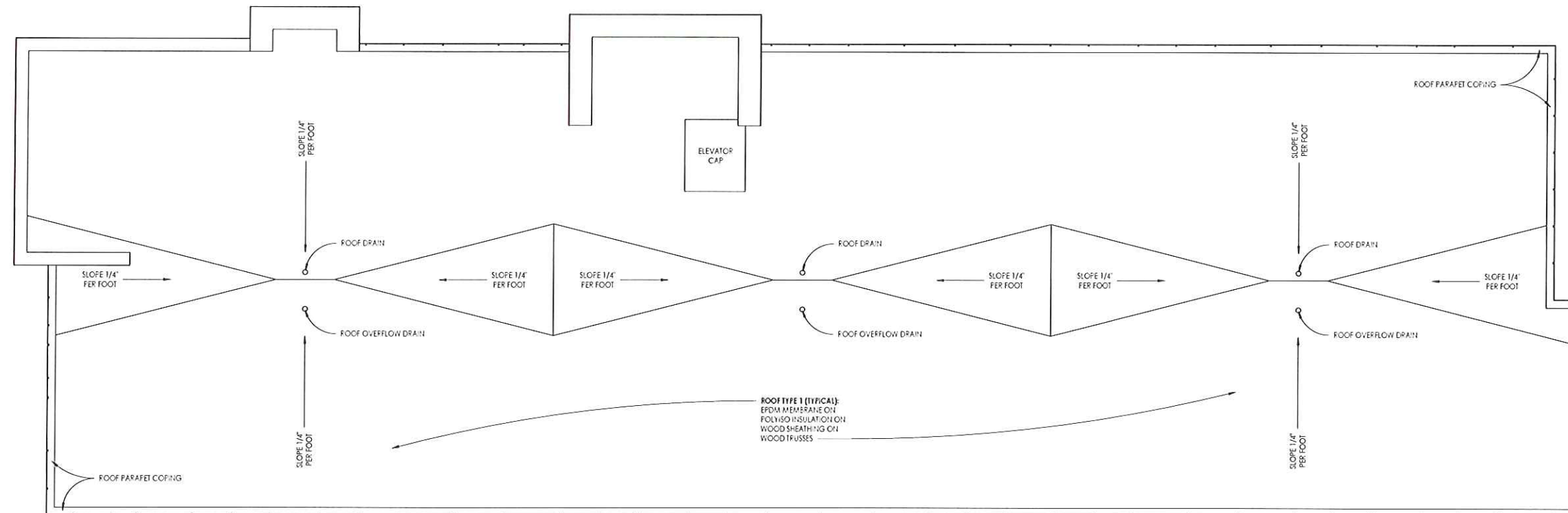
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	908
ISSUED FOR	MUNICIPAL SUBMITTAL
DATE	07.17.18

SHEET

ROOF PLAN

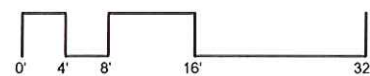
A103



ROOF TYPE 1 (TYPICAL):
EPDM MEMBRANE ON
POLYISO INSULATION ON
WOOD SHEATHING ON
WOOD TRUSSES

1 PRELIMINARY ROOF PLAN

SCALE 1/8" = 1'-0"





215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com

PROJECT

TREE LANE
SENIOR APARTMENTS
MADISON, WI

OWNER



CommonBond
COMMUNITIES

REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	908
ISSUED FOR	MUNICIPAL SUBMITTAL
DATE	07.17.18

SHEET

BUILDING ELEVATIONS

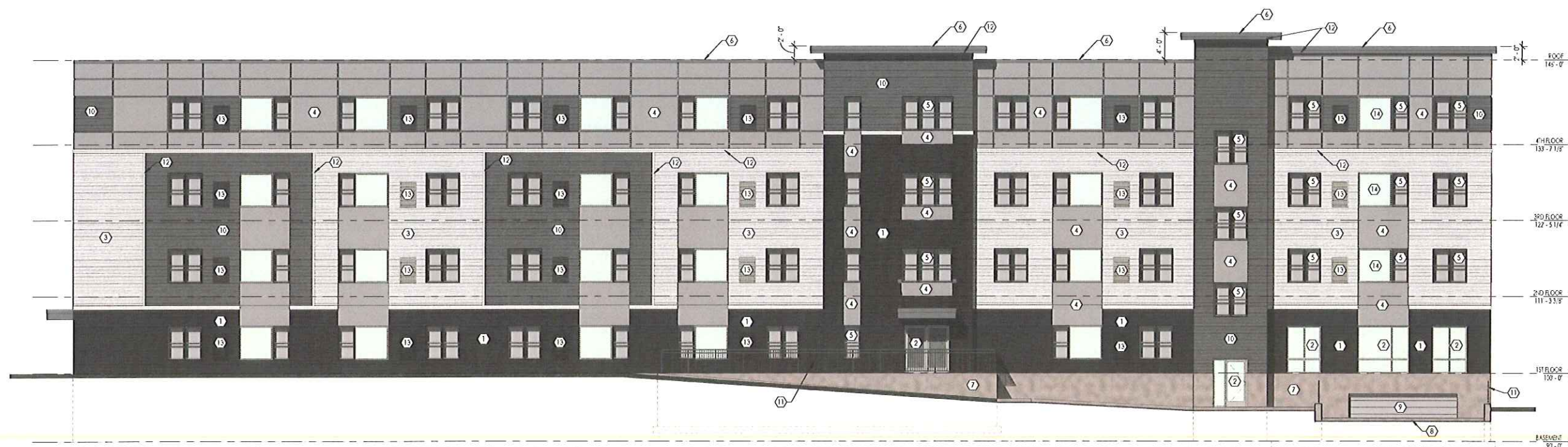
A401

ELEVATION

- ① FIBER CEMENT HORIZONTAL LAP SIDING (COLOR C)
- ② CLEAR ANODIZED ALUMINUM STOREFRONT FRAMING
- ③ FIBER CEMENT HORIZONTAL LAP SIDING (COLOR A)
- ④ FIBER CEMENT PANELS WITH FINISHED REVEALS
- ⑤ VINYL SINGLE-HUNG WINDOWS WITH INSULATED LOW-E GLAZING
- ⑥ FINISHED METAL COILING
- ⑦ CAST-IN PLACE CONCRETE FOUNDATION/PLANTER
- ⑧ UNDERGROUND PARKING ACCESS CONCRETE RAMP
- ⑨ INSULATED OVERHEAD DOOR
- ⑩ FIBER CEMENT HORIZONTAL LAP SIDING (COLOR B)
- ⑪ PAINTED STEEL OR FINISHED ALUMINUM GUARDRAIL
- ⑫ FIBER CEMENT TRIM BOARDS OR FASCIA
- ⑬ EXTERIOR MECHANICAL UNIT LOUVER
- ⑭ VINYL FIXED WINDOWS WITH INSULATED LOW-E GLAZING



1 WEST ELEVATION
SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE 1/8" = 1'-0"

USPC-SERVERCompany\landrawing\2018\Common Bond\008 Tree Lane\008 Tree Lane.dwg



215 N. WATER STREET, SUITE 250
MILWAUKEE, WISCONSIN 53202
T 414.277.9700 | F 414.277.9705
spsarchitects.com

PROJECT

TREE LANE
SENIOR APARTMENTS
MADISON, WI

OWNER



CommonBond
COMMUNITIES

REVISIONS

NO.	DESCRIPTION	DATE

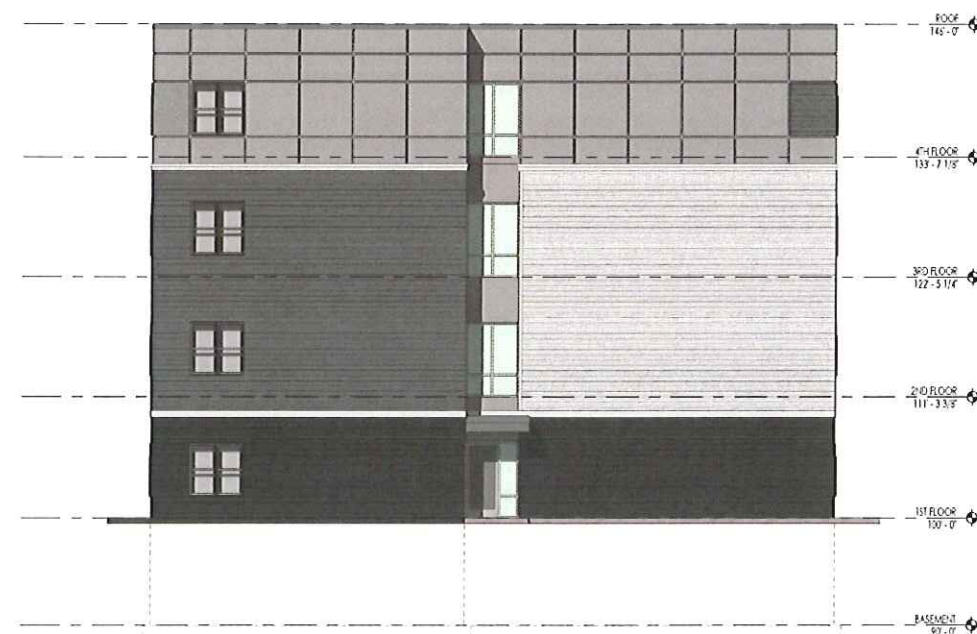
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	908
ISSUED FOR	MUNICIPAL SUBMITTAL
DATE	07.17.18

SHEET

BUILDING ELEVATIONS

A402



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

I:\SPS-SERVER\CompanyFiles\Drawings\2018\Common Bond\008 Tree Lane\008 Tree Lane 01.rvt



TREE LANE SENIOR APARTMENTS

MADISON, WISCONSIN

ENTRY PERSPECTIVE
JULY 17, 2018



STEPHEN
PERRY
SMITH
ARCHITECTS, INC.

TREE LANE SENIOR APARTMENTS

MADISON, WISCONSIN

NW PERSPECTIVE
JULY 17, 2018



TREE LANE SENIOR APARTMENTS

MADISON, WISCONSIN

SW PERSPECTIVE
JULY 17, 2018



TREE LANE SENIOR APARTMENTS

MADISON, WISCONSIN

NE PERSPECTIVE
JULY 17, 2018



TREE LANE SENIOR APARTMENTS

MADISON, WISCONSIN

SE PERSPECTIVE
JULY 17, 2018