

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**  
**Legistar # \_\_\_\_\_**

DATE SUBMITTED: <u>October 30, 2012</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>November 7, 2012</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

**PLEASE PRINT!**

**PLEASE PRINT!**

PROJECT ADDRESS: 6002 Cottage Grove Road

ALDERMANIC DISTRICT: 3

OWNER/DEVELOPER (Partners and/or Principals) <u>Rollie Winter Assoc.</u>	ARCHITECT/DESIGNER/OR AGENT: <u>Vandewalle &amp; Associates</u>
<u>3315A North Ballard Street</u>	<u>120 East Lakeside Street</u>
<u>Appleton, WI 54911</u>	<u>Madison, WI 53715</u>

CONTACT PERSON: Brian Munson  
Address: 120 East Lakeside Street  
Madison, WI 53715  
Phone: (608) 255-3988  
Fax: (608) 255-0814  
E-mail address: bmunson@vandewalle.com

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



Wednesday, September 19, 2012

Al Martin  
215 Martin Luther King Jr. Blvd.  
Suite 100  
Madison, WI 53710

**Re: 6002 Cottage Grove Road  
Planned Unit Development: Specific Implementation Plan  
Grandview Commons Grocery Store  
UDC Final Approval Request**

Mr. Martin,

Attached please find the Planned Unit Development: Specific Implementation Plan (PUD:SIP) submittal request for UDC Final Approval of the Grocery Store in Grandview Commons. This building is submitted for review along with the C3 Retail PUD-SIP application which together form the first two buildings in the revised Grandview Commons Town Center, per the PUD:GDP conditions of approval.

This plan set has been revised to reflect the conditions of approval from the Initial Approval of October 17, 2012, including the following:

**Site Plan/Landscape Plan**

- 1.) Entry plazas revised to create two outdoor seating areas with additional landscape revisions
- 2.) Central walkway revised to symmetrical configuration
- 3.) Plant palette revised per suggestions
- 4.) Western walkway/plantings revised near Gemini Drive
- 5.) Retaining wall material revised

**Architecture**

- 1.) Southwest/east, northwest awnings revised to sunscreens and increased in depth
- 2.) Awnings added on southern façade above upper windows
- 3.) Additional depth to the central piers
- 4.) Entry atrium slid south while maintaining alignment with central spine
- 5.) Vertical break added to southern/northern roof line

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342 North Water Street • Milwaukee, Wisconsin 53202 • 414.421.2001 • 414.732.2035 Fax  
[www.vandewalle.com](http://www.vandewalle.com)

Shaping places, shaping change

### **Additional Information**

1.) Tree removal/preservation plan

A detailed tree removal/preservation plan has been included in packet with additional information being developed for the meeting.

2.) Mechanical systems noise/visual mitigation

The mechanical systems have been screened with roof top noise/visual screens or enclosed within the refuse/storage area. These units generate the following decibel ratings HVAC (Condensers 60-83 dB(A), RTU's (55-94 dB (A)), Compactor (59 dB (A), 31 second cycle). The combination of screening and distance to adjoining homes effectively reduce the noise impact to comparable to the existing noise from the Interstate and Cottage Grove Road.

These systems are further mitigated aesthetically through the incorporation of the integrated visual screening and landscape screening (landscape layering and fence combinations) resulting in elimination of any direct sightlines to the units from all adjoining properties.

We look forward to discussing this project with the Commission at the November 7th UDC Meeting.

Sincerely,



Brian Munson  
Principal



# Grandview Commons Grocery Store



## Planned Unit Development: Specific Implementation Plan

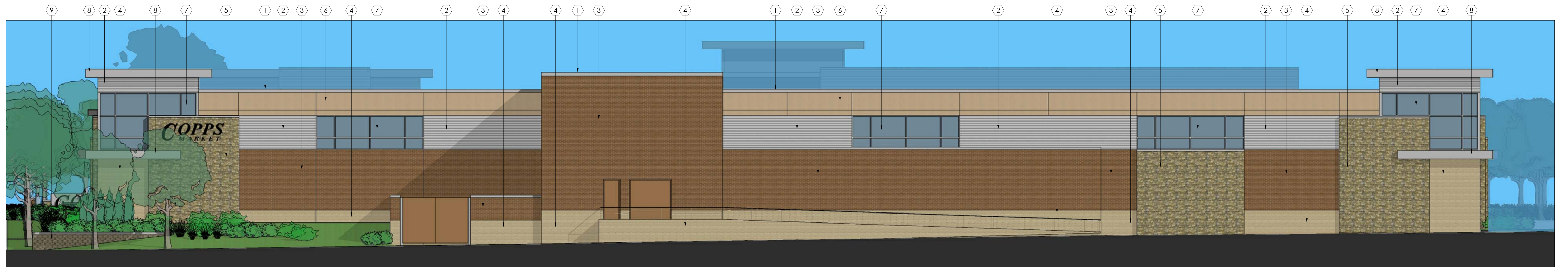
UDC Final Approval Submittal:  
October 31, 2012



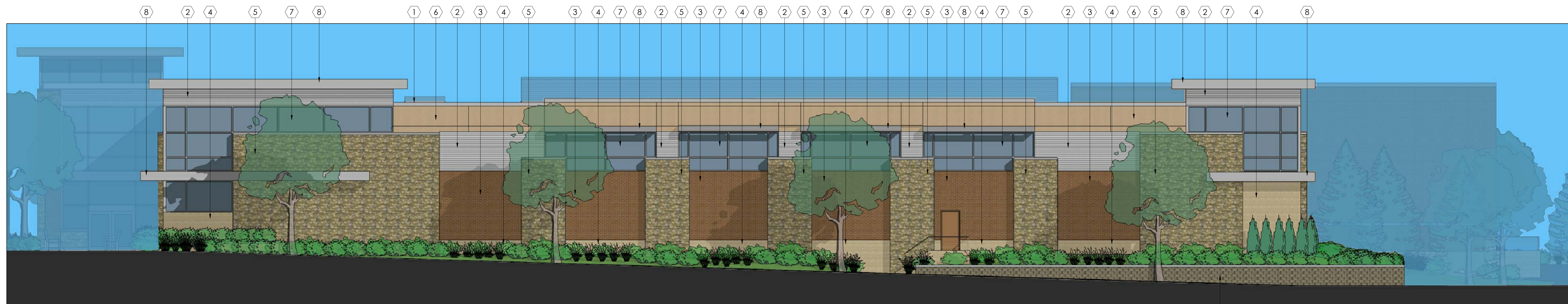
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ASSOCIATES INC.  
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FRONT ELEVATION



REAR ELEVATION



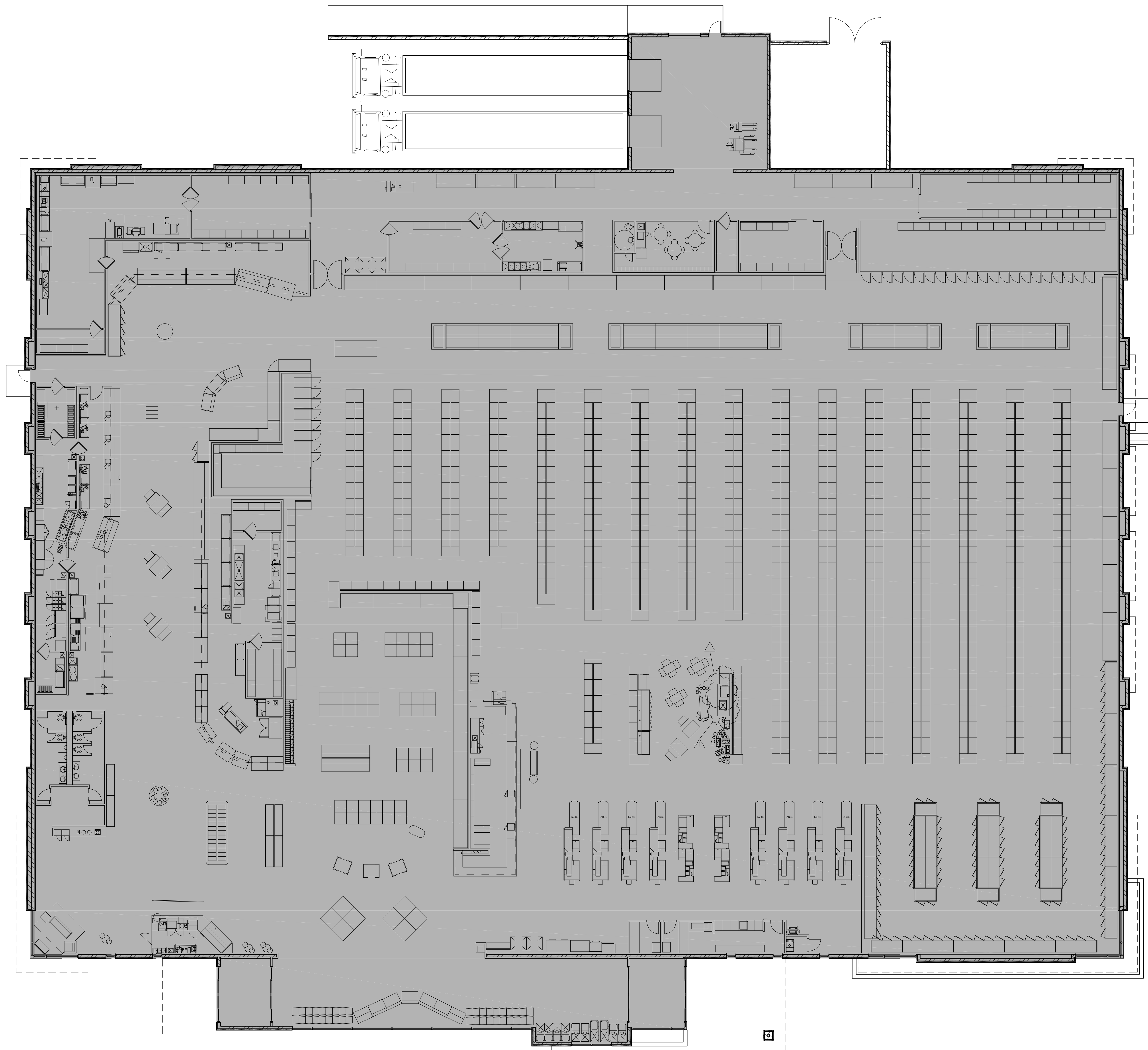
RIGHT ELEVATION



LEFT ELEVATION

ELEVATION KEY NOTES

- 1 PRE FINISHED METAL COPING (COLOR: CLEAR ANODIZED.)
- 2 PRE FINISHED CORRUGATED METAL SIDING (COLOR: CLEAR ANODIZED.)
- 3 DECORATIVE BRICK (COLOR: MEDIUM TAN)
- 4 DECORATIVE BLOCK BASE (COLOR: LIGHT TAN)
- 5 CULTURED STONE.
- 6 EIFS FASCIA WITH SAND PEBBLE FINE (COLOR: TAN).
- 7 CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND VISION GLASS UNITS.
- 8 PRE FINISHED BREAK METAL FASCIA FOR OVERHANGS AND CANOPIES (COLOR: CLEAR ANODIZED.)
- 9 PRE FINISHED DRY STACK RETAINING WALL. (COLOR: TAN)



FLOOR PLAN WITH PRELIMINARY LAYOUT



**COPPS**  
MARKET









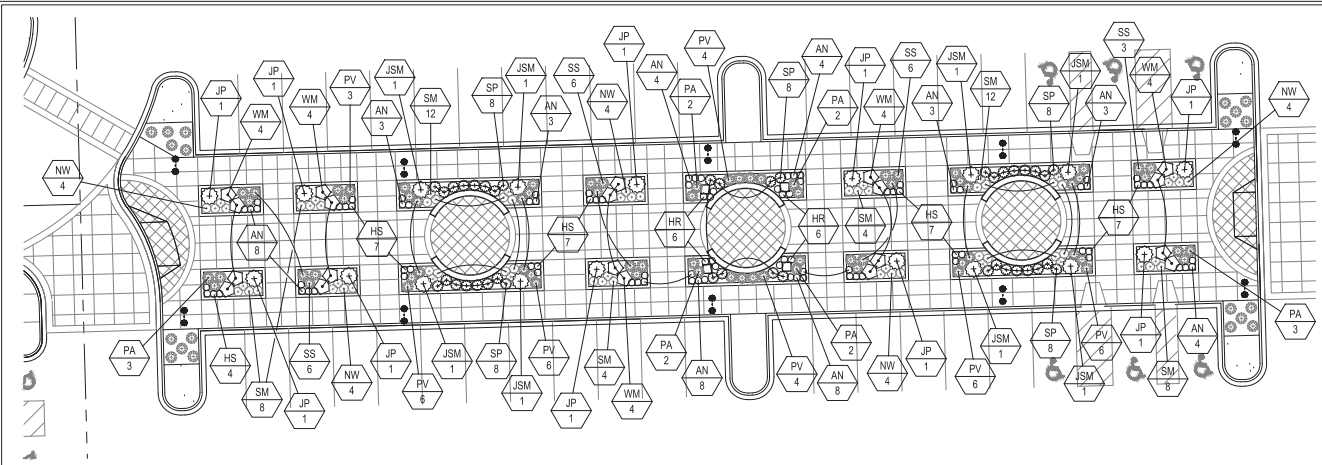
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PLAZA ENLARGEMENT - SHRUB & PERENNIAL PLANTING  
 1" = 16'-0"

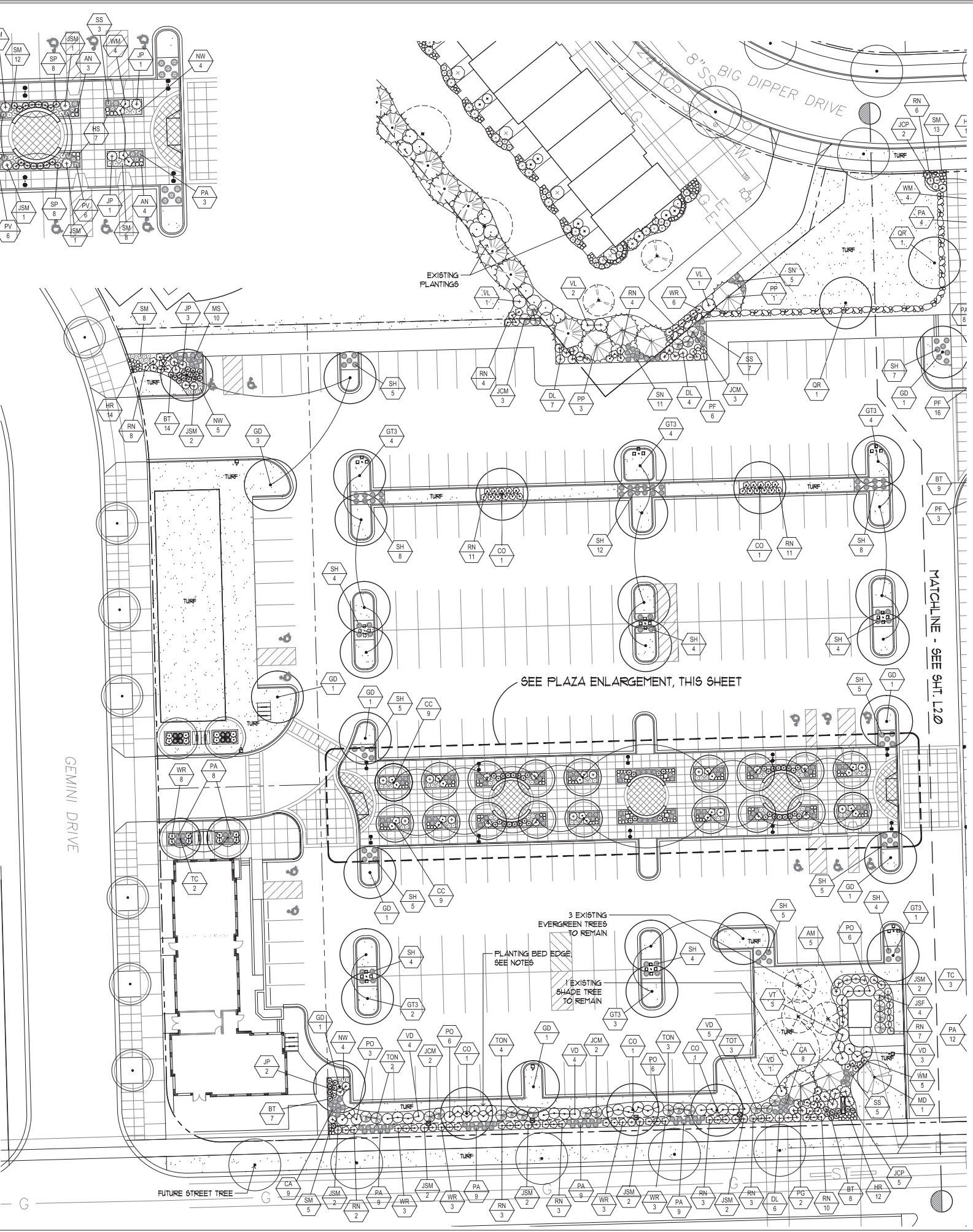
**PLANTING REQUIREMENTS**

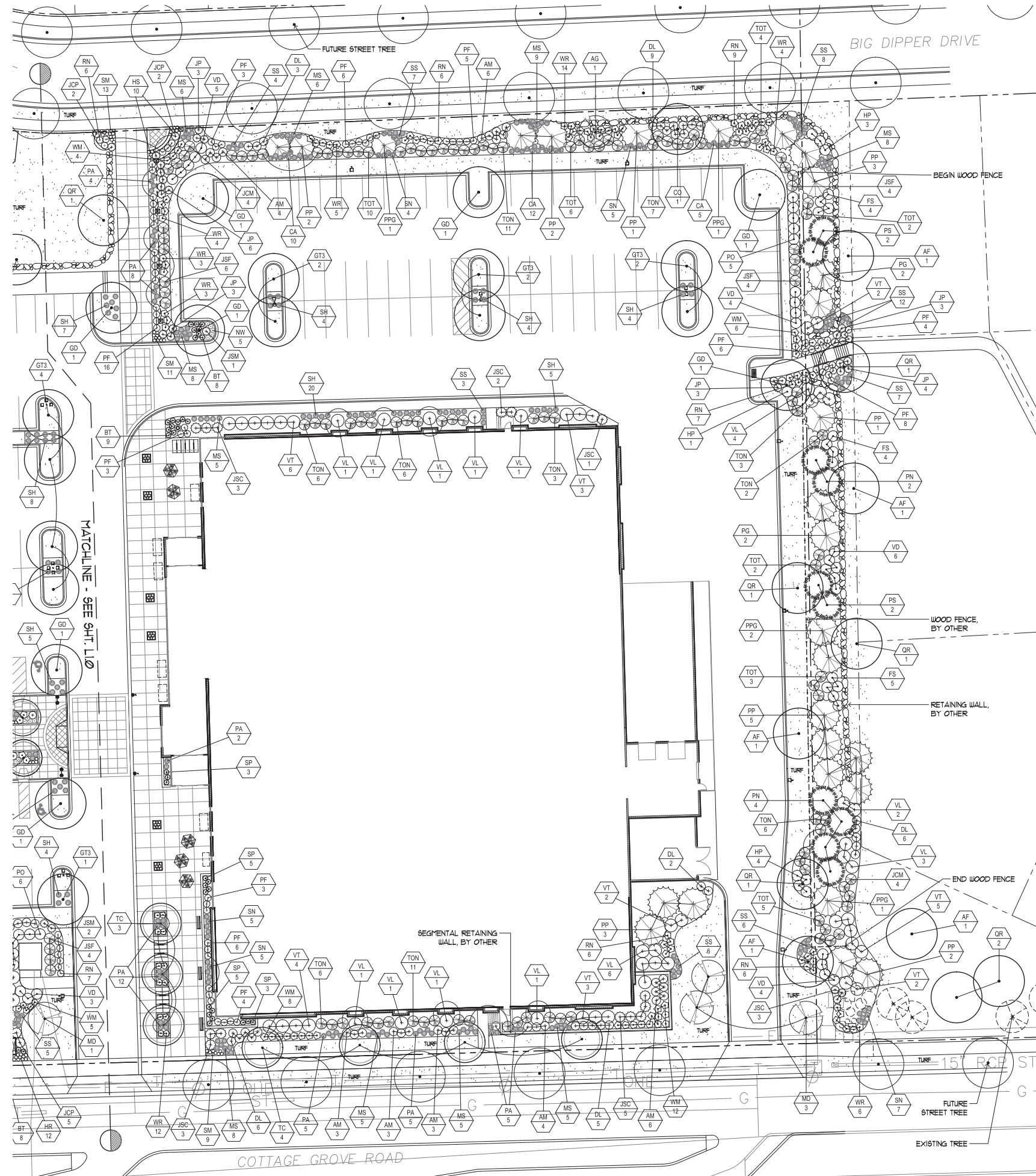
<b>Number of Trees Required</b>	
Number of Parking Stalls	288
Square Footage of Storage Area / 300	13
Number of Canopy Shade Trees Required	19
<b>Number of Landscape Points Required</b>	
Number of Points for Parking Stalls	1,118
Number of Points Required for Loading Areas (3 berths x 75 pts/berth)	225
Number of Points Required	1,343

Element	Pt. Value	Qty.	Pts. Achieved	Credits		Total
				Qty.	Points	
Canopy Tree	35	49	1,715	1	35	
Deciduous Shrub	2	636	1,272			
Evergreen Shrub	3	221	663			
Evergreen Tree	15	44	660	3	45	
			4,310	80	4,390	

**PLANTING SCHEDULE**

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COND.	SPACING	PT VALUE	POINTS
<b>Shade Trees</b>								
AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	5	2.5' Cal.	B/B	As shown	35	175
CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	6	2.5' Cal.	B/B	As shown	35	210
GT3	Gleditsia tricanthos 'Skyline'	Skyline Honeylocust	24	3" Cal.	B/B	As shown	35	840
GD	Gymnocladia dioica	Kentucky Coffeetree	16	2.5' Cal.	B/B	As shown	35	560
TC	Tilia cordata 'Greenspire'	Greenspire T. Breat/Linden	9	2.5' Cal.	B/B	As shown	35	315
QR	Quercus rubra	Red Oak	8	2.5' Cal.	B/B	As shown	35	280
<b>Ornamental Trees</b>								
AG	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1	6" Ht. Mulch	B/B	As shown	15	15
CC	Carpinus caroliniana	Musciewood/Blue Beech	18	2" Cal.	B/B	As shown	15	270
MD	Malus x 'Donald Wyman'	Donald Wyman Crabapple	4	1.5' Cal.	B/B	As shown	15	60
<b>Evergreen Trees</b>								
PS	Picea glauca var. densa	Black Hills Spruce	8	6' Ht.	B/B	As shown	15	90
PP	Picea pungens	Colorado Green Spruce	23	6' Ht.	B/B	As shown	15	345
PPG	Picea pungens 'Gauca'	Colorado Blue Spruce	5	6' Ht.	B/B	As shown	15	75
RN	Pinus nigra	Austrian Pine	6	6' Ht.	B/B	As shown	15	90
PS	Pinus sylvestris	Scots Pine	4	6' Ht.	B/B	As shown	15	60
<b>Deciduous Shrubs</b>								
AM	Aronia melanocarpa var. 'Iniquos Beauty'	Iniquos Beauty Black Chokeberry	34	2 Gall.	Container	48" o.c.	2	68
BT	Berberis l. s. nana 'Crimson Pigmy'	Crimson Pigmy Barberry	46	2 Gall.	Container	30" o.c.	2	92
DL	Diervilla lonicera	Dwarf Bush Honeysuckle	48	2 Gall.	Container	48" o.c.	2	96
FS	Forsythia x 'Sunrise'	Sunrise Forsythia	13	36" Ht.	B/B	60" o.c.	2	26
HP	Hydrangea paniculata 'Lil Lamb'	Lil Lamb Hydrangea	8	36" Ht.	B/B	60" o.c.	2	16
PO	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	26	36" Ht.	B/B	60" o.c.	2	52
PF	Potentilla frut. 'McKay's White'	McKay's White Potentilla	70	2 Gall.	Container	36" o.c.	2	140
RN	Rosa 'Nearly Wild'	Nearly Wild Rose	109	2 Gall.	Container	36" o.c.	2	218
SP	Salix purpurea nana	Dwarf Arctic Willow	56	5 Gall.	Container	48" o.c.	2	112
WM	Weigela 'Minut'	Minut Weigela	55	2 Gall.	Container	42" o.c.	2	110
WR	Weigela 'Rumba'	Rumba Weigela	77	2 Gall.	Container	42" o.c.	2	154
VD	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	36	3/4" Ht.	B/B	72" o.c.	2	72
VL	Viburnum lentago	Nannyberry Viburnum	28	36" Ht.	B/B	72" o.c.	2	56
VT	Viburnum trilobum 'Wentworth'	Wentworth Viburnum	30	30" Ht.	B/B	72" o.c.	2	60
<b>Evergreen Shrubs</b>								
JCM	Juniperus chinensis 'Mountain'	Mountain Juniper	14	5' Ht.	B/B	60" o.c.	3	42
JCP	Juniperus chinensis pfc comp.	Compact Pflzer Juniper	14	5 Gall.	B/B	60" o.c.	3	42
JP	Juniperus procumbens 'Nana'	Dwarf Juniper 'Nana'	32	1 Gall.	B/B	48" o.c.	3	96
JSC	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	17	5 Gall.	Container	60" o.c.	3	51
JSM	Juniperus sabina 'Mini Arcadia'	Mini Arcadia Juniper	27	5 Gall.	Container	48" o.c.	3	81
JSF	Juniperus scopulorum 'Fairview'	Fairview Juniper	12	5' Ht.	B/B	60" o.c.	3	36
TON	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	70	5' Ht.	B/B	60" o.c.	3	210
TOT	Thuja occidentalis 'Techny'	Techny Arborvitae	35	5' Ht.	B/B	60" o.c.	3	105
<b>Perennials</b>								
AN	Aster novae-angliae 'Purple Dome'	Purple Dome Aster	48	1 Gall.	Container	18" o.c.		
CA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	44	1 Gall.	Container	30" o.c.		
HR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	38	1 Gall.	Container	18" o.c.		
HS	Hemerocallis 'Sella d' Oro'	Low Yellow-Gold Daylily	42	1 Gall.	Container	18" o.c.		
MS	Miscanthus sinensis 'Red Flame'	Red Flame Miscanthus	67	1 Gall.	Container	30" o.c.		
NW	Nepeta x 'Walker's Low'	Walker's Low Catmint	34	1 Gall.	Container	24" o.c.		
PV	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	35	1 Gall.	Container	24" o.c.		
PA	Pennisetum arryzoides 'Hamlet'	Hamlet Dwarf Fountain Grass	59	1 Gall.	Container	24" o.c.		
SH	Sporobolus heterolepis	Prairie Dropseed	126	1 Gall.	Container	24" o.c.		
SM	Salvia x May Night	May Night Salvia	94	1 Gall.	Container	18" o.c.		
SN	Sorghastrum nutans	Indian Grass	42	1 Gall.	Container	30" o.c.		
SS	Schizachyrium scoparium	Lilte Bluestem	86	1 Gall.	Container	30" o.c.		





**PLANTING NOTES**

**GENERAL**

**Digging**  
Contact local Digger's Hotline prior to any digging.

**Topsoil**  
Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from peaty sources will be accepted. Topsoil imported from a local supplier shall be stripped and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.

**Fine Grading**  
Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stone exceeding 2 inches in diameter from area to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to sheet drain and approximate contours on grading plan.

**PLANTING**

**Plant starter mix**  
A 2:1 ratio mix of two parts peat moss and one part manure.

**Trees**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Shrubs**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Perennials:**  
Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and milorganite, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Rototill to blend and re-grade as necessary. Set plant depth to be same as grown in nursery. Water-in well.

**MULCHING**  
Install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-5' diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

**BED EDGING**  
All planting beds adjacent to turf areas shall be edged with poly-vinyl edging. Install per manufacturer's instructions.

**TURF SEDING**

Proportions by common name	by weight
A. Barron kentucky bluegrass	20 %
B. Liberty kentucky bluegrass	20 %
C. Pennlawn fescue	20 %
D. Prelude ii perennial ryegrass	20 %
E. Palmer ii perennial ryegrass	20 %

Apply at the rate of 5 Lbs. per 1000 Sf.

Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.

- Spread lawn fertilizer per manufacturer's specifications.
- Do not seed following rain or if surface has been compacted by rain.
- Do not seed when wind velocity exceeds 6 m.p.h.
- Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.
- Keep seedbed moist for 4 weeks.

**MAINTENANCE**

**Maintenance Period** - Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contactor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.

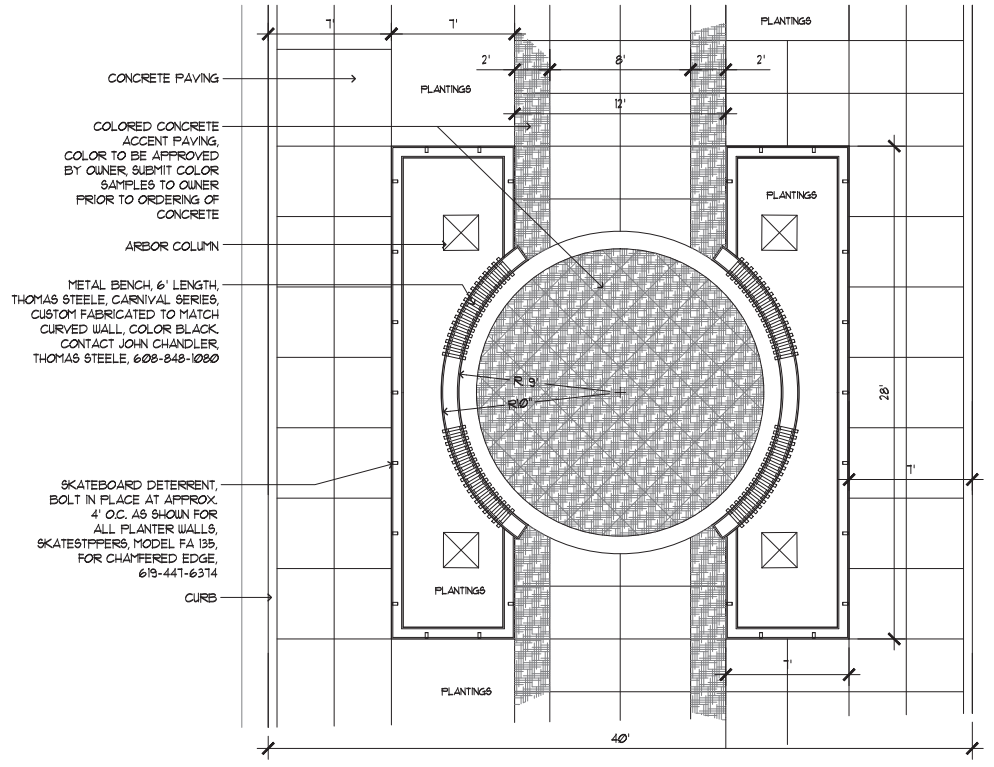
**PLANT GUARANTEE**

The landscape contractor shall guarantee to replace once, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

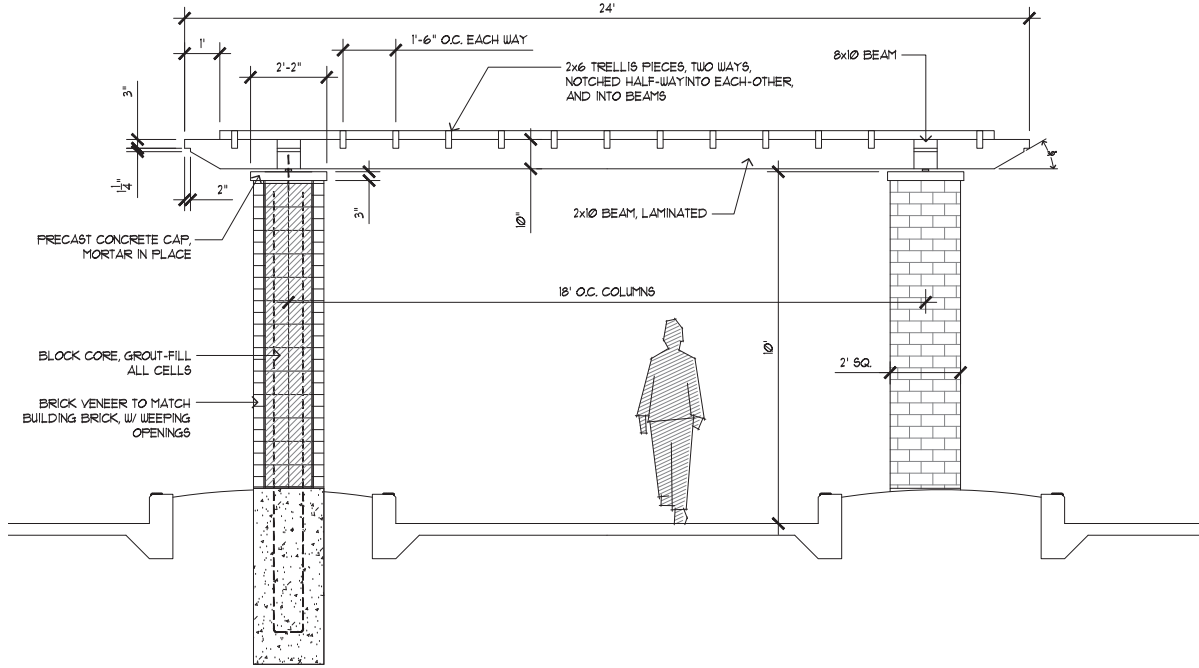


REVISIONS

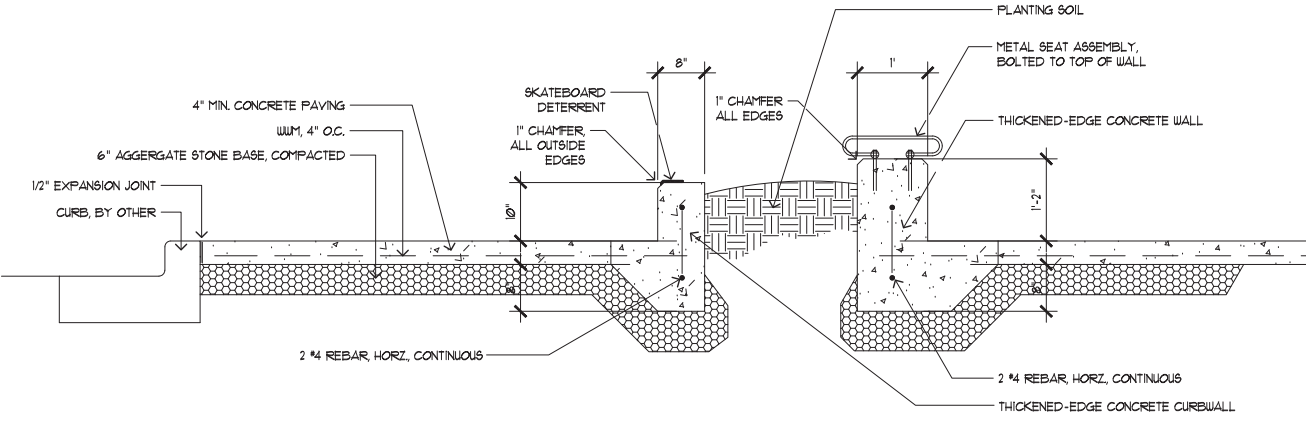
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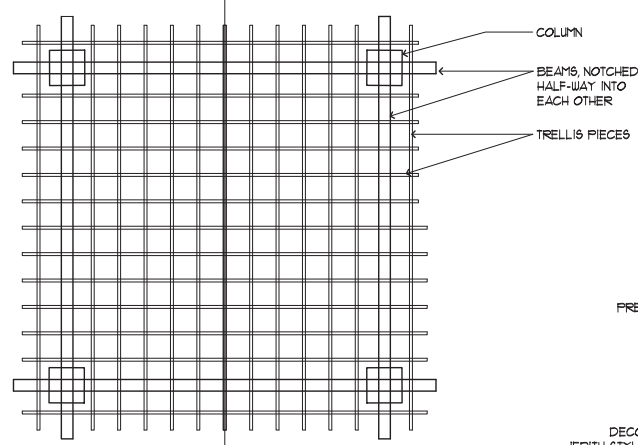
SEATING NODE  
1/4" = 1'-0"



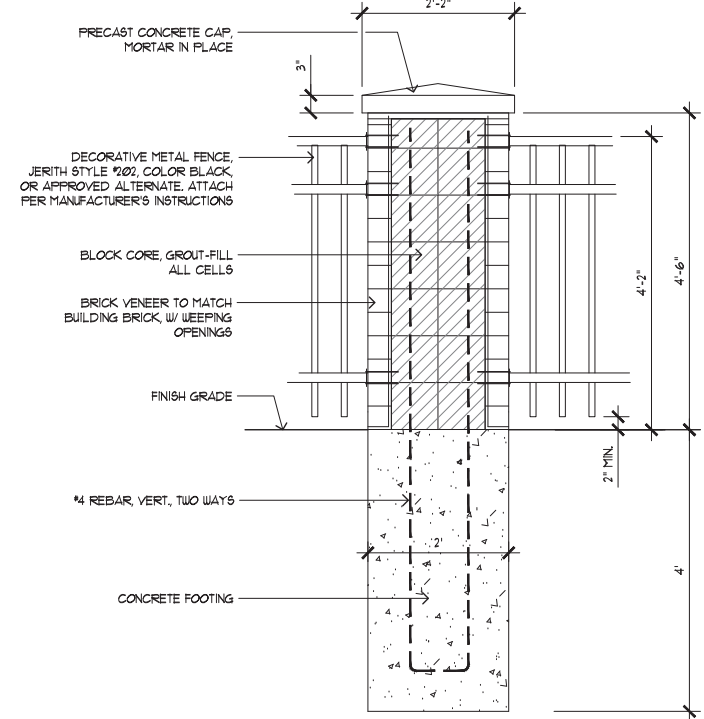
ARBOR SECTION  
1/2" = 1'-0"



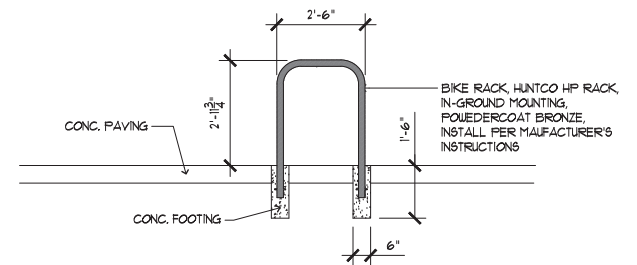
SEATING NODE SECTION  
1" = 1'-0"



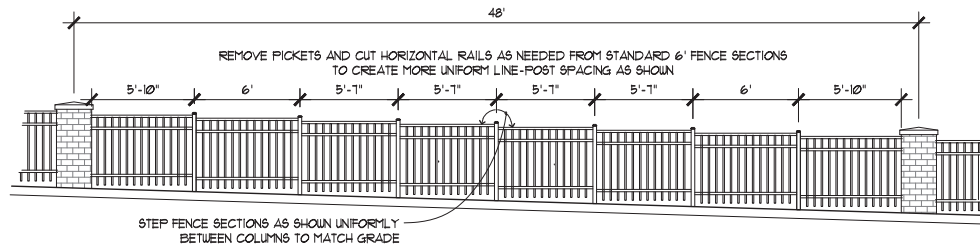
ARBOR PLAN  
1/4" = 1'-0"



DECORATIVE FENCE COLUMN SECTION  
1" = 1'-0"

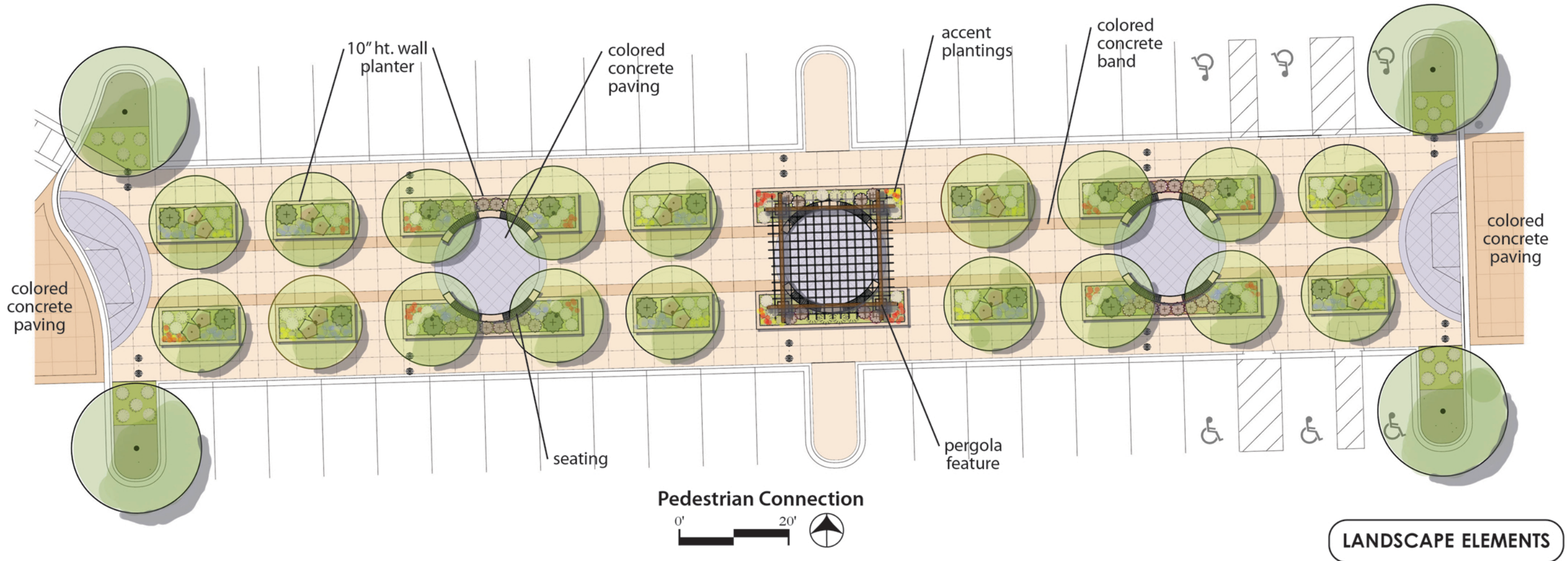
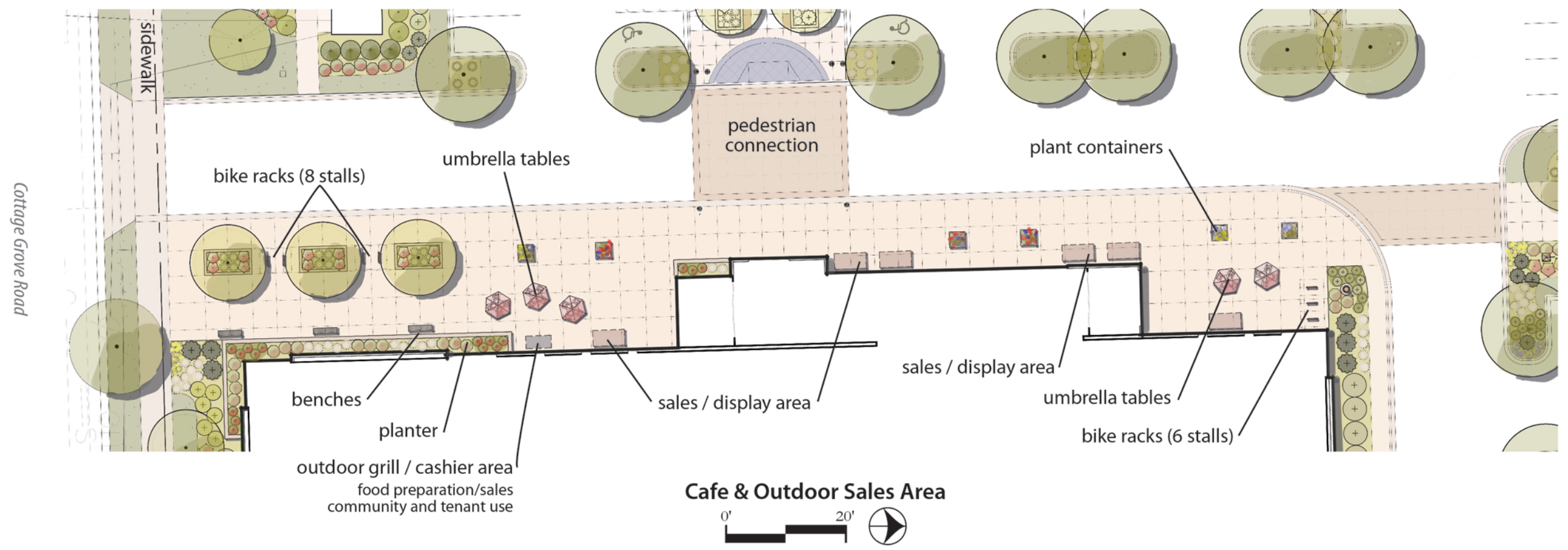


BIKE RACK  
1/2" = 1'-0"



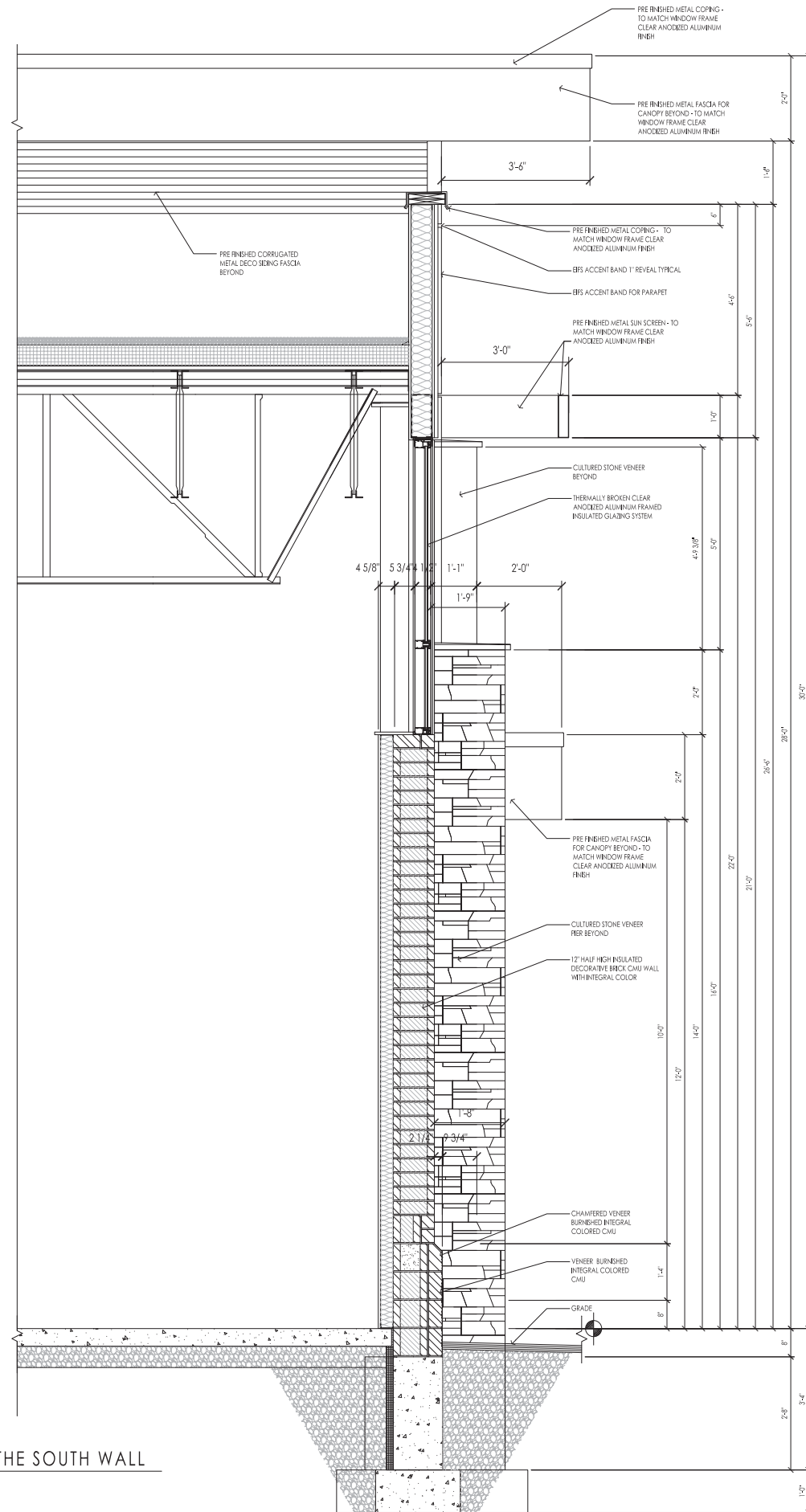
DECORATIVE FENCE ELEVATION  
1/4" = 1'-0"

REVISIONS

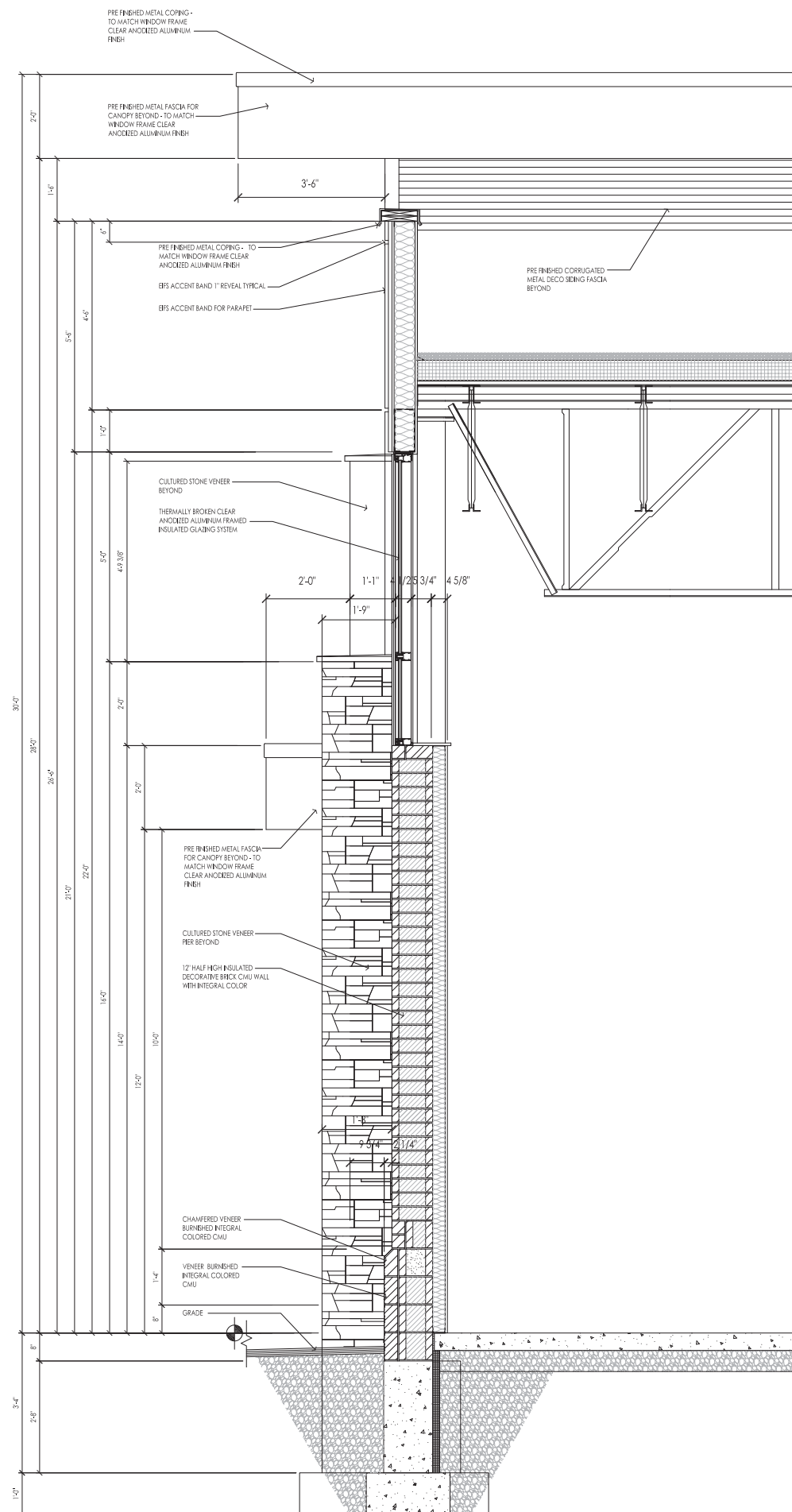



**LANDSCAPE ELEMENTS**



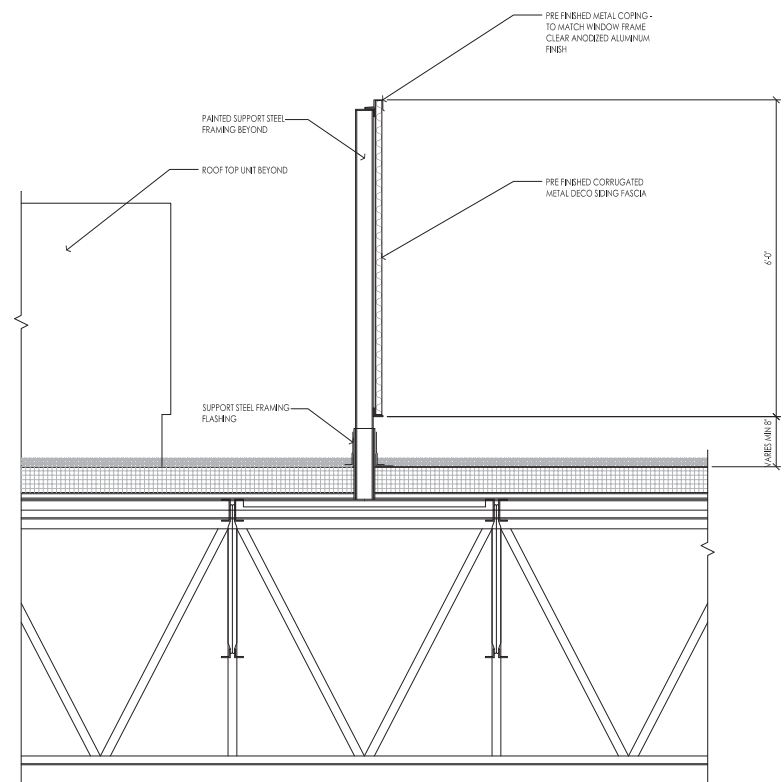


WALL SECTION THROUGH CLERESTORY AT THE SOUTH WALL  
 3/4" = 1'-0"



WALL SECTION THROUGH CLERESTORY AT THE NORTH WALL  
 3/4" = 1'-0"





WALL SECTION THROUGH ROOF TOP UNIT SCREEN  
 3/4" = 1'-0"

# Grandview Commons

Town Center/Doric Lodge  
Revised General Development Plan

- |    |                           |                                  |
|----|---------------------------|----------------------------------|
| 1  | Oak                       | Preserve                         |
| 2  | Oak                       | Preserve pending Library Design  |
| 3  | Oak                       | Remove due to grading impacts    |
| 4  | Hickory                   | Remove due to grading impacts    |
| 5  | Hickory                   | Remove due to street extension   |
| 6  | Oak                       | Preserve                         |
| 7  | Maple                     | Remove due to existing condition |
| 8  | Oak                       | Preserve                         |
| 9  | Maple                     | Preserve                         |
| 10 | Spruce                    | Preserve                         |
| 11 | Maple, Hackberry, Spruce  | Remove due to grading            |
| 12 | Woodlot Preservation Area |                                  |

Remaining trees to be removed

