

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid \$ <u>1450⁰⁰</u>	Receipt No. <u>74784</u>
Date Received <u>9-20-06</u>	
Received By <u>RST</u>	
Parcel No. <u>0709-131-2401-5</u>	
Aldermanic District <u>G, Judy Olson</u>	
GQ <u>R.E. hold JJE</u>	
Zoning District <u>M1</u>	
For Complete Submittal	
Application <input checked="" type="checkbox"/>	Letter of Intent <input checked="" type="checkbox"/>
IDUP <u>N/A</u>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <input checked="" type="checkbox"/>
Alder Notification <input checked="" type="checkbox"/>	Waiver <input type="checkbox"/>
Ngbrhd. Assn Not. <input checked="" type="checkbox"/>	Waiver <input type="checkbox"/>
Date Sign Issued <u>9-20-06</u>	

1. Project Address: 301 S. Ingersoll St. **Project Area in Acres:** 1.06

Project Title (if any): 301 S. Ingersoll

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>M1</u> to <u>PUD-SIP</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Rich Arnesen Company: 301 S. Ingersoll, LLC

Street Address: 321 E. Main St. City/State: WI Zip: 53701-1547

Telephone: (608) 251-6000 Fax: (608) 251-6077 Email: rba@stonehousedevlopment.com

Project Contact Person: J. Randy Bruce Company: Knothe & Bruce Architects, LLC

Street Address: 7601 University Ave., Suite 201 City/State: Middleton, WI Zip: 53562

Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: 76-unit apartment project with underground parking.

Development Schedule: Commencement Spring, 2007 Completion Spring, 2008

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,450 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of East Rail Corridor Plan, which recommends: multi-family housing for this property.

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Judy Olson - District #6, Marquette Neighborhood Association (Marsha Rummel) 6/29/06

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks/Bill Roberts Date 9/14/06 | Zoning Staff Interdepartmental Meeting Date 9/14/06

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Richard Arnesen Date 9-19-06
 Signature *Richard Arnesen* Relation to Property Owner _____

Authorizing Signature of Property Owner *Richard Arnesen* Date _____

September 20, 2006

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
M-1 to PUD-GDP-SIP
301 S. Ingersoll Street
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: 301 S. Ingersoll, LLC
P. O. Box 1547
Madison, WI 53701-1547
608-251-6000
608-251-6077 fax
Contact: Rich Arnesen,
Stone House Dev.

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Calkins Engineering
5010 Voges Road
Madison, WI 53718
(608) 838-0444
(608) 838-0445 fax
Contact: Dave Glusick

Landscape Design: Ken Saiki Design
303 S. Paterson St.
Suite 1
Madison, WI 53703
(608) 251-3600
Contact: Ken Saiki

Project Description:

The site plan was designed to create an urban, pedestrian-oriented streetscape. The two buildings in the development form both a street edge and a rear courtyard. The larger 52 unit four story building houses the community areas of the development and is located on the east end of the site. To provide a better transition to the residential neighbors, the building on the corner of Ingersoll and East Wilson is of a smaller scale with three stories and 24 units. The courtyard is linked to the future Central Park and has both hardscape areas for intensive use and landscaped green space for recreation, plantings and storm water management. The lower two floors of the buildings on the East Wilson Street façade will be two-story, 3-bedroom townhomes with individual entry porches.

The buildings are well articulated to maintain a residential scale and rhythm. Flat roofs are used to minimize the apparent building heights. The exterior materials are masonry in combination with composite wood siding. The siding will have varied deep colors for a striking façade and the masonry detailing will add to the substantial appearance.

Vehicular access to the underground parking garage is accommodated on the east end of the site. Visitor parking will be accommodated on-street. Currently, unrestricted parking is available on the north side of Wilson. The developer, with the neighborhood support, is requesting that the Wilson Street parking be posted as 2 hour parking to better accommodate the neighborhood and development needs. Adequate bicycle parking is provided in the parking garage and in the courtyard area on the site.

Site Development Data:

Dwelling Unit Mix:

Studios	7
One-Bedroom	23
One-Bedroom + Den	2
Two-Bedroom	34
Three-Bedroom Townhomes	<u>10</u>
Total dwelling Units	76

Densities:

Lot Area	41,464 SF or 1.06 acres
Lot Area / D.U.	611 SF/unit
Density	72 units/acre

Building Height:

3 and 4 Stories

Floor Area Ratio:

Total Floor Area (excluding parking)	84,240 SF
Floor Area Ratio	2.0

Vehicular Parking Standards (R-6)

Studios	(7 X .50 /unit)	3.5 spaces
One Bedrooms	(25 X 1.25 /unit)	31.25 spaces
Two Bedrooms	(34 X 1.50 /unit)	51 spaces
Three Bedrooms	(10 X 1.75/unit)	<u>17.5 spaces</u>
Total Required Parking		103 spaces

Legal Description: The lands subject to this Planned Unit Development District shall include the lands described in Exhibit A.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a residential development with 76 dwelling units.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
 - 1. Multifamily residential uses as allowed in the R-6 zoning district.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans. No off-street loading will be provided.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-6 zoning district.
- J. **Signage:** Signage will be allowed as per the R-6 zoning district or as provided in the approved plans or as a minor alteration to the approved PUD-SIP.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

EXHIBIT A

Legal Description (Furnished)

(per First American Title Insurance Company File No. NCS-213871-MAD)

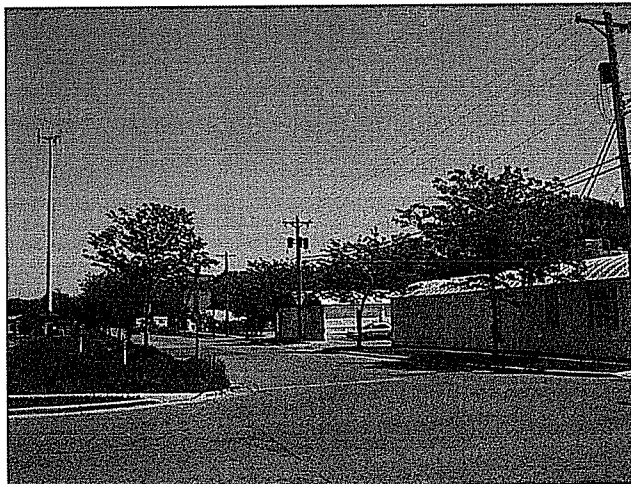
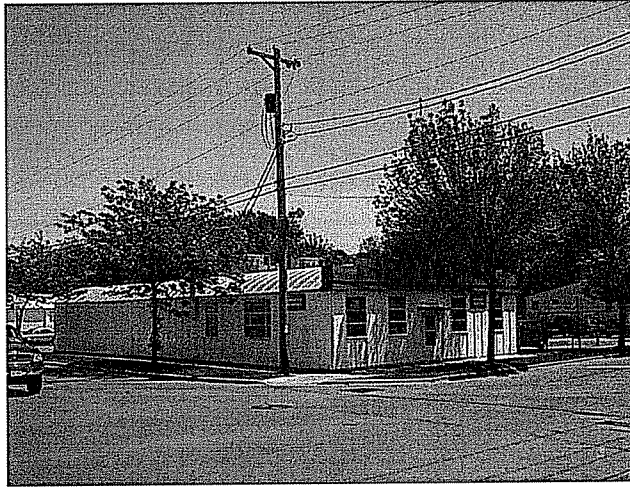
Lots One (1), Two (2), Three (3), Four (4), Five (5) and the southwest 22 feet of Lot Six (6), Block one hundred eighty-four (184), original plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

Tax ID #: 251/0709-131-2401-5

Property Address:

301 S. Ingersoll Street
Madison, Wisconsin

301 S. Ingersoll Street
Demolition of Existing Buildings/Structures
September 20, 2006



Matthew Tucker

From: Judy Olson [jolson@operationfreshstart.org]
Sent: Friday, September 22, 2006 3:12 PM
To: Matthew Tucker
Subject: Re: 310 S. Ingersoll 76 unit apt. development

Matt

The developers of 310 S. Ingersoll St. have provided required notification for the proposed 76-unit project.

Thanks.

Ald. Judy Olson

----- Original Message -----

From: Matthew Tucker
To: Judy Olson
Sent: Friday, September 22, 2006 2:45 PM
Subject: 310 S. Ingersoll 76 unit apt. development

Judy-

Just following up on Alder notification for this project. Please let me know if you have been notified, in writing or otherwise, or if you choose to waive the notification requirement.

Thanks-

Matt Tucker

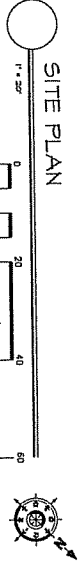
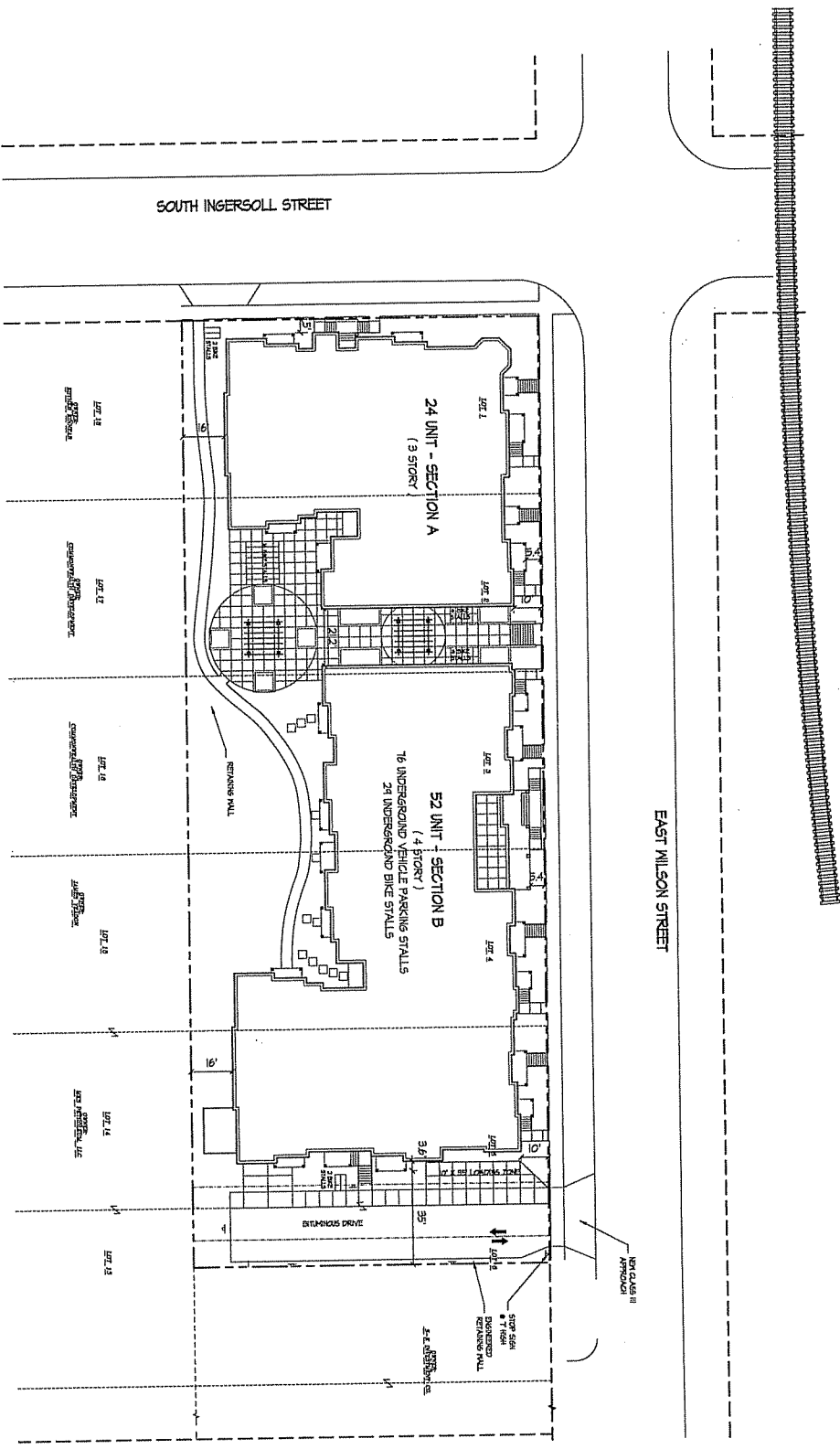
KNOTHE & BRUCE ARCHITECTS

7401 University Avenue, Ste. 201
 Middleton, Wisconsin 53122
 608.835.3190 Fax 608.835.4734

Contract

EAST WILSON STREET

SOUTH INGERSOLL STREET



- SHEET INDEX**
- C-11 SITE PLAN
 - C-12 SITE FIRE DEPT ACCESS PLAN
 - C-21 SITE GRADING PLAN
 - C-31 SITE UTILITY PLAN
 - C-41 LANDSCAPE PLAN
 - A-10 BASEMENT PLAN
 - A-11 FIRST FLOOR PLAN
 - A-12 SECOND FLOOR PLAN
 - A-13 THIRD FLOOR PLAN
 - A-14 FOURTH FLOOR PLAN
 - A-21 ELEVATIONS

- Notes**
1. UNLESS STATED BY ALL UNLESS OTHERWISE NOTED TO THE CONTRARY ALL DIMENSIONS SHALL BE IN FEET AND INCHES TO THE NEAREST 1/8" UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS, UNLESS OTHERWISE NOTED, SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
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Project
 For Corbin Schuler - September 20, 2006

Drawn by
 Site Plan

Project
 0555
 Drawing
 C-11

Project
 301 S. Ingersoll St.

KNOTHE & BRUCE ARCHITECTS
 700 University Avenue, Ste. 200
 Philadelphia, Pennsylvania 19106
 489.815.3190 Fax 815.6934

Consultant

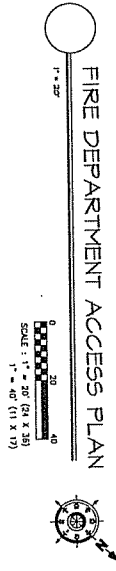
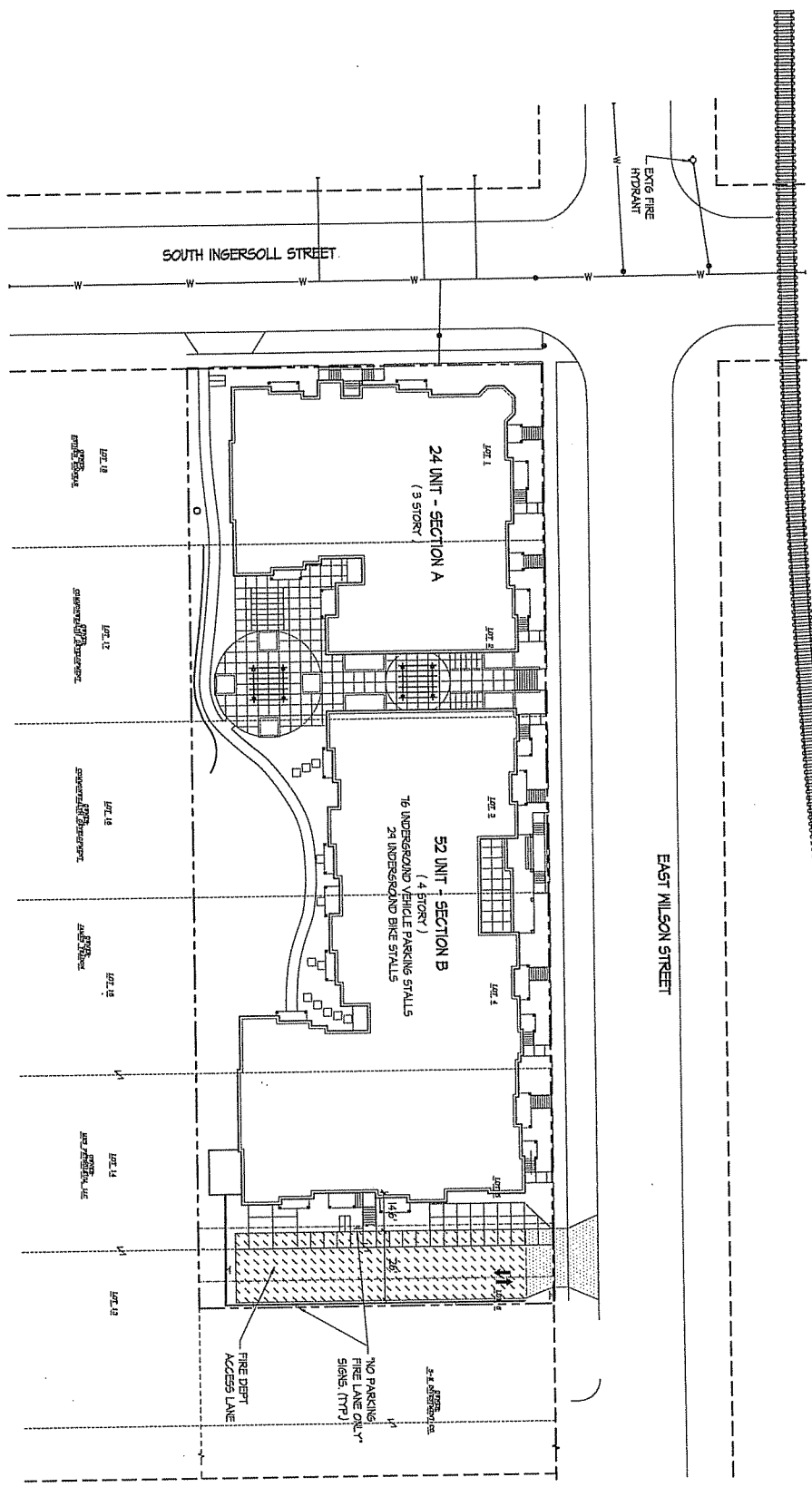
- Notes
1. FIRE DEPARTMENT ACCESS PLAN
 2. 24 UNIT - SECTION A (3 STORIES)
 3. 52 UNIT - SECTION B (4 STORIES)
 4. 16 UNDERGROUND VEHICLE PARKING SPACES
 5. 24 UNDERGROUND BIKE STALLS
 6. NO PARKING FIRE LANE ONLY SIGNS (TYP)
 7. FIRE DEPT ACCESS LANE
 8. 3-4 STORIES
 9. 1-2 STORIES
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Project Title
 301 S. Ingersoll St.

Project Title
 301 S. Ingersoll St.

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Project Title
 301 S. Ingersoll St.



FIRE DEPARTMENT ACCESS PLAN

SCALE: 1" = 20' (24 X 36)

1" = 40' (11 X 17)



Project Title
 301 S. Ingersoll St.

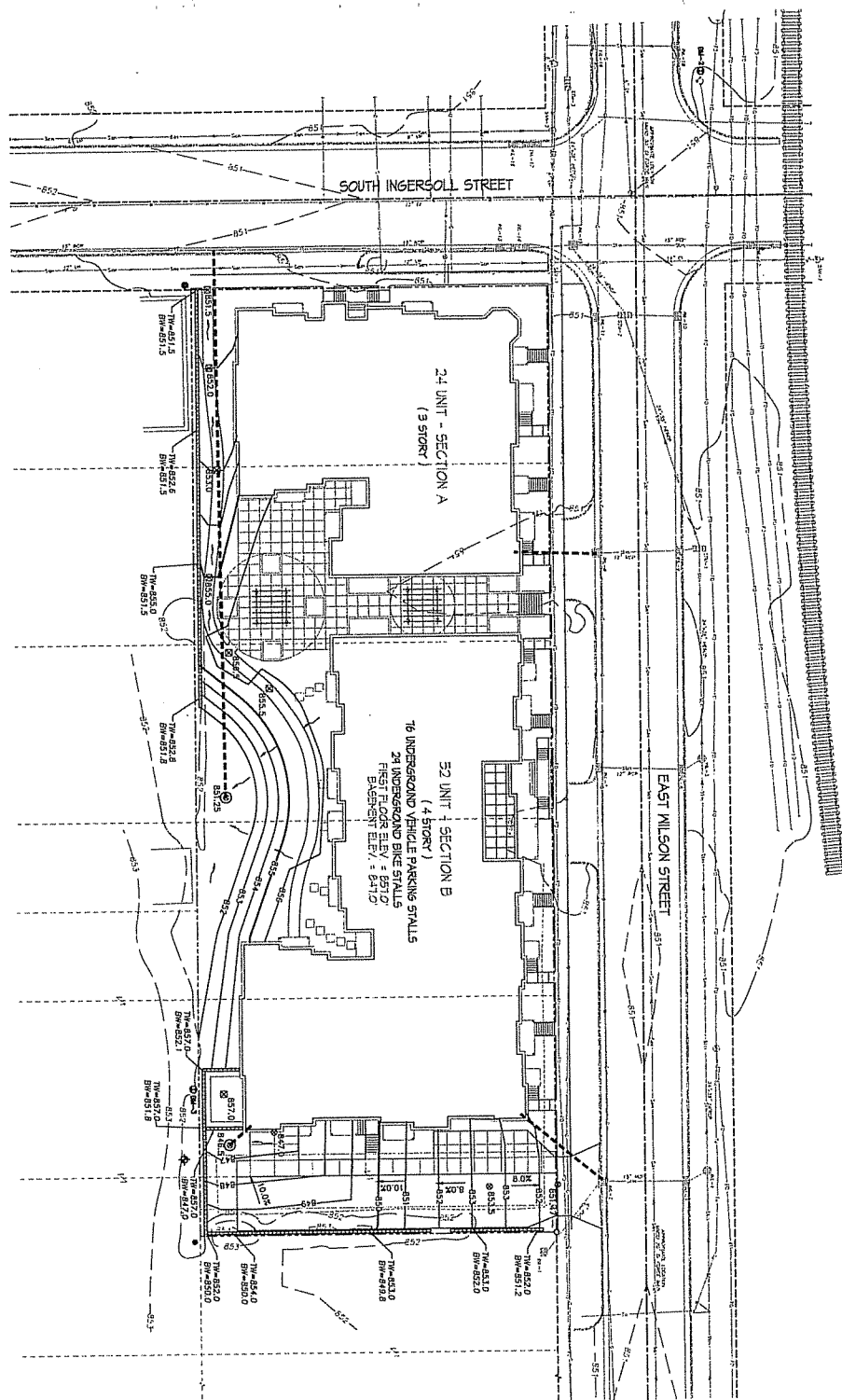
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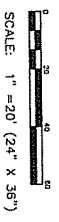
Project Title
 301 S. Ingersoll St.



LEGEND

- 850 — PROPOSED CONTOUR
- 850 — EXISTING CONTOUR
- ⊗ 850.00 SPOTWALK ELEVATION
- ⊙ 850.00 PARADEY/LAWN ELEVATION
- REMAINING WALL
- DRAINAGE ARROWS

GRADING PLAN



SCALE: 1" = 20' (24" X 36")

BENCHMARKS	
BENCH MARK	DESCRIPTION
BM-1	BRASS CAP MONUMENT MARKING THE NUMBER CORNER TO THE CENTER OF THE LOT ON FRONT AT THE CORNER OF E. WILSON AND S. INGERSOLL STREETS
BM-2	654.44
BM-3	657.83

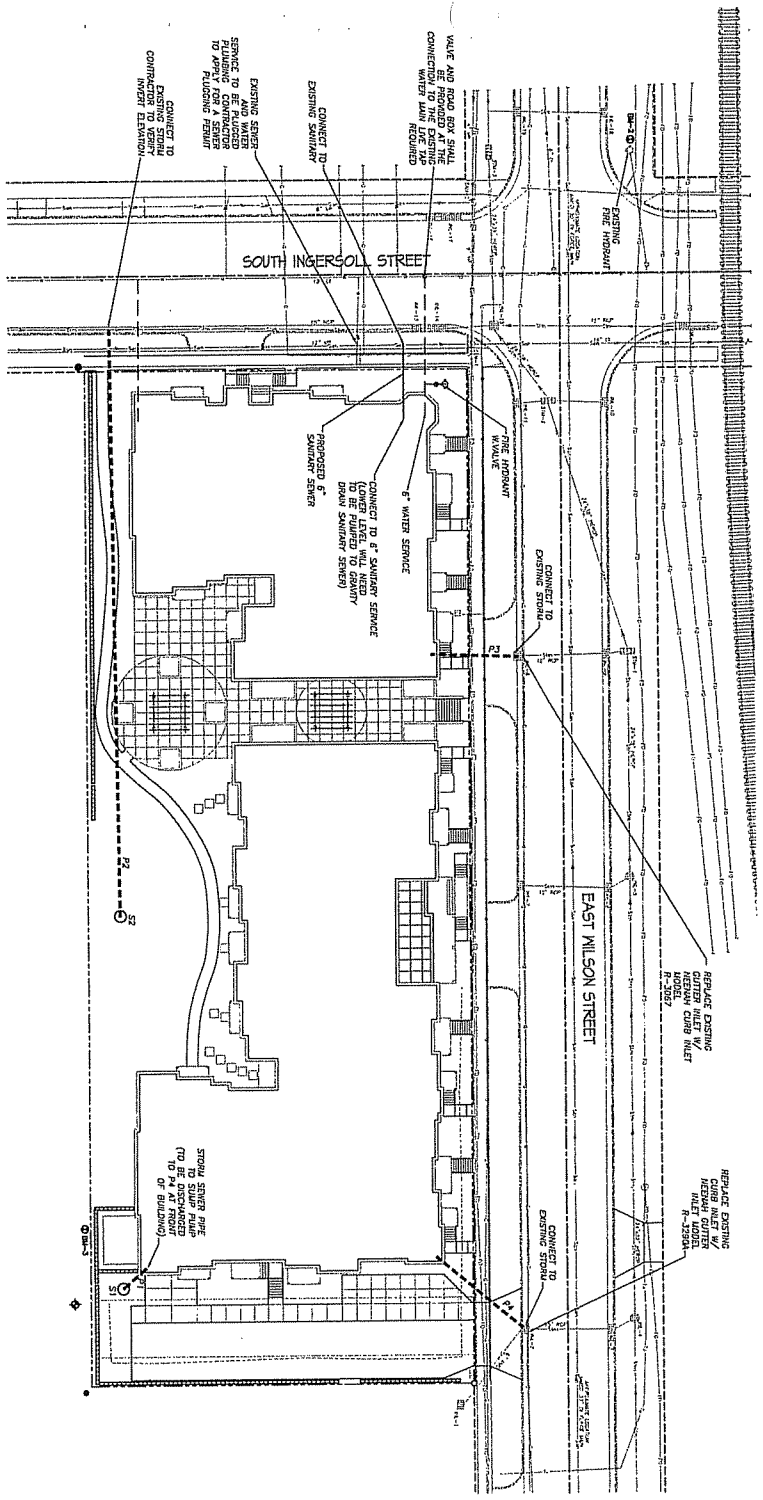
Calkins Engineering, LLC
 5008 York Road
 (404) 288-0444

Project No. 301 S. Ingersoll

Drawing No. 0555

Sheet No. C-21

KNOTHE & BRUCE ARCHITECTS
 7401 University Avenue, Ste. 201
 Middleton, Wisconsin
 608.832.8100 Fax 608.832.9314



EXISTING STORM SEWER INLETS

INLET ID	RAW ELEVATION	INVERT	DIAMETER/PIPE SIZE	PIPE TYPE
IN-1	850.72	850.72	6"	PVC
IN-2	850.20	850.20	6"	PVC
IN-3	850.20	850.20	6"	PVC
IN-4	850.20	850.20	6"	PVC
IN-5	850.20	850.20	6"	PVC
IN-6	850.21	850.21	6"	PVC
IN-7	850.25	850.25	6"	PVC
IN-8	850.23	850.23	6"	PVC
IN-9	850.24	850.24	6"	PVC
IN-10	850.14	850.14	12"	PVC
IN-11	850.10	850.10	12"	PVC
IN-12	851.40	851.40	12"	PVC
IN-13	850.00	850.00	12"	PVC
IN-14	849.93	849.93	12"	PVC
IN-15	850.31	850.31	12"	PVC
IN-16	849.97	849.97	12"	PVC
IN-17	849.78	849.78	12"	PVC
IN-18	849.78	849.78	12"	PVC
IN-19	849.81	849.81	12"	PVC

EXISTING SANITARY SEWER MANHOLES

STRUCT ID	RAW ELEVATION	INVERT	DIAMETER/PIPE SIZE	PIPE TYPE
SM-1	850.25	850.25	6"	PVC
SM-2	850.25	850.25	6"	PVC
SM-3	850.25	850.25	6"	PVC

EXISTING STORM SEWER MANHOLES

STRUCT ID	RAW ELEVATION	INVERT	DIAMETER/PIPE SIZE	PIPE TYPE
SM-1	850.27	850.27	12"	PVC
SM-2	850.27	850.27	12"	PVC
SM-3	851.10	851.10	12"	PVC

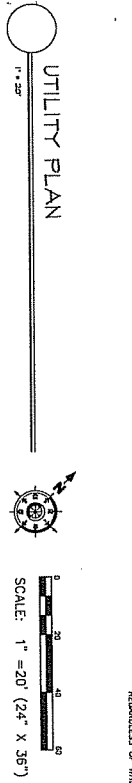
GENERAL NOTES:
 CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO CONSTRUCTION.
 CONDUIT SHALL BE INSTALLED IN NECESSARY SEWER CONNECTION REMAINS AND SEWER
 ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE
 CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 ALL STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 CONSTRUCTION SHALL VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING
 UTILITIES.
 PRIVATE STORM SEWER SHALL BE 48" N-12.
 PRIVATE WATER MAIN AND SERVICES SHALL BE 48" RAIN (AWA C-151-CLASS 50).
 PRIVATE SANITARY SEWER AND LATERALS SHALL BE 7" THICK.
 PUBLIC SIDEWALK AT PARKWAY LOCATIONS SHALL BE 7" THICK.
 UTILITY EGRESS FOR PROPOSED UTILITY SERVICES SHALL BE CONSTRUCTED PER CITY OF
 MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 BUILDING PLUMBERS SHALL VERIFY SIZE, SLOPE, AND DUCT LOCATION OF PROPOSED
 SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION. LOWER LEVEL OF
 BUILDING SHALL BE USED TO DETERMINE DRAIN SANITARY SEWER.
 STORMWATER RUNOFF FROM PROPOSED CONCRETE SHALL BE COLLECTED INTO BUILDING VIA
 ROOF DRAINAGE SYSTEMS AND DISCHARGED INTO EXISTING DRAINAGE SYSTEMS.
 ROOF RUNOFF SHALL BE COLLECTED AND DISCHARGED INTO EXISTING DRAINAGE SYSTEMS
 AT FRONT OF BUILDING.
 ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED
 CONTRACTOR.
 ALL STORMWATER MAINS AND SERVICE LATERALS SHALL BE PERFORMED BY A LICENSED
 CONTRACTOR.
 ALL SANITARY AND WATER MAINS AND SERVICE LATERALS SHALL BE PERFORMED BY
 A LICENSED CONTRACTOR.
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 ALL CONDUIT SHALL BE PERFORMED BY A LICENSED CONTRACTOR.

STORM SEWER STRUCTURE DATA:

Pipe No.	Upstream Structure	Downstream Structure	Length (ft)	Slope (%)	Material	Upstream I.E. (ft)	Downstream I.E. (ft)
P-1	L-1	O-1	11	0.01	HDPPE	844.5	844.39
P-2	L-2	O-2	204	0.01	HDPPE	849.65	848.5
P-3	L-3	O-3	31	0.01	HDPPE	848.4	848.13
P-4	L-4	O-4	39	0.01	HDPPE	848.5	848.16

STORM SEWER STRUCTURE DATA:

Label	Inlet	TC Elevation	Sump Elevation (ft)	Structure Depth (ft)
1	24" CB INLET	848.00	847.50	1.50
2	24" CB INLET	851.50	849.85	1.65



Colkins Engineering, LLC
 Civil Engineers & Land Surveyors
 5010 York Street
 Madison, WI 53718
 (608) 263-0444

Project No. **301 S. Ingersoll**
 Drawing No. **C-31**
 Title **Utility Plan**
 Date **0555**

KNOTHE & BRUCE ARCHITECTS
 7801 University Ave. Suite 201
 Madison, Wisconsin 53702
 608-263-5200 Fax 608-263-8324



Scale

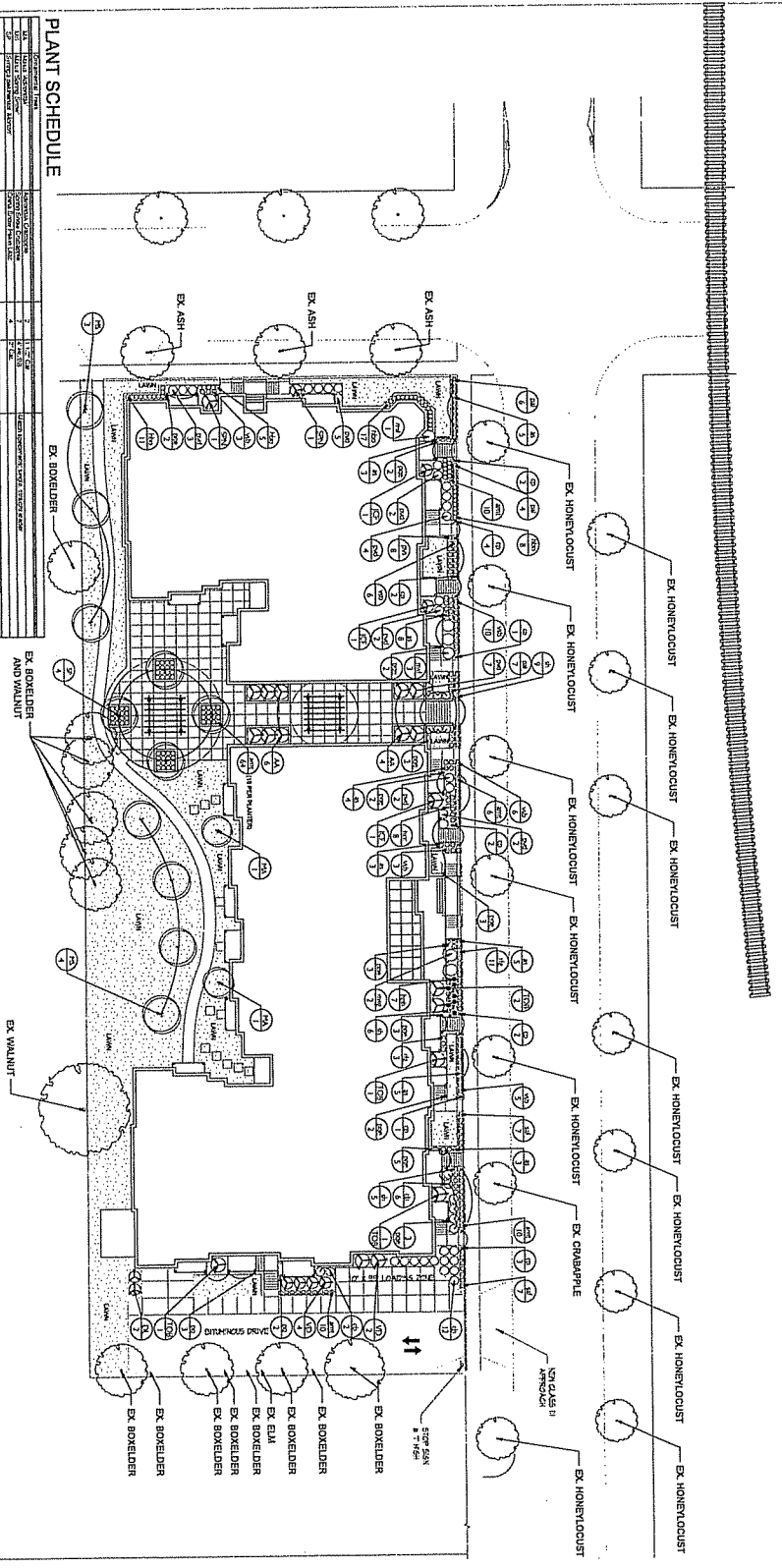
Project No. P-111 CONSTRUCTION - SEPT. 22, 2009

Project Title
 301 S. INGERSOLL ST.

Drawing Title
 Landscape Plan

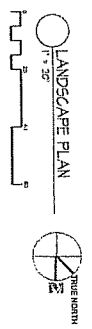
Project No. 0555
 Drawing No. L-41

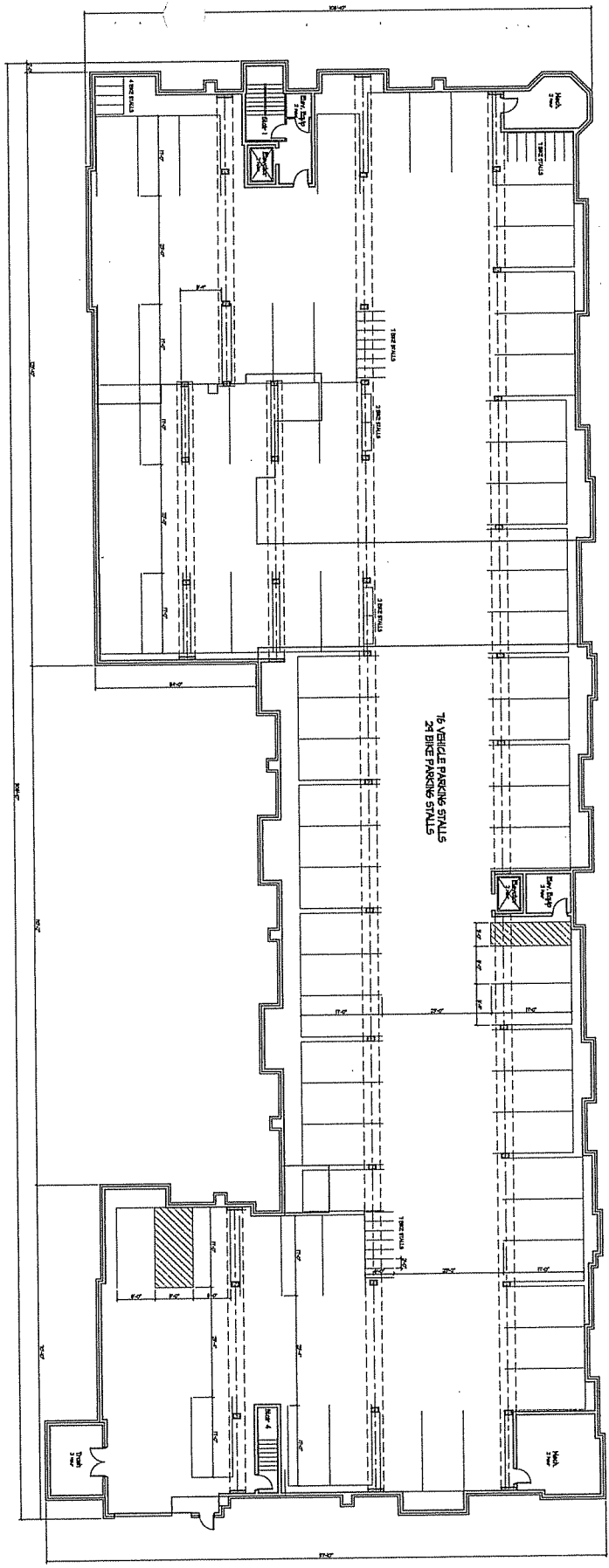
NOT FOR CONSTRUCTION



PLANT SCHEDULE

NO.	PLANT NAME	QUANTITY	PLANT CODE	PLANT SIZE	PLANT TYPE
1	ASH	10	EX ASH	12"	Tree
2	HONEYLOCUST	10	EX HONEYLOCUST	12"	Tree
3	BOXELDER	10	EX BOXELDER	12"	Tree
4	WALNUT	10	EX WALNUT	12"	Tree
5	GRABAPPLE	10	EX GRABAPPLE	12"	Tree
6	ELM	10	EX ELM	12"	Tree
7	SPRING BURNING BUSH	10	EX SPRING BURNING BUSH	12"	Shrub
8	DOGWOOD	10	EX DOGWOOD	12"	Tree
9	DOGWOOD	10	EX DOGWOOD	12"	Tree
10	DOGWOOD	10	EX DOGWOOD	12"	Tree
11	DOGWOOD	10	EX DOGWOOD	12"	Tree
12	DOGWOOD	10	EX DOGWOOD	12"	Tree
13	DOGWOOD	10	EX DOGWOOD	12"	Tree
14	DOGWOOD	10	EX DOGWOOD	12"	Tree
15	DOGWOOD	10	EX DOGWOOD	12"	Tree
16	DOGWOOD	10	EX DOGWOOD	12"	Tree
17	DOGWOOD	10	EX DOGWOOD	12"	Tree
18	DOGWOOD	10	EX DOGWOOD	12"	Tree
19	DOGWOOD	10	EX DOGWOOD	12"	Tree
20	DOGWOOD	10	EX DOGWOOD	12"	Tree
21	DOGWOOD	10	EX DOGWOOD	12"	Tree
22	DOGWOOD	10	EX DOGWOOD	12"	Tree
23	DOGWOOD	10	EX DOGWOOD	12"	Tree
24	DOGWOOD	10	EX DOGWOOD	12"	Tree
25	DOGWOOD	10	EX DOGWOOD	12"	Tree
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45	DOGWOOD	10	EX DOGWOOD	12"	Tree
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47	DOGWOOD	10	EX DOGWOOD	12"	Tree
48	DOGWOOD	10	EX DOGWOOD	12"	Tree
49	DOGWOOD	10	EX DOGWOOD	12"	Tree
50	DOGWOOD	10	EX DOGWOOD	12"	Tree





○ BASEMENT PLAN
1/8" = 1'-0"
2614 SF



KNOTHE & BRUCE ARCHITECTS
7601 University Avenue Suite 201
Madison, Wisconsin 53742
608-836-3899 Fax 608-836-9774

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Revised:
Issued for Review: July 13, 2009
Per Approved: September 20, 2009

Project:
301 S. Ingersoll St.

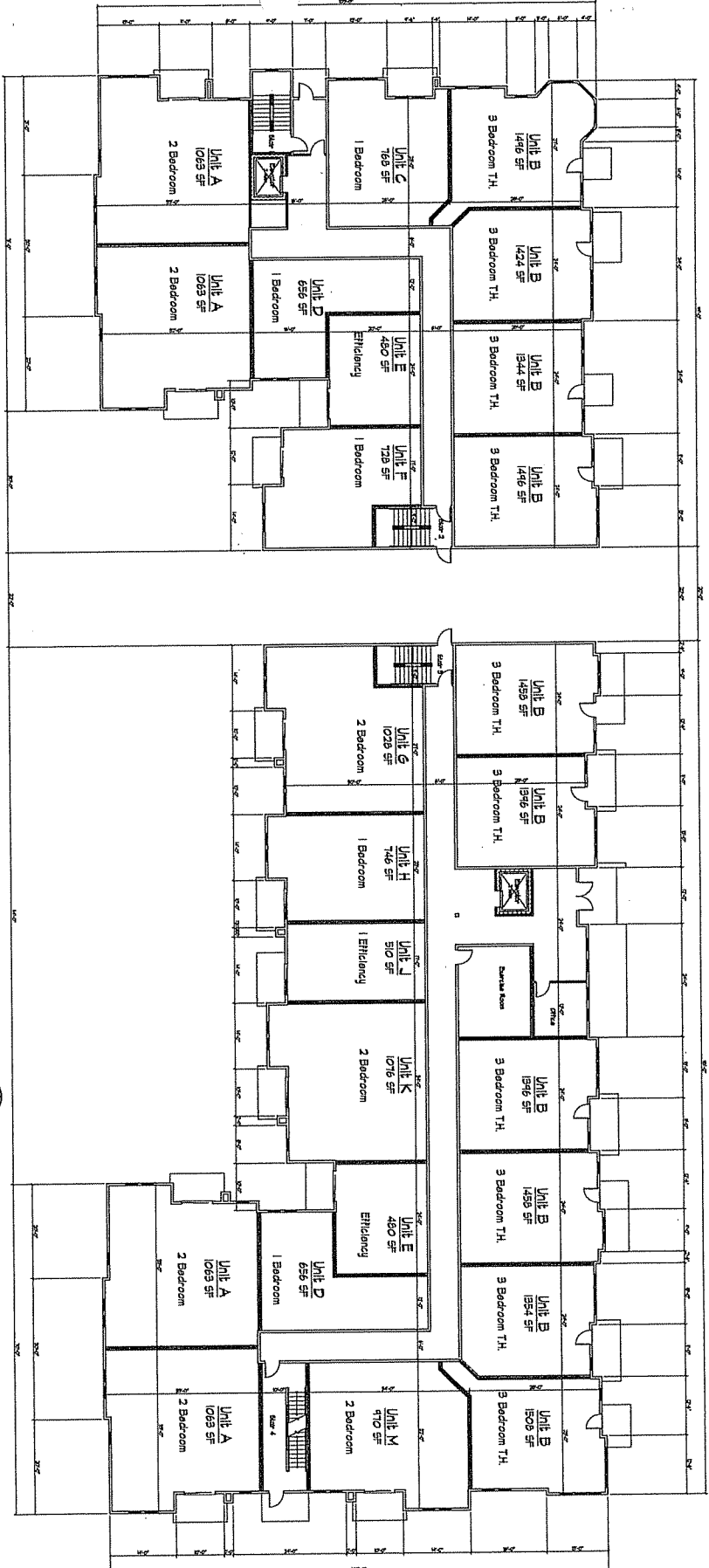
E. J. Jilg, Madison
Architect
Basement Plan

0555
A-10
Drawing No.

KNOTHE & BRUCE ARCHITECTS
7601 University Avenue Suite 201
Madison, Wisconsin 53762
608-262-3890 Fax 608-262-0751

Consultant:
608-262-3890 Fax 608-262-0751

Room



FIRST FLOOR PLAN
5162' x 120'

25224 SF



Revised:
Project No. 111-1000
Drawn by: [Name]
Checked by: [Name]
Date: 10/15/2008

Project No.
301 S. Ingersoll St.

E. Nilsson, Madison
Drawing No.
First Floor Plan

Project No.
0555
Drawing No.
A-11

08

KNOTHE & BRUCE ARCHITECTS

7401 University Avenue Suite 201
Middleton, Wisconsin 53522
608-838-3180 Fax 608-838-6934

Consultant:

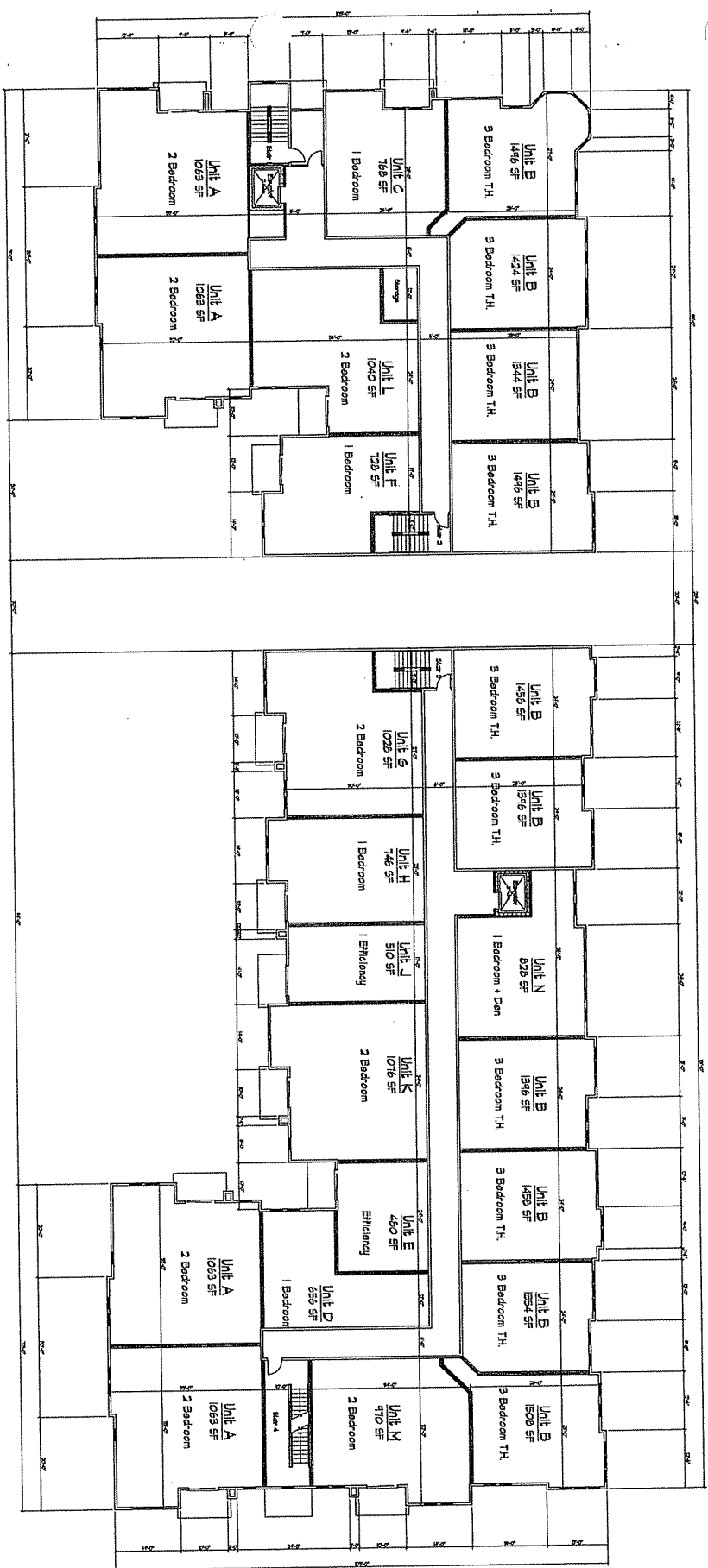
Notes:

Revisions:
Revised for Review - July 9, 2008
Per Construction Schedule - September 20, 2008

Project Title:
301 S. Ingersoll St.

E. Wilson, Madison
Second Floor Plan

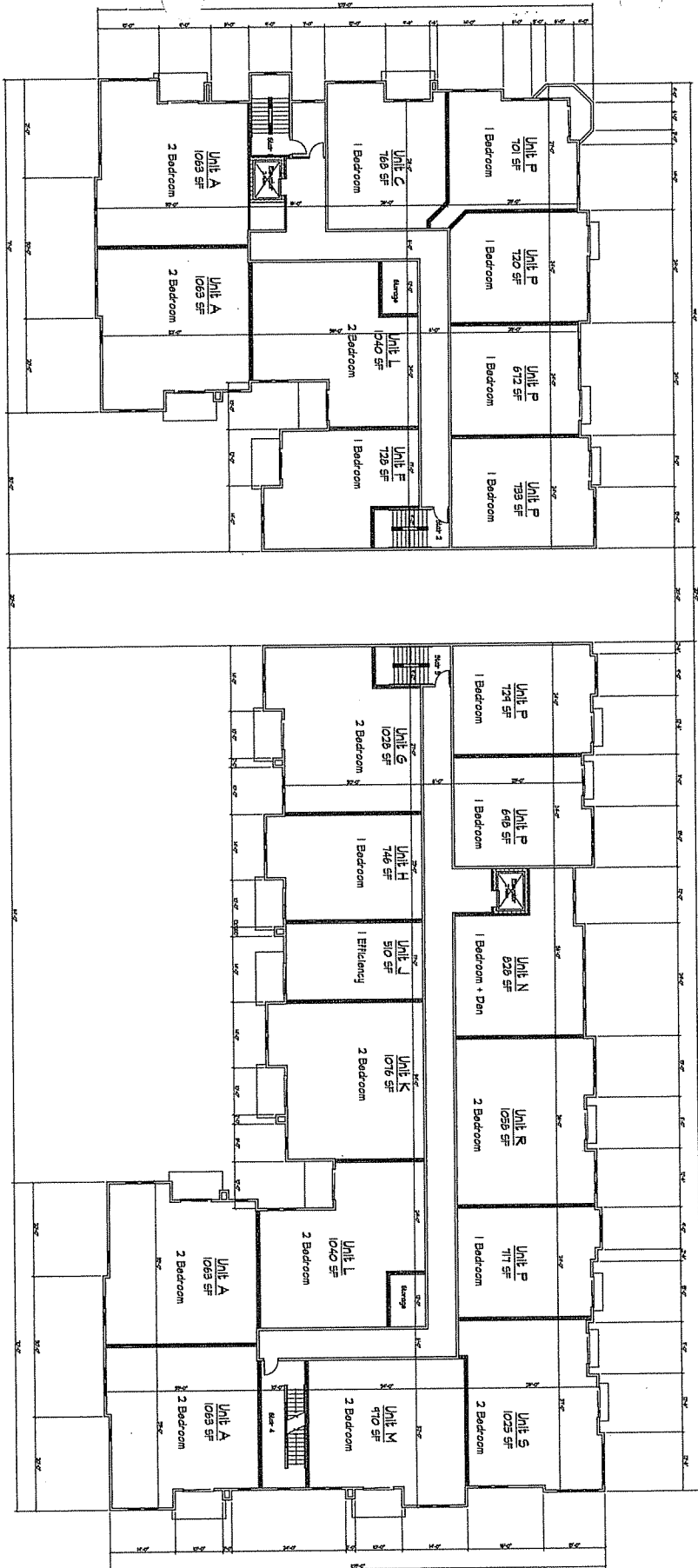
Project No.: 0555
Drawing No.: A-1.2



SECOND FLOOR PLAN

32226 SF





○ THIRD FLOOR PLAN
Scale = 1/8" = 1'-0"

232346 SF



Notes

Comments

7601 University Avenue Suite 201
Mildwaukee, Wisconsin 53152
608-938-3480 Fax 608-493-4334

KNOTHE & BRUCE ARCHITECTS

Project Title
301 S. Ingersoll St.

E. Millson, Madison
Owner of
Third Floor Plan

0555

A-13

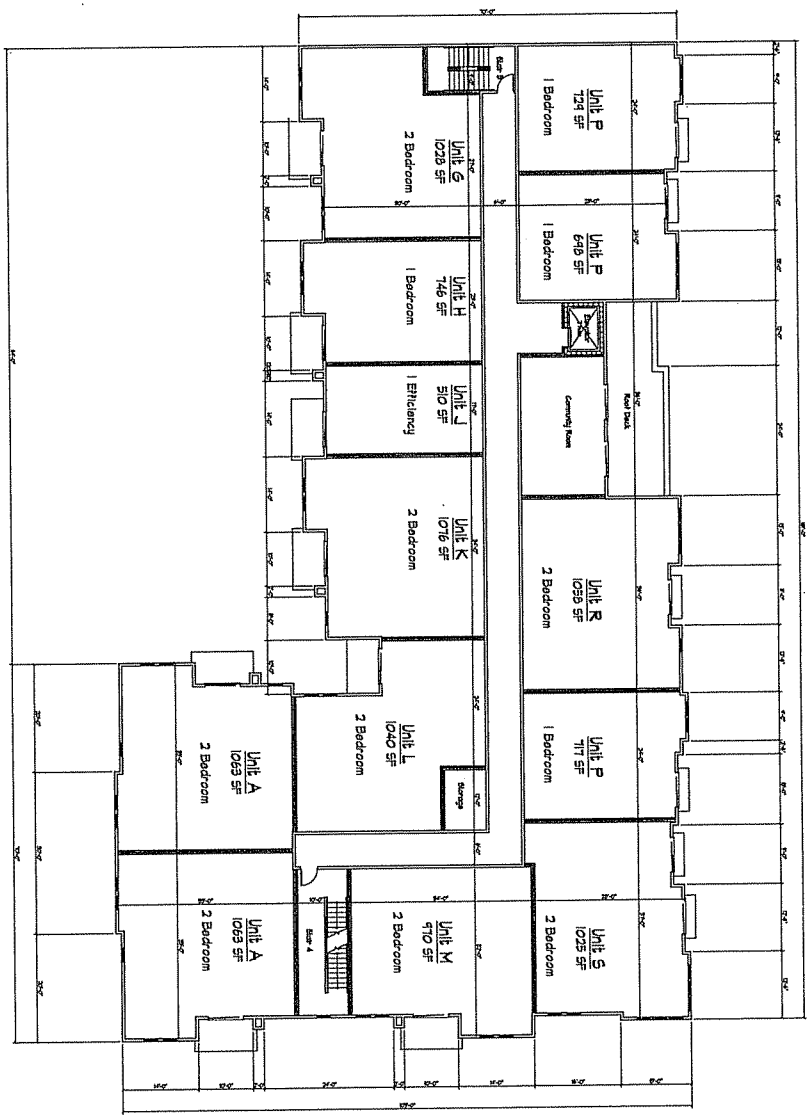
Drawn by: [illegible]
Project Title: [illegible]
Date: [illegible]

Revised by: [illegible] - 11/3/2004
For comment: [illegible] - September 20, 2004

KNOTHE & BRUCE ARCHITECTS
 7601 Liberty Avenue Suite 201
 Redwood, Virginia
 540-935-9300 Fax: 540-935-9394

Consultant

Notes



FOURTH FLOOR PLAN
 1480 SF



Project Title
 301 S. Ingersoll St.

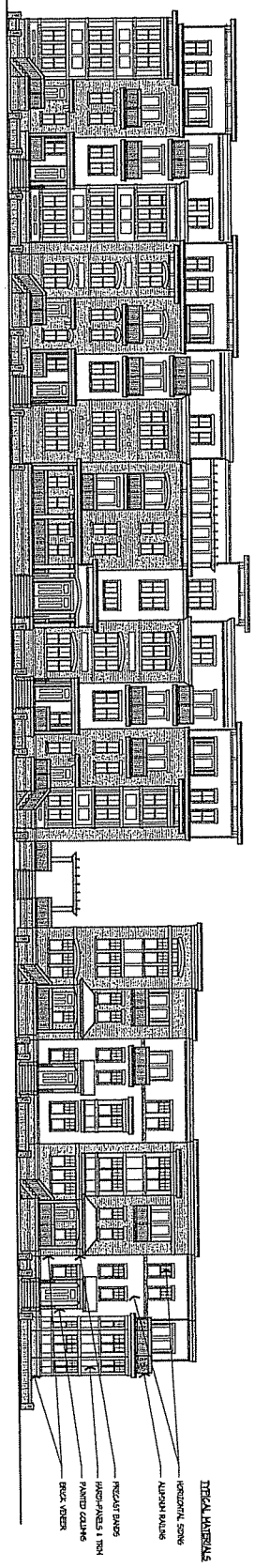
E. Millson, Madison
 Drawing Title
 Fourth Floor Plan
 Project No.
 0555
 Drawing No.
 A-14

**KNOTHE
& BRUCE
ARCHITECTS**

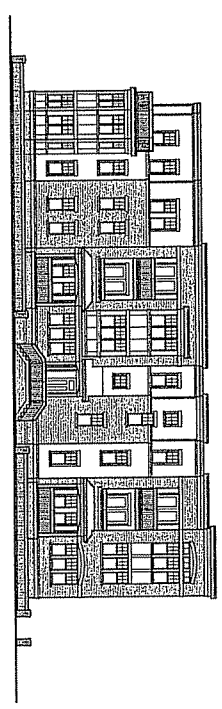
7601 University Avenue, Ste. 201
Madison, Wisconsin 53702
608/255-2100 Fax 608/255-2101

Contract:

Title:



Elevation Along East Wilson Street
Scale: 1/8\"/>



Elevation Along Ingersoll
Scale: 1/8\"/>

Project Title:
301 S. Ingersoll St.

Revision:
SOLID - SEP. 4, 2004
Per Consultant Approval - September 20, 2004

Drawing Title:
Elevation

Project No.: **0555**
Drawing No.: **A-2.1**

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