



# City of Madison

Proposed Rezoning, Certified Survey Map & Conditional Use

### Location

3601 Cross Hill Drive

### Project Name

Cross Hill Apartments

### Applicant

Jon Lancaster, Lancaster Investments /  
Justin Frahm, JSD Professional  
Services, Inc.

### Existing Use

Vacant

### Proposed Use

Create new commercial lot in CC zoning  
for future development, create one residential  
lot in TR-U2 zoning and construct residential  
building complex containing 189 apartments  
units in three buildings with clubhouse

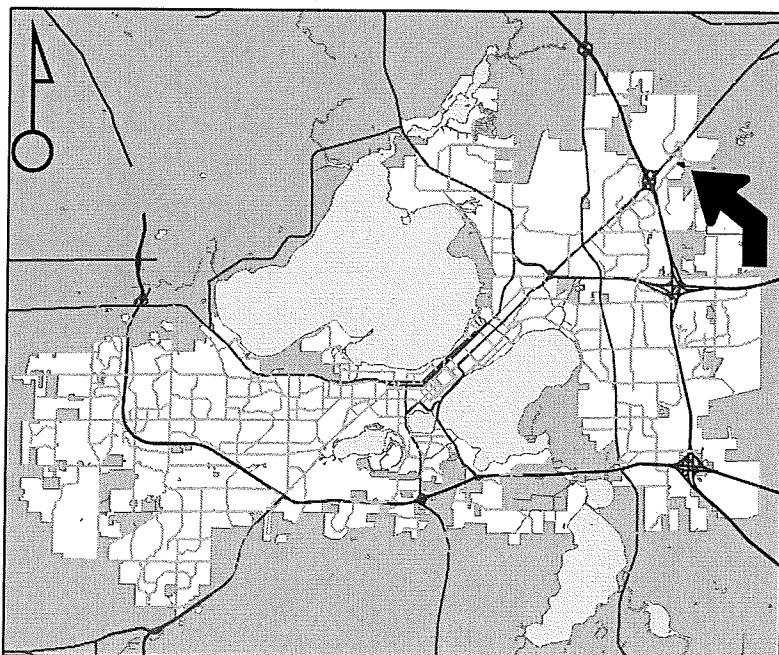
### Public Hearing Date

Plan Commission

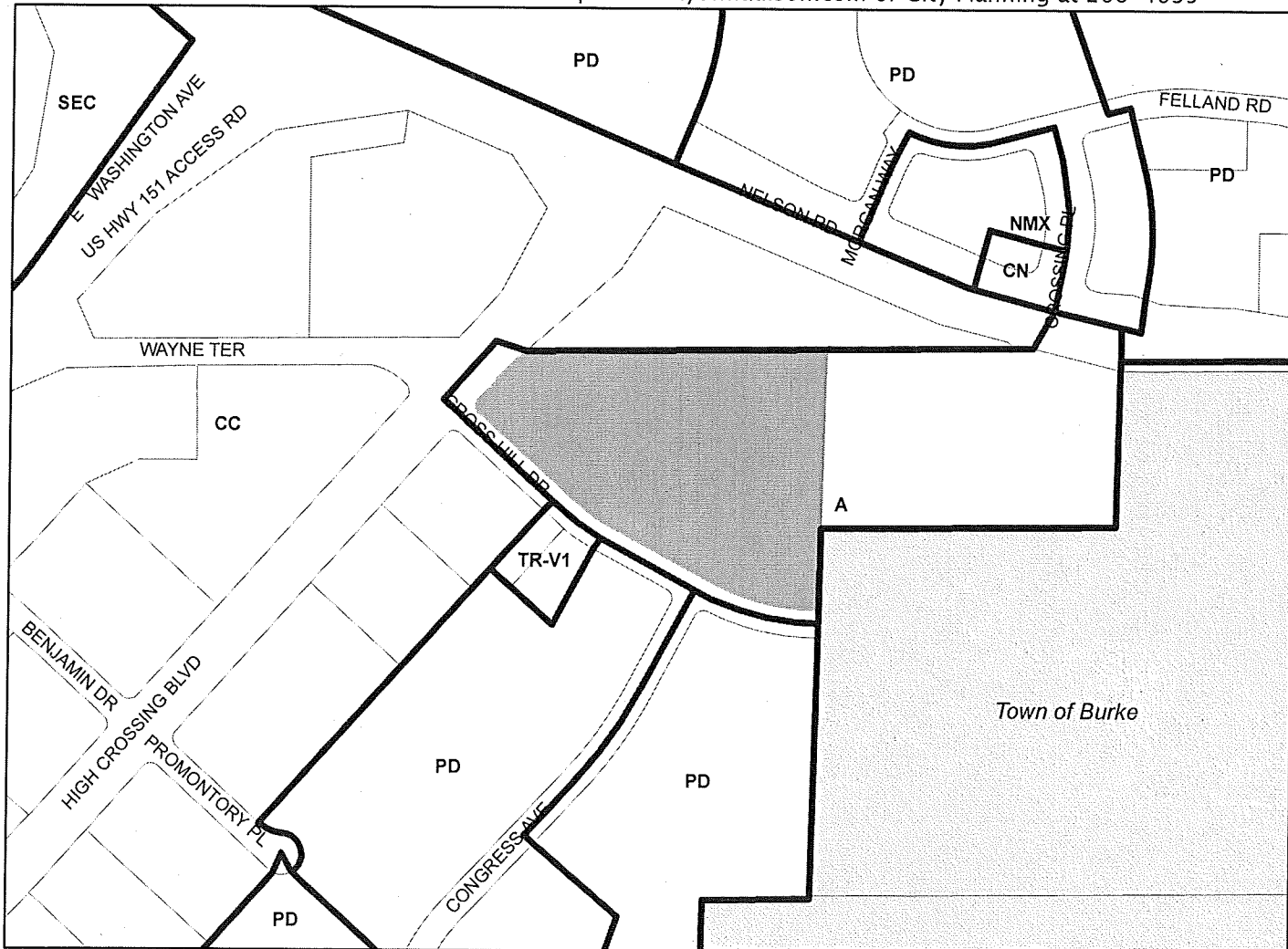
10 July 2017

Common Council

18 July 2017

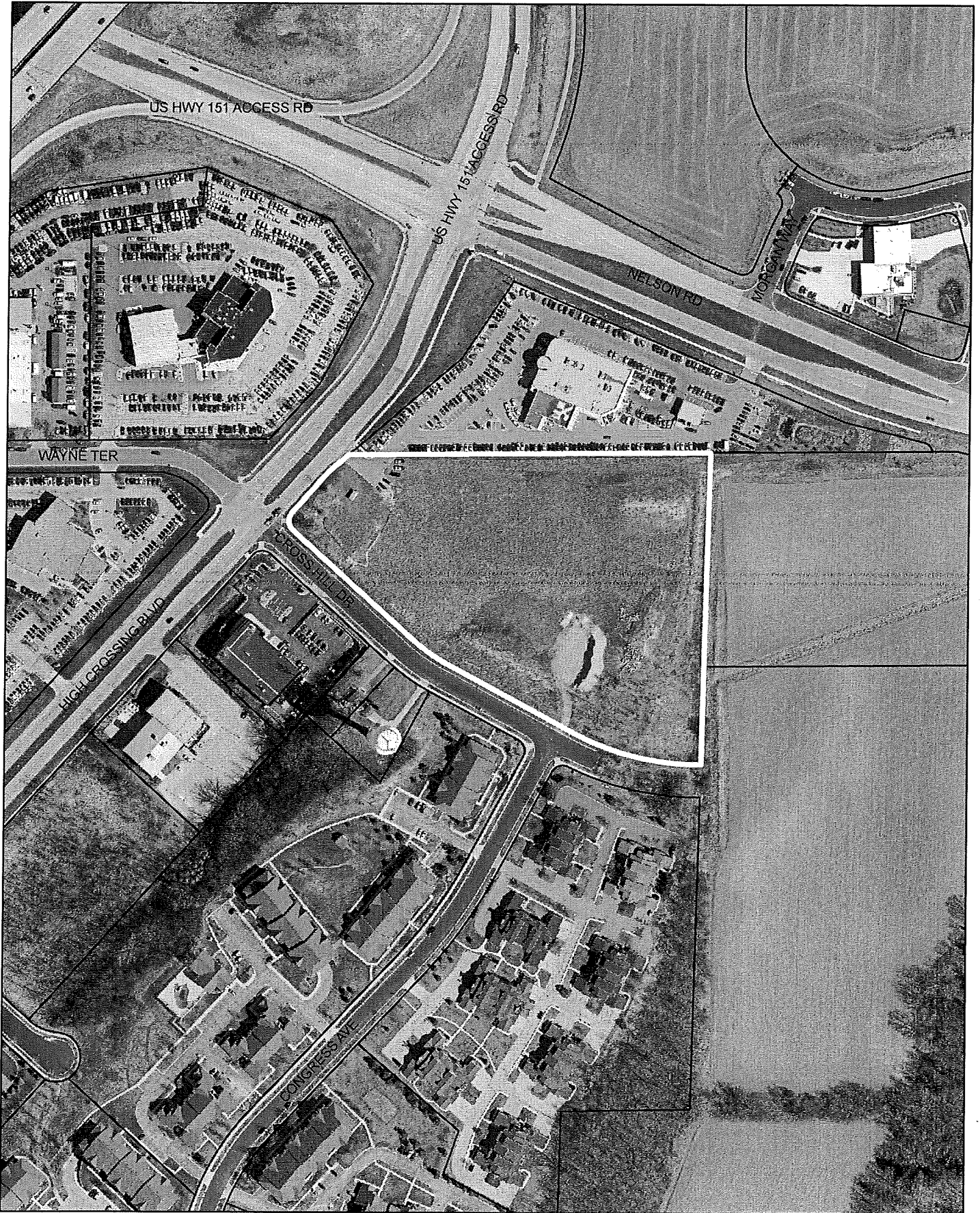


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 3 July 2017



# LAND USE APPLICATION

# LND-B

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



### FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Parcel # \_\_\_\_\_  
Aldermanic district \_\_\_\_\_  
Zoning district \_\_\_\_\_  
Special requirements \_\_\_\_\_  
Review required by \_\_\_\_\_  
 UDC  PC  
 Common Council  Other \_\_\_\_\_  
Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

\*RESUBMITTAL 06.07.17

### 1. Project Information

Address: 3601 Cross Hill Dr. Madison, WI  
Title: Rezoning & Construction of 189 Apartment Units

### 2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from A to CC & TR-U1
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

### 3. Applicant, Agent and Property Owner Information

Applicant name Jon Lancaster Company Lancaster Investments, Inc.  
Street address 2906 Marketplace Drive Ste. A City/State/Zip Madison, WI 53719  
Telephone 608.450.6181 Email jonelancaster@gmail.com  
Project contact person Justin Frahm Company JSD Professional Services, Inc.  
Street address 7402 Stone Ridge Dr. Ste. 4 City/State/Zip Weston, WI 54476  
Telephone 715.298.6330 Email justin.frahm@jsdinc.com  
Property owner (if not applicant) (N/A - Same as applicant)  
Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Email \_\_\_\_\_

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Construction of 189 market rate, residential apartment units, site improvements to include parking, landscaping, courtyard and open space.

Scheduled start date Summer 2017 Planned completion date Fall 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff City of Madison DAT Meeting Date 01.05.2017

Zoning staff Multiple Meetings with Planning, Zoning & UDC Staff Date 09.29.2014, 11.05.2014, 08.04.2016 & 01.05.2017, 05.17.17

- Demolition Listserv

- Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

Alder Baldeh provided direct waiver of 30-day submittal notice to City staff via email on 04.24.17. Alder Baldeh memorialized support for Neighborhood Plan Amendment on 06.02.17.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Jon Lancaster Relationship to property Owner

Authorizing signature of property owner [Signature] Date 6.6.17

## Memorandum / Letter of Intent

[www.jsdinc.com](http://www.jsdinc.com)

To: City of Madison Plan Commission, Urban Design Commission & City Staff

From: Justin Frahm, JSD Professional Services, Inc.

Re: Lancaster Properties, Inc. – 3601 Cross Hill Dr. Land Use / UDC Application & Nelson Neighborhood Plan Amendment

JSD Project #: 17-7751

Date: June 7, 2017 (Originally Submitted on April 19, 2017)

cc: Jon Lancaster, Lancaster Properties, Inc.; Joy Hannemann, Lancaster Properties, Inc.; David Walsh, Lancaster Properties, Inc.; Ulian Kissiov; Dan Schmidt, Forward Management, Inc.; Tracy Brown, JSD; Jack Kasprzak, JSD; Tyler Gustin, JSD; Mike Grzesiak, JSD;

City of Madison Plan Commission & Urban Design Commission:

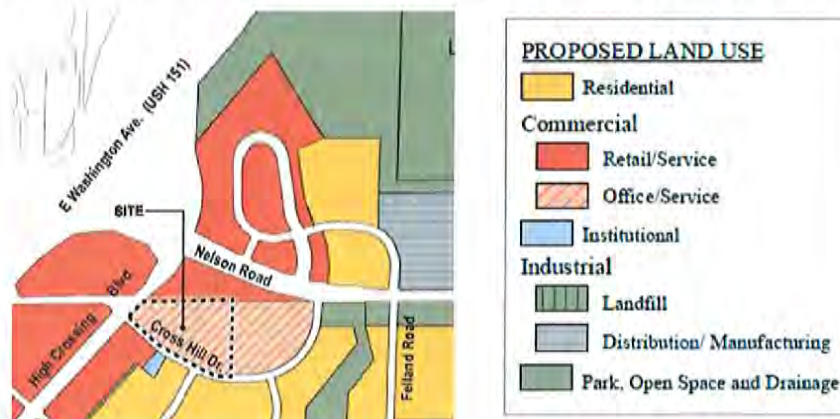
On behalf of Lancaster Properties, Inc., JSD Professional Services is hereby resubmitting a Conditional Use Land Use & Urban Design Commission Initial-Final Application for a proposed development to include the construction of 189 residential apartment units on a portion of lands located at 3601 Cross Hill Dr. As previously discussed with City Staff as well as a neighborhood meeting hosted on February 16, 2017 and a follow-up neighborhood meeting on May 4, 2017, the proposal includes a proposed Neighborhood Plan Amendment, Zoning Map Amendment, Certified Survey Map (CSM) and development plan request for review and approval by City Staff, Plan Commission, Urban Design Commission and Common Council.

### Site Context

The 8.674 acre parcel is located at 3601 Cross Hill Dr. along the northerly section of the High Crossing Blvd. corridor. A vacant, undeveloped site bounded by High Crossing Blvd. to the west, Town of Burke lands to the east and by Wilde Honda, an automotive dealership and service facility to the north. The site is bounded to the south by Cross Hill Dr. and Abra Auto Body & Glass, a commercial automotive oriented use to the southwest and multi-family residences extended along Congress Ave. to the southeast.

### Nelson Neighborhood Plan

The proposed development parcel is included in lands addressed by the Nelson Neighborhood Plan, originally Adopted in 1992 and Amended August 1993, February 1999, July 2001 & March 2005.

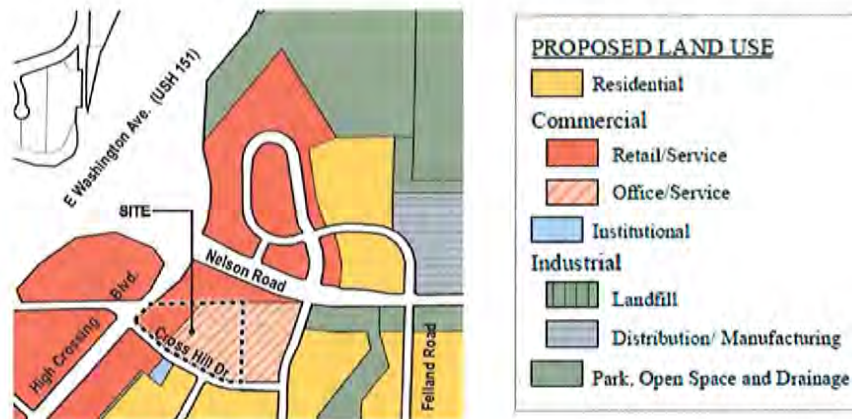


**Current & Future Land Use**

*Future Land Use (Current Plans)*

According to the current Nelson Neighborhood Development Plan (as amended in 2005), the portion of lands adjacent to High Crossing Blvd. is planned for Retail/Service land use with the balance of the subject parcel planned for Office/Service use.

In March 2005, a plan amendment was approved to designate retail/service oriented use along a portion of lands on the subject parcel immediately adjacent to High Crossing Blvd. in tandem with lands for retail/service use along an adjacent parcel to the north at the corner of High Crossing Blvd. & Nelson Rd. (Wilde Honda).



While the owner is in the process negotiation for the development of a convenience related use on the portion of lands consistent as designated as Retail/Service along High Crossing Blvd. (separate approval process, schedule to be determined) direct planning efforts have taken place in 2014, 2015 & 2016 including direct discussions with City Staff for the portion of lands designated as Office/Service land use.

The owner has conducted extensive market research, site planning and made efforts to attract interested Office and Service users over the past few years. These efforts have proven unsuccessful, due to challenges with the marketability of the easterly portion of lands on the subject parcel (removed from High Crossing Blvd.) including but not limited to visibility and access for end users such as hotels, restaurants and commercial services as well as the supply of other sites in close proximity that are more desirable to prospective office users.

**Proposed Plan Amendment & Land Use**

*Future Land Use (Proposed Neighborhood Plan Amendment)*

Based on this market exploration, and in consideration of the surrounding land uses (both existing and planned), the owner believes that the best and most feasible use for the subject property will feature Retail/Service commercial along High Crossing Blvd, and Residential for the remainder of the lands on the subject parcel.



The intent is to secure commercial, retail and service use for the lands adjacent to High Crossing Blvd., where users have already expressed interest, and to develop multi-family housing that would serve to transition land uses from the commercial areas associated with the High Crossing Blvd. corridor to the smaller-scale multifamily and single family residential to the south and proposed to the east. This is consistent with the current Neighborhood Plan’s recommendation for a wide range of housing types in the neighborhood. Likewise, market indications continue to show a strong demand for housing on the east side of Madison, serving the many established and emerging employment districts located in close proximity to the subject parcel.

**Rezoning**

The subject parcel is currently zoned Agricultural (A). A rezoning request is included with the Land Use application in an effort to create consistent districts with the land uses being proposed in the Neighborhood Plan Amendment and to be administered by the CSM.

Commercial Center (CC) is proposed for the portion of lands adjacent to High Crossing Blvd. Commercial Center allows for flexible retail, service and commercial oriented use and is consistent with land uses immediately adjacent along the High Crossing Blvd. corridor bounded by I90-94, USH 151 & Nelson Rd.

Traditional Residential – Urban District 1 (TR-U1) is requested for the construction of a multi-family residential building complex to include 189 total units. A multi-family building complex greater than 8 units is determined a conditional use as noted by section 28.051 of the City of Madison Zoning Code. See below for additional zoning requirements to be met.

**Land Use & Proposed Development Plan**

To be administered via an approved Certified Survey Map, the proposed residential parcel includes 298,952 SF or 6.863 AC of the original underlying lands located at 3601 Cross Hill Dr. (377,819 SF or 8.674 AC). Lancaster Properties, Inc. proposes to construct a multi-family residential building complex to include 189 total units.

<b>Proposed Residential Units</b>							
	Studio	1 BR	1 BR+Den	2 BR	2 BR+Den	3 BR	Total
Building A	6	25	8	18	3	3	63
Building B	6	24	3	18	3	3	57
Building C	12	28	6	17	3	3	69
						<b>Total</b>	<b>189</b>

**Building & Architecture**

Cotemporary building architecture has been developed to compliment the context of the site, proximity to commercial corridors and connections to arterial transportation networks serving greater Madison, the downtown vicinity and major employment districts. The architectural design features natural building transitions integrated with the sites steep topography while maintaining site amenities. A clubhouse will feature communal space central to the site to serve the resident community and their guests.

**Site**

Two vehicular access points are proposed to serve building locations, fire safety and site parking via Cross Hill Dr. On-site parking will include underground (1:1) as well as accessible surface stalls for resident and visitor parking. The site plan has been developed to maintain a significant usable open space central to the site and clubhouse / community room. Amenities to serve the resident community include a large courtyard, pool area, terraced seating and open lawn areas.

**Automobile & Bicycle Parking**

	<b>Required</b>	<b>Proposed Site</b>
Automobile	1 per dwelling minimum; 2.5 per dwelling	328 total stalls; 189 underground 139 surface 8 total ADA stalls
Bicycle	1 per unit up to 2-bedrooms, ½ space per add'l bedroom; 1 guest space per 10 units *Based on 189 units, 213 stalls required	178 total underground *Additional 35 to be sited on surface

**Storm Water & Landscape Features**

Proposed storm water facilities include treatment basins (volume & particle reduction) to the north and southeast. Additional storm water features have been integrated into the site via proposed subsurface infiltration facilities. Storm water best management practices have been designed to meet local and state requirements for new development as set forth by the City of Madison Engineering Department and the Wisconsin Department of Natural Resources.

Landscape screening and buffering has been developed to minimize the impact of adjacent existing and proposed land uses in relationship to proposed residential units. Landscape treatment includes interior site parking areas, courtyard and amenities as well as storm water treatment facilities to create an integrated site with notable landscape features.

**Zoning Section 28.051 - TR-U1 District**

<b>TR-U1 District: Conditional and Nonresidential Uses</b>		
	<b>Multi-family (&gt;8 units)</b>	<b>Proposed Site</b>
Lot Area (sq. ft.)	1,000/d.u. + 300 per bedroom >2 (189 units x 1,000 + 9 3BR X 300 SF = 191,700 sq. ft.)	298,950 sq. ft. or 6.863 AC
Lot Width	50	376.50 ft.
Front Yard Setback	15 or avg.	25 ft.



Maximum Front Yard Setback	No more than 20% greater than the block average, up to 30 max.	25 ft.
Side Yard Setback	10	West – 61' East – 73.5'
Reversed Corner Side Yard Setback	12	Southeast – 18.9' Southwest – 22.0'
Rear Yard	25% lot depth but at least 20	143.5'
Maximum Height	5 stories/65	40 ft.
Maximum Lot Coverage	75%	59% (includes building footprints)
Maximum Building Coverage	n/a	n/a
Usable Open Space (sq. ft. per d.u.)* *Up to 75% of required usable open space may be located on balconies or roof decks meeting the standards in Sec. 28.140.	320/d.u. (189 units x 320 = 60,480 sq. ft.)	Courtyard Area: 60,381 SF (3,600 SF 1 <sup>st</sup> floor balconies 9,000 SF 2 <sup>nd</sup> and 3 <sup>rd</sup> floor balconies) x 0.75 = 9,450 SF

### **Operations & Management**

The residential complex will be managed by Forward Management, Inc. The properties will be staffed by experienced and well trained employees. Forward Management, Inc. has a strong history of providing excellent rental service and management of residential properties. The property manager will conduct applicant screenings, administer property management personnel meetings and will serve as the primary contact for the property and the resident community.

### **Enclosures (for Resubmittal):**

- Letter of Transmittal – Land Use Application
- Letter of Transmittal – Urban Design Commission Application Initial-Final
- Land Use Application (Rezone & Conditional Use)
- Land Use Application Checklist
- Urban Design Commission Application Initial-Final Approval
- Memorandum / Letter of Intent REVISED
- Development Plans
  - Title Sheet
  - C001 – Existing Conditions Survey
  - C100 – Site Plan
  - C200 – Grading and Erosion Control Plan
  - C201 – Grading Plan Details
  - C300 – Utility Plan
  - C400 – Details
  - C401 – Details
  - C500 – Fire Access Exhibit
  - L100 – Landscape Plan
  - L200 – Landscape Details and Specifications
  - Photometric Plan
  - Photometric Specifications (2 copies)
  - Architectural Floor Plans, Renderings & Exterior Elevations
  - Ex. A – Location Map
  - Ex. B – Context Images

Additional requests for information and/or questions can be directed to JSD Professional Services, Inc.

**ZONING TEXT**

PLANNED DEVELOPMENT (PD) – PLANNED UNIT DEVELOPMENT: GENERAL DEVELOPMENT  
PLAN/SPECIFIC IMPLEMENTATION PLAN (PUD GDP/SIP)

Oakwood Village Prairie Ridge Expansion and Renovation

All of Lot 1, all of Lot 2, replat of Lot 2, Porter Plat, and part of the northwest ¼ of the southwest ¼ of  
Section 14, Township 8 North, Range 10 East.

5565 Tancho Drive, Madison WI 53718  
In the City of Madison, Dane County, Wisconsin  
known as Oakwood Village Prairie Ridge

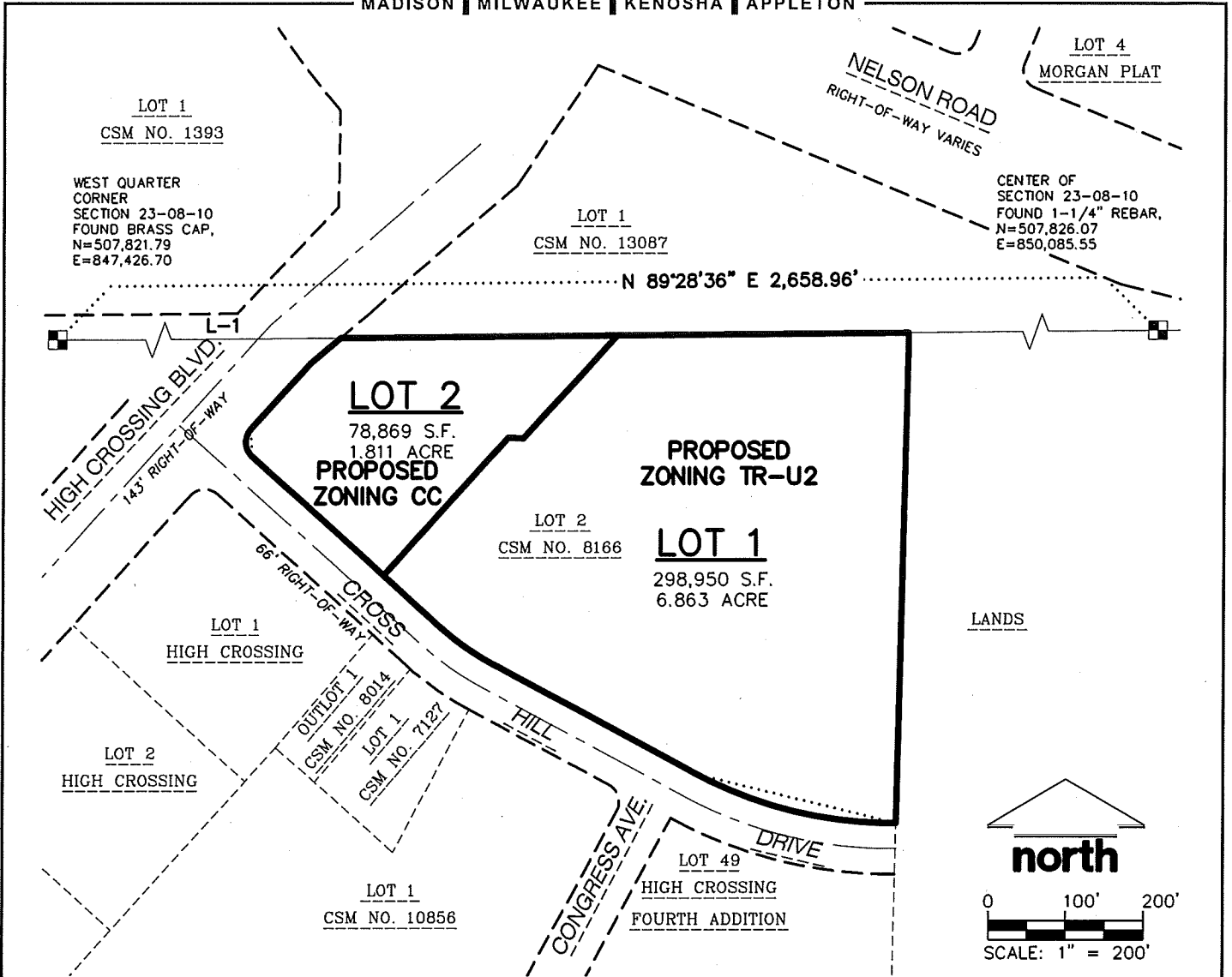
- Statement of Purpose:*** This PD (PUD: GDP/SIP) provides for amendment to the existing PUD – GDP/SIP increasing Independent-Living by 73 units, increasing Assisted-Living by 30 units, renovating common-area facilities and including site improvements on all of Lot 1 and all of Lot 2, replat of Lot 2, Porter Plat, and part of the northwest ¼ of the southwest ¼ of Section 14, Township 8 North, Range 10 East, City of Madison, Dane County, Wisconsin, containing 780,314 square feet (17.9135 acres).
- Permitted Uses:*** Multi-family residential, Independent-Living facilities, Adult-family homes, Assisted-living facilities, Skilled-nursing facilities, facilities within multi-family buildings, Accessory uses related thereto, Parks, Place of worship, Community gardens, Management offices, Limited retail (health and wellness, spa and salon, gifts), Recreation, Restaurant, Surface parking, and Structured parking facilities. Building for vehicle and equipment storage and temporary building for storage of building materials and equipment for construction purposes for a period of use not to exceed the duration of such construction are included as permitted units as well.
- Family Definition:*** The family definition of the PD shall coincide with the definition given in Chapter 28.211 of the Madison General Ordinances.
- Yard Requirements:*** As shown on approved plans.
- Height Requirements:*** As shown on approved plans.
- Landscaping:*** As shown on approved plans.
- Accessory Off-Street parking:*** As shown on approved plans.
- Bicycle parking:*** As shown on approved plans.
- Site Lighting:*** Site lighting will be provided as shown on approved plans in compliance with the City’s Lighting Ordinance

***Signage:***

Signage will be allowed as approved by the Urban Design Commission.

***Alterations and Revisions:***

No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning & Community and Economic Development and the alderperson of the district as compatible with the concept approved by the City Plan Commission.



**LEGEND**

- GOVERNMENT CORNER
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- SECTION LINE
- PLATTED LOT LINE

**NOTES**

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. THE WEEK OF APRIL 17, 2017.
2. BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY, THE NORTH LINE OF THE NORTHWEST QUARTER BEARS N 89°28'36" E.

File: I:\2017\177751\DWG\177751-Exhibits.dwg Layout: Zoning User: jk Plotted: Apr 21, 2017 - 3:54pm

**JSD** Professional Services, Inc.  
 • Engineers • Surveyors • Planners  
 MADISON REGIONAL OFFICE  
 161 HORIZON COURT  
 VERONA, WISCONSIN 53593  
 (608)848-5060 PHONE | (608)848-2255 FAX  
 www.jsdinc.com

PROJECT:  
**CROSS HILL DRIVE**  
 Address: CROSS HILL DR., MADISON

SHEET TITLE:  
**PROPOSED ZONING**

JSD PROJECT NUMBER:  
 17-7751  
 DRAWN BY: JK CHECKED BY: TJB  
 DATE:  
 APRIL 21, 2017

SHEET NUMBER:  
 1

5-8

PROJECT:

# CROSS HILL APTS.

3601 CROSS HILL DRIVE, MADISON, WI

OWNER:

## LANCASTER INVESTMENTS, INC.

2906 MARKETPLACE DRIVE, STE. A  
MADISON, WISCONSIN 53719  
CONTACT: JON LANCASTER  
PHONE: 608-450-6181  
email: jonelancaster@gmail.com

ARCHITECT:

## ULIAN KISSIOV

476 PRESIDENTIAL LANE  
MADISON, WISCONSIN 53711  
PHONE: 608-320-3151  
email: ukissiov@charter.net

CIVIL ENGINEER, LANDSCAPE ARCHITECT:

## JSD PROFESSIONAL SERVICES, INC.

7402 STONE RIDGE DRIVE, STE 4  
WESTON, WISCONSIN 54476  
CONTACT: JUSTIN FRAHM  
PHONE: 715-298-6330  
email: justin.frahm@jsdinc.com

### SHEET INDEX

T	TITLE SHEET
C001	EXISTING CONDITIONS SURVEY
C100	SITE PLAN
C200	GRADING & EROSION CONTROL PLAN
C201	GRADING PLAN DETAILS
C300	UTILITY PLAN
C400	DETAILS
C401	DETAILS
C500	FIRE ACCESS WORKSHEET
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
1 OF 1	LIGHTING PLAN
A-0.1(A&B)	LL UNDERGROUND PARKING PLAN BLDG. A&B
A-0.2(A&B)	UL UNDERGROUND PARKING PLAN BLDG. A&B
A-0(C)	UNDERGROUND PARKING PLAN BLDG. C
A-1(A&B)	FIRST FLOOR PLAN BLDG. A&B
A-1(C)	FIRST FLOOR PLAN BLDG. C
A-2(A&B)	SECOND FLOOR PLAN BLDG. A&B
A-2(C)	SECOND/THIRD FLOOR PLAN BLDG. C
A-3(A&B)	THIRD FLOOR PLAN BLDG. A&B
A-4.0	3D RENDERINGS
A-4.1	EXTERIOR ELEVATIONS BLDG. A
A-4.2	EXTERIOR ELEVATIONS BLDG. A
A-5.1	EXTERIOR ELEVATIONS BLDG. B
A-5.2	EXTERIOR ELEVATIONS BLDG. B
A-6.1	EXTERIOR ELEVATIONS BLDG. C
A-6.2	EXTERIOR ELEVATIONS BLDG. C

EXHIBIT A - SITE CONTEXT MAP  
EXHIBIT B - EXISTING SITE PHOTOS



### LOCATION MAP

NO SCALE

### UNIT MIX:

UNIT TYPE	# UNITS BLDG. A	# UNITS BLDG. B	# UNITS BLDG. C	# UNITS TOTAL
STUDIO	6	6	12	24
ONE BEDROOM	25	24	28	77
ONE BEDROOM+DEN	8	3	6	17
TWO BEDROOM	18	18	17	53
TWO BEDROOM+DEN	3	3	3	9
THREE BEDROOM	3	3	3	9
	63	57	69	189

### BUILDING AREA:

FLOOR	SQ.F. BLDG. A	SQ.F. BLDG. B	SQ.F. BLDG. C
UNDERGR. PARKING	24,395	22,520	25,600
FIRST FLOOR	24,395	22,520	25,600
SECOND FLOOR	24,395	22,520	25,600
THIRD FLOOR	24,395	22,520	25,600
TOTAL APT. BLDGS	97,580	90,080	102,400
CLUBHOUSE 5,285 SF + UNDERGR. 5,285 SF = 10,570 SF			

\* SEE SITE PLAN FOR SITE DATA

APRIL 18, 2017

Architect/Engineer:

General Contractor:

Site Consultant:



5590 Monona Drive  
Monona, WI 53716  
(608) 222-6597  
(608) 244-9113 Fax

PROJECT

HIGH CROSSING BLVD.  
&  
CROSS HILL DRIVE

ISSUED

10-20-16

REVISED

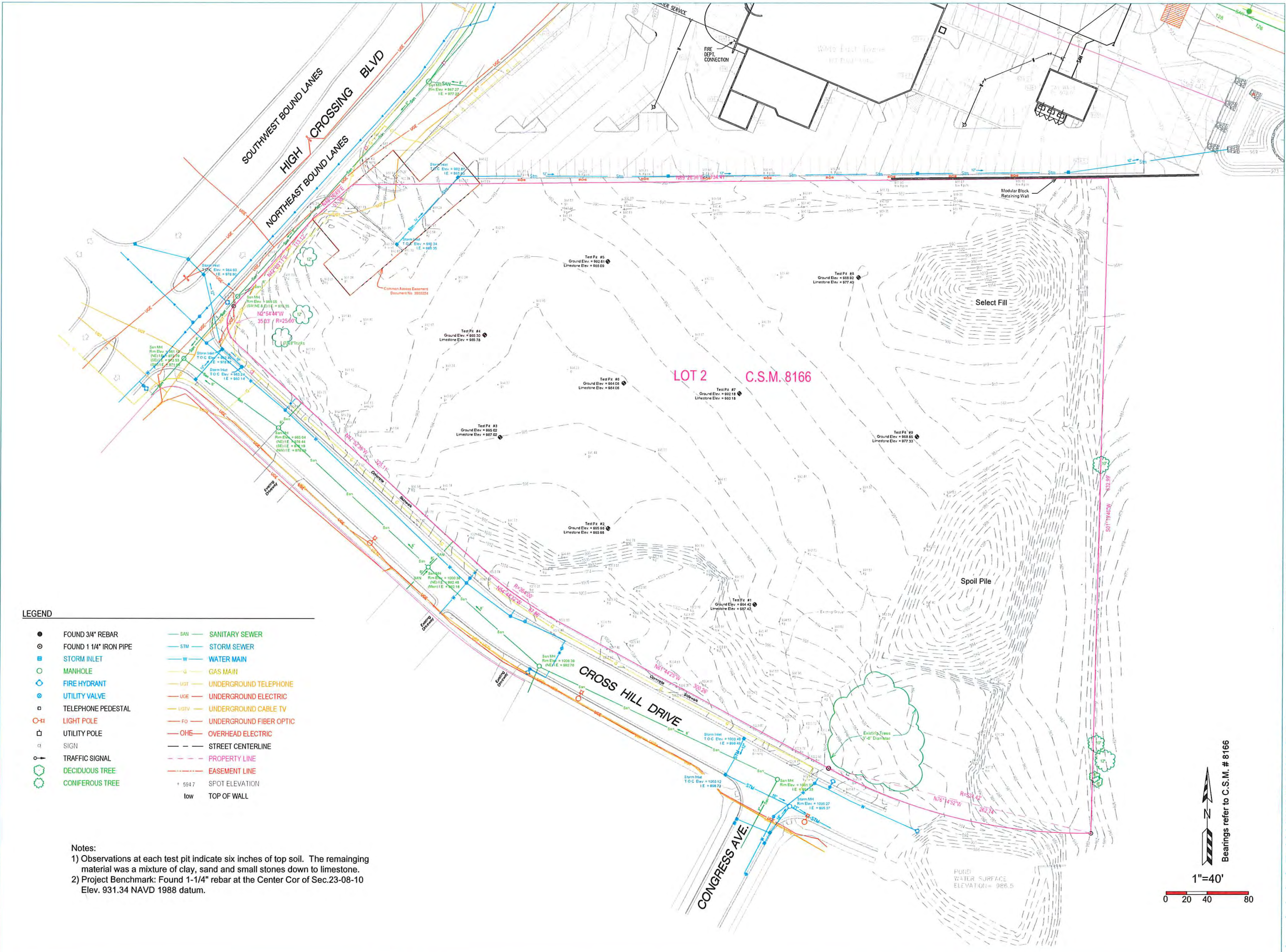
12-07-16

05-03-17

© 2017, Homburg Contractors, Inc.

TOPOGRAPHIC MAP

C 001



**LEGEND**

●	FOUND 3/4" REBAR	— SAN —	SANITARY SEWER
○	FOUND 1 1/4" IRON PIPE	— STM —	STORM SEWER
■	STORM INLET	— W —	WATER MAIN
○	MANHOLE	— G —	GAS MAIN
○	FIRE HYDRANT	— UGT —	UNDERGROUND TELEPHONE
○	UTILITY VALVE	— UGE —	UNDERGROUND ELECTRIC
○	TELEPHONE PEDESTAL	— UGTV —	UNDERGROUND CABLE TV
○	LIGHT POLE	— FO —	UNDERGROUND FIBER OPTIC
□	UTILITY POLE	— OHE —	OVERHEAD ELECTRIC
□	SIGN	— — —	STREET CENTERLINE
○	TRAFFIC SIGNAL	— — —	PROPERTY LINE
○	DECIDUOUS TREE	— — —	EASEMENT LINE
○	CONIFEROUS TREE	+ 594.7	SPOT ELEVATION
		low	TOP OF WALL

Notes:  
 1) Observations at each test pit indicate six inches of top soil. The remaining material was a mixture of clay, sand and small stones down to limestone.  
 2) Project Benchmark: Found 1-1/4" rebar at the Center Cor of Sec.23-08-10 Elev. 931.34 NAVD 1988 datum.



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 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5060 PHONE | 608.848.2255 FAX  
 MADISON | MILWAUKEE  
 KENOSHA | APPLETON | WAUSAU  
 www.jsdinc.com

SERVICES PROVIDED TO:  
**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT  
 CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JJK 03-22-17  
 DRAWN: JJK 03-22-17  
 APPROVED:

PLAN MODIFICATIONS:	DATE:
Landuse/AIUC Submittal	04-19-17
Landuse/AIUC Resubmittal	06-07-17



Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C100**

**LEGEND (SITE PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ===== PROPOSED BUILDING
- ===== EDGE OF PAVEMENT
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- PROPOSED ASPHALT PAVEMENT-HEAVY DUTY

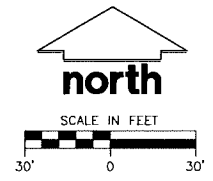
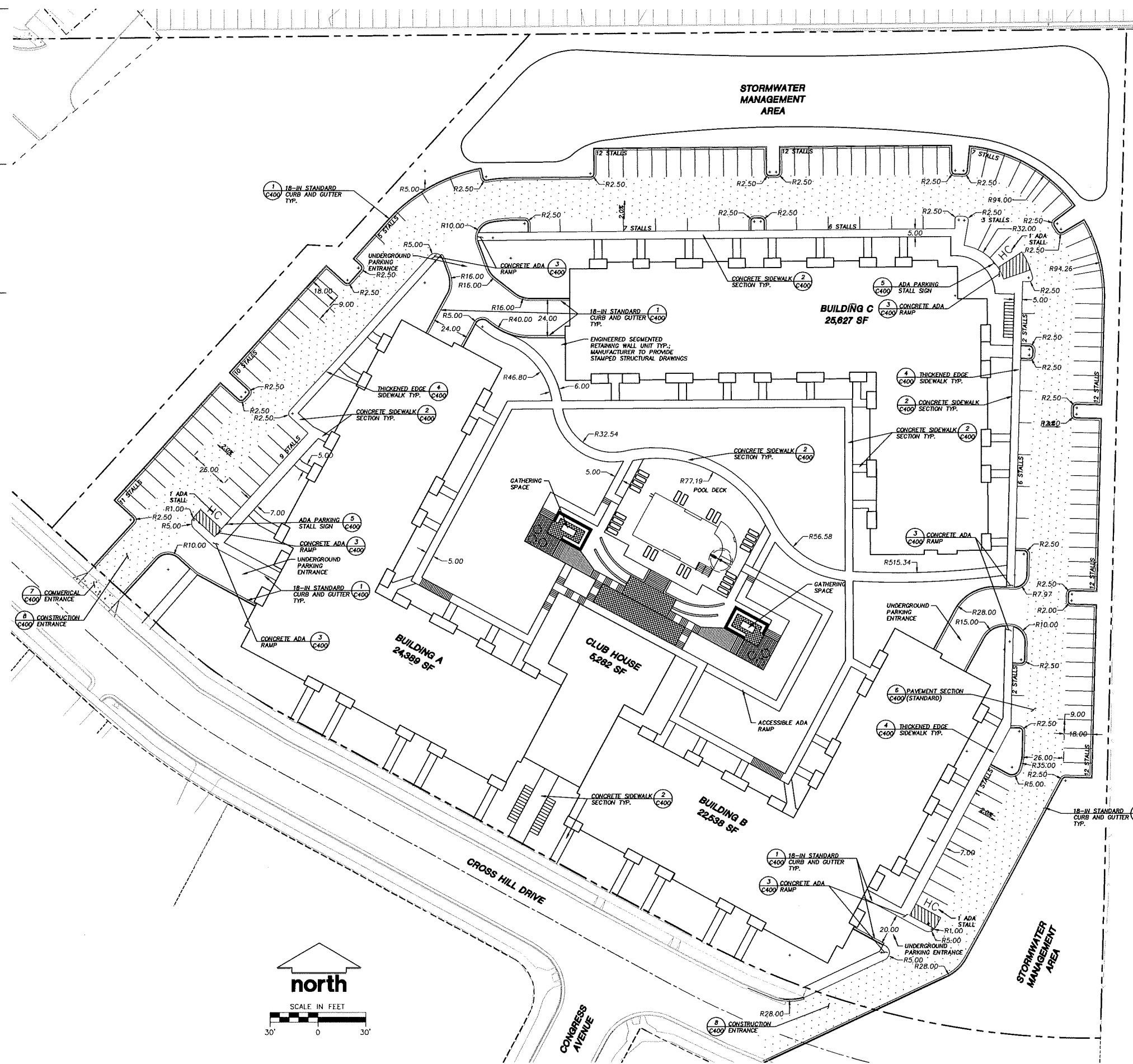
**GENERAL NOTES:**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPALITY REQUIREMENTS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**SITE PLAN NOTES**

- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE MUNICIPALITY.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	3601 CROSS HILL DRIVE, MADISON, WI 53719
Site Acreage (total)	6.863 ACRES
Disturbed Area	298,952 S.F.
Existing Site Zoning	Agriculture (A)
Proposed use of property	Traditional Residential- Urban District 1 (TR-U1)
Number of Buildings	4
Number of Building Stories on Each Building (Above Grade)	3
Number of parking stalls above ground:	
Large Stall	136
Accessible	3
Total Surface	139
Number of parking stalls below ground:	
Large Stall	184
Accessible	5
Total Below	189
Total Above and Below:	328
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	0 S.F.
Existing Pervious Surface Area	298,952 S.F.
Proposed Impervious Surface Area	175,435 S.F.
Proposed Pervious Surface Area	123,517 S.F.
Proposed Impervious Surface Area Ratio	.59
Proposed Pervious Surface Area Ratio	.41



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**LEGEND (GRADING & EROSION CONTROL)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- PROPOSED BUILDING ADDITION
- 934 --- PROPOSED 1 FOOT CONTOUR
- 935 --- PROPOSED 5 FOOT CONTOUR
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- DRAINAGE DIRECTION
- ST --- STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- INLET PROTECTION, TYPE D
- SPDT ELEVATION
- EP --- EDGE OF PAVEMENT
- FG --- FINISH GRADE
- EC --- EDGE OF CONCRETE
- TS --- TOP OF STEP
- IS --- BOTTOM OF STEP
- RM --- RIM ELEVATION
- GRADE BREAK

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**

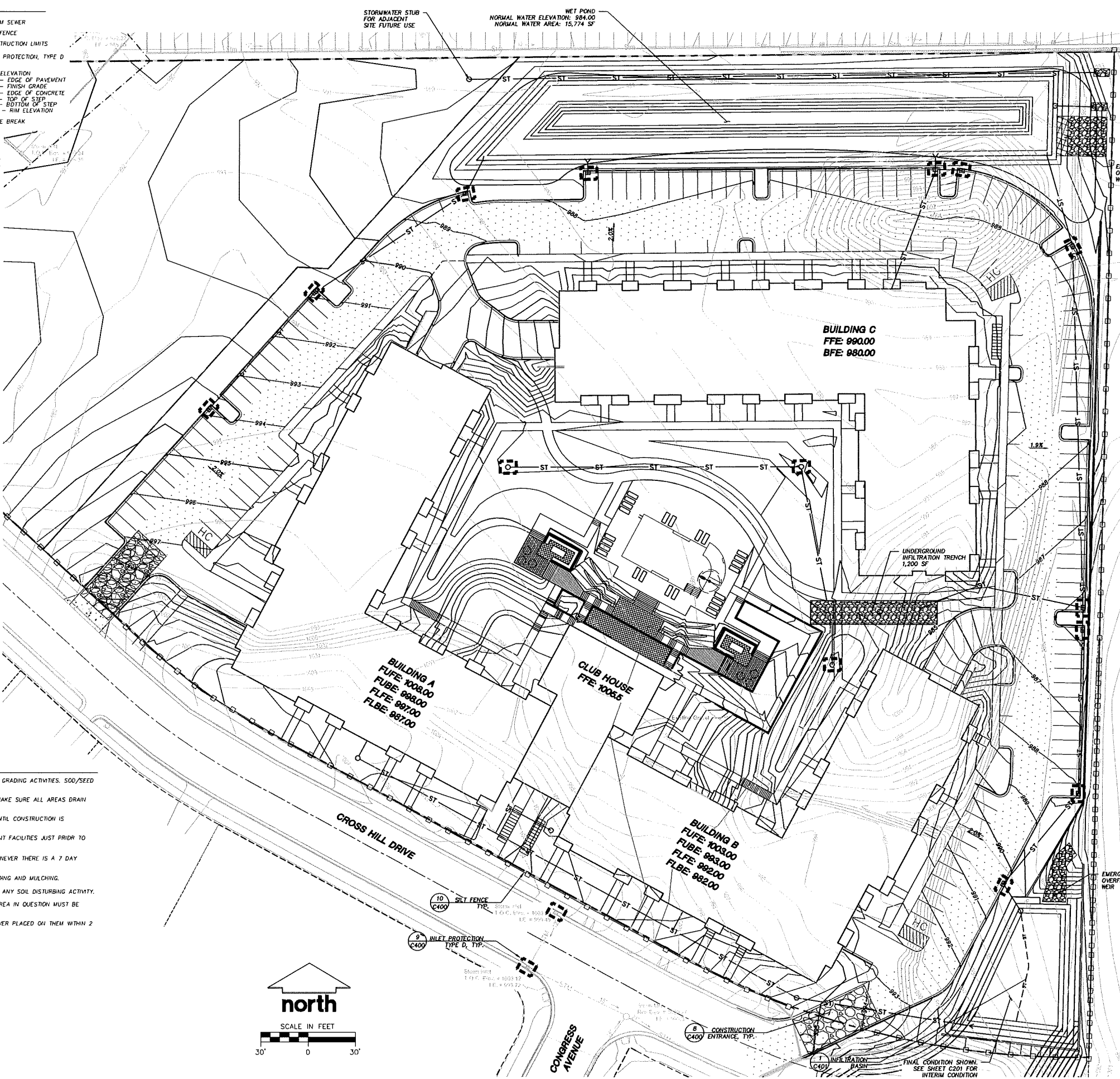
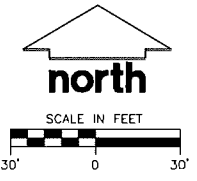
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wisconsin.gov/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MNRR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF MNRR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 106.3. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MNRR TECHNICAL STANDARDS.
10. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH MNRR REQUIREMENTS.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MNRR TECHNICAL STANDARD 106B.
15. STABILIZATION PRACTICES:
  - 15.1. \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER, IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - 15.2. \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - \* PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
    - \* TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
    - \* HYDRO-MULCHING WITH A TACKIFIER
    - \* GEOTEXTILE EROSION MATTING
    - \* SOODING

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SOODING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF OREGON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

**CONSTRUCTION SEQUENCING**

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. STRIP TOPSOIL.
3. INSTALL ALL SWALES AND RAIN GARDENS.
4. EXCAVATE BUILDING FOUNDATIONS.
5. COMPLETE ALL OTHER GRADING.
6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
7. INSTALL AGGREGATE BASE COURSE AND PAWING IN PARKING AREAS.
8. STABILIZE NEWLY GRADED SOILS.
9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
10. REGRADE & STABILIZE TEMPORARY SEDIMENT BASIN.



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SERVICES PROVIDED TO:  
**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

DESIGN:	JRK	03-22-17
DRAWN:	JRK	03-22-17
APPROVED:		

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

PLAN MODIFICATIONS:	DATE:
Landuse/UDC Submittal	04-19-17
Landuse/UDC Resubmittal	06-07-17

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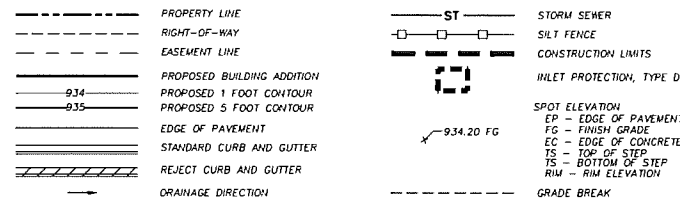
SHEET TITLE:  
**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:  
**C200**

File: F:\2017\177251\DWG\17-7751 Con Docs.dwg Layout: C200 Grading & EC Plan User: mprazniak Plotfile: Jun 07, 2017 - 8:48am Xref: THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



**LEGEND (GRADING & EROSION CONTROL)**



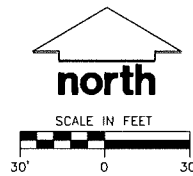
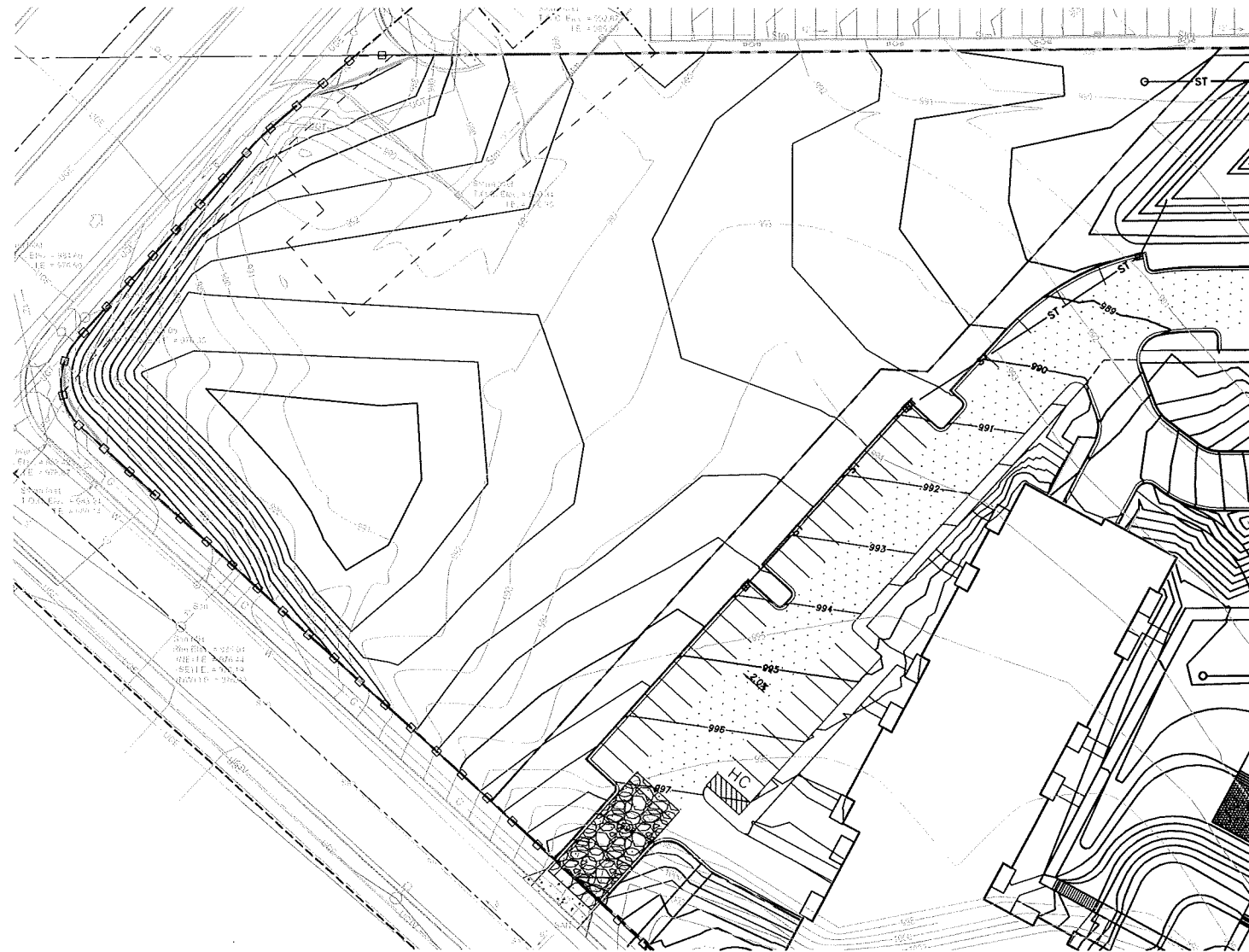
**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SOODING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPALITY TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

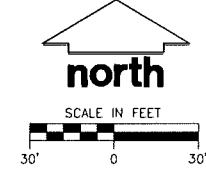
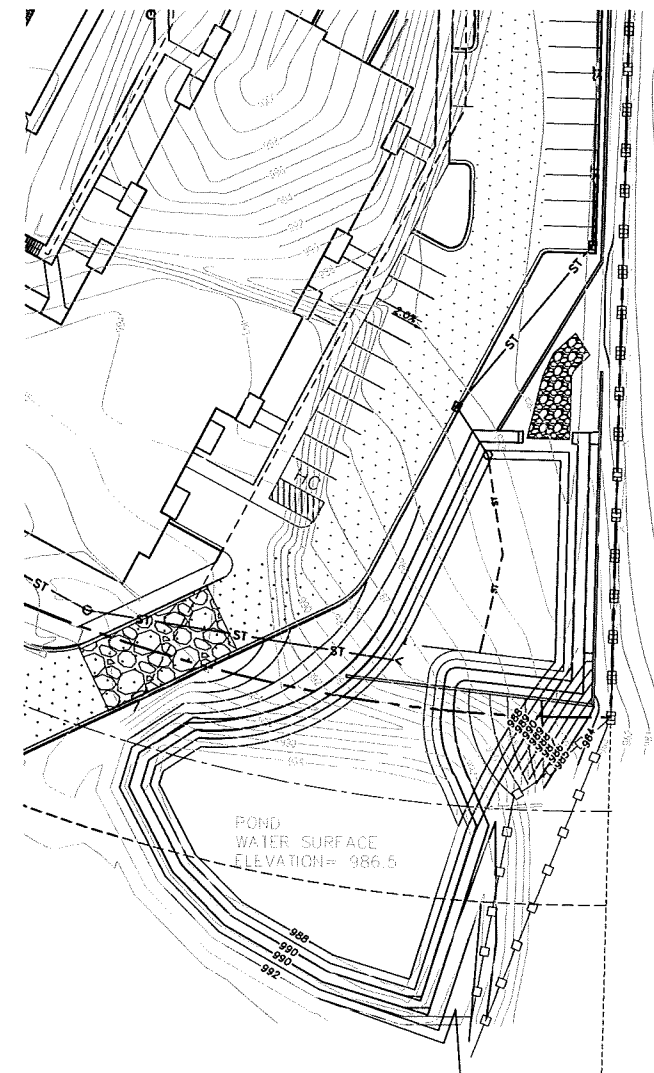
**CONSTRUCTION SEQUENCING**

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. STRIP TOPSOIL.
3. INSTALL ALL SWALES AND RAIN GARDENS.
4. EXCAVATE BUILDING FOUNDATIONS.
5. COMPLETE ALL OTHER GRADING.
6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
7. INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
8. STABILIZE NEWLY GRADED SOILS.
9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
10. REGRADE & STABILIZE TEMPORARY SEDIMENT BASH.

**C-STORE PARCEL MASS GRADING PLAN**



**REGIONAL POND INTERIM CONDITION**



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 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

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DESIGN:	JRK	03-22-17
DRAWN:	JRK	03-22-17
APPROVED:		

PLAN MODIFICATIONS:	DATE:
Landuse/UDC Submittal	04-19-17
Landuse/UDC Resubmittal	06-07-17

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SHEET TITLE:  
**GRADING PLAN DETAILS**

SHEET NUMBER:  
**C201**

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SHEET TITLE:  
**UTILITY PLAN**

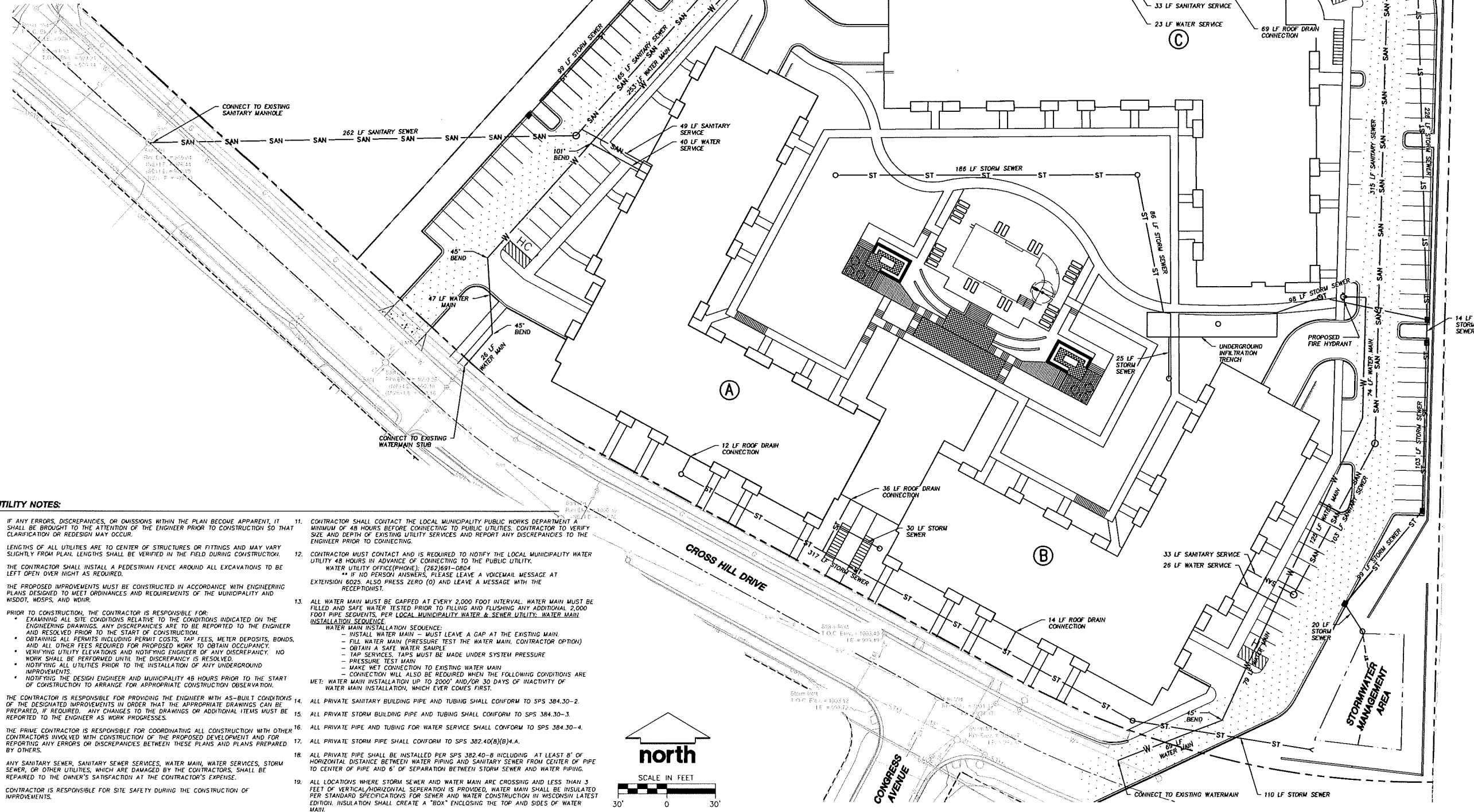
SHEET NUMBER:  
**C300**

**LEGEND (UTILITY PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - PROPOSED BUILDING ADDITION
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATERMAIN

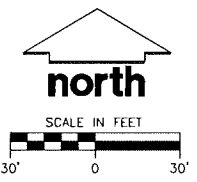
**DEWATERING NOTES:**

- DEWATERING FROM FORD OR ANY OTHER CONSTRUCTION NOT DRAINING INTO POND SHALL BE PUMPED THROUGH A TYPE II GEOTEXTILE FILTER BAG IN ACCORDANCE WITH WDR TECHNICAL STANDARD 1061. INSTALL BAGS PER WDR TECHNICAL STANDARD 1061.
- MAXIMUM PUMPING RATE ALLOWED FOR DEWATERING IS 250 GPM FROM A 3-INCH PUMP. HIGHER RATES REQUIRE LARGER AND/OR MULTIPLE GEOTEXTILE FILTER BAGS. CONTACT ENGINEER IF ADDITIONAL PUMP RATE IS REQUIRED.
- CONTRACTOR TO INSPECT DEVICES AT START AND END OF WORKING DAY AND REPAIR DEVICES AS NEEDED TO MAINTAIN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE.
- SEDIMENT SHALL BE REMOVED FROM DEVICES TO MAINTAIN EFFECTIVENESS. ALL SEDIMENT COLLECTED IN DEWATERING DEVICES SHALL BE PROPERLY DISPOSED OF TO PREVENT SEDIMENT DISCHARGE TO WETLANDS/WATERS OF THE STATE OF WISCONSIN.
- ALL DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF WDR TECHNICAL STANDARD 1061



**UTILITY NOTES:**

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDISIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSFS, AND WDR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE LOCAL MUNICIPALITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE LOCAL MUNICIPALITY WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY. WATER UTILITY OFFICE (PHONE): (262)691-0804  
 \*\* IF NO PERSON ANSWERS, PLEASE LEAVE A VOICEMAIL MESSAGE AT EXTENSION 6025. ALSO PRESS ZERO (0) AND LEAVE A MESSAGE WITH THE RECEPTIONIST.
- ALL WATER MAIN MUST BE GAPPED AT EVERY 2,000 FOOT INTERVAL. WATER MAIN MUST BE FILLED AND SAFE WATER TESTED PRIOR TO FILLING AND FLUSHING ANY ADDITIONAL 2,000 FOOT PIPE SEGMENTS, PER LOCAL MUNICIPALITY WATER & SEWER UTILITY. WATER MAIN INSTALLATION SEQUENCE:
  - INSTALL WATER MAIN - MUST LEAVE A GAP AT THE EXISTING MAIN.
  - FILL WATER MAIN (PRESSURE TEST THE WATER MAIN, CONTRACTOR OPTION)
  - OBTAIN A SAFE WATER SAMPLE
  - TAP SERVICES. TAPS MUST BE MADE UNDER SYSTEM PRESSURE
  - PRESSURE TEST MAIN
  - MAKE WET CONNECTION TO EXISTING WATER MAIN
  - CONNECTION WILL ALSO BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: WATER MAIN INSTALLATION UP TO 2000' AND/OR 30 DAYS OF INACTIVITY OF WATER MAIN INSTALLATION, WHICH EVER COMES FIRST.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)(4).
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-B INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.



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SERVICES PROVIDED TO:  
**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

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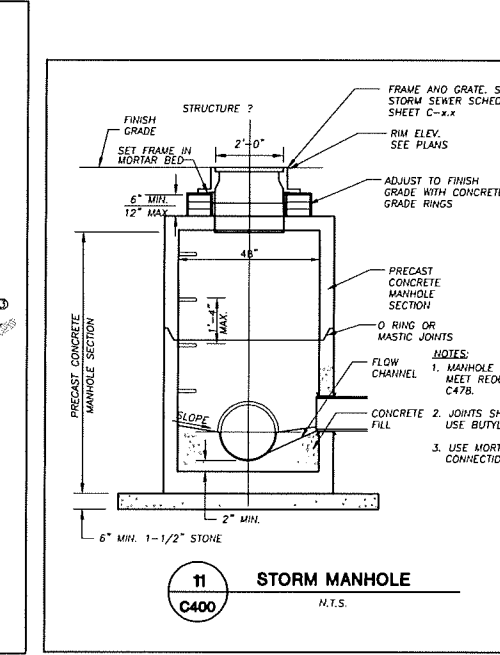
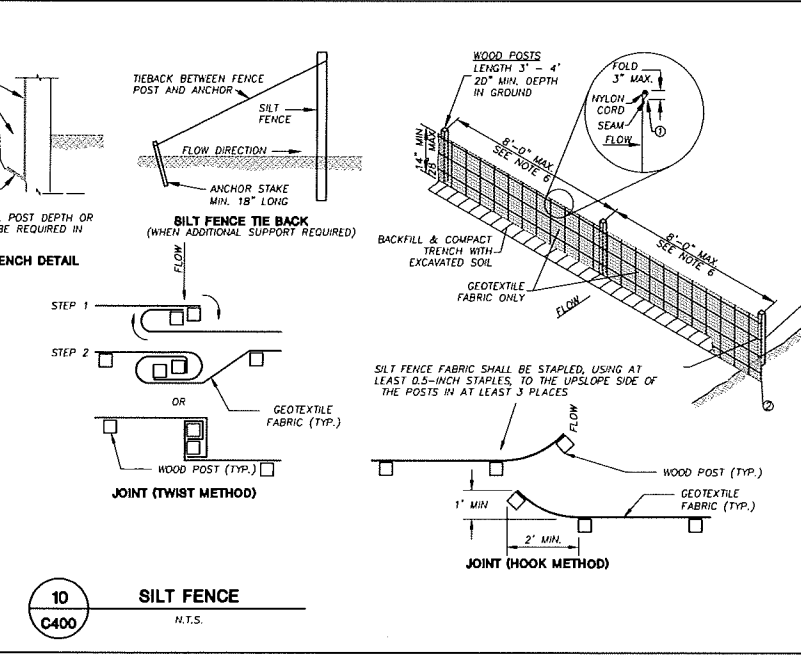
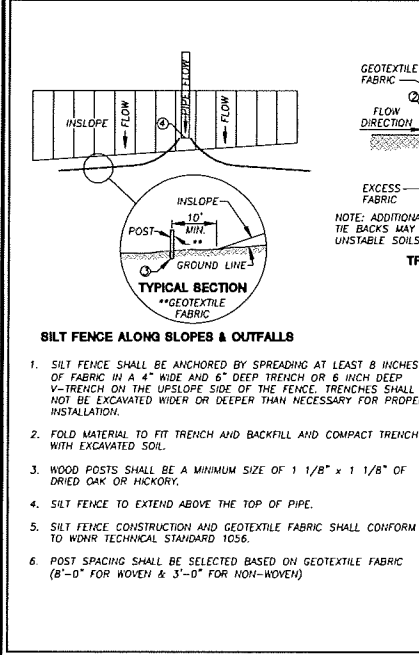
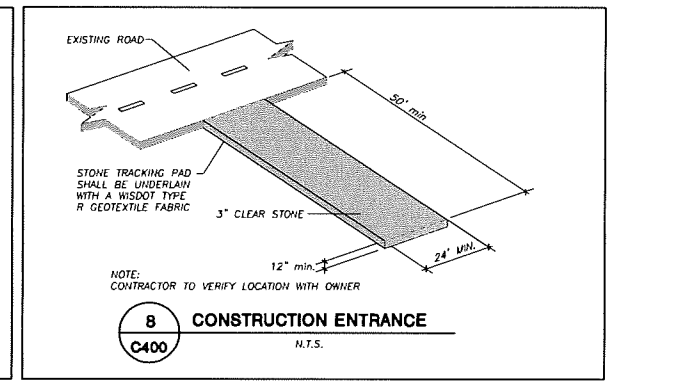
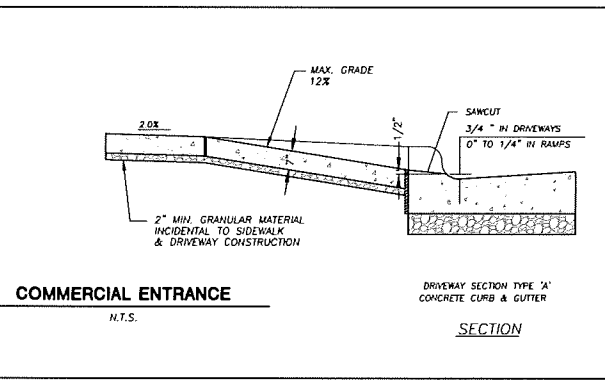
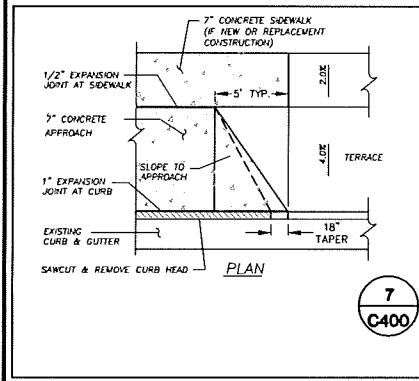
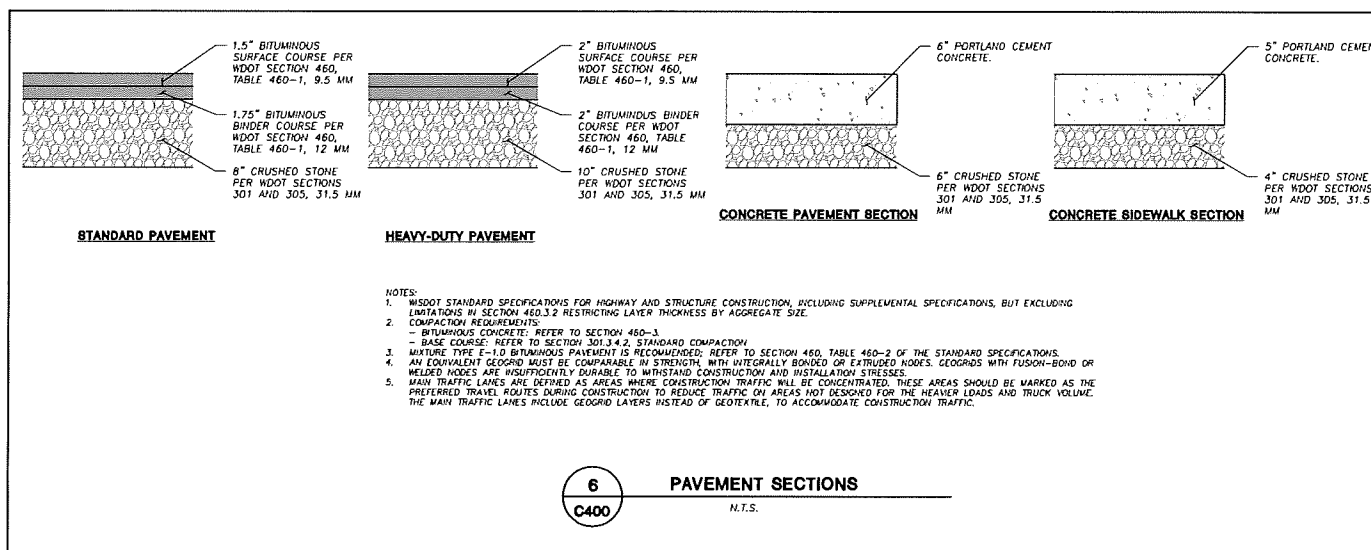
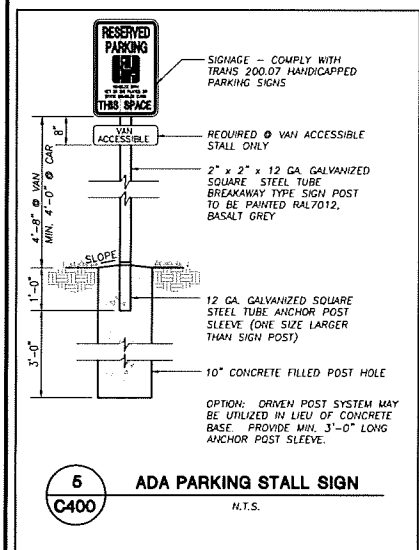
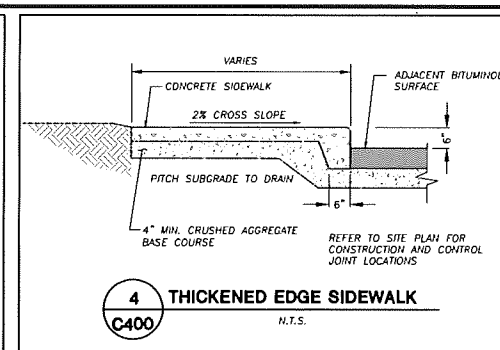
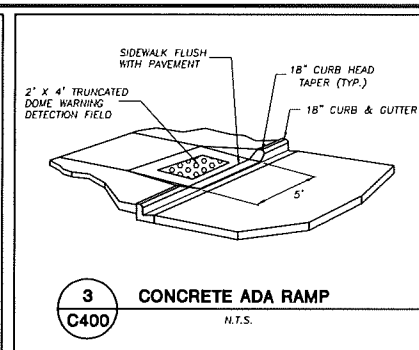
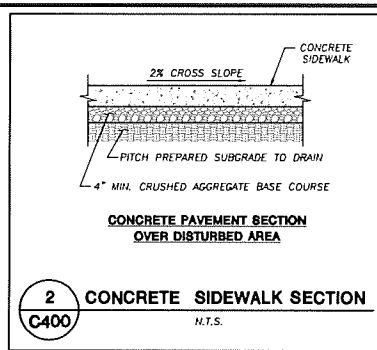
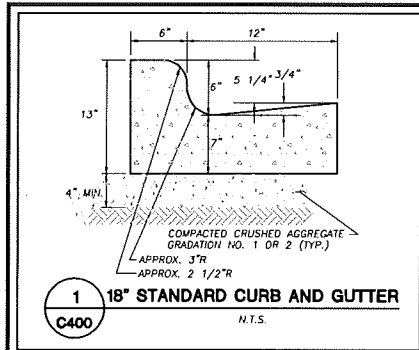
DESIGN: JRK	03-22-17
DRAWN: JRK	03-22-17
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SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C400**



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 1000 W. WISCONSIN AVENUE, SUITE 100  
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SERVICES PROVIDED TO:  
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2906 MARKETPLACE DR. STE. A  
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PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
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JSD PROJECT NO.: 17-7751

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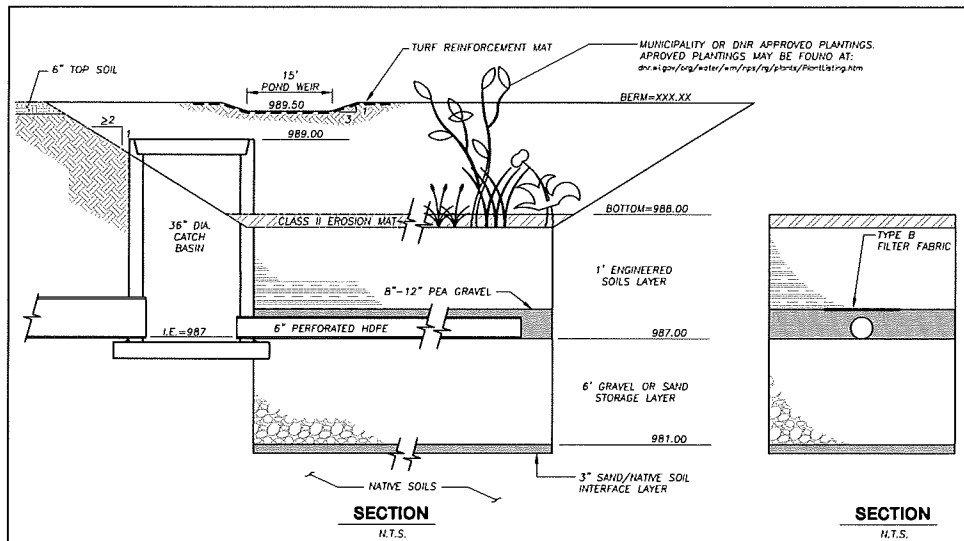
DESIGN: JRK 03-22-17  
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 APPROVED:

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SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C401**



**GENERAL NOTES:**

1. ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDR TECHNICAL STANDARD 1004 - BIOTENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIOTENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
2. CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
3. CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
4. SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
5. FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
6. ANNUAL RYE GRASS SHALL BE SEEDS AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
7. RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
8. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
9. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIOTENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIOTENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

**1**  
**C401**  
**INFILTRATION BASIN**  
 N.T.S.

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2906 MARKETPLACE DR. STE. A  
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PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

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DESIGN: JRK 03-22-17  
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 APPROVED:

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SHEET TITLE:  
**FIRE ACCESS EXHIBIT**

SHEET NUMBER:  
**C500**

**LEGEND (SITE PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- PROPOSED BUILDING ADDITION
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
- PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- FIRE HYDRANT LOCATION
- 20'+ WIDE FIRE LANE

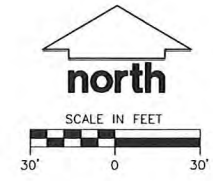
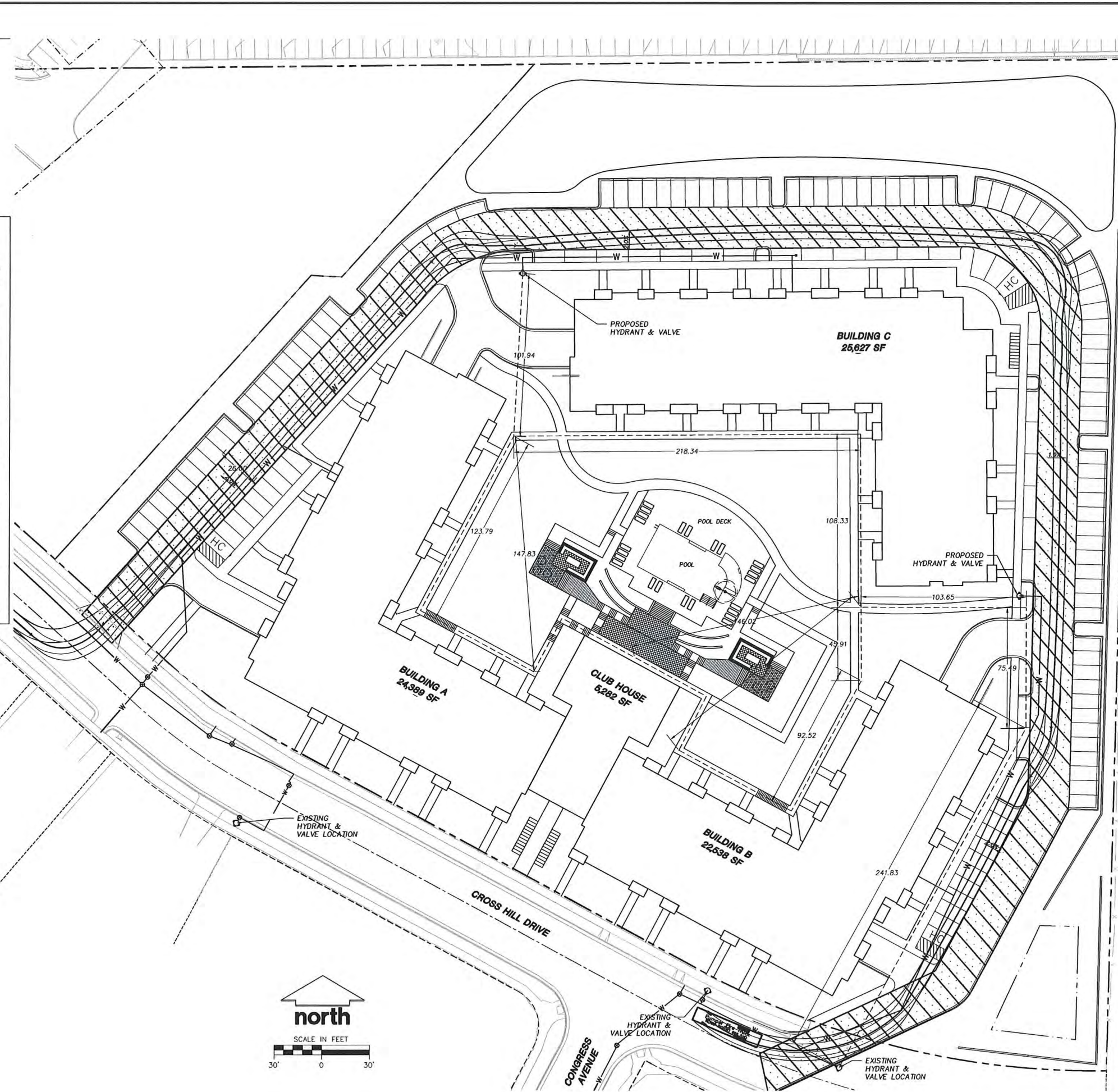
**CITY OF MADISON FIRE DEPARTMENT**  
 Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4464 • FAX: 608-267-1153

Project Address: 7345 Mineral Point Road, 7349 Mineral Point Road, Madison, WI 53719  
 Contact Name & Phone #: Ken Wittler, 423-490-8385

**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

- Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?  Yes  No  N/A  
 If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?  Yes  No  N/A  
 If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?  Yes  No  N/A
- Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?  Yes  No  N/A  
 a) Is the fire lane a minimum unobstructed width of at least 20-feet?  Yes  No  N/A  
 b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?  Yes  No  N/A  
 c) Is the minimum inside turning radius of the fire lane at least 24-feet?  Yes  No  N/A  
 d) Is the grade of the fire lane not more than a slope of 8%?  Yes  No  N/A  
 e) Is the fire lane posted as fire lane?  Yes  No  N/A  
 f) Is a detail of the signage included on the site plan?  Yes  No  N/A  
 g) Is a detail of the curb included on the site plan?  Yes  No  N/A  
 h) Is a detail of the curb included on the site plan?  Yes  No  N/A  
 i) Is a detail of the curb included on the site plan?  Yes  No  N/A  
 j) Is a detail of the curb included on the site plan?  Yes  No  N/A  
 k) Is a detail of the curb included on the site plan?  Yes  No  N/A  
 l) Is a detail of the curb included on the site plan?  Yes  No  N/A
- Is the fire lane obstructed by security gates or barriers? If yes:  Yes  No  N/A  
 a) Is the gate a minimum of 20-feet clear opening?  Yes  No  N/A  
 b) Is an approved means of emergency operation installed, key switch, pulllock or key switch?  Yes  No  N/A
- Is the fire lane delineated with a length greater than 150-feet?  Yes  No  N/A  
 If yes, is the area for turning around fire apparatus provided by:  
 a) A cul-de-sac with a minimum inside diameter of 70-feet?  Yes  No  N/A  
 b) A 45-degree eye with a minimum length of 60-feet per side?  Yes  No  N/A  
 c) A 90-degree eye with a minimum length of 60-feet per side?  Yes  No  N/A
- Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23?  Yes  No  N/A  
 If yes, see IFC 2306.8 for further requirements.
- Is any part of the building greater than 20-feet above the lowest level of fire apparatus access?  Yes  No  N/A  
 If yes, answer the following questions:  
 a) Is the aerial apparatus fire lane parallel to one entire side of the building?  Yes  No  N/A  
 b) Is the aerial apparatus fire lane between 15' and 30' from the building?  Yes  No  N/A  
 c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?  Yes  No  N/A  
 d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?  Yes  No  N/A
- Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?  Yes  No  N/A  
 Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.  
 a) Is the fire lane at least 20' wide for at least 20-feet on each side of the hydrant?  Yes  No  N/A  
 b) Is there at least 40' between a hydrant and the building?  Yes  No  N/A  
 c) Are the hydrants setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?  Yes  No  N/A  
 d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?  Yes  No  N/A  
 e) Are there no obstructions, including but not limited to power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?  Yes  No  N/A  
 Note: Hydrants shall be installed and in service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.  
 This worksheet is based on MGO 34.20 and IFC 2004 Edition Chapter 5 and Appendix D; please see the codes for further information.



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**LEGEND (LANDSCAPE PLAN)**

PROPERTY LINE	999	PROPOSED 1 FOOT CONTOUR
RIGHT-OF-WAY	1000	PROPOSED 5 FOOT CONTOUR
EASEMENT LINE	SAN	SANITARY SEWER
BUILDING OUTLINE	ST	STORM SEWER
BUILDING OVERHANG		WATER
EDGE OF PAVEMENT		INFILTRATION BASIN SEED MIX
STANDARD CURB AND GUTTER		INFILTRATION BASIN PLUG MIX
REJECT CURB AND GUTTER		MODULAR BLOCK RETAINING WALL
ASPHALT PAVEMENT		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
CONCRETE PAVEMENT		ADA PARKING BOLLARDS/SIGNS

**GENERAL NOTES:**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

**PLANT SCHEDULE**

SYMBOL	QUANTITY	BOTANICAL NAME / COMMON NAME	CONTR.	SIZE
AS1	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS2	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS3	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS4	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS5	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS6	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS7	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS8	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS9	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS10	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS11	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS12	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS13	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS14	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS15	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS16	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS17	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS18	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS19	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS20	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS21	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS22	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS23	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
AS24	1	Aspen Maple Tree / Norway Spruce	2 1/2"	12' H
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**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: TXG 05-22-17  
 DRAWN: TXG 05-22-17  
 APPROVED: JLF 04-18-17

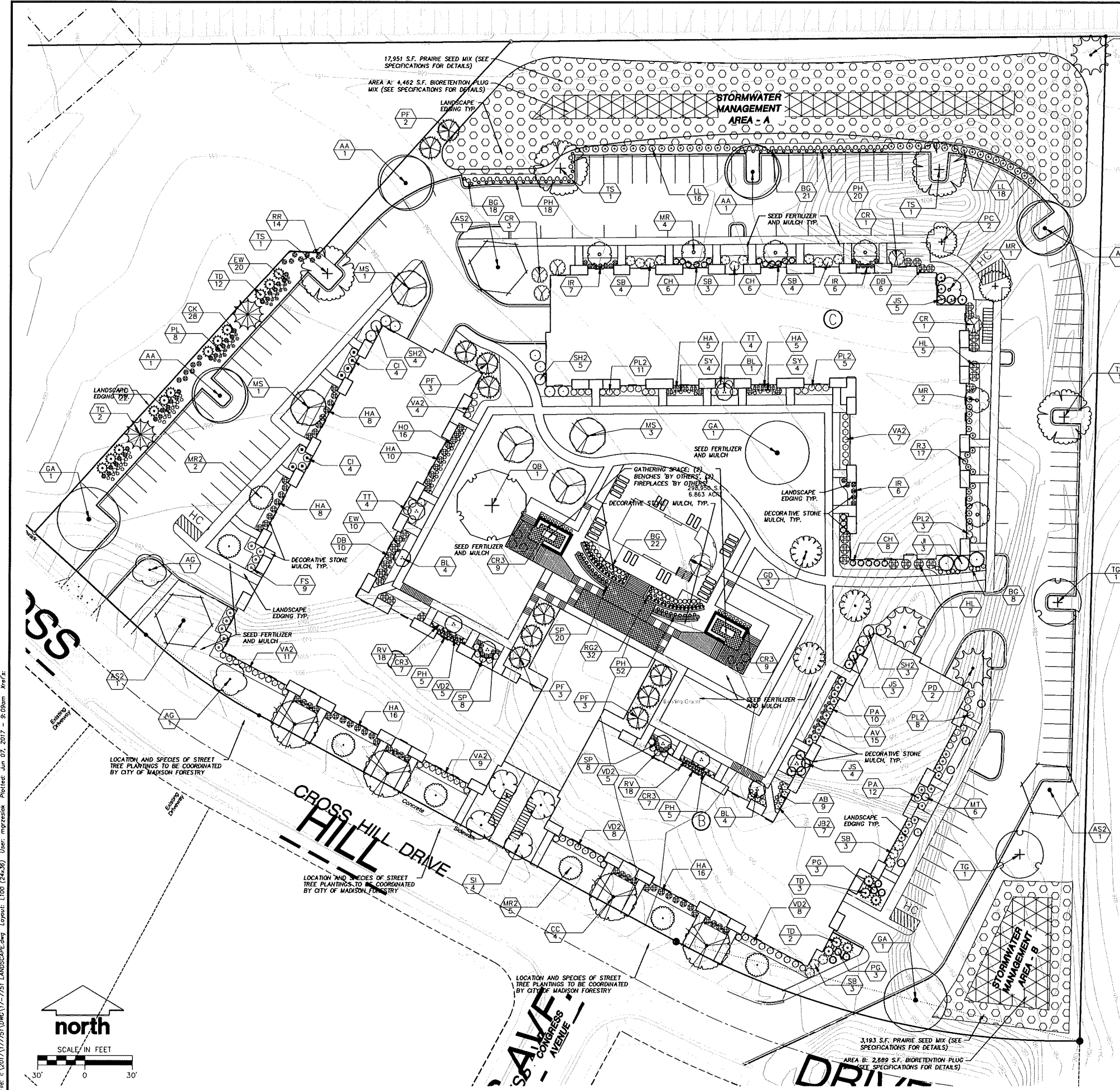
PLAN MODIFICATIONS: DATE:  
 Landuse/UDC Submittal 04-19-17  
 Landuse/UDC Resubmittal 06-07-07

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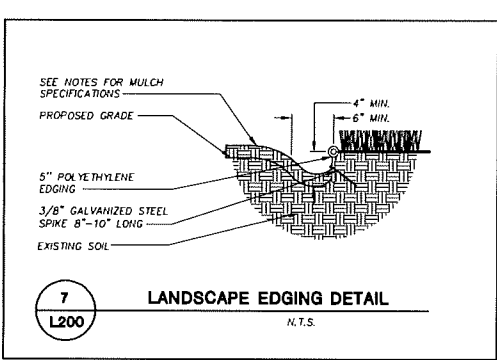
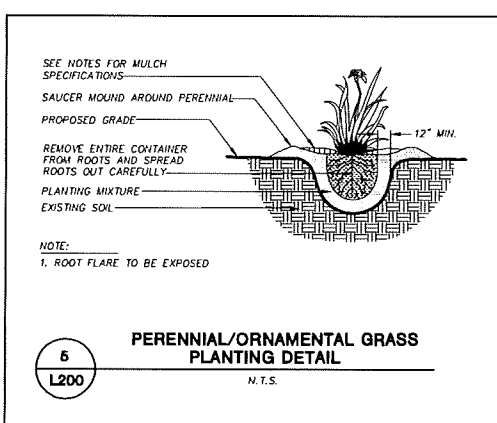
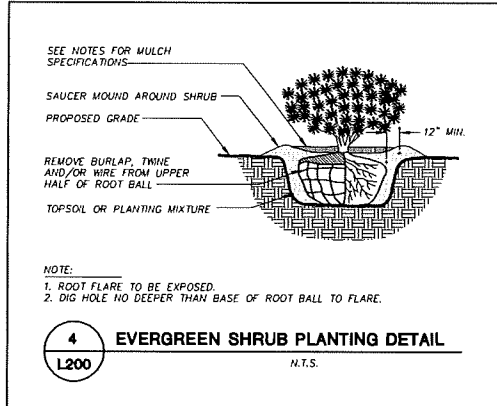
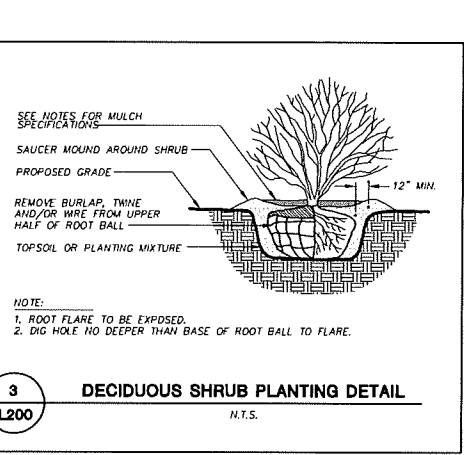
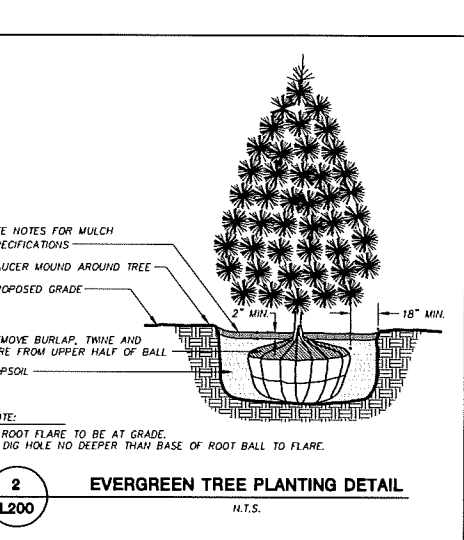
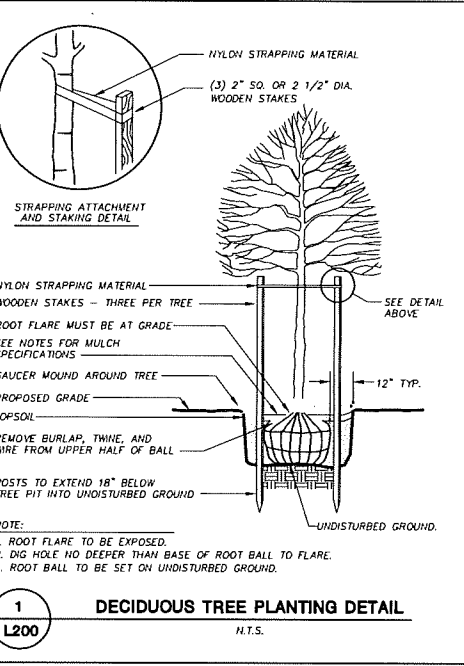
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L100**



File: L:\2017\177751\DWG\17-7751 LANDSCAPE.dwg Layout: L100 (24x36) User: mprzakslak Plotdate: Jun 07, 2017 - 9:09am Xref's:

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**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS FROM DAMAGE AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY, IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLE SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF MAJORITY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS FROM THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:  
A. PLANTING AREAS = 24"  
B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS, AND SHALL BE AMENDED TO MEET THESE REQUIREMENTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT/DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING DEPTH TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL DECORATIVE STONE MULCH PLANTING AREAS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN, SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE "NO MOW" FESCUE OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS IN ADDITION TO FESCUE SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S MADISON PARKS' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - BIORETENTION BASIN/PRAIRIE SEED MIX: AREAS SPECIFIED ON PLAN TO BE BROADCAST SEEDING WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - BIORETENTION BASIN PLUG PLANTINGS: PLUG PLANTINGS TO BE INSTALLED 1'-6" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WDR TECHNICAL STANDARDS FOR ROOTSTOCK AND PLUG PLANTINGS FOR BIORETENTION BASINS.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- WARRANTY: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SOODED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY MOOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR GUARANTEE PERIOD.

**PLANT QUANTITY AND SPACING FOR BIORETENTION AREAS**

Bioretention Area #A Plug Plant Mix 4,462 sq. ft.				Bioretention Area #B Plug Plant Mix 2,689 sq. ft.			
Botanical Name	Common Name	Quantity	Spacing	Botanical Name	Common Name	Quantity	Spacing
<b>Permanent Grasses:</b>				<b>Permanent Grasses:</b>			
<i>Carex grayi</i>	Common Bur Sedge	248	1'-0" On Center	<i>Carex grayi</i>	Common Bur Sedge	150	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	248	1'-0" On Center	<i>Carex stipata</i>	Common Fox Sedge	150	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	248	1'-0" On Center	<i>Panicum virgatum</i>	Switch Grass	150	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	248	1'-0" On Center	<i>Spartina pectinata</i>	Prairie Cord Grass	150	1'-0" On Center
<b>Forbs:</b>				<b>Forbs:</b>			
<i>Aster novae-angliae</i>	New England Aster	248	1'-0" On Center	<i>Aster novae-angliae</i>	New England Aster	150	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	248	1'-0" On Center	<i>Asclepias incarnata</i>	Swamp Milkweed	150	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	248	1'-0" On Center	<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	150	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	248	1'-0" On Center	<i>Eryngium yuccifolium</i>	Rattlesnake Master	149	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	248	1'-0" On Center	<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	149	1'-0" On Center
<i>Liatis spicata</i>	Marsh Blazing Star	248	1'-0" On Center	<i>Liatis spicata</i>	Marsh Blazing Star	149	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	248	1'-0" On Center	<i>Lobelia cardinalis</i>	Cardinal Flower	149	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	248	1'-0" On Center	<i>Monarda fistulosa</i>	Wild Bergamot	149	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	248	1'-0" On Center	<i>Penstemon digitalis</i>	Foxglove Beardtongue	149	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	248	1'-0" On Center	<i>Pycnanthemum virginianum</i>	Common Mountain Mint	149	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	248	1'-0" On Center	<i>Ratibida pinnata</i>	Yellow Coneflower	149	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	248	1'-0" On Center	<i>Rudbeckia hirta</i>	Black-Eyed Susan	149	1'-0" On Center
<i>Veronicastrum virginianum</i>	Cuher's Root	247	1'-0" On Center	<i>Veronicastrum virginianum</i>	Cuher's Root	149	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	247	1'-0" On Center	<i>Zizia aurea</i>	Golden Alexanders	149	1'-0" On Center
	TOTAL	4462			TOTAL	2689	

**CITY OF MADISON LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address: CROSS HILL DRIVE, MADISON, WI 53704  
Name of Project: CROSS HILL DRIVE DEVELOPMENT  
Owner / Contact: LANCASTER PROPERTIES  
Contact Phone: (608) 848-5060 Contact Email: JUSTIN.FRAHM@JSDINC.COM

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

**Applicability**  
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:  
(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.  
(b) Gross floor area is only increased by ten percent (10%) during any ten (10) year period.  
(c) No demolition of a principal building is involved.  
(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and deck/patio facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District:  
(a) For lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.  
Total square footage of developed area: 171,763  
Total landscape points required: 2,863  
(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.  
Total square footage of developed area: 217,800 square feet  
First five (5) developed acres = 1,610 points  
Remainder of developed area = \_\_\_\_\_  
Total landscape points required = \_\_\_\_\_  
(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.  
Total square footage of developed area: \_\_\_\_\_  
Total landscape points required = \_\_\_\_\_

10/2013 1

**Tabulation of Points and Credits**  
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2" inch caliper measured diameter at breast height (dbh)	35			21	735
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			19	665
Ornamental tree	1 1/2" inch caliper	15			46	690
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			24	240
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			383	1,149
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			102	408
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			355	710
Ornamental/decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "unit"				
Sub Totals						4,597

Total Number of Points Provided: 4,597

\* As determined by ANSI/ANLA - American standards for nursery stock. For each lot, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
608.848.5060 PHONE | 608.848.2255 FAX  
MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU  
www.jsdinc.com

SERVICES PROVIDED TO:  
**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

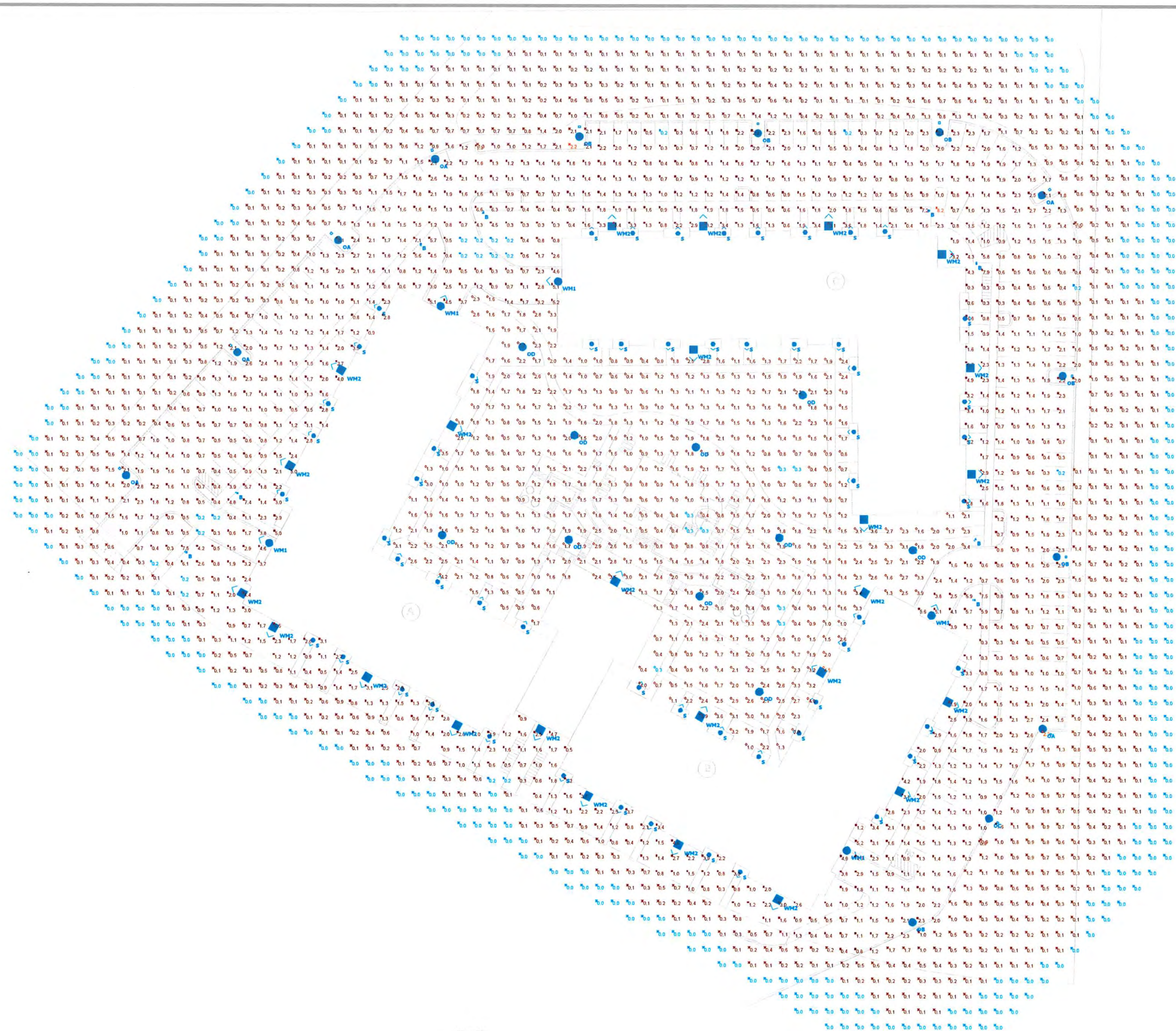
PROJECT LOCATION:  
3601 CROSS HILL DR.  
MADISON, WI 53718

JSD PROJECT NO.: 17-7751  
SEAL/SIGNATURE:  
DATE: 03-22-17  
DRAWN: TKG 03-22-17  
APPROVED: JLF 04-18-17  
PLAN MODIFICATIONS: DATE: 04-19-17  
Landscape/UDC Submittal  
Landscape/UDC Resubmittal 06-07-07

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggerHotline.com

SHEET TITLE:  
**LANDSCAPE DETAILS & SPECIFICATIONS**

SHEET NUMBER:  
**L200**



Plan View  
Scale - 1" = 35ft

Symbol	Label	Quantity	Catalog Number
○	OA	6	HR1 40K HVOLT
○	OB	6	HR1 40K HVOLT
○	OC	1	HR1 40K HVOLT
⊙	OD	10	HRP 40K HVOLT
○	WM1	5	HR1 40K HVOLT
□	WM2	25	WSQ 40K HVOLT
△	S	57	OLCFH
○	B	8	DSXB LED

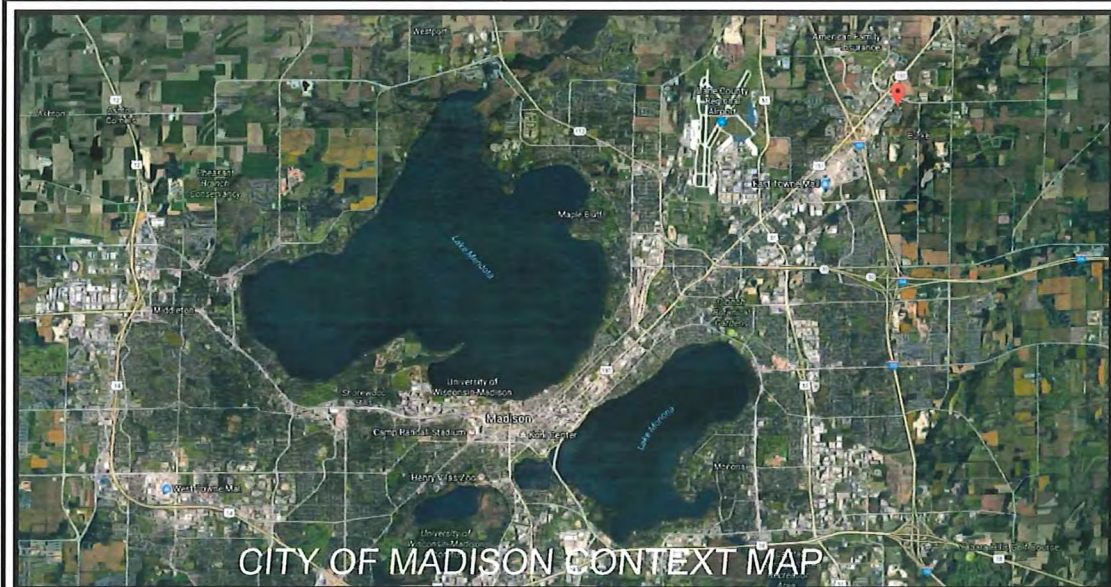
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COURTYARD	○	1.6 fc	4.5 fc	0.3 fc	15.0:1	5.3:1
OUT OF PERIMETER	✕	0.3 fc	2.2 fc	0.0 fc	N/A	N/A
PARKING LOT	■	1.6 fc	8.2 fc	0.2 fc	41.0:1	8.0:1



CROSS HILLS  
EXTERIOR

Designer  
TJ  
Date  
4/17/2017  
Scale  
Not to Scale  
Drawing No.  
Summary





CITY OF MADISON CONTEXT MAP



SITE SPECIFIC

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 KENOSHA | APPLETON | WAUSAU  
 www.jsdinc.com

SERVICES PROVIDED TO:  
**LANCASTER PROPERTIES, INC.**

2906 MARKETPLACE DR. STE. A  
 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

PROJECT LOCATION:  
 3601 CROSS HILL DR.  
 MADISON, WI 53718

JSD PROJECT NO.: 17-7751

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	4-1-17
DRAWN:	TKG	4-1-17
APPROVED:	MAS	4-7-17

PLAN MODIFICATIONS:	DATE:
Landuse/UDC Submittal	04-19-17



Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1151  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggeraHotline.com

SHEET TITLE:  
**LOCATION MAP**

SHEET NUMBER:  
**EX. A**

File: I:\2017\177751\DWG\17-7751\_Site Plan.dwg Layout: Location Map User: tguahin Plotted: Apr 18, 2017 - 5:05pm Xref's:



IMAGE 1: CROSSHILL DRIVE FACING NORTH



IMAGE 2: CONSTRUCTION ENTRANCE



IMAGE 3: EXCESS SOIL DEPOSIT



IMAGE 4: GRADE EXAMPLE



IMAGE 5: CROSSHILL DRIVE FACING NORTHEAST



IMAGE 6: DETENTION POND EDGE



IMAGE 7: DETENTION POND EAST OF SITE



IMAGE 8: UTILITIES ADJACENT TO SITE



IMAGE 9: EXISTING FIRE HYDRANT

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 MADISON, WI 53719

PROJECT:  
**APARTMENTS AT CROSS HILL DRIVE**

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SEAL/SIGNATURE:

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DESIGN:	TKG	4-1-17
DRAWN:	TKG	4-1-17
APPROVED:	MAS	4-7-17

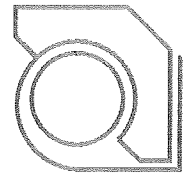
PLAN MODIFICATIONS:	DATE:
Landscape/UDC Submittal	04-15-17

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 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

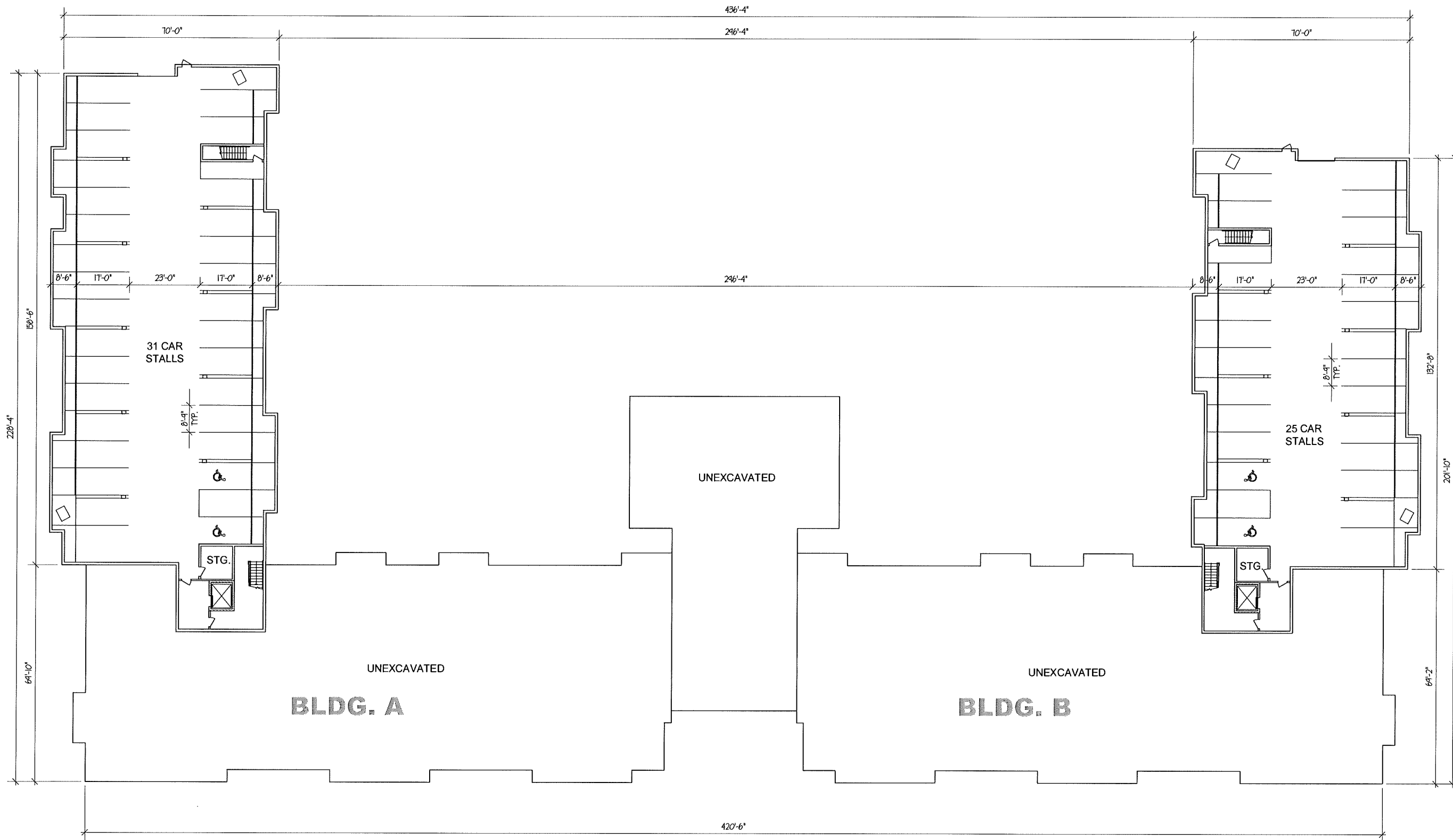
SHEET TITLE:  
**CONTEXT IMAGES**

SHEET NUMBER:  
**EX. B**

File: L:\2017\272751\DWG\Site\Plan.dwg Layout: Context Photos User: gparish PlotDate: Apr 18, 2017 4:58pm Inset:



**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



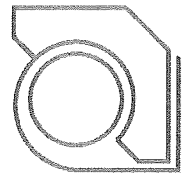
**PROJECT:**  
**CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:**  
**LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

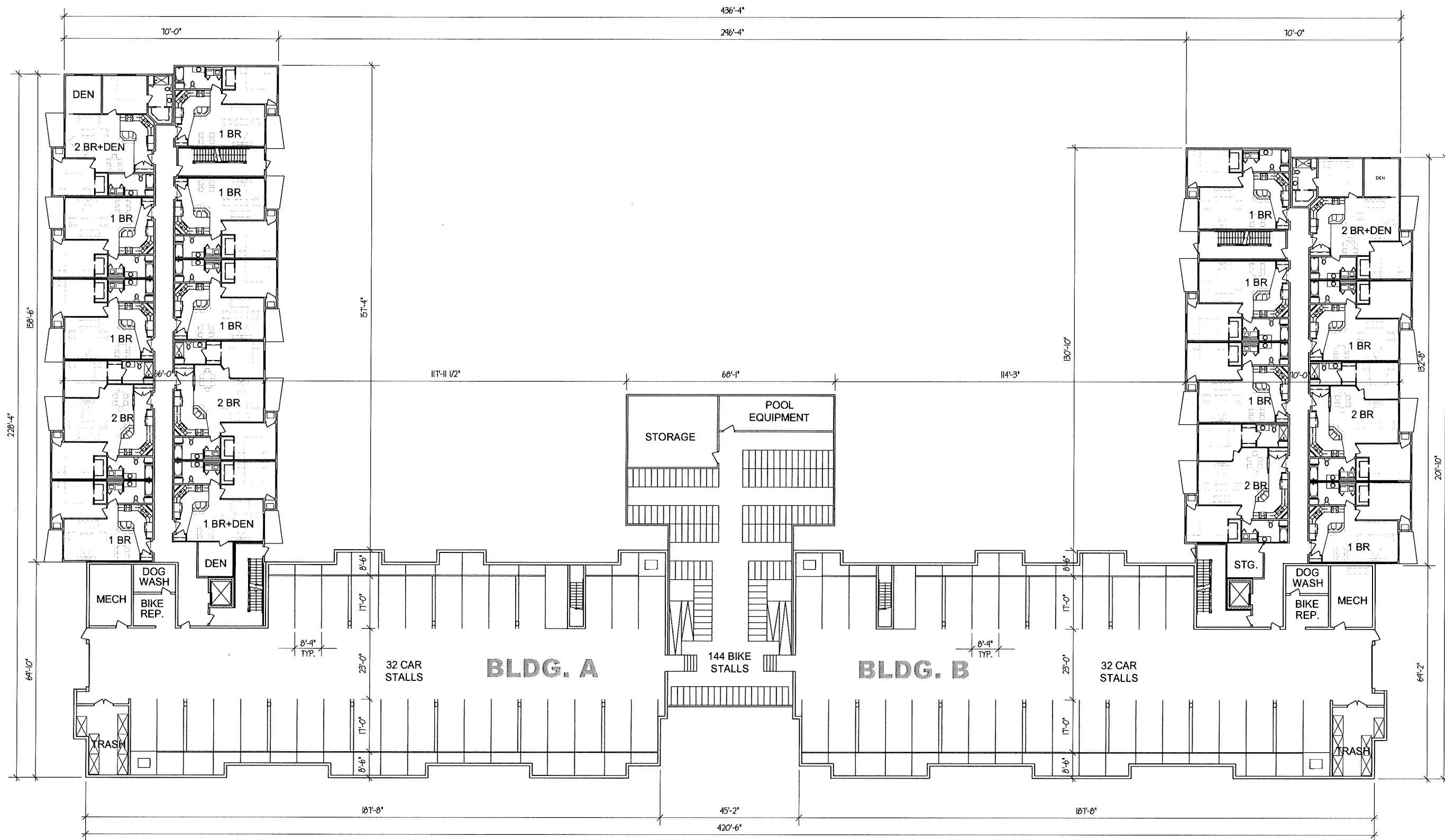
**LL UNDERGROUND PARKING - BLDG. A & B**

1/16" = 1'-0" (22x34)    16'    32'    48'    64'  
 1/32" = 1'-0" (11x17)    32'    64'    96'    128'





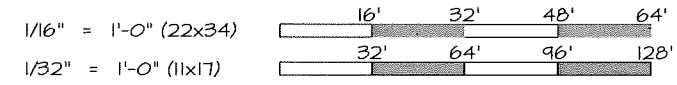
**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



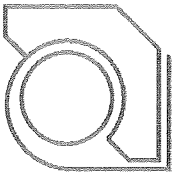
**PROJECT:** CROSS HILL APARTMENTS  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

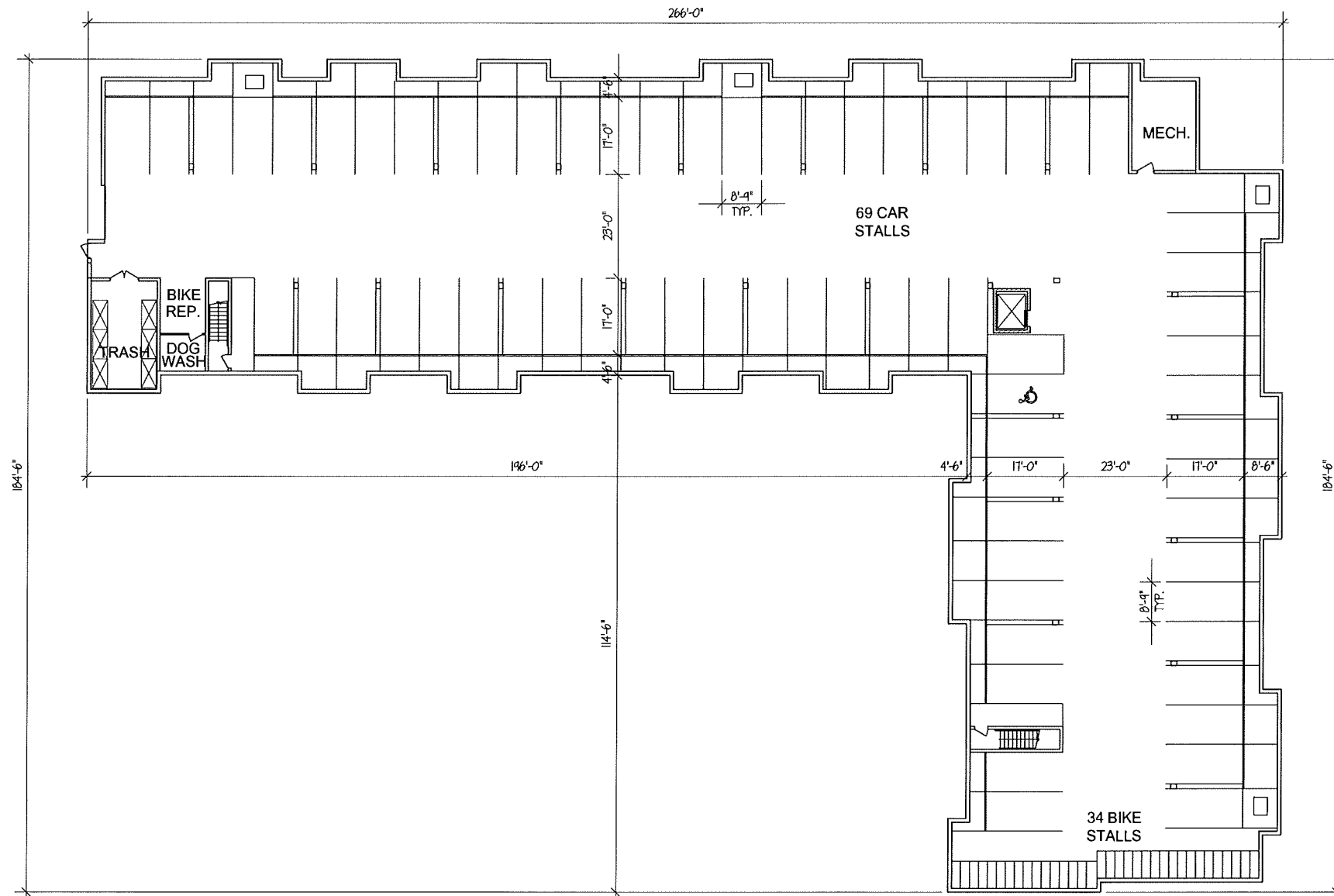
**UL UNDERGROUND PARKING - BLDG. A & B**



**A-0.2(A&B)**



**ULIAN KISSIOV**  
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 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



**PROJECT:**  
**CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:**  
**LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

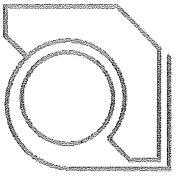
**UNDERGROUND PARKING - BLDG. C**

1/16" = 1'-0" (22x34)    16'    32'    48'    64'  
 1/32" = 1'-0" (11x17)    32'    64'    96'    128'

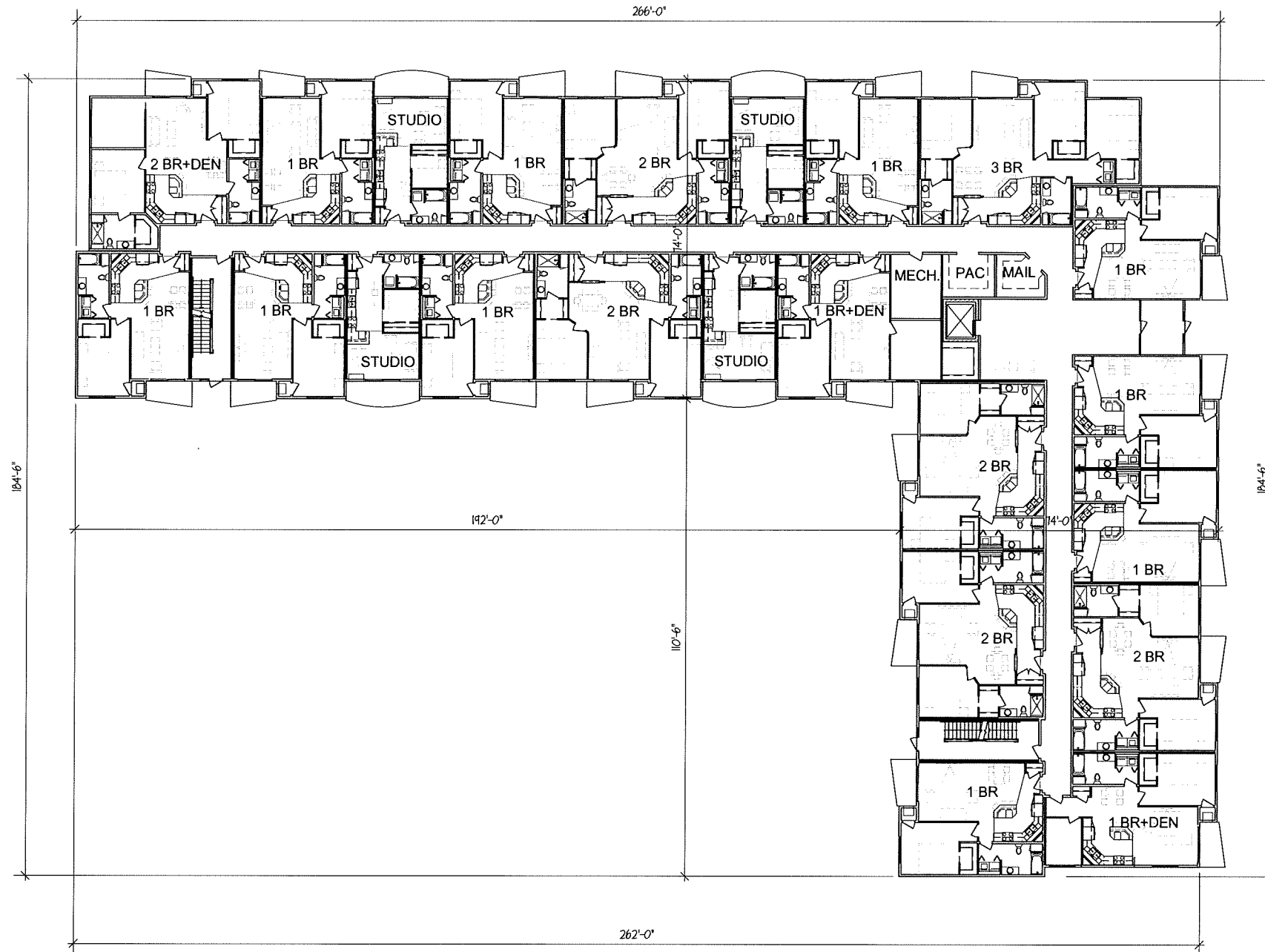


**A-0(C)**





**ULIAN KISSIOV**  
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 PHONE: 608-320-3151  
 ukissiov@gmail.com



**PROJECT:**  
**CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:**  
**LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

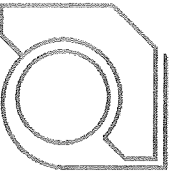
PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

**FIRST FLOOR PLAN - BLDG. C**

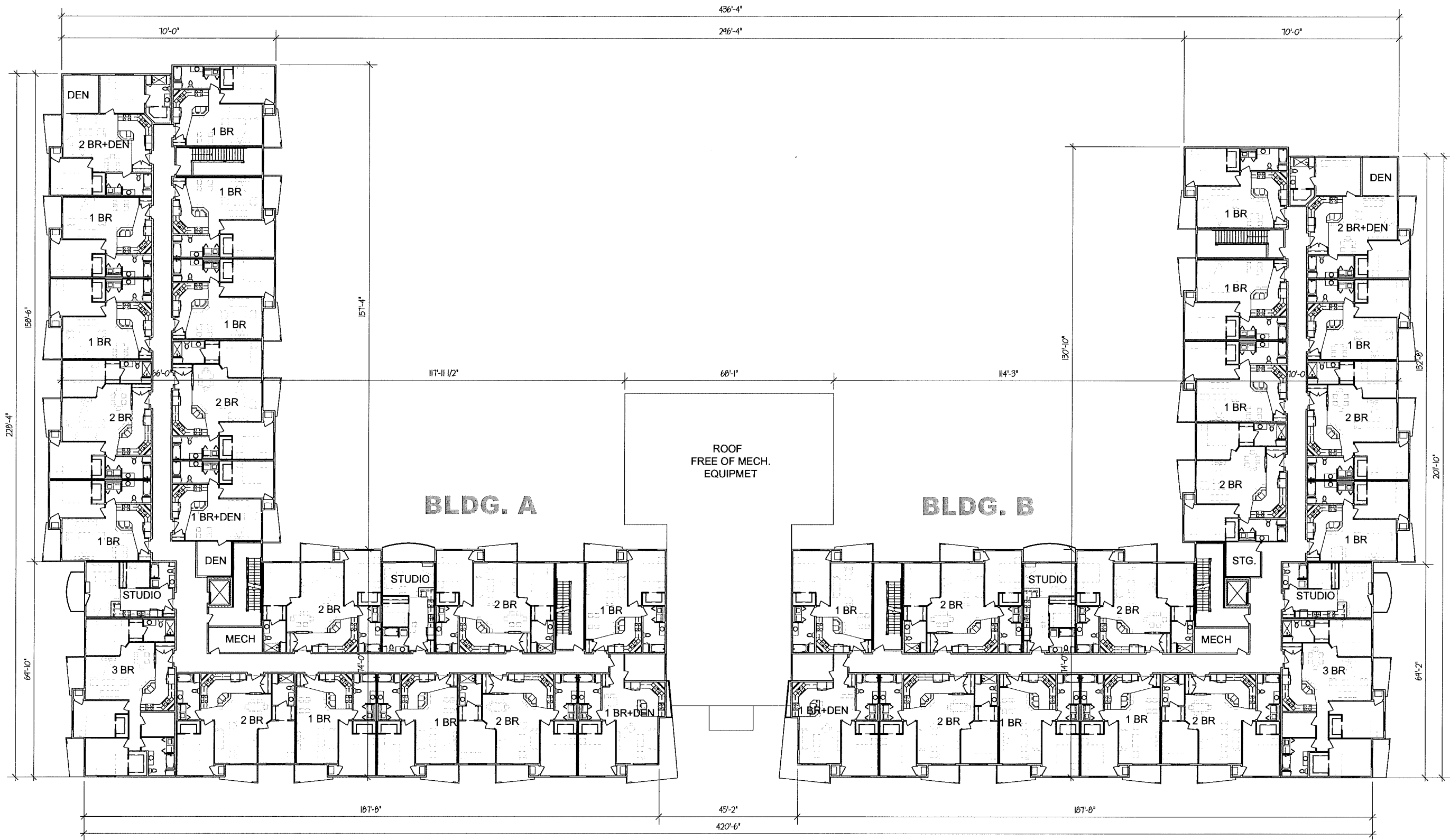
1/16" = 1'-0" (22x34)  
 1/32" = 1'-0" (11x17)

16'	32'	48'	64'
32'	64'	96'	128'





**ULIAN KISSIOV**  
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**PROJECT:**  
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**CLIENT:**  
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 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

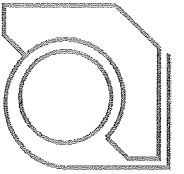
PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

**SECOND FLOOR PLAN - BLDG. A&B**

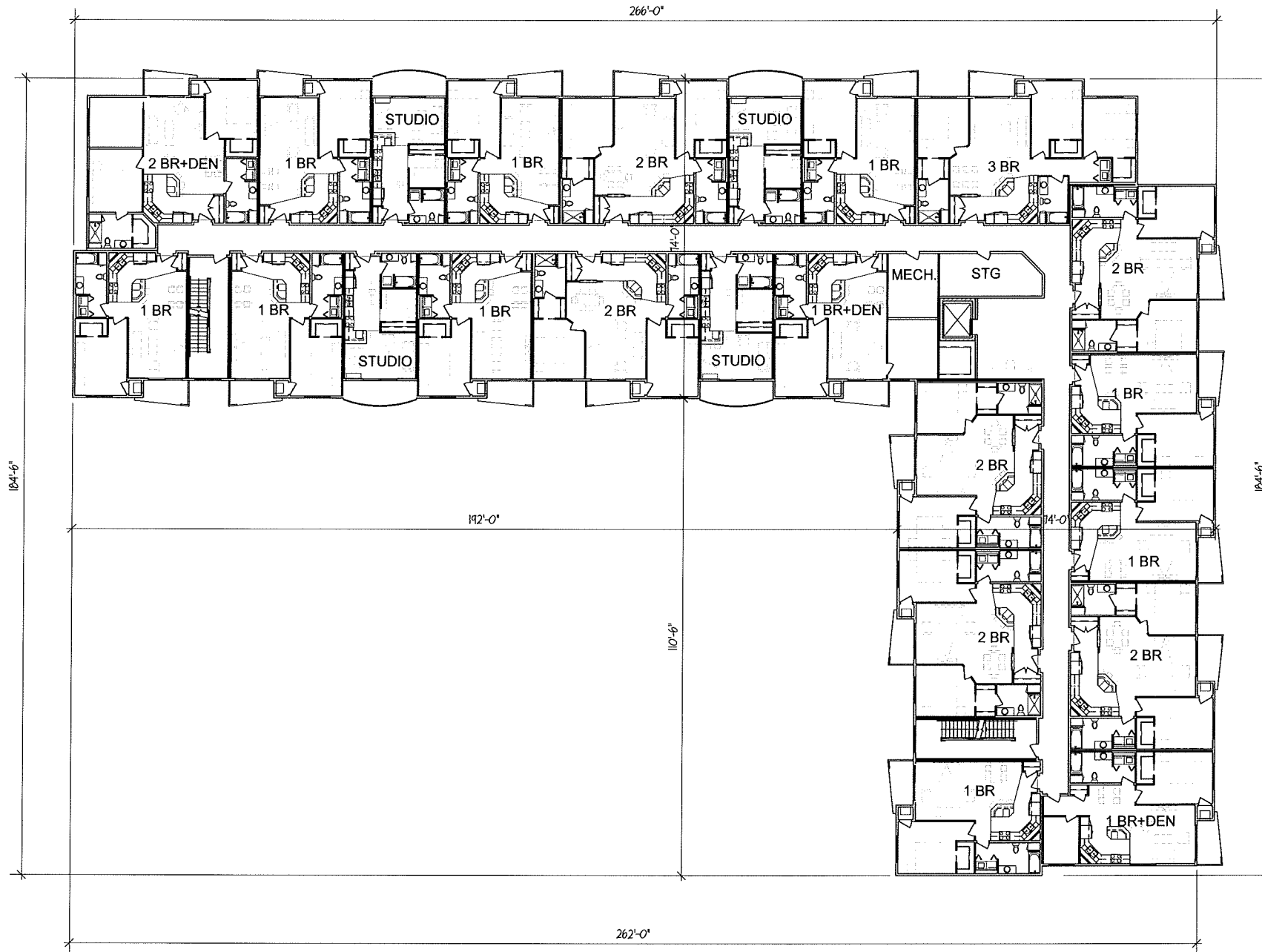
1/16" = 1'-0" (22x34)      16'   32'   48'   64'  
 1/32" = 1'-0" (11x17)      32'   64'   96'   128'

**A-2(A&B)**





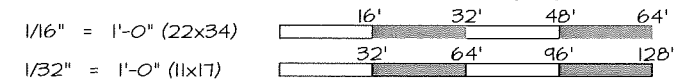
**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com

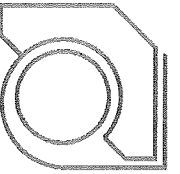


**PROJECT:**  
**CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:**  
**LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

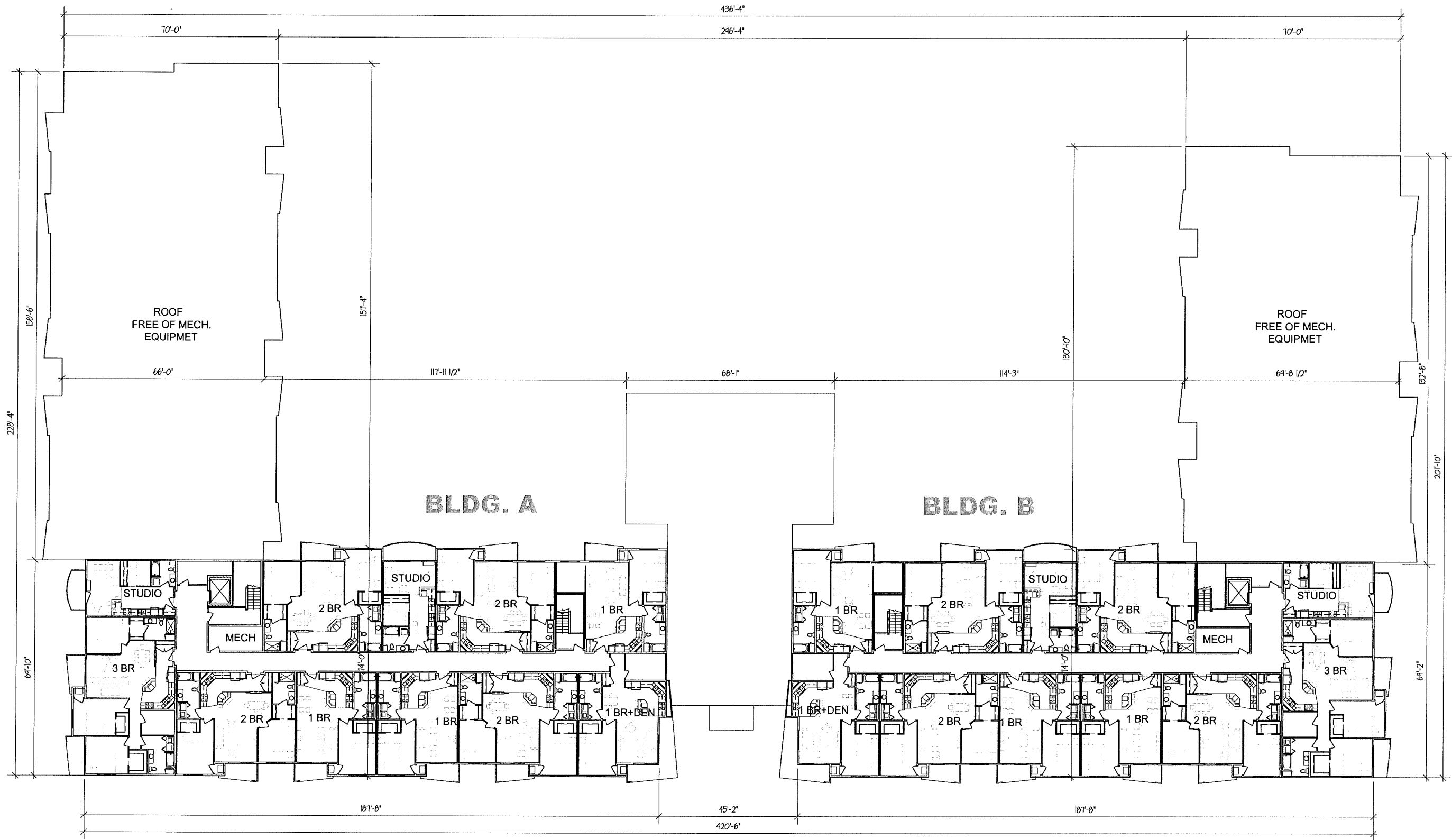
PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

**SECOND/THIRD FLOOR PLAN - BLDG. C**





**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



**PROJECT:**  
**CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:**  
**LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

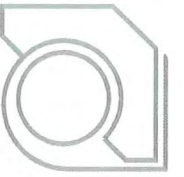
PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17

**THIRD FLOOR PLAN - BLDG. A&B**

1/16" = 1'-0" (22x34)    16'    32'    48'    64'  
 1/32" = 1'-0" (11x17)    32'    64'    96'    128'



**A-3(A&B)**



**ULIAN KISSIOV**  
ARCHITECT  
476 PRESIDENTIAL LN  
MADISON, WI 53711  
PHONE: 608-320-3151  
ukissiov@gmail.com



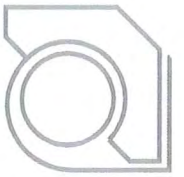
**SOUTH-WEST CORNER - BLDG. A**

**SOUTH-EAST CORNER - BLDG. A**



**PROJECT:** CROSS HILL APARTMENTS  
3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
CAD FILE:  
DRAWN BY: U.K.  
DATE: 04/18/17



**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



+38'-6" TOP OF PARAPET  
 +32'-5 1/4" TR. BRG.  
 +22'-4 1/8" 3RD FLR.  
 +11'-2 1/4" 2ND FLR.  
 ±0'-0" 1ST FLR. = EXISTING GRADE

**SOUTH FACADE - BLDG. A**

**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILINGS AT DECKS: PERFORATED METAL PANELS  
 SIDING: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

- SH 1631, CITY LOFT
- SH 1613, AQUA SPHERE
- SH 9156, GRIS MORADO
- SH 7062, ROCK BOTTOM
- SH 6400, OPTIMISTIC YELLOW
- ASHBERRY VELOUR

1" = 10'-0" (22x34)   
 1" = 20'-0" (11x17)

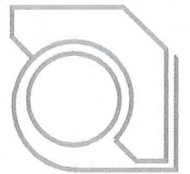


+38'-6" TOP OF PARAPET  
 +32'-5 1/4" TR. BRG.  
 +22'-4 1/8" 3RD FLR.  
 +11'-2 1/4" 2ND FLR.  
 ±0'-0" 1ST FLR.  
 -13'-0" EXISTING GRADE

**WEST FACADE - BLDG. A**

**PROJECT:** CROSS HILL APARTMENTS  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17



**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



+ 36'-0" TOP OF PARAPET  
 + 32'-5 1/4" TR. BRG.  
 + 22'-4 1/8" 3RD FLR.  
 + 11'-2 1/4" 2ND FLR.  
 ± 0'-0" 1ST FLR.  
 - 15'-0" EXISTING GRADE

**NORTH FACADE - BLDG. A**

1" = 10'-0" (22x34) 

10'	20'	30'	40'
-----	-----	-----	-----

  
 1" = 20'-0" (11x17) 

20'	40'	60'	80'
-----	-----	-----	-----

**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILING AT DECKS: PERFORATED METAL PANELS  
 SIDING: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

-  SH 1631, CITY LOFT
-  SH 1613, AQUA SPHERE
-  SH 1156, GRIS MORADO
-  SH 1062, ROCK BOTTOM
-  SH 6400, OPTIMISTIC YELLOW
-  ASHERRY VELOUR

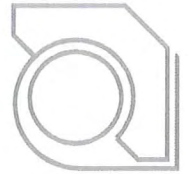


+ 25'-0" TOP OF PARAPET  
 + 21'-5 1/4" TR. BRG.  
 + 11'-2 1/4" 2ND FLR.  
 ± 0'-0" 1ST FLR.  
 - 13'-0" EXISTING GRADE

**EAST FACADE - BLDG. A**

**PROJECT: CROSS HILL APARTMENTS**  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT: LANCASTER INVESTMENTS, INC.**  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
 CAD FILE:  
 DRAWN BY: U.K.  
 DATE: 04/18/17



**ULIAN KISSIOV**  
 ARCHITECT  
 476 PRESIDENTIAL LN  
 MADISON, WI 53711  
 PHONE: 608-320-3151  
 ukissiov@gmail.com



+ 38'-6" TOP OF PARAPET  
 + 32'-5 1/4" TR. BRG.  
 + 22'-4 1/8" 3RD FLR.  
 + 11'-2 1/4" 2ND FLR.  
 ± 0'-0" 1ST FLR.  
 - 3'-0" EXISTING GRADE

**SOUTH FACADE - BLDG. B**

**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILINGS AT DECKS: PERFORATED METAL PANELS  
 SIDINGS: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

1" = 10'-0" (22x34) 

10'	20'	30'	40'
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 1" = 20'-0" (11x17) 

20'	40'	60'	80'
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-  SH 1631, CITY LOFT
-  SH 1613, AQUA SPHERE
-  SH 4156, GRIS MORADO
-  SH 1062, ROCK BOTTOM
-  SH 6400, OPTIMISTIC YELLOW
-  ASHBERRY VELOUR

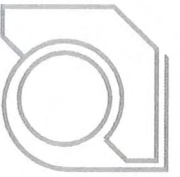


+ 38'-6" TOP OF PARAPET  
 + 32'-5 1/4" TR. BRG.  
 + 22'-4 1/8" 3RD FLR.  
 + 11'-2 1/4" 2ND FLR.  
 ± 0'-0" 1ST FLR.  
 - 12'-0" EXISTING GRADE

**EAST FACADE - BLDG. B**

**PROJECT:** CROSS HILL APARTMENTS  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
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+38'-6" TOP OF PARAPET  
 +32'-5 1/4" TR. BRG.  
 +22'-4 1/8" 3RD FLR.  
 +11'-2 1/4" 2ND FLR.  
 ±0'-0" 1ST FLR.  
 -8'-0" EXISTING GRADE

**NORTH FACADE - BLDG. B**

1" = 10'-0" (22x34)   
 1" = 20'-0" (11x17)

**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILING AT DECKS: PERFORATED METAL PANELS  
 SIDING: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

-  SH 1631, CITY LOFT
-  SH 1613, AQUA SPHERE
-  SH 4156, GRIS MORADO
-  SH 1062, ROCK BOTTOM
-  SH 6100, OPTIMISTIC YELLOW
-  ASHBERRY VELOUR



+25'-0" TOP OF PARAPET  
 +21'-5 1/4" TR. BRG.  
 +11'-2 1/4" 2ND FLR.  
 ±0'-0" 1ST FLR.  
 -9'-0" EXISTING GRADE

**WEST FACADE - BLDG. B**

**PROJECT:** CROSS HILL APARTMENTS  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

PROJECT: 2017-04  
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**SOUTH FACADE - BLDG. C**



**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILING AT DECKS: PERFORATED METAL PANELS  
 SIDING: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

- SN 1631, CITY LOFT
- SN 1613, AQUA SPHERE
- SN 9156, GRIS MORADO
- SN 1062, ROCK BOTTOM
- SN 9036, RETRO MINT
- ASHERRY VELOUR

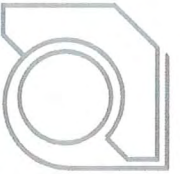


**EAST FACADE - BLDG. C**

**PROJECT:** CROSS HILL APARTMENTS  
 3601 CROSS HILL DR, MADISON, WI  
**CLIENT:** LANCASTER INVESTMENTS, INC.  
 2906 MARKETPLACE DRIVE, STE. A, MADISON, WI 53719

**PROJECT:** 2017-04  
**CAD FILE:**  
**DRAWN BY:** U.K.  
**DATE:** 04/18/17





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 PHONE: 608-320-3151  
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**MATERIALS & COLORS**

WINDOWS: VINYL, COLOR GREY  
 RAILING AT DECKS: PERFORATED METAL PANELS  
 SIDING: LP "SMARTSIDE"  
 BRICK VENEER: DOUBLE MONARCH, STACK BOND

- SH 1631, CITY LOFT
- SH 1613, AQUA SPHERE
- SH 4156, GRIS MORADO
- SH 1062, ROCK BOTTOM
- SH 4036, RETRO MINT
- ASHBERRY VELOUR



**PROJECT:** CROSS HILL APARTMENTS  
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