



Location
221 South Midvale Boulevard

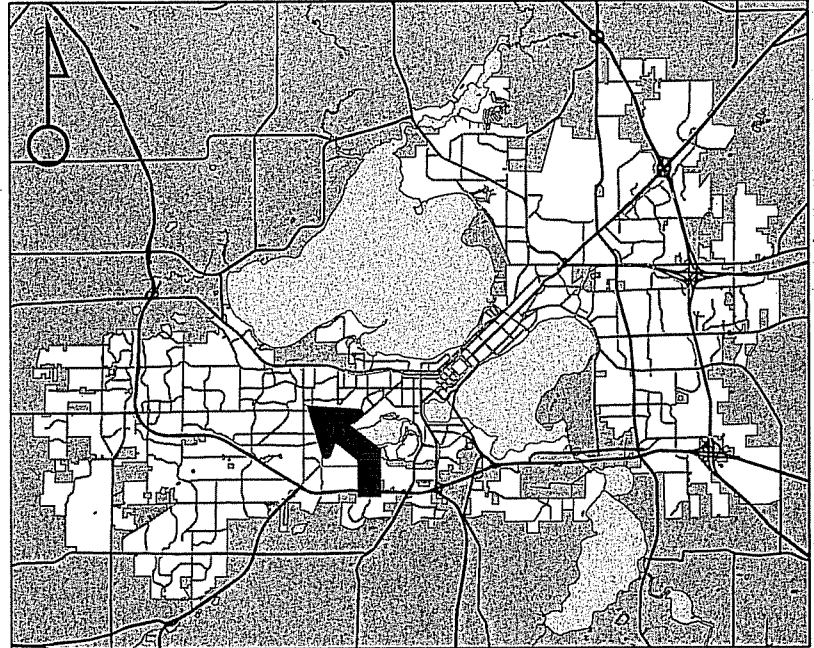
Project Name
Vincent ADU

Applicant
Jim & Carole Vincent/
Jim Vincent

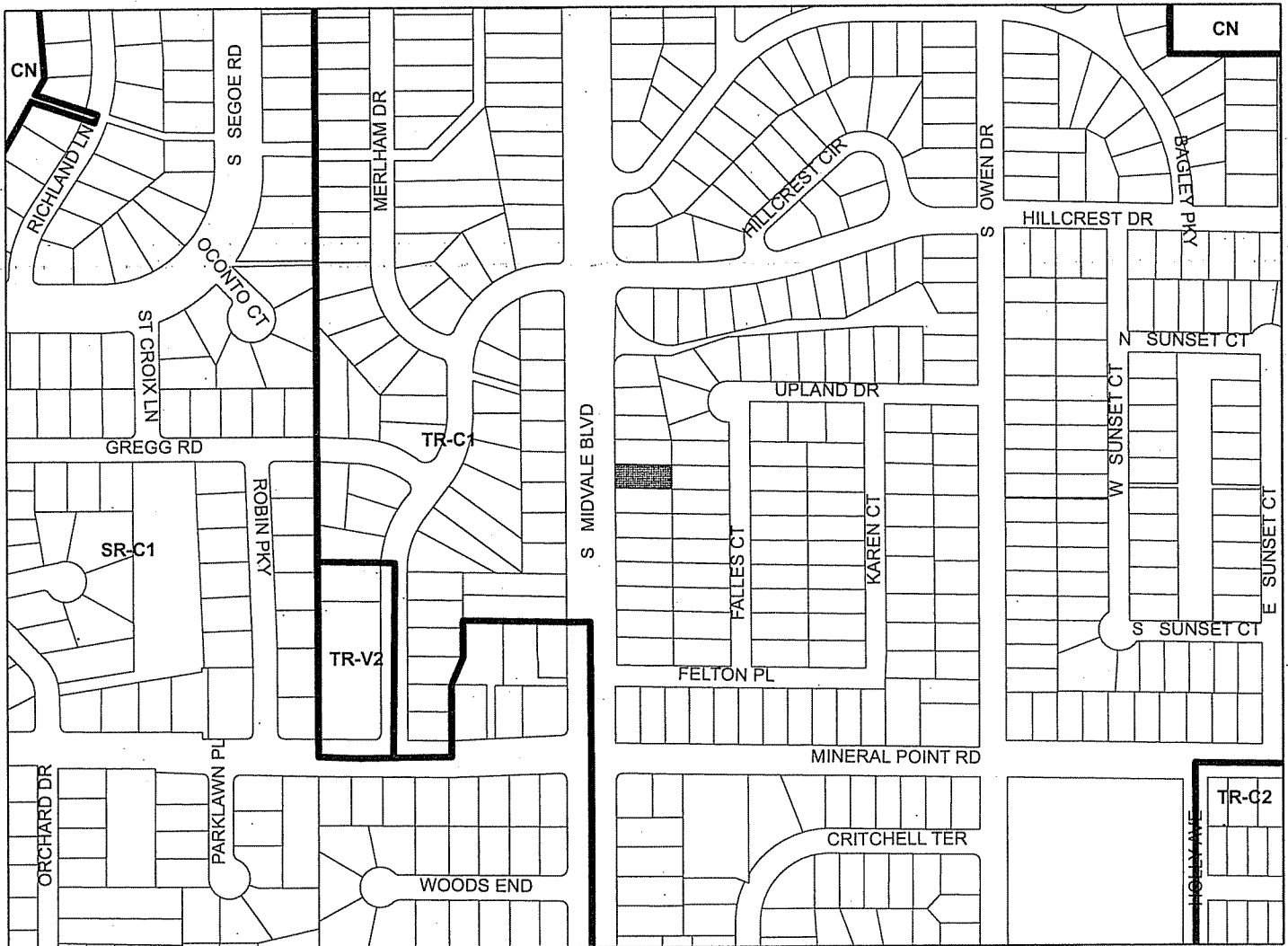
Existing Use
Single-family residence

Proposed Use
Construct detached accessory
dwelling unit

Public Hearing Date
Plan Commission
09 June 2014



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 26 May 2014





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid 600 Receipt No. 153365
 Date Received 4/23/14
 Received By JLK
 Parcel No. 0709-204-1405-3
 Aldermanic District 11 - Chris Schmidt
 Zoning District TR-C1
 Special Requirements 01
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 221 S. MIDVALE BLVD.
Project Title (if any): _____

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JIM & CAROLE VINCENT Company: _____
 Street Address: 221 S. MIDVALE City/State: MADISON WI Zip: 53705
 Telephone: 608 237 4635 Fax: () Email: bigbiggo@charter.net
 Project Contact Person: Jim Vincent Company: _____
 Street Address: 221 S. MIDVALE City/State: MADISON WI Zip: 53705
 Telephone: () Fax: () Email: _____
 Property Owner (if not applicant): SAME
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: A-D-U

Development Schedule: Commencement _____ Completion _____

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 4/7/14 Zoning Staff: Pat Anders Date: 4/7/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant _____ Relationship to Property: _____
Authorizing Signature of Property Owner [Signature] Date 4/22/14

April 21, 2014

Chair
City of Madison Planning Commission
Madison Municipal Building
210 Martin Luther King Blvd.
Madison, WI

Dear Planning Commission Chair and Members:

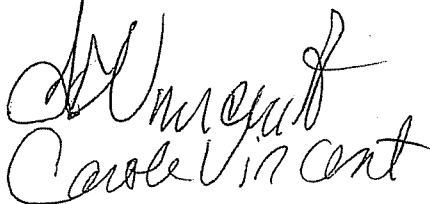
We are pleased to present for your consideration a proposed accessory dwelling unit at the property we own at 221 South Midvale Boulevard. Construction would commence immediately at or upon approval by the common council and be completed on or before October 15, 2014.

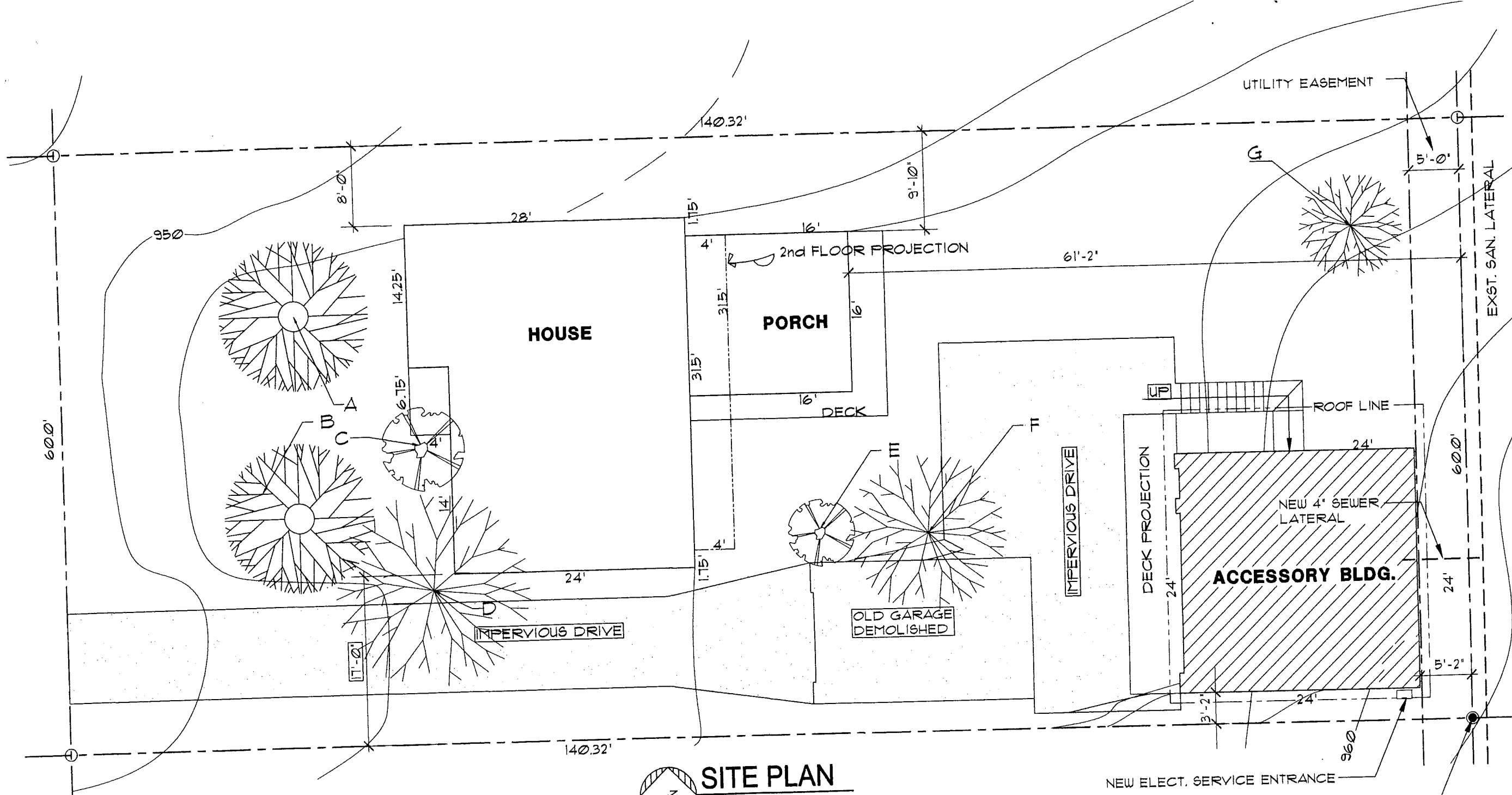
The project is designed and engineered by myself, Jim Vincent, and Richard Severn of Severn Engineering. The unit will have 689.5 square feet of living space with 532 square feet of garage (two car) below. The total lot size is 8418 square feet with 1731 square feet of building foot print and 1767 square feet of driveway and turn-around. The balance would be usable open space. We have set a budget of Seventy thousand dollars to finish this and will be contracting the work ourselves.

This project takes advantage of recent changes in the Zoning Code which will allow us to provide a small residence for one or both of our children at our home in exchange for maintenance and other duties we require.

Thank you for your consideration,

Jim and Carole Vincent

A handwritten signature in cursive script, appearing to read "Carole Vincent". The signature is written in dark ink and is positioned below the typed name "Carole Vincent".



221 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 213-1665
bigliogocharter.net

Designed by
Jim Vincent

ACCESSORY DWELLING UNIT
VINCENT RESIDENCE
221 S. MIDVALE BLVD.
MADISON • WISCONSIN

DRAFTED BY: JV
CHECKED BY: JV
DRAWING STATUS: PRELIMINARY
PROGRESS: REVIEW
FINAL: <input checked="" type="checkbox"/>
REVISION NO. - DATE: / /

DATE: MAR 16, '14
PROJ. NO: 1421
SHEET NUMBER

C-1

SITE INFORMATION BLOCK	
ZONING CLASS	TR-C1
LOT SIZE	8418 SQ FT
IMPERVIOUS	3682 SQ FT
PERVIOUS	4736 SQ FT
BUILDING CLASS	WOOD FRAME
TOTAL LIVING AREA BUILDING 1	1696 SQ FT
TOTAL LIVING AREA BUILDING 2	700 SQ FT

SITE PLAN
SCALE: 1" = 10'-0"

TREE SCHEDULE		
NO.	SIZE	SPECIES
A	12"	SPRUCE
B	11"	SPRUCE
C	6"	CEDAR
D	18"	DUTCH ELM
E	5"	CEDAR
F	10"	ASH
G	3"	PEAR

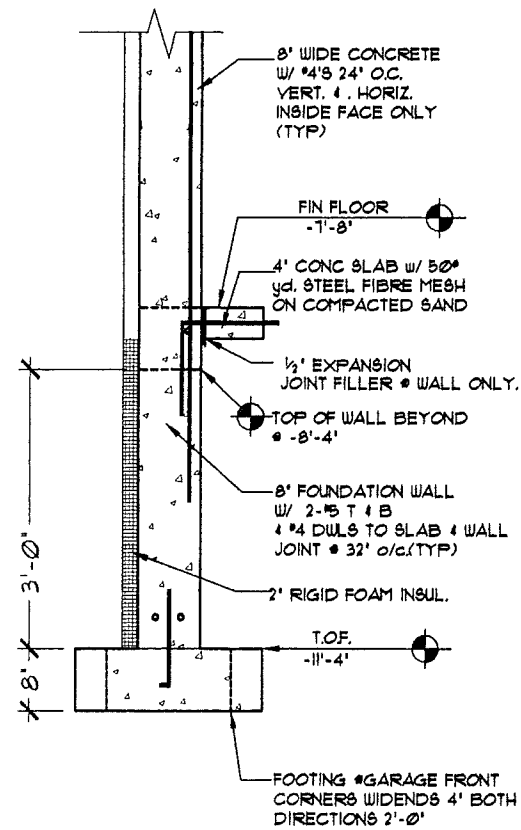
DRAWING INDEX	
NO.	DRAWING
C-1	SITE PLAN
A-1	FOUNDATION PLAN
A-2	GARAGE PLAN
A-3	FLOOR PLANS
A-4	ELEVATIONS, STAIR SECTION
A-5	ELEVATIONS
A-6	SECTIONS DETAILS

CONCRETE SPECIFICATION

- CONCRETE SHALL BE MIXED USING TYPE I PORTLAND CEMENT AND APPROPRIATE CLEAN AGGREGATE WITH POTABLE WATER TO PROVIDE A WORKABLE MIX DESIGNED TO ACHIEVE THE FOLLOWING 28 DAY STRENGTHS:

USE	28 DAY STRENGTH	MIN CEMENT	SLUMP (IN.)	MAX. AGG. (IN.)
FOOTINGS	4000 PSI	5.25 Bag	5"	1 1/2"
WALLS & PIERS	5000 PSI	5.25 Bag	3"	3/4"
1st FLOOR SLAB	4000 PSI	5.25 Bag	3"	3/4"

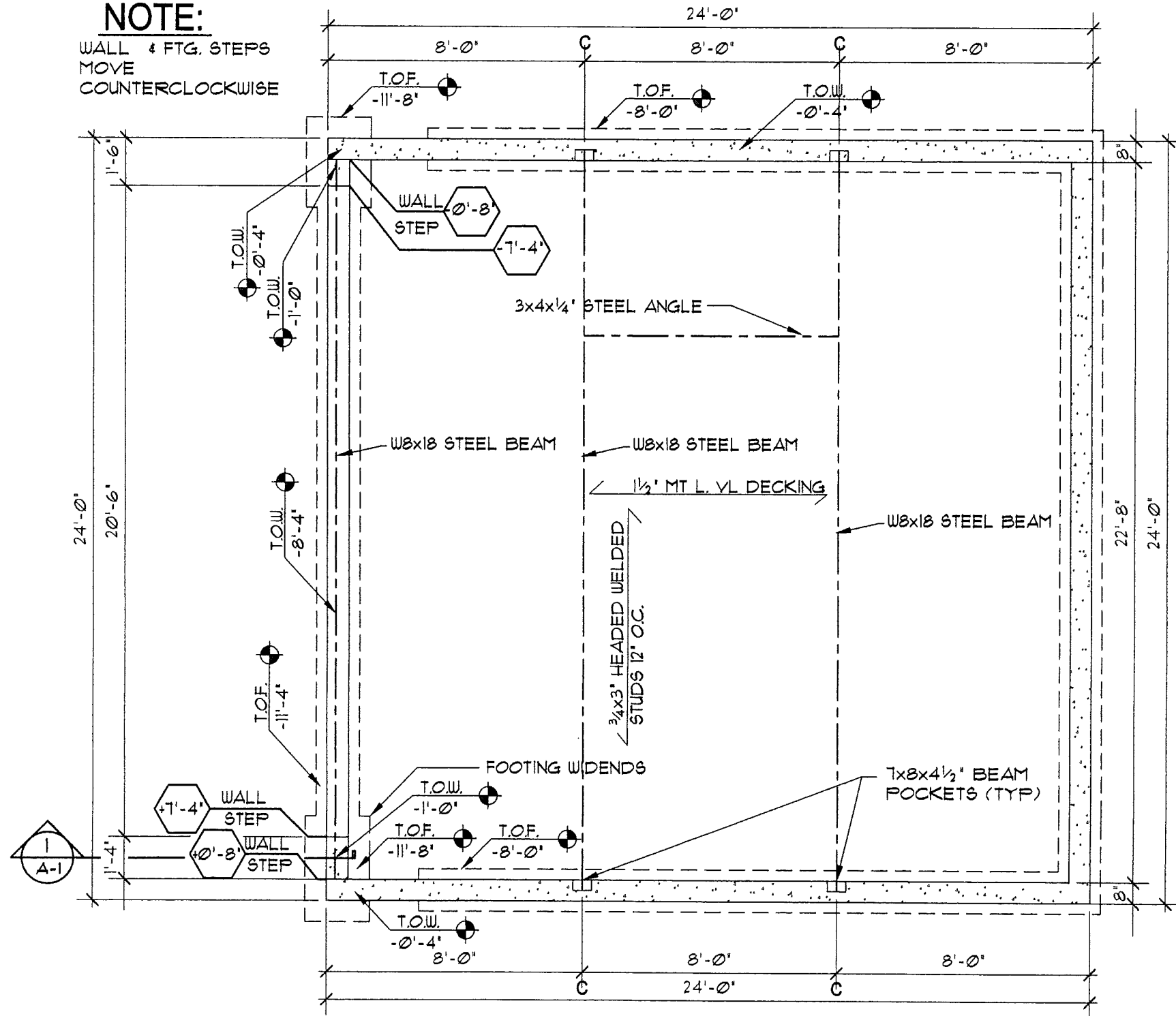
NO CALCIUM CHLORIDE SHALL BE USED!
- DELIVERY TICKETS FOR EACH LOAD OF CONCRETE DELIVERED TO THE JOB SITE SHALL BE FURNISHED UPON REQUEST OF THE ENGINEER. TICKET INFORMATION SHALL INCLUDE ALL PERTINENT INFORMATION, INCLUDING THE AMOUNT OF WATER ADDED AT THE JOB SITE, IF ANY.
- FLOOR SLABS TO RECEIVE A STEEL TRIQUEL FINISH AND ONE COAT OF CURING COMPOUND.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615:
 - #4 and larger - GRADE 60
 - #3 ties - GRADE 40
- NOTIFY ENGINEER OF ANY UNUSUAL SOIL AND/OR SUBSURFACE CONDITIONS ENCOUNTERED. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING PRESSURE OF 3000 PSF BASED ON THE SOIL BORINGS.
- CONCRETE REINFORCING PROTECTION COVER:
 - FOOTINGS: BOTTOM AND SIDES = 3"
 - WALLS: TOP AND SIDES = 2"



SECTION 1

SCALE: 1/2" = 1'-0"

NOTE:
WALL & FTG. STEPS
MOVE
COUNTERCLOCKWISE



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

METAL LIST

- 1-W8x18 x 22'-7"
- 2-W8x18 x 23'-4"
- 1-3x4 x 1/4" ANGLE COPED
4" BACK ON 3" LEG
RIGHT SIDE
- 576# VL DECKING x 8'-0"
- 66- 3/4"x3" HEADED WELDED STUDS

FOUNDATION PLAN

VINCENT RESIDENCE
221 S. MIDVALE BLVD.
MADISON • WISCONSIN

DRAFTED BY JV
CHECKED BY JV
DRAWING STATUS
PRELIMINARY
PROGRESS
REVIEW
FINAL
REVISION NO.-DATE:

DATE: APR 6, 14

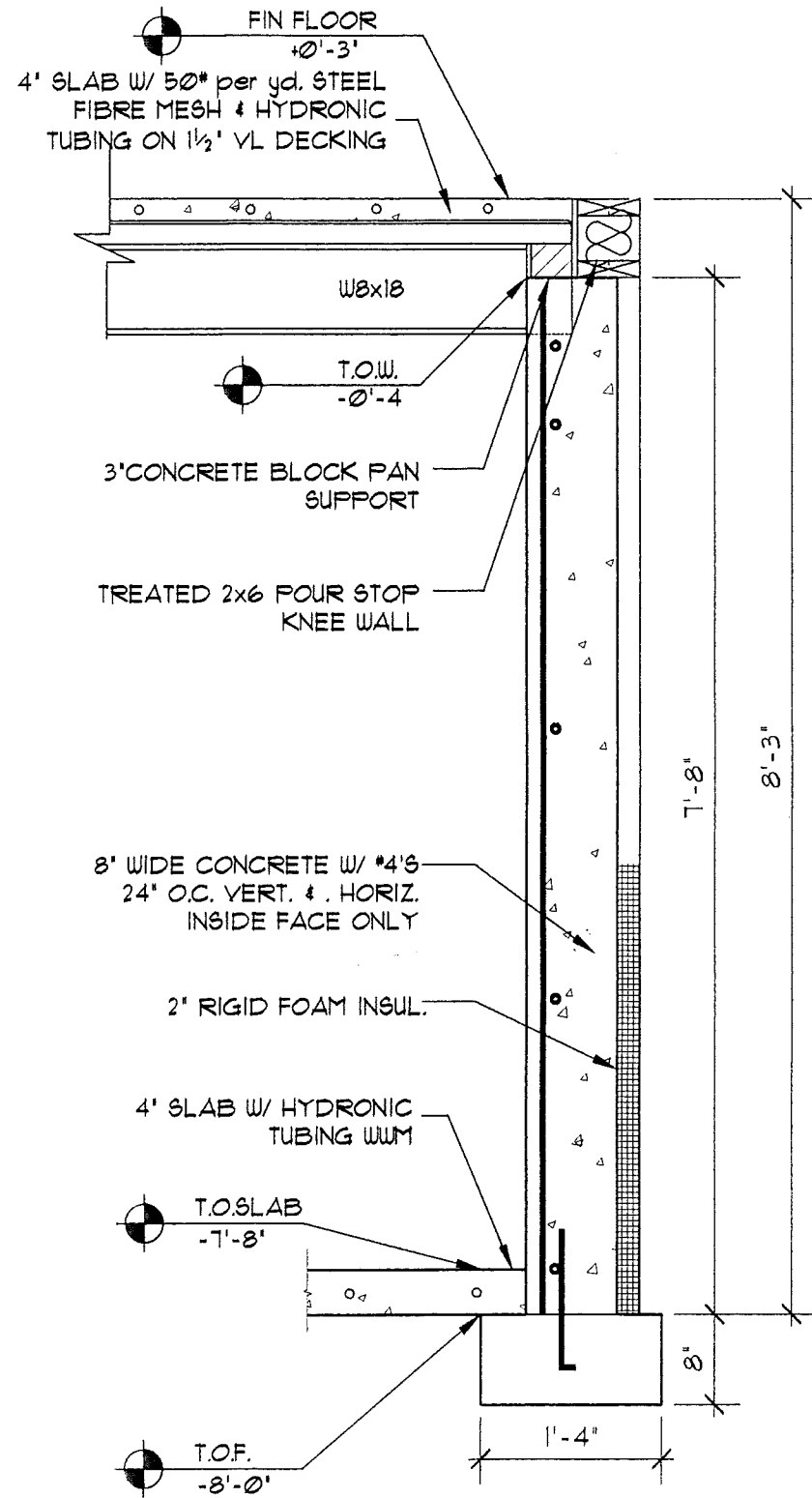
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SHEET NUMBER

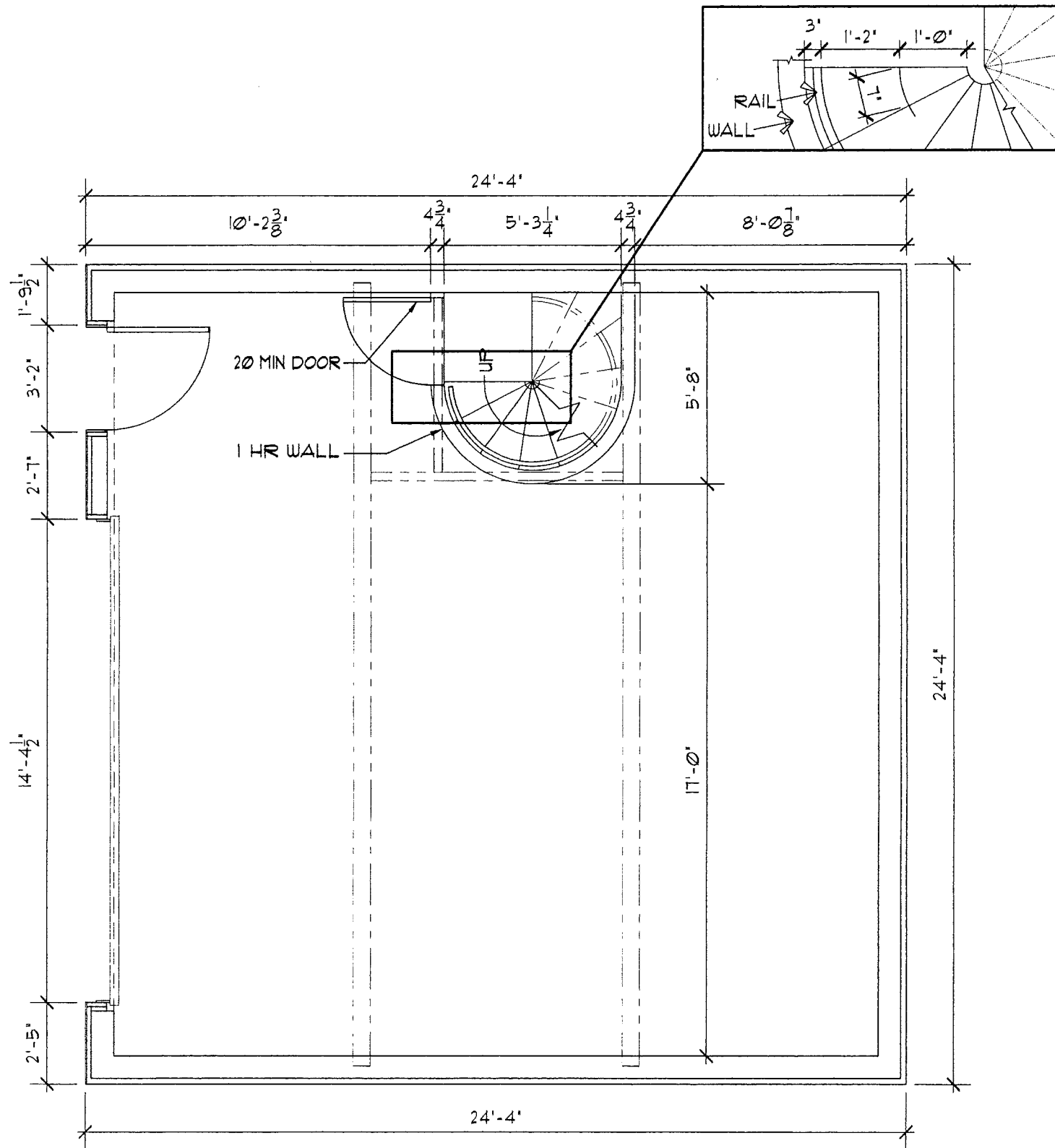
A-1

221 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 213-1665
biglillogo@charter.net

Designed by
Jim Vincent



SECTION 1
SCALE: ¾" = 1'-0"



GARAGE PLAN

SCALE: ¼" = 1'-0"

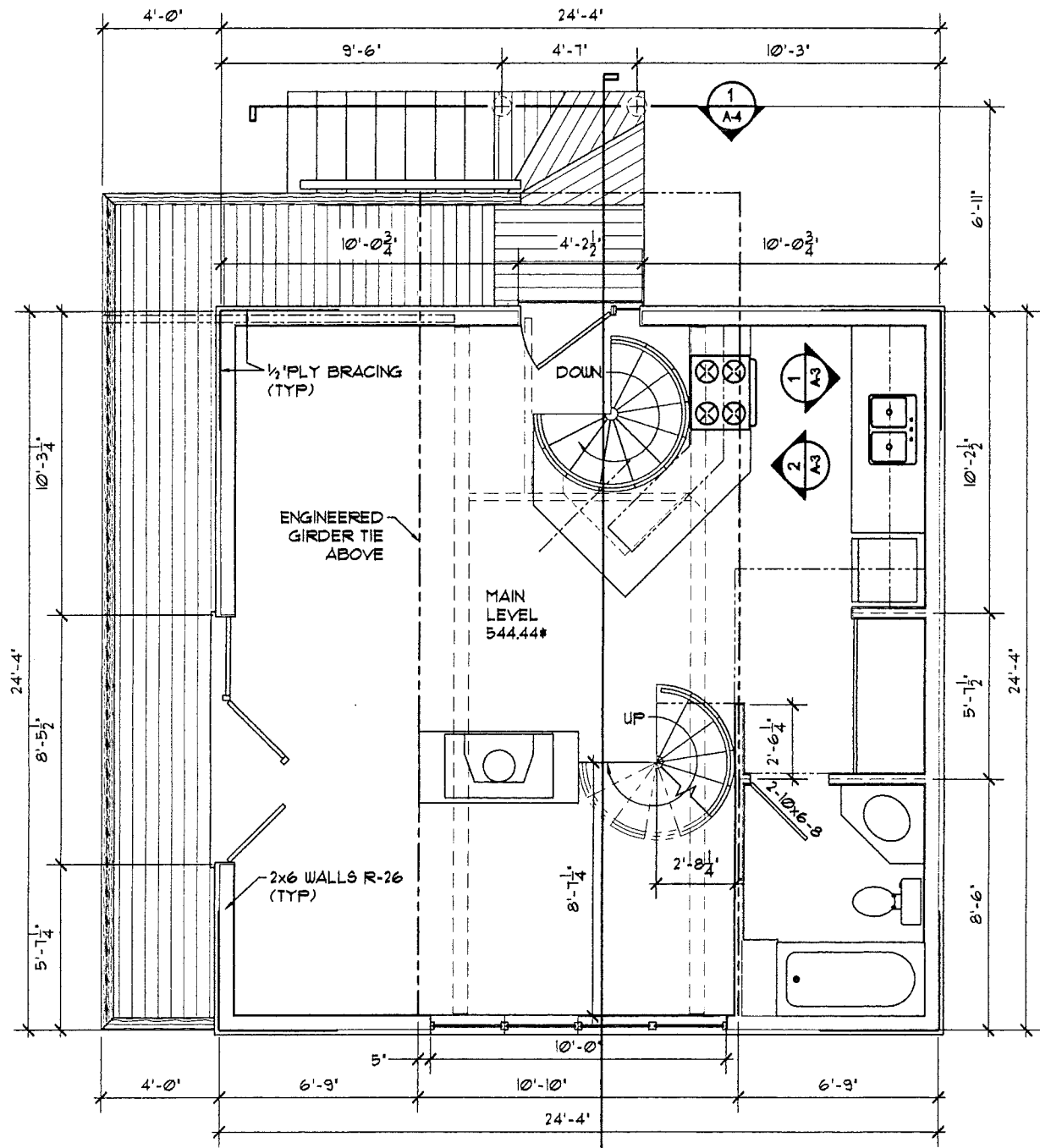
221 SOUTH MIDVALE BLVD.
 MADISON, WI 53705
 (608) 213-1665
 biglogocharacter.net
 Designed by
Jim Vincent

GARAGE PLAN
ACCESSORY DWELLING UNIT
 VINCENT RESIDENCE
 221 S. MIDVALE BLVD.
 MADISON • WISCONSIN

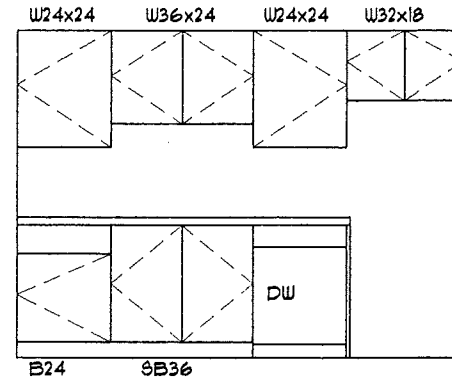
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CHECKED BY JV	
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PRELIMINARY	
PROGRESS	
REVIEW	
FINAL	
REVISION NO. - DATE:	

DATE: APR 6, '14
 PROJ. NO: 14012
 SHEET NUMBER

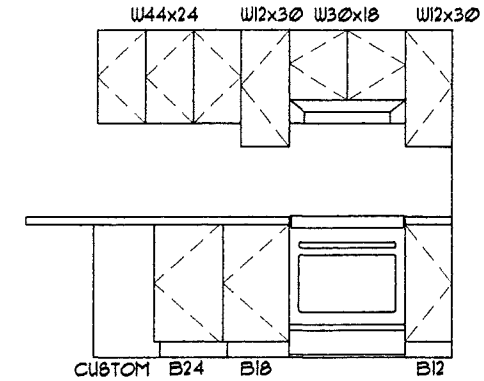
A-2



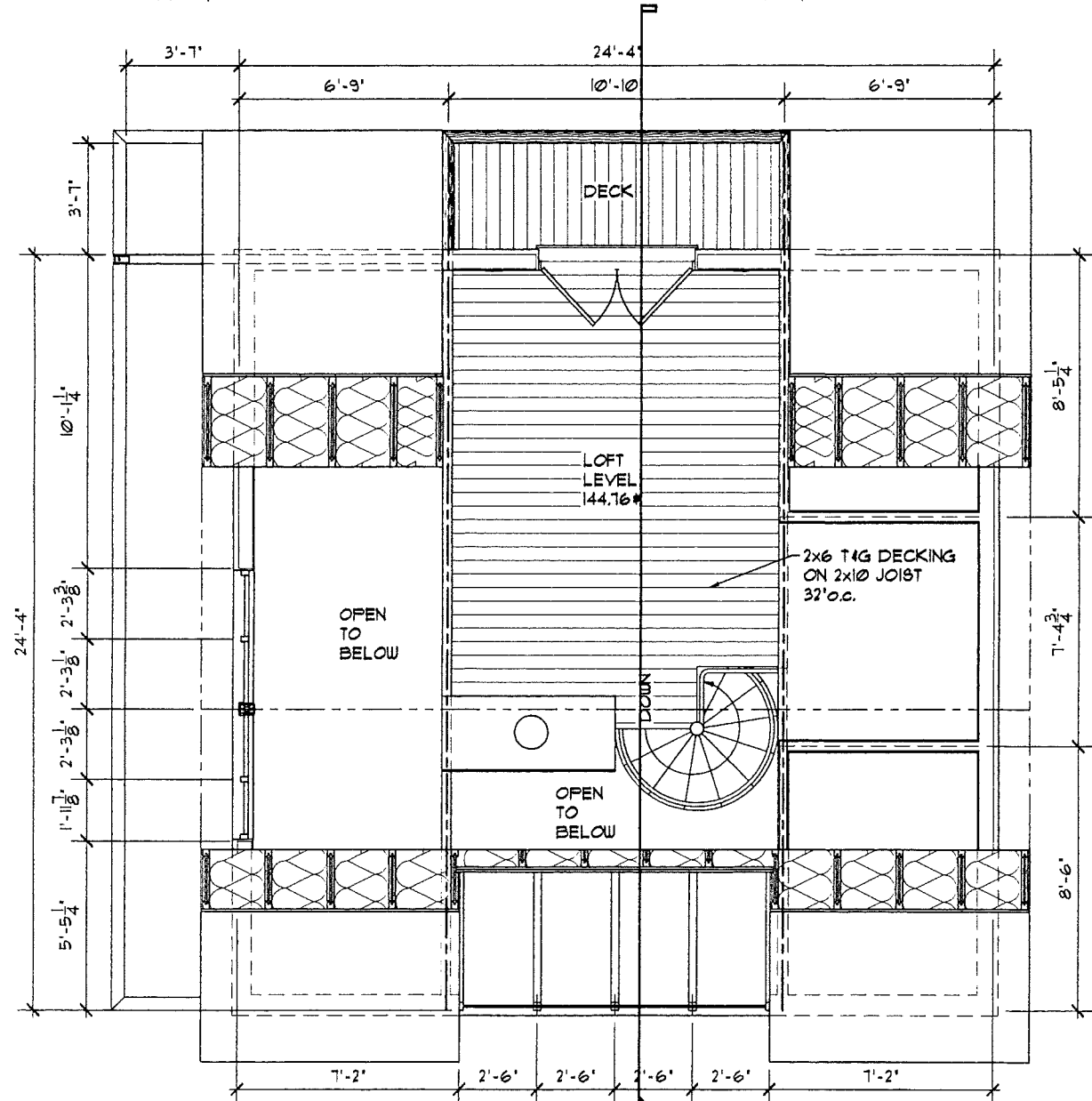
FLOOR PLAN
SCALE: 3/16" = 1'-0"



CABINET EL.-2
SCALE: 1/4" = 1'-0"



CABINET EL.-1
SCALE: 1/4" = 1'-0"



LOFT PLAN
SCALE: 3/16" = 1'-0"

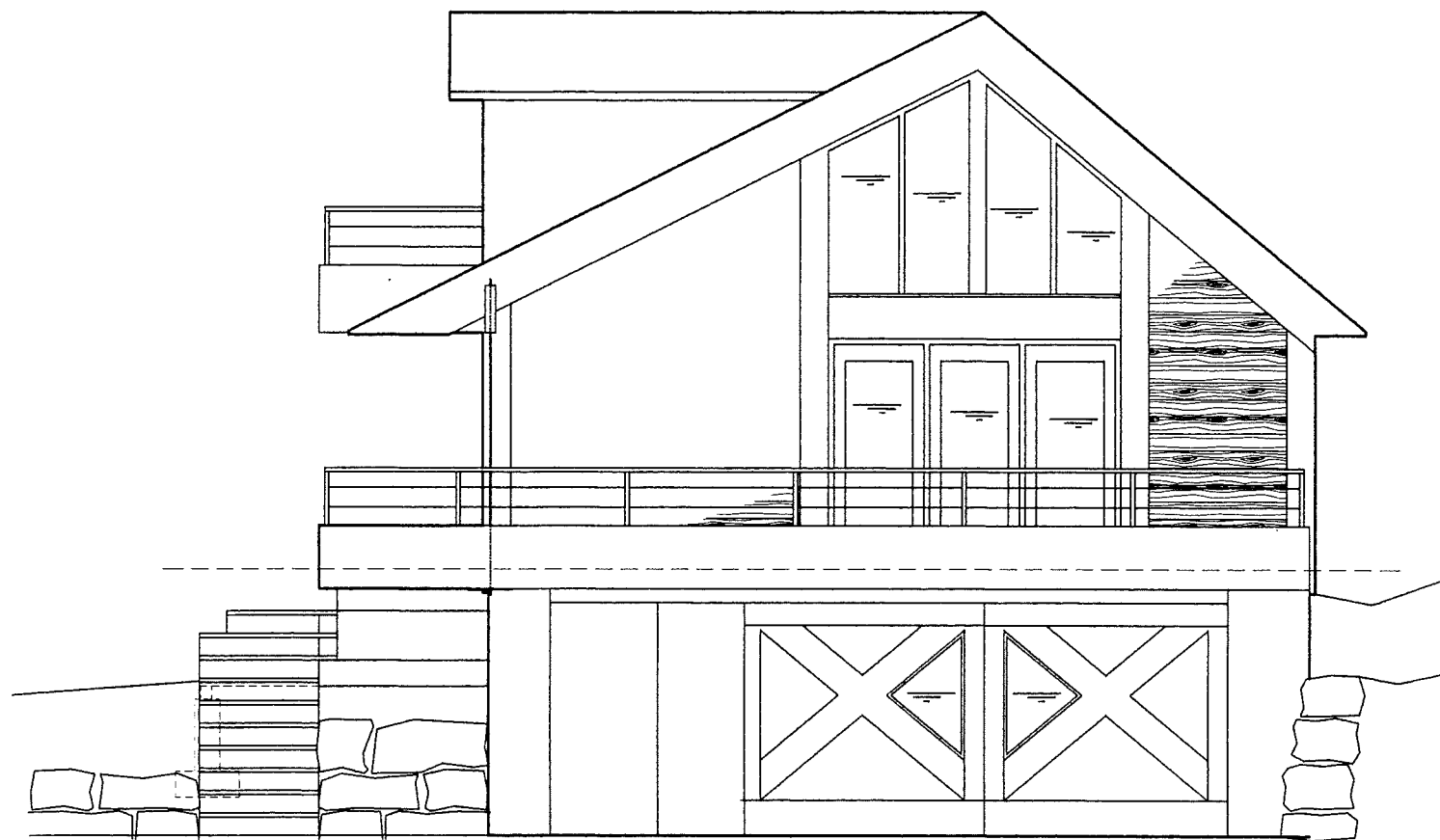
221 SOUTH MIDVALE BLVD.
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Designed by Jim Vincent

PLANS-CABINET ELS.
A. D. U.
VINCENT RESIDENCE
221 S. MIDVALE BLVD.
MADISON • WISCONSIN

DRAFTED BY JV
CHECKED BY JV
DRAWING STATUS
PRELIMINARY
PROGRESS
REVIEW
FINAL
REVISION NO. - DATE:

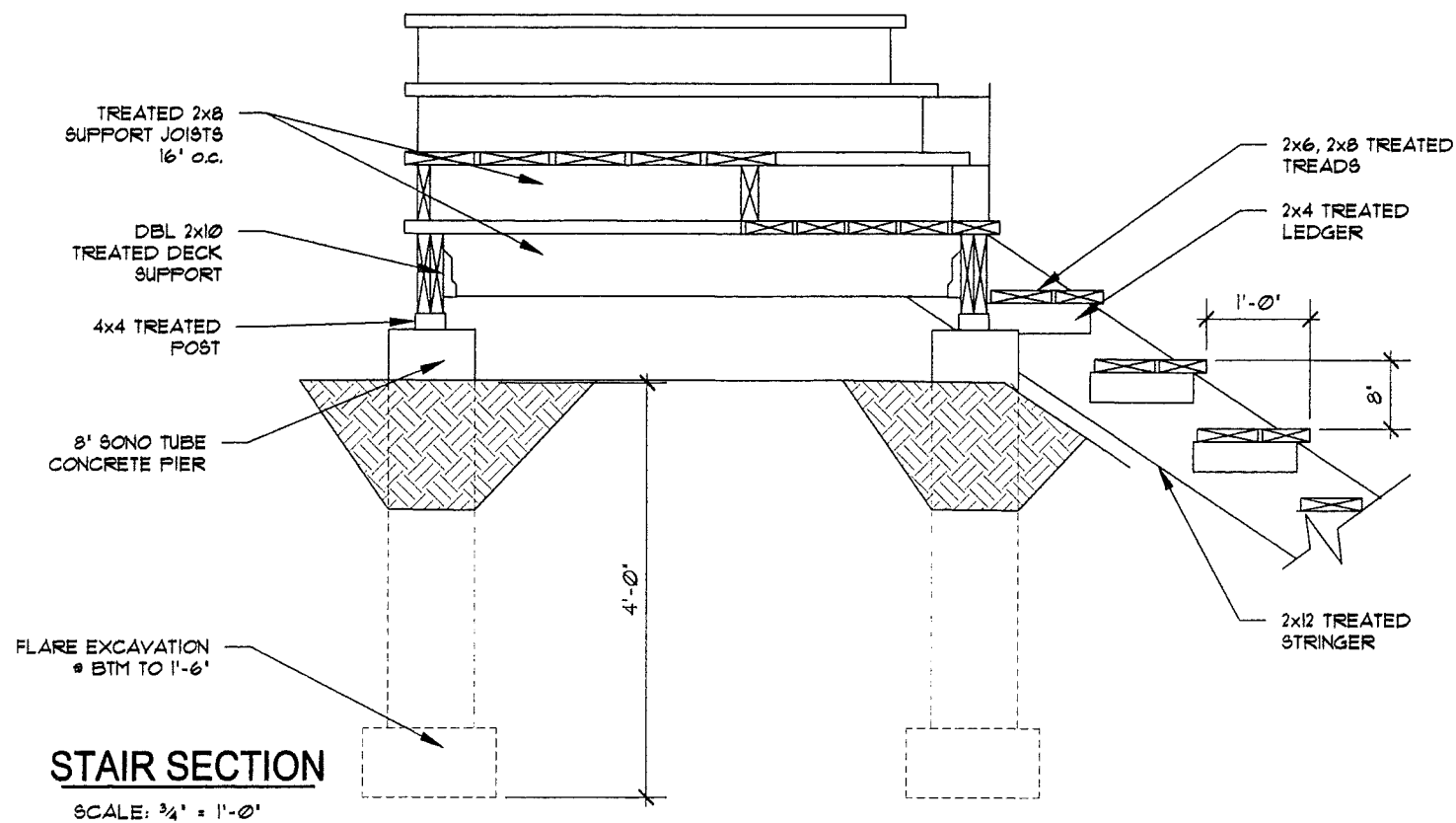
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PROJ. NO: 14012
SHEET NUMBER

A-3



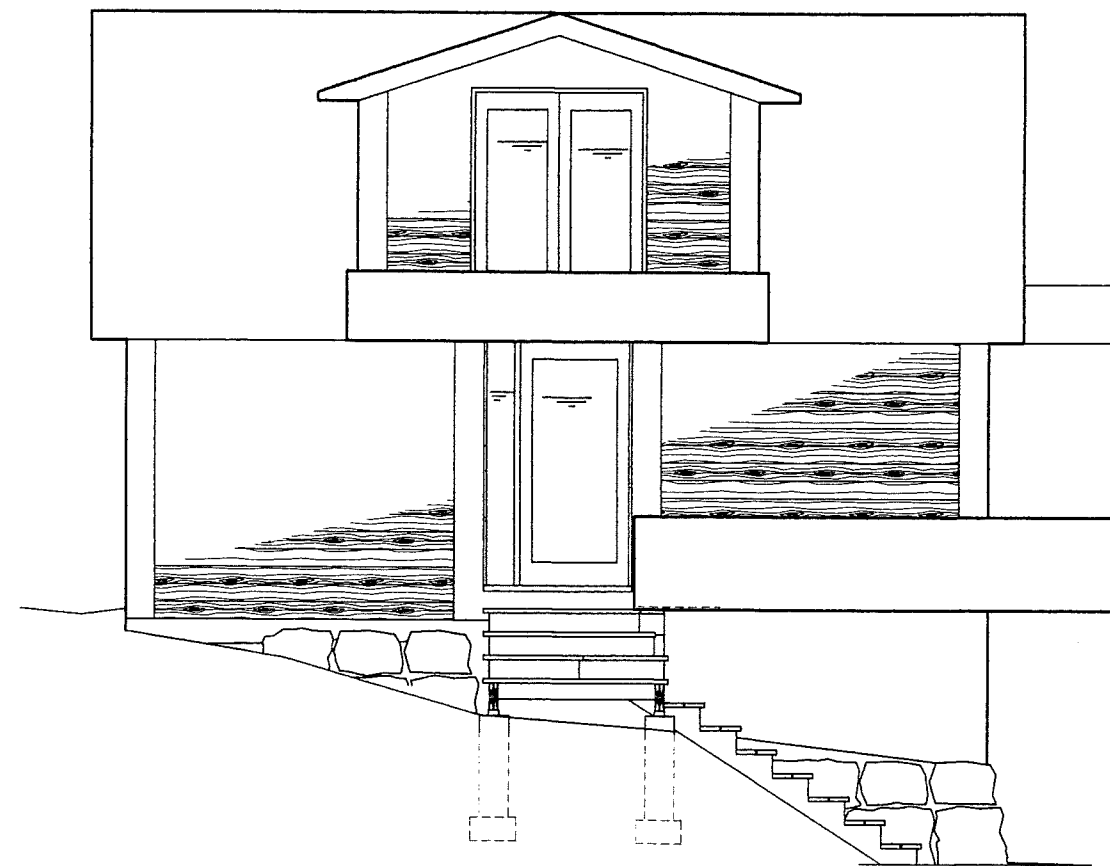
WEST ELEVATION

SCALE: 3/16" = 1'-0"



STAIR SECTION

SCALE: 3/4" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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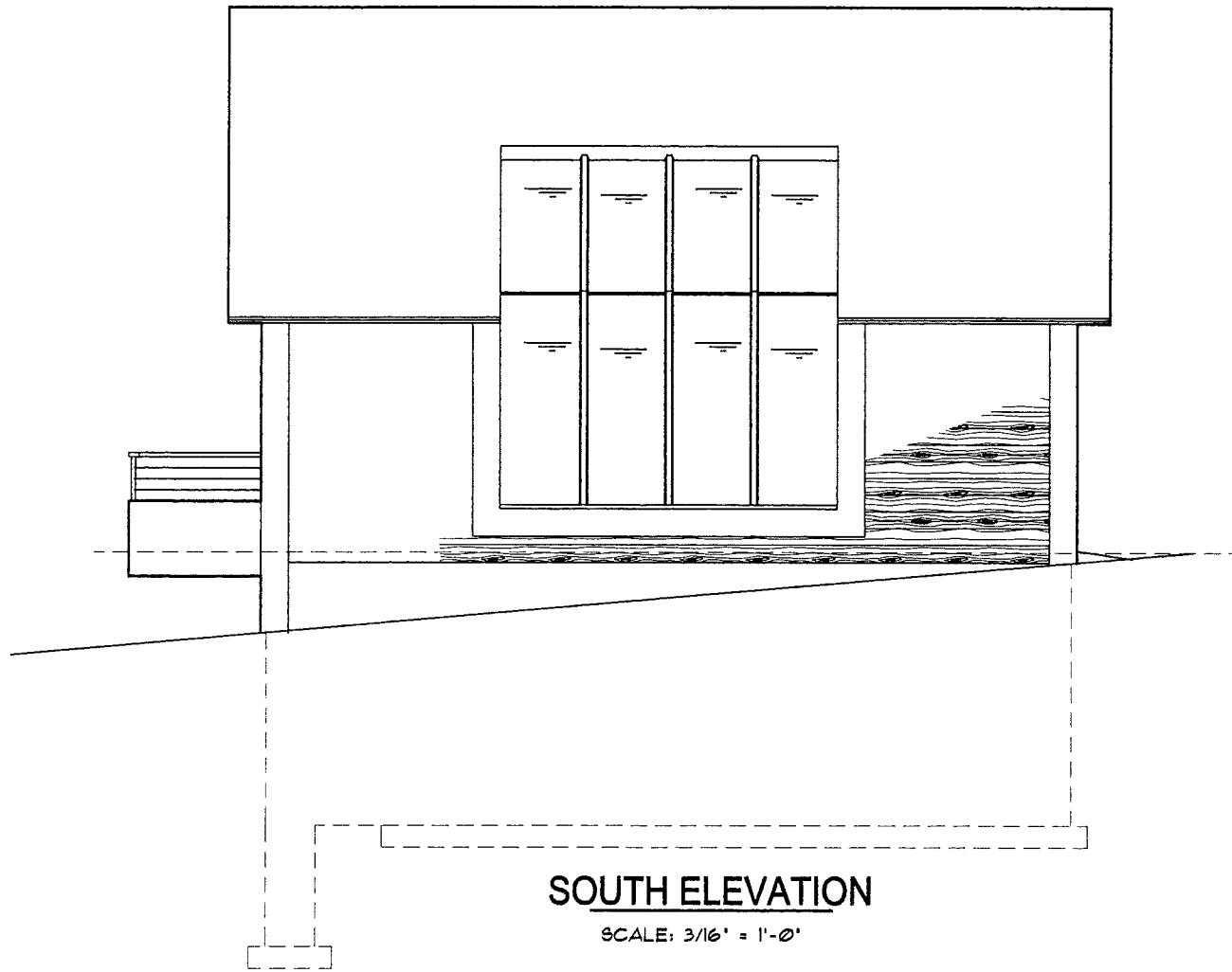
ELEVATIONS

A. D. U.
VINCENT RESIDENCE
221 S. MIDVALE BLVD.
MADISON • WISCONSIN

DRAFTED BY: JV	
CHECKED BY: JV	
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PROGRESS	
REVIEW	
FINAL	<input checked="" type="checkbox"/>
REVISION NO. - DATE:	

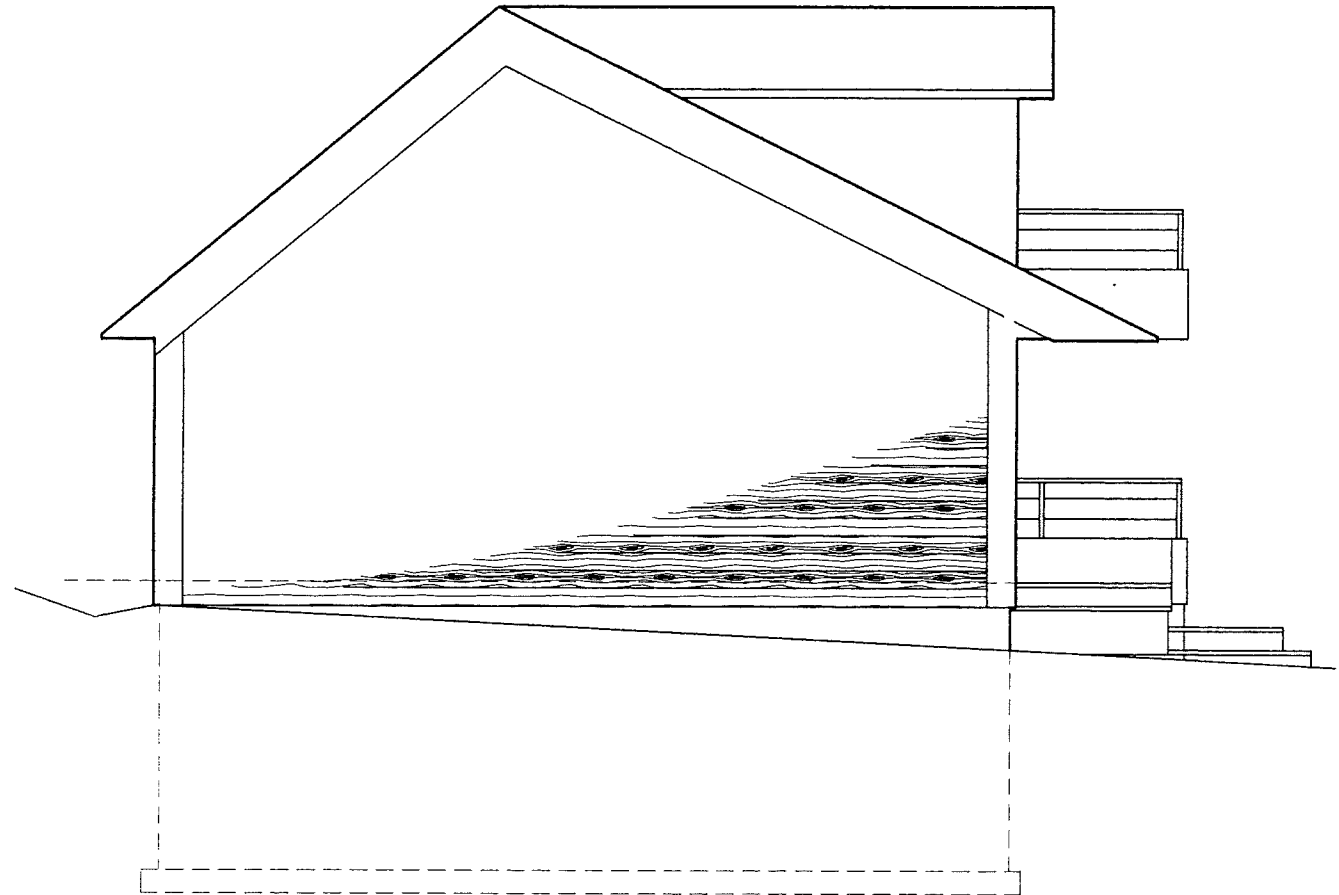
DATE: APR 6, '14
PROJ. NO: 14012
SHEET NUMBER

A-4



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

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ELEVATIONS

A. D. U.
VINCENT RESIDENCE
221 S. MIDVALE BLVD.
MADISON • WISCONSIN

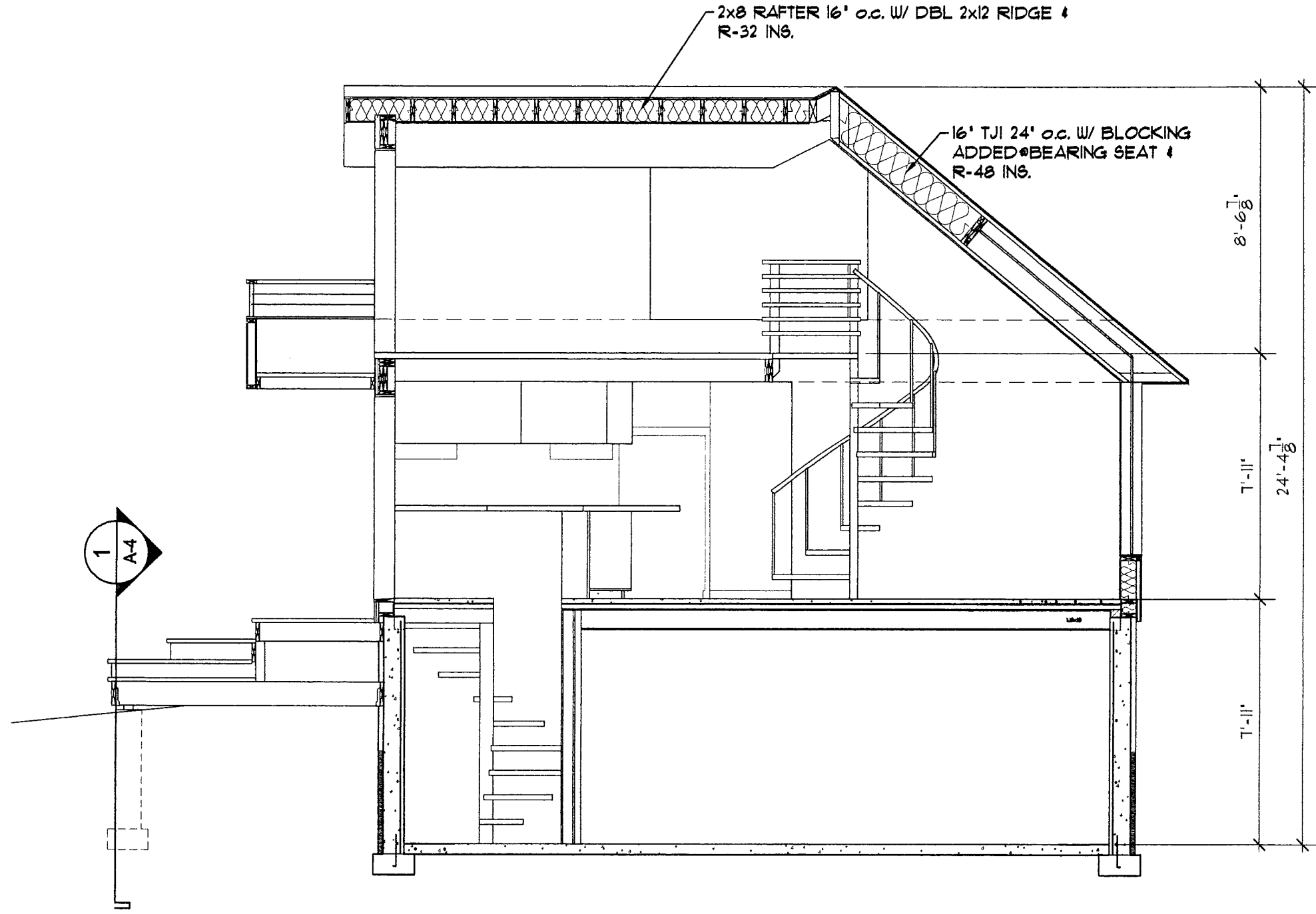
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CHECKED BY JV	
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PRELIMINARY	
PROGRESS	
REVIEW	
FINAL	<input checked="" type="checkbox"/>
REVISION NO. - DATE:	

DATE: APR 6, '14

PROJ. NO: 14012

SHEET NUMBER

A-5



GENERAL SECTION

SCALE: 1/4" = 1'-0"

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GARAGE PLAN
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CHECKED BY JV	
DRAWING STATUS	
PRELIMINARY	
PROGRESS	
REVIEW	
FINAL	<input checked="" type="checkbox"/>
REVISION NO. - DATE:	

DATE: APR 6, '14

PROJ. NO: 14012

SHEET NUMBER

A-6