



Location
89 East Towne Mall

Project Name
FLIX Brewhouse

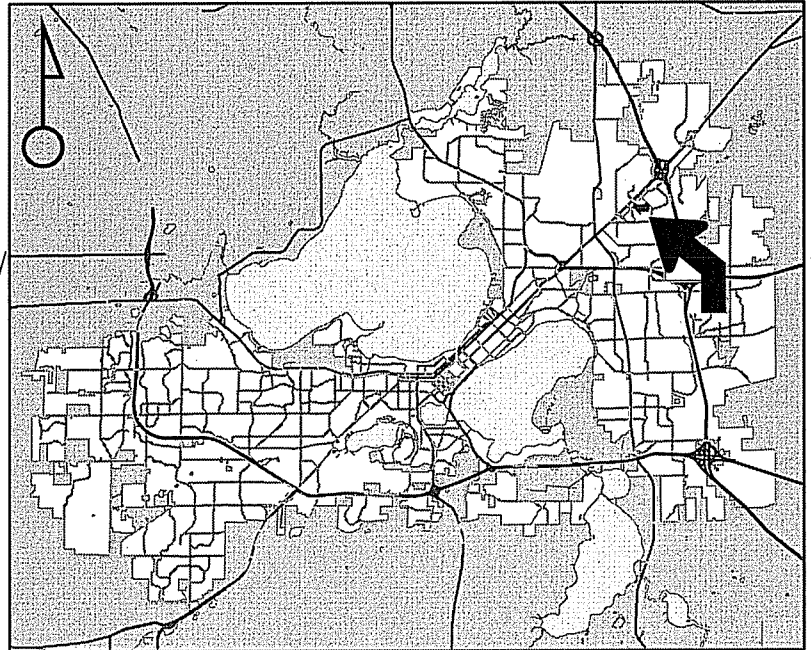
Applicant

Justin Long – CBL & Associate Properties, Inc /
Justin Lee Frahm – JSD Professional Services

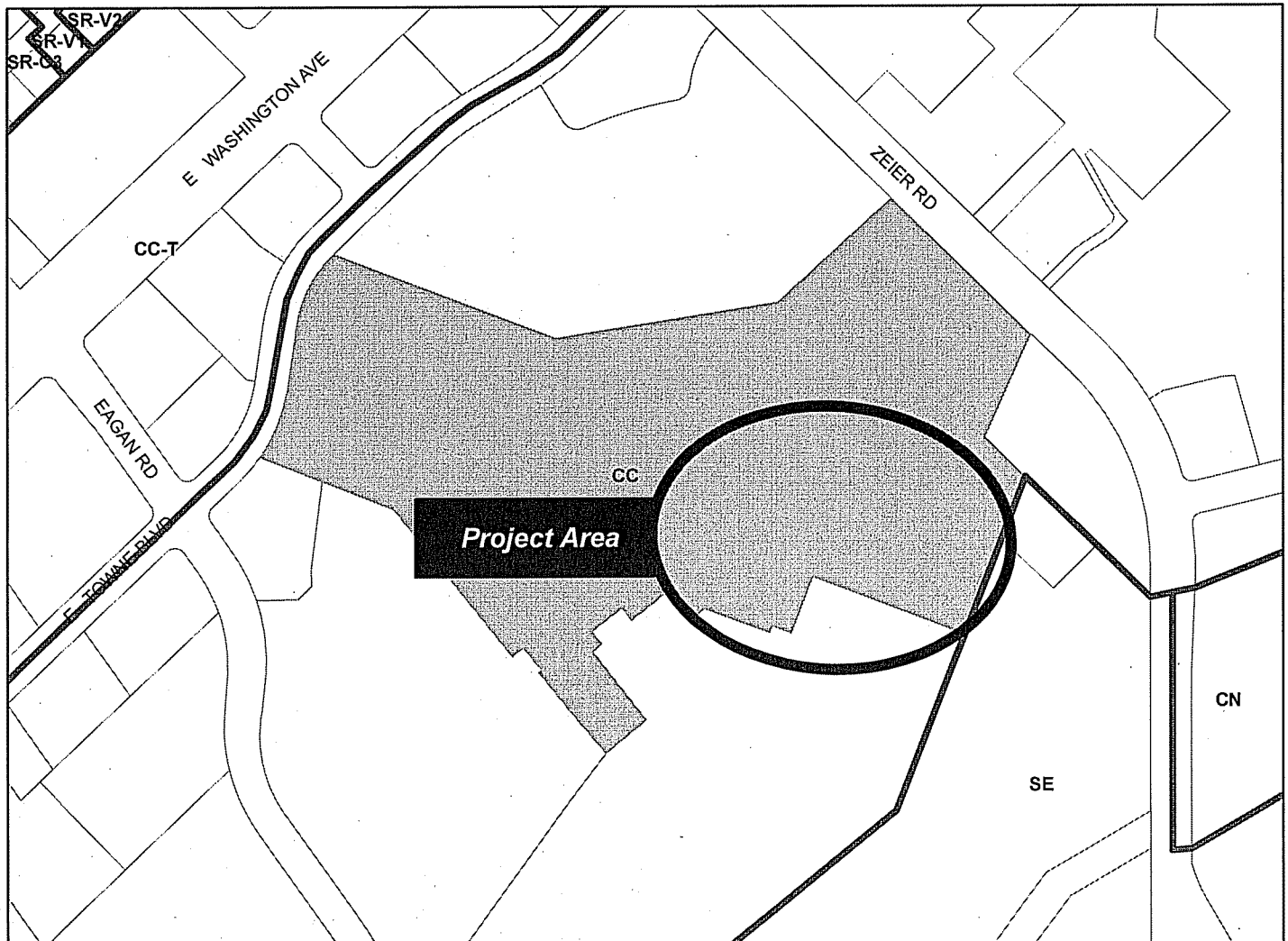
Existing Use
Former furniture store

Proposed Use
Convert and expand former furniture
store into movie theater, brewpub
and restaurant

Public Hearing Date
Plan Commission
17 October 2016

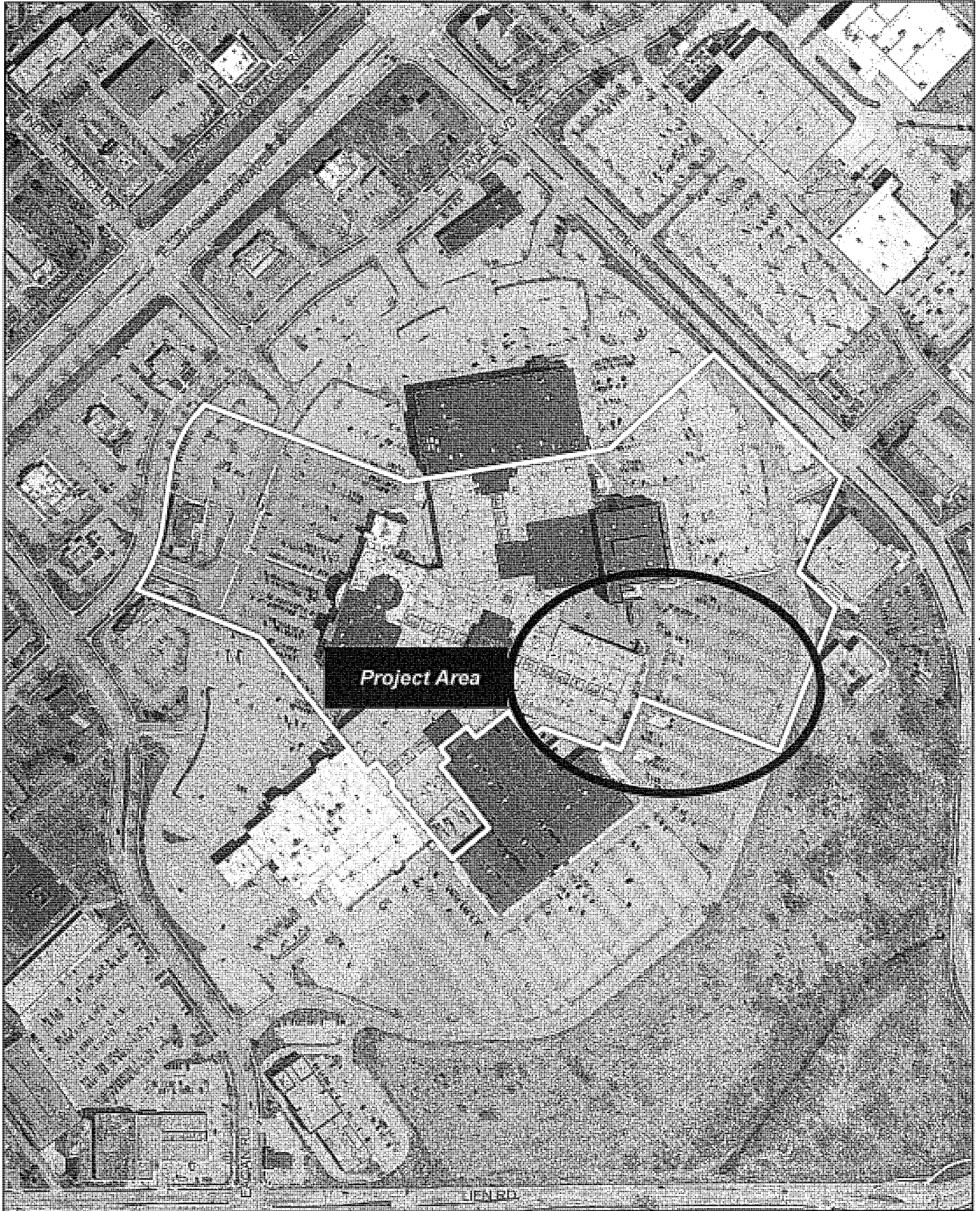


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 11 October 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>2500</u>	Receipt No. <u>19736-0004</u>
Date Received <u>8/17/16</u>	
Received By <u>[Signature]</u>	
Parcel No. <u>0810-273-0096-2</u>	
Aldermanic District <u>17 - BALDWIN</u>	
Zoning District <u>CC</u>	
Special Requirements <u>Ex. C.U.</u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 89 E. Towne Mall, Madison, WI 53704
Project Title (if any): FLIX Brewhouse Major Alteration (Existing Steinhafel's Location)

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Justin Long **Company:** CBL & Associate Properties, Inc.
Street Address: 2030 Hamilton Place Blvd. **City/State:** Chattanooga, TN **Zip:** 37421
Telephone: (480) 216-0971 **Fax:** () **Email:** justin.long@cblproperties.com

Project Contact Person: Justin Lee Frahm **Company:** JSD Professional Services, Inc.
Street Address: 161 Horizon Dr. Suite 101 **City/State:** Verona, WI **Zip:** 53593
Telephone: (715) 298-6330 **Fax:** () **Email:** justin.frahm@jsdinc.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Tenant improvement of existing Steinhafel's for movie auditorium complex with brewpub and restaurant. Existing site improvements to include parking islands, mall entry and outdoor patio.

Development Schedule: Commencement Spring 2017 Completion Winter of 2018

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
July 12, 2016 - District 17 Alder Baldeh, notification and correspondence of FLIX Brewhouse (see attached)

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Al Martin & Tim Parks Date: July 6, 2016 Zoning Staff: Matt Tucker Date: July 6, 2016

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Justin Long, CBL Relationship to Property: Owner's Representative

Authorizing Signature of Property Owner  Date 15

Memorandum / Letter of Intent

www.jsdinc.com

To: City of Madison Planning Staff & Urban Design Commission
From: Justin Frahm, JSD Professional Services, Inc.
Re: City of Madison Land Use & UDC Initial-Final Application - FLIX Brewhouse at East Towne Mall Major Alteration (Existing Steinhafels)
JSD Project #: 15-7078
Date: August 17, 2016
cc: Justin Long, CBL & Associates Properties, Inc., Mark Wynnemer, ArTech

City of Madison Urban Design Commission:

On behalf of CBL & Associates Properties, Inc. and FLIX Entertainment, LLC, JSD is submitting and requesting an initial-final Urban Design Commission review and subsequent Plan Commission review and approval for the proposed major alteration of an existing conditional use for a proposed FLIX Brewhouse facility located at East Towne Mall in Madison, WI.

CBL and FLIX are proposing a 39,150 square foot movie theater, restaurant and brewery to be constructed at the current Steinhafels location on the east side of the East Towne Mall complex located at 89 E Towne Mall, Madison, WI 53704. The proposed facility is to be developed within a combination of the existing floor space of Steinhafels and exterior build out space adjacent to Steinhafels building footprint.

The proposed facility improvements are to include 134 interior dining seats, 970 interior theater auditorium seats and exterior patio seating to the restaurant. Hours of operation to include 9 am until 2 am (if local ordinance allows).

Building improvements will include design of architectural exterior façade, including updated materials, details and signage at proposed building walls, exterior patio space, a newly proposed exterior East Towne Mall entry as well as auto and bike parking to serve the facility. FLIX Brewhouse will be accessed via an interior mall entry off of the existing interior mall corridor and will be sited adjacent to a newly proposed exterior mall entry. The exterior mall entry will include direct access to a pedestrian sidewalk surrounding the footprint of the mall as well as bike and auto parking serving mall customers and FLIX Brewhouse customers. A newly proposed patio will serve customers with an interior connection to the proposed facility. Landscape treatment in and around the building footprint will provide screening to adjacent service and mall loading areas as well as foundation planting around the proposed building and exterior patio space.

The project team has provided project information to Alder Samba Baldeh, City Planning and staff for preliminary reviews of the proposed project.

Construction is proposed for spring of 2017 with an opening in winter of 2018.

Additional requests for information and/or questions can be directed to JSD Professional Services, Inc.

Regards,



Justin Lee Frahm
Project Consultant
JSD Professional Services, Inc.



File: I:\2015\157078\DWG\157078-Location Map.dwg User: tguatm Plotted: Aug 15, 2016 - 11:25am Xref's

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 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
**CBL & ASSOCIATES
 PROPERTIES, INC.**

PROJECT:
**FLIX BREWHOUSE -
 EAST TOWNE MALL**

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE SUBMITTAL	07-13-16
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

DIGGERS HOTLINE

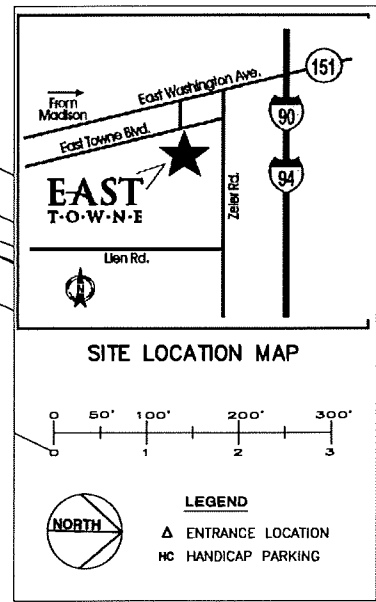
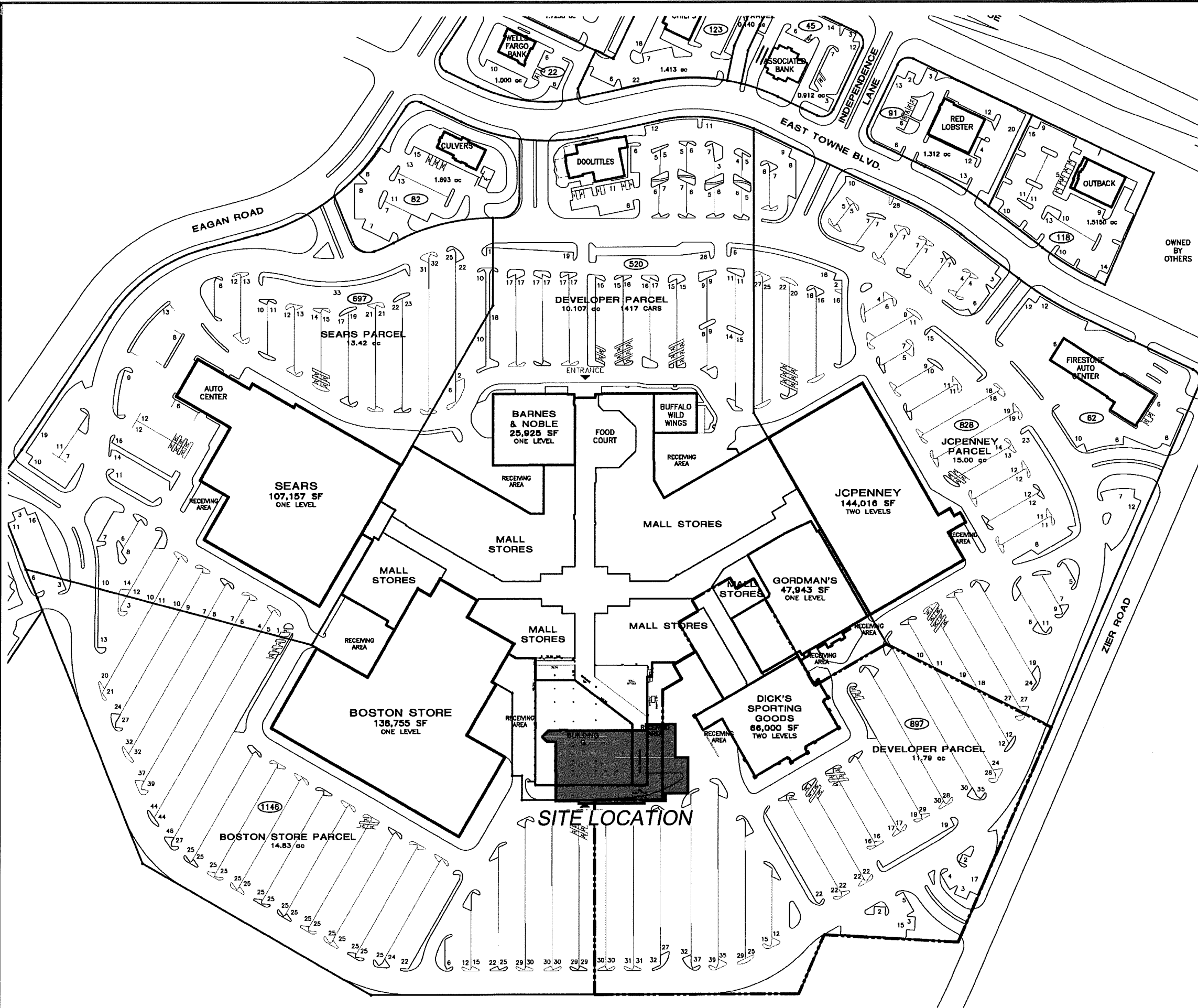
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
LOCATION MAP

SHEET NUMBER:
EX. A



File: I:\2015\157078\DWG\157078-Location Map.dwg Layout: 22x34 (2) User: iguath Plotdate: Aug 15, 2016 - 11:26am xref's



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SHEET TITLE:
OVERALL MALL CONTEXT MAP

SHEET NUMBER:
EX. C



Existing Parking Lot and Building from the North



Entrance to East Towne Mall



Existing Parking Lot and Front Entrance of Site Building from the East

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SHEET TITLE:
SITE CONTEXT

SHEET NUMBER:
1 of 4

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Facade of Adjacent Building to the North



Maintenance Drive Between Site and Adjacent Building



Existing Parking Lot Islands and Landscape



Continued Parking Lot Islands and Landscape

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Fire Access Drive in Front of Site



Fire Access Continued to Adjacent Building to the North



Existing Landscape of Site Building



Maintenance Drive between Site and Adjacent Building

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Maintenance Access and Snow Storage



Landscape and Fire Access to Adjacent Building to the North



Continued Landscape to Building to the North



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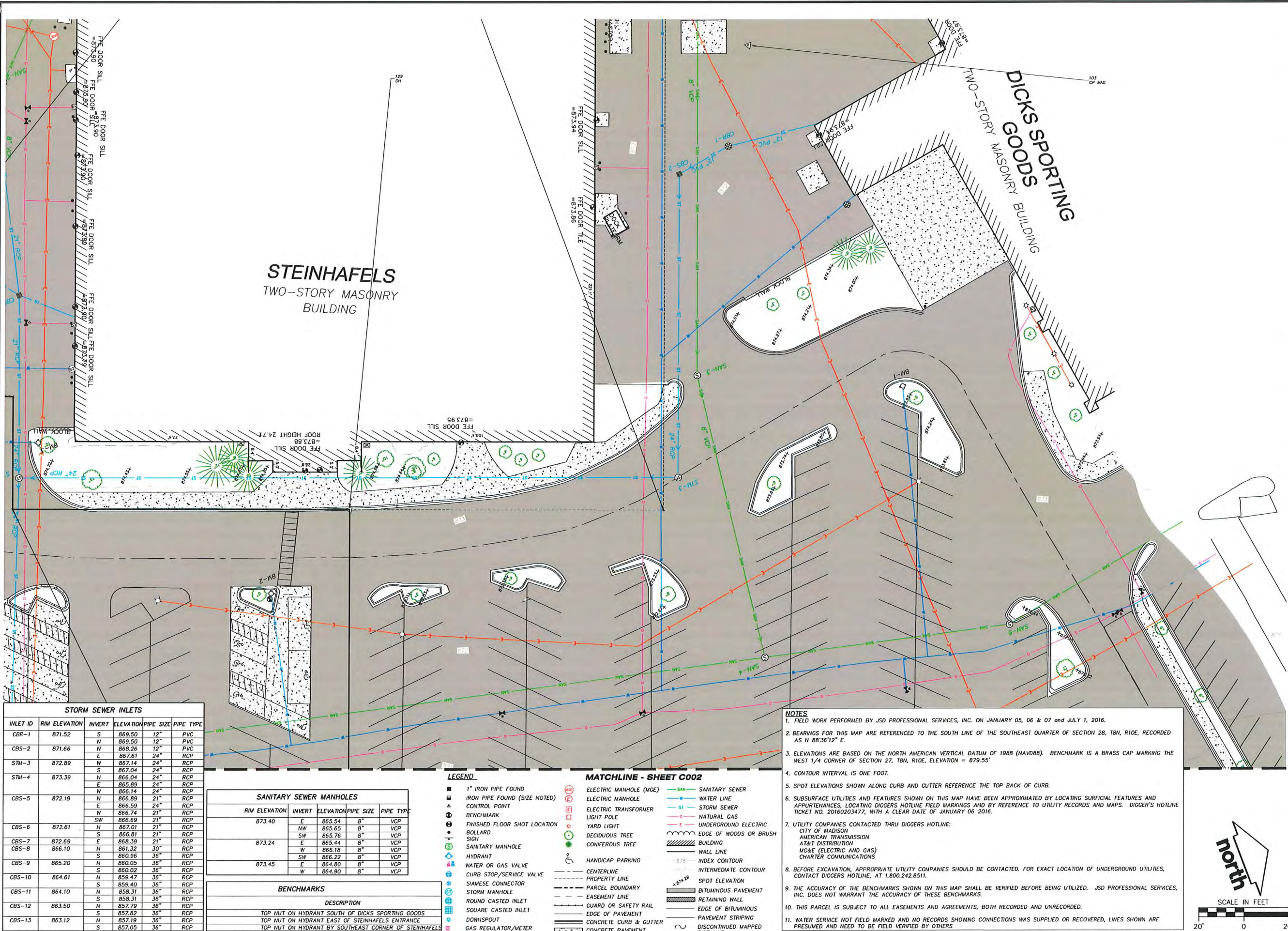
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SHEET TITLE:
EXISTING CONDITIONS SHEET 1 OF 2

SHEET NUMBER:
C001



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STORM SEWER INLETS				
INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
CBR-1	871.52	S 869.50	12"	PVC
CBS-2	871.66	N 868.26	12"	PVC
STM-3	872.89	E 867.61	24"	RCP
STM-4	873.39	W 867.04	24"	RCP
CBS-5	872.19	S 866.89	21"	RCP
CBS-6	872.61	N 866.04	24"	RCP
CBS-7	872.69	E 866.39	21"	RCP
CBS-8	866.10	N 861.32	30"	RCP
CBS-9	865.20	S 860.05	36"	RCP
CBS-10	864.61	N 859.47	36"	RCP
CBS-11	864.10	S 858.31	36"	RCP
CBS-12	863.50	N 857.79	36"	RCP
CBS-13	863.12	S 857.05	36"	RCP

SANITARY SEWER MANHOLES				
RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
873.40	E 865.54	8"	VCP	
	NW 865.65	8"	VCP	
	SW 865.76	8"	VCP	
873.24	E 865.44	8"	VCP	
	W 866.18	8"	VCP	
	SW 866.22	8"	VCP	
873.45	E 864.80	8"	VCP	
	W 864.90	8"	VCP	

BENCHMARKS	
DESCRIPTION	
TOP NUT ON HYDRANT SOUTH OF DICKS SPORTING GOODS	
TOP NUT ON HYDRANT EAST OF STEINHAFELS ENTRANCE	
TOP NUT ON HYDRANT BY SOUTHEAST CORNER OF STEINHAFELS	

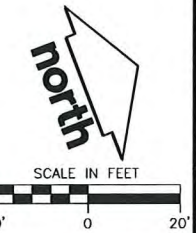
LEGEND

- 1" IRON PIPE FOUND
- IRON PIPE FOUND (SIZE NOTED)
- CONTROL POINT
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER OR GAS VALVE
- CURB STOP/SERVICE VALVE
- SIAMENSE CONNECTOR
- STORM MANHOLE
- ROUND CASTED INLET
- SQUARE CASTED INLET
- DOWNSPOUT
- GAS REGULATOR/METER

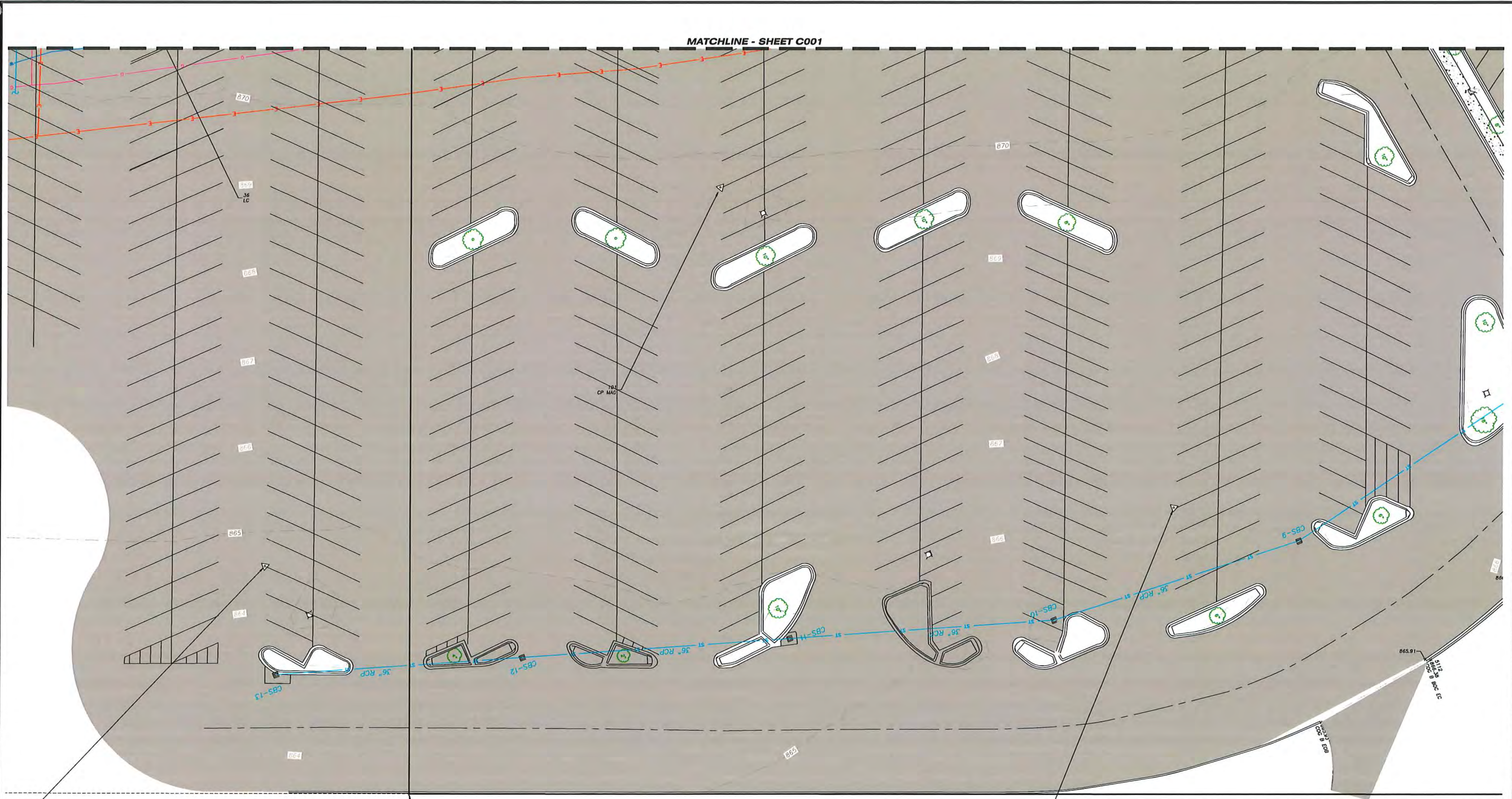
MATCHLINE - SHEET C002

- ELECTRIC MANHOLE (MGE)
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- LIGHT POLE
- YARD LIGHT
- DECIDUOUS TREE
- CONIFEROUS TREE
- HANDICAP PARKING
- EDGE OF WOODS OR BRUSH
- WALL LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- RETAINING WALL
- EDGE OF BITUMINOUS PAVEMENT STRIPING
- DISCONTINUED MAPPED PIPE LINE

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JANUARY 05, 06 & 07 and JULY 1, 2016.
 - BEARINGS FOR THIS MAP ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, T8N, R10E, RECORDED AS N 88°36'12" E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MARKING THE WEST 1/4 CORNER OF SECTION 27, T8N, R10E, ELEVATION = 879.55'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20160203477, WITH A CLEAR DATE OF JANUARY 06 2016.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 CITY OF MADISON
 AMERICAN TRANSMISSION
 AT&T DISTRIBUTION
 MGE (ELECTRIC AND GAS)
 CHARTER COMMUNICATIONS
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 - WATER SERVICE NOT FIELD MARKED AND NO RECORDS SHOWING CONNECTIONS WAS SUPPLIED OR RECOVERED, LINES SHOWN ARE PRESUMED AND NEED TO BE FIELD VERIFIED BY OTHERS



MATCHLINE - SHEET C001



STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CBR-1	871.52	S	869.50	12"	PVC
CBS-2	871.66	N	869.50	12"	PVC
		E	869.26	12"	PVC
		E	867.61	24"	RCP
STM-3	872.89	W	867.14	24"	RCP
		S	867.04	24"	RCP
STM-4	873.39	N	866.04	24"	RCP
		E	865.89	24"	RCP
		W	866.14	24"	RCP
CBS-5	872.19	N	866.89	21"	RCP
		E	866.59	24"	RCP
		W	866.74	21"	RCP
		SW	866.69	21"	RCP
CBS-6	872.61	N	867.01	21"	RCP
		S	866.81	21"	RCP
CBS-7	872.69	E	868.39	21"	RCP
CBS-8	866.10	N	861.32	30"	RCP
		S	860.96	36"	RCP
CBS-9	865.20	N	860.05	36"	RCP
		S	860.02	36"	RCP
CBS-10	864.61	N	859.47	36"	RCP
		S	859.40	36"	RCP
CBS-11	864.10	N	858.31	36"	RCP
		S	858.31	36"	RCP
CBS-12	863.50	N	857.79	36"	RCP
		S	857.82	36"	RCP
CBS-13	863.12	N	857.19	36"	RCP
		S	857.05	36"	RCP

SANITARY SEWER MANHOLES				
RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
873.40	E	865.54	8"	VCP
	NW	865.65	8"	VCP
	SW	865.76	8"	VCP
873.24	E	865.44	8"	VCP
	W	866.18	8"	VCP
	SW	866.22	8"	VCP
873.45	E	864.80	8"	VCP
	W	864.90	8"	VCP

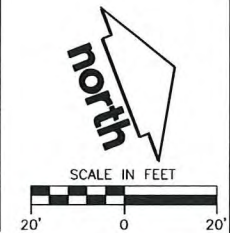
BENCHMARKS	
DESCRIPTION	
TOP NUT ON HYDRANT SOUTH OF DICKS SPORTING GOODS	
TOP NUT ON HYDRANT EAST OF STEINHAFELS ENTRANCE	
TOP NUT ON HYDRANT BY SOUTHEAST CORNER OF STEINHAFELS	

LEGEND

1" IRON PIPE FOUND	ELECTRIC MANHOLE (MGE)	SANITARY SEWER
IRON PIPE FOUND (SIZE NOTED)	ELECTRIC MANHOLE	WATER LINE
CONTROL POINT	ELECTRIC TRANSFORMER	STORM SEWER
BENCHMARK	LIGHT POLE	NATURAL GAS
FINISHED FLOOR SHOT LOCATION	YARD LIGHT	UNDERGROUND ELECTRIC
BOLLARD	DECIDUOUS TREE	EDGE OF WOODS OR BRUSH
SIGN	CONIFEROUS TREE	BUILDING
SANITARY MANHOLE		WALL LINE
HYDRANT	HANDICAP PARKING	INDEX CONTOUR
WATER OR GAS VALVE		INTERMEDIATE CONTOUR
CURB STOP/SERVICE VALVE	CENTERLINE	SPOT ELEVATION
SIAMESE CONNECTOR	PROPERTY LINE	BITUMINOUS PAVEMENT
STORM MANHOLE	PARCEL BOUNDARY	RETAINING WALL
ROUND CASTED INLET	EASEMENT LINE	EDGE OF BITUMINOUS PAVEMENT STRIPING
SQUARE CASTED INLET	GUARD OR SAFETY RAIL	DISCONTINUED MAPPED PIPE LINE
DOWNSPOUT	EDGE OF PAVEMENT	
GAS REGULATOR/METER	CONCRETE CURB & GUTTER	
	CONCRETE PAVEMENT	

NOTES

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CBL & ASSOCIATES PROPERTIES, INC.

PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

DIGGERS HOTLINE

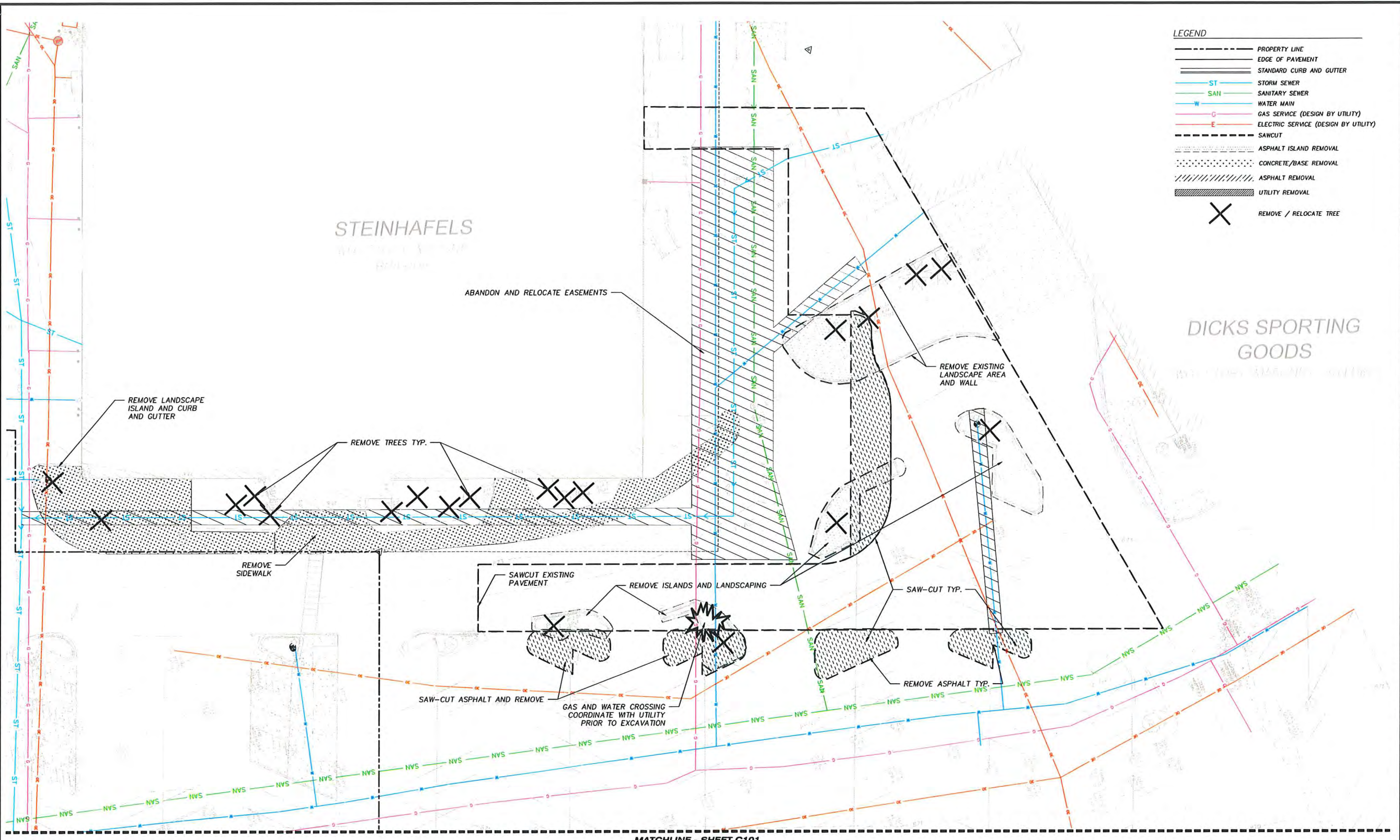
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SHEET TITLE:
EXISTING CONDITIONS SHEET 2 OF 2

SHEET NUMBER:
C002

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File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C01 Demo Plan User: lguatin Plotted: Aug 16, 2016 - 3:26pm xref's



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL
- ✕ REMOVE / RELOCATE TREE

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APPROVED:	JLF	07-06-16

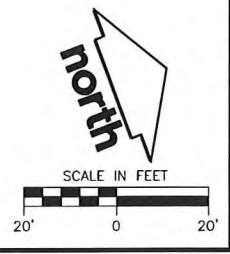
PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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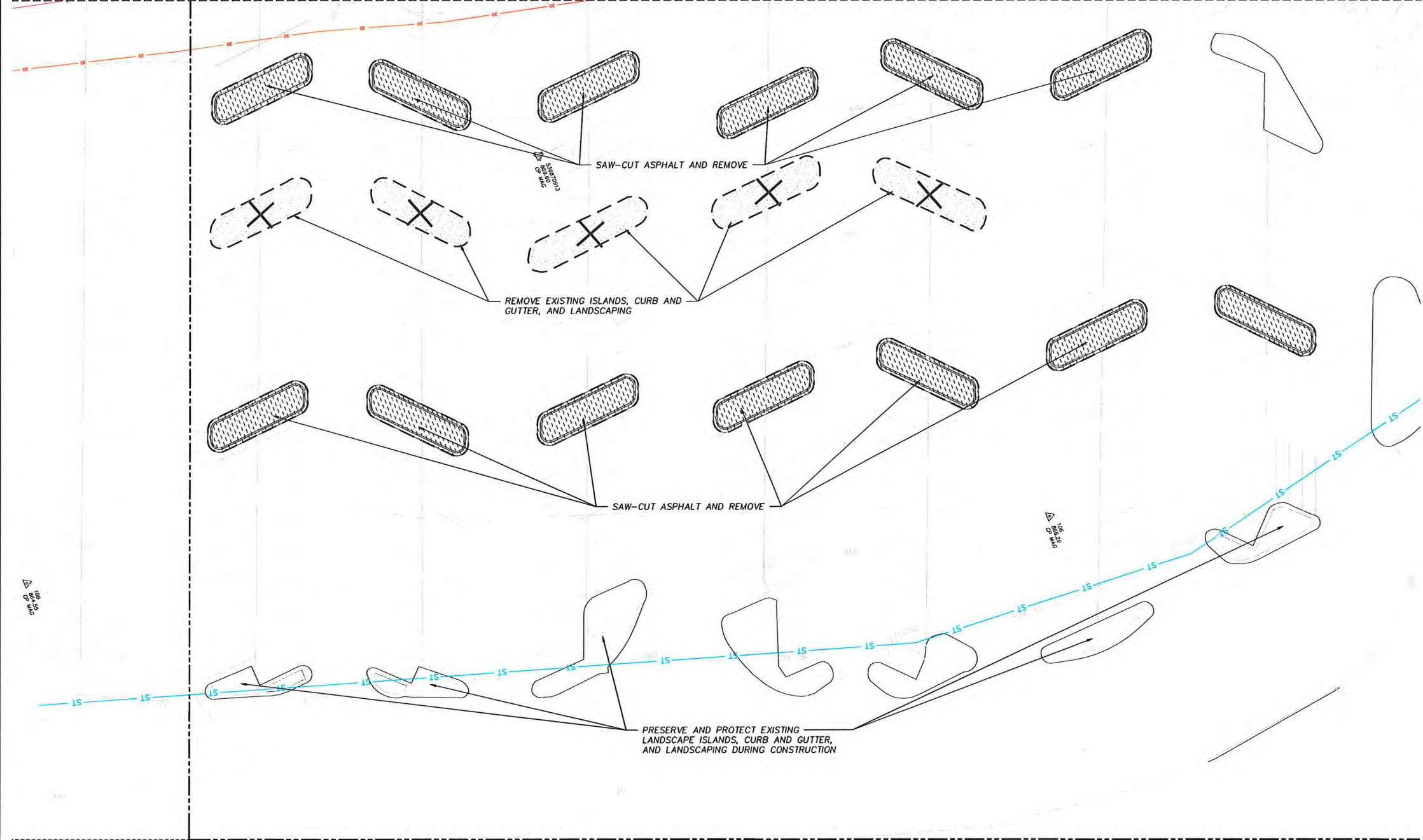
SHEET TITLE:
**DEMO PLAN
 SHEET 1 OF 2**

SHEET NUMBER:
C100



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MATCHLINE - SHEET C100



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL
- X REMOVE / RELOCATE TREE

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 PROPERTIES, INC.**

PROJECT:
**FLIX BREWHOUSE -
 EAST TOWNE MALL**

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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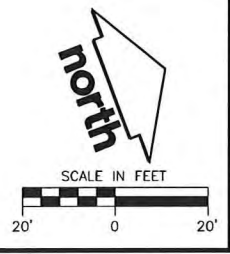
DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	J.F.	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

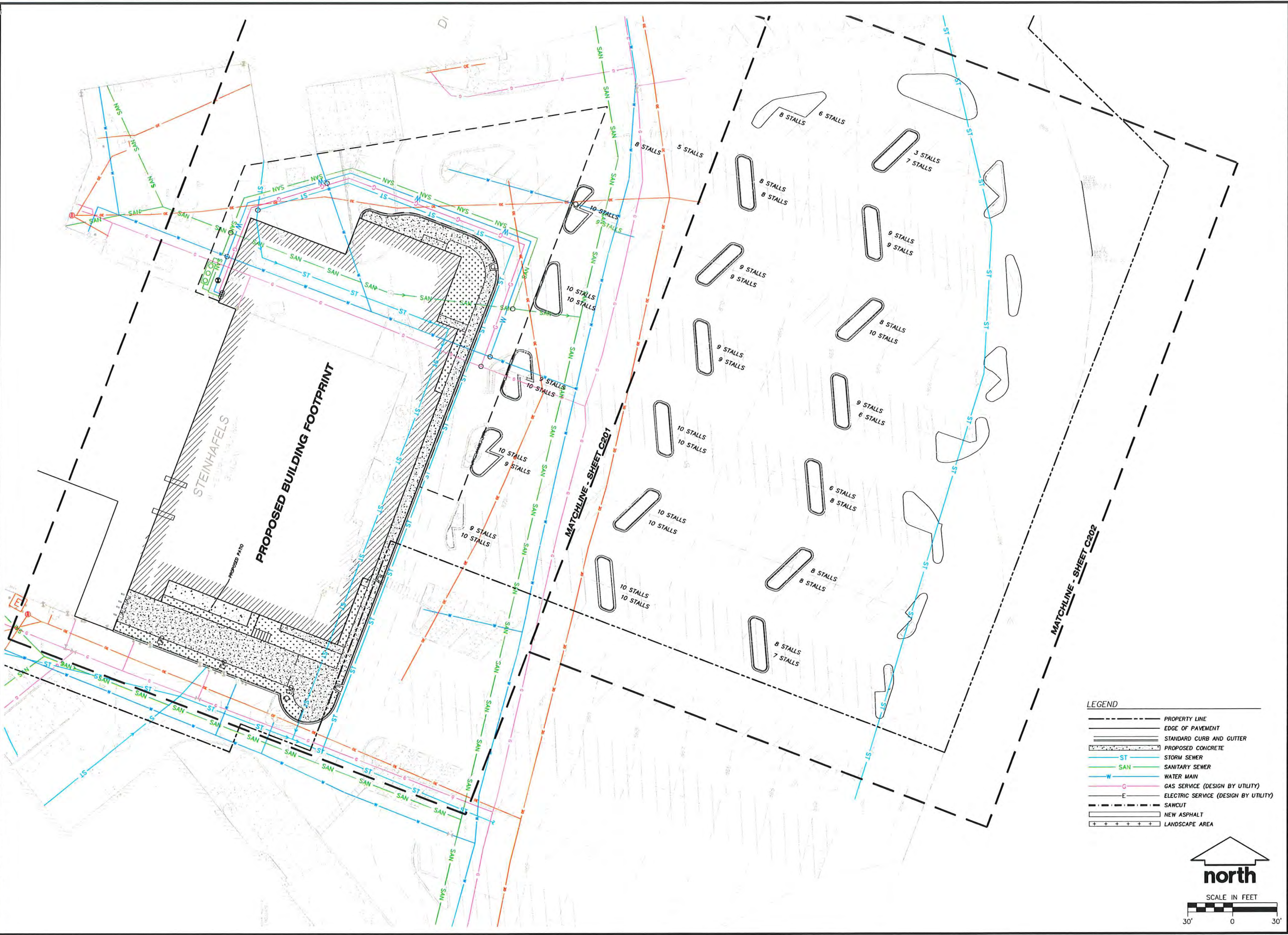
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SHEET TITLE:
**DEMO PLAN
 SHEET 2 OF 2**

SHEET NUMBER:
C101



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LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
ST	STORM SEWER
SAN	SANITARY SEWER
W	WATER MAIN
G	GAS SERVICE (DESIGN BY UTILITY)
E	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	SAWCUT
---	NEW ASPHALT
---	LANDSCAPE AREA

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PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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DRAWN:	TKG	DATE:	07-06-16
APPROVED:	JLF	DATE:	07-06-16
PLAN MODIFICATIONS:		DATE:	
LANDUSE AND UDC FINAL SUBMITTAL		08-17-16	

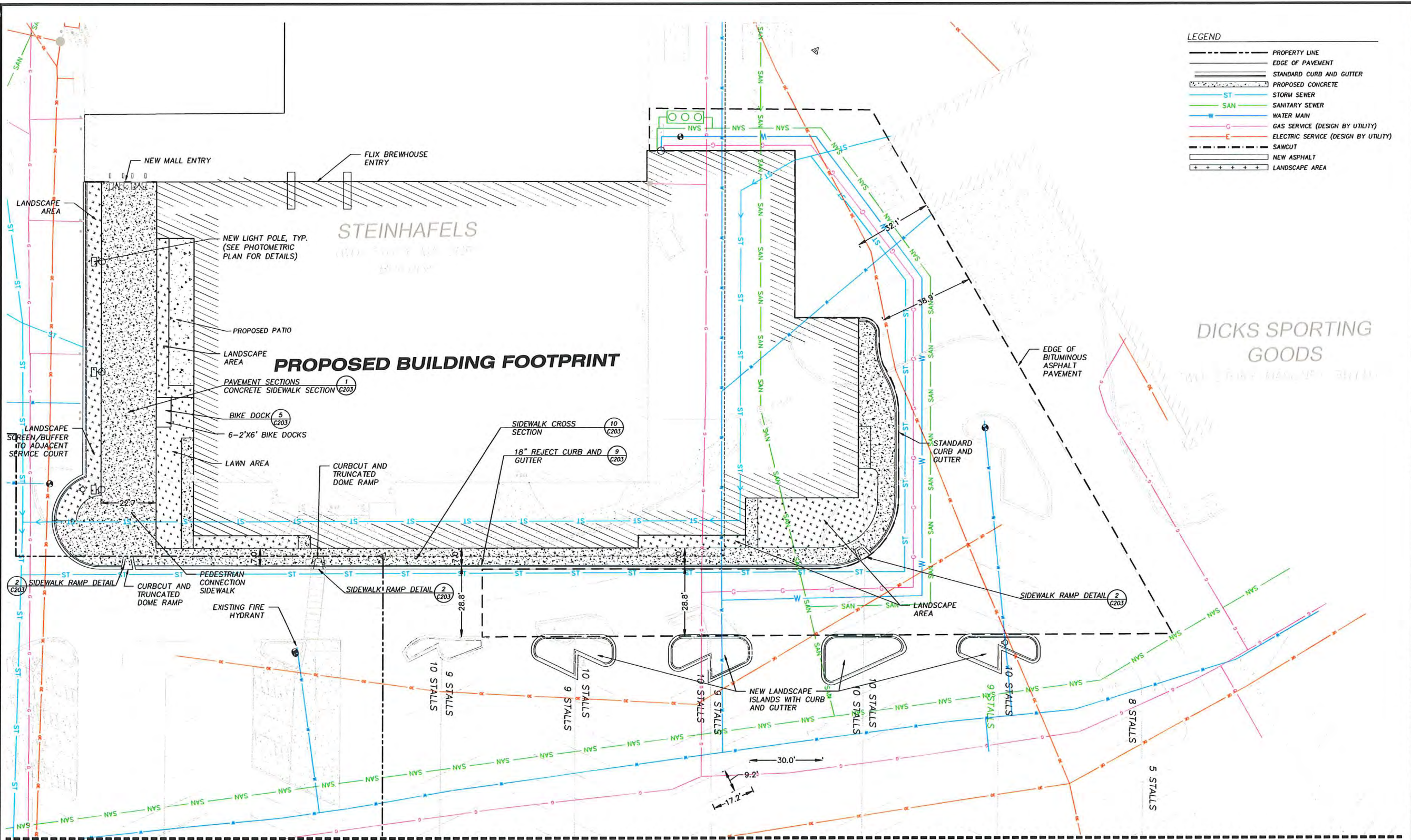
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SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C200

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C201 Site Plan User: tgrueth Printed: Aug 16, 2016 - 3:53pm Xref:



LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN
---	GAS SERVICE (DESIGN BY UTILITY)
---	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	SAWCUT
---	NEW ASPHALT
---	LANDSCAPE AREA

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DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	06-17-16

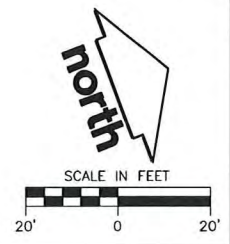
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SHEET TITLE:
SITE PLAN SHEET 1 OF 2

SHEET NUMBER:
C201

SITE INFORMATION BLOCK		
Site Location	Madison, WI	Existing Impervious Building Area X S.F.
Existing Site Acreage (Total)	X.XX ACRES	Existing Impervious Asphalt (Parking Lots) X S.F.
Proposed Site Acreage (Total)	X.XX ACRES	Existing Impervious Right of Way (Monroe St.) X S.F.
Disturbed Area	X S.F.	Existing Impervious Concrete (Sidewalk/Drive) X S.F.
Existing Site Zoning:	CC	Proposed Impervious Building Area X S.F.
Proposed use of property:	C-1 GENERAL BUSINESS	Proposed Impervious Asphalt X S.F.
		Proposed Impervious Concrete X S.F.
Building Information:		
Number of stories (above grade)	1	
Building height	x	
Total square footage of building	x	
Number of surface parking stalls:		
Existing Stalls	x	
Proposed Stalls	x	

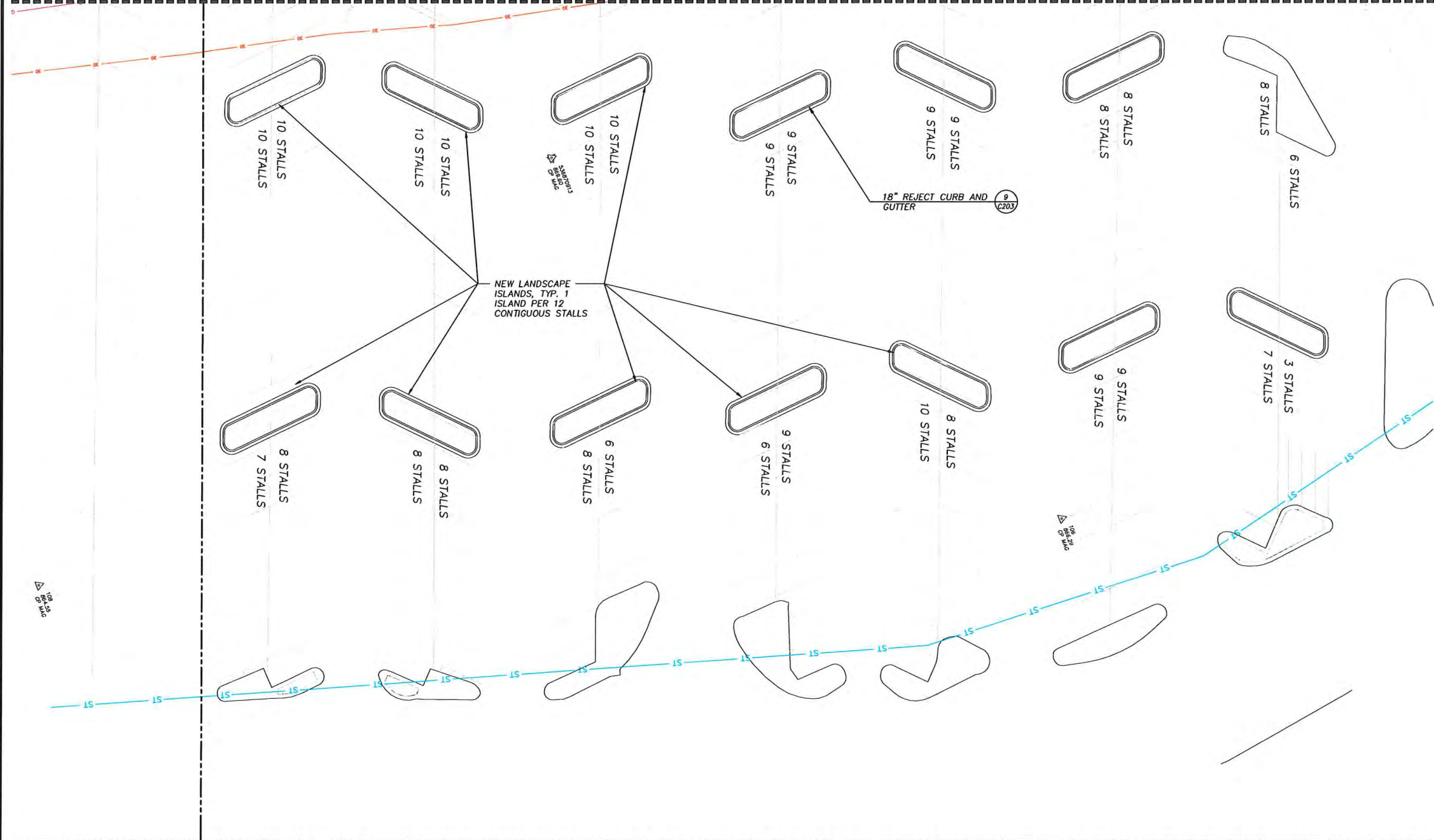


File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C202 Site Plan User: tgrath Plotted: Aug 16, 2016 - 3:45pm Ver: 1

MATCHLINE - SHEET C201

LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- PROPOSED CONCRETE
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- NEW ASPHALT
- LANDSCAPE AREA



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PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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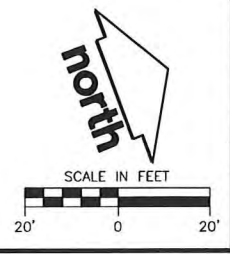
DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	06-17-16

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SHEET TITLE:
SITE PLAN SHEET 2 OF 2

SHEET NUMBER:
C202



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PROJECT:
FLIX BREWHOUSE -
EAST TOWNE MALL

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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DESIGN:	TKG	07-06-10
DRAWN:	TKG	07-06-10
APPROVED:	JLF	07-06-10

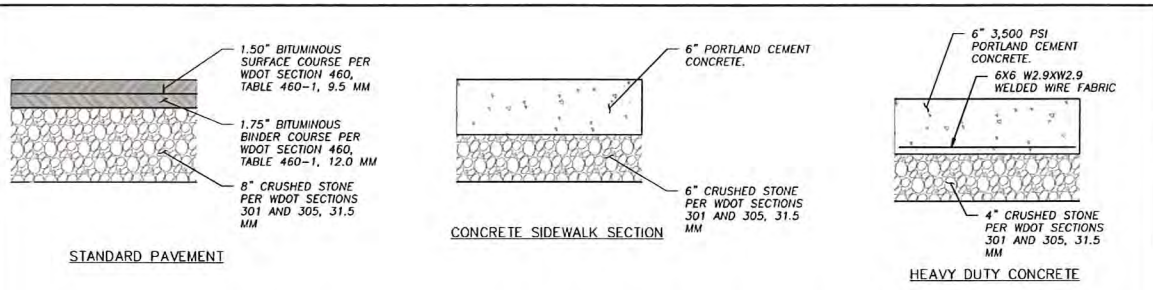
PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16



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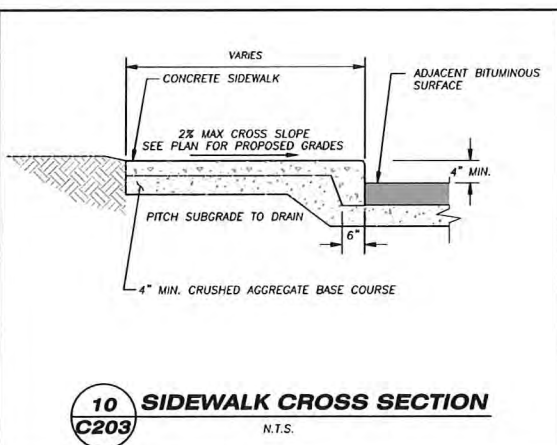
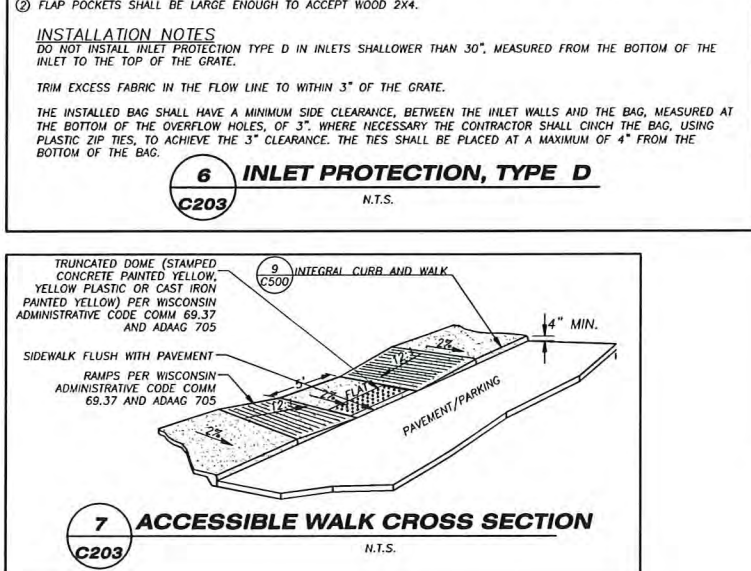
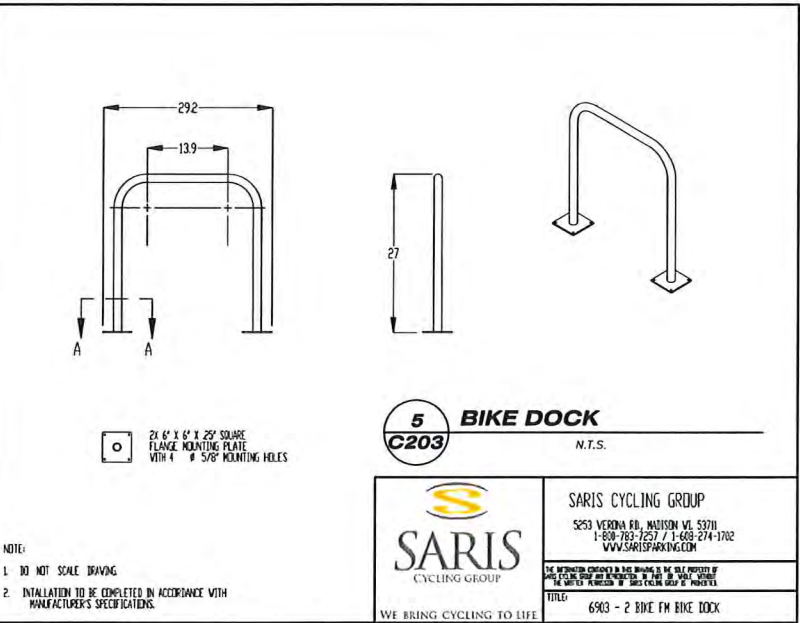
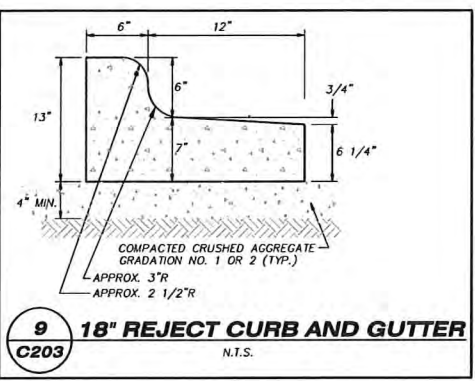
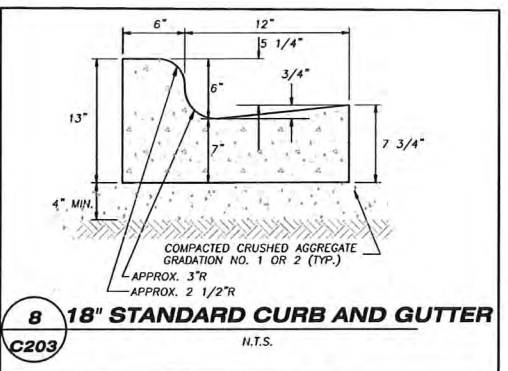
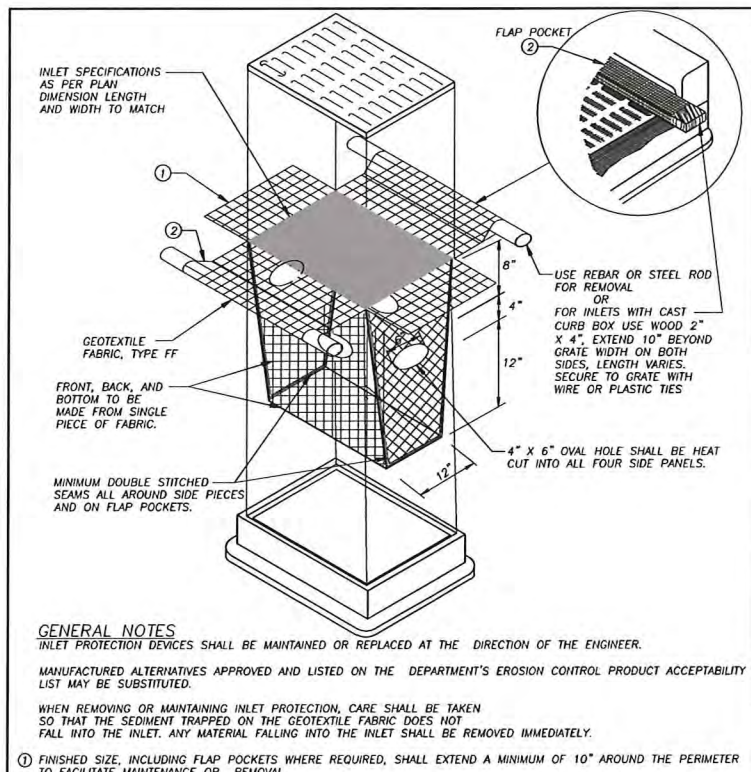
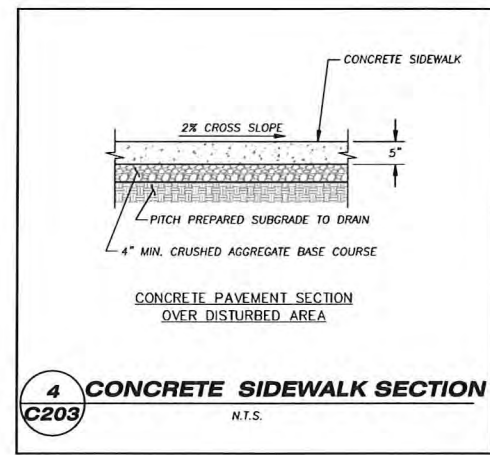
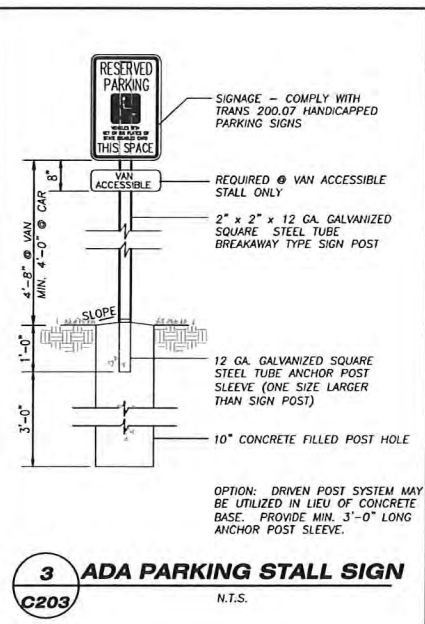
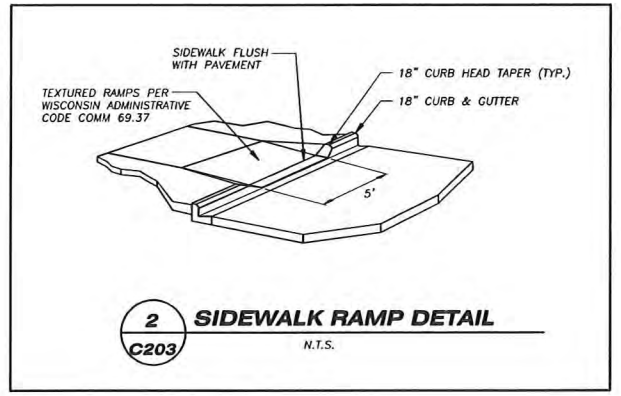
SHEET TITLE:
SITE PLAN
DETAILS

SHEET NUMBER:
C203

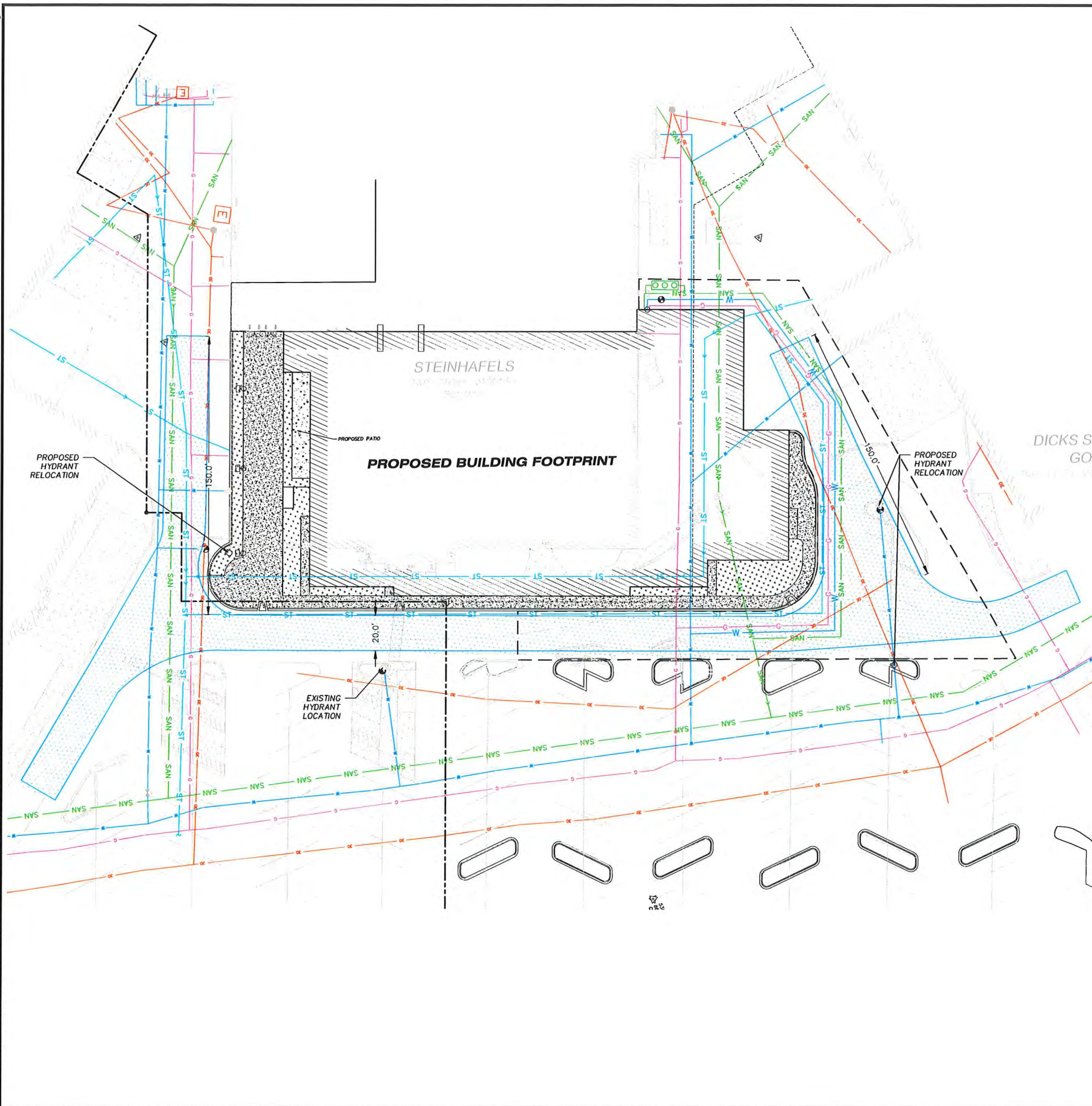


- NOTES:
1. WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
 2. COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
 3. MIXTURE TYPE E-1.0 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS. AN EQUIVALENT GEGRID MUST BE COMPARABLE BY STRENGTH, WITH INTEGRALLY BONDED OR EXTRUDED NODES. GEGRIDS WITH FUSION-BOND OR WELDED NODES ARE INSUFFICIENTLY DURABLE TO WITHSTAND CONSTRUCTION AND INSTALLATION STRESSES.
 4. MAIN TRAFFIC LANES ARE DEFINED AS AREAS WHERE CONSTRUCTION TRAFFIC WILL BE CONCENTRATED. THESE AREAS SHOULD BE MARKED AS THE PREFERRED TRAVEL ROUTES DURING CONSTRUCTION TO REDUCE TRAFFIC ON AREAS NOT DESIGNED FOR THE HEAVIER LOADS AND TRUCK VOLUME. THE MAIN TRAFFIC LANES INCLUDE GEGRID LAYERS INSTEAD OF GEOTEXTILE, TO ACCOMMODATE CONSTRUCTION TRAFFIC.

1 PAVEMENT SECTIONS
 C203 N.T.S.



File: I:\2015\57078\DWG\15-7078 Construction Documents.dwg Layout: C204 Fire Access Documents.dwg User: tgratn Plotted: Aug 16, 2016 - 4:04pm Xref's:



CITY OF MADISON FIRE DEPARTMENT
 Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: 7345 Mineral Point Road, 7349 Mineral Point Road, Madison, WI 53749
 Contact Name & Phone #: Ken Wittler; 423-490-8385

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? f) Is a roll-able curb used as part of the fire lane? a. Is a detail of the signage included on the site plan? g) Is part of a sidewalk used as part of the required fire lane? a. Is the sidewalk constructed to withstand 85,000-lbs?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cul-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree eye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 237 If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.
 This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 4/2011

LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
---	ST STORM SEWER
---	SAN SANITARY SEWER
---	W WATER MAIN
---	G GAS SERVICE (DESIGN BY UTILITY)
---	E ELECTRIC SERVICE (DESIGN BY UTILITY)
---	FIRE LANE
○	FIRE HYDRANT LOCATION
---	20' WIDE FIRE LANE

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PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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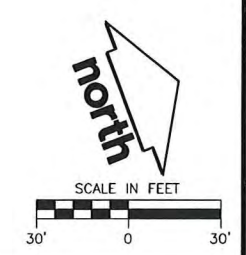
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DRAWN:	TRG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

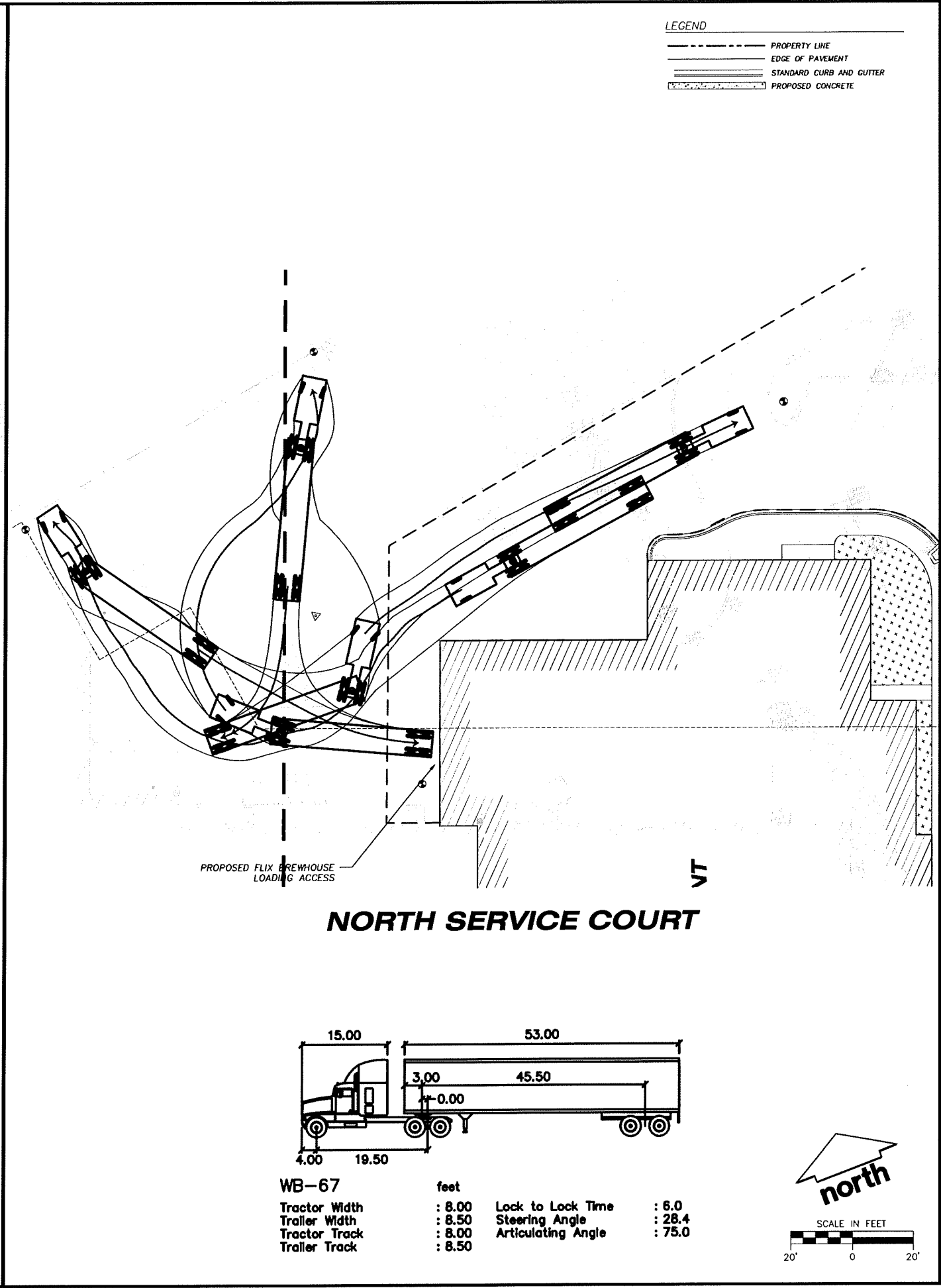
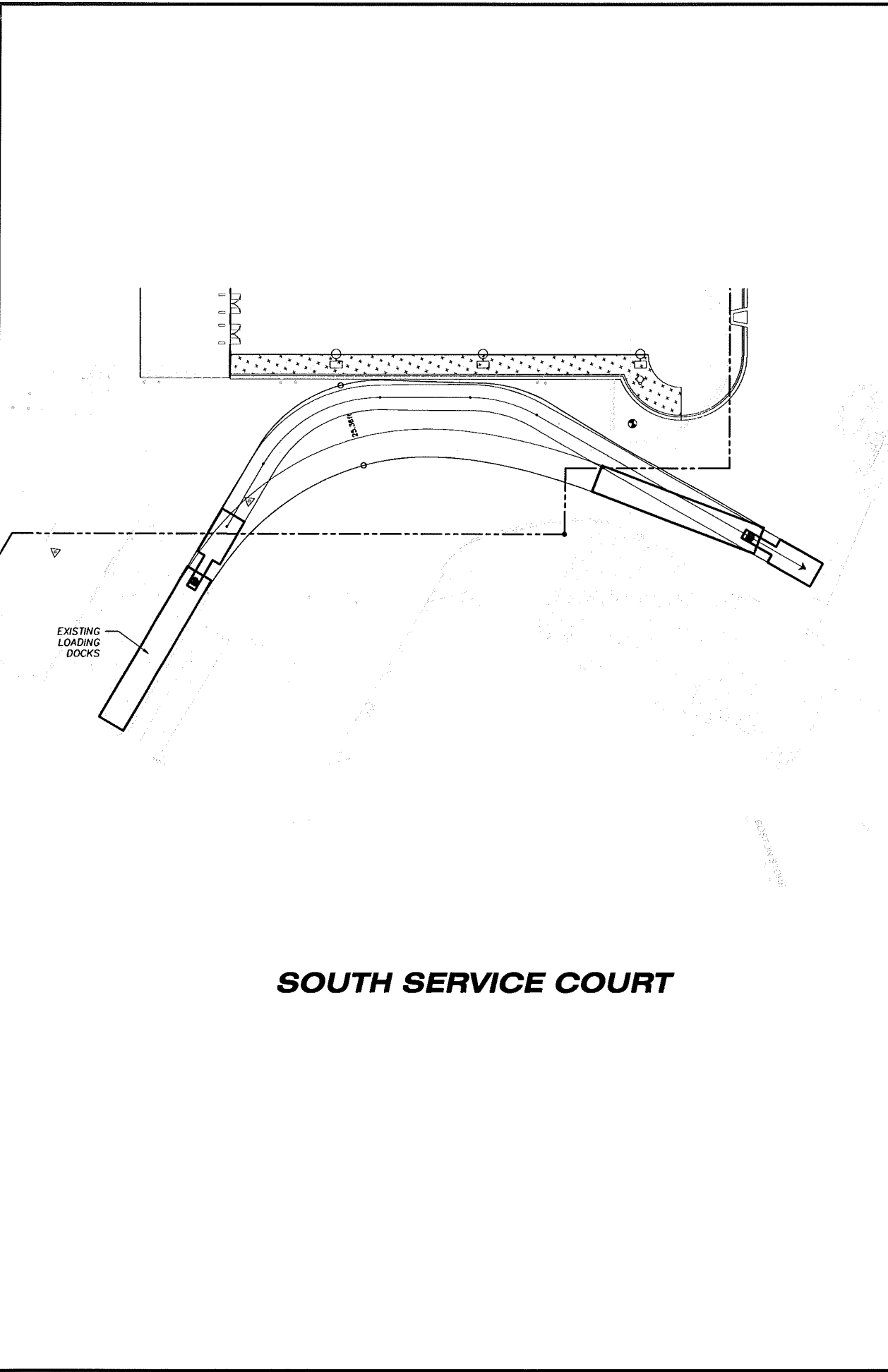
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SHEET TITLE:
FIRE ACCESS EXHIBIT

SHEET NUMBER:
C204



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LEGEND
 - - - - - PROPERTY LINE
 ———— EDGE OF PAVEMENT
 = = = = = STANDARD CURB AND GUTTER
 [Stippled Area] PROPOSED CONCRETE

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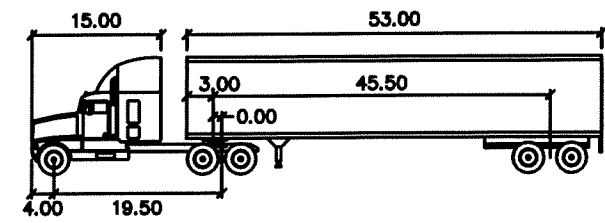
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 DRAWN: _____
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LANDUSE AND UDC FINAL SUBMITTAL	06-17-16

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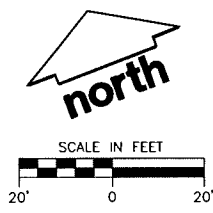
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SHEET NUMBER:
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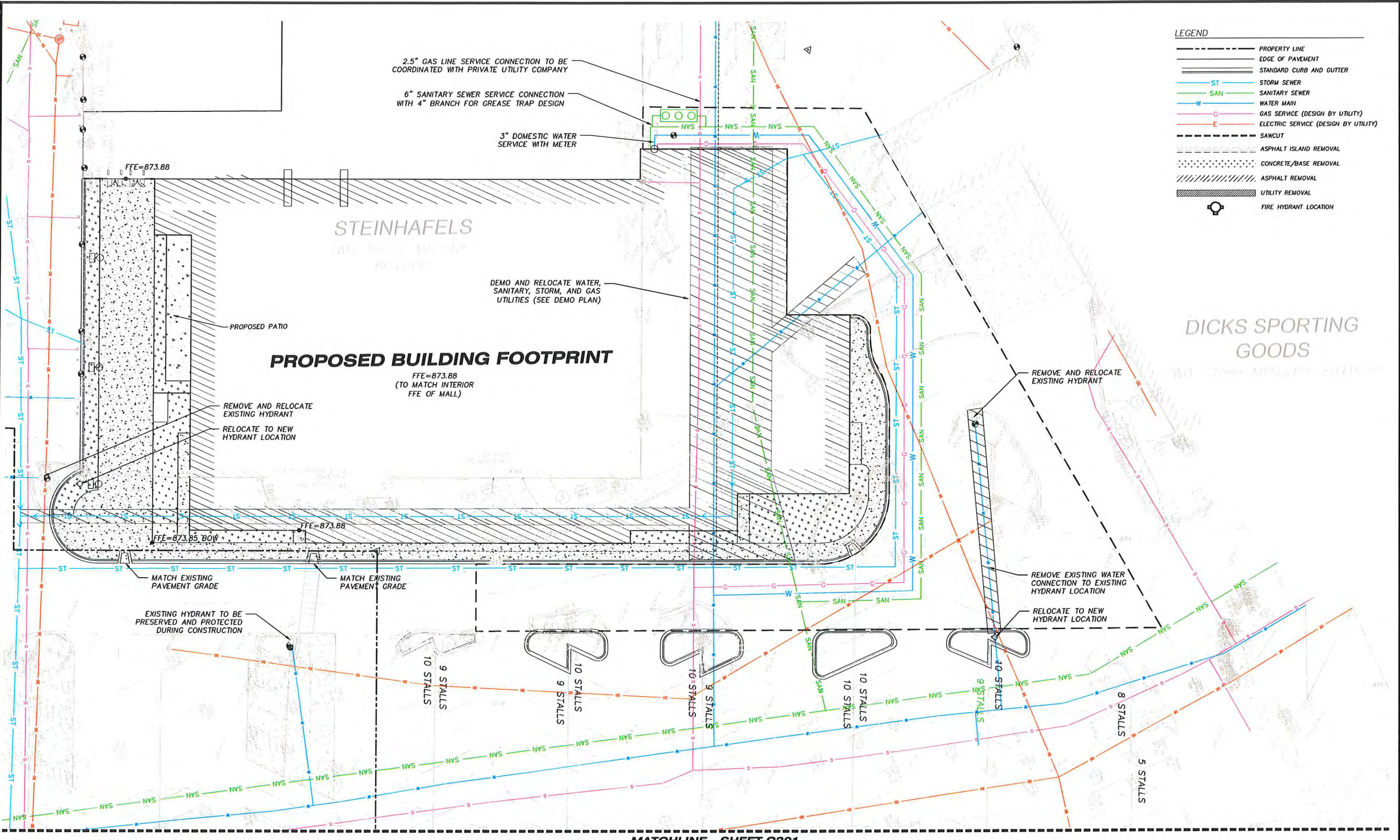


WB-67

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



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LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL
- FIRE HYDRANT LOCATION

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APPROVED:	JLF	07-06-10

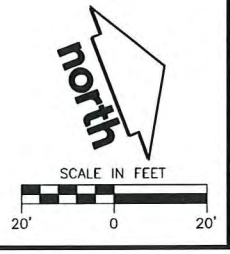
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SHEET TITLE:
GRADING AND UTILITY PLAN

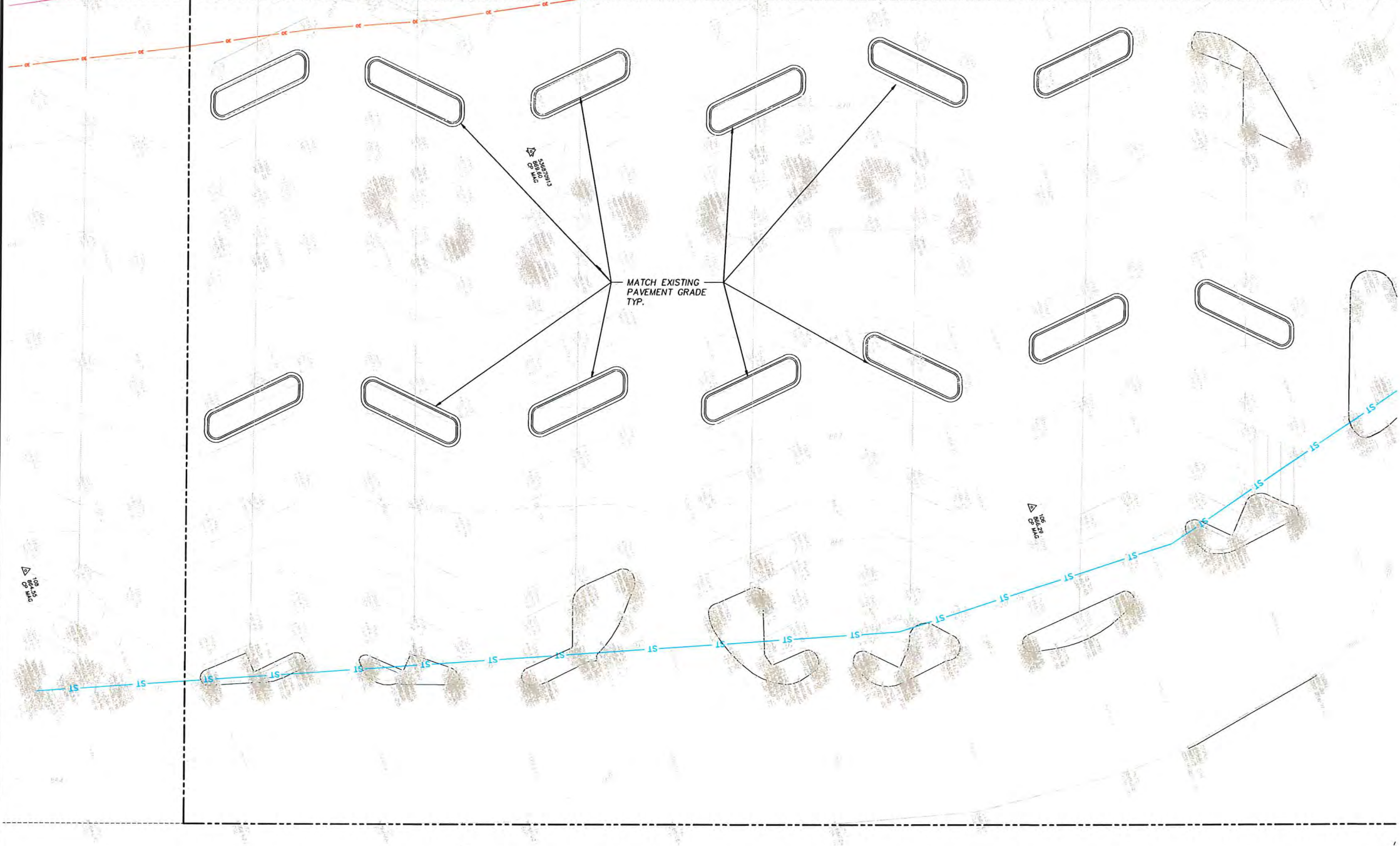
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C300



MATCHLINE - SHEET C301

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MATCHLINE - SHEET C300



LEGEND

	PROPERTY LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	GAS SERVICE (DESIGN BY UTILITY)
	ELECTRIC SERVICE (DESIGN BY UTILITY)
	SAWCUT
	ASPHALT ISLAND REMOVAL
	CONCRETE/BASE REMOVAL
	ASPHALT REMOVAL
	UTILITY REMOVAL

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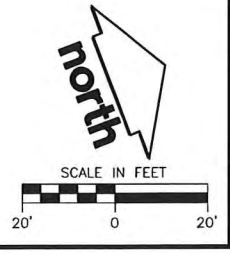
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PLAN MODIFICATIONS:		DATE:
LANDUSE AND UDC FINAL SUBMITTAL		06-17-16

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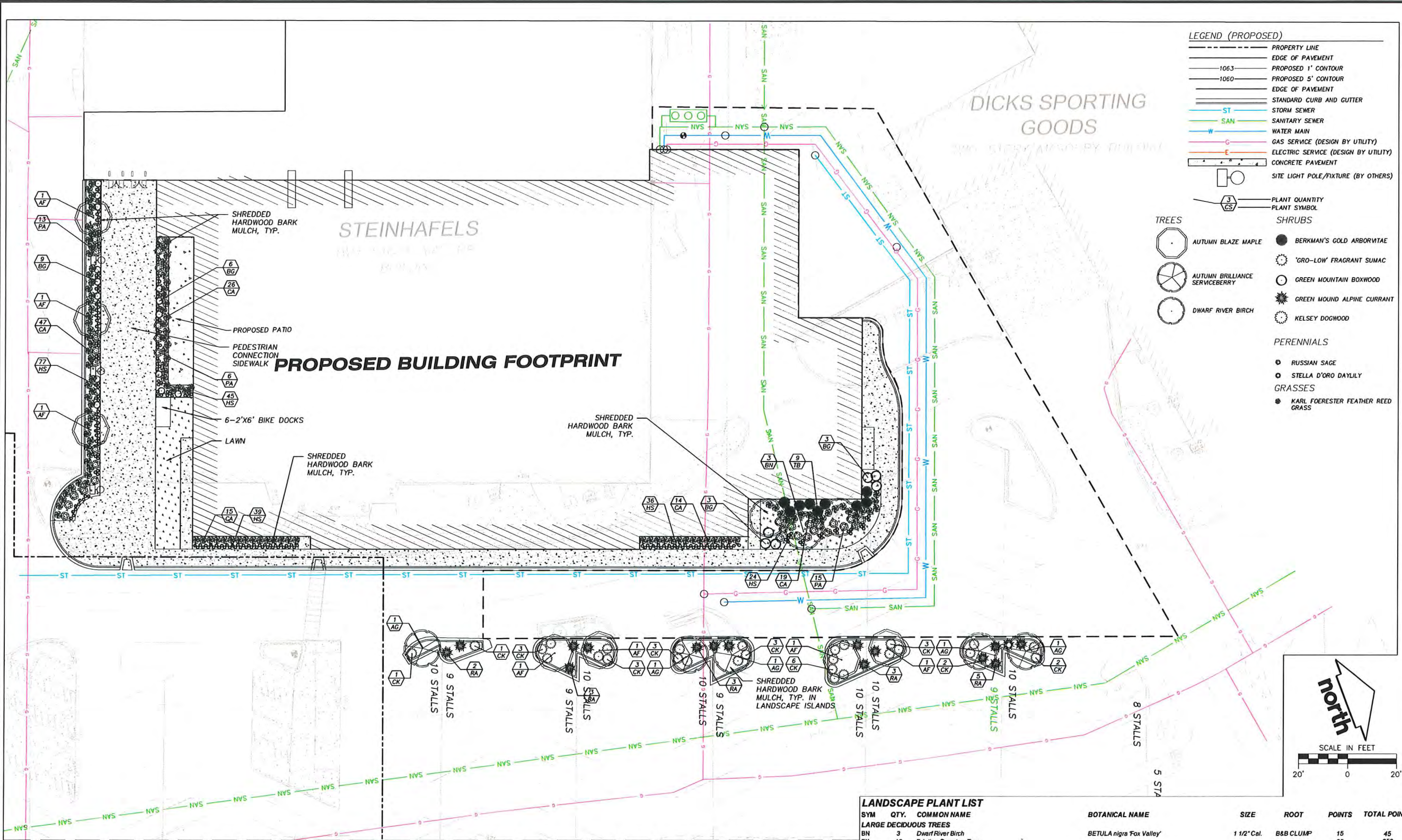
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**GRADING AND UTILITY
 PLAN**

SHEET NUMBER:
C301



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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - 106.3 PROPOSED 1' CONTOUR
 - 106.0 PROPOSED 5' CONTOUR
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - ST STORM SEWER
 - SAN SANITARY SEWER
 - W WATER MAIN
 - G GAS SERVICE (DESIGN BY UTILITY)
 - E ELECTRIC SERVICE (DESIGN BY UTILITY)
 - CONCRETE PAVEMENT
 - SITE LIGHT POLE/FIXTURE (BY OTHERS)

- TREES**
- AUTUMN BLAZE MAPLE
 - AUTUMN BRILLIANCE SERVICEBERRY
 - DWARF RIVER BIRCH
 - BERKMAN'S GOLD ARBORVITAE
 - 'GRO-LOW' FRAGRANT SUMAC
 - GREEN MOUNTAIN BOXWOOD
 - GREEN MOUND ALPINE CURRANT
 - KELSEY DOGWOOD
- SHRUBS**
- PERENNIALS**
- RUSSIAN SAGE
 - STELLA D'ORO DAYLILY
- GRASSES**
- KARL FOERESTER FEATHER REED GRASS

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PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
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 JSD PROJECT NO.: 15-7078

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APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
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LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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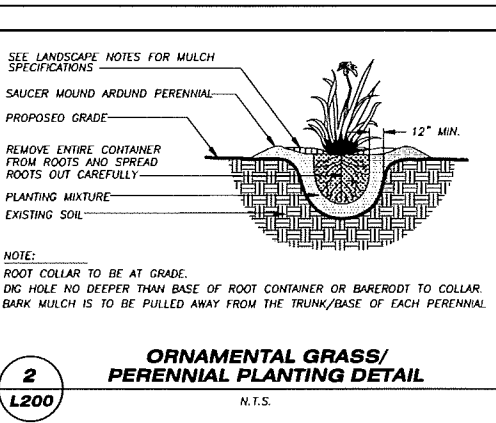
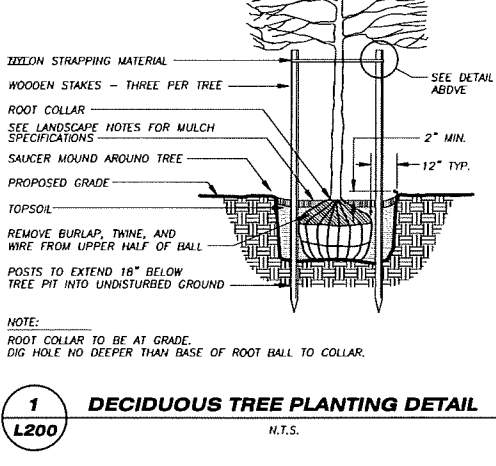
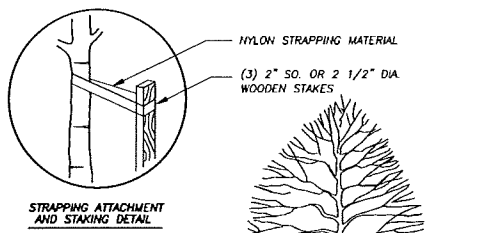
SHEET TITLE:
LANDSCAPE PLAN SHEET 1 OF 2

SHEET NUMBER:
L100

LANDSCAPE PLANT LIST

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
BN	3	Dwarf River Birch	BETULA nigra 'Fox Valley'	1 1/2' Cal.	B&B CLUMP	15	45
EX	10	Existing Overstory Tree				35	350
MEDIUM DECIDUOUS TREES							
AF	19	Autumn Blaze Maple	ACER x freemanii 'Jeffersred'	2 1/2' Cal.	B&B	35	665
AG	19	Autumn Brilliance Serviceberry	AMELANCHIER x grandiflora 'Autumn Brilliance'	1 1/2' Cal.	B&B	15	285
MEDIUM SHRUBS							
BG	21	Green Mountain Boxwood	BUXUS 'Green Mountain'	24" Mn. HL	B&B	3	63
CK	68	Kelsey Dogwood	CORNUS sericea 'Kelsay'	18" Mn. HL	# 3 Cont.	3	204
TB	9	Berkman's Gold Arborvitae	THUJA orientalis 'Berkman's Gold'	24" Mn. HL	# 3 Cont.	10	90
RA	16	Green Mound Alpine Currant	RIBES alpinum 'Green Mound'	18" Mn. HL	# 3 Cont.	3	48
RH	36	Fragrant Sumac	RHUS aromatica	24" Mn. HL	# 3 Cont.	3	108
PERENNIALS							
PA	34	Russian Sage	PEROVSKIA atriplicifolia	24" Mn. HL	# 3 Cont.	2	68
HS	222	Stella De Oro Daylily	Hemerocallis x 'Stella de Oro'	12" Mn. HL	# 3 Cont.	2	444
ORNAMENTAL GRASSES							
CA	119	Karl Foerester Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerester'	10 - 12" HL	# 1 Cont.	2	238
						TOTAL:	2608

MATCHLINE - SHEET L101



LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO THE CONTRACTOR'S RESPONSIBILITY FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-362-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM OR OTHER PHYSICAL DAMAGE OR PLANTING. CONDITIONS SHALL BE APPROVED BY OWNER. GROWTH PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS = 24"
 2. TREE PIT = SEE DETAILS
- PLANTING MIXTURE TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.**
- MATERIALS - ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.**
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH IMA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



**CITY OF MADISON
LANDSCAPE WORKSHEET**
Section 28.142 Madison General Ordinance

Project Location / Address: 85 EAST TOWNE MALL, MADISON, WI 53704
 Name of Project: FLIX BREWHOUSE - EAST TOWNE MALL
 Owner / Contact: CBL & ASSOCIATES PROPERTIES, INC. - JUSTIN LONG
 Contact Phone: (608) 848-5060 Contact Email: JUSTIN.FRAHM@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability:

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten (10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped area shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 178,861
 Total landscape points required: 597

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: _____
 Five (5) acres = 212,800 square feet
 First five (5) developed acres = 3,600 points
 Remainder of developed area: _____
 Total landscape points required: _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____
 Total landscape points required: _____

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	10	350	19	665
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			22	330
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			9	90
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			141	423
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			375	750
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh.				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				350		2,258

Total Number of Points Provided: 2,608

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



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SERVICES PROVIDED TO:
CBL & ASSOCIATES PROPERTIES, INC.

PROJECT:
FLIX BREWHOUSE - EAST TOWNE MALL

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: TKG 07-06-16
 DRAWN: TKG 07-06-16
 APPROVED: J.F. 07-06-16

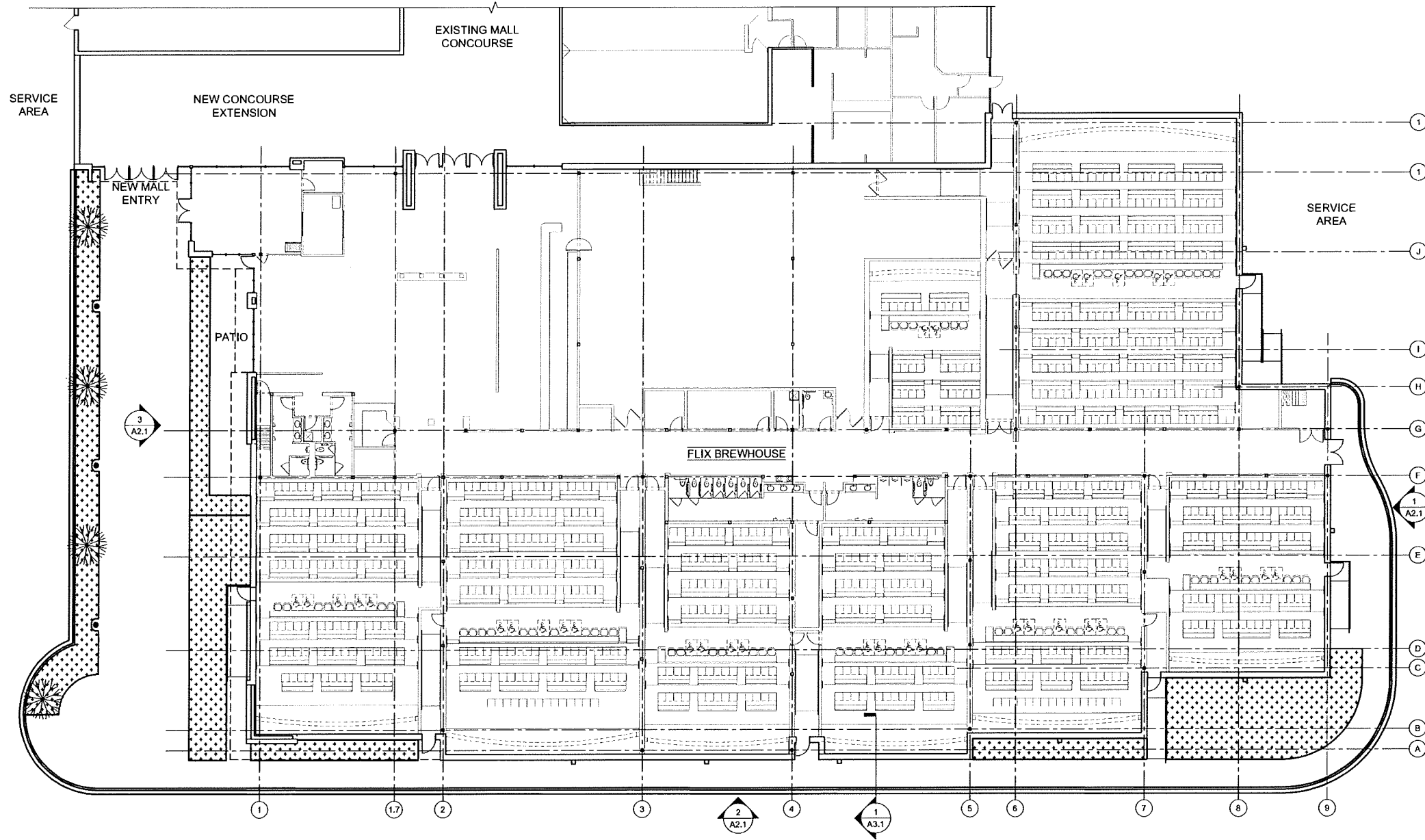
PLAN MODIFICATIONS: DATE:
 LANDUSE SUBMITTAL 07-13-16
 LANDUSE AND UDC FINAL SUBMITTAL 08-17-16



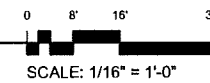
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 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:
LANDSCAPE DETAILS

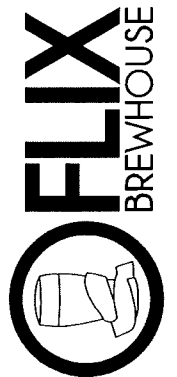
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L102



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



**FLIX BREWHOUSE
SHELL BUILDING**
EAST TOWNE MALL
89 E TOWNE MALL
MADISON, WI 53704



MADISON UDC
REVIEW SET
08-17-2016

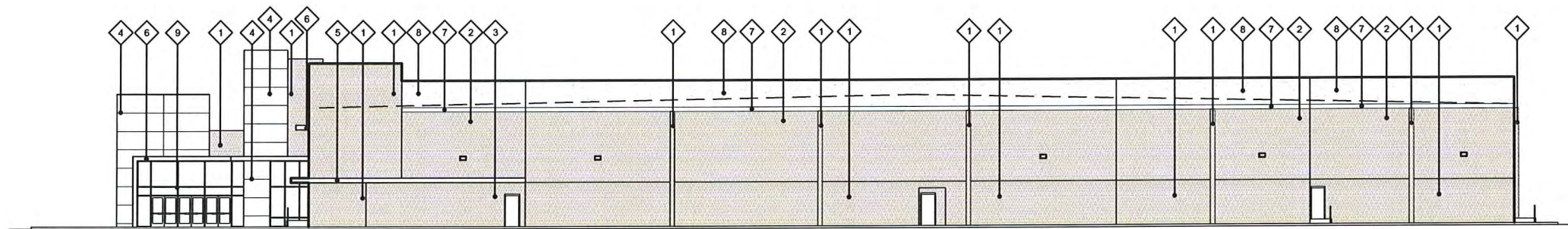
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INITIAL ISSUE: 00-00-00
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JOB NO. | DWN | CKD
16-042

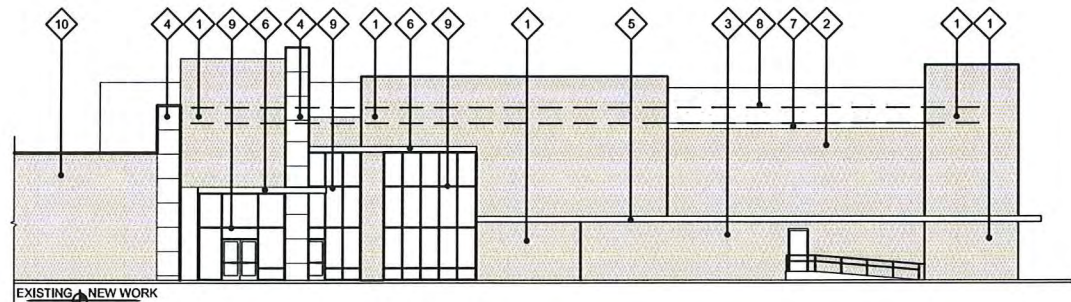
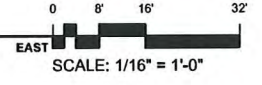
A1.1
FLOOR PLAN

FINISH LEGEND	
	"HARVARD BRIK" MASONRY BLOCK - COLOR "SACRAMENTO"
	"HARVARD BRIK" MASONRY BLOCK - COLOR "COPPERTONE"
	"HARVARD BRIK" MASONRY BLOCK - PAINTED SW 6991 "BLACK MAGIC"
	METAL PANEL - MATCH ALUCOBOND "DUSTY CHARCOAL"
	METAL CANOPY - MATCH "FLIX GOLD" PANTONE 7409 CP
	METAL CANOPY - MATCH ALUCOBOND "DUSTY CHARCOAL"
	EIFS FINISH COAT - MATCH DRYVIT 117 "COLONIAL TAN"
	EIFS FINISH COAT - MATCH DRYVIT 612 "MOONLIGHT"
	STOREFRONT GLAZING - CLEAR ANODIZED
	"HARVARD BRIK" MASONRY BLOCK - MATCH EXISTING WALL COLOR

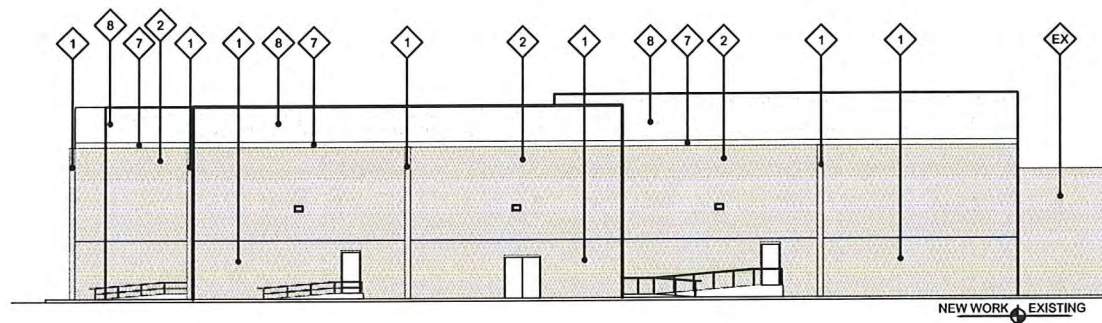
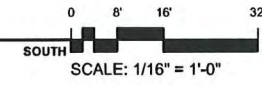
NOTE: SEE ATTACHED MATERIAL BOARD FOR COLOR SAMPLES



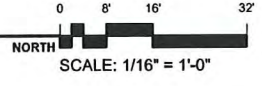
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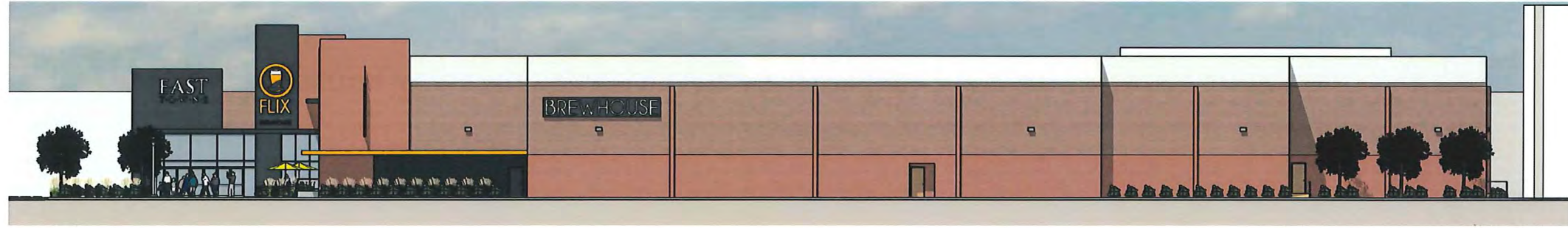


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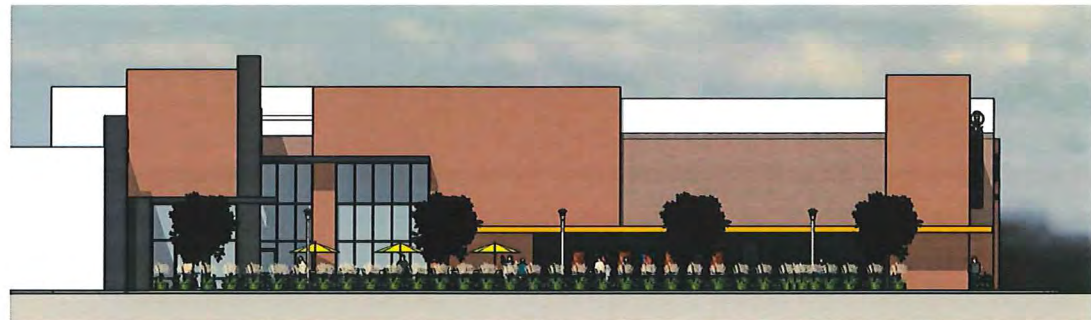
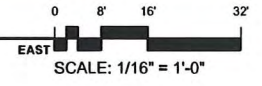


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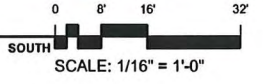




2 ELEVATION
SCALE: 1/16" = 1'-0"



3 ELEVATION
SCALE: 1/16" = 1'-0"



1 ELEVATION
SCALE: 1/16" = 1'-0"



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ARTECH DESIGN GROUP, INC.
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CHATTANOOGA, TN 37408
423.265.4313

**FLIX BREWERY
SHELL BUILDING**
EAST TOWNE MALL
89 E TOWNE MALL
MADISON, WI 53704



MADISON UDC
REVIEW SET
08-17-2016

ISSUE DATES
INITIAL ISSUE: 00-00-00
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JOB NO. | DWN | CKD
16-042
SCH 1.2
COLORED
ELEVATIONS



2 ENTRY VIEW
SCALE: N.T.S.



1 AERIAL ENTRY VIEW
SCALE: N.T.S.

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**FLIX BREWHOUSE
SHELL BUILDING**
EAST TOWNE MALL
89 E TOWNE MALL
MADISON, WI 53704



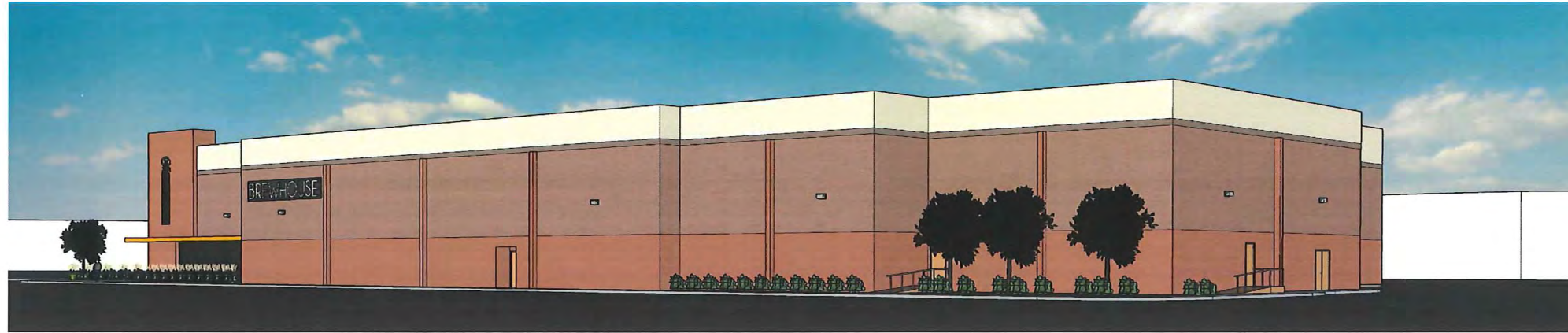
MADISON UDC
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08-17-2016

ISSUE DATES
INITIAL ISSUE: 00-00-00

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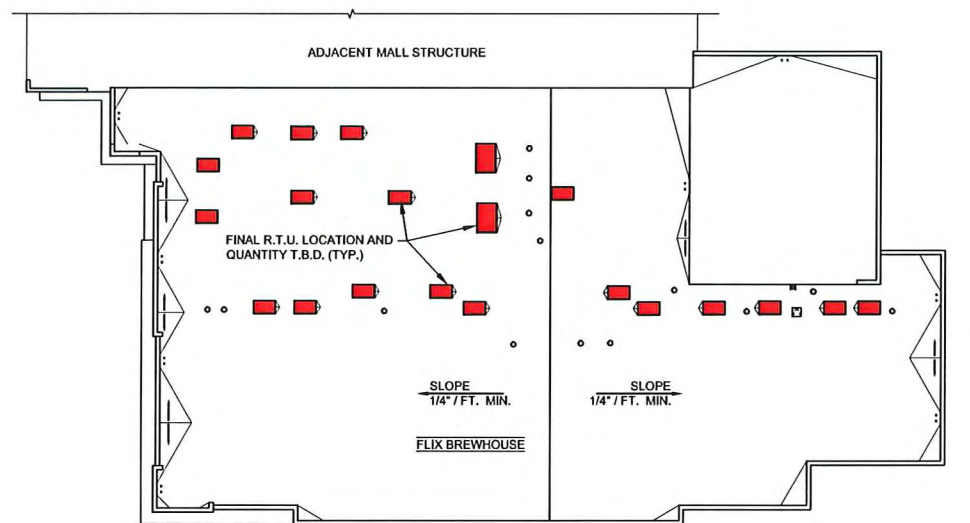
SCH1.1
SCHEMATIC
RENDERINGS



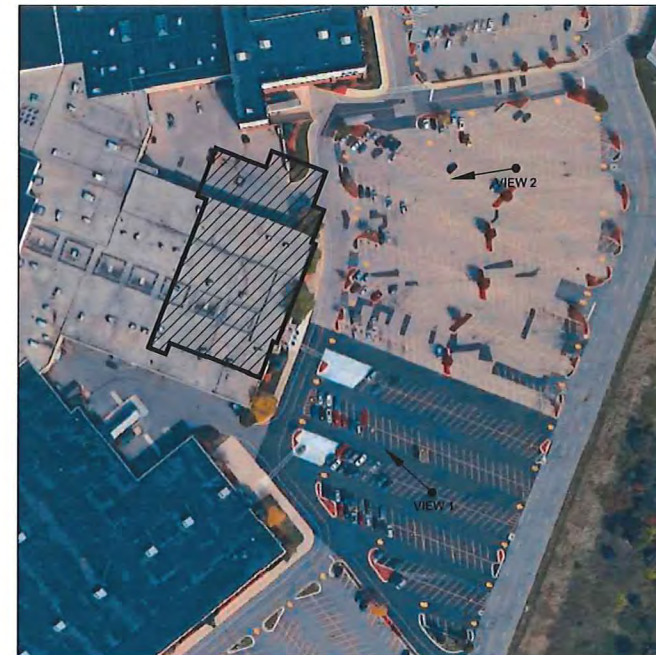
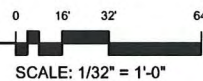
4 PARAPET SCREENED RTU RENDERING - VIEW 2
SCALE: N.T.S.



3 PARAPET SCREENED RTU RENDERING - VIEW 1
SCALE: N.T.S.



2 SCHEMATIC RTU LOCATION
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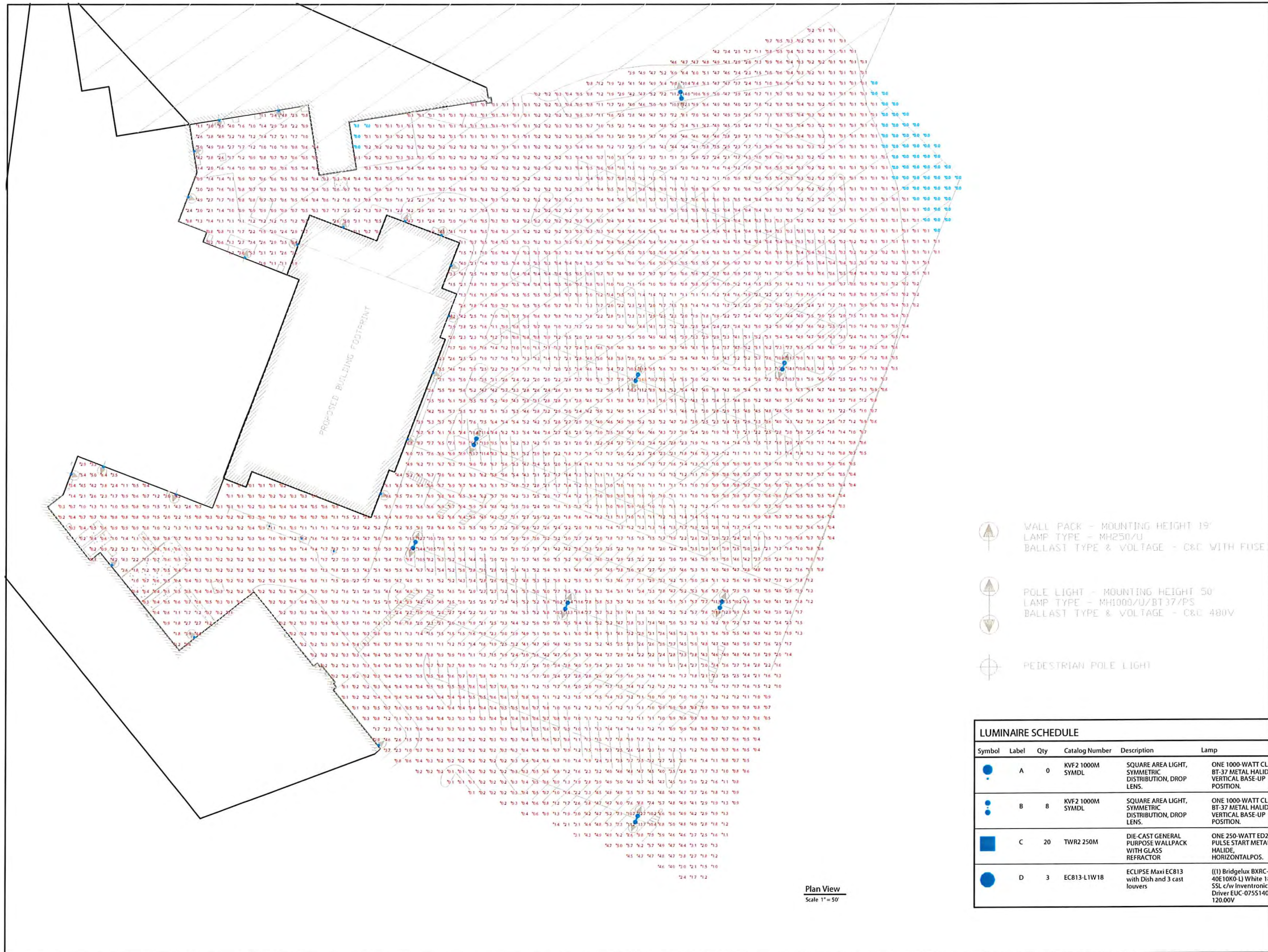


1 SIGHT LINE DIAGRAM
SCALE: N.T.S.





Campbell & Associates / SESCO Lighting
 Existing Site Lighting Study
 Approximations



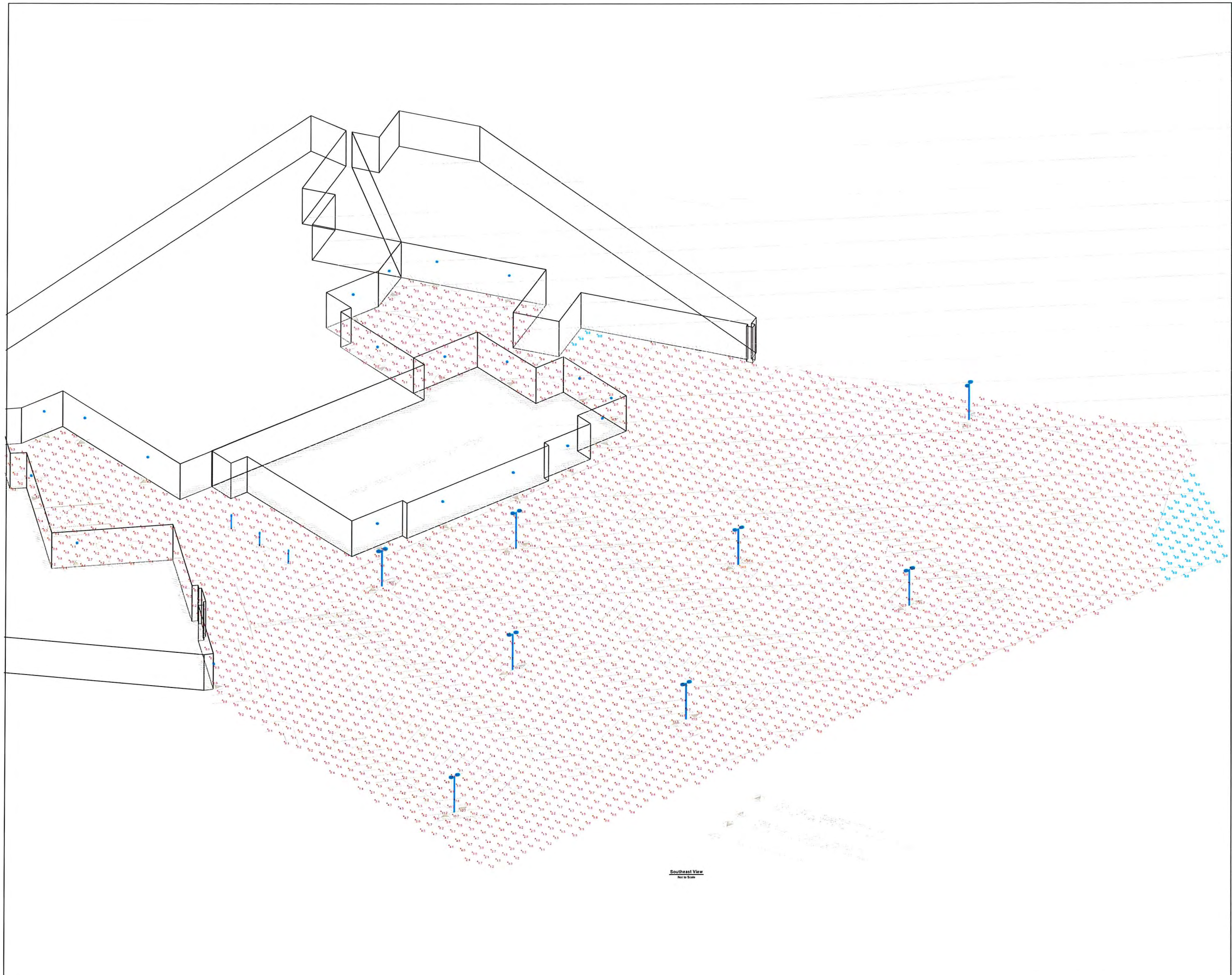
- WALL PACK - MOUNTING HEIGHT 19'
 LAMP TYPE - MH250/U
 BALLAST TYPE & VOLTAGE - C&C WITH FUSE
- POLE LIGHT - MOUNTING HEIGHT 50'
 LAMP TYPE - MH1000/U/BT37/PS
 BALLAST TYPE & VOLTAGE - C&C 480V
- PEDESTRIAN POLE LIGHT

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File Lumens LLF Watts
	A	0	KVF2 1000M SYMDL	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, DROP LENS.	ONE 1000-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	KVF2_1000M.SYMDLies 110000 0.60 1080
	B	8	KVF2 1000M SYMDL	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, DROP LENS.	ONE 1000-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	KVF2_1000M.SYMDLies 110000 0.60 2160
	C	20	TWR2 250M	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR	ONE 250-WATT ED28 PULSE START METAL HALIDE, HORIZONTAL POS.	TWR2_250Mies 22000 0.60 288
	D	3	EC813-L1W18	ECLIPSE Maxi EC813 with Dish and 3 cast louvers	((1) Bridgelux BXRC 40E10K0-L) White 14W SSL c/w Inventronic Driver EUC-0755140DT @ 120.00V	EC813-L1W18ies Absolute 1.00 22.2

Designer
 BL
 Date
 Jul 12 2016
 Scale
 Drawing No.



Campbell & Associates / SESCO Lighting
Existing Site Lighting Study
Approximations



Southeast View
Not to Scale

Designer
BL
Date
Jul 12 2016
Scale

Drawing No.

LUMINIS EC812/EC813 SERIES ECLIPSE MAXI - LED

TYPE QUANTITY PROJECT

CATALOG NUMBER FUTURE WATTAGE VOLTAGE FINISH OPTION OPTION OPTION

MATERIALS
Eclipse Maxi is constructed from 70% aluminum alloy with a cast aluminum LED heat-sinking sink.
The 8" dia. x 10" deep cylindrical aluminum housing has a powder-coated finish. The 4" x 4" x 1/2" aluminum LED heat-sinking sink is anodized and has a clear protective coating. The 1/2" x 1/2" x 1/2" aluminum LED heat-sinking sink is anodized and has a clear protective coating. The 1/2" x 1/2" x 1/2" aluminum LED heat-sinking sink is anodized and has a clear protective coating.

CERTIFICATION
Eclipse Maxi is UL Listed and meets all applicable regulatory requirements for use in commercial and residential applications.

ELECTRICAL
Eclipse Maxi is a dimmable luminaire with a power factor of 0.99.
Eclipse Maxi is compatible with all major dimming systems including DALI, DMX, 0-10V, and Phase-Shift Dimming.

LIFE
Eclipse Maxi has a rated life of 50,000 hours at 70°C ambient temperature and 50% relative humidity.

FINISH
Eclipse Maxi is available in a variety of finishes including White, Black, Bronze, and Clear. Custom colors are available upon request.

HOUSING
Eclipse Maxi is designed for easy installation and maintenance. The luminaire is mounted to a wall with a pre-installed mounting bracket.

LUMINIS | 1800 Pine Street | Suite 200 | Madison, WI 53703 | 608.261.1313

LUMINIS.COM

LUMINIS EC812/EC813 SERIES ECLIPSE MAXI - LED

TYPICAL PHOTOMETRY SUMMARY

DESCRIPTION INFORMATION
Eclipse Maxi is a dimmable luminaire with a power factor of 0.99. It is available in a variety of finishes and is designed for easy installation and maintenance.

LUMINAIRE SELECTION

MODEL	LED LIGHT SELECTION	VOLTAGE	FINISH
EC812	<input type="checkbox"/> LUM812 22W <input type="checkbox"/> LUM812 33W <input type="checkbox"/> LUM812 60W	120V 277V	<input type="checkbox"/> White Snow White <input type="checkbox"/> Black Jet Black <input type="checkbox"/> Bronze <input type="checkbox"/> Clear Clear Crystal <input type="checkbox"/> Clear Clear Crystal
EC813	<input type="checkbox"/> LUM813 22W <input type="checkbox"/> LUM813 33W <input type="checkbox"/> LUM813 60W	120V 277V	<input type="checkbox"/> White Snow White <input type="checkbox"/> Black Jet Black <input type="checkbox"/> Bronze <input type="checkbox"/> Clear Clear Crystal <input type="checkbox"/> Clear Clear Crystal

OPTIONS

ELECTRICAL
 PH Phase 1
 PH Protocast 1
 347V 347V input power option

HOUSING
 ASB Pole mount attachment with 49" support
 AWS Wall mount attachment with 49" support
 ECP Pole mount attachment with stacked arms
 ECPW Pole mount attachment with stacked arms (EC812 only)
 ECWV Wall mount attachment with stacked arms (EC812 only)
 THD 3" Terminate adapter
 FBA Pole mount adapter

ACCESSORIES
 HSB House side shield

NOTES
 1. See notes on page 2 for details on LED light selection.
 2. See notes on page 2 for details on mounting options.
 3. See notes on page 2 for details on optional accessories.

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POLE MOUNT

AWA 3" x 3" (25-70) tubular aluminum end-arm wall mounting adapter designed to fit with 4 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

ECWP (EC812 and EC813) 3" x 3" (25-70) tubular aluminum end-arm wall mounting adapter designed to fit with 4 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

ECWV (EC812 only) 3" x 3" (25-70) tubular aluminum end-arm wall mounting adapter designed to fit with 4 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

AWA 3" x 3" (25-70) tubular aluminum end-arm wall mounting adapter designed to fit with 4 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

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ECWV (EC812 only) 3" x 3" (25-70) tubular aluminum end-arm wall mounting adapter designed to fit with 4 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

PSB 3" Dia. (25-70) x 3 1/4" (222) tubular aluminum pole mount adapter designed to fit with 3 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

PSW 3" Dia. (25-70) x 3 1/4" (222) tubular aluminum pole mount adapter designed to fit with 3 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

PAA 3" Dia. (25-70) x 3 1/4" (222) tubular aluminum pole mount adapter designed to fit with 3 1/2" dia. poles, 3/4" dia. 49" galvanized steel support (EPA-03)

MATCHING POLE SELECTION

Ø 4"	Ø 5"	Ø 4"	Ø 4"	Height
PA440	PA430	PS70	PS80	10 FL (4.0 M)
PA410	PA410	PS70	PS80	12 FL (4.6 M)
PA414	PA414	PS74	PS84	14 FL (5.2 M)
PA418	PA418	PS78	PS88	16 FL (5.8 M)
PA422	PA422	PS82	PS92	18 FL (6.4 M)
PA426	PA426	PS86	PS96	20 FL (7.0 M)
PA430	PA430	PS90	PS100	22 FL (7.6 M)

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LUMINIS EC812/EC813 SERIES ECLIPSE MAXI - LED

WALL MOUNT

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2 PEDESTRIAN LIGHT

SCALE: N.T.S.

LITHONIA LIGHTING TWR2 METAL HALIDE WALL PACK

FEATURES & SPECIFICATIONS
INTENDED USE
 Ideal for mounting above entryways and loading docks.
CONSTRUCTION
 Rugged construction with cast aluminum housing and tempered glass lens. Castings are solid with no post-casting to inhibit the entrance of contaminants. End-kickdown pilotless gear for easy installation.
ELECTRICAL
 Rated for constant voltage applications. Rated at 100% factory tested.
INSTALLATION
 Mounting and panel for mounting brackets are standard 1/2" diameter for surface mounting or any of the common 1/2" diameter conduit entry holes.
LISTING
 UL Listed for use in Class II and Class III locations (See Options). Suitable for wet locations (D1) in outdoor ambient temperatures.
WARRANTY
 2 year limited warranty. Complete warranty terms located at www.lithonia.com/warranty.
 See www.lithonia.com/compatibility for more information on product compatibility.
 Specifications subject to change without notice.

Example TWR2 400W EG SCWA LP

Category Number	Quantity	Package	Power Included	Length Included	Available in Canada
TWR2 400 EG SCWA LP	20	10-20	4	4	Y
TWR2 400 EG SCWA LP	20	10-20	4	4	Y
TWR2 400 EG SCWA LP	40	10-20	4	4	Y

LITHONIA LIGHTING
 An Acuity Brands Company

LITHONIA LIGHTING TWR2 METAL HALIDE WALL PACK

TWR2 250W Test No. LTL10114 COEFFICIENT OF UTILIZATION

250W METAL HALIDE LAMP, 20000 HOURS
 Luminaire fixture is based on 20' mounting height, 0.8 distribution.

LITHONIA LIGHTING
 An Acuity Brands Company

1 WALL PACK

SCALE: N.T.S.

ARTECH
 ARCHITECTURE & INTERIORS
 ARTECH DESIGN GROUP, INC.
 CHATTANOOGA, TN 37408
 423.265.4513

FLIX BREWHOUSE SHELL BUILDING
 EAST TOWNE MALL
 89 E TOWNE MALL
 MADISON, WI 53704



MADISON UDC
 REVIEW SET
 08-17-2016

ISSUE DATES
 INITIAL ISSUE: 00-00-00
 1.
 2.
 3.
 4.
 5.
 6.
 7.
 8.

JOB NO. | DWN | CKD
 16-042

SCH 1.4
 SUBMITTED LIGHTING